



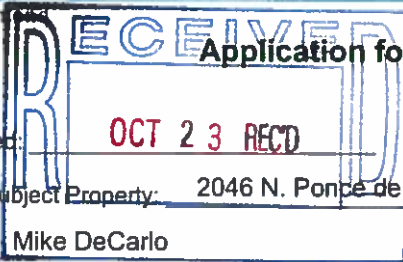
Chief Executive Officer

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director

Michael Thurmond

Andrew A. Baker, AICP



Application for Certificate of Appropriateness

Date Received: OCT 23 2020 Application No.: _____
Address of Subject Property: 2046 N. Ponce de Leon Avenue, Atlanta, GA 30307
Applicant: Mike DeCarlo E-Mail: mike@decarlohawker.com
Applicant Mailing Address: 2470 Hosea L. Williams Drive, Atlanta, GA 30317

Applicant Phone(s): (678) 595-9002 Fax: _____

Applicant's relationship to the owner: Owner ☐ Architect: ☒ Contractor/Builder ☐ Other ☐

Owner(s): William West Hutchison E-Mail: westhutchison@gmail.com

E-Mail: _____

Owner(s) Mailing Address: 2046 N. Ponce de Leon Avenue, Atlanta, GA 30307

Owner(s) Telephone Number: (404) 636-3651

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: Main house ca. 1929, Main house rear addition ca. 2000, Guest House ca. 1990's

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☒ Moving a building ☐ Other building changes ☒
New accessory building ☒ Landscaping ☒ Fence/Wall ☒ Other environmental changes ☐
Sign installation or replacement ☐ Other ☐

Description of Work:

At the rear ca. 2000 addition: convert the existing attached Garage to a Covered Porch with new fireplace; remove the existing rear and side balconies and associated stair; a new narrower rear balcony will be re-added to the structure. Add a new brick garage to match the detailing of the existing historic house. The new garage will be connected to the back corner of the main house with a covered breezeway and the flat garage roof will be used as a deck. The back yard swimming pool and landscaping will be redesigned. The upper portion of the existing driveway (behind the front facade of the existing house) will be reconfigured and a motorized gate and fence will added. Undergo some 2nd story interior renovations.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.

M DeCarlo

10/22/2020

Signature of Applicant/Date

Revised 1/26/17

Chief Executive Officer

Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

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M De Carlo

10/22/2020

Signature of Applicant/Date

Revised 1/26/17

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

(I) / (We),

William West Hutchison

being (owner) (owners) of the property 2046 N Ponce de Leon Ave, Atlanta, GA 30307,

hereby delegate authority to Mike DeCarlo

to file an application in (my) (our) behalf.



10/22/2020

Signature of Owner/Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

10/22/2020

Revised 1/26/17

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may pick this up at the DeKalb County Department of Planning and Sustainability, 330 West Ponce de Leon Avenue, Suite 300 floor, in Decatur, or you may make your request by mail, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). If all documents are not provided the application will not be complete and will not be accepted.
3. A sign will be provided when the Certificate of Appropriateness is accepted. The applicant must post the sign on the subject property in a visible location, no more than ten feet from the road, at least ten days before the meeting.
4. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. In most months, the Historic Preservation Commission meets on the third Monday at 7 p.m. at the Maloof Auditorium, 1300 Commerce Drive in Decatur. In unusual circumstances meeting dates and location may be changed.
5. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
5. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make presentations, but presentations are not required. The commissioners may have questions for the applicant.
7. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

Revised 1/26/17

ADDITIONS & RENOVATIONS TO THE HUTCHISON RESIDENCE

DeCarlo
Hawker

ARCHITECTURE & DESIGN
2470 H. L. WILLIAMS DRIVE NE
ATLANTA, GEORGIA 30317
TELEPHONE: 678.595.9002
www.decarlohawker.com

PROJECT DESCRIPTION:

- Main House:
- Convert the existing attached rear Garage to a Covered Porch.
 - Reconfigure the existing upper balcony overlooking the back yard.
 - Add a new brck Garage to match the historic detail of the existing house-- connect this to the main house structure with a covered Breezeway.
 - Use the flat Garage roof as a roof terrace.
 - Reconfigure the existing back yard layout including swimming pool.
 - Undergo interior renovations to the existing 2nd floor of the house.
 - Add a metal fence and gate at the top of the existing driveway (behind the face of the front facade of the house).

No exterior improvements will be visible from the public street.

PROJECT CONTACTS:

OWNERS :	ARCHITECT:
West # Polly Hutchison	Mike DeCarlo
2046 N. Ponce de Leon Ave.	DeCarlo Hawker Architecture
Atlanta, GA 30307	2470 H. L. Williams Drive NE
(404) 636-3651	Atlanta, GA, 30317
	(678) 595-9002
	mike@decarlohawker.com

DRAWING INDEX:

T1.1	Title Sheet & Code Information
-	Site Survey
D0.1	Demolition Site Plans
A0.1	Proposed Site Plans & Details
D1.1	Ground Floor Demolition Plan
D1.2	Second Floor Demolition Plan
A1.1	Ground Floor Plan - Proposed
A1.2	Second Floor and Lower Roof Plan - Proposed
A2.1	Exterior Elevations
A2.2	Exterior Elevations
A2.3	Exterior Elevations - Existing
A2.4	Exterior Elevations - Existing
A3.1	Wall Sections - Covered Porch
A3.2	Wall Sections - Garage & Side Entry

PROJECT GENERAL NOTES:

- Construction drawings are to show conformity to building codes and for architectural design information only. General Contractor is responsible for all final material selections and for coordination and oversight of construction process.
- Construction shall meet the requirements of all applicable building codes including any product, drawings, or specifications not provided within the scope of this drawing set.
- Construction and installation shall follow all manufacturer guidelines and recommendations, including those needed for warranties.
- All existing conditions and dimensions shall be field verified prior to commencement of construction. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.
- Dimensions noted on drawings shall take precedence over scaled dimensions.
- General Contractor is responsible for verifying engineering issues meet all applicable codes, including structural, electrical, HVAC, and plumbing work. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.

APPLICABLE CODES:

2018 International Residential Code
with Georgia Amendments

CODE INFORMATION:

Project Address: 2046 N. Ponce de Leon Ave.
Atlanta, GA 30307

Zoning: R-85

Occupancy: R-3, Single-Family Res.

Construction Type: Type VB

Building Height: Main House: 29'-9 1/4" (Match existing - no change)
(Complies with 35'-0" max.)
(Measured from entry door threshold to highest roof peak)

Building Area:	Main House:	
	Basement:	981 s.f. (existing - no change)
	Ground Floor:	1,955 s.f. (existing - no change)
	Second Floor:	2,230 s.f. (existing - no change)
	Attic:	267 s.f. (existing - no change)
	TOTAL MAIN HOUSE:	5,533 s.f. (existing - no change)

New Pool Bathroom in new Garage structure (attached to main house w/ Breezeway) 62 s.f.

TOTAL ON PROPERTY: 5,533 s.f. existing + 62 s.f. new = 5,595 s.f. total

(Heated square footage indicated for Main House as per Zoning Code definitions)
(Square footage does not include attached garages & porches as per Zoning Code definition)

Lot Coverage: Existing: 13,613 s.f.
(Loose ungrouted stepping stones do not count toward lot coverage as per Zoning Code definitions so those 163 s.f. were subtracted from the survey calculations)

Proposed Changes:	
New Garage / Breezeway / Ext. Stair Addn.:	+1,264 s.f.
New Concrete Driveway:	+1,675 s.f.
New Gravel Overflow Parking Area:	+1,495 s.f.
New Pool & Pool Deck:	+2,232 s.f.
New Hardscape Paths:	+402 s.f.
New Gravel Shed Path:	+150 s.f.
New Trash Niche at Driveway:	+32 s.f.
Demo Existing Pool & Pool Deck:	-2,266 s.f.
Demo Existing Hardscape Paths:	-495 s.f.
Demo Existing Back Balconies & Stair:	-405 s.f.
Demo Existing Play Set:	-15 s.f.
Demo Existing Upper Driveway Area.:	-2,240 s.f.
Demo Existing Side Entry Patio	-96 s.f.
TOTAL NEW:	+1,733 s.f.

13,613 s.f. existing + 1,733 s.f. new = 15,346 s.f. proposed

(Loose ungrouted stepping stones do not count toward lot coverage as per Zoning Code definitions)

Lot Coverage Ratio: 15,346 s.f. / 49,254 s.f. = 0.312
(Complies with 0.350 or 17,238 s.f. max.)

