

Chief Executive Officer  
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director  
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 1437 Briarcliff Rd. Atlanta, GA 30306

Applicant: Zach Ward E-Mail: Zach@wowbuilders.com

Applicant Mailing Address: 100 Deep Step Rd.  
Covington, GA 30014

Applicant Phone(s): 678.893.1712 Fax: N/A

Applicant's relationship to the owner: Owner  Architect:  Contractor/Builder  Other

Owner(s): Zhana Rubin E-Mail: almizhe@yahoo.com  
E-Mail: \_\_\_\_\_

Owner(s) Mailing Address: 1437 Briarcliff Rd.  
Atlanta, GA 30306

Owner(s) Telephone Number: 425.698.5987

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1929

Nature of work (check all that apply):

- New construction  Demolition  Addition  Moving a building  Other building changes
- New accessory building  Landscaping  Fence/Wall  Other environmental changes
- Sign installation or replacement  Other

Description of Work:

- Demo detached carport
- Demo rear roof area for addition
- Construct approx. 1500 sq ft rear addition
- Renovate portion of existing home interior
- Update exterior siding, trim & windows

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

Zach Ward 6/18/19  
Signature of Applicant/Date

DEPARTMENT OF PLANNING & SUSTAINABILITY

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is **not** the owner of the property.

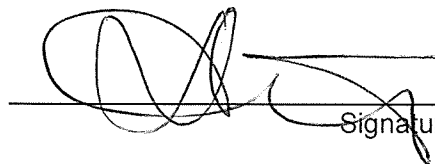
(I) / (We),

Zhana T. Rubin

being (owner) (owners) of the property 1437 BRIARCLIFF RD ATLANTA GA 30306,

hereby delegate authority to NEW HOMES AND RENOVATIONS

to file an application in (my) (our) behalf.

 6/19/2019  
Signature of Owner/Date

**Please review the following information**

**Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.**

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

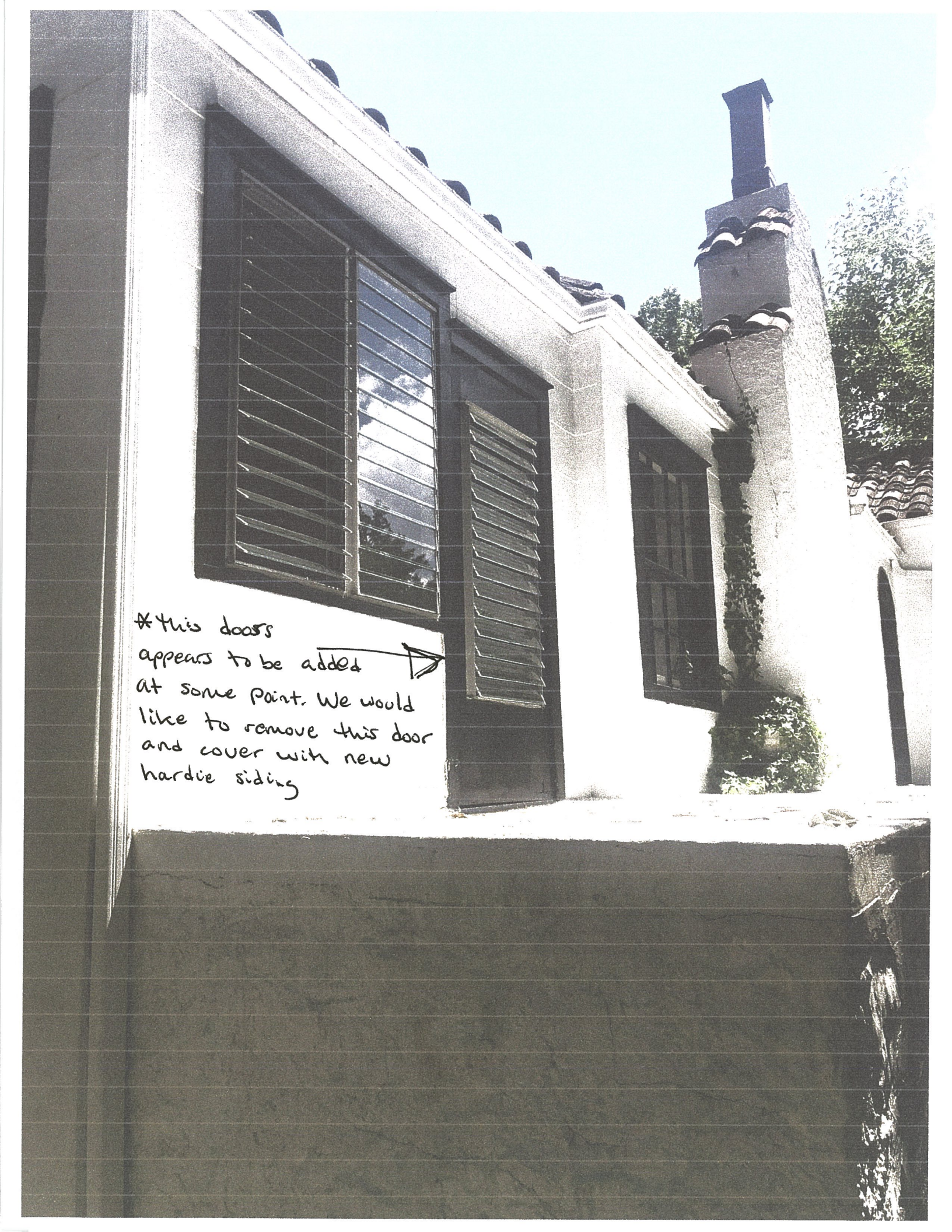
Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.



Picture of existing home

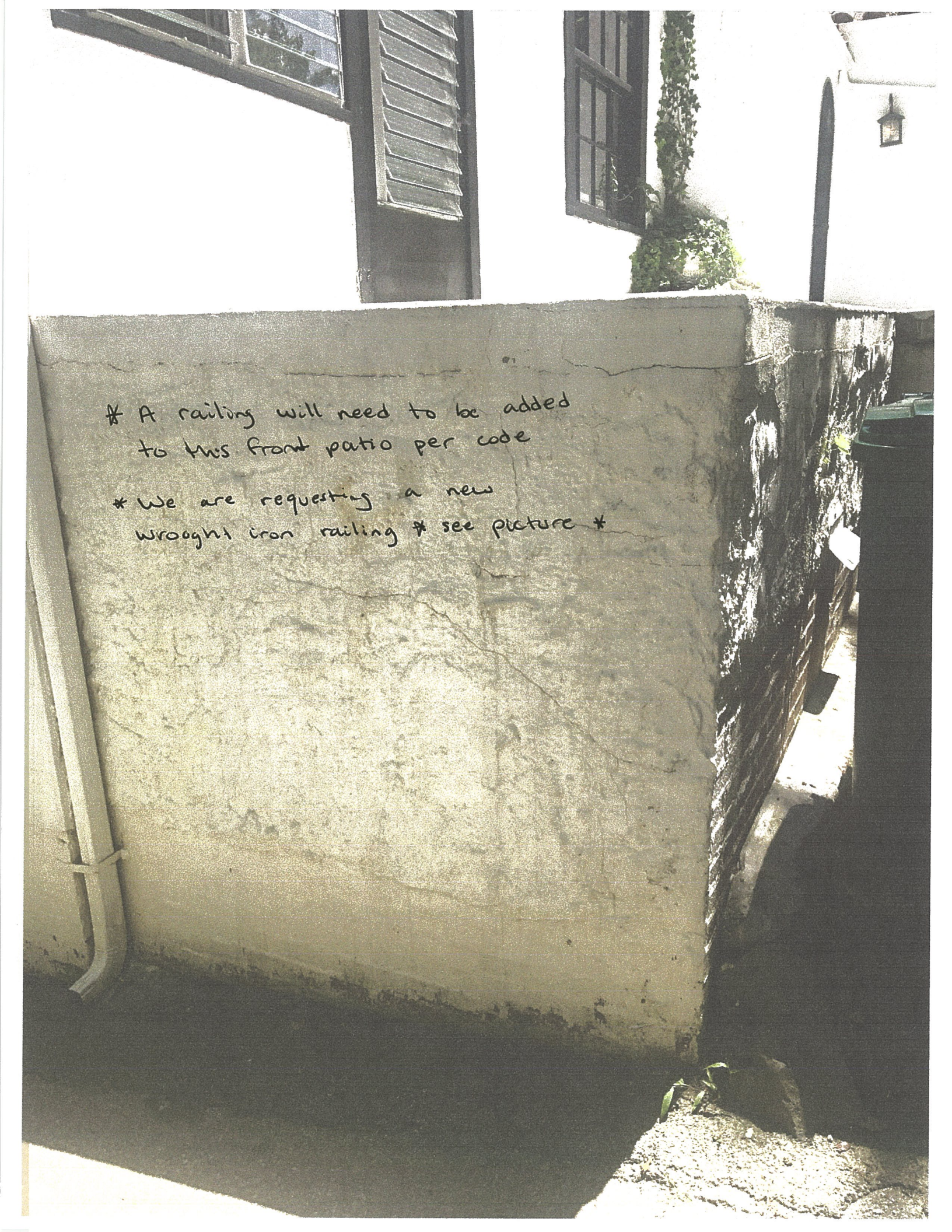
\* All windows to be replaced with new wood windows unless we are able to upgrade to metal clad or pvc windows





\*this door  
appears to be added  
at some point. We would  
like to remove this door  
and cover with new  
hardie siding



A photograph of a concrete wall with handwritten text. The wall is light-colored and shows signs of wear, including a vertical crack and some staining. In the background, there are windows with dark frames and shutters, and a small lantern-style light fixture on a white wall. The lighting is bright, suggesting daytime.

\* A railing will need to be added  
to this front patio per code

\* We are requesting a new  
wrought iron railing \* see picture \*



\* Another picture of the  
front patio



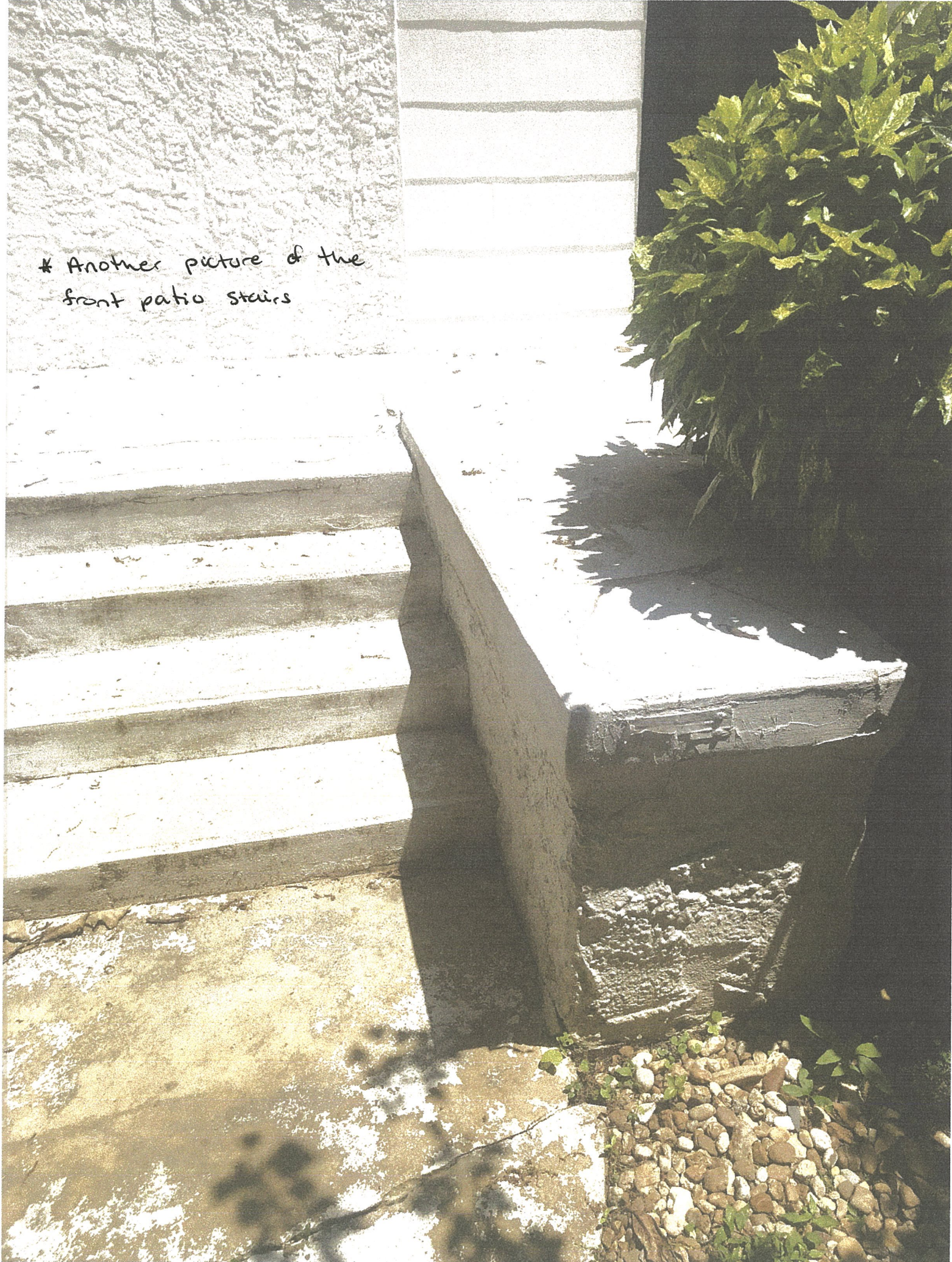




\* Left side of  
front patio stairs  
\* Requesting a  
travertine tile for  
the patio stairs and  
top  
\* see picture \*



