



PART THREE

**ANALYSES & GUIDELINES
FOR CHARACTER AREAS**

PART THREE: CHARACTER AREAS ANALYSES AND GUIDELINES provides an analysis of the design characteristics of five “character areas” included in the Druid Hills Local Historic District. These include: (1) Druid Hills Character Area #1, (2) Druid Hills Character Area #2, (3) University Park/Emory Highlands/Emory Estates, (4) Emory Grove, and (5) Parkwood. (See *Illustration J: Character Area Map*.) These areas display certain developmental, landscape, and architectural features that distinguish them as sub-areas of the larger district. These distinct neighborhoods have been identified as “character areas.”

Detailed information about the landscape and architectural character is provided for each area. Knowledge of these predominant characteristics, such as setbacks, materials, and scale of development, can assist property owners in the design of compatible new development and landscaping that respects the historic environment of their neighborhood. The information contained in *Sections 12.0-15.0*, in combination with the general guidelines of Part Two of this manual, should be used as guidance for alterations, additions, new construction, and site improvements. In addition, guidelines specific to each character area are included at the end of *Sections 12.0 - 15.0*.

Other potential historic character areas located in the district include:

- (1) Cameron Court
- (2) Briarwood Hills/Stillwood
- (3) Briarcliff Road¹
- (4) Chelsea Heights (“Fernbank”)
- (5) Emory Village.

Various nonhistoric areas such as Barton Woods Road could also develop guidelines that would preserve amenities of their area such as consistent patterns in the architecture and site development.

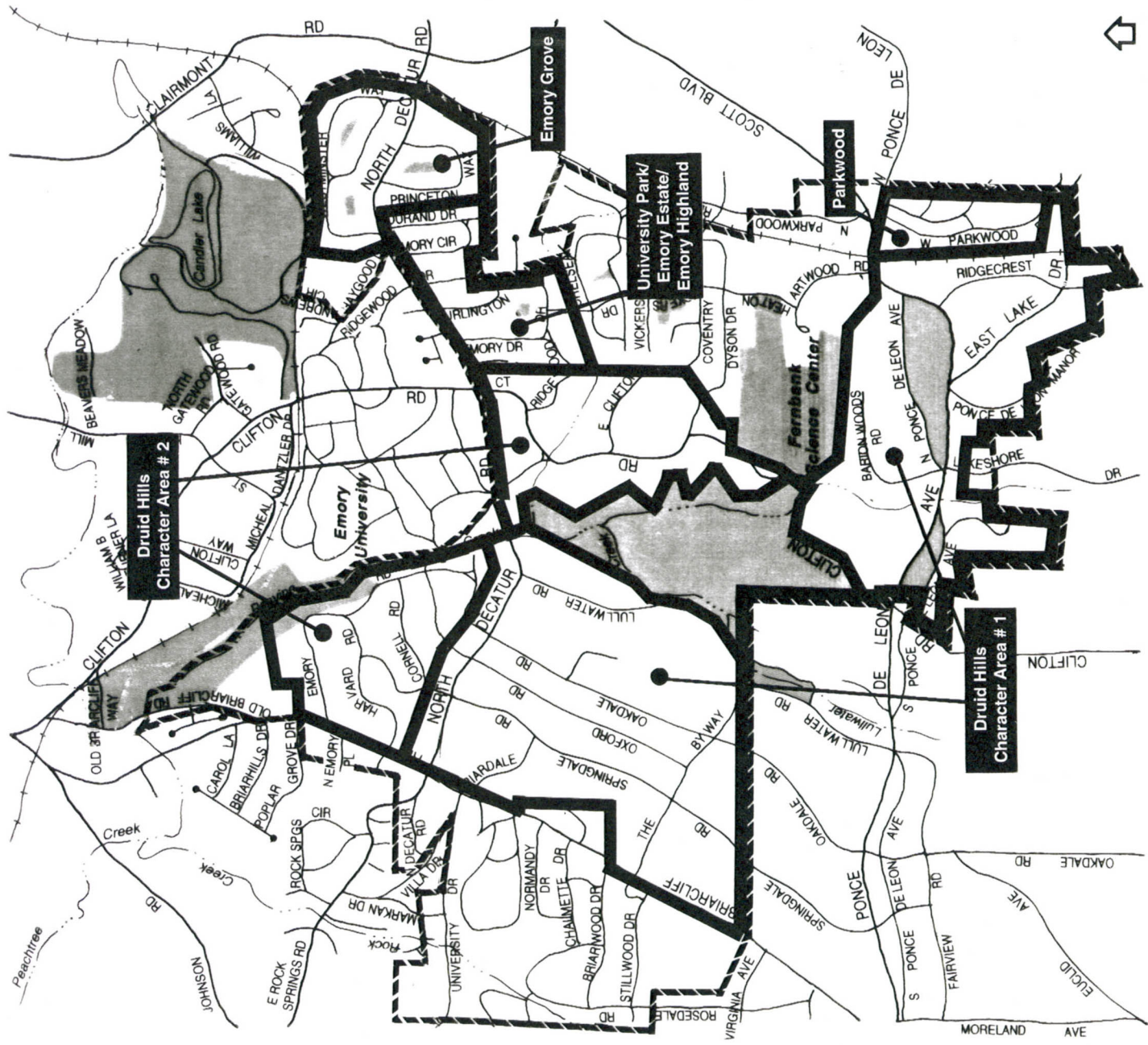
Preserving the historic platting pattern of the character areas is critical to the integrity of each area. “Historic platting pattern” refers to a pattern of development that dates to a pre-World War II plat. The majority of the areas within the Druid Hills Historic District retain their original plat pattern.

Recommendation - Preserve historic plat patterns through respect for existing site development patterns and rhythms.