Site Area: 49,254 s.f. (1.13 acres)

22 OCT 2020	CERT. OF APPROPRIATENESS
10 JUN 2020	100% CDS
27 MAR 2020	CERT. OF APPROPRIATENESS

HUTCHISON
RESIDENCE

ADDITION & RENOVATION

WEST HUTCHISON
(404) 636-3651
2046 N. PONCE DE LEON AVE.
ATLANTA, GA. 30307

JOB NO. 2005

TITLE SHEET
CODE INFO

T1.1

RELEASED FOR CONSTRUCTION

LEGEND

IPF	IRON PIN FOUND	CMF	CONCRETE MONUMENT FOUND
OT	OPEN TOP PIN	OHUL	OVERHEAD UTILITY LINE(S)
CT	CRIMP TOP PIN	SMH	SEWER MAN HOLE
RB	REINFORCING BAR	MHT	MAN HOLE TELEPHONE
CL	CENTERLINE	CB	CATCH BASIN
R/W	RIGHT-OF-WAY	JB	JUNCTION BOX
LL	LAND LOT	DI	DROP INLET
LINE	LINE	LL	LAND LOT LINE
R	RADIUS	HW	HEAD WALL
CONC	CONCRETE	CMP	CORRUGATED METAL PIPE
C	CURVE	RCP	REINFORCED CONCRETE PIPE
CO	CLEAN OUT	CD	GROSS DRAIN
PP	POWER POLE	SSE	SANITARY SEWER EASEMENT
SV	SERVICE POLE	DE	DRAINAGE EASEMENT
GV	GAS VALVE	FH	FIRE HYDRANT
GM	GAS METER	WV	WATER VALVE
LP	LIGHT POLE	WM	WATER METER
SS	SANITARY SEWER	PC	POINT OF CURVE
N&C	NAIL & CAP	POB	POINT OF BEGINNING
FC	FENCE CORNER	POC	POINT OF COMMENCEMENT
-X-X-	FENCE	PI	POINT OF INTERSECTION
M	MEASURED	D	DEED
P	PLAT	IPP	IRON PIN PLACED (1/2" REBAR)

GENERAL NOTES

1. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
2. RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
3. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
4. NO VISIBLE EVIDENCE OF A CEMETERY FOUND
5. SUBJECT PROPERTY CURRENTLY ZONED "R-85"

BUILDING SETBACKS:
FRONT THOROUGHFARES : 50 FEET
FRONT ARTERIALS : 40 FEET
FRONT COLLECTOR : 35 FEET
SIDE: 8.5 FEET
REAR: 40 FEET
AVERAGE FRONT BUILDING SETBACK: 182.6'

6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT POLICY; THEREFORE EXCEPTION IS MADE HEREIN TO ANY EASEMENTS, RESERVATIONS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD WHICH MAY EXIST.

FLOOD STATEMENT

BY GRAPHICALLY PLOTTING ONLY, THE SUBJECT PROPERTY DOES NOT FALL WITHIN A 100 YEAR FEDERALLY DESIGNATED FLOOD HAZARD AREA. THE SUBJECT PROPERTY FALLS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 13089C0064J - EFFECTIVE DATE OF MAY 16, 2013.

IMPERVIOUS AREA CALCULATIONS:

HOUSE = 2,686 S.F.
PORCH = 139 S.F.
STEPS = 121 S.F.
CONC SIDEWALK = 174 S.F.
BRICK = 96 S.F.
DRIVEWAY = 4,518 S.F.
METAL DECK = 417 S.F.
CONC PATIO = 1,170 S.F.
CANOPY = 150 S.F.
PLAY SET = 15 S.F.
SHED = 157 S.F.
HOUSE 826 S.F.
PORCH = 142 S.F.
STONE SIDEWALK = 495 S.F.
POOL = 700 S.F.
WALLS = 195 S.F.
A/C = 12 S.F.
BASKETBALL COURT = 1,600 S.F.
STEPPING STONES = 163 S.F.

TOTAL LOT AREA = 49254 S.F.
TOTAL LOT COVERAGE = 13,776 S.F. (27.96%)

AREA
49,254 sq.ft.
1.13 acres

SURVEYOR CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JOHN W. STANZILIS, JR.

TOP MH EL.=984.9
INV. IN EL.=978.4
INV. OUT EL.=978.3

SSMH

PLAT CERTIFICATION NOTICE

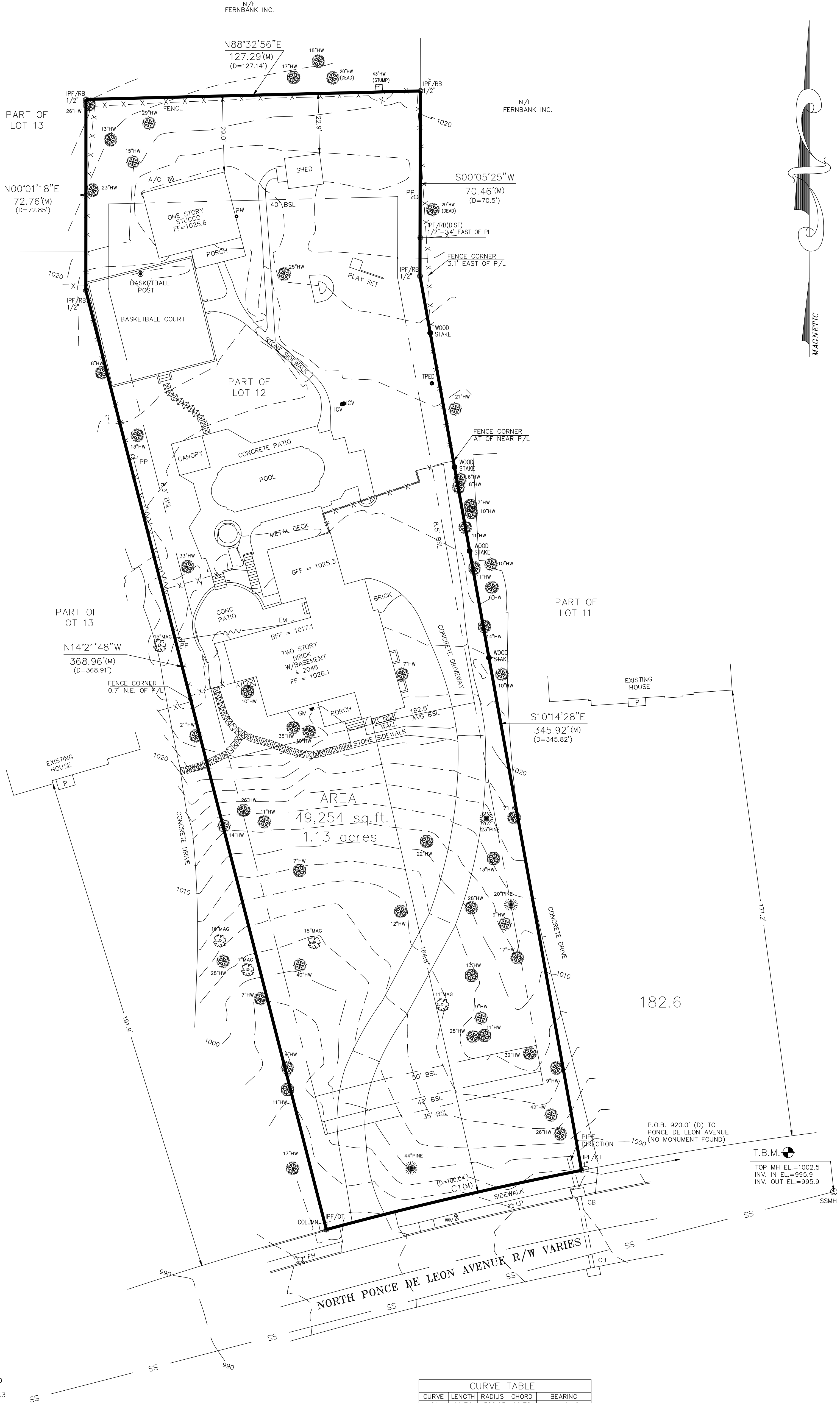
THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS,

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW OF THE STATE OF GEORGIA.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67, AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-6, 43-15-19, 43-15-22.

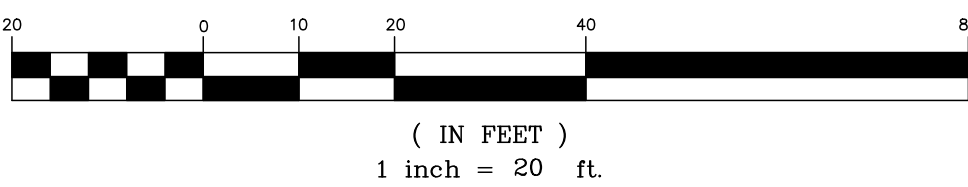
CERTIFICATE OF AUTHORIZATION NO. LSF000374

N/F
FERNBANK INC.