\* Another picture of the  
front patio stairs





\* sample picture of wrought iron railing



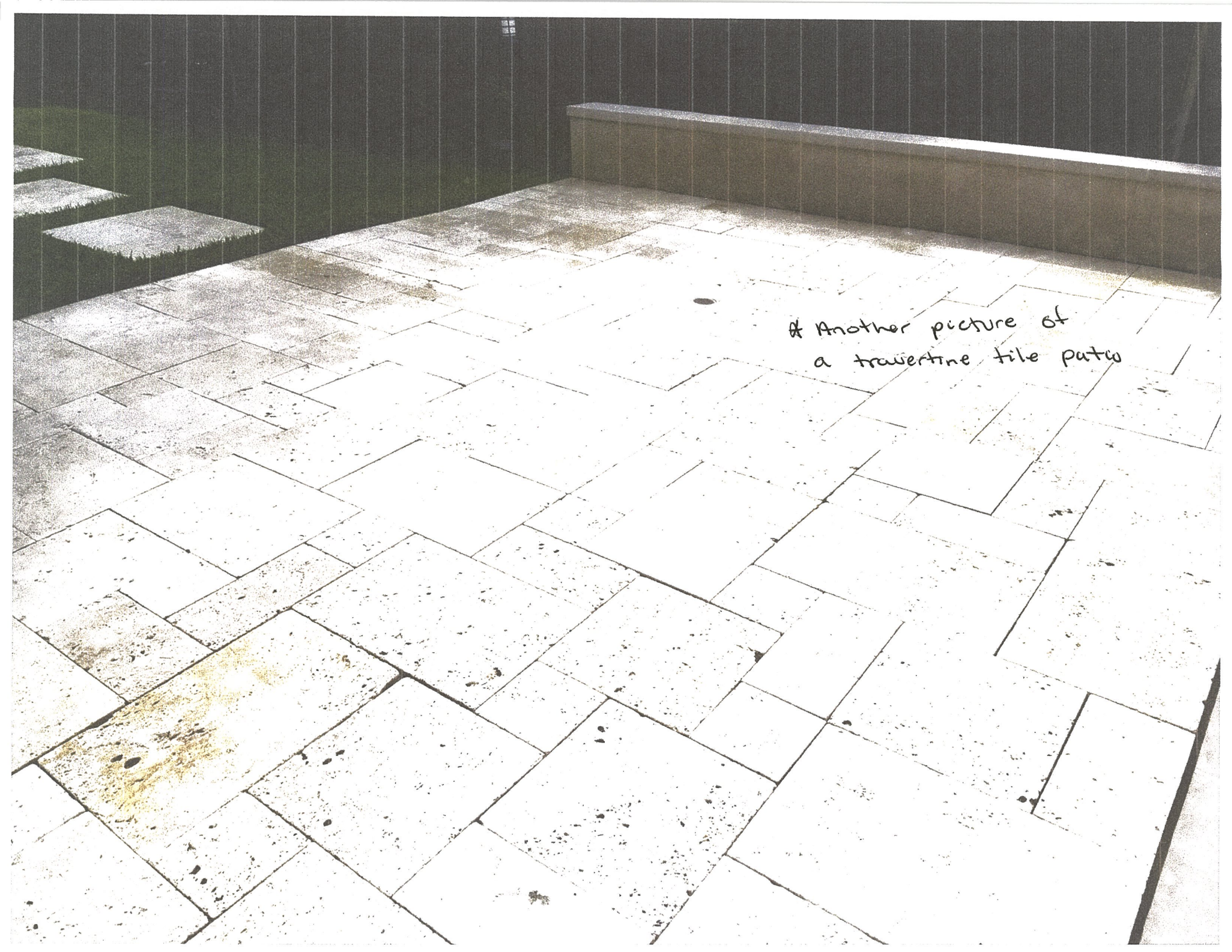


\* Sample picture of travertine tile to be used on the front patio



travertine mart



A photograph of a travertine tile patio. The tiles are light-colored with dark spots and are laid in a rectangular pattern. In the background, there is a dark wall with vertical paneling and a concrete ledge. To the left, there are concrete steps. A small circular drain is visible in the middle of the patio. A handwritten caption in black ink is overlaid on the right side of the image.

# Another picture of  
a travertine tile patio



\* Rear of the house where new addition will be added















PORSCHE  
Cayenne

2019  
JUN 10 2019



\* side picture of the detached carport

\* Carport is not structurally sound for vehicles

\* Requesting demo of carport

\* Carport is in location of new addition



\* Picture of carport crawlspace





\* Interior picture of carport







NEW WORLD  
VAN LINES

WE SERVE  
AT OUR FOUNTAIN

A BIG OK







~1000 FT FROM Peavine Creek

FLOOD HAZARD STATEMENT

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

PANEL 13089C0062J

EFFECTIVE DATE: MAY 16, 2013

ZONE "X"



PROPERTY ADDRESS:  
1437 Briarcliff Rd NE  
Atlanta, GA 30306

LAND AREA:  
12025 SF = 0.276 AC

PLAT PREPARED FOR:

1437 Briarcliff Rd NE

LOT 9 BLOCK 33 SUBDIVISION DRUID HILLS

LAND LOT 54 18th DISTRICT

BY:

DeKALB COUNTY, GEORGIA

FIELD DATE: 3-20-2019

MF

LOCATED IN UNINCORP

DRAWN DATE: 3-25-2019

SS

REFERENCE: PLAT BOOK 7, PAGE 77  
REFERENCE: DEED BOOK 26203, PAGE 750

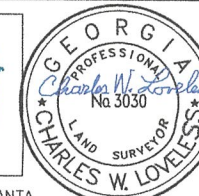
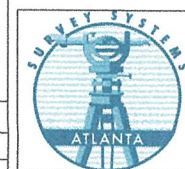
ALL MATTERS OF TITLE ARE EXCEPTED ~ NOT FOR RECORDING

SURVEY SYSTEMS & ASSOC., INC. ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR OMISSIONS ON DEMO OR SITE PLANS. IT IS THE CLIENT'S RESPONSIBILITY TO REVIEW PLANS FOR COMPLETENESS AND ACCURACY. ANY REDLINES, COMMENTS, CORRECTIONS, ALTERATIONS, ETC. (FROM ANYONE EXCEPT THE CLIENT) SHALL BE DEEMED AS BILLABLE AND ADDITIONAL CHARGES SHALL APPLY.

REVISIONS:

24 HR CONTACT:

Jason Albert  
678.390.4655  
jason.bonsaidesign@gmail.com



SURVEY SYSTEMS ATLANTA  
2156 W Park Ct, Ste D, Stone Mtn, GA 30087  
COA #LSF000867, info@SurveySystemsAtlanta.com  
Cell 678-591-6064 ~ Office 404-760-0010

PORTIONS OF THIS PLAN ARE SCHEMATIC IN NATURE AND HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEYING METHODS. NO RELIANCE UPON THE ACCURACIES OF THE SIZE, SHAPE NOR LOCATION OF THE PLANIMETRICS SHOWN HEREON SHALL BE AFORDED IN ANY MANNER. NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

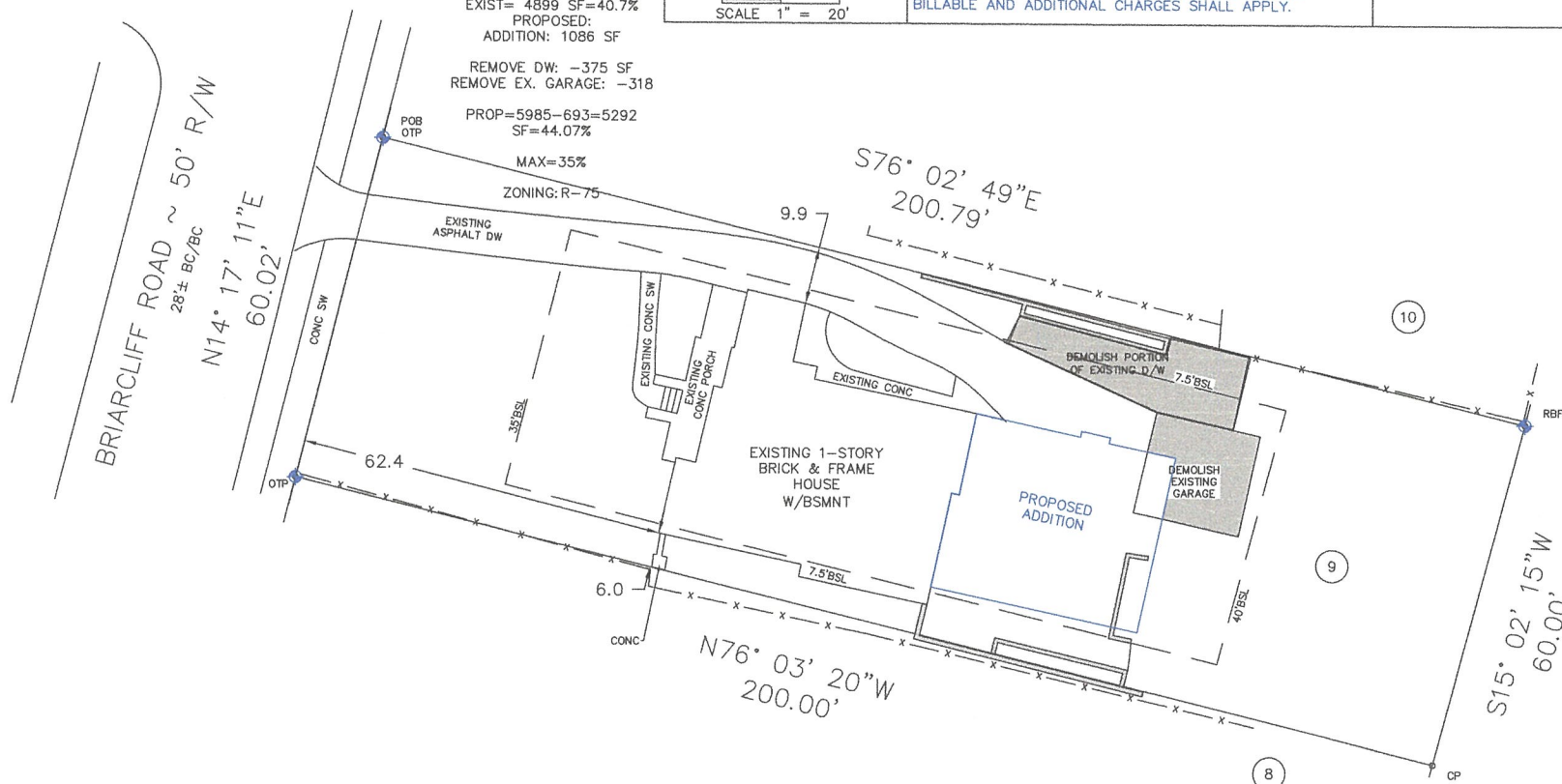
IMPERVIOUS AREA:  
DW: 2532 SF  
SW: 79 SF  
PORCH: 206 SF  
HOUSE: 1613 SF  
SIDE CONC: 142 SF  
GARAGE: 318 SF  
PAD: 9 SF  
EXIST= 4899 SF=40.7%  
PROPOSED:  
ADDITION: 1086 SF  
REMOVE DW: -375 SF  
REMOVE EX. GARAGE: -318

