

RECEIVED
By Rachel Bragg at 2:01 pm, Apr 22, 2021

404.871.2155 (o)
404.871.4556 (f)

Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

Chief Executive Officer
Michael Thurmond

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 1190 N. Decatur Road

Applicant: Pete Frisina and Amy Stone E-Mail: pfrisina@mindspring.com

Applicant Mailing Address: 1190 N. Decatur Road, Atlanta, GA 30306

Applicant Phone(s): 404-312-6908 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other

Owner(s): Peter A Frisina E-Mail: pfrisina@mindspring.com

Amy E. Stone E-Mail: aestone@mindspring.com

Owner(s) Mailing Address: 1190 N. Decatur Road, Atlanta, GA 30306

Owner(s) Telephone Number: 404-312-6908

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 36 Years - Constructed in 1985

Nature of work (check all that apply):

- New construction Demolition Addition Moving a building Other building changes
- New accessory building Landscaping Fence/Wall Other environmental changes
- Sign installation or replacement Other

Description of Work:

Replace wooden clapboard siding and trim on the east, south and west sides of the house. Please see attached letter for more details.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov. An incomplete application will not be accepted.


Signature of Applicant/Date

April, 23, 2021

Dekalb County Historic Preservation Commission
330 W. Ponce de Leon Ave
Decatur, GA 30030

Dear Commission,

We are applying for a Certificate of Appropriateness to replace the siding and trim on our home which was built in 1985. The wooden clapboard siding and trim has deteriorated on the east, south and west sides of our house due to sun and weather exposure. The north side of the house does not get the same sun and weather exposure and, consequently, the wooden clap board siding and trim has not deteriorated on this side of the house. The goal is to replace the clap board siding and trim on the east, south and west sides of our house and we are currently seeking estimates from various siding companies. We are considering a smooth hardi-board product, due to its durability, that will match the current facade and color of our house. (Please see attached photos of our house, architectural drawings of the house, and example of a hardi-board product.) If the hardi-board does not prove to be a good option, we would then do the replacement with wood. Thank you for your consideration of our request and we will be attending the meeting on Monday, May 17, 2021 at 6:00pm via Zoom to answer any questions from the Commission.

Sincerely,

Pete Frisina and Amy Stone
1190 N Decatur Road
Atlanta, GA 30306
404-312-6908
pfrisina@mindspring.com