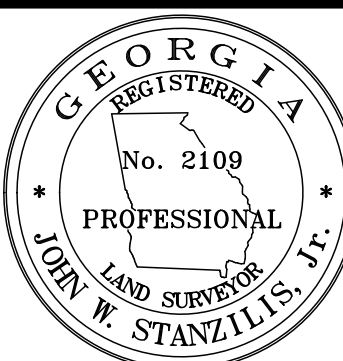


CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	99.74	1388.63	99.72	S76°56'03\"W

GRAPHIC SCALE



JOB # 20-00498



ABOVE THE GROUND AS BUILT SURVEY PREPARED FOR: OWNER / PURCHASER: WILLIAM WEST HUTCHISON				DATE 03/16/20	
WILLIAM WEST HUTCHISON				SCALE 1" = 20'	
LAND LOT 243	15th DISTRICT	SECTION	DEKALB COUNTY, GEORGIA		
LOT PART OF LOT 12	BLOCK	UNIT	REVISION	BY:	DATE:
SUBDIVISION DRUID HILLS PROPERTY					
SURVEYED:	DRAFTED:				
PLOTTED:	DISC #:				
APPROVED:					

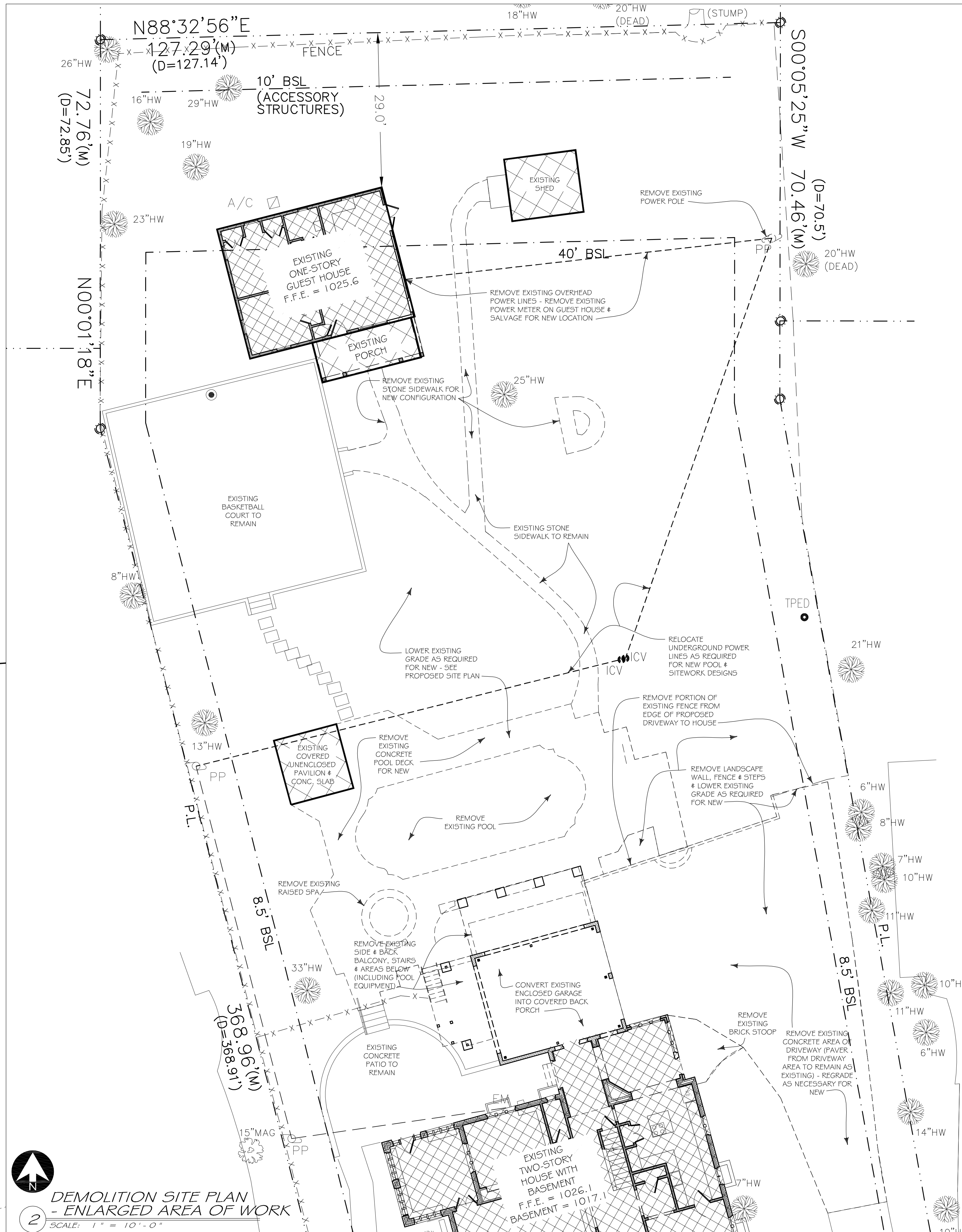
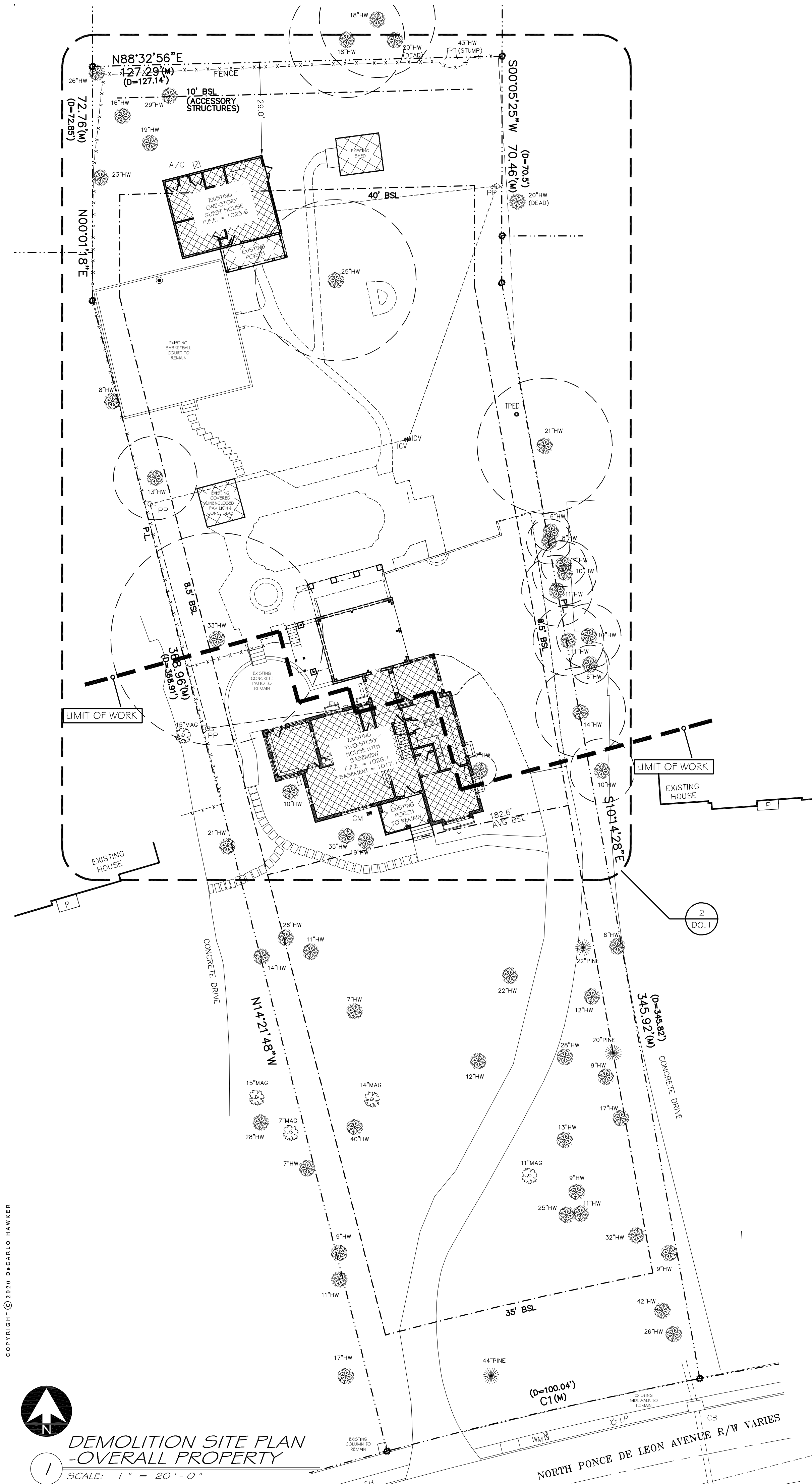
SOLAR LAND SURVEYING COMPANY

P.O. BOX 723993 ATLANTA, GEORGIA 31139-0993
TELEPHONE (770) 794-9055 FAX (770) 794-9052

The field data upon which this plat is based has a closure of 1 foot in 15,000+ feet, an angular error of 0.3 seconds per angle point and was adjusted using the Least Squares Method. This plat has been calculated for closure and found to be accurate to 1 foot in 100,000 feet. An electronic total station and a 100' chain were used to gather the information used in the preparation of this plat. No State Plane Coordinate Monument found within 500' of this property.