NON-HISTORIC
HOUSE ON NORTH
PONCE DE LEON
ADHERES TO
PREVAILING
SETBACK AND SCALE
PREDOMINANT IN
AREA OF INFLUENCE



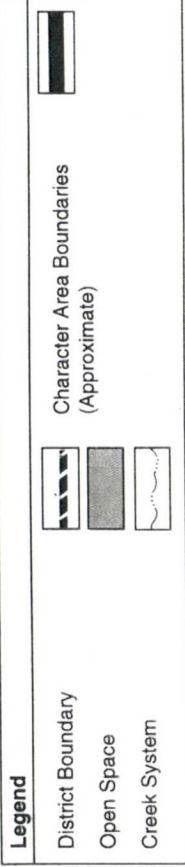
¹ Properties along the east side of Briarcliff are included in the National Register district and are considered as part of Druid Hills Character Areas #1 and #2; it is recommended, however, that Briarcliff Road be developed as a separate character area, at a later date, because of the type of development pressures it may face in the future. The west side currently has considerable multi-family and office/institutional zoning.



Druid Hills Local Historic District
DeKalb County, Georgia

Illustration J

CHARACTER AREA MAP



Not to Scale

12.0 DRUID HILLS NATIONAL REGISTER DISTRICT - CHARACTER AREAS #1 & #2

Druid Hills Local Historic District Character Areas #1 and #2 together encompass the majority of the Druid Hills National Register District that is located in DeKalb County outside the City of Atlanta. Excluded from these character areas are the golf course and Emory Village. Another portion of the National Register District is located in the City of Atlanta and is a locally designated Landmark District under that city's zoning ordinance.

This residential suburb is set into a heavily landscaped, gently rolling terrain. Its suburban street pattern respects the Piedmont countryside by following the natural contours of the land. Dense development throughout the area is characterized by naturally landscaped lawns and tree-lined streets that, together with the numerous park and open spaces, create Druid Hills' landscaped park appearance.

The architecture of the Druid Hills suburb is almost entirely residential with houses ranging widely in size and stylistic influence, representing the early-twentieth century eclectic and revivalist trends in American residential architecture. The majority of houses were constructed from around 1905 through the 1930s. They range from large mansions to small cottages and include examples of Colonial Revival, English Vernacular Revival, Italian Renaissance Revival, Neoclassical Revival, and Spanish Colonial Revival period styles. The more modernistic styles of Craftsman and Prairie are also represented, but with less frequency. A number of Druid Hills houses are architect-designed and represent the work of many of Atlanta's best-known architects and architectural firms. A landscape architect who designed the landscapes of a number of properties was William Pauley.

The historic suburb of Druid Hills forms the core of the local historic district and is located in an area roughly bounded by Briarcliff Road to the west, Ponce de Leon Avenue and East Lake Road to the south, the Seaboard Railroad and Clifton/East Clifton Road to the east, and North Decatur, Oxford, and Emory Roads to the north. It encompasses a portion of the area developed by the Kirkwood Land Company and its successor, the Druid Hills Corporation according to the plans of Frederick Law Olmsted, Sr., and the Olmsted Brothers.

Character Area #1 encompasses Ponce de Leon corridors, East Lake, Ridgecrest, Springdale, Oakdale, Lullwater, Oxford, and Clifton from Ponce de Leon north to entrance to Fernbank Forest on east side.

Character Area #2 encompasses the somewhat later developments north of North Decatur Road and along Clifton and East Clifton north of Fernbank Forest entrance.

Patterns of development, in terms of street layout and lot size, and site development, in terms of setbacks, distinguish these areas from each other. Architecturally these two areas are very similar except for the scale of development - Area #1 features larger scale development than that found in Area #2.

12.1 DRUID HILLS NATIONAL REGISTER CHARACTER AREA #1

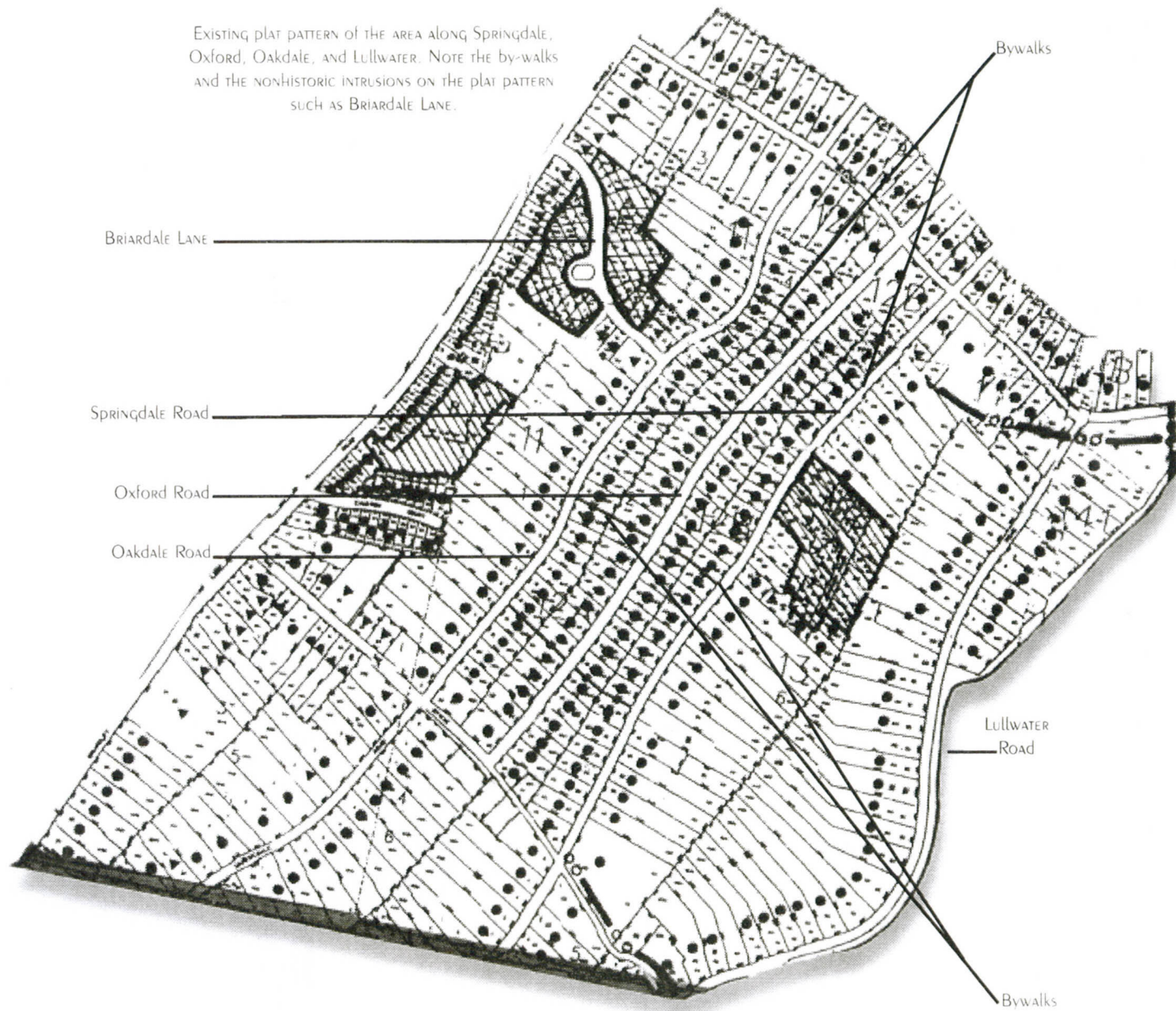
Character Area #1 includes a portion of the National Register District as described below.