South Side /Front from Street



South Side



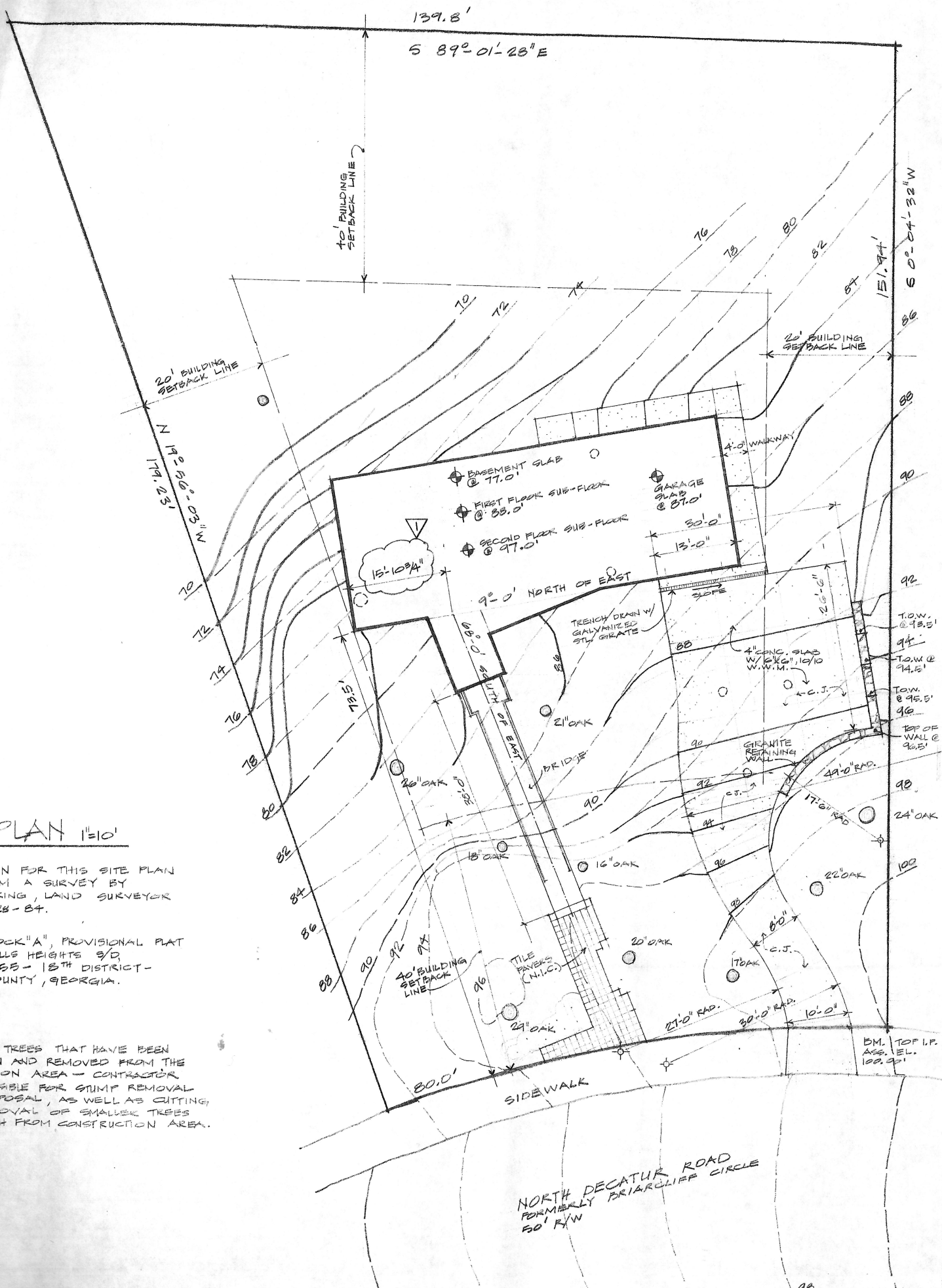








Example of Hardi-board Siding



SITE PLAN 1"=10'

INFORMATION FOR THIS SITE PLAN TAKEN FROM A SURVEY BY JOSEPH C. KING, LAND SURVEYOR DATED 12-28-84.

LOT 7, BLOCK "A", PROVISIONAL PLAT OF DRUID HILLS HEIGHTS S/D, LAND LOT 85 - 13TH DISTRICT - DEKALB COUNTY, GEORGIA.

○ INDICATES TREES THAT HAVE BEEN CUT DOWN AND REMOVED FROM THE CONSTRUCTION AREA - CONTRACTOR IS RESPONSIBLE FOR STUMP REMOVAL AND DISPOSAL, AS WELL AS CUTTING AND REMOVAL OF SMALLER TREES AND BRUSH FROM CONSTRUCTION AREA.

SPECIFICATIONS:

General:

The Owner will provide materials, labor and/or sub-contractors for several areas of work concurrently with the work of the general contractor. Contractor shall assist the Owner in scheduling and coordinating this work. Items of material and/or labor which will be provided by the Owner are as follows. All other labor, materials, sub-contracts, and fees shall be provided by the Contractor.

1. Land surveyor to establish point of beginning of building and angles, and to set elevations.
2. Finished landscaping. (Materials and installation.)
3. Windows with attached trim except as noted on the drawings. Windows and trim will be pre-finished on the exterior. (Materials only.)
4. Mechanically fastened C.P.E. single membrane roofing system, including flashing and copings, will be provided and installed by the Owner. (Materials and installation.)
5. The front door, #22, will be provided by the Owner and installed by the Contractor. (Materials only.)
6. Wood siding and corner boards will be provided by the Owner and installed by the Contractor. (Materials only.)
7. Builders hardware will be provided by the Owner and installed by the Contractor. See the Door and Hardware Schedules, Sheet A-12. (Materials only.)
8. Cabinet work. (Materials and installation.)
9. Ceramic tile. (Materials and installation.)
10. Carpet. (Materials and installation.)
11. Wood flooring. (Materials only.)
12. Prefabricated metal fireplace unit with chimney. (Materials and installation.)
13. Kitchen and Laundry equipment. Contractor shall install equipment and appliances and Owner's sub-contractors will hook-up.
14. Bathroom accessories. (Materials only.)
15. Hanging rods and shelves in Closets and Laundry. (Materials and installation.) Contractor to provide and install shelving in Linen Closet.
16. Clips for peg-board in Laundry. (Materials and installation.)
17. Electrical wiring and fixtures. (Materials and installation.)
18. Plumbing. (Materials and labor.) Contractor to pay sewer tap fee, \$200, and water tap fee, \$300, when obtaining building permit.
19. Heating and air-conditioning, including duct work for the Kitchen exhaust fan.
20. Tile pavers from the sidewalk to the beginning of the bridge to be provided and installed by Owner.
21. Owner will provide the pre-finished wire panels in frames for the bridge railing. Contractor shall provide other steel work and shall install wire panels in frames.
22. Rolling mirror tracks and hardware in Bath #1. (Materials only.)
23. DRIP CAP FOR WINDOW AND DOOR TRIM AND FLASHING METAL AT GLASS ROOF (DETAIL 3/A7) WILL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. (MATERIALS ONLY)