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED

This plat was prepared for the exclusive use of the person, persons, or entity named hereon. This plat does not extend to any unnamed person, persons, or entity without the express recertification of the surveyor naming such person, persons, or entity.



DeCARLO
HAWKER

ARCHITECTURE & DESIGN
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ATLANTA, GEORGIA 30317
TELEPHONE: 678.595.9002
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22 OCT 2020	CERT. OF APPROPRIATENESS
17 SEP 2020	DESIGN REVISIONS
10 JUN 2020	100% CD'S
27 MAR 2020	CERT. OF APPROPRIATENESS
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HUTCHISON
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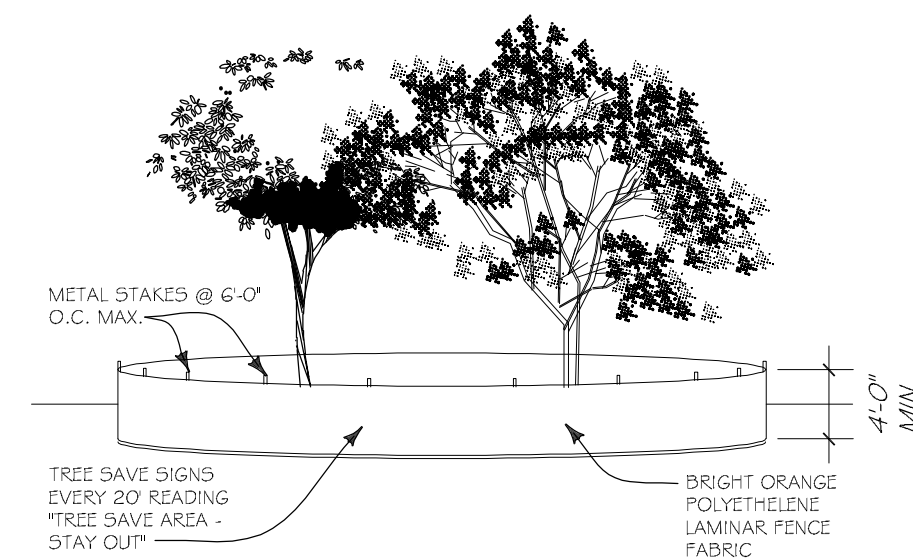
DEMOLITION
SITE PLAN

DO.1

RELEASED FOR CONSTRUCTION

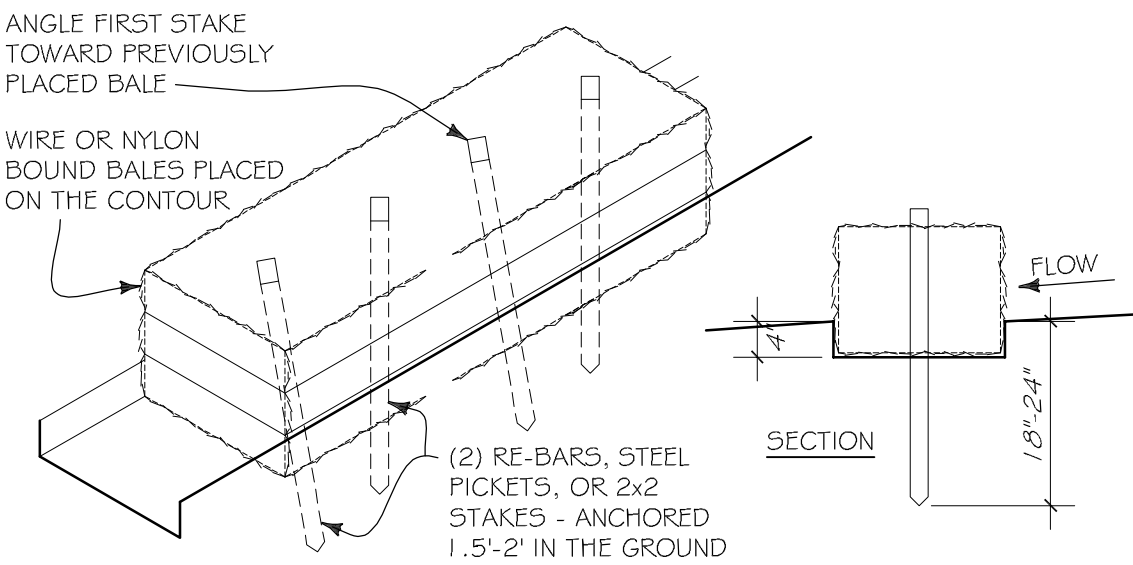
SITE PLAN NOTES

1. NO GRADED SLOPE SHALL EXCEED 2H:1V.
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIME. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR BREAK THE SEDIMENT SOURCE.
4. DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
7. HAND DIG ONLY SITE EXCAVATION WITHIN TREE CRITICAL ROOT ZONES.



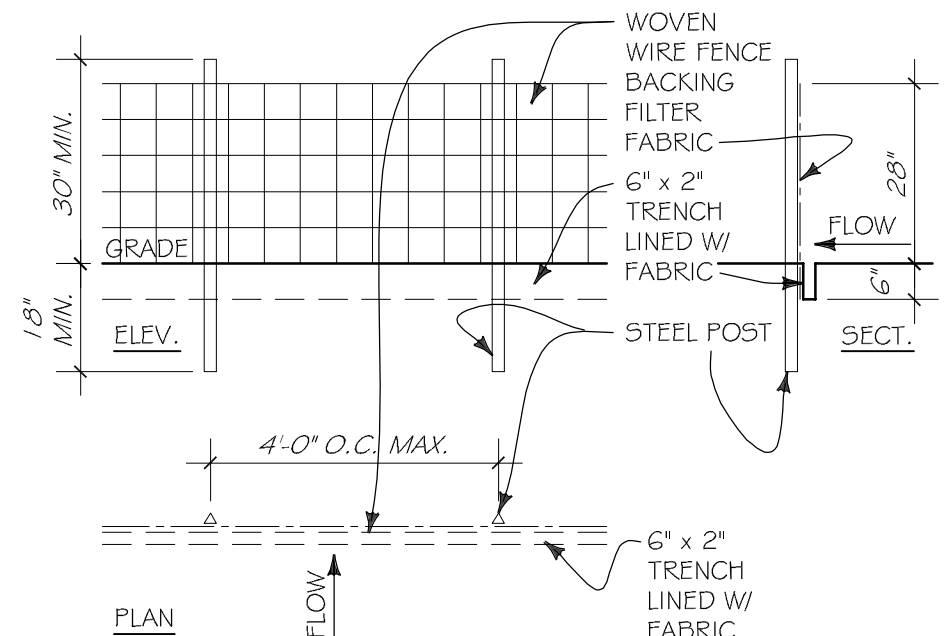
TREE PROTECTION FENCING DETAIL

SCALE: NO SCALE



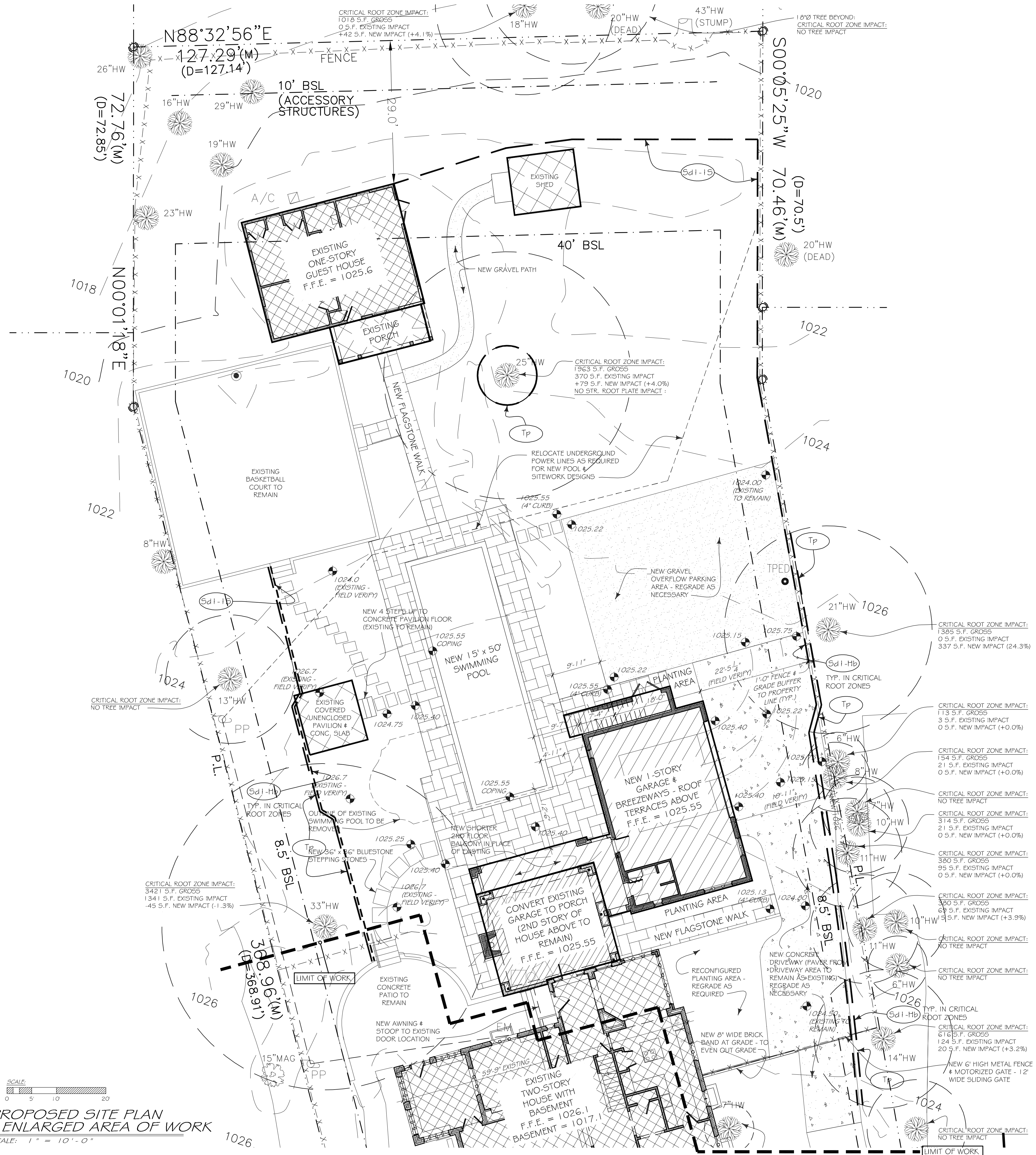
EROSION CONTROL FENCING DET.