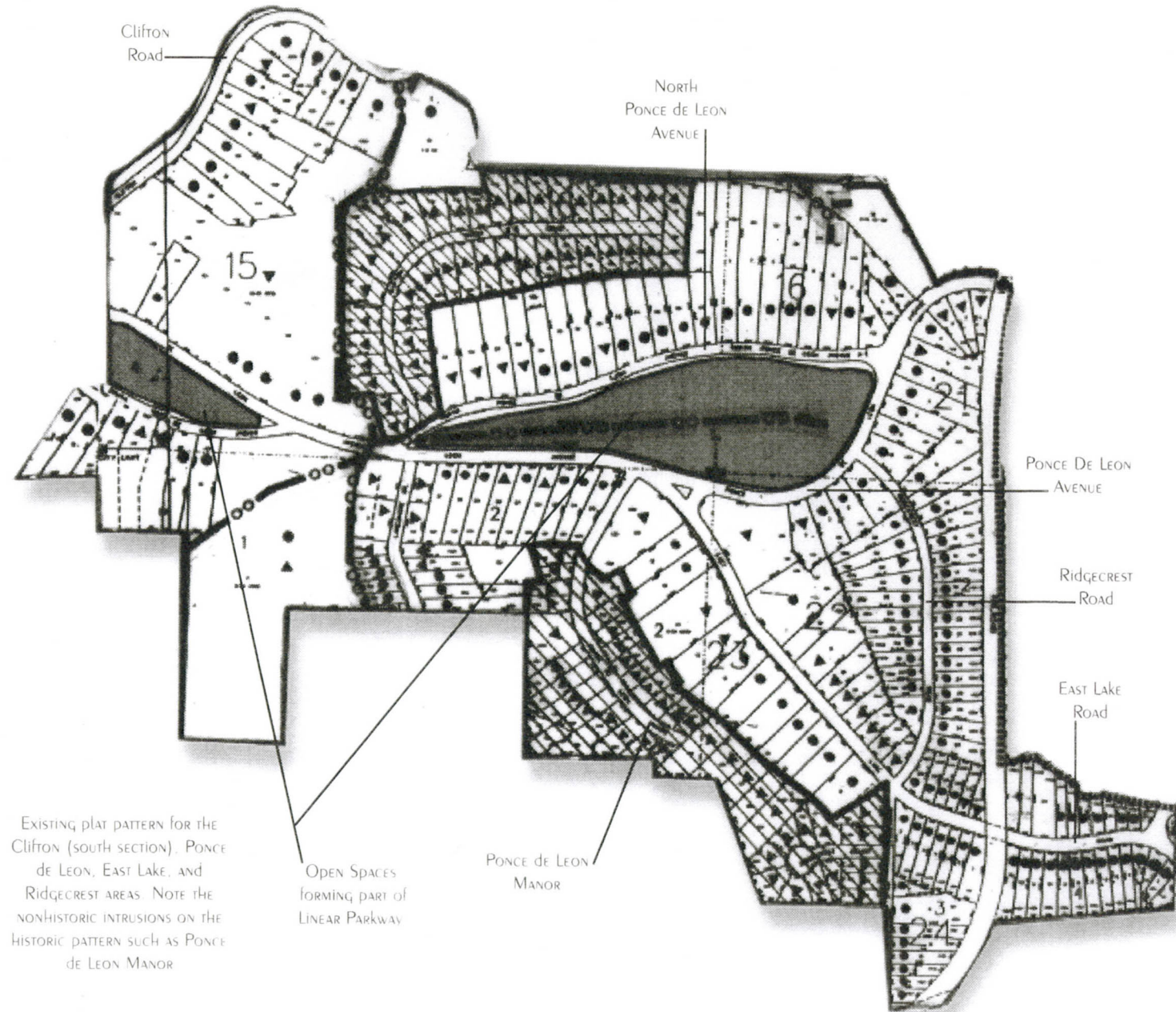
- 1 The Ponce de Leon/East Lake corridors platted in 1905 as part of Olmsted's "General Plan." (See *Illustration D: Historic Development Plat Map*, area keyed as 1.)
- 2 The east end of East Lake/Ridgecrest corridors laid out in the 1905 plan but re-platted with smaller lots in 1919 and 1922, respectively, by O. F. Kauffman. (See *Historic Development Plat Map*, areas keyed as 7 and 8.)
- 3 The Springdale/Oakdale/Oxford/Lullwater corridors as bounded by Briarcliff Road to the west, rear property lines on north side of N. Decatur Road to the north, the golf course and Lullwater Road to the east, and the Atlanta city limits to the south. (See *Historic Development Plat Map*, area keyed as 2.) This last area was included in Olmsted's early conceptualizations for the suburb, but it is unclear exactly when the area was platted; based on historic development, Kauffman likely platted it prior to 1910.
- 4 East side of Clifton as it runs parallel to golf course from Ponce de Leon north to Fernbank; part of Olmsted's early conceptualizations, platted in 1924 by Kauffman.