Clean-up:

Provide all clean-up and trash removal. Leave project in clean, first-class condition, and ready for occupancy. Cleaning shall include, but not be limited to, removal of all paint on non-painted or pre-finished surfaces.

Landscaping:

Contractor shall leave the disturbed areas of the site with finished grades installed and cleaned so that it is free of construction refuse. Finished landscaping to be provided by the Owner.

Protection of Existing Trees: Contractor shall protect existing trees from damage to roots and trunks.

Stump Removal: Six major trees that are to be removed will be cut and trunks pulled out of the construction area. Contractor shall remove these stumps and all small trees.

Termite Control:

Provide termite treatment under slabs and footings. Comply with all applicable regulations.

Footing Drainage:

Provide "french drain" as shown on the Basement floor plan, using 6" perforated P.V.C. pipe with gravel. Slope pipe to ensure continuous flow of water to ground level.

Concrete:

Use 3000psi concrete throughout.

Prefabricated Wood Trusses:

Wood trusses can be "Trussjoists", parallel chord 4 x 2 wood trusses or other approved by Owner.

Insulation:

Fiberglass batt insulation: R-11 in exterior walls, and R.30 in attic, and R-19 in roof rafters of Entry.

Mechanically Fastened C.P.E. Roofing System:

Contractor shall provide 15# felt on roof and porch decking. Owner will provide labor and materials for roofing membrane and flashing.

Wood Siding:

Siding and corner board materials will be provided by Owner, and installation by Contractor. Siding will be 6" Mahogany Clapboard with 41" exposure. Install with stainless steel staples of galvanized casing nails. Corner boards shall be 5/4" "D" fir. Back stain all siding and corner board materials.

Joint Sealers:

For exterior sealants, use one part urethane, paintable.

Wood Columns:

Manufactured by Henderson, Black & Greene, Inc. or equal. See drawings for sizes and types.

Ceramic Tile:

Ceramic tile, labor and materials will be provided by the Owner. All tile will be mud-set, not thin-set on gypsum board, except the Kitchen splash.

Wood Flooring:

Wood flooring will be provided by the Owner and installed by the Contractor. The flooring is pre-finished Beech and is 1/2" thick by 5 1/16" wide by 6'-0 3/4" long. The flooring should be concealed nailed.

Vinyl Flooring:

Vinyl flooring in the Kitchen and Laundry shall be Armstrong "Best of Best Worlds", color #86000 - warm gray.

Painting:

Paints and stains shall be first quality as manufactured by Martin-Senou and Olympic or equal. The following list includes types and minimum coats for each condition.

EXTERIOR:	
Stucco:	2 coats Exterior Latex house paint, Flat finish.
Concrete:	1 coat Masonry filler, 2 coats Latex Masonry paint Flat finish.
Steel:	2 coats house paint, Gloss finish.
Wood Trim & Doors:	Note that exterior of all windows and most window trim is pre-finished. 1 coat Exterior wood primer, 2 coats house paint, Gloss finish. Back-stain wood siding and corner boards. Back-prime all exterior painted trim and screen framing and moulding.
T&G Wood Flooring (Screened Porch):	2 coats Porch and Floor enamel. BACKPRIME.
INTERIOR:	
Gypsum Board:	2 coats Latex wall paint, Flat finish. 5% of the surfaces will receive 2 coats of Latex wall paint in deep base colors, Semi-gloss or Eggshell finish.
Wood:	1 coat Interior Wood primer, 2 coats Latex paint, Semi-gloss finish.

Toilet Accessories:

Provided by Owner, installed by Contractor.

Kitchen and Laundry Equipment:

Provided by Owner, installed by Contractor. Hook-ups by Owner's electrician and plumber. Equipment includes:

- Kitchen Cooktop, gas
- Vented Exhaust over Cooktop
- Disposer
- Water purifier
- Refrigerator with ice maker (water from the water purifier)
- Freezer
- Double wall ovens, electric.
- Dishwasher
- Clothes Dryer
- Clothes Washer

Built-in Ironing Board:

Manufactured by Iron-A-Way, Inc., Morton, Illinois, Model A-46, Electric connection by Owner's electrician.