PROP=5985-693=5292  
SF=44.07%

MAX=35%

ZONING: R-75

0 20  
SCALE 1" = 20'





~1000 FT FROM Peavine Creek

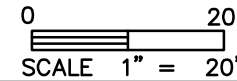
DISTURBED AREA  
3990 SF=  
0.0916 AC

IMPERVIOUS AREA:  
DW: 2532 SF  
SW: 79 SF  
PORCH: 206 SF  
HOUSE: 1613 SF  
SIDE CONC: 142 SF  
GARAGE: 318 SF  
PAD: 9 SF  
EXIST= 4899 SF=40.7%  
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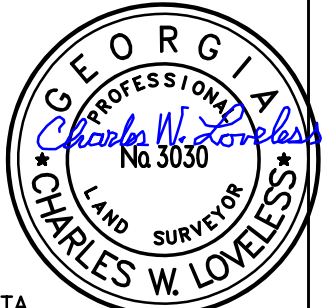
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1437 Briarcliff Rd NE  
Atlanta, GA 30306

LAND AREA:  
12025 SF = 0.276 AC



SITE PLAN PG 1 OF 2 PREPARED FOR:  
1437 Briarcliff Rd NE

|  |   |
|--|---|
| LOT 9 BLOCK 33 SUBDIVISION DRUID HILLS |   |
| LAND LOT 54                            | 18th DISTRICT   |
| DeKALB COUNTY, GEORGIA                 | FIELD DATE: 3-20-2019 MF                              |
| LOCATED IN UNINCORP                    | DRAWN DATE: 3-25-2019 SS                              |
| REFERENCE: PLAT BOOK 7, PAGE 77        | ALL MATTERS OF TITLE ARE EXCEPTED ~ NOT FOR RECORDING |
| REFERENCE: DEED BOOK 26203, PAGE 750   |   |



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REVISIONS:  
7/2/2019

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jason.bonsaidesign@gmail.com

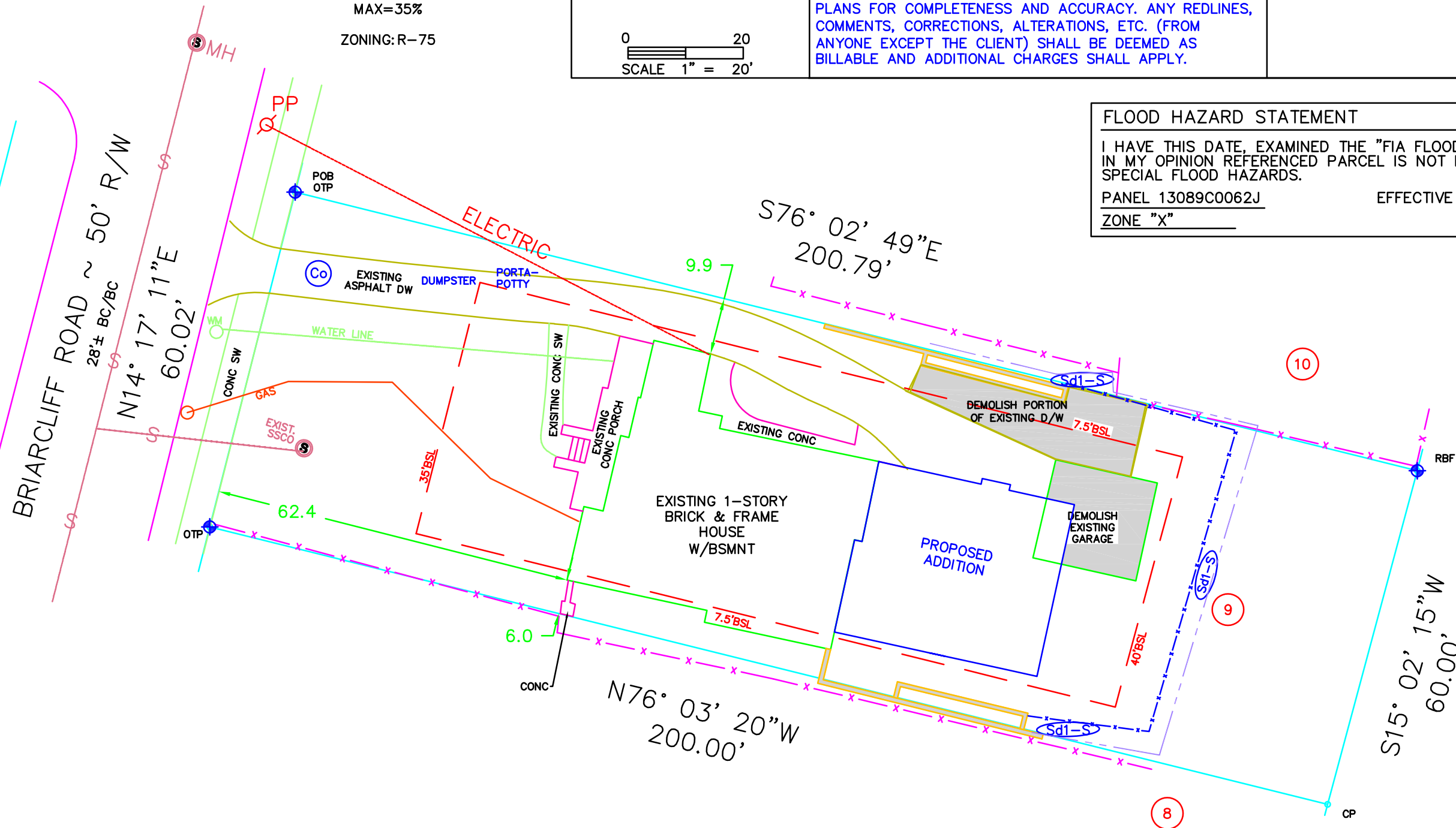
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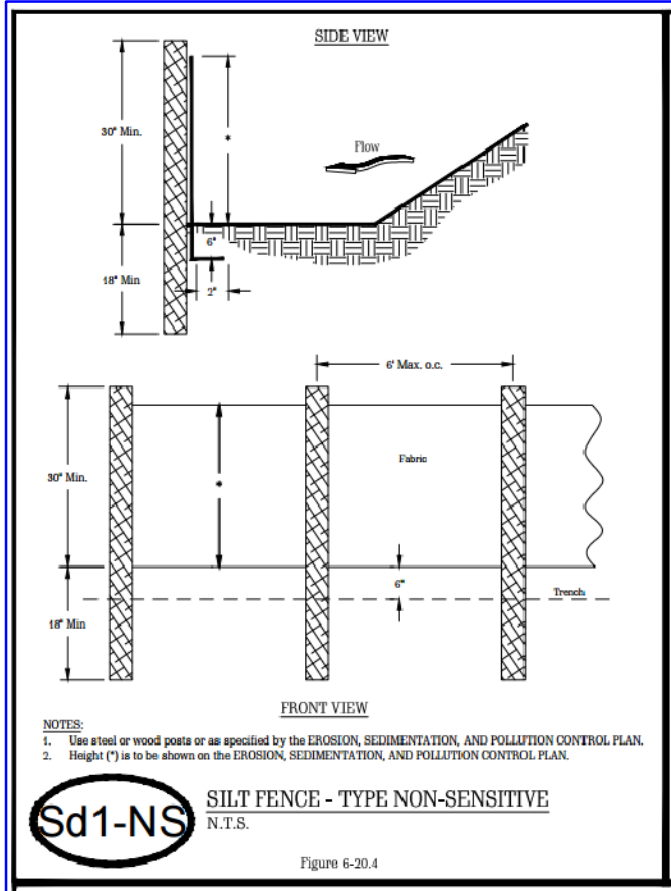
ZONE "X"



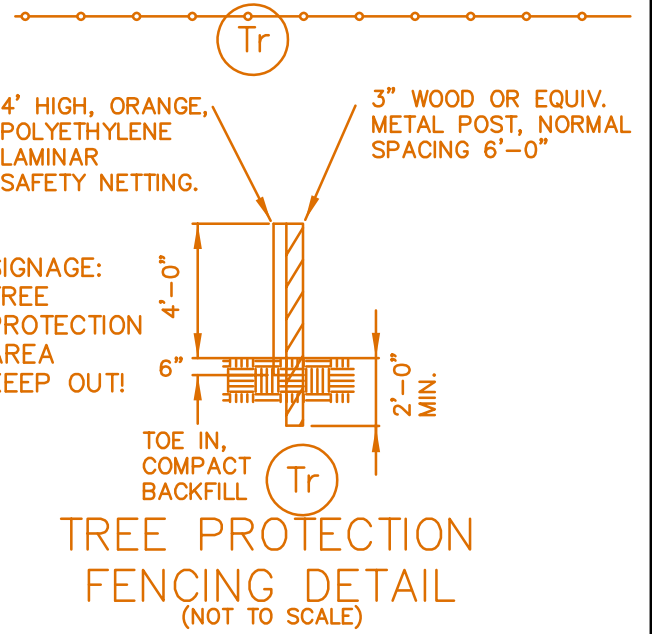




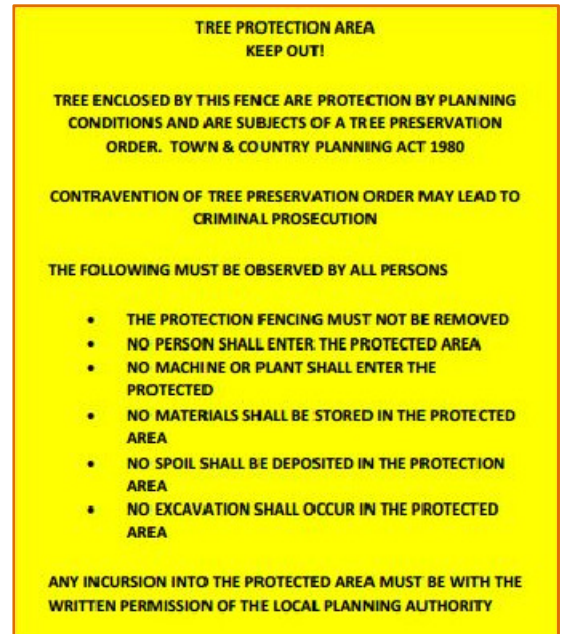
**IF YOU DIG GEORGIA...  
CALL US FIRST!  
UTILITIES PROTECTION CENTER  
811  
IT'S THE LAW  
1-800-282-7411**



INDICATES TREE PROTECTION FENCE



TREE PROTECTION SIGNS are to be placed at least every 50' along the length of the Tree Protection Fence. The signs should be in a language so that all workers on site are able to understand.



The installation of erosion and sedimentation control measures and practices shall occur prior to or concurrent with land disturbing activities. Erosion and sedimentation control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion and sediment control additional erosion and sediment control measures shall be implemented to control or treat the sediment source. Additional erosion controls shall be installed as deemed necessary by the on-site inspector. All lots/sites with 2' of fill or greater will require a compaction certificate by a professional registered engineer prior to a building permit and/or prior to footers being poured. Locate and field stake all utilities, easements, pipes flood limits, stream buffers, and tree save areas prior to any land disturbing activities. All tree protection areas to be protected from sedimentation. All tree protection devices to be installed prior to land disturbance and maintained until final landscaping. All tree protection fencing to be inspected daily and repaired or replaced as needed. A final as-built lot survey required prior to issuance of Certificate of Occupancy. A final as-built water quality certificate required prior to Certificate of Occupancy. Dumpsters and/or temporary sanitary facilities shall not be located in street or tree protection area or right-of-way. Water quality BMP(s) to be installed at the time of final landscaping. All collected water shall be directed to the water quality BMP(s). No water quality BMP(s) allowed in undisturbed stream buffers or tree save/critical root zone. Work hours and construction deliveries are: o Monday-Friday 7:00am-7:00pm o Saturday 8:00am-5:00pm I Charles W. Loveless certify under penalty of law that this plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my direct supervision.

