

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

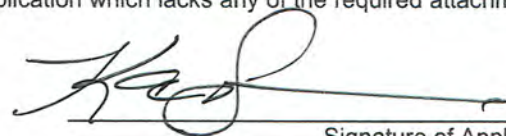
Date Received: _____ Application No.: _____
 Address of Subject Property: 1031 Springdale Rd. Atlanta, GA 30306
 Applicant: Karen Soorikian E-Mail: karen@soorikianarchitecture.com
 Applicant Mailing Address: 219 Fairfield St.
Decatur, GA 30030
 Applicant Phone(s): (404) 723-0927 Fax: _____
 Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other

 Owner(s): Comer & Sally Yates E-Mail: sqyates123@gmail.com
 E-Mail: _____
 Owner(s) Mailing Address: 1031 Springdale Road, NE
Atlanta, GA 30306
 Owner(s) Telephone Number: 470-249-7646
 Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1920

Nature of work (check all that apply):
 New construction Demolition Addition Moving a building Other building changes
 New accessory building Landscaping Fence/Wall Other environmental changes
 Sign installation or replacement Other

Description of Work:
The proposed project is to do an addition to accommodate a new kitchen, family room, eat-in area and auxiliary spaces on the main level, and a master bath and closet space on the second level, as well as a covered terrace. New landscaping and pool is proposed as well. We would also like to build a new covered entry portico at the front door.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.


 Signature of Applicant/Date

Revised 1/26/17

1031 Sprindale Road – Materials List

Brick – to be matched by Rep. John Beckham at Alley Cassety Bricks (404) 488-3613



Columns and door surrounds at addition – to be either Limestone (Materials Marketing) Sample on right or Cast Stone (Stone Legends) – sample on left



Roof to be Ludowici Clay Barrel Tile to match existing



Metal Doors at Addition



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

(I) / (We),

Sally + Comer Yates

being (owner) (owners) of the property 1031 Springdale Rd

hereby delegate authority to Karen Soorikant

to file an application in (my) (our) behalf.

Sally Yates
Signature of Owner/Date 4/26/21

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.

1031 Springdale Road - Existing Conditions

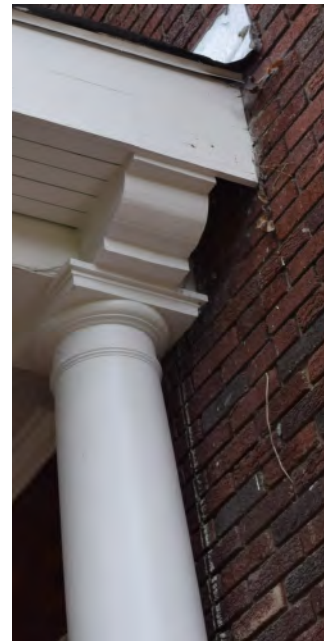


Front Elevation of house facing Springdale Road. We are proposing replacing what appears to be a non-historic entry canopy at the front door surround. The existing canopy covers the brick arch surrounding the door/sidelite assembly and is not proportional to the overall facade.

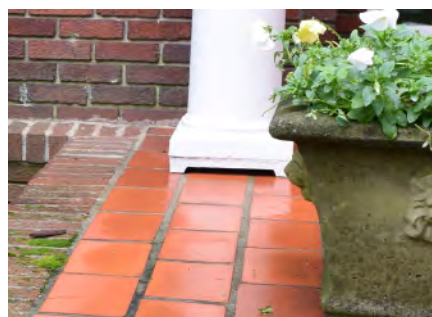


This photo shows the home at 1039 Springdale Road on the left and our property at 1031 Springdale on the right, with the area between. There is a large amount of vegetation between the properties, and the proposed 1 story part of the addition will be set back from the front facade of the home 44'-4 1/2".

This photo shows the area between 1031 Springdale and the neighboring property at 1039 Springdale. The existing residence at 1031 sits 21.3' from the property line at this side, consequently there is a large buffer between the two adjacent properties. Due to the existing floor plan and the desire to retain views from the original formal living room and sunroom on the right side of the home to the rear yard, we are proposing an addition into this sideyard to accommodate a new family room that will be adjacent to the kitchen and the rear pool. As is seen on the plans, this addition will be set back from the front facade of the home 44'-4 1/2".



These photos show the existing front entry. The overall shows the thin proportion of the non-historic columns and canopy and the proximity of the canopy over the brick arch at the entry. The photo above shows a line of paint that indicates a possible original engaged pilaster that has been removed. At the bottom, you see the base of these non-historic columns. The convex bracket may be a remnant of an original detail that was reused when this canopy was constructed. We would like to incorporate this detail into the new portico.



The photo to the right shows the view toward the side of the home at 1031 Springdale from the right of way (at the sidewalk). You can see the roofline and second story back corner, which will remain in tact with the renovation. The one story side addition of the family room will be 10'-4 1/2" back from this corner. In the current conditions, as seen in all of these photos, this addition will not be visible.



1031 Springdale Road - Existing Conditions



To the left is an overall photo of the rear facade of the home at 1031 Springdale Road. The 2 story addition will be on the right half of this facade. Its roof will be subordinate to the main hipped roof you see here and the eave of the 2 story portion will be 1 foot deep with no brackets to distinguish it from the original and set it back on the side elevation so that the original roof-line is expressed. The 1 story addition beyond this will wrap the yard area pictured here to create a courtyard-like feel. As you can see here, the beautiful casement windows at the existing rear sunroom are an asset to the home and provide a wonderful vista from the formal living room at the front of the house. Additionally, the windows above provide another nice vista from the master bedroom upstairs. Our goal was to provide the ample family room space in the rear for large family gatherings without interrupting this original portion of the home.



This photo shows the 1 story appendage on the rear that is to be removed. To the right is the area that the family room addition will extend into.



The photo to the left shows the rear side of the home that is to receive the addition. This existing appendage houses a bathroom and a pantry storage space. These utility spaces added to the rear of the home cuts the small kitchen off from the rear yard. Our goal in the renovation is to put these more utilitarian spaces toward the center of the house and extend the kitchen back so that we can expand the kitchen and better connect it, physically and visually, to the gathering spaces and the rear yard and pool.



The existing pool area, that is on axis with the above utility area at the rear of the home, is to be redesigned per Field Landscape architecture's plans. The kitchen, family room, eat-in area and covered terrace were all designed with an eye toward a strong connection to this important gathering area for the family.



