

RECEIVED

By Rachel Bragg at 12:53 pm, Feb 19, 2021

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04.371.4556 (f)
DeKalbCountyGa.gov

Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 238 CHELSEA CIRCLE, DECATUR, GA 30030

Applicant: JUAN RAMIREZ - STUDIO D+C, INC E-Mail: JRAMIREZ@STUDIO D-C.COM

Applicant Mailing Address: 309 WOODVIEW DRIVE, DECATUR, GA 30030

Applicant Phone(s): 770 318 2782 Fax: 404 377 9860

Applicant's relationship to the owner: Owner ☐ Architect: ☒ Contractor/Builder ☐ Other ☐

Owner(s): MICHAEL IMMING E-Mail: MICHAEL.IMMING@GMAIL.COM

SARAH PHELAN E-Mail: SARAH.IMMING@TYSON.COM

Owner(s) Mailing Address: 238 CHELSEA CIRCLE, DECATUR, GA 30030

Owner(s) Telephone Number: MICHAEL IMMING: 470 226 4287 / SARAH PHELAN: 813 786 1875

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: BUILT IN 1959

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☒ Moving a building ☐ Other building changes ☐
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐
Sign installation or replacement ☐ Other ☐

Description of Work:

ADDITION OF A FAMILY ROOM, MASTERSUITE, LAUNDRY & MUDROOM.
THE EXISTING UNFINISHED BASEMENT WILL BE PARTIALLY
FINISHED AND SOME INTERIOR RENOVATION WORK ON THE
EXISTING MAIN LEVEL WILL BE DONE. EXISTING WINDOWS WILL
BE REPLACED. A PARTIALLY COVERED DECK WILL BE PART OF THE NEW
ADDITION.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov An incomplete application will not be accepted.



Signature of Applicant/Date


Revised 10/5/2020

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/We, Michael and Sarah Imming
being owner(s) of the property at 238 Chelsea Circle, Decatur GA 30030,
hereby delegate authority to STUDIO DTC, INC / JOAN RAMIREZ
to file an application for a certificate of appropriateness in my/our behalf.


Signature of Owner(s)

2-18-21
Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

ARCHITECTURAL SYMBOLS

ELEVATION SYMBOL

ELEVATION REFERENCE NUMBER

SHEET ON WHICH THE ELEVATION IS DRAWN

SECTIONS SYMBOL

SECTION/ DETAIL REFERENCE NUMBER

SHEET ON WHICH THE SECTION/DETAIL IS DRAWN

ELEVATION SYMBOL

ELEVATION REFERENCE NUMBER

SHEET ON WHICH THE ELEVATION IS DRAWN

DRWAING NAME SYMBOL

DRAWING REFERENCE NUMBER

TITLE

SCALE: 1/8"=1'-0"

DRAWING NAME

DRAWING SCALE

DRWAING NAME SYMBOL

DRAWING REFERENCE NUMBER

TITLE

SCALE: 1/8"=1'-0"

DRAWING NAME

DRAWING SCALE

NORTH

NORTH

PROJECT TEAM

OWNER:
MICHAEL IMMING & SARAH PHELAN
238 CHELSEA CIRCLE
DECATUR, GA 30030
CONTACT: 813 786 1875

CONTRACTOR AND PROJECT DESIGNERS:
STUDIO d+c, INC.
309 WOODVIEW DRIVE
DECATUR, GA 30030
CONTACT: JUAN RAMIREZ
OFFICE: 403 377 7346
CELL: 770 318 2782
FAX: 404 377 9860
EMAIL: jramirez@studiod-c.com
WEB: www.studiod-c.com

PROJECT DESCRIPTION

THE EXISTING STRUCTURE LOCATED AT 238 CHELSEA CIRCLE, DECATUR, GEORGIA WAS ORIGINALLY CONSTRUCTED AS A WOOD FRAMED, BRICK FACED, RANCH STYLE, SINGLE FAMILY RESIDENCE.

THE PROJECT SCOPE OF WORK CONSISTS OF AN ADDITION OF A FAMILY ROOM, MASTERSUITE, LAUNDRY AND MUDROOM. THE EXISTING UNFINISHED BASEMENT WILL BE PARTLY FINISHED AND SOME INTERIOR RENOVATION WORK ON THE EXISTING MAIN LEVEL WILL BE DONE.

APPLICABLE CODES

INTERNATIONAL BUILDING CODE (IBC), 2012 EDITION WITH GEORGIA STATE AMENDMENTS.

INTERNATIONAL RESIDENTIAL CODE (IRC), 2012 EDITION WITH GEORGIA STATE AMENDMENTS.

NFPA NATIONAL ELECTRICAL CODE (NEC), 2014 EDITION

INTERNATIONAL FUEL GAS CODE (IFGC), 2012 EDITION WITH GEORGIA STATE AMENDMENTS.

INTERNATIONAL MECHANICAL CODE (IMC), 2012 EDITION WITH GEORGIA STATE AMENDMENTS.

INTERNATIONAL PLUMBING CODE (IPC), 2012 EDITION WITH GEORGIA STATE AMENDMENTS.

INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2009 EDITION WITH GEORGIA STATE SUPPLEMENTS AND AMENDMENTS.

INTERNATIONAL FIRE CODE (IFC), 2012 EDITION WITH GEORGIA STATE AMENDMENTS.

2012 NFPA 101 LIFE SAFETY CODE WITH ALL GEORGIA STATE AMENDMENTS

GEORGIA ACCESSIBILITY CODE- GAC 120-3-20, AS AMENDED

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

ZONING SUMMARY

PROJECT NAME : NEW ADDITION AND RENOVATION
IMMING-RESIDENCE

ADDRESS : 238 CHELSEA CIRCLE , DECATUR, GA 30030

STRUCTURE DESCRIPTION: THREE BEDROOMS, 2 BATHS , ONE STORY WOOD FRAMED SINGLE FAMILY RESIDENCE WITH UNFINISHED BASEMENT. THE MAIN EXTERIOR MATERIALS ARE BRICK AND WOODSIDING. ASPHALT SHINGLES ARE USED AS THE MAIN ROOFING MATERIAL.

ZONING: R-75 (SINGLE-FAMILY RESIDENTIAL)

USE: DETACHED SINGLE-FAMILY DWELLING

TOTAL LOT AREA: 17,236 SF

TOTAL FLOOR AREA SUMMARY:

FLOOR AREA LEVEL1 W/ ADDITION: 2577 SF

FLOOR AREA FINISHED BASEMENT: 731 SF

FLOOR AREA UNFINISHED BASEMENT: 600SF

CARPORT & PORCHES: 666 SF

NEW DECK: 532 SF

FRONT SETBACK:
EXISTING TO REMAIN, WILL NOT CHANGE. 30'-0"

SIDE SETBACKS:
EXISTING TO REMAIN, WILL NOT CHANGE. 7'-6"

BACK SETBACK:
EXISTING TO REMAIN, WILL NOT CHANGE. 40'-0"

BUILDING HEIGHT:
MAX BUILDINGHEIGHT FRONT:16'-1", SIDE: 24'-7, 35' ALLOWED

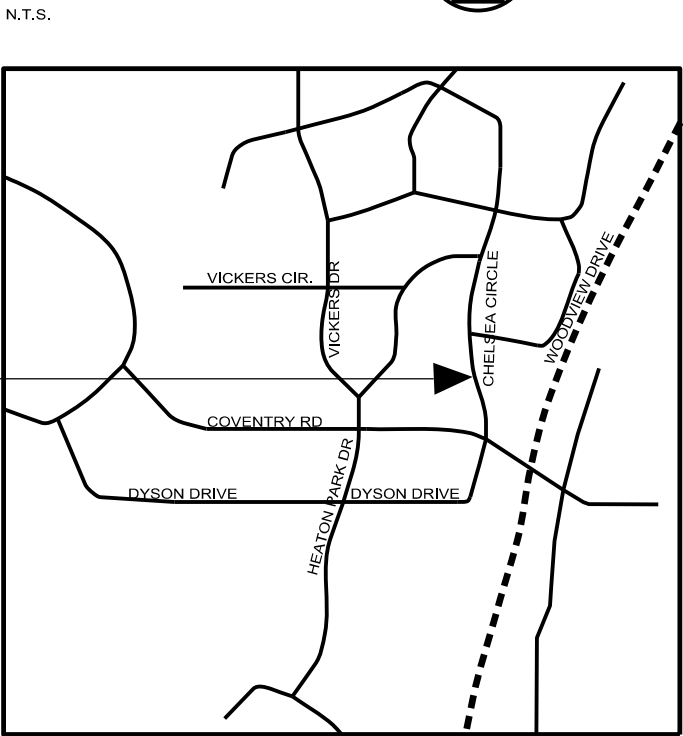
IMPERVIOUS CALCULATIONS:
SEE A1.00 (SURVEY) FOR EXISTING
SEE A1.01 (PROPOSED SITE PLAN) FOR PROPOSED

NOTE: THIS PROJECT RENOVATION/ADDITION WILL NOT DESTROY OR DISTURB THE ADJACENT SOIL OR ROOT SYSTEMS OF EXISTING TREES . NO TREES WILL BE REMOVED.

