

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 868 Artwood Rd. Atlanta, GA 30307

Applicant: Falcon Murty E-Mail: falcon@falcondesignbuild.com

Applicant Mailing Address: 2838 Washington St. Avondale Estates, GA 30002

Applicant Phone(s): 404.229.2102

Fax: _____

Applicant's relationship to the owner: Owner ☐ Architect: ☒ Contractor/Builder ☐ Other ☐ _____

Owner(s): Lauren and Matt Upchurch

E-Mail: matt.upchurch@amerisbank.com

E-Mail: _____

Owner(s) Mailing Address: 868 Artwood Rd. Atlanta, GA 30307

Owner(s) Telephone Number: _____

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1948

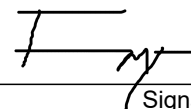
Nature of work (check all that apply):

New construction ☐ Demolition ☒ Addition ☒ Moving a building ☐ Other building changes ☒
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐
Sign installation or replacement ☐ Other ☐

Description of Work:

Remove existing garage. Remove existing deck. Remove existing exterior stairs, door, and awning from north side of residence. Add new master bedroom, mudroom, screened porch, and deck.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov An incomplete application will not be accepted.



Signature of Applicant/Date

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We, Matt + Lauren Upchurch
being owner(s) of the property at 868 Atwood Rd NE Atlanta, GA 30307
hereby delegate authority to Falcon Design Build (Falcon M. Ty)
to file an application for a certificate of appropriateness in my/our behalf.

Matt Upchurch
Signature of Owner(s)

1/25/21
Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

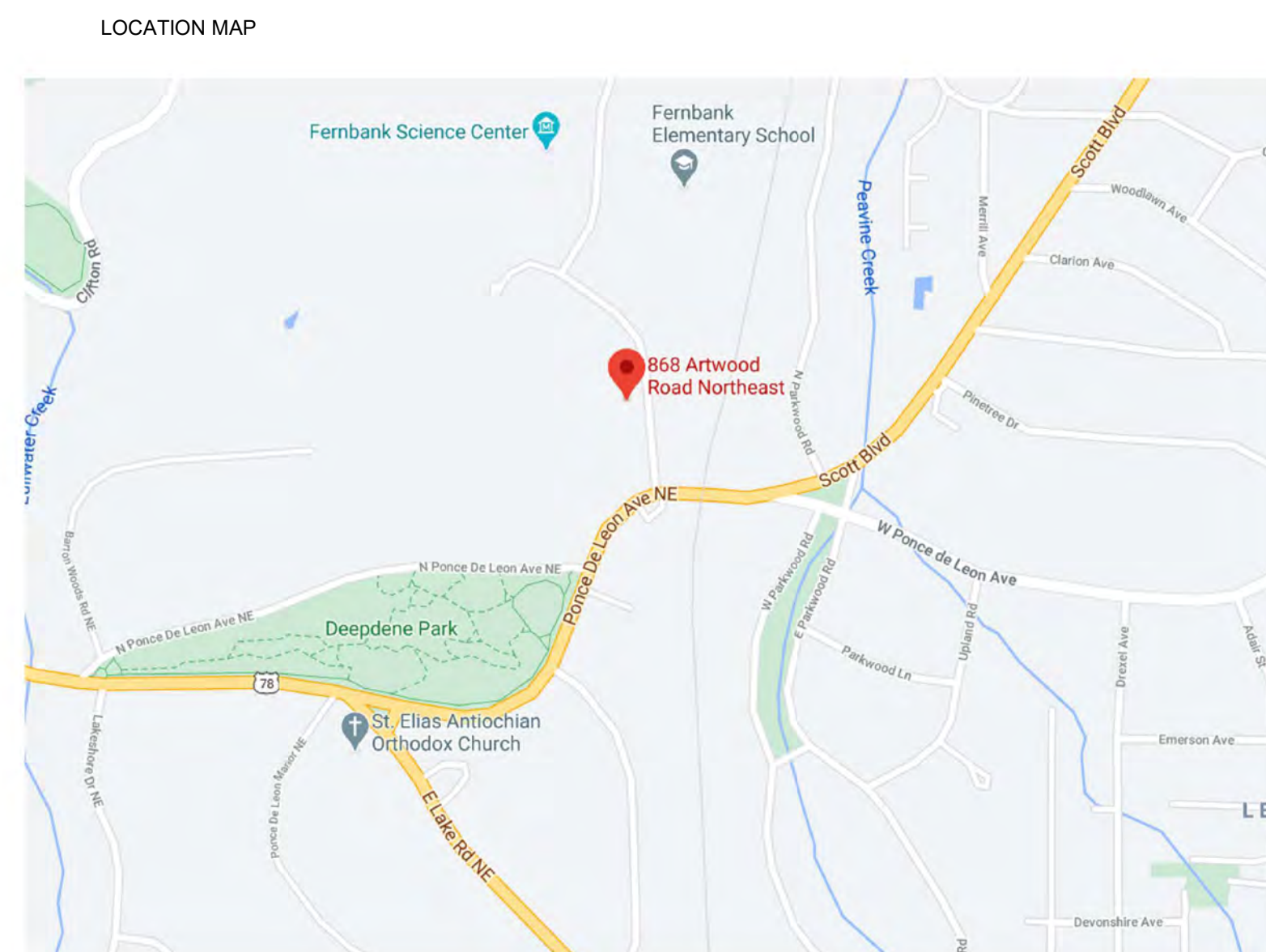
Project Manager and Contact: TBD
Owners: Lauren and Matt Upchurch
868 Artwood Rd.
Atlanta, GA 30307