Yates Residence



Proposed Front Elevation

Yates Residence



Proposed South Elevation

Yates Residence

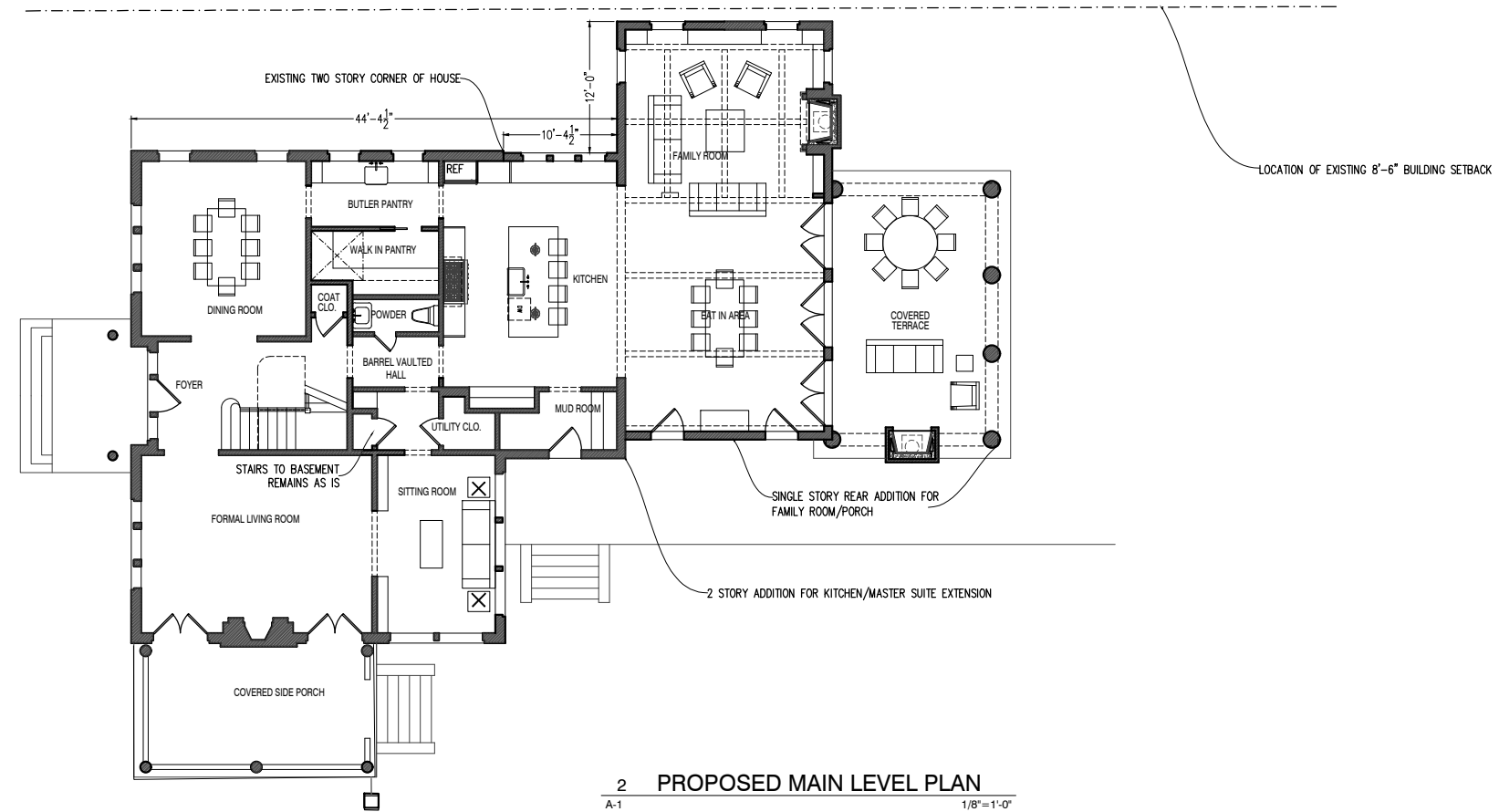
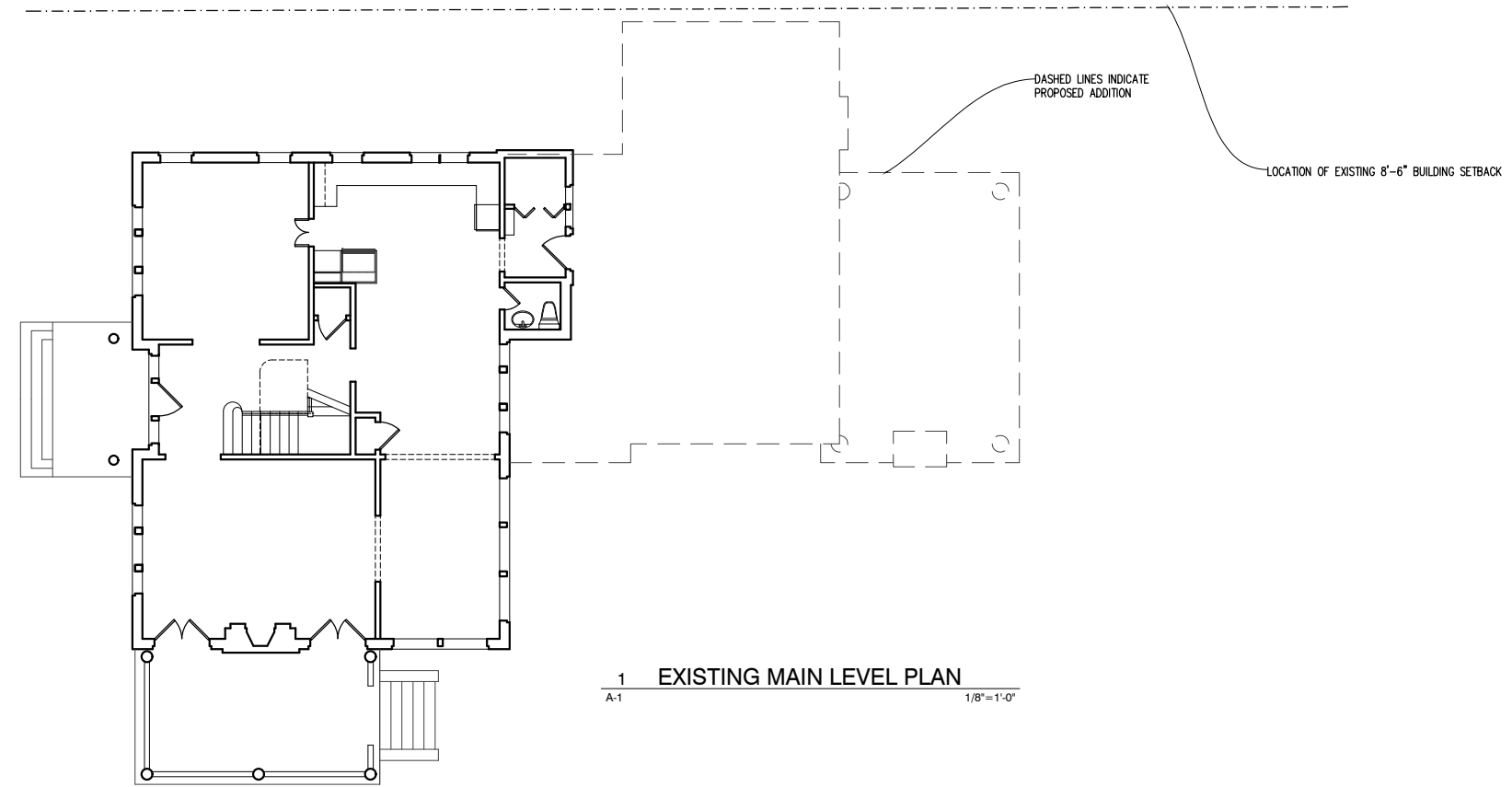
The drawing, as an instrument of service, is and shall remain the property of the architect and shall not be reproduced, published or used in any way without the permission of the architect.
 The Contractor shall verify all dimensions and existing conditions of the site before proceeding with each phase of the work.