DeKALB COUNTY - NOTES

1. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
2. ALL TREES TO REMAIN AND HAVE PROPERTY PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
3. ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
4. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET OR TREE PROTECTION AREA OR OTHER RIGHT OF WAY.
5. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR(S).
6. CALL FOR FINAL INSPECTION AT (404) 371-4913

EROSION CONTROL LEGEND  
APPLY TO ALL DISTURBED AREAS

|     |   |
|-----|---|
| Ds1 | A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL |
| Ds2 | ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES                   |
| Ds3 | ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS   |
| Ds4 | DISTURBED AREA STABILIZATION (WITH SODDING)   |
| Du  | CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON LAND DISTURBING ACTIVITIES  |

CUT-OFF & CAP ALL UTILITIES AT THE PROPERTY LINE FOR FUTURE USE

NO UTILITY WORK PROPOSED

NO GRADING  
NO CUT, NO FILL

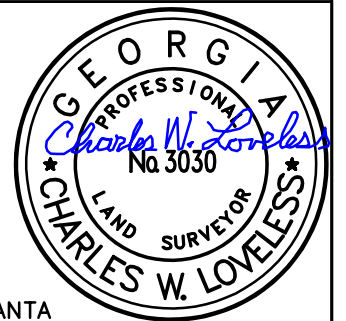
NO TREES REMOVED  
PROTECT ALL TREES

NO PROPOSED GRADING EXCEEDING TWO (2)'. CONTOURS SHOWN ARE EXISTING.  
MAX 3H:1V SLOPES

USE EXIST DW AS CONSTRUCTION OUTLET

DEMO/ SITE PLAN STANDARD DETAILS

|                            |   |
|----------------------------|---|
| LOT BLOCK UNIT SUBDIVISION |   |
| LAND LOT DISTRICT          | BY:   |
| DeKALB COUNTY, GEORGIA     | FIELD DATE:   |
| LOCATED IN UNINCORP        | DRAWN DATE:   |
| REFERENCE: PLAT BOOK, PAGE | ALL MATTERS OF TITLE ARE EXCEPTED ~ NOT FOR RECORDING |
| REFERENCE: DEED BOOK, PAGE |   |



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1" = 30'



# ADDITION & REMODEL @: 1437 Briarcliff Rd NE Atlanta, GA 30306

## RELEASED FOR CONSTRUCTION

PROJECT MANAGER  
LAWRENCE  
LAWRENCE@LAWRENCE.COM

DESIGN BY  
JASON ALBERT  
310 N. WOOD ST  
ATLANTA, GA 30309

**GENERAL NOTES:**

1. ALL MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CODES, LAWS AND REGULATIONS OF FULTON COUNTY INCLUDING BUT NOT LIMITED TO: PLUMBING, MECHANICAL, ELECTRICAL, AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.

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**LOCATION MAP**

**100 BEDROOM**

|                           |                          |
|---------------------------|--------------------------|
| FINISHED FLOOR            | 720.00 FT                |
| PROPOSED FLOOR            | 729.00 FT                |
| TOTAL PROPOSED HEAT       | 2,239.00 FT <sup>2</sup> |
| TOTAL PROPOSED UNDER ROOF | 5,888.00 FT <sup>2</sup> |

**FOUNDATION WALLS:**

1. FOUNDATION WALLS SHALL BE CONCRETE OR CMU. FOUNDATION WALLS SHALL BE CONCRETE OR CMU. FOUNDATION WALLS SHALL BE CONCRETE OR CMU.

2. FOUNDATION WALLS SHALL BE CONCRETE OR CMU. FOUNDATION WALLS SHALL BE CONCRETE OR CMU. FOUNDATION WALLS SHALL BE CONCRETE OR CMU.

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4. FOUNDATION WALLS SHALL BE CONCRETE OR CMU. FOUNDATION WALLS SHALL BE CONCRETE OR CMU. FOUNDATION WALLS SHALL BE CONCRETE OR CMU.

**ROOFING AND MOISTURE PROTECTION:**

1. ROOFING SHALL BE AS SHOWN OR AS NOTED. ROOFING SHALL BE AS SHOWN OR AS NOTED. ROOFING SHALL BE AS SHOWN OR AS NOTED.

2. ROOFING SHALL BE AS SHOWN OR AS NOTED. ROOFING SHALL BE AS SHOWN OR AS NOTED. ROOFING SHALL BE AS SHOWN OR AS NOTED.

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4. ROOFING SHALL BE AS SHOWN OR AS NOTED. ROOFING SHALL BE AS SHOWN OR AS NOTED. ROOFING SHALL BE AS SHOWN OR AS NOTED.

**FRAMING:**

1. ALL FRAMING SHALL BE AS SHOWN OR AS NOTED. ALL FRAMING SHALL BE AS SHOWN OR AS NOTED. ALL FRAMING SHALL BE AS SHOWN OR AS NOTED.

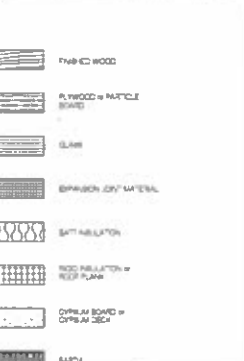
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4. ALL FRAMING SHALL BE AS SHOWN OR AS NOTED. ALL FRAMING SHALL BE AS SHOWN OR AS NOTED. ALL FRAMING SHALL BE AS SHOWN OR AS NOTED.

**MATERIAL SCHEDULE:**

|                          |                         |
|--------------------------|-------------------------|
| BRICK                    | FRAMING WOOD            |
| CONCRETE BLOCK           | PLUMBING MATERIAL BOARD |
| GLASS                    | GLASS                   |
| EXPANSION JOINT MATERIAL | GLASS                   |
| GLASS                    | GLASS                   |
| GLASS                    | GLASS                   |
| GLASS                    | GLASS                   |
| GLASS                    | GLASS                   |
| GLASS                    | GLASS                   |



**ABBREVIATIONS:**

| SYMBOL | DESCRIPTION |
|--------|-------------|
| A-C    | ARCHITECT   |
| E-C    | ELECTRICAL  |
| M-C    | MECHANICAL  |
| P-C    | PLUMBING    |
| S-C    | STRUCTURAL  |
| T-C    | TRUCKING    |
| V-C    | VERTICAL    |
| W-C    | WOOD        |
| Z-C    | ZONING      |

**ABBREVIATIONS:**

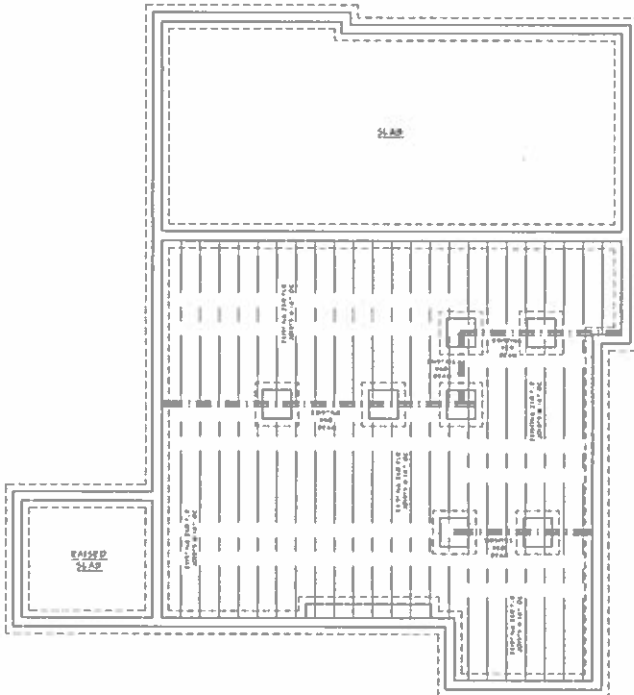
|      |                       |
|------|-----------------------|
| C    | CAST IRON             |
| CL   | CLAY TILE             |
| CMU  | CONCRETE MASONRY UNIT |
| CONC | CONCRETE              |
| CR   | CRACK RESISTANT       |
| CS   | CERAMIC TILE          |
| CT   | CERAMIC TILE          |
| CU   | COPPER                |
| DA   | DRY GYPSUM BOARD      |
| DB   | DRY BATT INSULATION   |
| DC   | DRY GYPSUM BOARD      |
| DE   | DRY GYPSUM BOARD      |
| DF   | DRY GYPSUM BOARD      |
| DG   | DRY GYPSUM BOARD      |
| DH   | DRY GYPSUM BOARD      |
| DI   | DRY GYPSUM BOARD      |
| DJ   | DRY GYPSUM BOARD      |
| DK   | DRY GYPSUM BOARD      |
| DL   | DRY GYPSUM BOARD      |
| DM   | DRY GYPSUM BOARD      |
| DN   | DRY GYPSUM BOARD      |
| DO   | DRY GYPSUM BOARD      |
| DP   | DRY GYPSUM BOARD      |
| DQ   | DRY GYPSUM BOARD      |
| DR   | DRY GYPSUM BOARD      |
| DS   | DRY GYPSUM BOARD      |
| DT   | DRY GYPSUM BOARD      |
| DU   | DRY GYPSUM BOARD      |
| DV   | DRY GYPSUM BOARD      |
| DW   | DRY GYPSUM BOARD      |
| DX   | DRY GYPSUM BOARD      |
| DY   | DRY GYPSUM BOARD      |
| DZ   | DRY GYPSUM BOARD      |

**BONSAI ARCHITECTURAL DESIGNS LLC**  
7880 FLOYD LANE, GAINESVILLE GA 30506

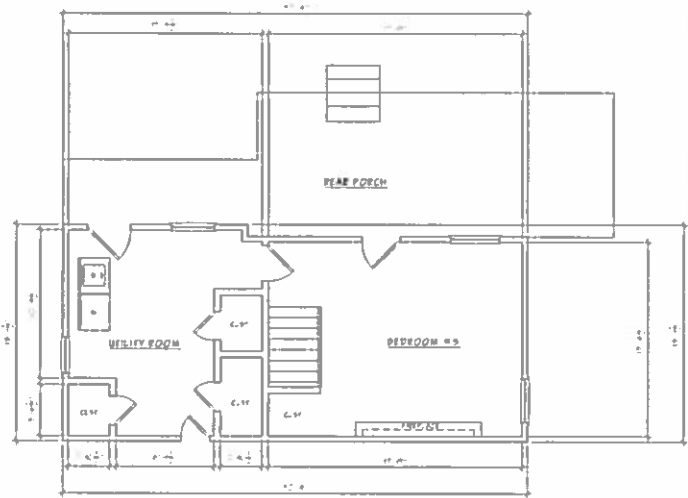
PHONE: 404.903.0124  
EMAIL: COREY.BONSAIDESIGN@GMAIL.COM

|    |                  |         |             |
|----|------------------|---------|-------------|
| NO | REVISED APPROVAL | DATE    | DESCRIPTION |
|    |                  | 4/25/19 |             |
|    |                  |         | CA          |
|    |                  |         | CS          |