SCALE: NO SCALE



EROSION CONTROL FENCING DET.

SCALE: NO SCALE



PROPOSED SITE PLAN - ENLARGED AREA OF WORK

SCALE: 1" = 10'-0"

DECARLO HAWKER

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TELEPHONE: 678.595.9002
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27 MAR 2020	CERT. OF APPROPRIATENESS
20 MAR 2020	OWNER REVIEW
17 MAR 2020	OWNER REVIEW

HUTCHISON RESIDENCE

ADDITION & RENOVATION

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JOB NO. 2005

PROPOSED SITE PLANS & DETAILS

A0.1

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22 OCT 2020	CERT. OF APPROPRIATENESS
17 SEP 2020	DESIGN REVISIONS
10 JUN 2020	100% CDS
27 MAR 2020	CERT. OF APPROPRIATENESS
20 MAR 2020	OWNER REVIEW
17 MAR 2020	OWNER REVIEW

HUTCHISON
RESIDENCE

ADDITION & RENOVATION

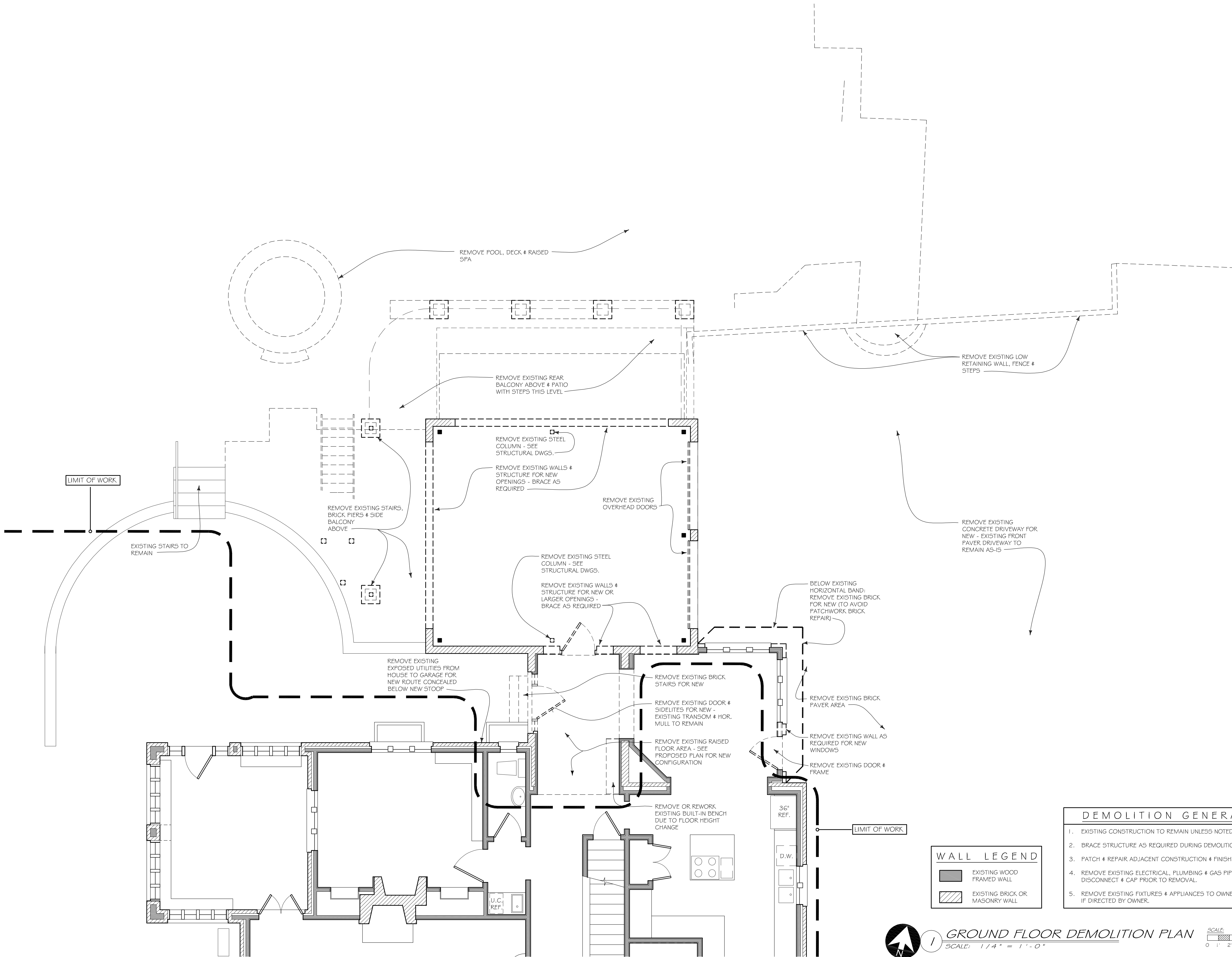
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GROUND FLOOR
DEMOLITION PLAN

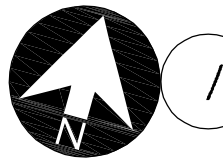
D1.1

RELEASED FOR CONSTRUCTION



WALL LEGEND	
	EXISTING WOOD FRAMED WALL
	EXISTING BRICK OR MASONRY WALL

- DEMOLITION GENERAL NOTES
- EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE.
 - BRACE STRUCTURE AS REQUIRED DURING DEMOLITION PROCESS.
 - PATCH & REPAIR ADJACENT CONSTRUCTION & FINISHES TO REMAIN.
 - REMOVE EXISTING ELECTRICAL, PLUMBING & GAS PIPING IN DEMO'D WALLS - DISCONNECT & CAP PRIOR TO REMOVAL.
 - REMOVE EXISTING FIXTURES & APPLIANCES TO OWNER FOR RE-USE - DISPOSE IF DIRECTED BY OWNER.



GROUND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SCALE
0 1' 2' 4' 8'

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- DEMOLITION
GENERAL NOTES
1.

EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE.
2.

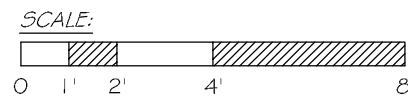
BRACE STRUCTURE AS REQUIRED DURING DEMOLITION PROCESS.
3.

PATCH & REPAIR ADJACENT CONSTRUCTION & FINISHES TO REMAIN.
4.

