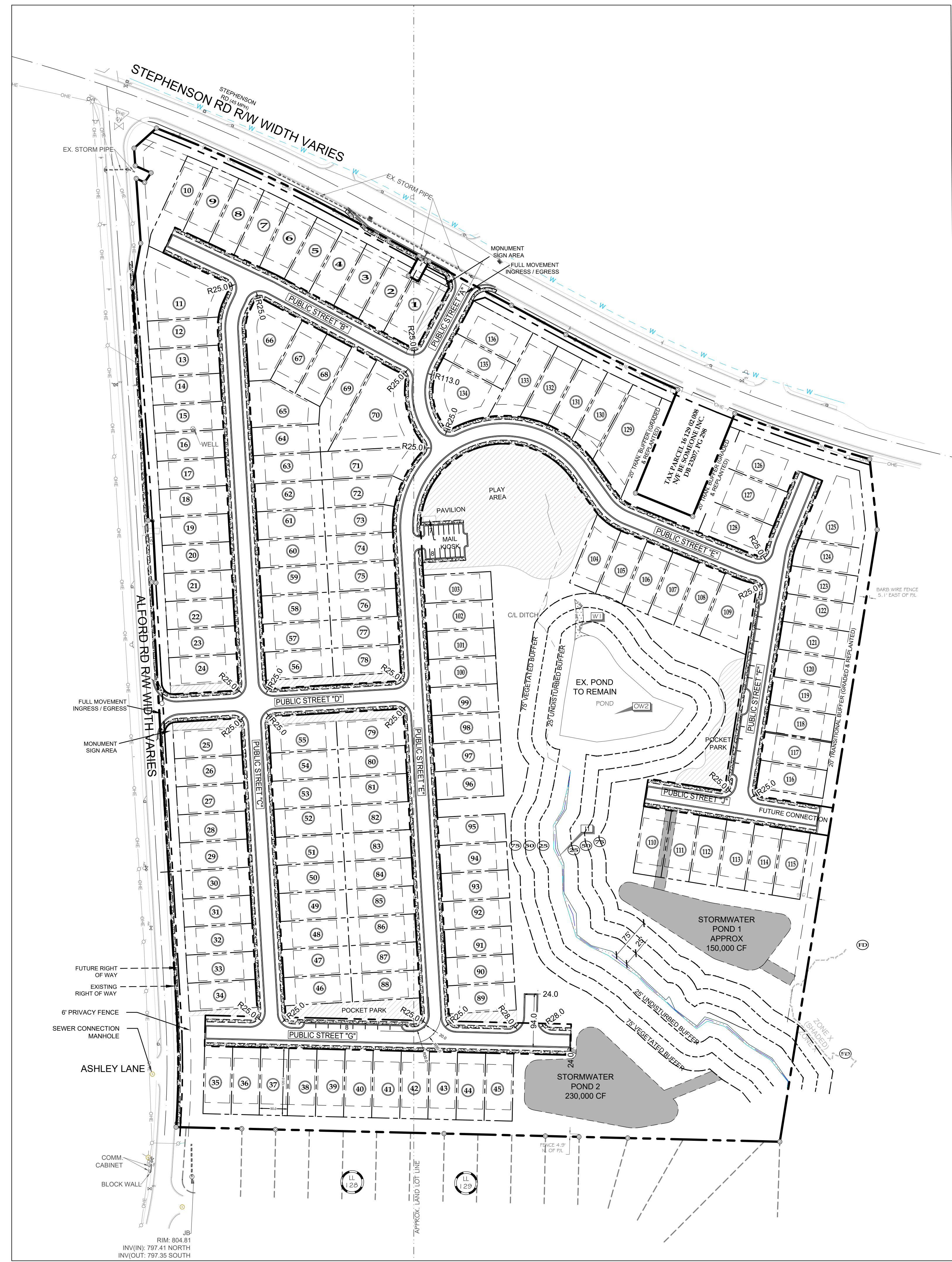


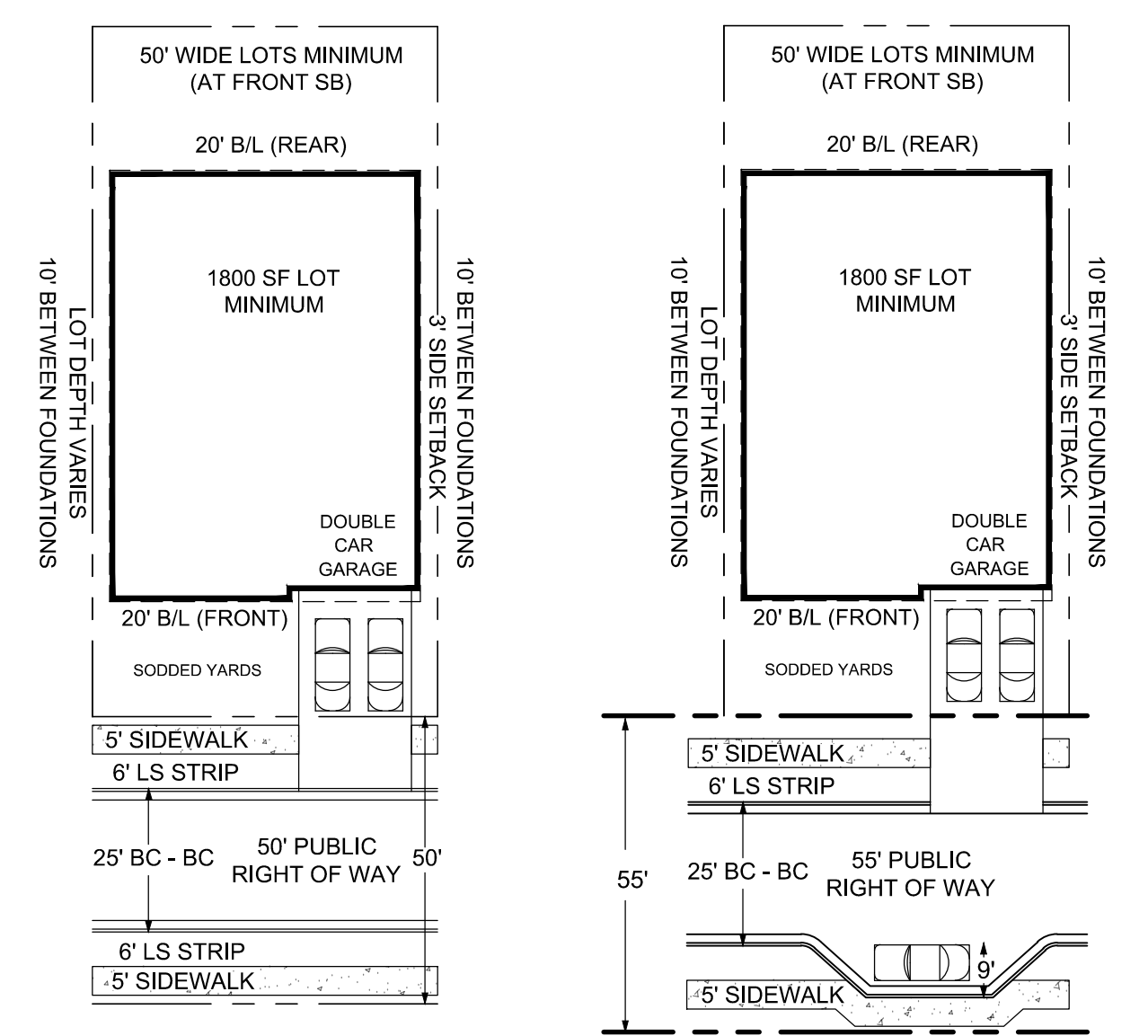
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A B C D E F G H I J K L M N O P Q