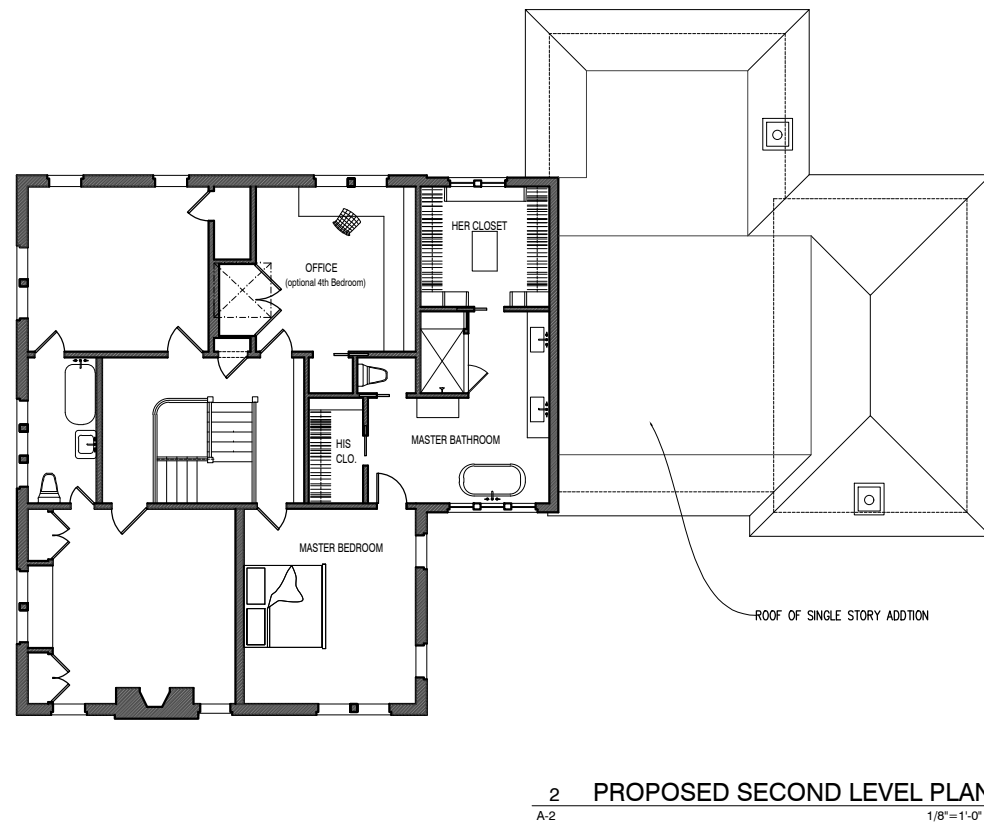
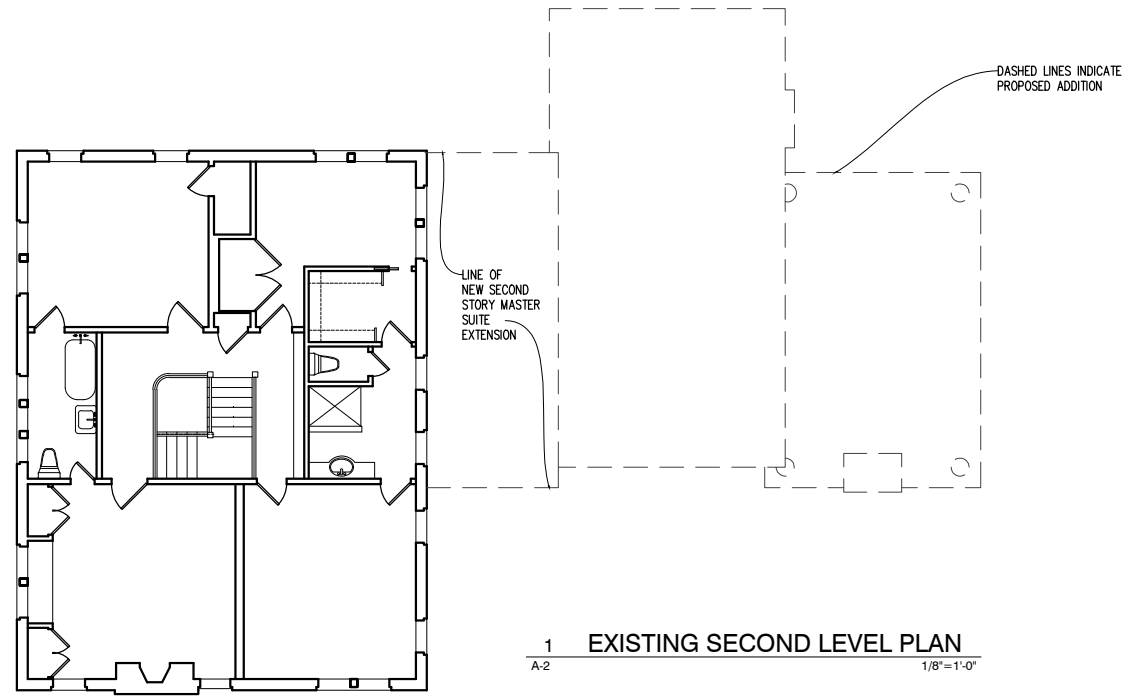


EXISTING AND PROPOSED MAIN LEVEL PLANS

Date: 04-23-2021
 Revisions: REV

Job Number: 18-12
 Scale: 1/8" = 1'-0"
 Drawn: KBS
 Checked: KBS





659 Auburn Avenue
Suite # G-8
Atlanta, GA 30312
Phone: 404-723-0927
karen@soorikianarchitecture.com

SOORIKIAN
ARCHITECTURE

YATES RESIDENCE
1031 SPRINGDALE RD. NE ATLANTA, GA 30306

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EXISTING AND PROPOSED SECOND LEVEL PLANS

Date: 04-23-2021
Revisions: REV

Job Number: 18-12
Scale: 1/8"=1'-0"
Drawn: KBS
Checked: KBS

A-2



EXISTING FRONT ENTRY CANOPY APPEARS TO BE NON-HISTORIC. COLUMNS ARE RECENT CONSTRUCTION AND CANOPY CUTS INTO ELLIPTICAL BRICK ARCH AT HEAD OF FRONT DOOR ASSEMBLY. WOULD LIKE TO REPLACE THIS ASSEMBLY WITH A NEW ENTRY PORTICO THAT IS PROPORTIONED TO OVERALL ELEVATION.