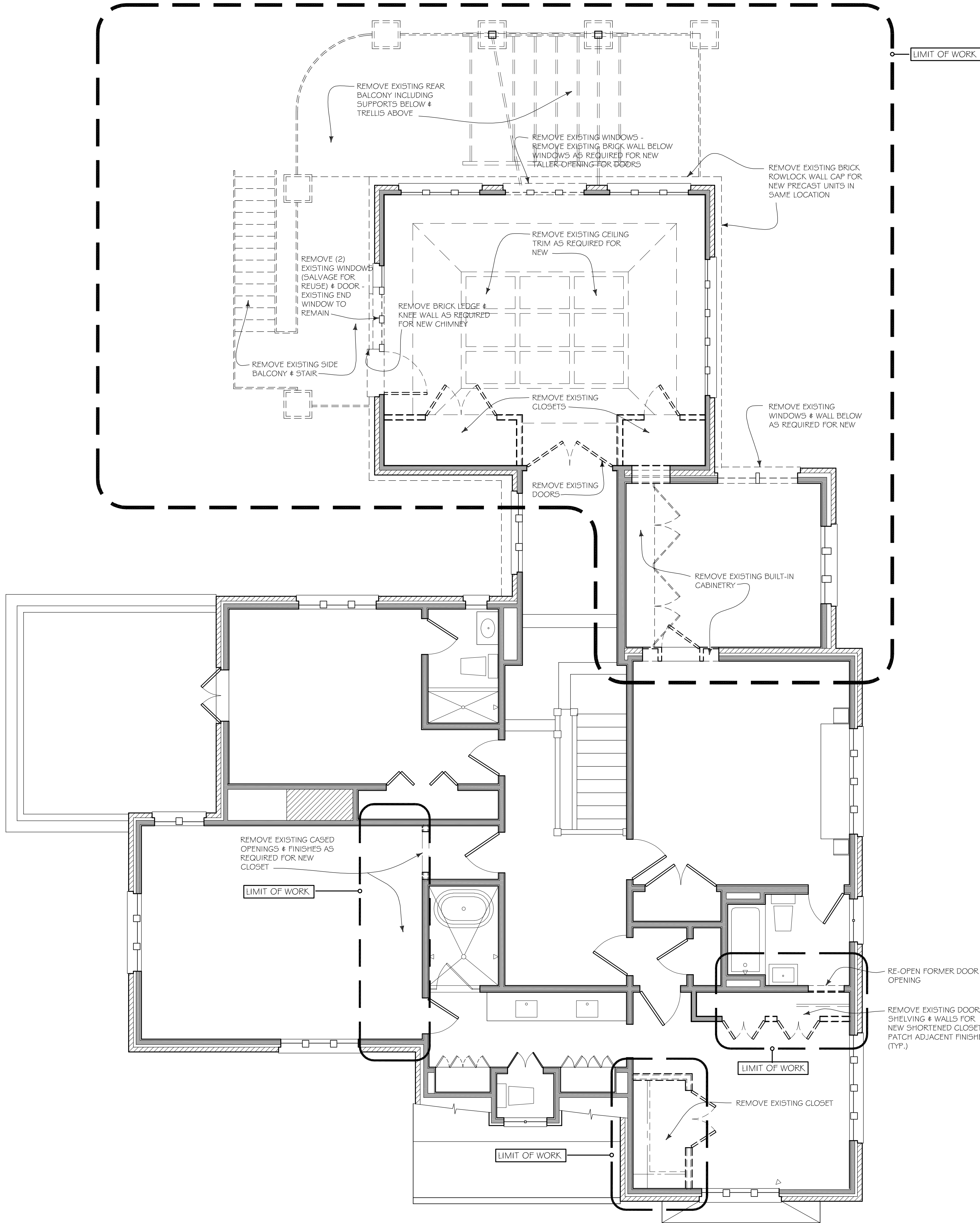
REMOVE EXISTING ELECTRICAL, PLUMBING & GAS PIPING IN DEMO'D WALLS - DISCONNECT & CAP PRIOR TO REMOVAL.
5.

REMOVE EXISTING FIXTURES & APPLIANCES TO OWNER FOR RE-USE - DISPOSE IF DIRECTED BY OWNER.

WALL LEGEND	
<div></div>	EXISTING WOOD FRAMED WALL
<div></div>	EXISTING BRICK OR MASONRY WALL



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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HUTCHISON
RESIDENCE

ADDITION & RENOVATION

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SECOND FLOOR
DEMOLITION PLAN

D1.2

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FLOOR PLAN
GEN. NOTES

1. DIMENSIONS ARE TO FACE OF WOOD FRAMING, BRICK, OR CABINETRY.
2. MATCH EXISTING DOOR & CASED OPENING HEIGHTS UNLESS NOTED OTHERWISE.
3. SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR & WINDOW INFORMATION.
4. CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

WALL LEGEND

	EXISTING WALL
	NEW WOOD FRAMED WALL - 2x4 @ 16" O.C.
	NEW BRICK VENEER WALL
	NEW CONCRETE WALL

LTG. GEN. NOTES

1. NEW FIXTURES SHOWN ONLY.
2. PROVIDE ELECTRICAL OUTLETS PER CODE MINIMUMS.
3. LIGHTING TYPES & LOCATIONS ARE FOR REFERENCE ONLY - VERIFY ALL SELECTIONS WITH OWNER - REVIEW LOCATIONS ONSITE WITH OWNER PRIOR TO ROUGH-IN.
4. CENTER CEILING FIXTURES OR GROUPS OF FIXTURES IN CORRESPONDING CEILING AREA UNLESS NOTED OTHERWISE.
5. PROVIDE WATERPROOF & VAPORPROOF FIXTURES AT CORRESPONDING WET LOCATIONS.
6. PROVIDE FLOODLIGHTS & LANDSCAPE LIGHTS PER OWNER.

ELEC. & LIGHTING LEGEND:

	RECESSED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	WALL SCONCE
	EXHAUST FAN (NO LIGHT)
	CEILING FAN (NO LIGHT KIT)
	HARDWIRED SMOKE DETECTOR
	HARDWIRED CARBON MONOXIDE / SMOKE DETECTOR

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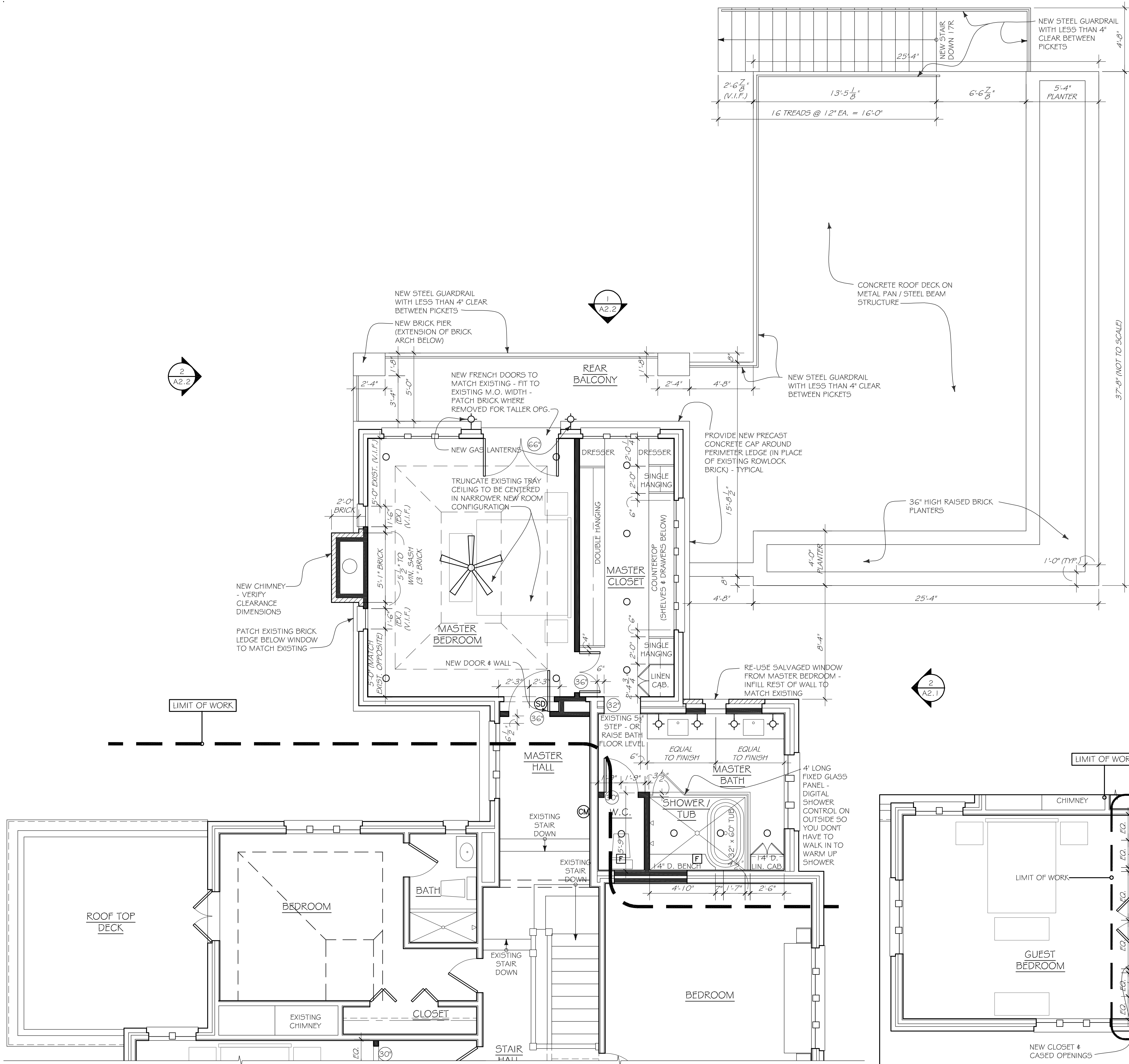
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SECOND FLOOR
& LOWER ROOF
PLAN - PROPOSED