Renovate existing single family residence. Remove existing garage. Remove existing deck. Remove exterior stairs and door on North side of residence. Add new master bedroom, mudroom, screened porch and deck.

1. All materials, hardware and fixtures will be UL listed.
2. All dimensions must be verified by contractor before construction begins.
3. Drawings scaled unless otherwise noted.
4. All work to be completed in a workman like manner and in accordance with accepted construction standards.
5. The drawings illustrate general work/scope requirements and do not elaborate on installation techniques. All work performed shall meet or exceed industry standards, be performed in accordance with the manufacturer's recommendations, and shall conform to all provisions of state, county and city codes, building laws, ordinance rules and regulations.
6. Outlets and utilities indicated on plan are minimum requirements. Additional telephone or outlets may be required by code. General Contractor to verify all locations in field.
7. Debris resulting from the construction shall be removed entirely from the construction site on a daily basis to a waste area provided by the contractor.
8. Unless otherwise noted, all details, sections and notes shown on the contract drawings are intended to be typical and shall apply to similar conditions elsewhere.
9. All omissions or conflicts between the various elements of the contract drawings and or specifications shall be brought to the attention of the architect before proceeding with any work involved.
10. The contractor shall verify all job site conditions and related dimensions.
11. The contractor shall be responsible for the protection of and the safety in and around the job site and of adjacent properties.
12. Compliance with codes and ordinances governing the work shall be made and enforced by the general contractor.
13. General contractor shall verify all existing conditions and dimensions prior to construction. Note that all written dimensions take precedence over scale.
14. Manufacturer's specifications for installation of materials shall be followed.
15. General contractor to determine the actual location of all utilities. Information shown on the drawings is diagrammatic and in no way warranted to indicate the true conditions.

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition, with Georgia Amendments (2020)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- National Electrical Code, 2017 Edition, with no Georgia Amendments
- International Energy Code, 2015 Edition, with Georgia Supplements and Amendments (2020)

Sheet List	
Sheet Number	Sheet Name
A0.0	COVER
A0.1	SITE
A1.0	EXISTING ELEVATIONS
A1.1	PHOTOS
A2.0	ELEVATIONS



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PROPOSED

Upchurch Residence
868 Artwood Rd.
Atlanta, GA 30307

[illegible]

222R1_Upchurch COVER

Project number	
Date	01.26.2021
Drawn by	Author
Checked by	Checker

A0.0

Scale	1/4" = 1'-0"
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Upchurch Residence