DRAWING INDEX

G0.01	COVER SHEET
A1.00	PROPERTY SURVEY
A1.01	PROPOSED SITE PLAN
A2.00	EXISTING/ DEMOLITION PLAN - BASEMENT
A2.01	EXISTING/ DEMOLITION PLAN- LEVEL 1
A2.02	EXISTING/ DEMOLITION- ROOF
A3.00	NEW FLOOR PLAN - BASEMENT
A3.01	NEW FLOORPLAN - LEVEL 1
A3.02	NEW ROOF PLAN
A4.01	EXISTING ELEVATIONS- DEMOLITION
A4.02	EXISTING ELEVATIONS-DEMOLITION
A4.03	NEW ELEVATIONS
A4.04	NEW ELEVATIONS
A9.01	PHOTOS OF EXISTING STRUCTURE
A9.02	PHOTOS OF EXISTING STRUCTURE

LOCATION MAP



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

NEW ADDITION AND RENOVATION
IMMING RESIDENCE
238 CHELSEA CIRCLE
DECATUR, GA 30030

PRINTING & REVISIONS

02/19/21 COA
Application Submittal

XX/XX/XX Construction
Documents
XX/XX/XX Released for
Construction

Sheet Title	COVER SHEET
Sheet Number	G0.01

JN: 2021301

GENERAL NOTES:

1: This Plat has been prepared without the benefit of a current title report. Easements or encumbrances may exist that are not shown on this plat.

2: This plat is subject to any restrictions, easements, covenants or restrictions that may exist either written or unwritten.

3: Underground utilities not shown hereon may exist. The Surveyor does not take responsibility for absence or presence of any such utilities.

4: No Geodetic monuments were found within 500 feet of this site

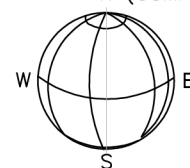
5: This Plat has been prepared for the exclusive use of the person(s) or entities named hereon.

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon.

RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

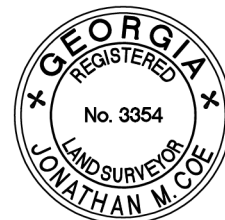
0 30' 60'
1" = 30'

N (COMPASS)



LEGEND

- EOP EDGE OF PAVEMENT (CURB)
- PP POWER POLE
- R/W RIGHT OF WAY
- IPF IRON PIN FOUND
- IPS 1/2" REBAR SET
- OTP OPEN TOP PIPE
- CTP CRIMP TOP PIPE
- RB STEEL REBAR
- SW SIDE WALK
- BOLLARD
- OHP OVERHEAD POWER
- FH FIRE HYDRANT
- CB CATCH BASIN
- MH MANHOLE
- WM WATER METER
- WV WATER VALVE
- GV GAS VALVE
- GM GAS METER
- LP LIGHT POLE
- CONCRETE PAD



FOR
DEKALB SURVEYS, INC.
407 WEST PONCE DE LEON AVENUE
SUITE B
DECATUR, GEORGIA 30030
404.373.9003

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www.dekalbsurveys.com
COA 1086

REFERENCE: DEED BOOK 25086 PG 562
PLAT BOOK 4 PG 32

FLOOD HAZARD NOTE: THIS PROPERTY IS NOT LOCATED IN A
FLOOD HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB
COUNTY, GEORGIA 13089C0062K EFFECTIVE DATE AUGUST 15, 2019

SURVEY DATA:

TYPE OF SURVEY: RETRACEMENT
SOURCE OF TITLE DESCRIPTION FOR SUBJECT
PROPERTY: DB 25086 PG 562
PROPERTY OWNER AT TIME OF SURVEY:
SARAH PHELAN IMMING & MICHAEL IMMING
PARCEL NUMBER: 18-004-10-025

BEARING BASIS IS A SINGLE COMPASS READING &
ANGLES TURNED

TOTAL AREA: 17,236 SQ FT, 0.40 AC

CALCULATED PLAT CLOSURE: 1:115,763

FIELD DATA:

DATE OF FIELD SURVEY 8-28-2020

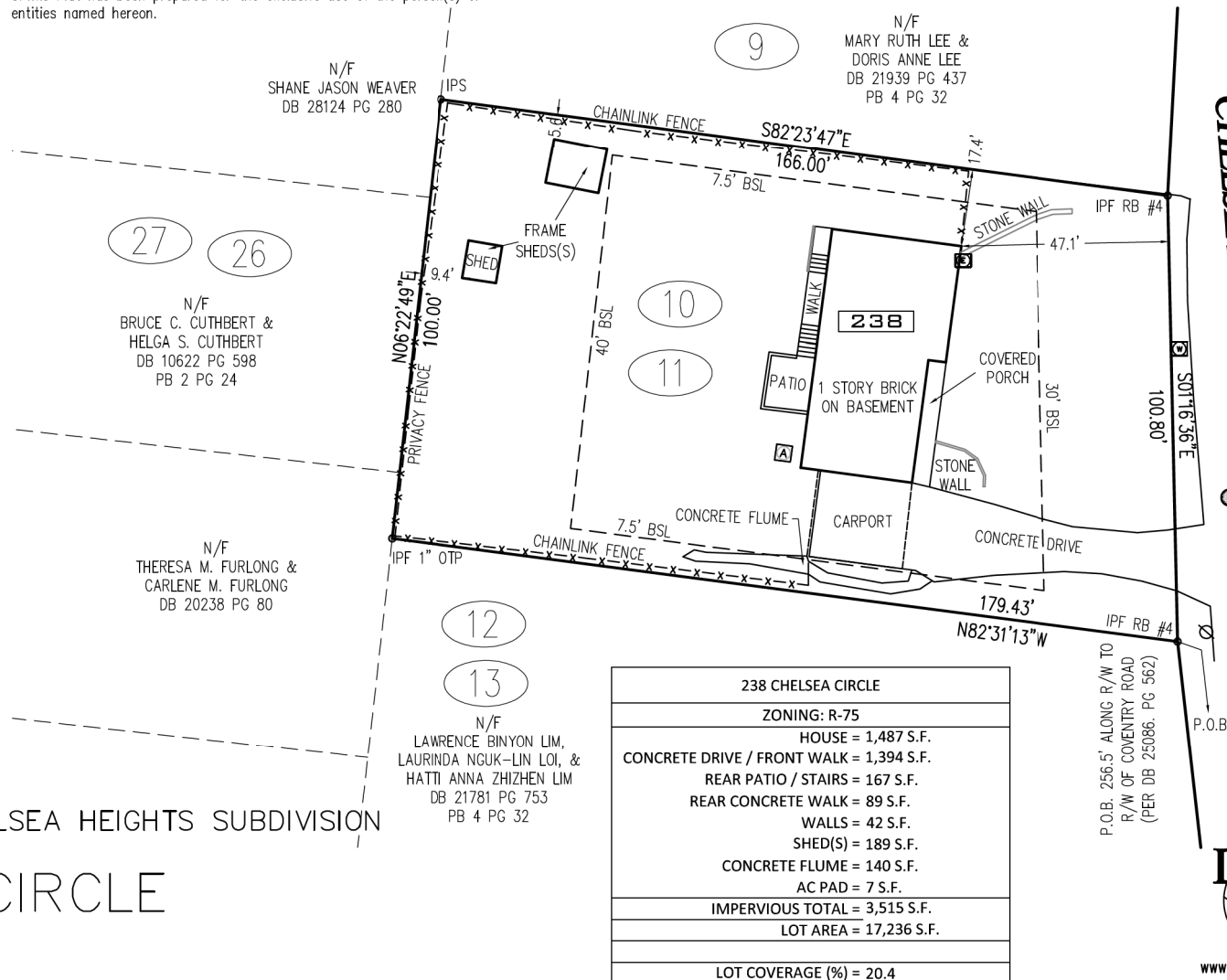
THE CALCULATED POSITIONAL TOLERANCE BASED ON
REDUNDANT LINEAR MEASUREMENTS OF OBSERVED
POSITIONS WAS FOUND TO BE 0.015 FEET.