Included in this character area is a portion of the signature linear parkway of Ponce de Leon Avenue that was designed to connect the suburb with the city. The parkway provided the framework upon which the remainder of the suburb was designed. This linear parkway system—consisting of parks, parkway, and a trolley line—most closely followed Olmsted's plan and remains largely intact, though the trolley line no longer exists. This was the first area to be laid out with construction beginning around 1905. Residences in this area and its vicinity represent the largest scale development in the district. Large houses are set well back from the street on generously sized lots. A large estate that remains intact along this Ponce de Leon corridor is the former Cator Woolford estate, now used by the Reach Rehabilitation and Education Center. The estate's landscaped gardens were designed in 1921 by landscape architect Robert Cridland and provide another park space in this area. (Approximately one-half of the Ponce de Leon corridor is within the City of Atlanta and not included in this historic district boundary.)

The west central portion of Druid Hills features the north-south streets of Springdale, Oakdale, and Lullwater which meander parallel to each other following the land's natural topography. This area immediately followed the Ponce de Leon parkway in its development. It is a combination of large as well as more moderately-scaled development. Oxford Road was added between Springdale and Oakdale by around 1920 to allow the trolley line to reach Emory University.

EXISTING PLAT PATTERN OF THE AREA ALONG SPRINGDALE, OXFORD, OAKDALE, AND LULLWATER. NOTE THE BY-WALKS AND THE NONHISTORIC INTRUSIONS ON THE PLAT PATTERN SUCH AS BRIARDALE LANE.





CHARACTER-DEFINING FEATURES

LANDSCAPE CHARACTERISTICS:

FRONT SETBACK

- ☛ extremely spacious setbacks along Ponce de Leon in 200' range
- ☛ other streets, such as Oakdale, Springdale and Oxford, in 50'-80' range; setbacks consistent along streets creating a line following the curve of the topography

SIDE SETBACK

- ☛ 25' on Ponce de Leon
- ☛ 10' on Oakdale, Springdale, and Oxford

TYPICAL LOT SIZE

- ☛ wide variety of lot sizes throughout character area
- ☛ lot sizes along Ponce de Leon in the 1.5 to 2 acre range

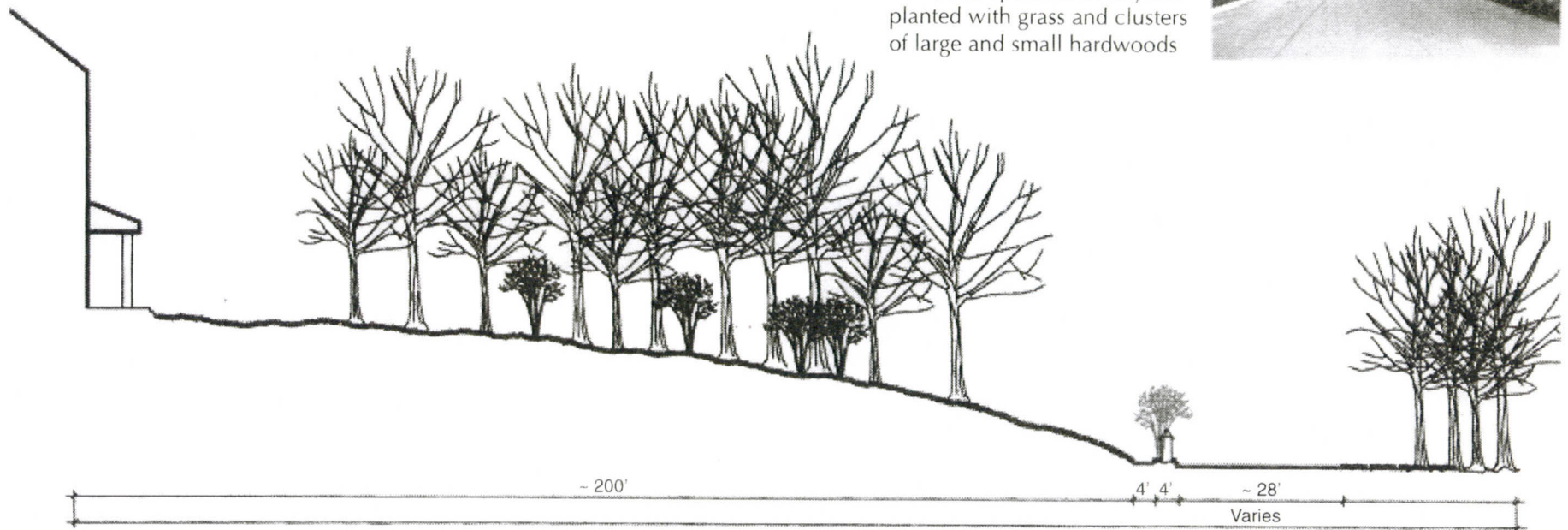
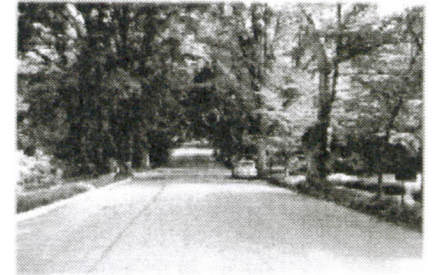
- ☛ lot sizes in areas north of Ponce de Leon are typically smaller:
- ☛ between Springdale, Oxford, and Oakdale, 100' x 200' (.5 ac);
- ☛ between Oakdale and Lullwater, long narrow lots (1-1.5 ac)

TYPICAL BUILDING SIZE

- ☛ wide variety in size of buildings within character area; typically, the smaller houses are located on the narrower lots with less setback