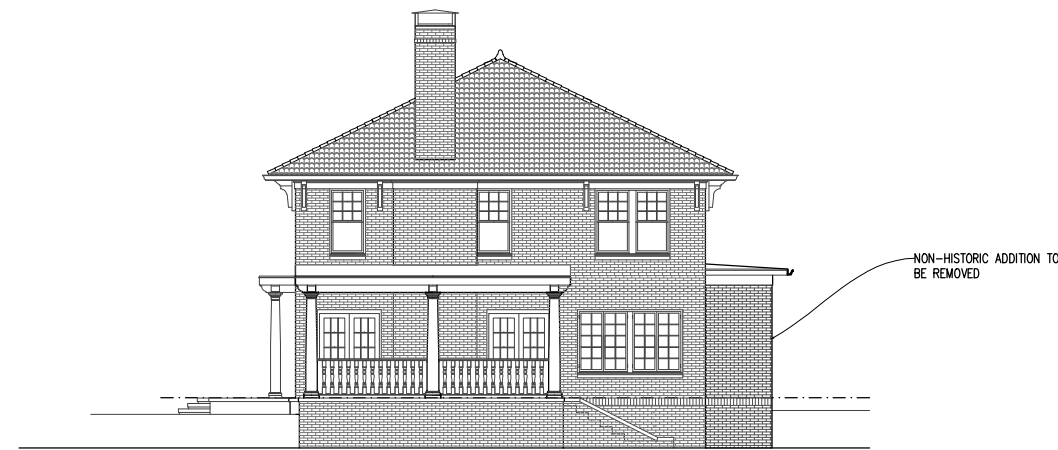
1 EXISTING FRONT ELEVATION
A-3 1/8"=1'-0"



NEW FAMILY ROOM ADDITION AT REAR OF HOUSE. FACE OF THIS ADDITION IS 44'-4 1/2" BACK FROM FRONT FACE OF HOUSE. ADDITIONALLY, THERE IS HEAVY VEGETATION AT THIS SIDE OF PROPERTY - SEE PHOTOS.

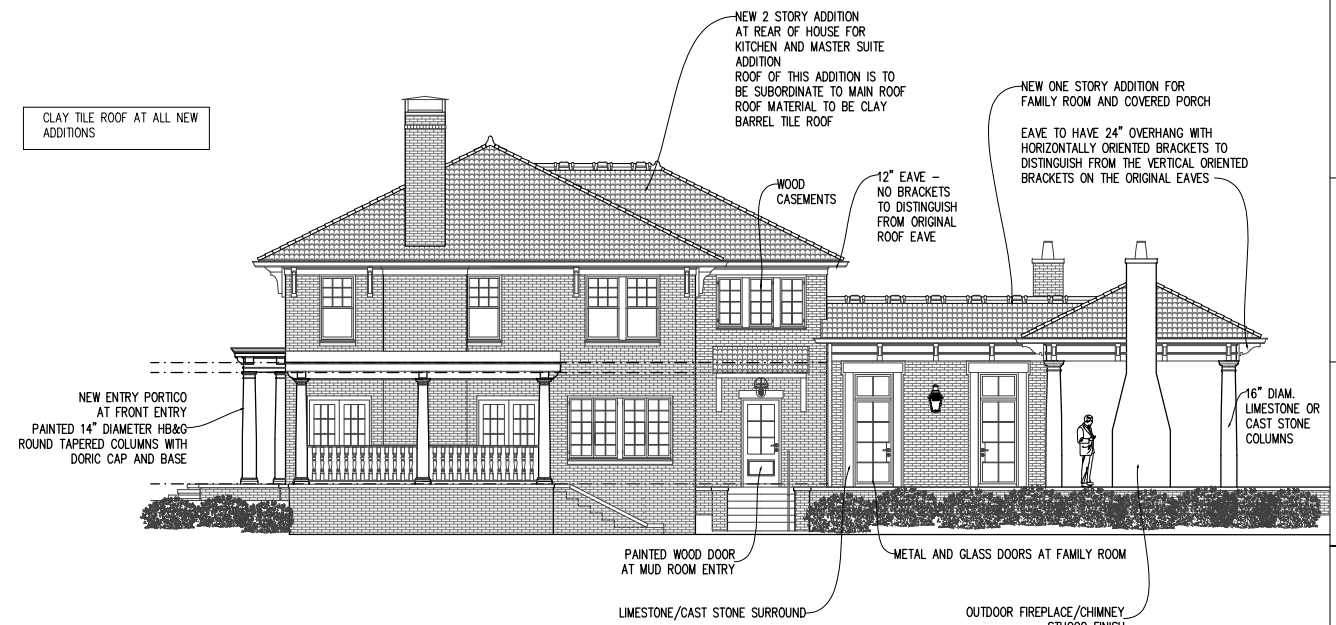
NEW ENTRY PORTICO AT FRONT ENTRY. PAINTED 14" DIAMETER HB&G ROUND TAPERED COLUMNS WITH DORIC CAP AND BASE.

2 PROPOSED FRONT ELEVATION
A-3 1/8"=1'-0"



NON-HISTORIC ADDITION TO BE REMOVED

3 EXISTING DRIVEWAY SIDE ELEVATION
A-3 1/8"=1'-0"



CLAY TILE ROOF AT ALL NEW ADDITIONS

NEW 2 STORY ADDITION AT REAR OF HOUSE FOR KITCHEN AND MASTER SUITE ADDITION. ROOF OF THIS ADDITION IS TO BE SUBORDINATE TO MAIN ROOF. ROOF MATERIAL TO BE CLAY BARREL TILE ROOF.

NEW ONE STORY ADDITION FOR FAMILY ROOM AND COVERED PORCH.

EAVE TO HAVE 24" OVERHANG WITH HORIZONTALLY ORIENTED BRACKETS TO DISTINGUISH FROM THE VERTICAL ORIENTED BRACKETS ON THE ORIGINAL EAVES.

WOOD CASEMENTS

12" EAVE - NO BRACKETS TO DISTINGUISH FROM ORIGINAL ROOF EAVE.

NEW ENTRY PORTICO AT FRONT ENTRY. PAINTED 14" DIAMETER HB&G ROUND TAPERED COLUMNS WITH DORIC CAP AND BASE.