EQUIPMENT:
ELECTRONIC TOTAL STATION

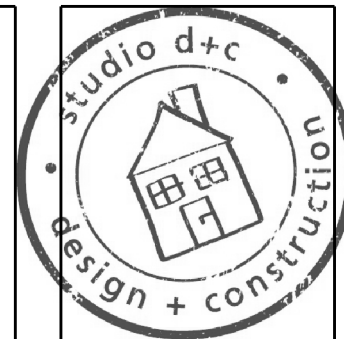
BOUNDARY SURVEY FOR
MICHAEL IMMING
LOTS 10 & 11, BLOCK 6, CHELSEA HEIGHTS SUBDIVISION

238 CHELSEA CIRCLE

DEKALB COUNTY, GEORGIA
LAND LOT 4, DIST 18
DATE: SEPTEMBER 1, 2020



1
A 1.00
PROPERTY SURVEY
SEE GRAPHIC SCALE



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

NEW ADDITION AND RENOVATION
IMMING RESIDENCE
238 CHELSEA CIRCLE
DECATUR, GA 30030

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Sheet Title
PROPERTY
SURVEY
Sheet Number
A1.00



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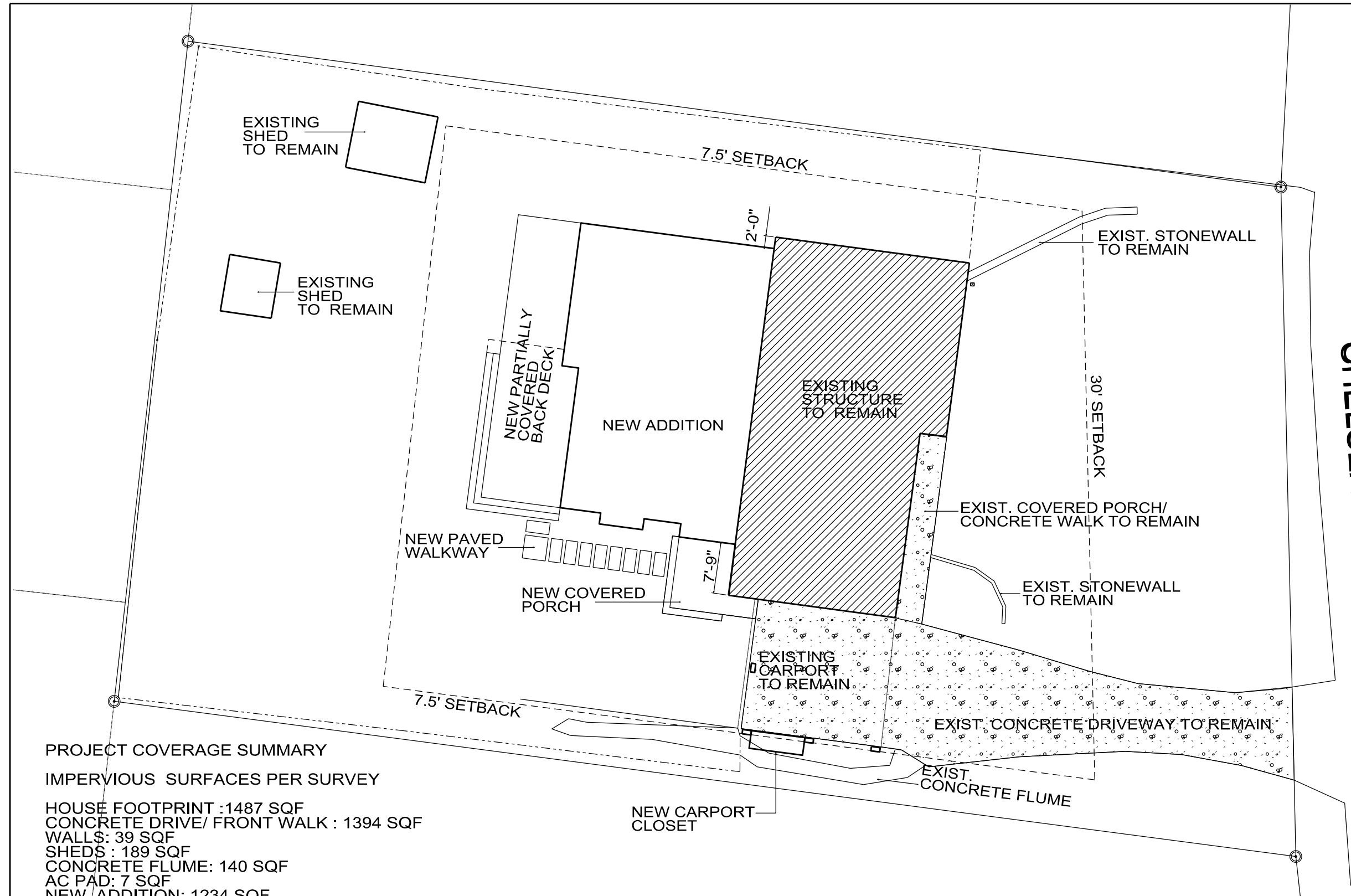
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Construction

Sheet Title

PROPOSED
SITE PLAN

Sheet Number

A1.01



PROJECT COVERAGE SUMMARY

IMPERVIOUS SURFACES PER SURVEY

HOUSE FOOTPRINT :1487 SQF
CONCRETE DRIVE/ FRONT WALK : 1394 SQF
WALLS: 39 SQF
SHEDS : 189 SQF
CONCRETE FLUME: 140 SQF
AC PAD: 7 SQF
NEW ADDITION: 1234 SQF
NEW DECK & STAIRS: 532 SQF
NEW WALKWAY: 68 SQF
NEW COVERED PORCH AT ADDITION ENTRY: 126 SQF
CARPORT CLOSET: 17 SQF
TOTAL: 5233 SQF

TOTAL PROPOSED LOTCOVERAGE: 5233 SQF
LOT COVERAGE: 30.4%
LOT SIZE: 17,236 SQF
MAXIMUM LOTCOVERAGE ALLOWED: 35 %

1
A 1.01

PROPOSED SITE PLAN

SCALE: 1/16"=1'-0"