868 Artwood Rd.
Atlanta, GA 30307

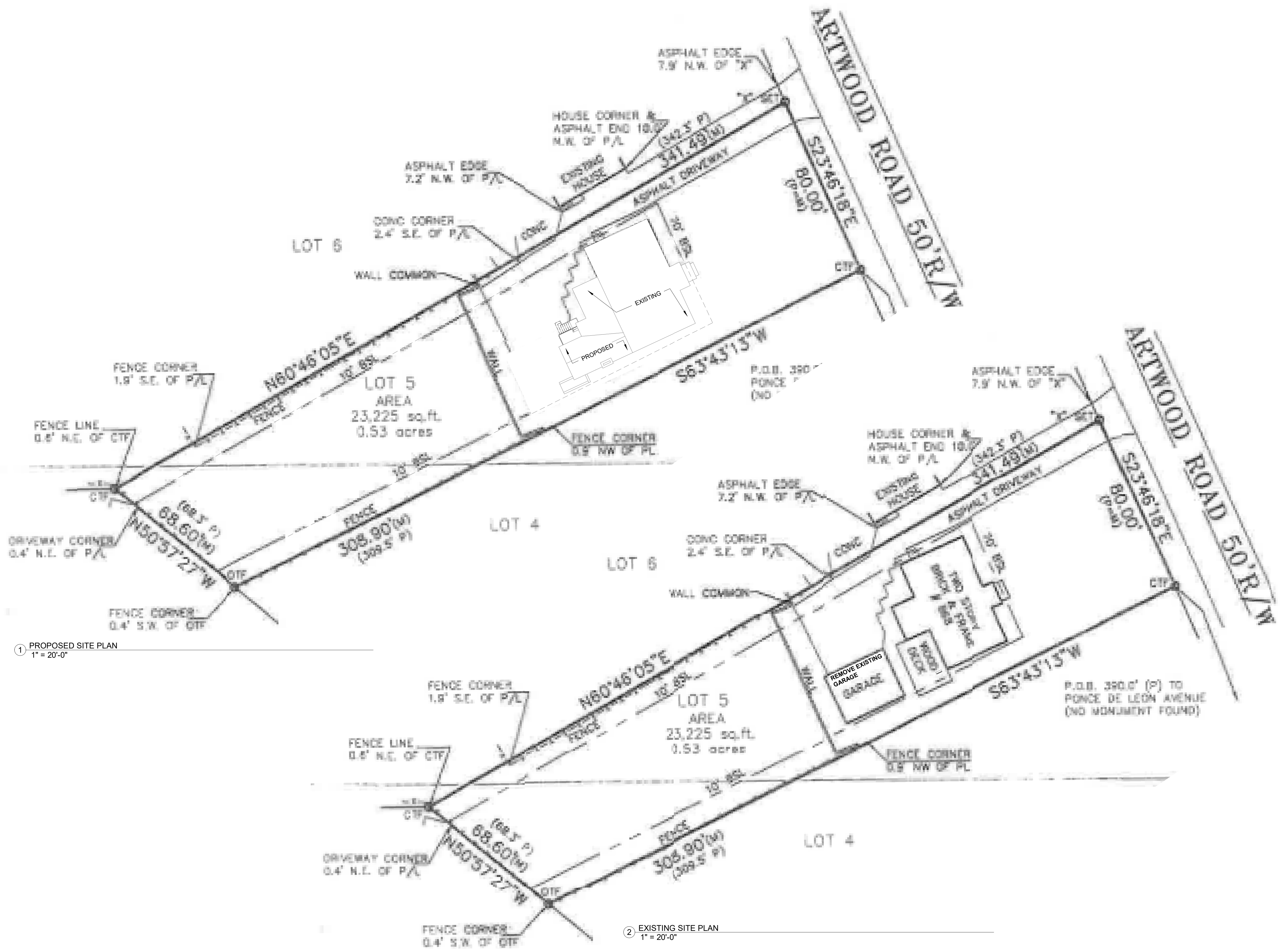
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SITE

Project number	
Date	01.26.2021
Drawn by	Author
Checked by	Checker

A0.1

Scale 1" = 20'-0"



1 PROPOSED SITE PLAN
1" = 20'-0"

② EXISTING SITE PLAN
1" = 20'-0"



PROPOSED

Upchurch Residence

868 Artwood Rd.
Atlanta, GA 30307

[illegible]