PAINTED WOOD DOOR AT MUD ROOM ENTRY

LIMESTONE/CAST STONE SURROUND

METAL AND GLASS DOORS AT FAMILY ROOM

OUTDOOR FIREPLACE/CHIMNEY STUCCO FINISH

16" DIAM. LIMESTONE OR CAST STONE COLUMNS

4 PROPOSED DRIVEWAY SIDE ELEVATION
A-3 1/8"=1'-0"

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EXISTING AND PROPOSED EXTERIOR ELEVATIONS

Date: 04-23-2021

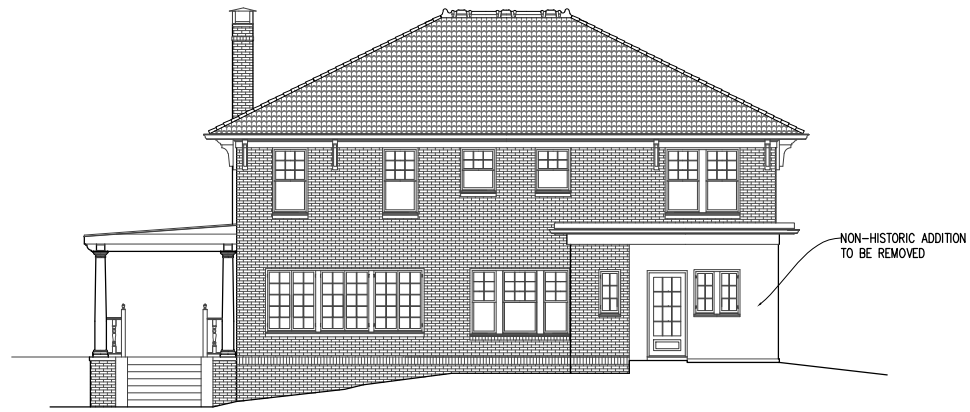
Revisions: REV

Job Number: 18-12

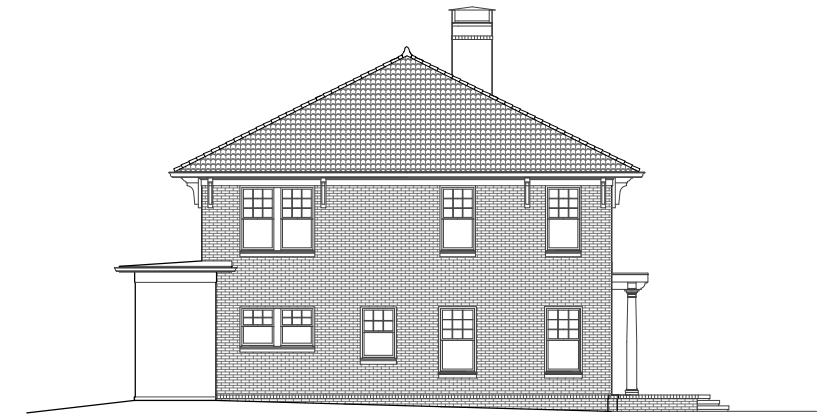
Scale: 1/8"=1'-0"

Drawn: KBS

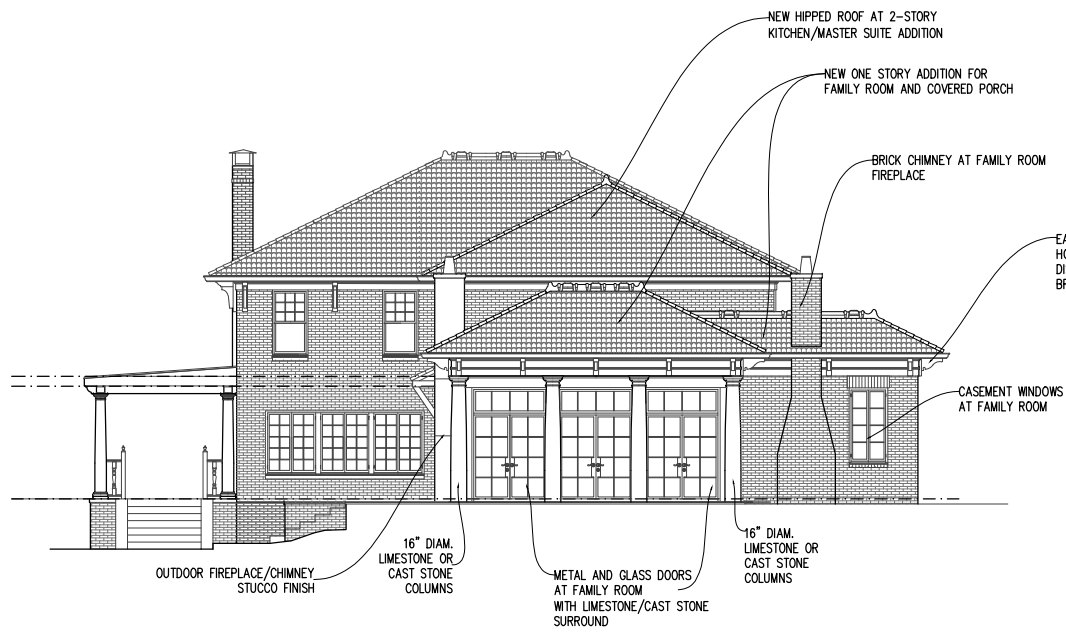
Checked: KBS



1 EXISTING REAR ELEVATION
A-4 1/8"=1'-0"

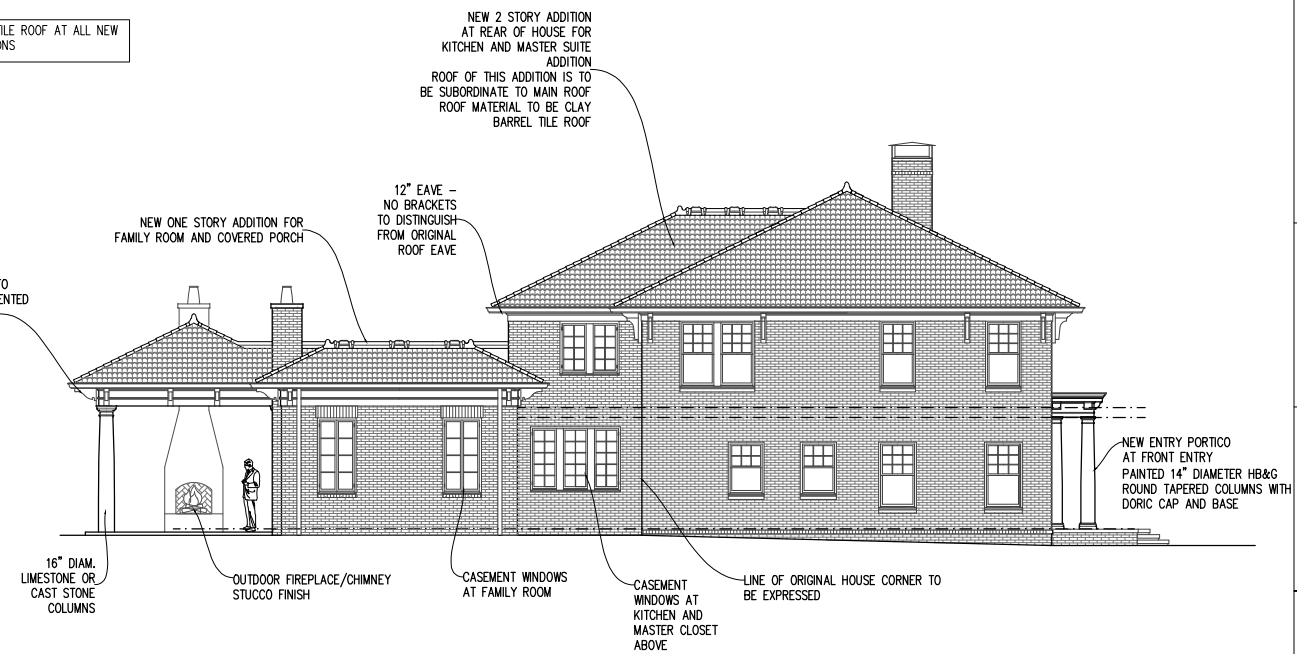


3 EXISTING SIDE YARD ELEVATION
A-3 1/8"=1'-0"



2 PROPOSED REAR ELEVATION
A-3 1/8"=1'-0"

CLAY TILE ROOF AT ALL NEW ADDITIONS



4 PROPOSED SIDE YARD ELEVATION
A-3 1/8"=1'-0"

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EXISTING AND PROPOSED EXTERIOR ELEVATIONS

Date: 04-23-2021

Revisions: REV

Job Number: 18-12

Scale: 1/8"=1'-0"