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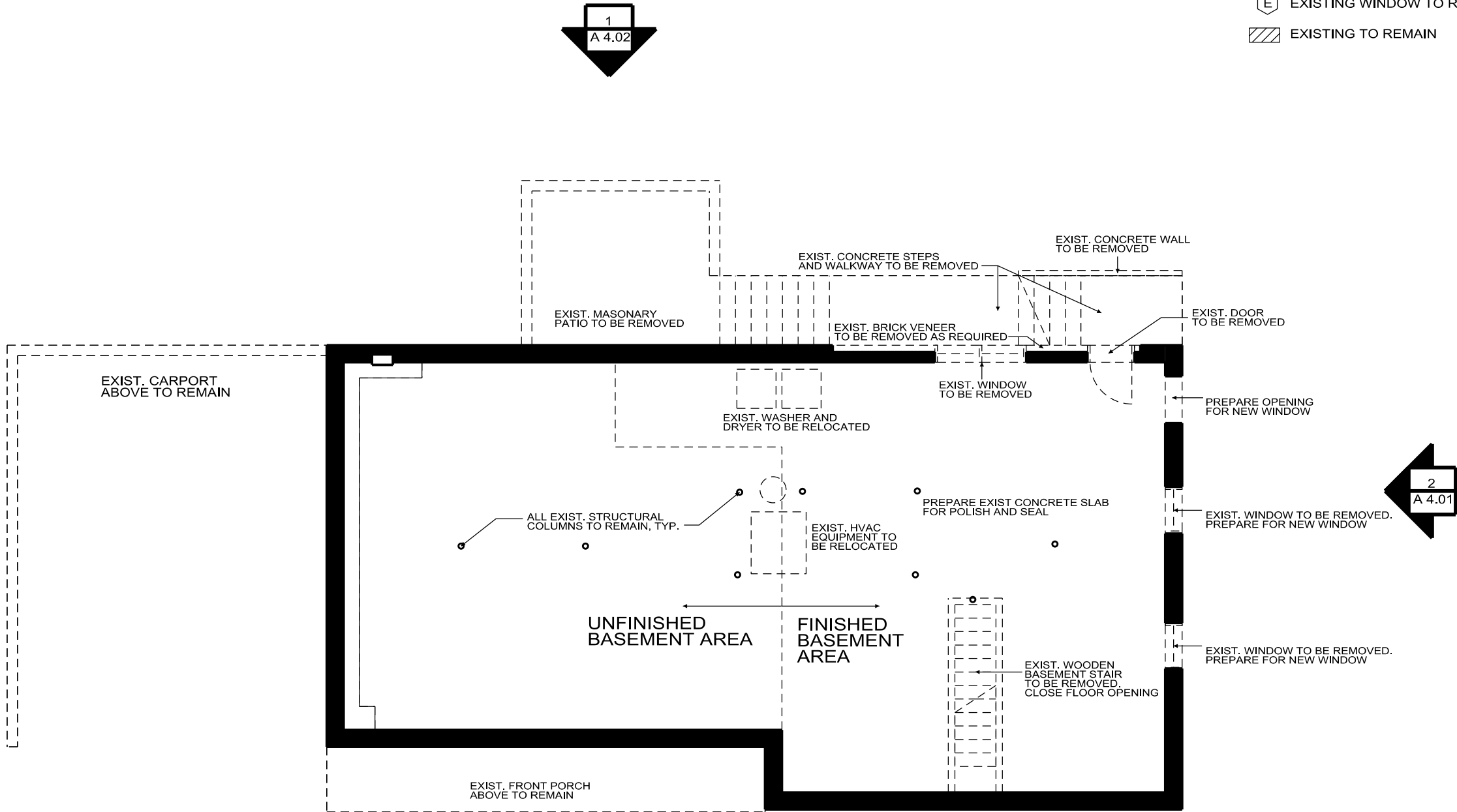
XX/XX/XX Construction
Documents

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Construction

Sheet Title	EXISTING/ DEMO FLOOR PLAN BASEMENT
Sheet Number	A2.00

LEGEND :

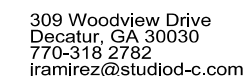
- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



1
A 2.00

EXISTING/ DEMO FLOOR PLAN - BASEMENT
SCALE: 1/8"=1'-0"









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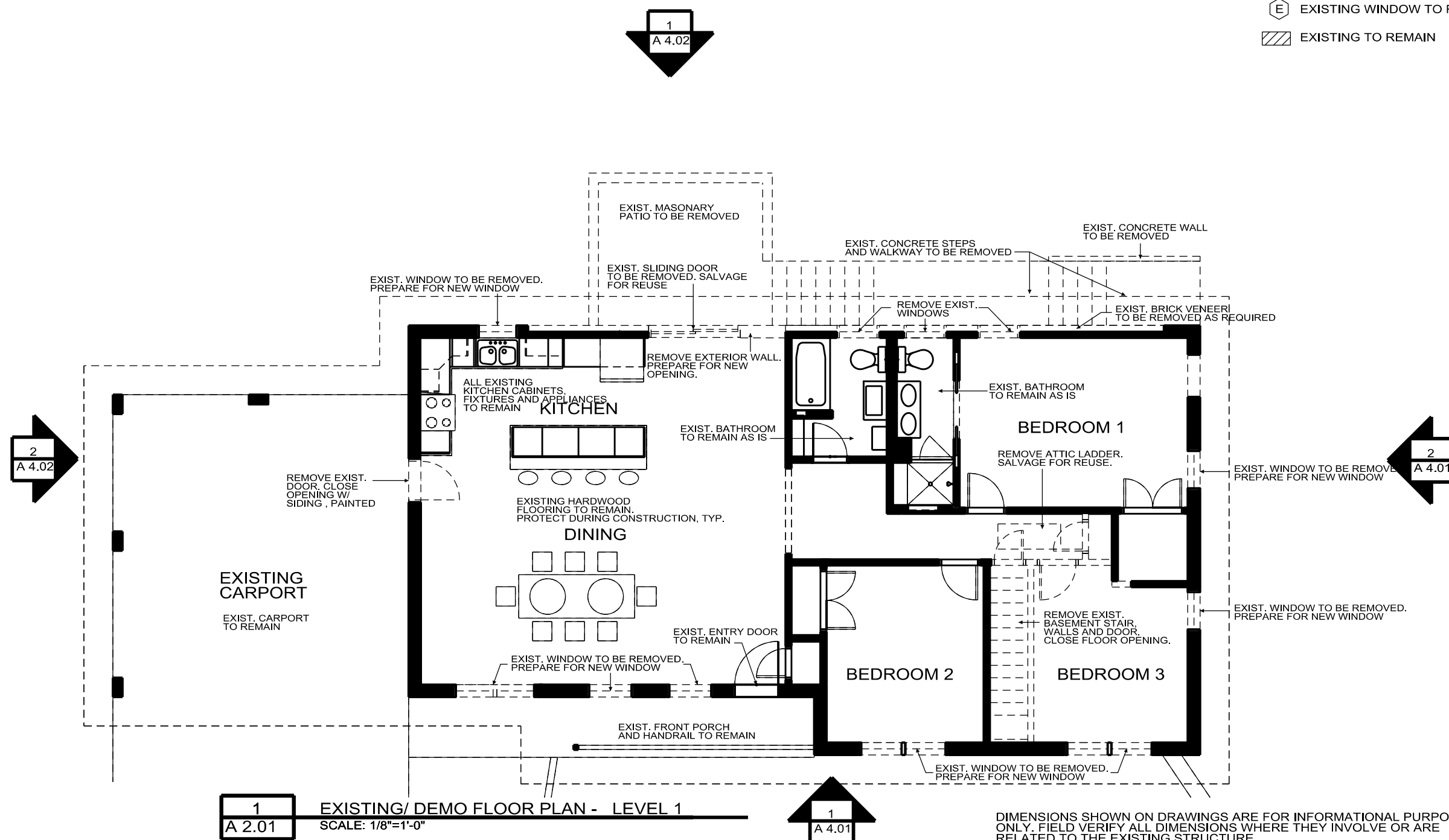


NEW ADDITION AND RENOVATION
IMMING RESIDENCE
238 CHELSEA CIRCLE
DECATUR, GA 30030

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A2.01

 EXISTING WALL TO REMAIN
 NEW WALL
 ROOM NUMBER
 NEW DOOR
 EXIST. DOOR TO REMAIN
 NEW WINDOW
 EXISTING WINDOW TO REMAIN
 EXISTING TO REMAIN