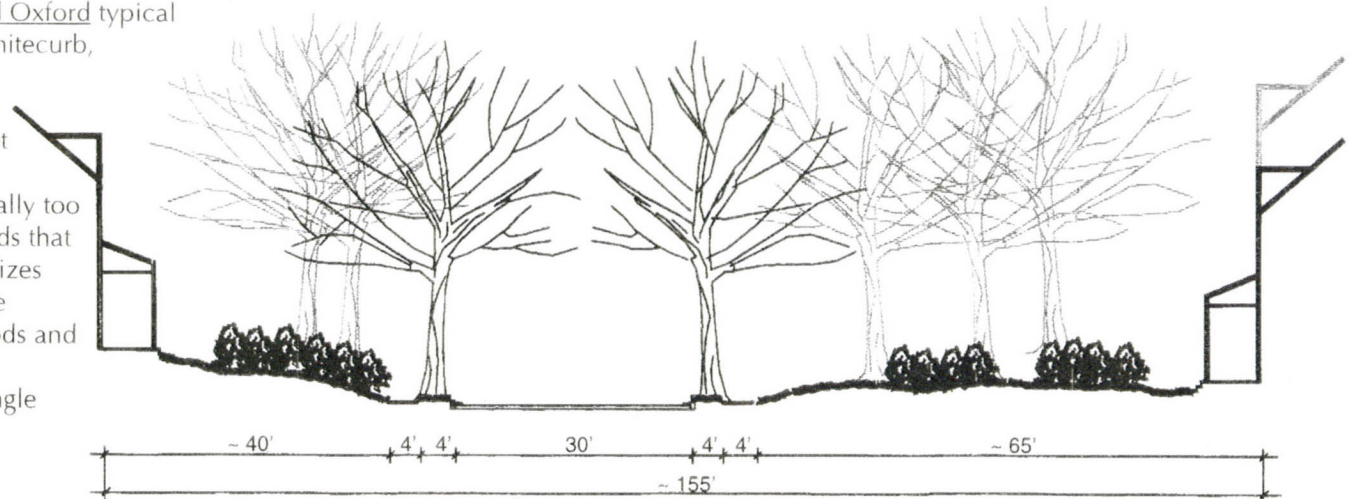
STREETScape

- ☛ streetscape cross sections illustrate typical patterns and dimensions which vary, primarily in areas along Ponce de Leon versus sections to the north of Ponce
- ☛ along Ponce de Leon 20' wide roadway is bordered by park space on one side and improved streetscape on other side, featuring granite curb, 4' planting space, 4' wide sidewalk, and spacious front yards planted with grass and clusters of large and small hardwoods



North Ponce de Leon
Druid Hills

- ☛ along Springdale, Oakdale, and Oxford typical pattern includes asphalt road, granite curb, planting space, sidewalk, front yard
- ☛ sidewalks on both sides of street throughout area, 4' width
- ☛ planting space - 4' width (typically too small for the many large hardwoods that grow there); combination of tree sizes used throughout this section of the character area (numerous dogwoods and variety of large hardwoods); trees frequently placed in clusters of single varieties, such as the picturesque grouping of beech trees on Oakdale



OTHER

- ☛ driveways - Many front yard spaces within character area are reminiscent of Olmsted's residential design plans, described in *Section 4.1.3*. These yards feature curved drives that seem to sweep across the grassed lawns, which are framed in planting beds. Most original drives are constructed of concrete; brick is also used; and concrete pavers are a more contemporary material. Many original drives feature concrete edges with a distinctive quarter-round profile.

THIS DRIVEWAY ON NORTH PONCE DE LEON IS BEING INAPPROPRIATELY STRAIGHTENED



EXAMPLE OF "SWEEPING" DRIVEWAY LAYOUT



Building CHARACTERISTICS:

Oakdale Road
Druid Hills

SCALE

- ☛ predominantly 1 1/2-2 story; highest concentration of 1 story located along East Lake, east of Ridgecrest

TYPE

- ☛ single-family detached dwellings

STYLE

- ☛ full range of early- to mid-twentieth century revival styles and some examples of the modernistic Craftsman and Prairie styles

MATERIAL

- ☛ predominantly brick veneer exterior; less common but well-represented are stucco and wood, such as weatherboard and shingles; fieldstone and granite used as accent materials

Roof FORM

- ☛ multiple variations of gable and hip; other types less common

Roof Pitch

- ☛ predominantly moderately-pitched roofs - low and very steeply pitched less common; flat/parapet roofs found in Spanish Revival style examples

MASSING

- ☛ tendency towards basic massing components, consisting primarily of main building block with projecting front and side porches and wings/bays; principal roof; symmetrical and asymmetrical facades both well-represented

DIRECTIONAL EMPHASIS

- ☛ tendency toward horizontal or neutral emphasis primarily due to horizontal arrangement of architectural elements such as moderately-pitched roofs, cornice lines, windows, and first story wings and side porches

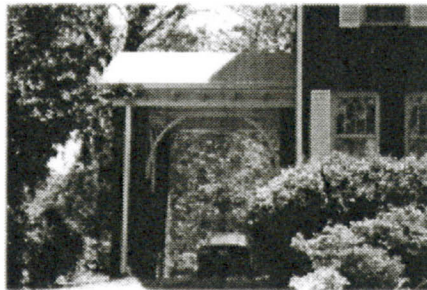
OTHER

- ☛ roof material - slate and clay tile common; important stylistic component
- ☛ accessory buildings - existing historic accessory buildings are not prominent site features and frequently are not visible from the public right-of-way
- ☛ porches - front-facade porches tend to be entrance bay only - 3 bays at most, rather than full-facade; side porches and porte cocheres very common and prominent feature
- ☛ windows/doors/dormers - great variety of types contributing to the stylistic expression of the buildings

Good example of clay tile roof on Oakdale Road.



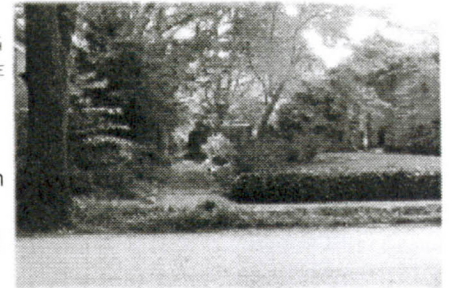
THE OPEN CHARACTER OF THIS PORTE COCHERE IS AN IMPORTANT FEATURE THAT SHOULD BE RETAINED



By-Walks

- ☛ characteristic feature in area north of The By-Way; by-walks provide pedestrian paths within centers of blocks and connect parallel roads; by-walks extend between Springdale, Oxford, and Oakdale

VIEW OF A BY-WALK RUNNING BETWEEN OAKDALE ROAD AND OXFORD ROAD



HISTORIC PLAT PATTERNS

- ☛ The original layout protected the watershed by ensuring that waterways would be situated within the large public open spaces and at the rear of private residential lots. This environmentally sound approach resulted in large scale lots (1-2 acres) in long rectangular shapes.