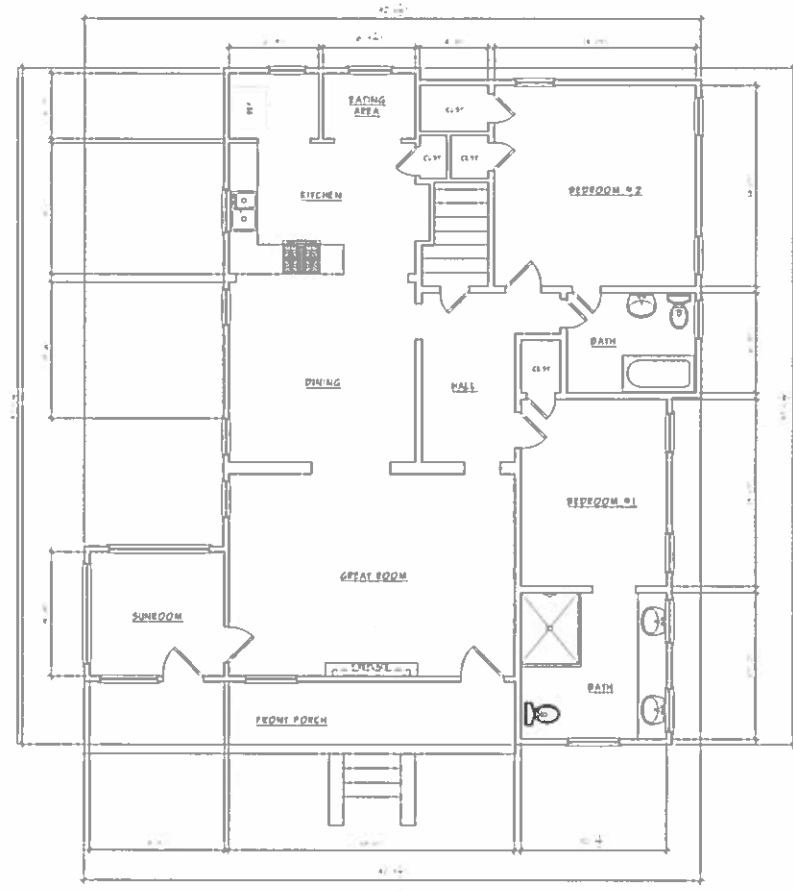




1 EXISTING FOUNDATION PLAN



1 EXISTING BASEMENT FLOOR PLAN



1 EXISTING MAIN FLOOR PLAN

ENGINEER STAMP & SEAL



DESIGNED BY  
**BONSAI DESIGN**



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JASON BONHAYRE SANGHANI, CDR

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PROJECT NUMBER:  
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eng@bonnai.com

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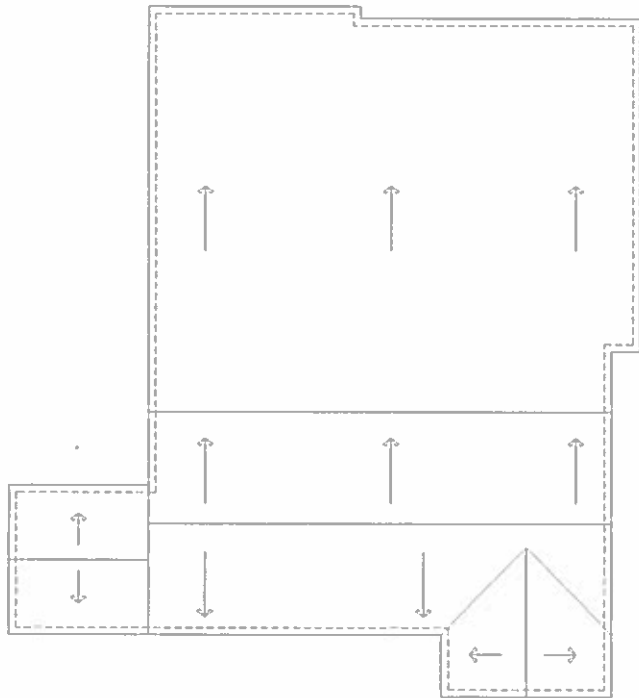
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CONSTRUCTION

APRIL 25, 2019

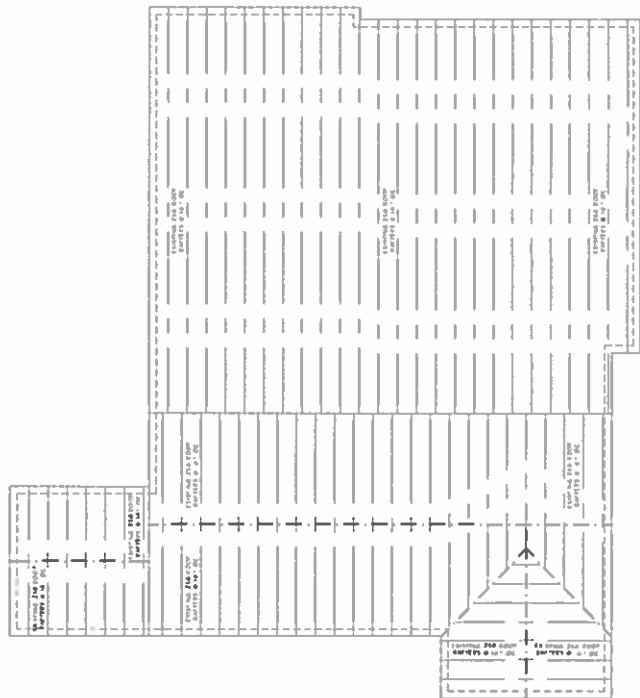
SHEET TITLE:  
EXISTING  
FOUNDATION &  
FLOOR PLANS

A.I





1 EXISTING ROOF PLAN



1 EXISTING ROOF FRAMING PLAN

ENGINEER STAMP & SEAL



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DOCUMENT PHASE:

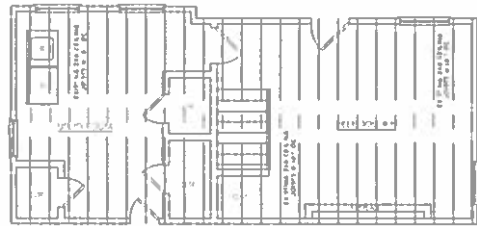
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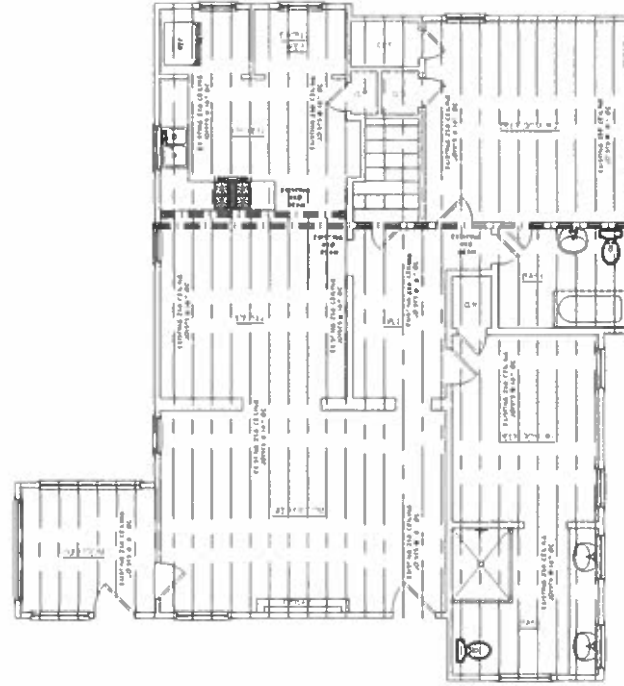
EXISTING ROOF &  
ROOF FRAMING PLAN

A.2





1 EXISTING BASEMENT CEILING FRAMING PLAN  
4'-0" = 1'-0"



1 EXISTING MAIN FLOOR CEILING FRAMING PLAN  
4'-0" = 1'-0"

ENGINEER STAMP & SEAL



DRAWINGS BY  
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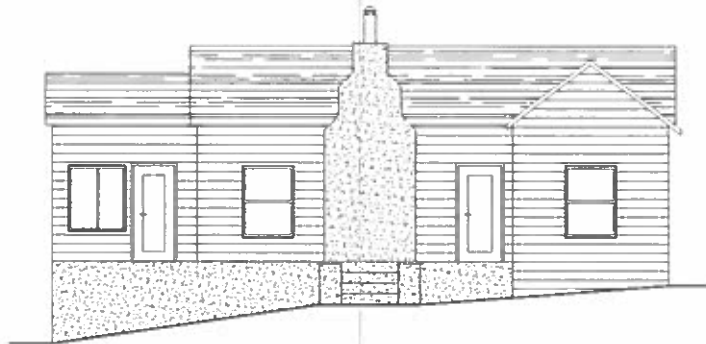
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**RELEASED FOR CONSTRUCTION**

APRIL 25, 2019  
SHEET TITLE:

EXISTING CEILING FRAMING PLANS

A.3





1 EXISTING FRONT ELEVATION



3 EXISTING REAR ELEVATION

ENGINEER STAMP & SEAL



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DOCUMENT PHASE:

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CONSTRUCTION

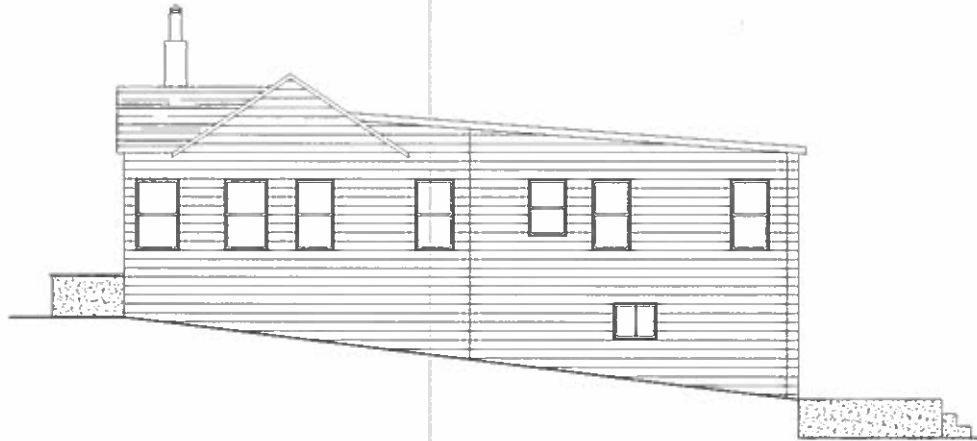
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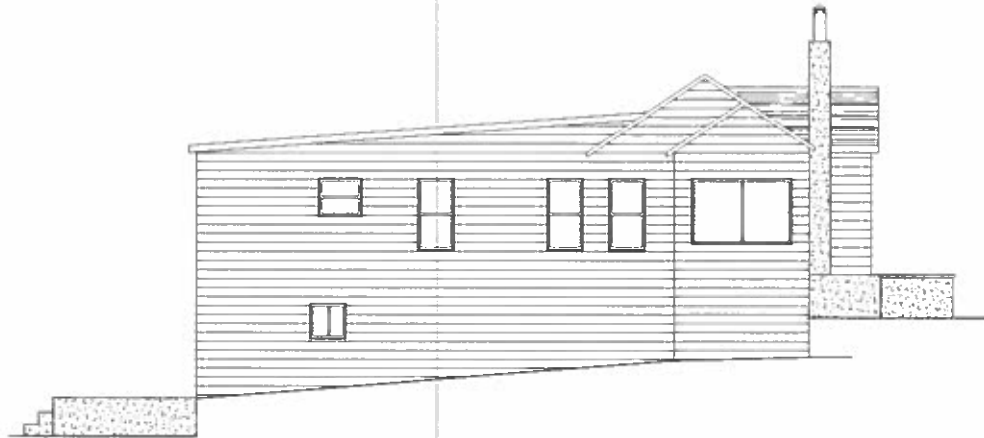
EXISTING FRONT &  
REAR ELEVATION

A.4





② EXISTING RIGHT SIDE ELEVATION  
1/4" = 1'-0"



④ EXISTING LEFT SIDE ELEVATION  
1/4" = 1'-0"

ENGINEER STAMP & SEAL



DRAWINGS BY  
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JASON ALBERT  
jason@bonsai.com

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DOCUMENT PHASE:

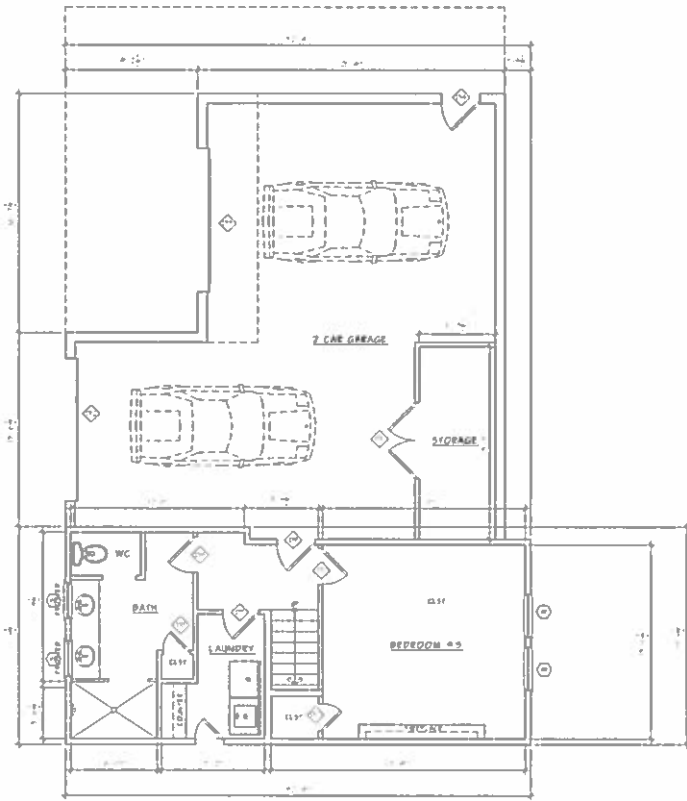
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APRIL 29, 2019

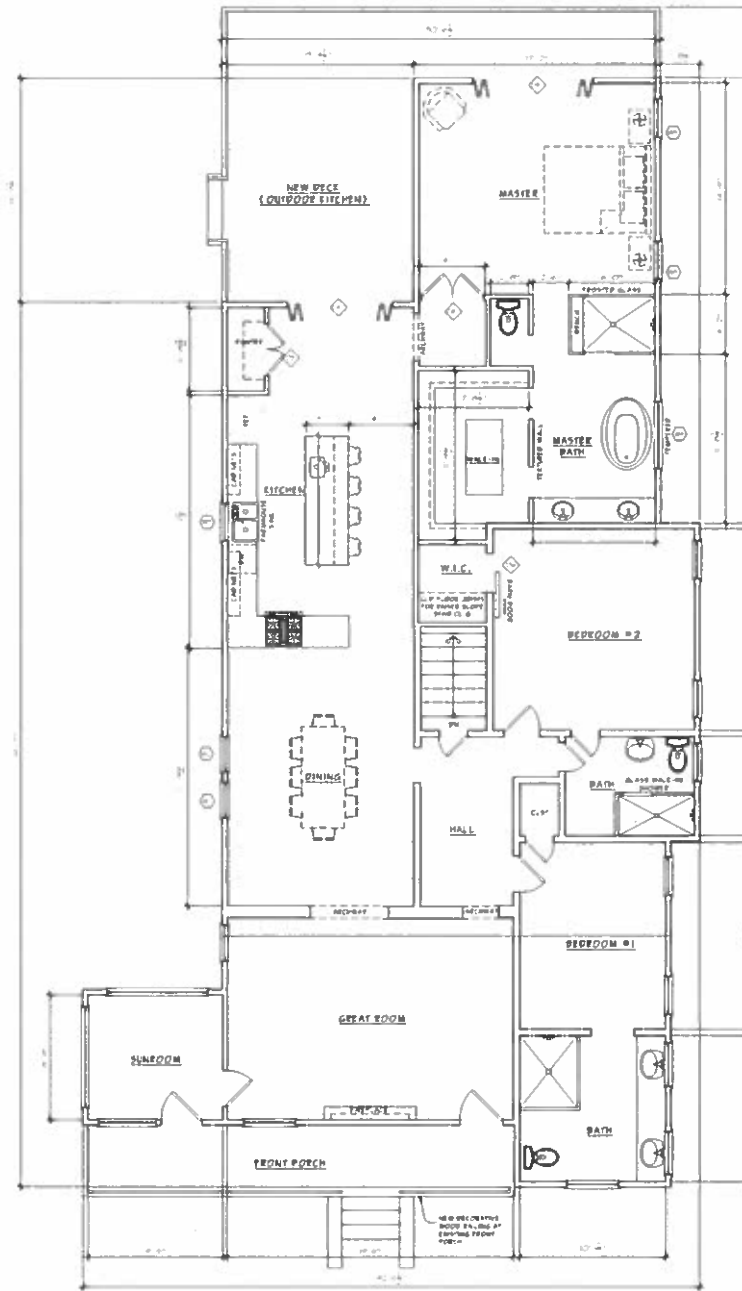
SHEET TITLE:  
EXISTING RIGHT &  
LEFT SIDE  
ELEVATION

A.5





1 PROPOSED BASEMENT FLOOR PLAN  
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

ENGINEER STAMP & SEAL



DRAWINGS BY  
**BONSAI DESIGN**



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ADDITION @

1457 Boulevard NE  
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878 990 4655  
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DOCUMENT PHASE:

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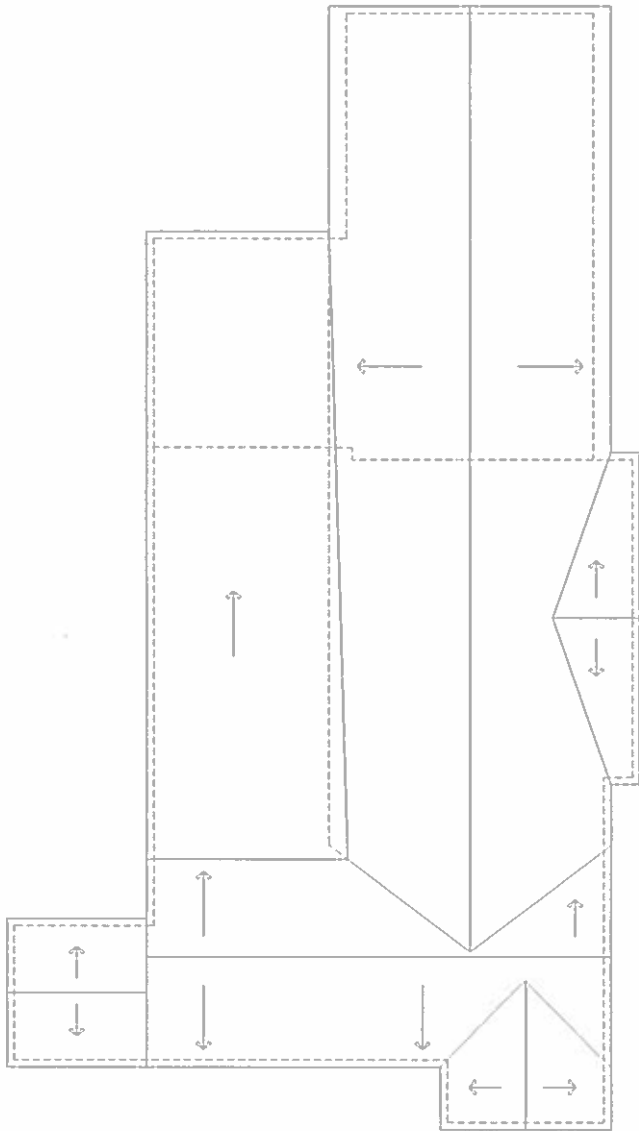
APRIL 25, 2019

SHEET TITLE:

PROPOSED  
FLOOR PLANS

A.6





1 PROPOSED ROOF PLAN  
1/8" = 1'-0"



2 PROPOSED ROOF FRAMING PLAN  
1/8" = 1'-0"

ENGINEER STAMP & SEAL



FRAMING BY  
**BONSAI DESIGN**



JASON ALBERT 878 940 4656  
JASON BONSAI@BONSAIDESIGN.COM

ADDITION ©  
1357 Briarcliff Rd NE  
Atlanta, GA 30306

OWNER BY  
JASON ALBERT  
878 940 4656  
JASON BONSAI@BONSAIDESIGN.COM

DOCUMENT PHASE:

RELEASED FOR  
CONSTRUCTION

APRIL 25, 2019

SHEET TITLE:

PROPOSED  
ROOF & FRAMING  
PLAN

A.7



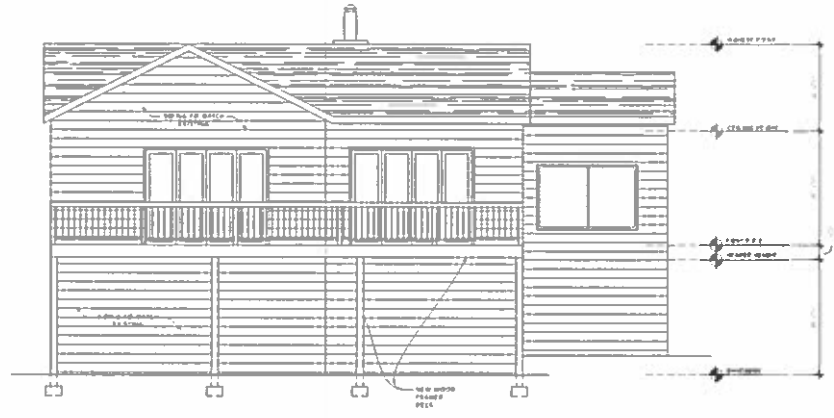
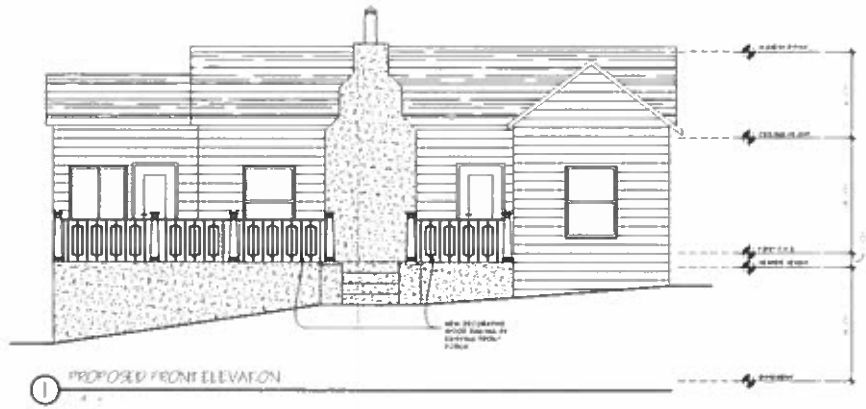
ENGINEER STAMP & SEAL



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**BONSAI DESIGN**



JASON ALPERT 678 390 4655  
JASON BONSAI DESIGN LLC, LLC



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1457 Briarcliff Rd NE  
Atlanta, GA 30306

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JASON ALPERT  
678 390 4655  
JASON BONSAI DESIGN LLC, LLC

DOCUMENT PHASE:

RELEASED FOR  
CONSTRUCTION

APRIL 25, 2019

SHEET TITLE:

PROPOSED  
ELEVATIONS

A.8



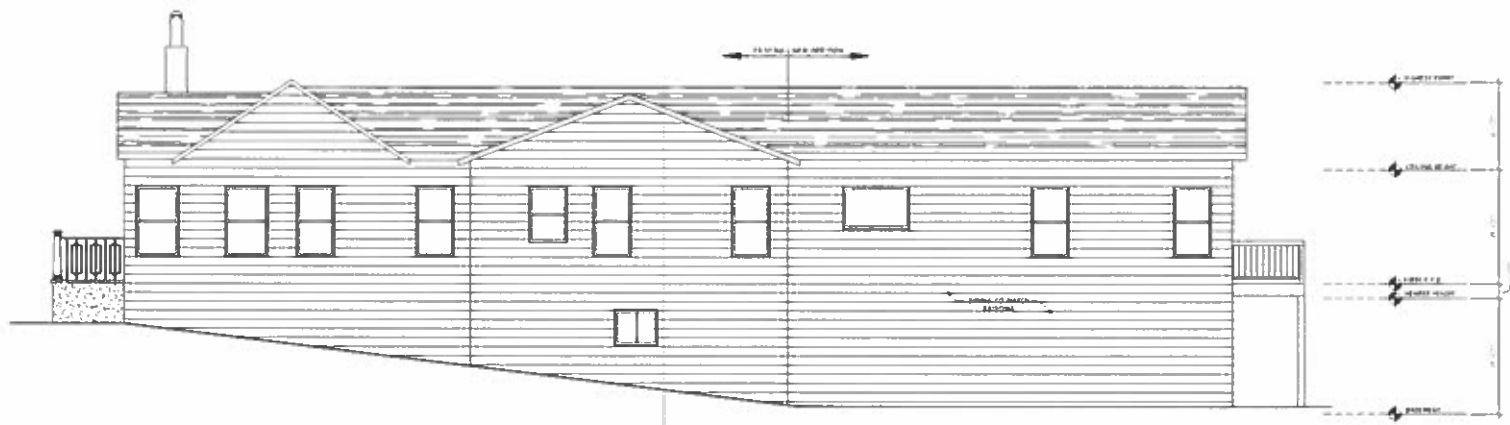
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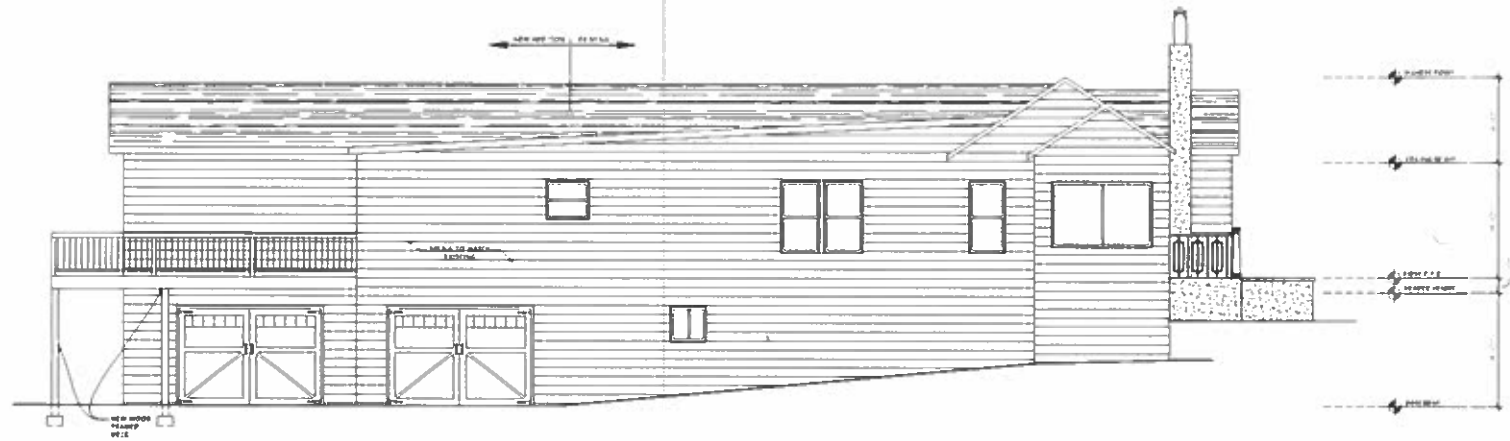
DESIGNED BY  
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1 PROPOSED RIGHT SIDE ELEVATION



2 PROPOSED LEFT SIDE ELEVATION

ADDITION ©  
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Atlanta, GA 30306

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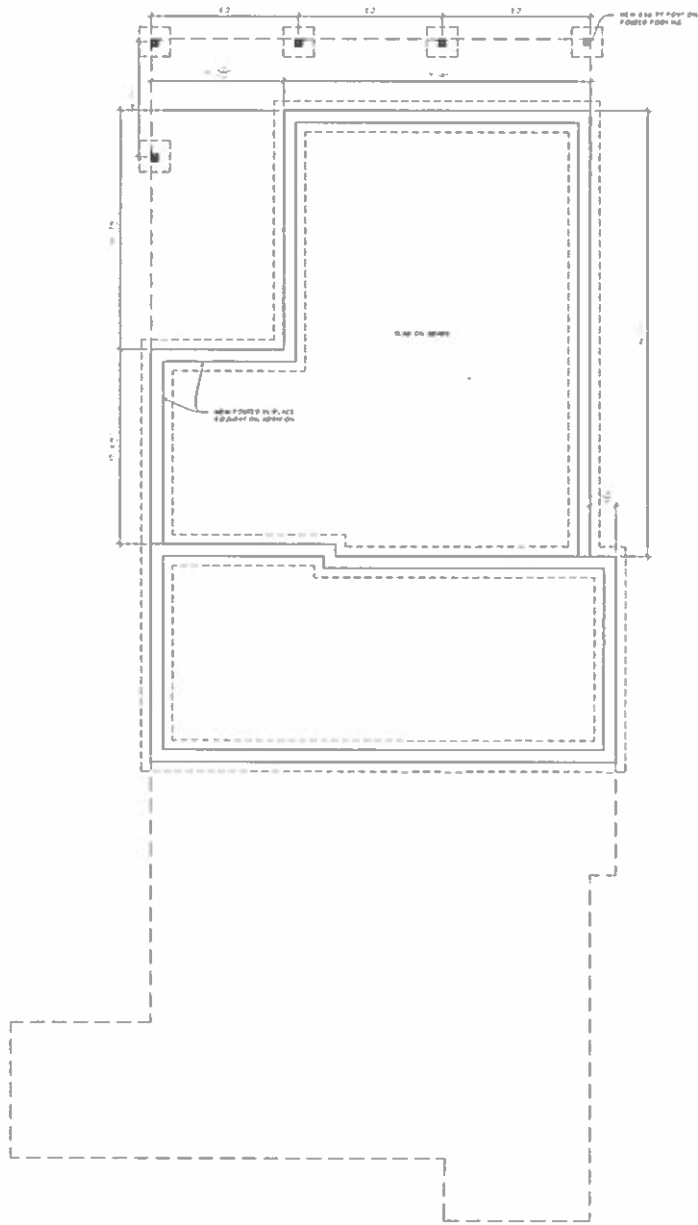
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APRIL 25, 2019  
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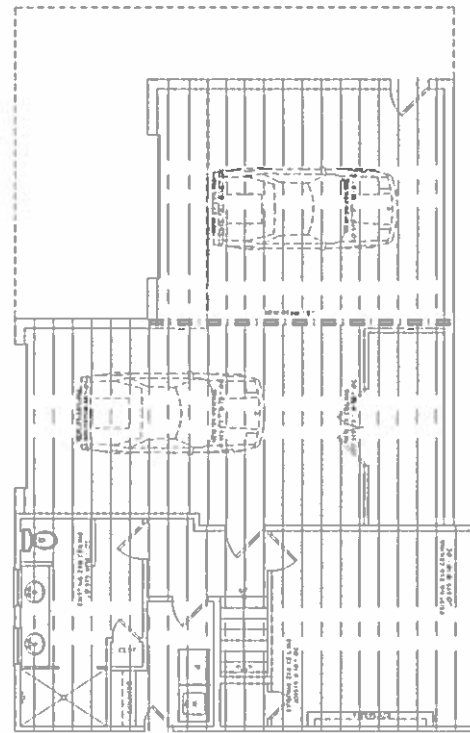
PROPOSED  
ELEVATIONS

A.9





1 PROPOSED FOUNDATION PLAN  
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"

ENGINEER STAMP & SEAL



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DOCUMENT PHASE:

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CONSTRUCTION

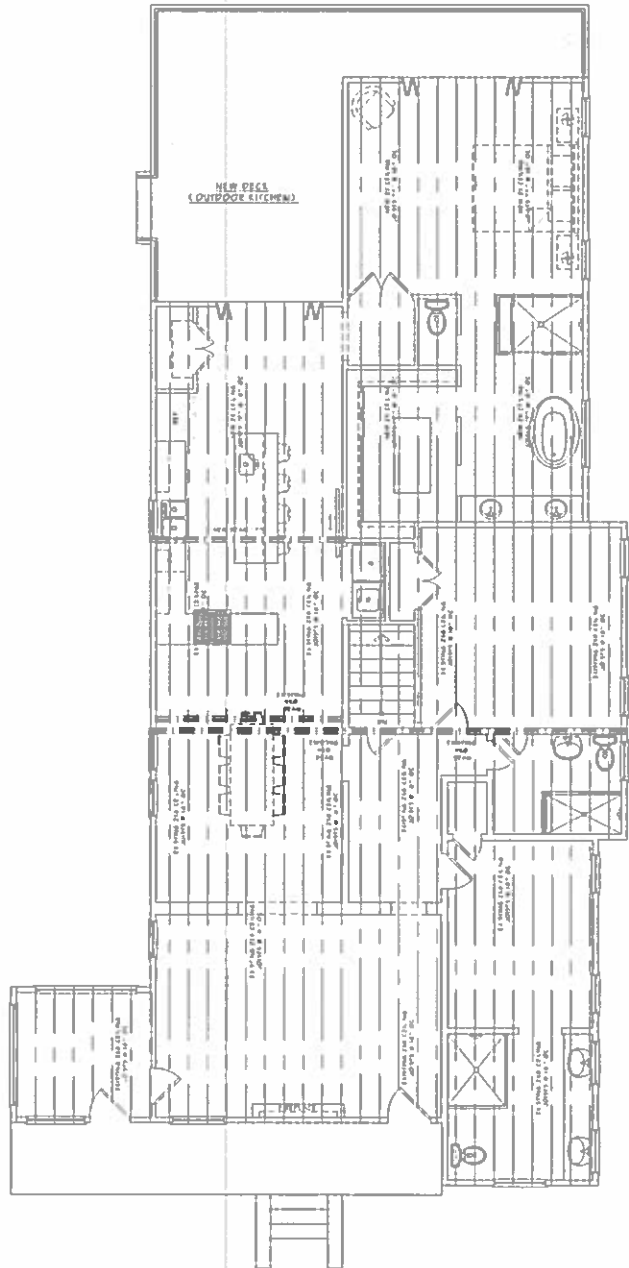
APRIL 25, 2019

SHEET TITLE:

FOUNDATION &  
FRAMING PLAN

A.10





1 PROPOSED CEILING FRAMING PLAN  
1/4" = 1'-0"

ENGINEER STAMP & SEAL



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DOCUMENT PHASE:

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CONSTRUCTION

APRIL 25, 2019

SHEET TITLE:

FRAMING PLAN

A.11



**ENGINEER DATA**

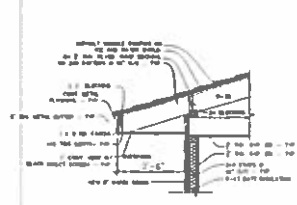
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 BASIC WIND SPEED SERVICE: 50 WIND  
 FRICTION COEFFICIENT: 0.18  
 WIND CATEGORY: C  
 INTERNAL PRESSURE COEFFICIENT: +0.18

**COMPONENTS & CLADDING**

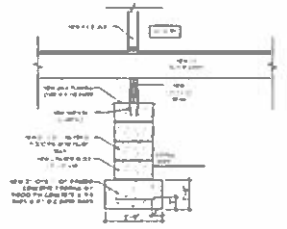
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|--------|--------|--------|--------|--------|--------|
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| 20 DO  | 20.1   | 18.0   | 12.0   | 11.0   | 11.0   |
| 30 DO  | 21.1   | 18.0   | 12.0   | 11.0   | 11.0   |
| 100 DO | 24.0   | 18.0   | 12.0   | 11.0   | 11.0   |

| AREA   | WALLS | ROOFS |
|--------|-------|-------|
| 10 DO  | 28.0  | 18.0  |
| 20 DO  | 27.0  | 18.0  |
| 30 DO  | 26.0  | 18.0  |
| 100 DO | 24.0  | 18.0  |