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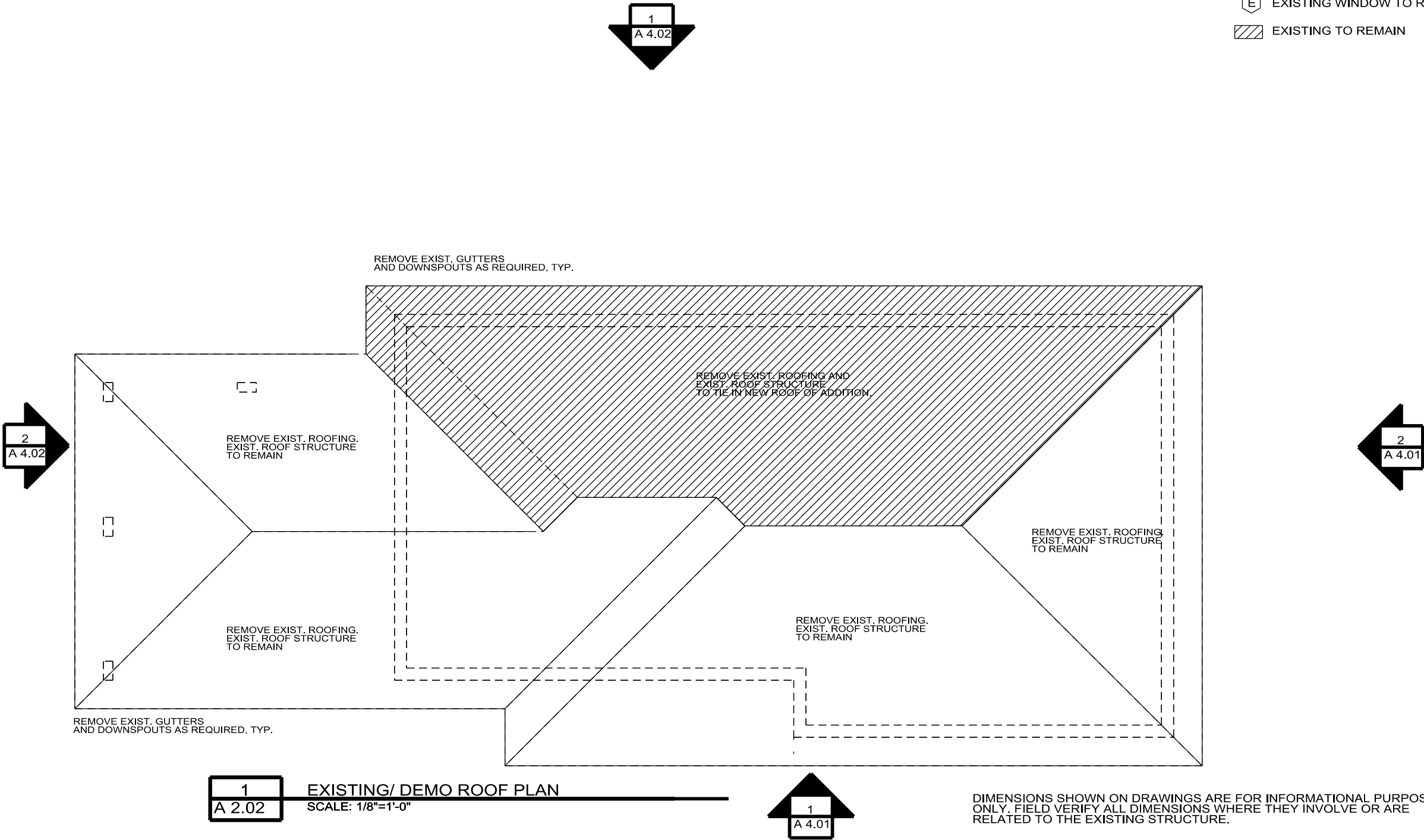
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Documents

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Sheet Title	
EXISTING/ DEMO ROOF PLAN	
Sheet Number	
	A2.02

LEGEND :

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- (E) EXIST. DOOR TO REMAIN
- NEW WINDOW
- (E) EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN





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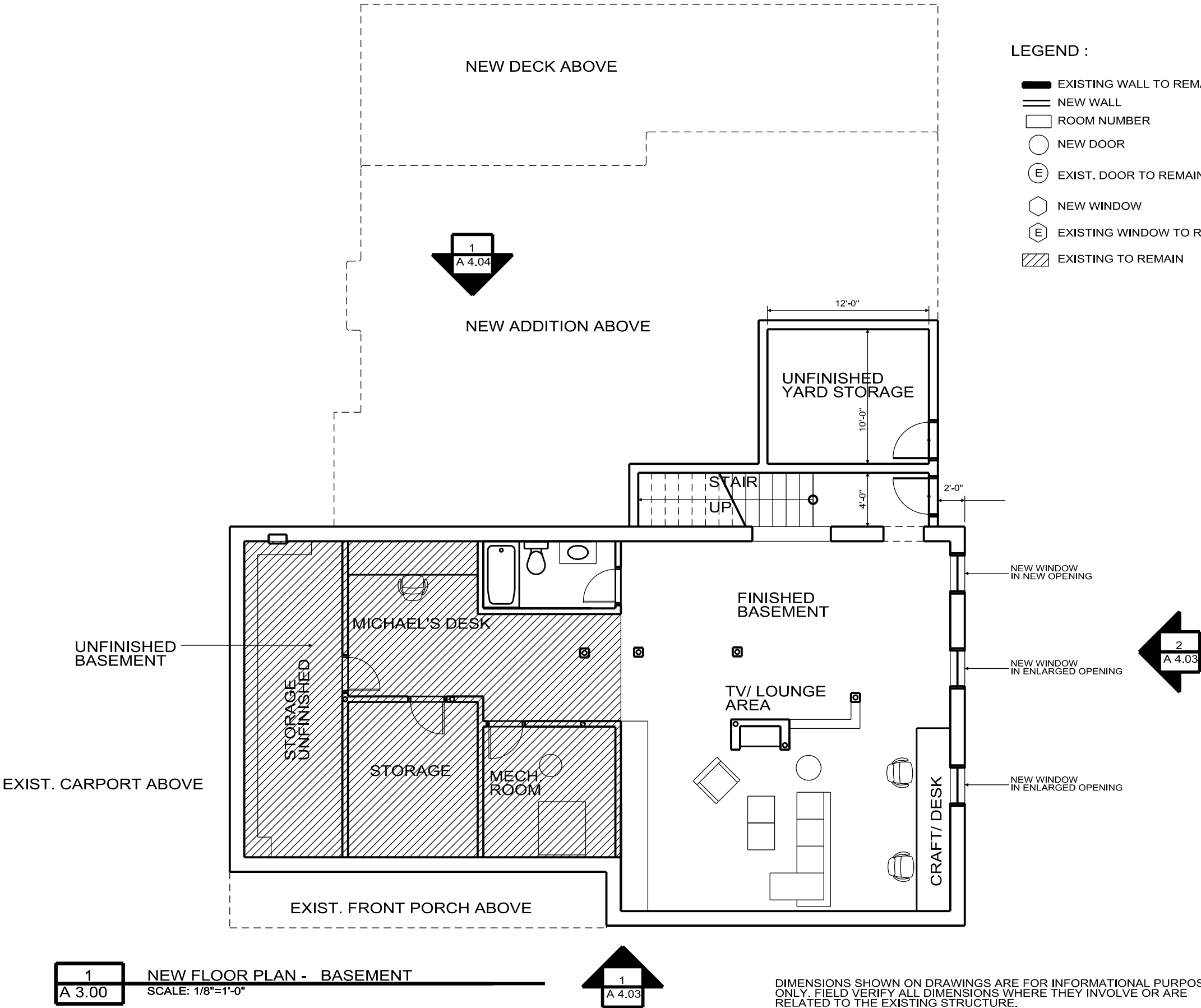
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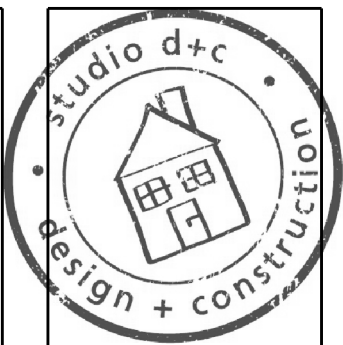
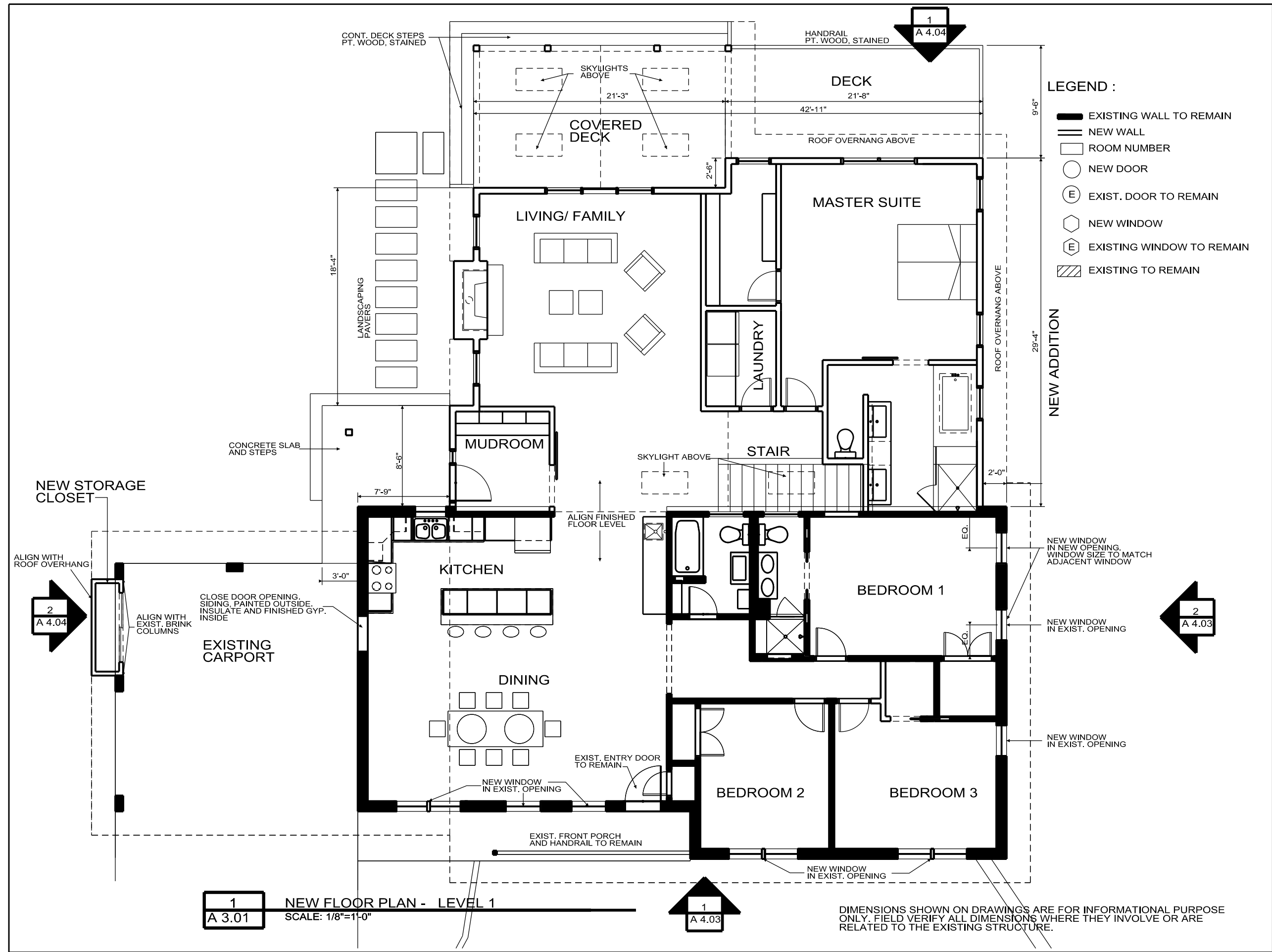
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Documents
XX/XX/XX Released for
Construction