HIGH STYLE ARCHITECTURE

- ☛ Buildings are almost exclusively high style; stylistic detail plays an important role in defining buildings and the area as a whole.

PONCE DE LEON RAILROAD BRIDGE

- ☛ distinctive feature historically associated with the Druid Hills suburb

INTRUSIONS:

PLAT SUBDIVISIONS

- ☛ Non-historic development has intruded upon historic plat patterns through subdivision of existing large lots for additional development.

LARGE EMPTY LOT AT INTERSECTION OF THE BY-WAY AND OAKDALE ILLUSTRATES THREAT OF SUBDIVISION.



SPECIAL AREA FEATURES:

LINEAR PARKWAY

- ☛ signature feature in Olmsted's original plan; park spaces situated along Ponce de Leon; two parks Deepdene and Dellwood are within this character area and the Druid Hills Local Historic District

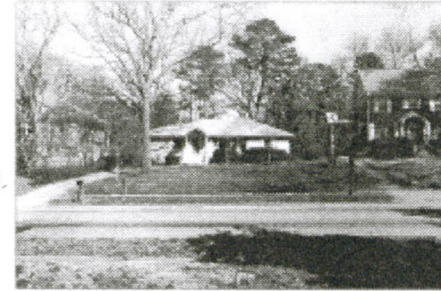
NEW CONSTRUCTION

- ❖ New properties have been built without regard for prevailing scale, setback, directional emphasis, and materials predominant in the **AREA OF INFLUENCE**.

DRIVEWAYS & PARKING

- ❖ Limited street widths limit on-street parking. Front yard spaces have been paved for parking and in an attempt to provide a turn-around space.

ONE-STORY
NON-HISTORIC
HOUSE ON
RIDGECREST -
STRONG
HORIZONTAL
EMPHASIS OUT-OF-
CHARACTER FOR
AREA



Guideline - Special features of the area such as the by-walks and the linear parkway should be maintained as public areas and protected from intrusions and alterations.

Recommendation - Preserve the historic plat pattern through respect for existing site development patterns and rhythms. Subdivision of large lots should be strongly discouraged.

12.2 DRUID HILLS NATIONAL REGISTER CHARACTER AREA #2

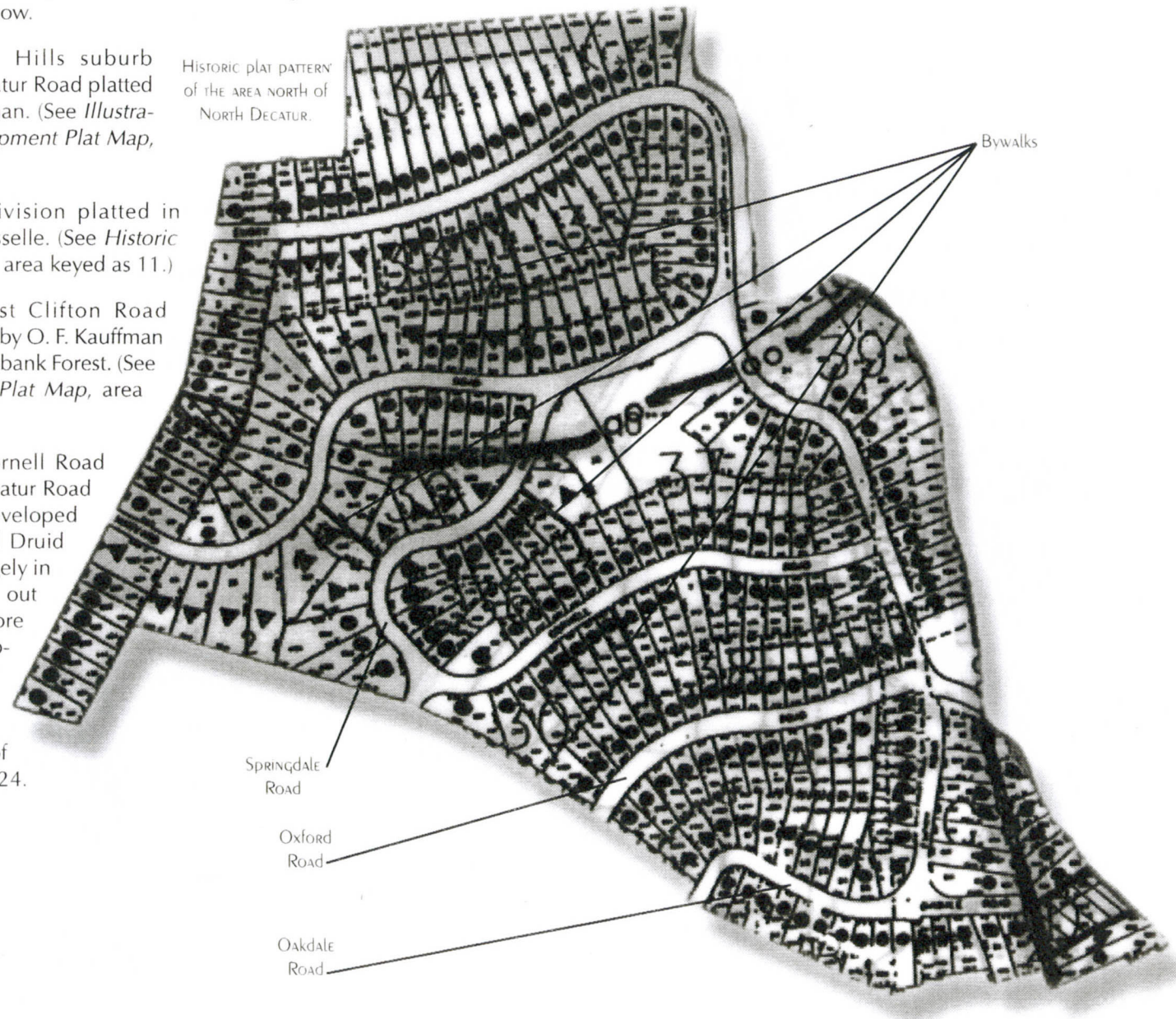
Character Area #2 includes a portion of the National Register District as described below.