Drawn: KBS

Checked: KBS

YATES RESIDENCE

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
FOR A FAMILY RESIDENCE LOCATED AT

1031 SPRINGDALE ROAD NE
ATLANTA, GA 30306

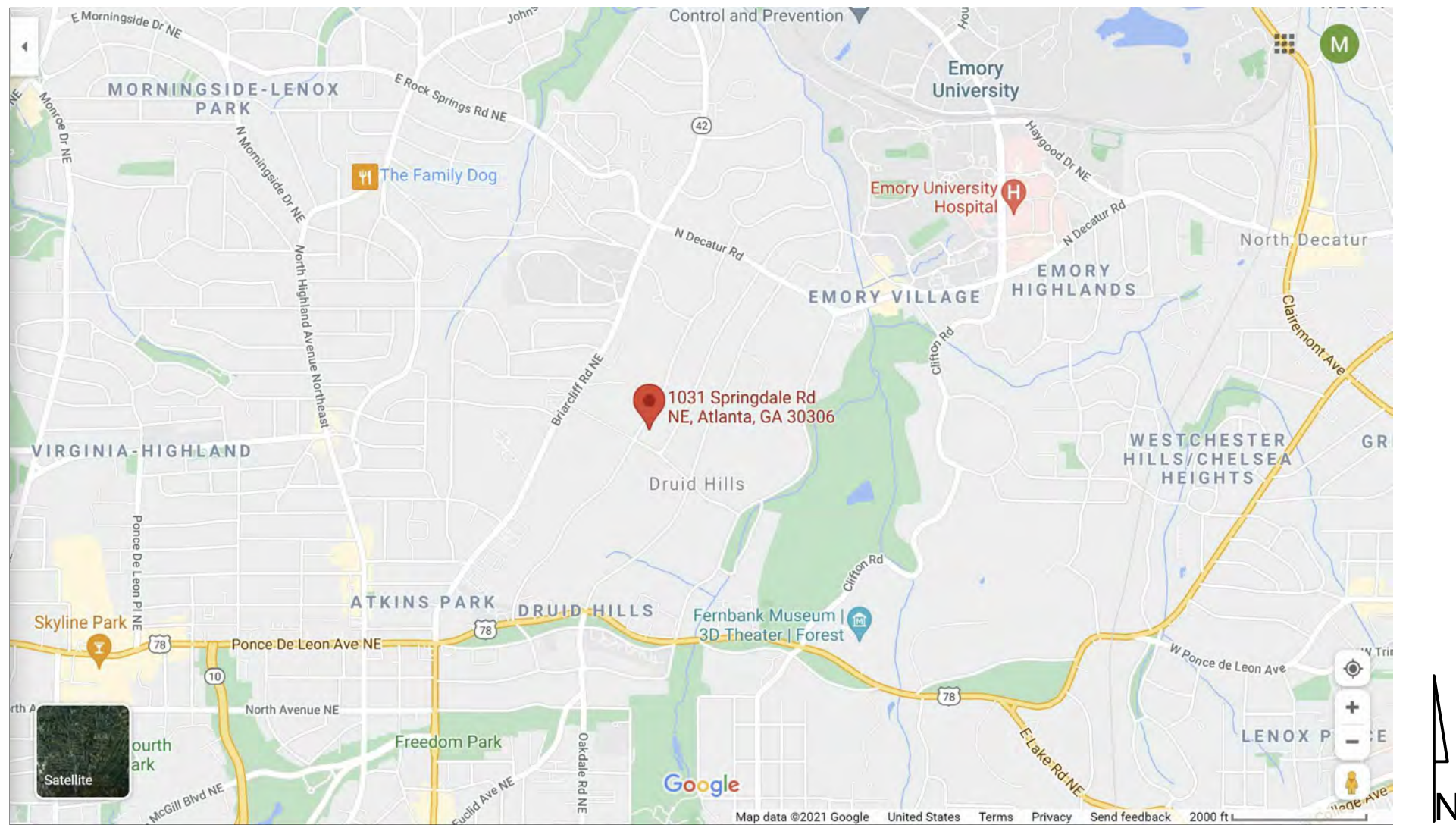
ZONING:	R-85 / DRUID HILLS HISTORIC DISTRICT
MINIMUM LOT SIZE:	12,000 SF
SETBACKS	
FRONT:	40 FT
SIDE:	8.5 FT
REAR:	40 FT
MAX COVERAGE:	35%
OPEN SPACE MINIMUM:	20%

LIST OF DRAWINGS:

1. L-CO - COVER SHEET
2. L-EX 1 - SURVEY BY BARTON SURVEYING, INC.
3. L-EX 2 - EXISTING CONDITIONS - SITE PHOTOS
4. L-EX 3 - EXISTING CONDITIONS - SITE PHOTOS
5. L-1.00 - SITE PLAN
6. L-1.01 - MATERIALS
7. L-1.02 - VEHICULAR GATE

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL FIRE CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
NATIONAL ELECTRICAL CODE, 2017 EDITION, WITH NO GEORGIA AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
NFPA 101 – LIFE SAFETY CODE, 2018 EDITION, WITH STATE AMENDMENTS (2020)
INTERNATIONAL SWIMMING POOL & SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
GEORGIA ACCESSIBILITY CODES
GEORGIA AMENDMENTS PRESCRIPTIVE DECK DETAILS BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE



VICINITY MAP / N.T.S.