Sheet Title	
NEW FLOOR PLAN - BASEMENT	
Sheet Number	A3.00

LEGEND :

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN





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IMMING RESIDENCE
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Sheet Title

NEW FLOOR PLAN
LEVEL 1

Sheet Number

A3.01



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Sheet Title	EXISTING/ DEMO ROOF PLAN
Sheet Number	A3.02

LEGEND :

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN

NEW ADDITION

ROOF OVERHANG TO MATCH
ROOF OVERHANG OF
EXISTING STRUCTURE, TYP.

DECK BELOW

ROOF OVERHANG TO MATCH
ROOF OVERHANG OF
EXISTING STRUCTURE, TYP.

NEW ROOF SLOPE
TO MATCH EXISTING

SKYLIGHTS

SKYLIGHTS

RIDGE VENT

NEW ROOF SLOPE
TO MATCH EXISTING

NEW ROOF AND
ROOF STRUCTURE

NEW ROOF SLOPE
TO MATCH EXISTING

NEW ROOF AND
ROOF STRUCTURE

NEW ROOF AND
ROOF STRUCTURE

SKYLIGHT

SKYLIGHT

RIDGE VENT

NEW ROOF SLOPE
TO MATCH EXISTING

NEW BRICK CHIMNEY
W/ NEW CHIMNEY CAP

NEW GUTTER AND
DOWNSPOUTS AS REQUIRED, TYP.

REMOVE EXIST. ROOFING
EXIST. ROOF STRUCTURE
TO REMAIN

RIDGE VENT

REMOVE EXIST. ROOFING
EXIST. ROOF STRUCTURE
TO REMAIN

RIDGE VENT

REMOVE EXIST. ROOFING
EXIST. ROOF STRUCTURE
TO REMAIN

REMOVE EXIST. ROOFING
EXIST. ROOF STRUCTURE
TO REMAIN

NEW ROOF PLAN

SCALE: 1/8"=1'-0"

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ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE
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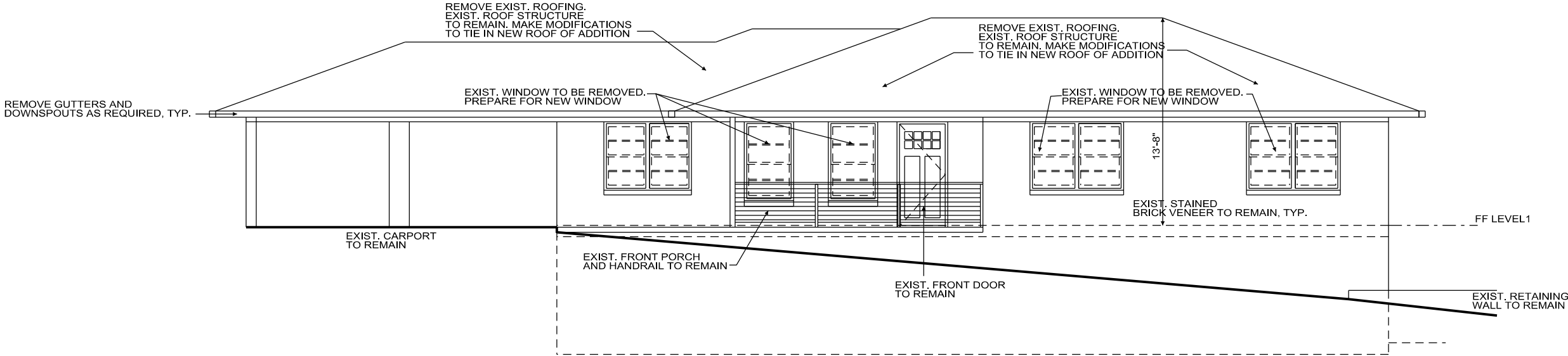
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Documents

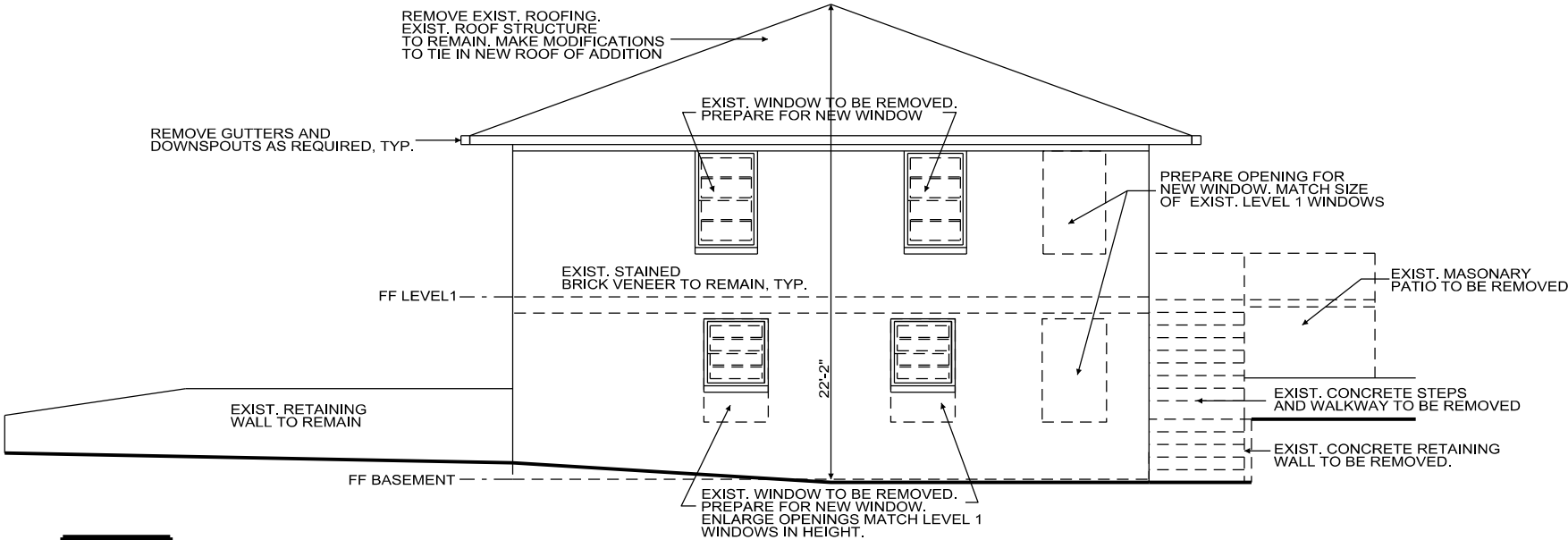
XX/XX/XX Released for
Construction

Sheet Title	ELEVATIONS
Sheet Number	A4.01

New roofing material will be architectural asphalt shingles.