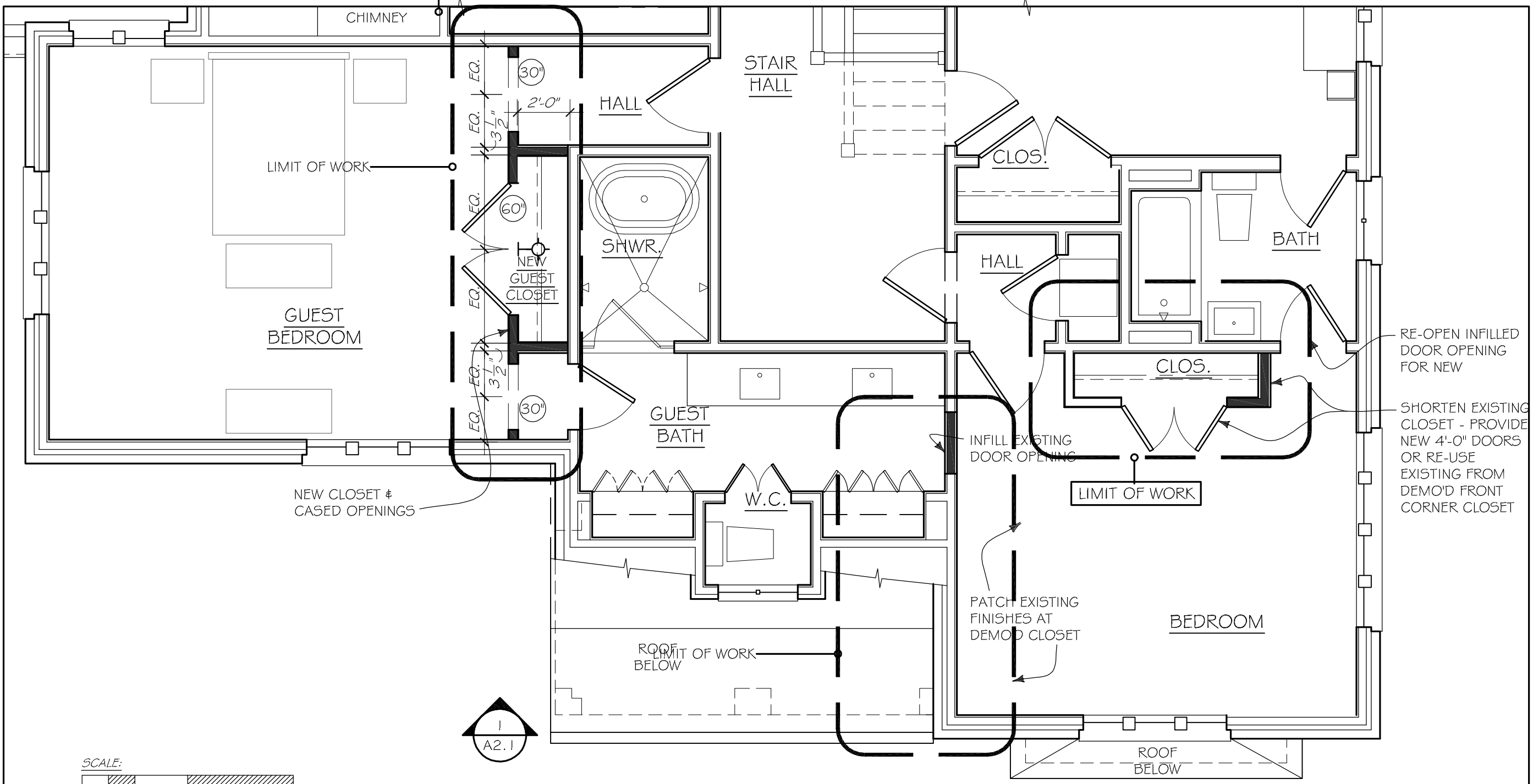
A1.2

RELEASED FOR CONSTRUCTION



SCALE:
0 1' 2' 4' 8'

1 SECOND FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

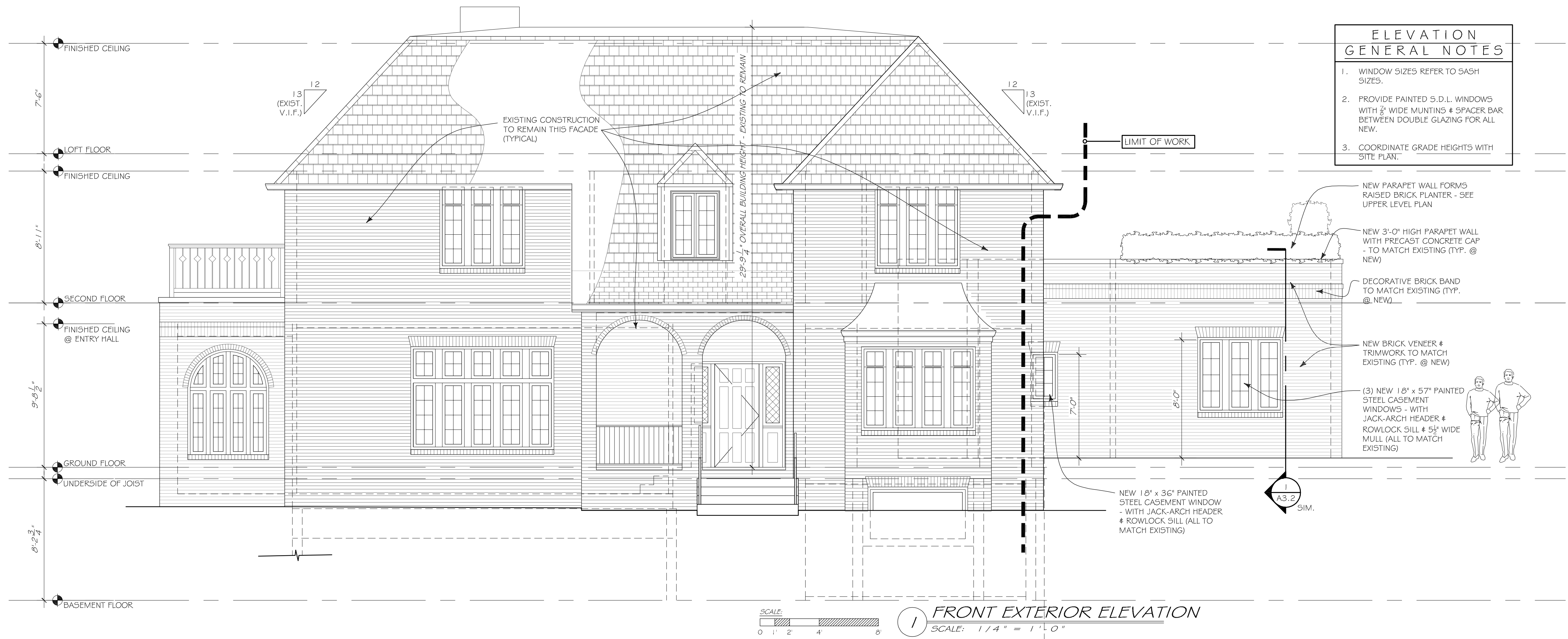


SCALE:
0 1' 2' 4' 8'

1A SECOND FLOOR PLAN - PROPOSED (FRONT OF HOUSE)
SCALE: 1/4" = 1'-0"

ELEVATION
GENERAL NOTES

1. WINDOW SIZES REFER TO SASH SIZES.
2. PROVIDE PAINTED S.D.L. WINDOWS WITH $\frac{3}{4}$ " WIDE MUNTINS & SPACER BAR BETWEEN DOUBLE GLAZING FOR ALL NEW.
3. COORDINATE GRADE HEIGHTS WITH SITE PLAN.