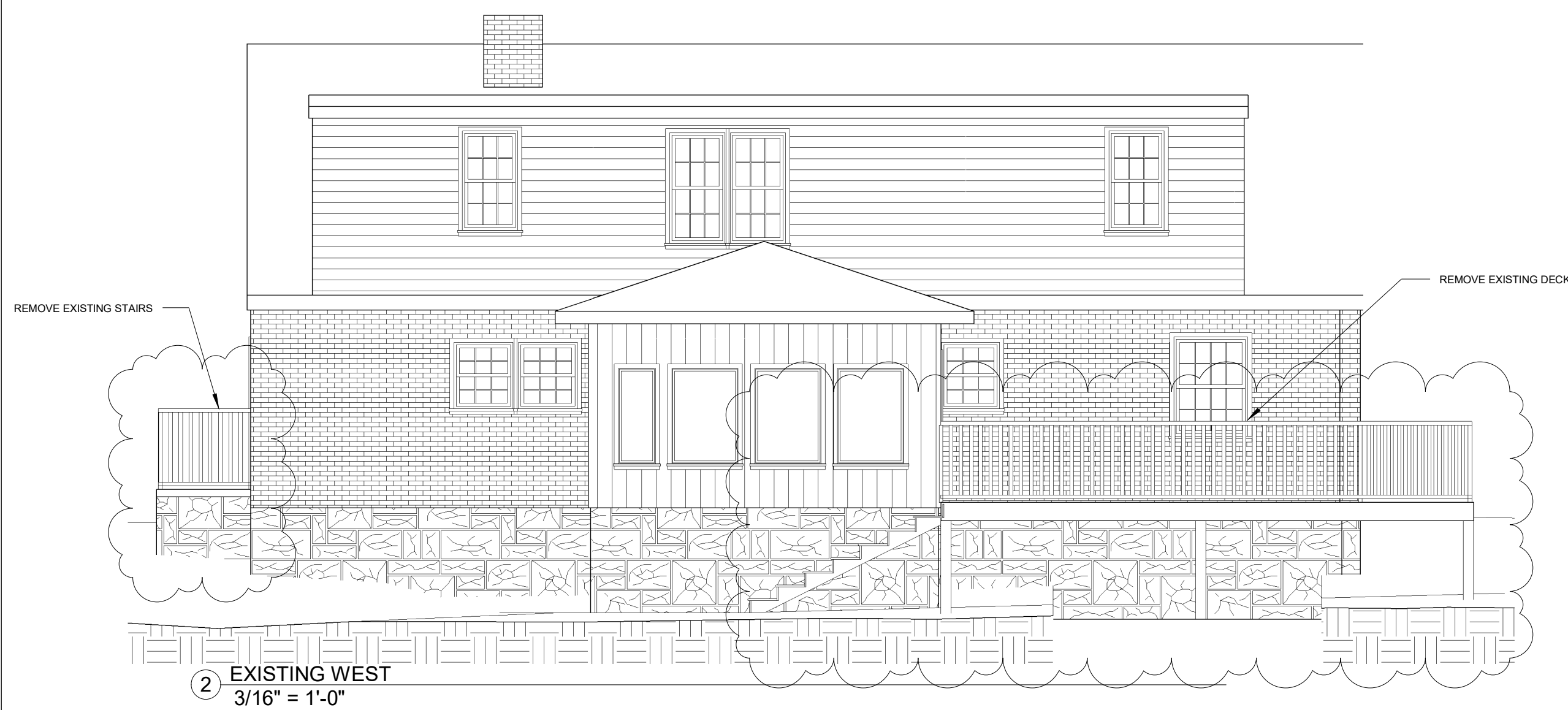
222R1_Upchurch

EXISTING ELEVATIONS

Project number	
Date	01.26.2021
Drawn by	Author
Checked by	Checker

A1.0

Scale	$\frac{3}{16}'' = 1'-0''$
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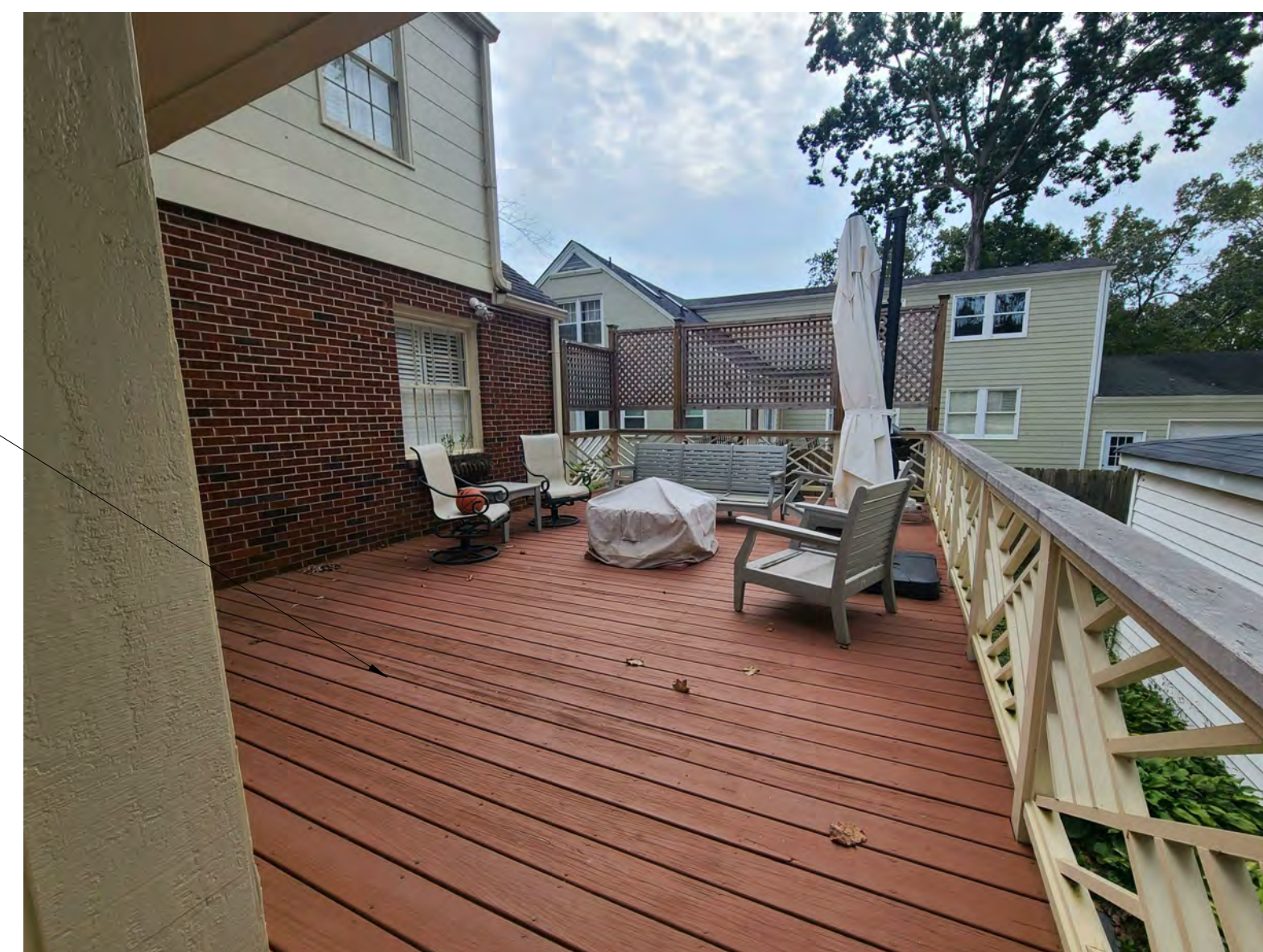




REMOVE EXISTING DECK



— REMOVE EXISTING DECK STAIRS



REMOVE EXISTING DECK



— REMOVE EXISTING GARAGE

REMOVE EXISTING EXTERIOR
STAIRS, DOOR, AND AWNING



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PROPOSED

Upchurch Residence

868 Artwood Rd.
Atlanta, GA 30307

[illegible]

222R1_Upchurch

PHOTOS

	Project number
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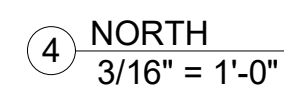
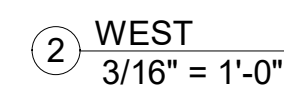
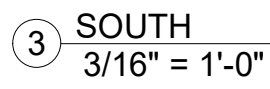
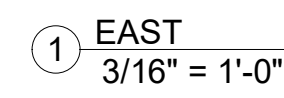
Project number	
Date	01.26.2021

Drawn by	Author
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Checked by	Author
Checked by	Checker

A1.1

	Scale
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Scale	$3/16" = 1'-0"$
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