OWNER:

SALLY + COMER YATES
1031 SPRINGDALE ROAD NE
ATLANTA, GA 30306
(470) 249 7646

LANDSCAPE ARCHITECT:

FIELD LANDSCAPE ARCHITECTURE
659 AUBURN AVENUE NE #G-9
ATLANTA, GA 30312
(706) 461 6631

ARCHITECT:

SOORIKIAN ARCHITECTURE
219 FAIRFIELD STREET
DECATUR, GA 30030
(404) 723 0927

SURVEYOR:

BARTON SURVEYING, INC.
3005 HOLLY SPRINGS PARKWAY, SUITE 101
CANTON, GA 30115
(770) 345 2810



**Know what's below.
Call before you dig.**

SEAL:



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PROJECT:

YATES RESIDENCE

1031 SPRINGDALE ROAD
ATLANTA, GA 30306

DRAWING TITLE:

COVER SHEET

DRAWN BY: MH	CHECKED BY: BF
-----------------	-------------------

SCALE:

RELEASES:		
1.	4/26/21	HPC COA

SHEET:

L-CO



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PROJECT:
YATES RESIDENCE

1031 SPRINGDALE ROAD
ATLANTA, GA 30306

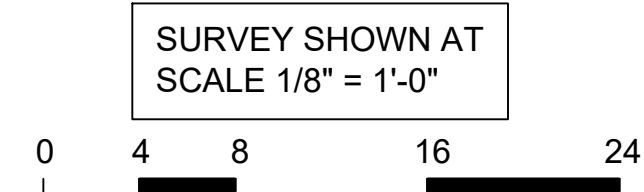
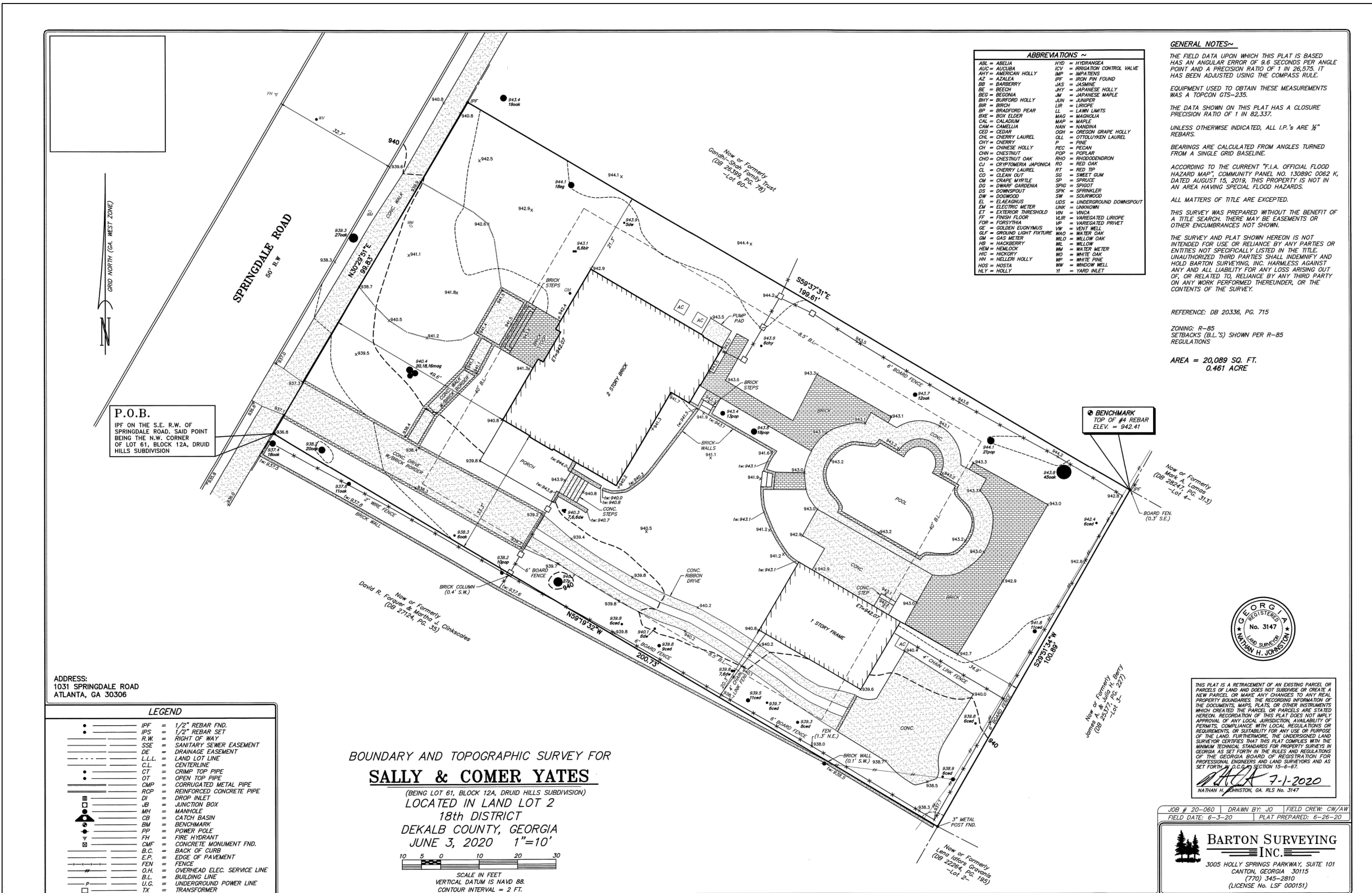
DRAWING TITLE:
SURVEY BY BARTON SURVEYING, INC.

DRAWN BY: MH
CHECKED BY: BF

SCALE:
RELEASES:
1. 4/26/21 HPC COA

SHEET:

L-EX 1





PANORAMA VIEW OF FRONT YARD FACING HOUSE



PANORAMA VIEW OF REAR YARD FACING HOUSE



PANORAMA VIEW OF REAR YARD FACING REAR PROPERTY LINE



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PROJECT:

YATES RESIDENCE

1031 SPRINGDALE ROAD
ATLANTA, GA 30306

DRAWING TITLE:

EXISTING CONDITIONS -
SITE PHOTOS

DRAWN BY: MH	CHECKED BY: BF
-----------------	-------------------

SCALE:

RELEASES:
1. 4/26/21 HPC COA

SHEET:

L-EX 2



Know what's below.
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DRIVEWAY AND VEHICULAR GATE



EXISTING DRIVEWAY SHOWING EXPOSED AGGREGATE



FRONT WALKWAY



FRONT LANDING



EXISTING STUMP #1



EXISTING STUMP #2



EXISTING STUMP #3



DEAD TREE TO BE REMOVED

SEAL:



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PROJECT:
YATES RESIDENCE

1031 SPRINGDALE ROAD
ATLANTA, GA 30306

DRAWING TITLE:
EXISTING CONDITIONS -
SITE PHOTOS

DRAWN BY: MH
CHECKED BY: BF

SCALE:

RELEASES:
1. 4/26/21 HPC COA

SHEET:

L-EX 2



BRICK WALLS + STONE CAP



GREY CRAB ORCHARD STONE



STONE WITH LAWN JOINTS



PEA GRAVEL + COBBLE BORDER



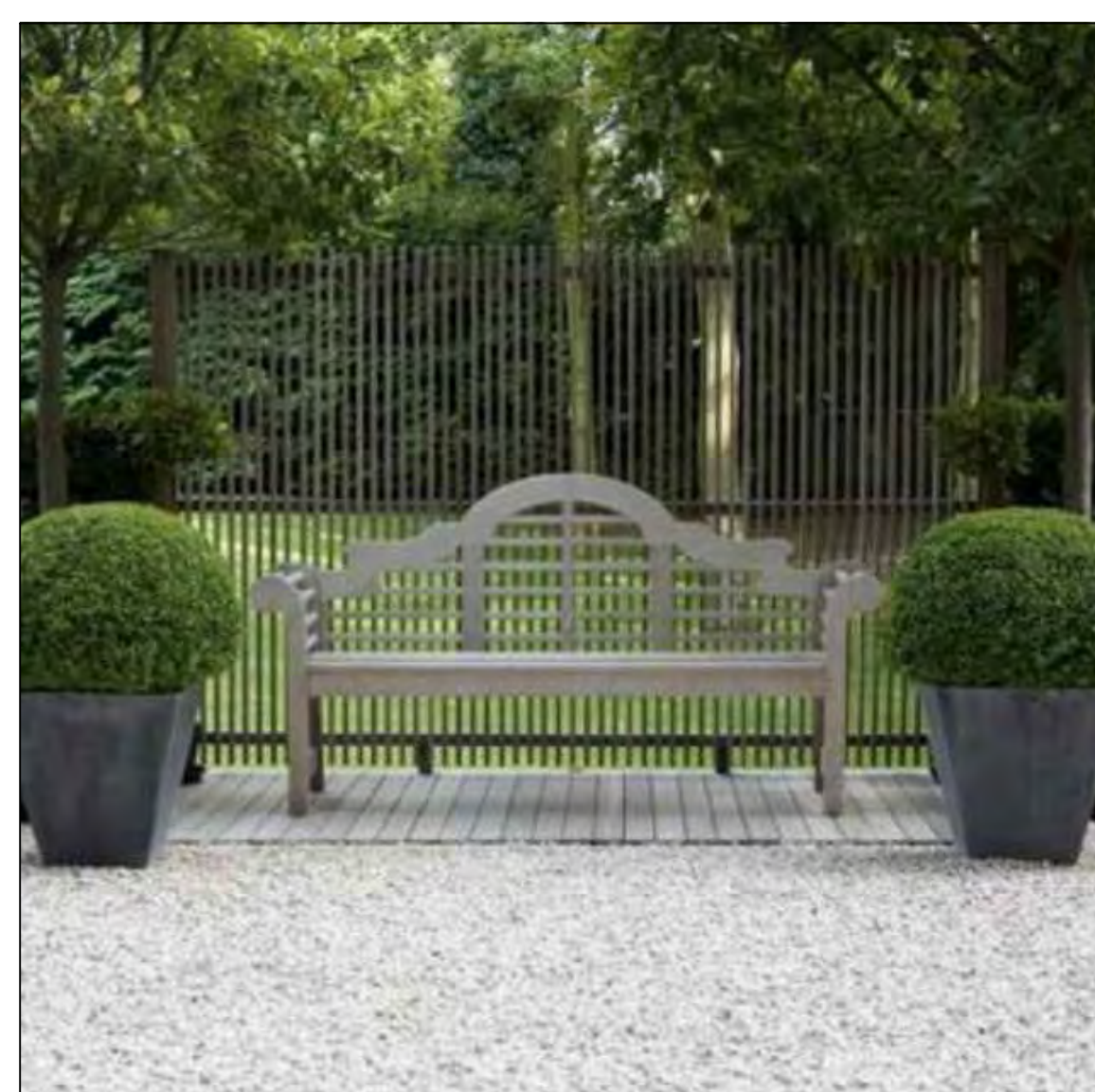
LIGHT EXPOSED AGGREGATE CONCRETE



PLANTED DRIVEWAY MEDIAN



WATER FEATURE



GARDEN BENCH



PLANTING



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PROJECT:

YATES RESIDENCE

1031 SPRINGDALE ROAD
ATLANTA, GA 30306

DRAWING TITLE:

MATERIALS

DRAWN BY: MH
CHECKED BY: BF

SCALE:

RELEASES:
1. 4/26/21 HPC COA

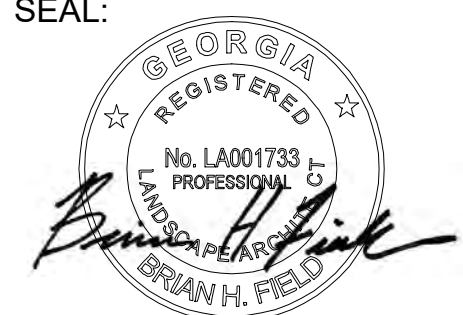
SHEET:

L-1.01



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PROJECT:

YATES RESIDENCE

1031 SPRINGDALE ROAD
ATLANTA, GA 30306

DRAWING TITLE:

VEHICULAR GATE

DRAWN BY: MH	CHECKED BY: BF
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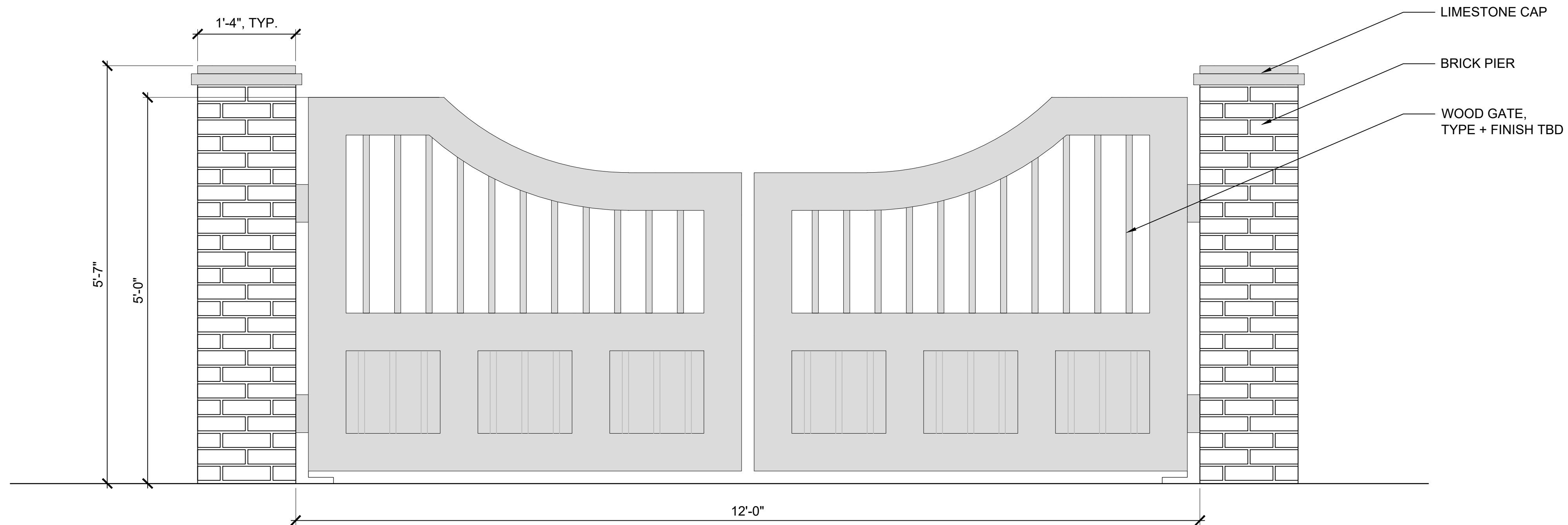
SCALE: 1" = 1'-0"

RELEASES:

1. 4/26/21 HPC COA

SHEET:

L-1.02



VEHICULAR GATE ELEVATION