1 FRONT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

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HUTCHISON
RESIDENCE

ADDITION & RENOVATION

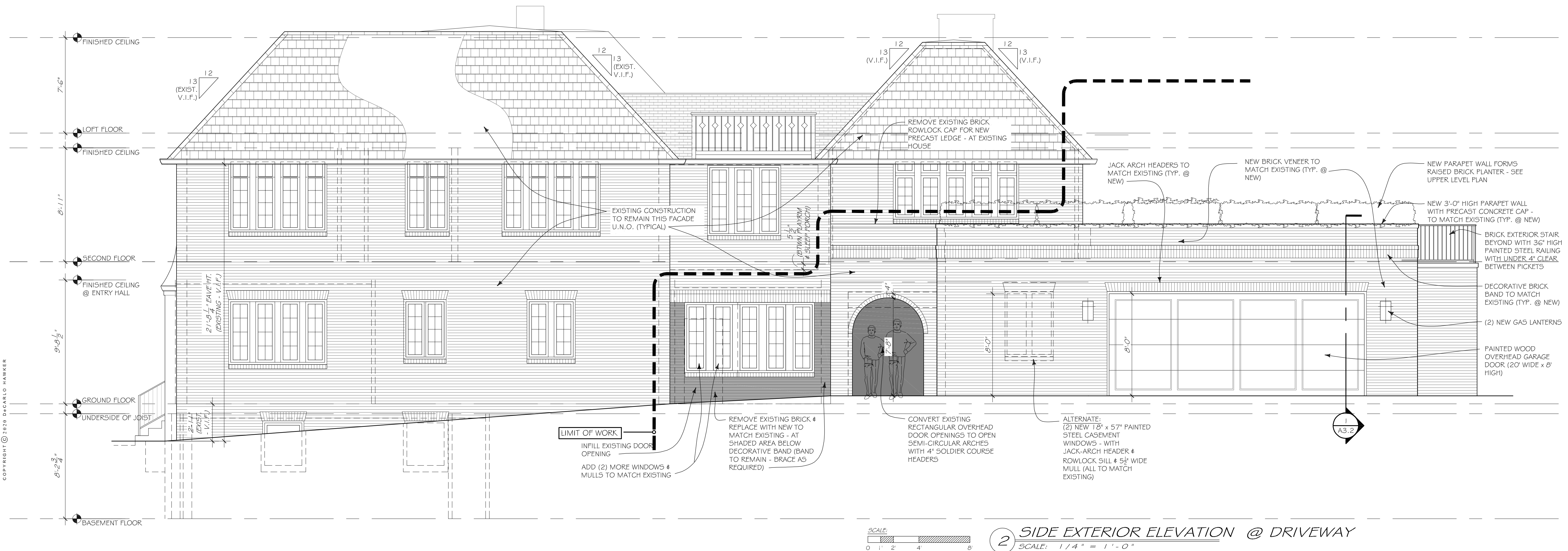
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EXTERIOR
ELEVATIONS

A2.1

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2 SIDE EXTERIOR ELEVATION @ DRIVEWAY

SCALE: 1/4" = 1'-0"

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HUTCHISON
RESIDENCE

ADDITION & RENOVATION

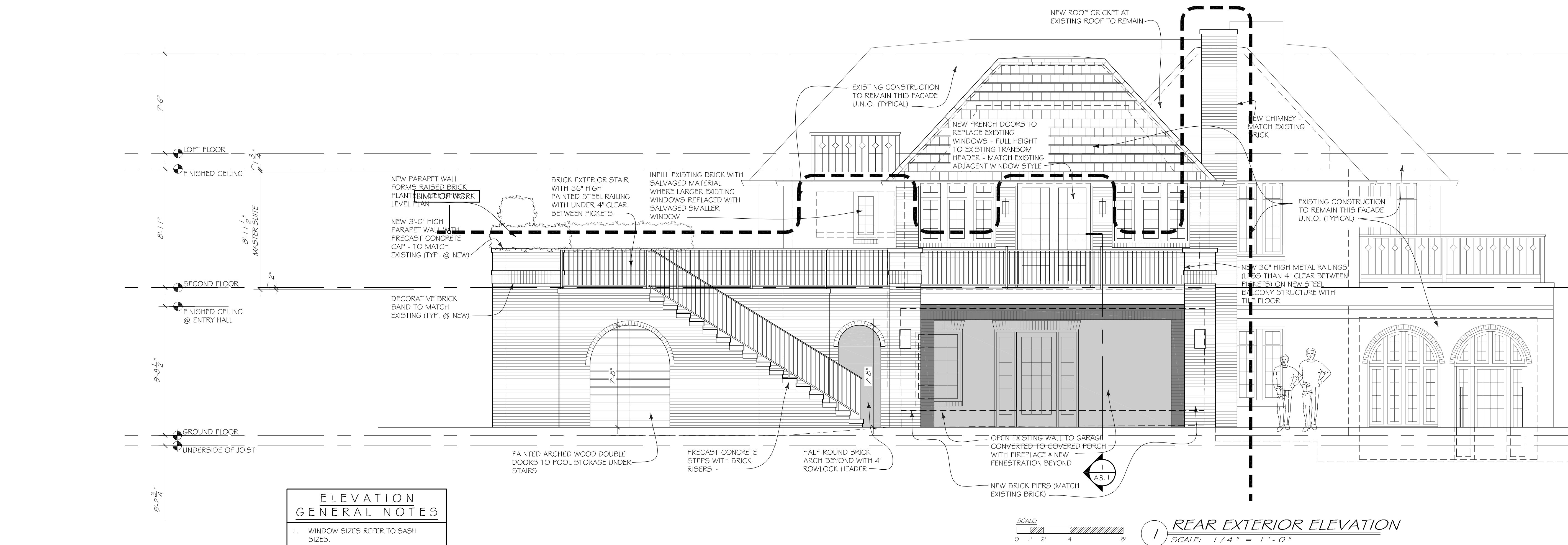
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EXTERIOR
ELEVATIONS

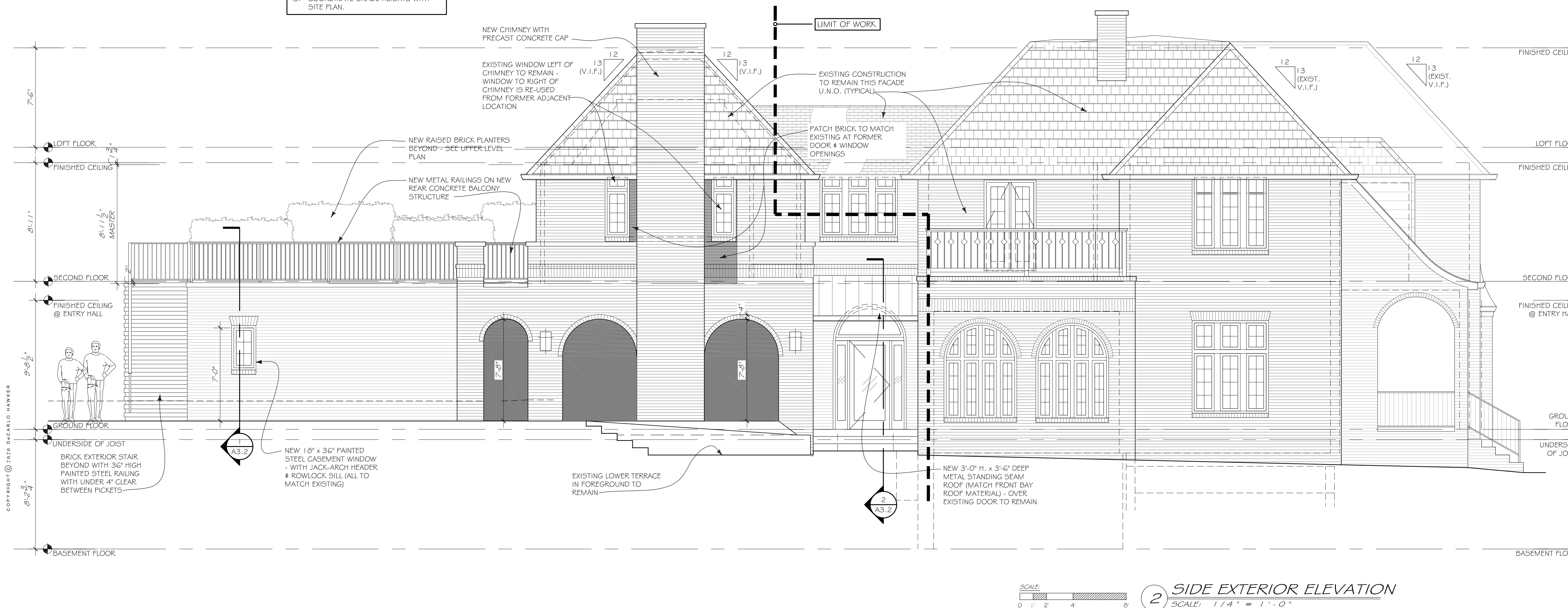
A2.2

RELEASED FOR CONSTRUCTION



ELEVATION
GENERAL NOTES

1. WINDOW SIZES REFER TO SASH SIZES.
2. PROVIDE PAINTED S.D.L. WINDOWS WITH 2" WIDE MUNTINS & SPACER BAR BETWEEN DOUBLE GLAZING FOR ALL NEW.
3. COORDINATE GRADE HEIGHTS WITH SITE PLAN.



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1 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

SCALE:
0 1' 2' 4' 6'



2 SIDE EXTERIOR ELEVATION @ DRIVEWAY
SCALE: 1/4" = 1'-0"

SCALE:
0 1' 2' 4' 6'

10 JUN 2020 100% CDS
27 MAR 2020 CERT. OF APPROPRIATENESS

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EXTERIOR
ELEVATIONS
- EXISTING

A2.3

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27 MAR 2020 CERT. OF APPROPRIATENESS



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EXTERIOR
ELEVATIONS
- EXISTING

A2.4

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