1 Area of Druid Hills suburb north of North Decatur Road platted in 1915 by O. F. Kauffman. (See *Illustration D: Historic Development Plat Map*, area keyed as 3.)

2 Lullwater Subdivision platted in 1924 by G. M. Crusselle. (See *Historic Development Plat Map*, area keyed as 11.)

3 Clifton and East Clifton Road area platted in 1924 by O. F. Kauffman south to entrance to Fernbank Forest. (See *Historic Development Plat Map*, area keyed as 10.)

The Emory-Harvard-Cornell Road area north of North Decatur Road is the most densely developed area within the original Druid Hills suburb. Platted largely in 1915, the area was laid out with smaller lots and more modest houses. The subdivision of Lullwater Estates between Oxford and North Decatur Roads was carved out of the Candler estate in 1924.





At the center of Druid Hills is the large open space of the Druid Hills Golf Course that provides a park-like environment in the middle of the surrounding residential development. To the east of the golf course is the Clifton Road area, the final section of the original Druid Hills plan to be laid out and developed. Parts of Clifton Road had previously existed as a turnpike through the area. The majority of lots along Clifton and East Clifton Roads were platted in 1924 and appear to have been developed over a period of years. The area is a mixture of large to moderate to small-scale development as well as both historic and non-historic houses.

CHARACTER-DEFINING FEATURES

LANDSCAPE CHARACTERISTICS:

FRONT SETBACK

- ☛ area north of Decatur Road - 50' range
- ☛ Clifton Road area - 40-50' range

SIDE SETBACK

- ☛ 10'

TYPICAL LOT SIZE

- ☛ 70' wide x 350-500' deep range (lot width remains fairly consistent with depth of lots varying)

TYPICAL BUILDING SIZE

- ☛ variety in size of buildings within character area range
- VIEW OF REMNANTS OF STREET TREES ALONG EMORY ROAD

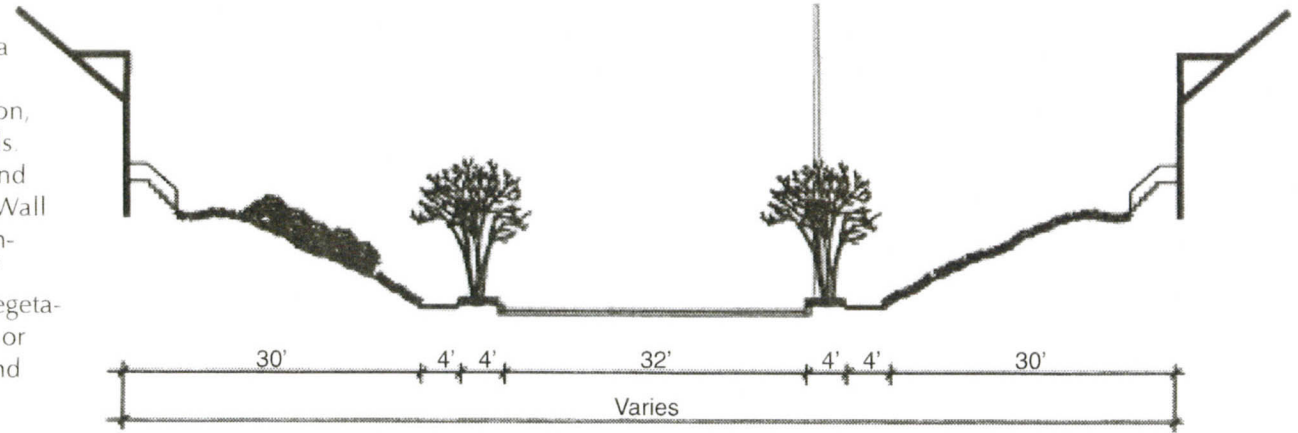


STREETSCAPE

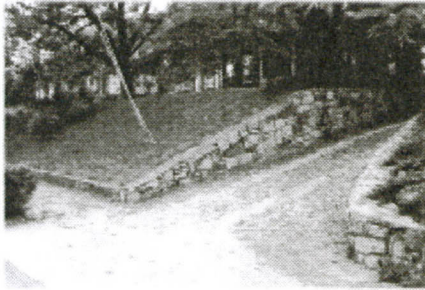
- ☛ north of N. Decatur Road streetscape section includes 30-32' wide roadway, granite curb, 4' planting space, 4' sidewalk, front yard
- ☛ Oxford Road is slightly wider than other roads in area
- ☛ East Clifton Road is more narrow, 22' roadway width, granite curb, 8' planting space, 4' sidewalk, front yard

OTHER

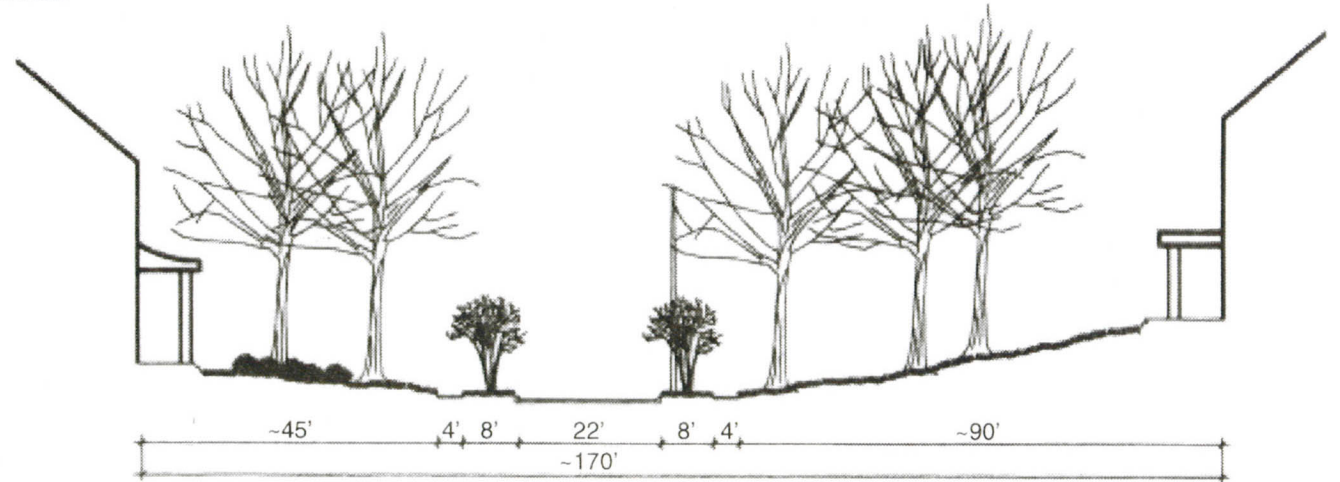
retaining walls - This character area contains the most severe topography within the local district. For that reason, the area contains more retaining walls. Most walls are only a few feet high and are situated flush with the sidewalk. Wall materials are typically stone, cast concrete, or concrete block. Walls are of modest design with little detailing. Vegetation behind walls varies (open lawns or banks covered with shrubs and ground covers).