1
A 4.01
EXISTING/ DEMOLITION FRONT ELEVATION- EAST
SCALE: 1/8"=1'-0"



2
A 4.01
EXISTING/ DEMOLITION ELEVATION- NORTH
SCALE: 1/8"=1'-0"

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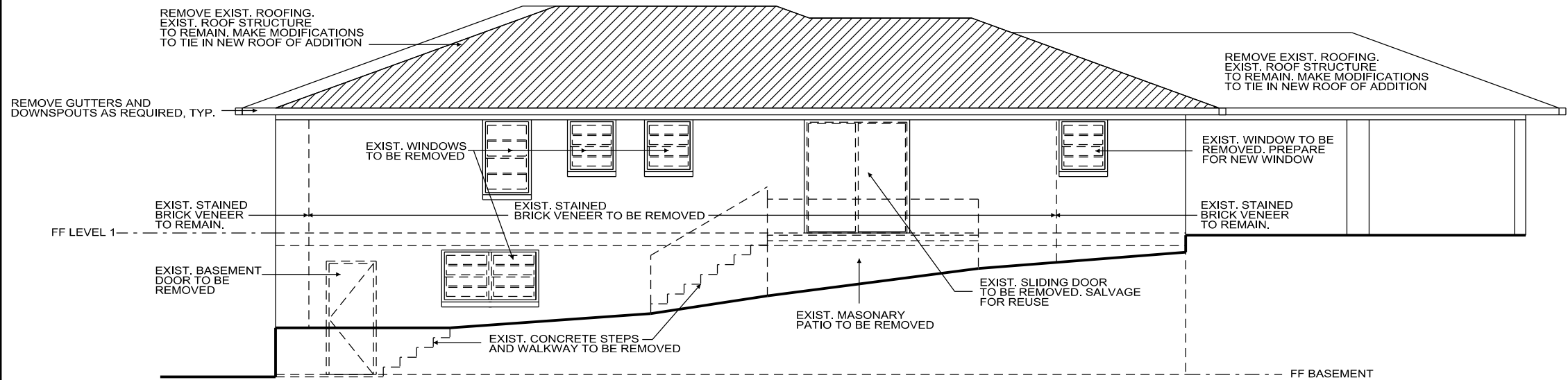
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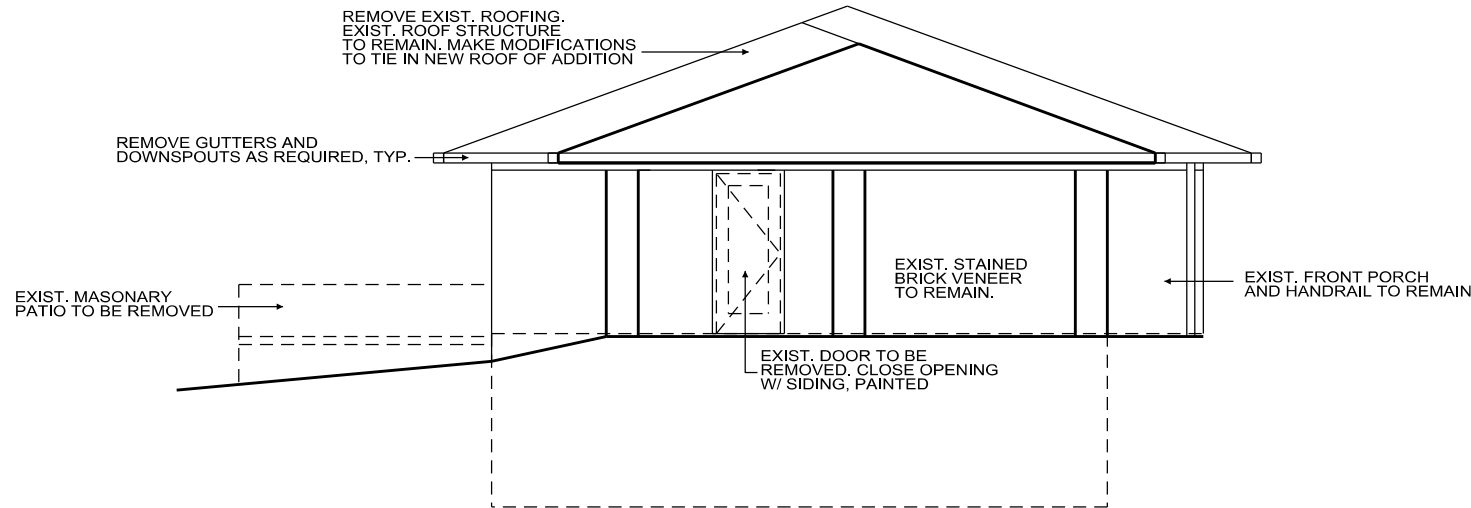
Sheet Title
EXISTING/ DEMO
ELEVATIONS

Sheet Number

A4.02



1
A 4.02
EXISTING/ DEMOLITION ELEVATION- WEST
SCALE: 1/8"=1'-0"



2
A 4.02
EXISTING/ DEMOLITION ELEVATION- SOUTH
SCALE: 1/8"=1'-0"

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.



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Consultants

NEW ADDITION AND RENOVATION
IMMING RESIDENCE
238 CHELSEA CIRCLE
DECATUR, GA 30030

PRINTING & REVISIONS

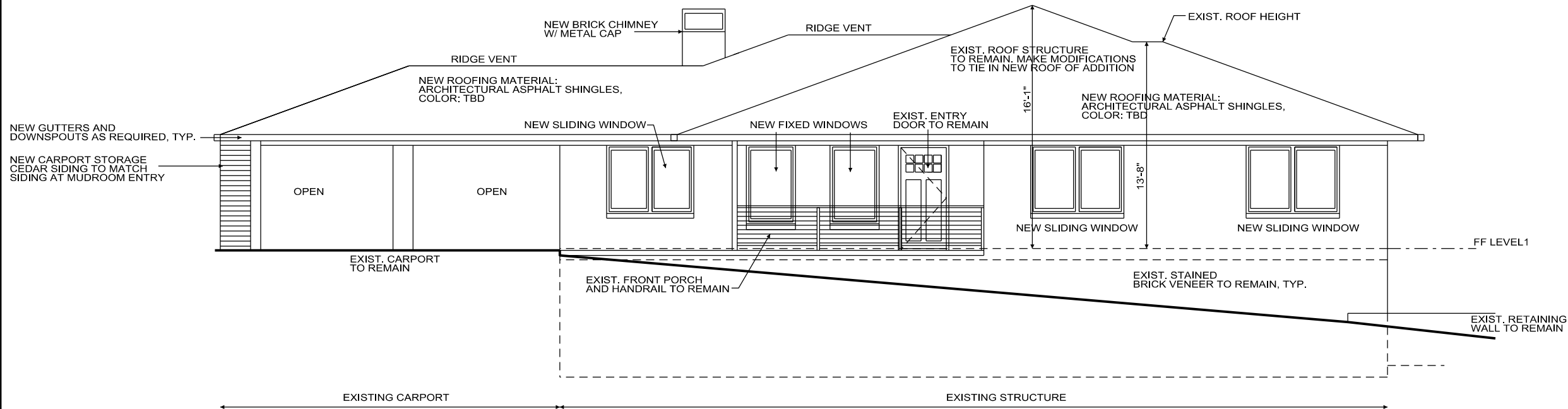
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Construction