- Z-20-1243958 APPROVED CONDITIONS**  
**BOC 9/24/20**  
 (These conditions are unofficial until ratified by the Board of Commissioners)
- The development shall have a maximum of 140 units consisting only of single-family detached residences. Conceptual layout of site plan and building design shall be in substantial compliance with the revised site plan dated 8/21/2020 and subject to approval of the Director of Planning & Sustainability Department.
  - Provide access on Stephenson Road and Alford Road. Location of vehicular ingress and egress shall be subject to approval by the DeKalb County Department of Public Works, Transportation Division.
  - Construct one (1) eastbound right turn lane along Stephenson Road. Construct a conventional stop-controlled driveway on the site with one (1) ingress lane entering the site and one (1) egress lane exiting the site. Along Alford Road, construct a conventional stop-controlled driveway with one (1) ingress lane entering the site and one (1) egress lane exiting the site.
  - Dedicate a minimum 50 feet of right of way from centerline of Stephenson Road and 27.5 feet of right of way from centerline of Alford Road (or all public infrastructure on right of way - including streetlights, whichever greater).
  - Install an enhanced pedestrian feature to include a refuge medianette, rectangular flashing beacons and advanced warning signs to facilitate safe crossing from the development to Stephenson Middle School. Location to be approved by the Transportation Division.
  - Streetlights required with payment to Georgia Power and signed petition required prior to final plat approval.
  - Six-foot wide sidewalks required along Stephenson Road frontage. Five-foot wide sidewalks required along Alford Road.
  - A mandatory homeowners' association shall be created and shall be governed by a declaration of covenants, conditions, and restrictions. The homeowner association shall be responsible for the maintenance of required transitional buffer, open space within the property, street lighting, amenity areas and pedestrian paths.
  - Provide open space in compliance to Chapter 27-Article 5 of the DeKalb Code of Ordinances per conceptual site plan.
  - No residential units shall directly face Stephenson Road or Alford Road.
  - All exterior lighting shall be screened from adjacent properties or shielded to minimize glare and keep light inside the development.
  - Provide a minimum six-foot high fence along the southern boundary line of the site.
  - A six-foot high fence and minimum 15-foot wide landscape buffer on the public street frontage shall be provided along Stephenson Road and Alford Road. The landscaped buffer must meet requirements of Section 27-5-4.3(C)(1)-(C)(3) of this code regarding planting height, planting type, and planting functions. Street-facing fences shall have masonry (brick, stone, or hard coat stucco finish) piers separating fence sections with maximum lengths of 24 feet. A pier shall be required at any point where the fence changes direction. Piers must be at least 12 inches wide.
  - The approval of this rezoning application by the Board of Commissioners has no bearing on other approvals by the Zoning Board of Appeals or other authority, whose decision should be based on the merits of the application before said authority.



**SINGLE FAMILY TYPICAL LOT / STREET DETAILS**  
 • MAXIMUM BUILDING HEIGHT WILL NOT EXCEED 30'

**SITE DATA**

- GROSS PROPERTY SIZE: 40.91 AC / 1,782,039 SF
  - LESS ROAD WIDENING: 40.36 AC / 1,758,091 SdP
  - EXISTING ZONING: R100
  - PROPOSED ZONING: RSM / DEKALB COUNTY
  - PROPOSED LOTS: 136 LOTS
  - TOTAL DENSITY: 3.42 LOTS / ACRE
  - AVERAGE LOT WIDTH: 50.00' TYPICAL
  - AVERAGE LOT DEPTH: 120.00'
  - MINIMUM HEATED FLOOR: 1,800 SF
  - MAXIMUM BUILDING HEIGHT: 30'
  - PARKING SPACES: 4 PER UNIT (2 IN GARAGE & 2 IN DRIVEWAY) = 544 PARKING SPACES
  - AMENITY PARKING = 27 PARKING SPACES
  - TOTAL PARKING = 571 TOTAL SPACES
- SETBACKS (REQUIRED)
    - FRONT: 20' (20' MIN. DRIVEWAYS)
    - REAR: 20'
    - SIDE: 3'
    - BETWEEN FOUNDATIONS: 10'
  - OPEN SPACE REQUIRED
    - OPEN SPACE REQUIRED: 8.182 AC
    - % OF PROPERTY = 20.0%
  - OPEN SPACE PROVIDED: 8.55 AC
    - % OF PROPERTY = 20.9%
    - ENHANCED OPEN SPACE: 4.09 AC
    - % OF PROPERTY = 10.0%

PROJECT RECEIVING WATERS:  
 SITE DISCHARGES TO COUNTY RW DRAINAGE DITCH, THEN ULTIMATELY POLE BRIDGE CREEK.