Wall within CHARACTER AREA RETAINS OPEN FRONT YARD.



Oxford Road
Druid Hills



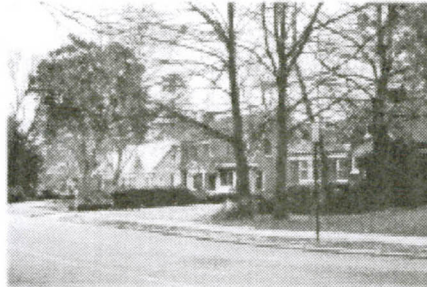
East Clifton Road
Druid Hills

BUILDING CHARACTERISTICS:

SCALE

- ☞ predominantly 1-2 story

View along
Oakdale showing
modest scale
development



TYPE

- ☞ single-family detached dwellings

STYLE

- ☞ full range of early- to mid-twentieth century revival styles as well as examples of the modernistic Craftsman style

MATERIAL

- ☞ predominantly brick veneer exterior; less common but well-represented are stucco and wood, such as weatherboard and shingles; fieldstone and granite used as accent materials

Roof FORM

- ☞ multiple variations of gable and hip; other types less common

Roof Pitch

- ☞ predominantly moderately-pitched roofs - low and very steeply pitched less common; flat/parapet roofs found in Spanish Revival style examples

MASSING

- ☞ tendency towards basic massing components, consisting primarily of main building block with projecting front and side porches and wings/bays; principal roof; symmetrical and asymmetrical facades both well-represented

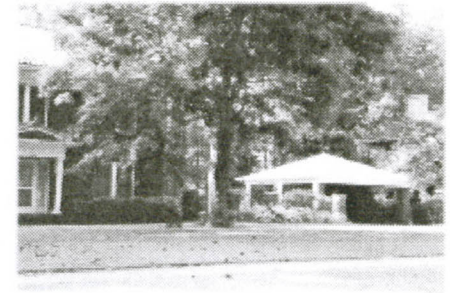
DIRECTIONAL Emphasis

- ☞ tendency toward horizontal or neutral emphasis primarily due to horizontal arrangement of architectural elements such as moderately-pitched roofs, cornice lines, windows, and first story wings and side porches

OTHER

- ☞ roof material - asphalt most common but clay tile and slate well represented
- ☞ porches - front-facade porches tend to be entrance bay only - 3 bays at most, rather than full-facade; integral and/or small side porches very common; porte cocheres less common than in Area #1 due to narrower lots
- ☞ windows/doors/dormers - great variety of types contributing to the stylistic expression of the buildings; non-functional windows used for decorative effect are common
- ☞ accessory buildings - existing historic accessory buildings are not prominent site features and frequently are not visible from the public right-of-way

NON-HISTORIC
GARAGE ON
CORNELL, VERY
VISIBLE AND
INCOMPATIBLE
WITH EXISTING
HISTORIC
STRUCTURE



SPECIAL AREA

FEATURES:

By-Walks

- ☞ Characteristic feature in Emory/Cornell/Harvard Road area; by-walks provide pedestrian paths within centers of blocks and allow access between roads; by-walk system is extensive in this area of the district, connecting Emory, Harvard, Cornell and Oxford Roads.

View of
by-walk BETWEEN
HARVARD AND
SPRINGDALE



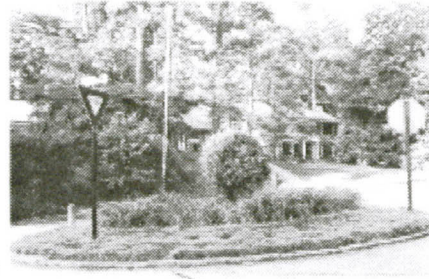
HISTORIC PLAT PATTERNS

- ☞ The original layout protected the watershed by ensuring that waterways would be situated at the rear of private residential lots. This environmentally sound approach resulted in rectangular shapes for most residential lots and a curvilinear arrangement of streets.

Traffic Islands

☛ The curvilinear arrangement of streets within this character area creates spacious areas at the intersections; there are a number of traffic islands throughout the district; many are landscaped and others offer opportunities for landscape enhancements.

EXAMPLE OF LANDSCAPED TRAFFIC ISLAND



Guideline - By-walks should be maintained as public areas and protected from intrusions and alterations.

Guideline - Traffic islands should be maintained as landscaped features and should not be paved.

High Style Architecture

☛ Buildings are almost exclusively high style; stylistic details play an important role in defining buildings and the area as a whole.

INTRUSIONS:

NEW CONSTRUCTION

☛ New properties have been built without regard for prevailing scale, setback, and materials.

LARGE REAR ADDITION MADE TO THIS HOUSE OUT OF SCALE WITH ORIGINAL BUILDING



Recommendation - Preserve the historic plat pattern through respect for existing site development patterns and rhythms. Subdivision of large lots should be strongly discouraged.

Adjoining DEVELOPMENT

☛ The area north of N. Decatur Road adjoins Emory University campus. Potential impact of large scale development within campus.

ON-SITE PARKING

☛ Width of roadways, particularly the narrow proportions of East Clifton Road, and heavy traffic limits on-street parking resulting in the addition of on-site parking; parking in front yard spaces can be intrusive to former landscaped character of these spaces.

VIEW OF THE CHARACTER AREA ALONG PEAVINE CREEK, LARGE SCALE BUILDING ON EMORY CAMPUS VISUALLY IMPACTS THE NEIGHBORHOOD