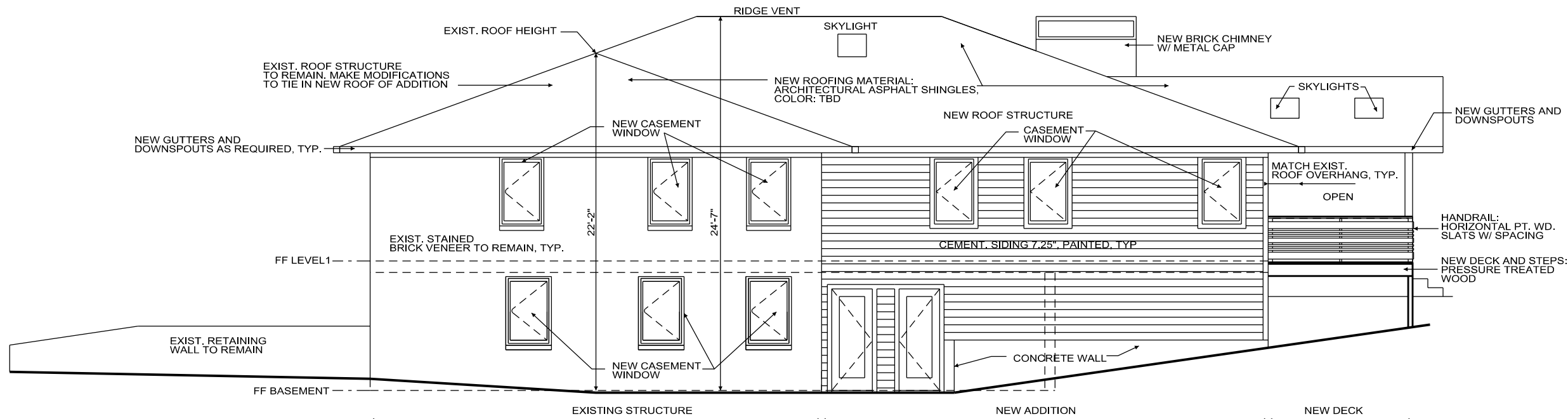
Sheet Title
NEW ELEVATIONS

Sheet Number

A4.03



1
A 4.03
NEW FRONT ELEVATION- EAST
SCALE: 1/8"=1'-0"



2
A 4.03
NEW ELEVATION- NORTH
SCALE: 1/8"=1'-0"

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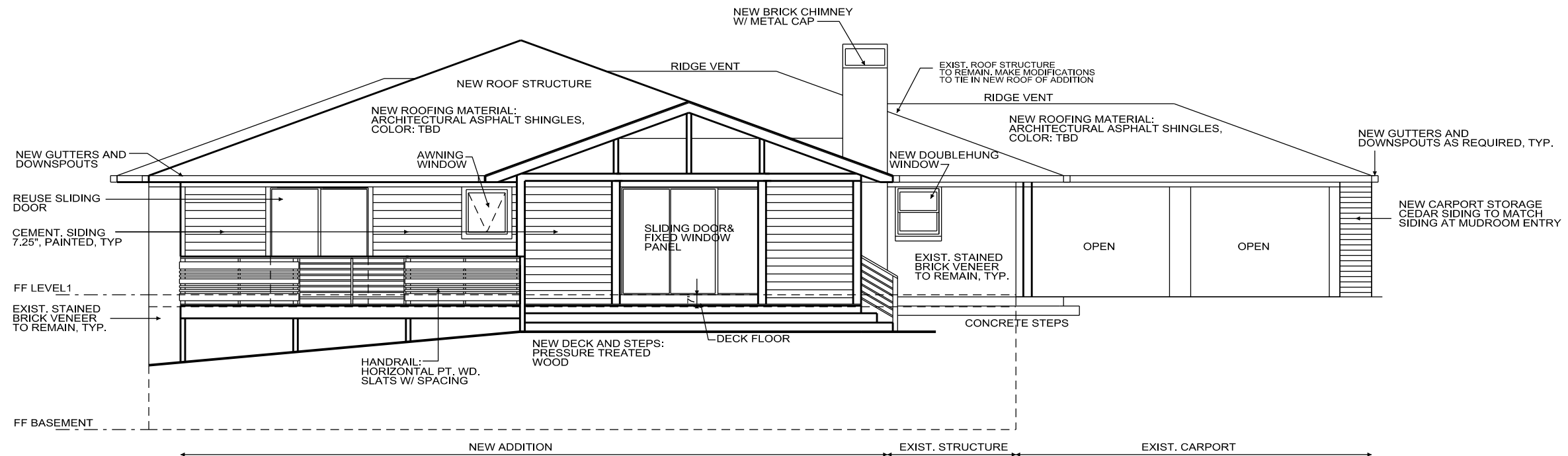
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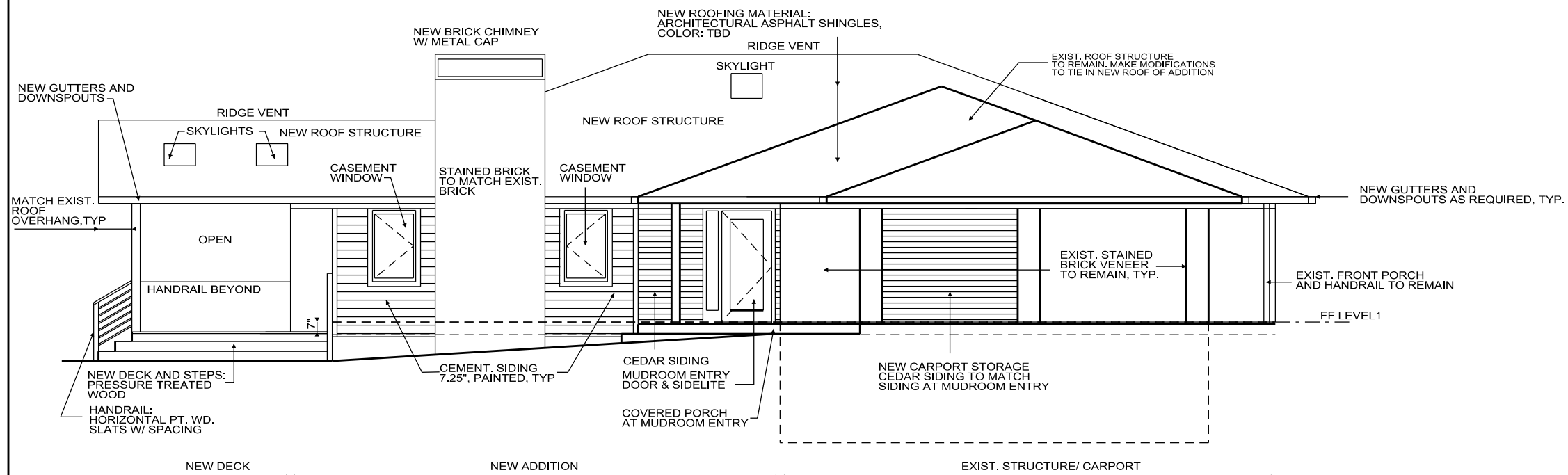
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Construction

Sheet Title	NEW ELEVATIONS
Sheet Number	A4.04



1
A 4.04 NEW ELEVATION- WEST
SCALE: 1/8"=1'-0"



2
A 4.04 NEW ELEVATION- SOUTH
SCALE: 1/8"=1'-0"

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1 EAST FACADE - FRONT
A 9.01 SCALE: N/A



2 EAST FACADE- FRONT
A 9.01 SCALE: N/A



3 EAST FACADE - FRONT
A 9.01 SCALE: N/A



4 EAST FACADE- FRONT
A 9.01 SCALE: N/A



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Construction

Sheet Title
PHOTOS OF
EXISTING
STRUCTURE

Sheet Number

A9.01



1
A 9.02

NORTH FACADE -SIDE
SCALE: N/A



2
A 9.02

WEST FACADE - BACK
SCALE: N/A



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Sheet Title
PHOTOS OF
EXISTING
STRUCTURE

Sheet Number

A9.02