- GENERAL NOTES:**
- THERE IS A WETLANDS AREA 771 S.F. ON SITE
  - A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GA EPD.
  - SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE STORM DRAINAGE OR SANITARY SEWER SYSTEMS. NO CONSTRUCTION SHALL BEGIN UNTIL CONSTRUCTION PLANS ARE APPROVED AND A DEVELOPMENT PERMIT IS OBTAINED.
  - THE OWNER OF THIS PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.
  - DEKALB COUNTY SANITATION SHALL BE RESPONSIBLE FOR HANDLING HOUSEHOLD WASTE, YARD DEBRIS AND RECYCLABLE MATERIAL.
  - WATER AND SEWER SERVICES WILL BE PROVIDED BY DEKALB COUNTY.
  - ADDRESSES WILL BE ASSIGNED FROM THE CENTER OF THE SIDE OF THE BUILDING WHERE THE FRONT DOOR IS LOCATED. HOWEVER, WHEN THE FRONT DOOR IS OBSCURED OR INVISIBLE FROM THE ROAD, OR THE STRUCTURE IS OBVIOUSLY BEST REACHED FOR EMERGENCY PURPOSES BY THE DRIVEWAY, ASSIGN THE PROPERTY NUMBER BASED ON WHERE THE DRIVEWAY INTERSECTS THE ROAD.
  - LOT 114 WILL BE INFORMED THAT THEY WILL NEED TO LEAVE THEIR ROLL CARTS FOR HOUSEHOLD WASTE AND RECYCLABLE MATERIAL IN THE NORTHEAST CORNER OF THE LOT FOR COLLECTION.
  - THE PURCHASER OF LOT #35 WILL BE INFORMED THAT THEY NEED TO LEAVE THEIR ROLL CARTS FOR HOUSEHOLD WASTE AND RECYCLABLE MATERIAL AT THE NORTHEAST CORNER OF THEIR LOT FOR SERVICING.

**SEWER NOTE:**  
 SEWER WILL BE A GRAVITY LINE AND TIE INTO THE EXISTING SEWER MANHOLE ALONG ALFORD ROAD & ASHLEY LANE.

**WATER NOTE:**  
 EXISTING WATER LINE LOCATED ON STEPHENSON ROAD AND PROVIDED BY DEKALB COUNTY.

**STREET LIGHT NOTE:**  
 FIXTURES AND ILLUMINATION SHALL COMPLY WITH COUNTY STANDARDS.



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Civil Engineering By AEP:  
 Artur Babenko, GA PE044669  
 Phone: 770-225-4730 x406  
 arturb@aepati.com



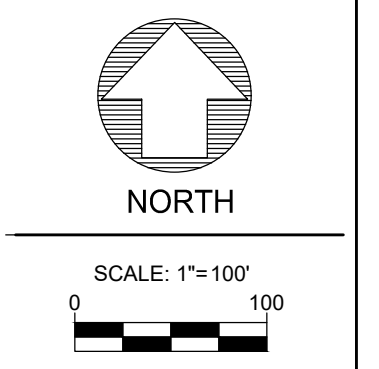
GASWCC LEVEL II  
 CERTIFICATION #73351  
 EXPIRATION DATE: 02/28/2021

SURVEYING BY:  
 ALLIANCE SURVEYING  
 PHONE: (334) 360-4197  
 CONTACT: DAVID ANDERSON, RLS

**DEVELOPER**  
 PARKLAND COMMUNITIES, INC.  
 289 SOUTH MAIN ST., SUITE A  
 ALPHARETTA, GEORGIA 30009  
 24 HR. CONTACT: (404) 456-5562  
 JIM@PARKLANDCO.COM

**Sketch Plat for SUMMERTREE**  
 800 ALFORD ROAD  
 STONE MOUNTAIN  
 DISTRICT 16 L.L. 128 & 129  
 DEKALB COUNTY, GA

Orig. Issue 10.13.20  
 Designed by DO  
 Checked by TSM  
 Project # 19073



**SITE PLAN**

**C-301**