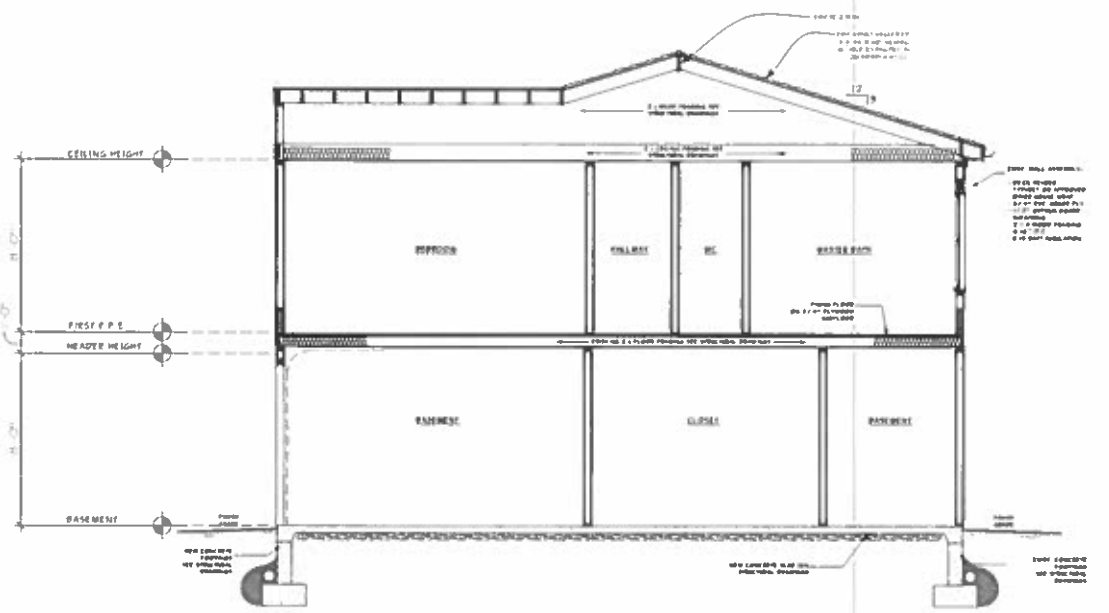
PROJECT NO.: 17-000000  
 SHEET NO.: 17-000000-01  
 DATE: 11/15/2017  
 DRAWN BY: JAL  
 CHECKED BY: JAL  
 PROJECT NAME: 1457 BIRNACILTRANE  
 PROJECT ADDRESS: 1457 BIRNACILTRANE, ATLANTA, GA 30306  
 PROJECT OWNER: JASON BONSAI DESIGN  
 PROJECT LOCATION: ATLANTA, GA  
 PROJECT PHASE: PRELIMINARY DESIGN  
 PROJECT STATUS: PRELIMINARY DESIGN  
 PROJECT DESCRIPTION: 1457 BIRNACILTRANE, ATLANTA, GA 30306  
 PROJECT CONTACT: JASON ALBERT, 870 990 4455  
 PROJECT PHONE: 404 525 1111  
 PROJECT FAX: 404 525 1111  
 PROJECT EMAIL: JAL@BONSAIDESIGN.COM  
 PROJECT WEBSITE: WWW.BONSAIDESIGN.COM



② TYP. SOFFIT DETAIL  
1/2" = 1'-0"



③ TYP. FOOTING DETAIL  
1/2" = 1'-0"



① PROPOSED SECTION  
5/8" = 1'-0"

| NO. | DESCRIPTION        | QTY | UNIT    | PRICE  | TOTAL  |
|-----|--------------------|-----|---------|--------|--------|
| 1   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 2   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 3   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 4   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 5   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 6   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 7   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 8   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 9   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 10  | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |

| NO. | DESCRIPTION        | QTY | UNIT    | PRICE  | TOTAL  |
|-----|--------------------|-----|---------|--------|--------|
| 1   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 2   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 3   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 4   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |
| 5   | 1457 BIRNACILTRANE | 1   | SQ. FT. | 100.00 | 100.00 |

ENGINEER STAMP & SEAL



DRAWINGS BY:  
**BONSAI DESIGN**



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ADDITION @:

1457 BIRNACILTRANE  
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DOCUMENT PHASE:

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CONSTRUCTION

APRIL 25, 2019

SHEET TITLE:

SECTIONS, DETAILS &  
SCHEDULES

A.12





DESIGNED BY  
**BONSAI DESIGN**



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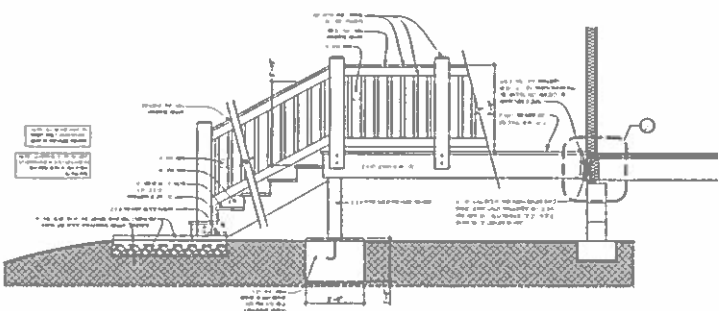
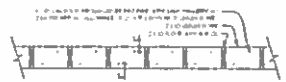
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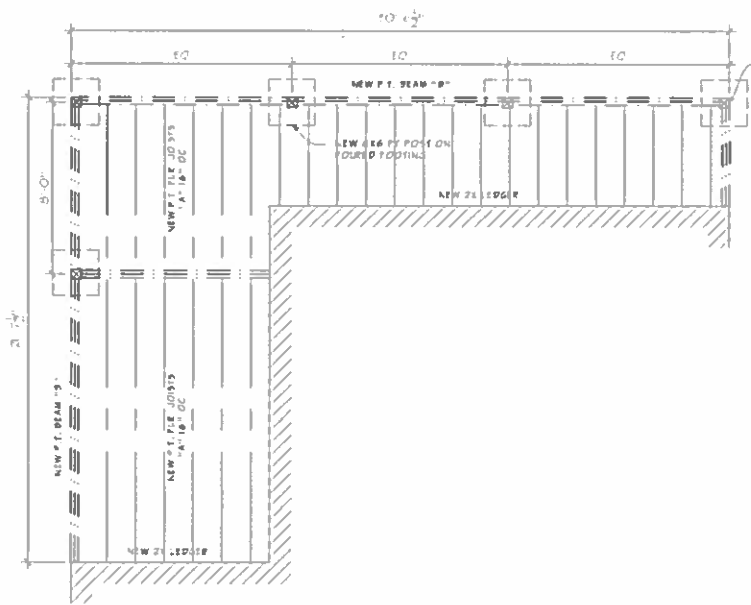
APRIL 25, 2019  
SHEET TITLE:

DECK FRAMING PLAN  
& DETAILS

A.13



② TYPICAL DECK AND RAILING DETAIL  
1/2" = 1'-0"



① DECK FRAMING PLAN  
1/4" = 1'-0"

GENERAL REQUIREMENTS FOR DECK:

1. LVL/JR SHALL BE NATURALLY DURABLE WOOD OR SHALL BE SOUTHERN PINE, GRADE #2 OR BETTER THAT IS PRESSURE PRESERVATIVE-TREATED IN ACCORDANCE WITH ANPA 11 FOR THE SPECIES, PRODUCT PRESERVATIVE AND END USE. FIELD CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH ANPA 11. PRESERVATIVE-TREATED LVL/JR IN CONTACT WITH THE GROUND SHALL BE RATED AS "GROUND-CONTACT." PLEASE NOTE, NOT ALL TREATED LVL/JR IS RATED FOR GROUND CONTACT.
2. WOOD-PLASTIC COMPOSITES ARE COMPOSED OF BOUND WOOD AND PLASTIC FIBERS CREATING MATERIAL THAT CAN BE USED AS DECKING AND GUARD ELEMENTS AS PERMITTED HEREIN. PERMISSIBLE WOOD-PLASTIC COMPOSITES MUST BEAR A LABEL INDICATING ITS PERFORMANCE CRITERIA AND COMPLIANCE WITH ASTM D 7032.
3. NAILS SHALL BE RING-SHANKED OR ANNULAR GROOVED.
4. SCREWS AND NAILS SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL OR APPROVED FOR USE WITH PRESERVE TREATED LVL/JR.
5. HARDWARE, E.G., JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, MECHANICAL FASTENERS, SHALL BE GALVANIZED WITH 1.55 OZ / SF OF ZINC (G-155 COATING) OR SHALL BE STAINLESS STEEL. USE PRODUCTS SUCH AS "ZMAX" FROM SIMPSON STRONG-TIE OR "TRIPLE ZINC" AND "GOLD COAT" FROM USP.
6. ELECTRICAL RECEPTACLES FOR DECKS SHALL COMPLY WITH THE CURRENTLY APPROVED EDITION OF THE NATIONAL ELECTRICAL CODE.
7. LIGHTING FOR DECKS AND EXTERIOR STAIRS SHALL COMPLY WITH IBC 503.7 STAIRWAY ILLUMINATION.
8. DECKS CONSTRUCTED IN ACCORDANCE WITH THESE DETAILS ARE NOT APPROVED FOR PRIVACY SCREENS, PLANNERS BUILT-IN SEATING OR HOT TUB INSTALLATIONS.

NEW 616 PT POST ON  
POURED FOOTING

NEW 616 PT POST ON  
POURED FOOTING

NEW 2x12 LOG R









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DOCUMENT PHASE:

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CONSTRUCTION

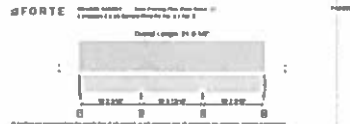
APRIL 29, 2019  
SHEET TITLE:

FRAMING CALCS

A.15

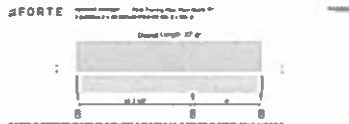
**#FORTE** 100' Concrete Slab Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 100      | sq ft | 1.50   | 150.00   |
| 2    | Reinforcement | 100      | sq ft | 1.50   | 150.00   |
| 3    | Concrete      | 100      | cu yd | 120.00 | 12000.00 |
| 4    | Slab-on-Grade | 100      | sq ft | 1.50   | 150.00   |
| 5    | Reinforcement | 100      | sq ft | 1.50   | 150.00   |
| 6    | Concrete      | 100      | cu yd | 120.00 | 12000.00 |



**#FORTE** Slab-on-Grade Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 150      | sq ft | 1.50   | 225.00   |
| 2    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 3    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |
| 4    | Slab-on-Grade | 150      | sq ft | 1.50   | 225.00   |
| 5    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 6    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |



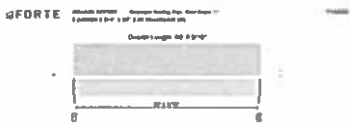
**#FORTE** Slab-on-Grade Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 150      | sq ft | 1.50   | 225.00   |
| 2    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 3    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |
| 4    | Slab-on-Grade | 150      | sq ft | 1.50   | 225.00   |
| 5    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 6    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |



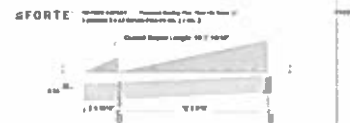
**#FORTE** Slab-on-Grade Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 150      | sq ft | 1.50   | 225.00   |
| 2    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 3    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |
| 4    | Slab-on-Grade | 150      | sq ft | 1.50   | 225.00   |
| 5    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 6    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |



**#FORTE** Slab-on-Grade Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 150      | sq ft | 1.50   | 225.00   |
| 2    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 3    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |
| 4    | Slab-on-Grade | 150      | sq ft | 1.50   | 225.00   |
| 5    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 6    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |



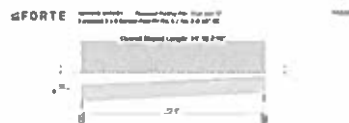
**#FORTE** Slab-on-Grade Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 150      | sq ft | 1.50   | 225.00   |
| 2    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 3    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |
| 4    | Slab-on-Grade | 150      | sq ft | 1.50   | 225.00   |
| 5    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 6    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |



**#FORTE** Slab-on-Grade Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 150      | sq ft | 1.50   | 225.00   |
| 2    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 3    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |
| 4    | Slab-on-Grade | 150      | sq ft | 1.50   | 225.00   |
| 5    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
| 6    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |



**#FORTE** Slab-on-Grade Wall  
150' Slab-on-Grade Wall

| Item | Description   | Quantity | Unit  | Price  | Total    |
|------|---------------|----------|-------|--------|----------|
| 1    | Formwork      | 150      | sq ft | 1.50   | 225.00   |
| 2    | Reinforcement | 150      | sq ft | 1.50   | 225.00   |
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| 6    | Concrete      | 150      | cu yd | 120.00 | 18000.00 |

150' Slab-on-Grade Wall

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