Exhaust Fan & Louver:

Whole house exhaust fan shall be 30", 1/2 HP, 2400 RPM, 5-BLADE with tight sealing automatic louver for exterior use, HI-LOW SWITCH.

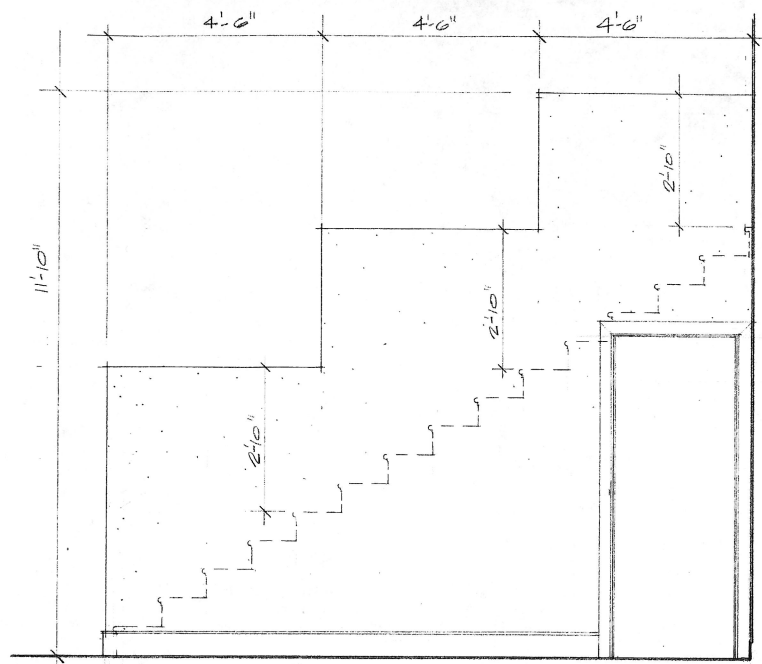
FIREGLASS ROOFING SHINGLES:

ON ENTRY ROOF USE 255# FIREGLASS SHINGLES. CONTRACTOR PROVIDE & INSTALL RELATED G.I. STEP FLASHING, A.I. Drip EDGE AT ALL EDGES.

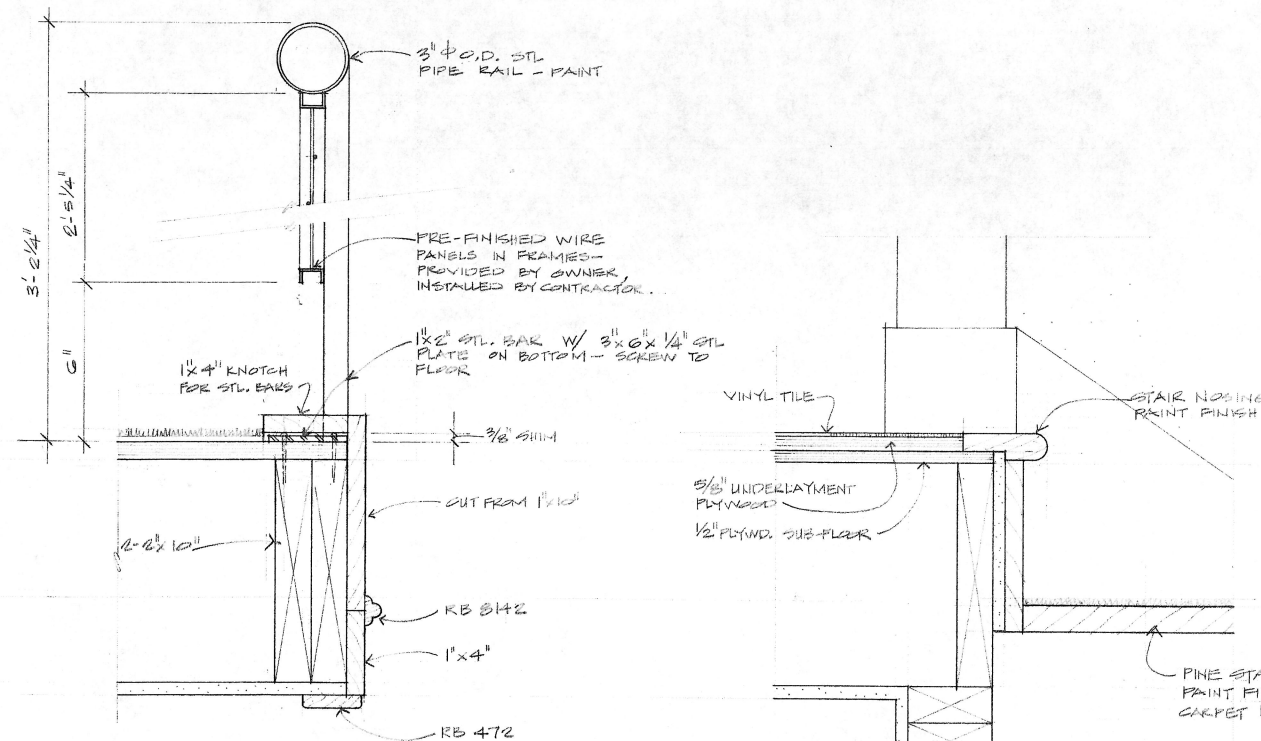
WATERPROOFING:

PROVIDE WATERPROOFING ON BELOW GRADE PORTIONS OF FOUNDATIONS AND FOUNDATIONS AT BASEMENT SPACE. PROVIDE 15' OR MORE GUARANTEE FOR WATERPROOFING INCLUDING ALL COSTS OF REPAIR. "WATERPROOFING" MEANS WATERPROOFING, NOT DAMPPROOFING.

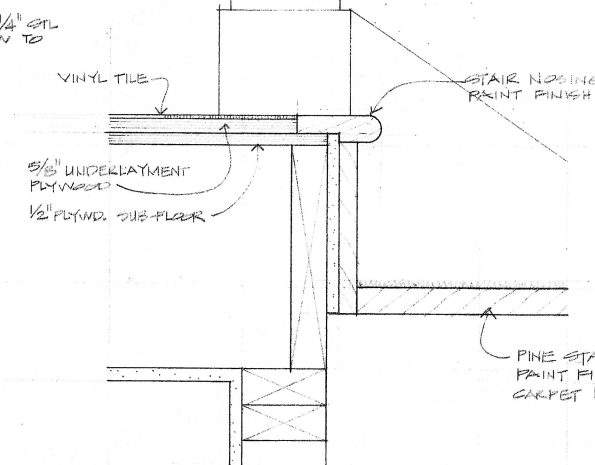
KARREN P. MORGAN



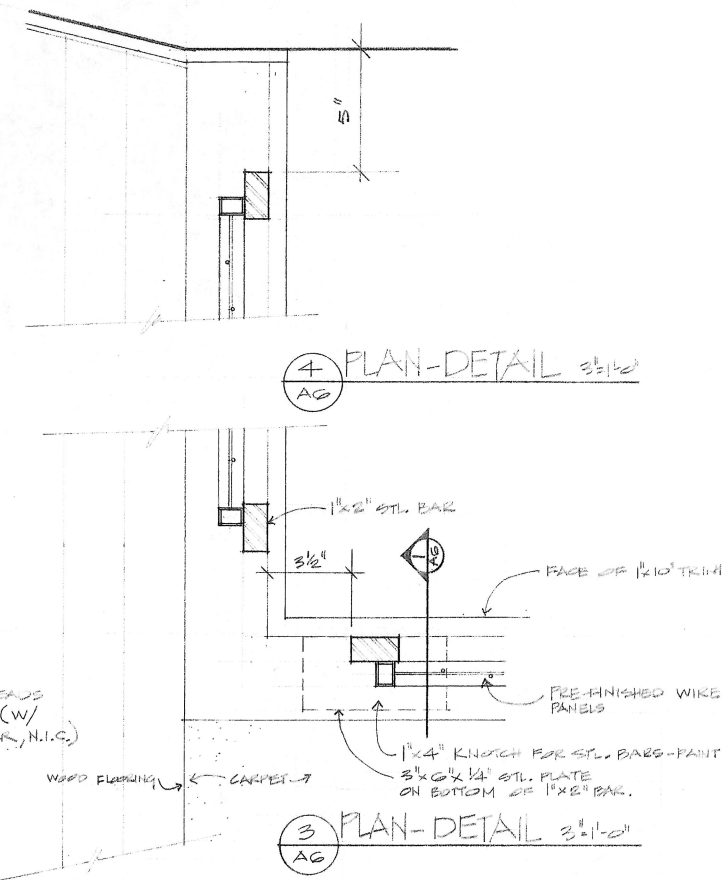
A ELEVATION 1/2"=1'-0"



1 DETAIL 3/4"=1'-0"

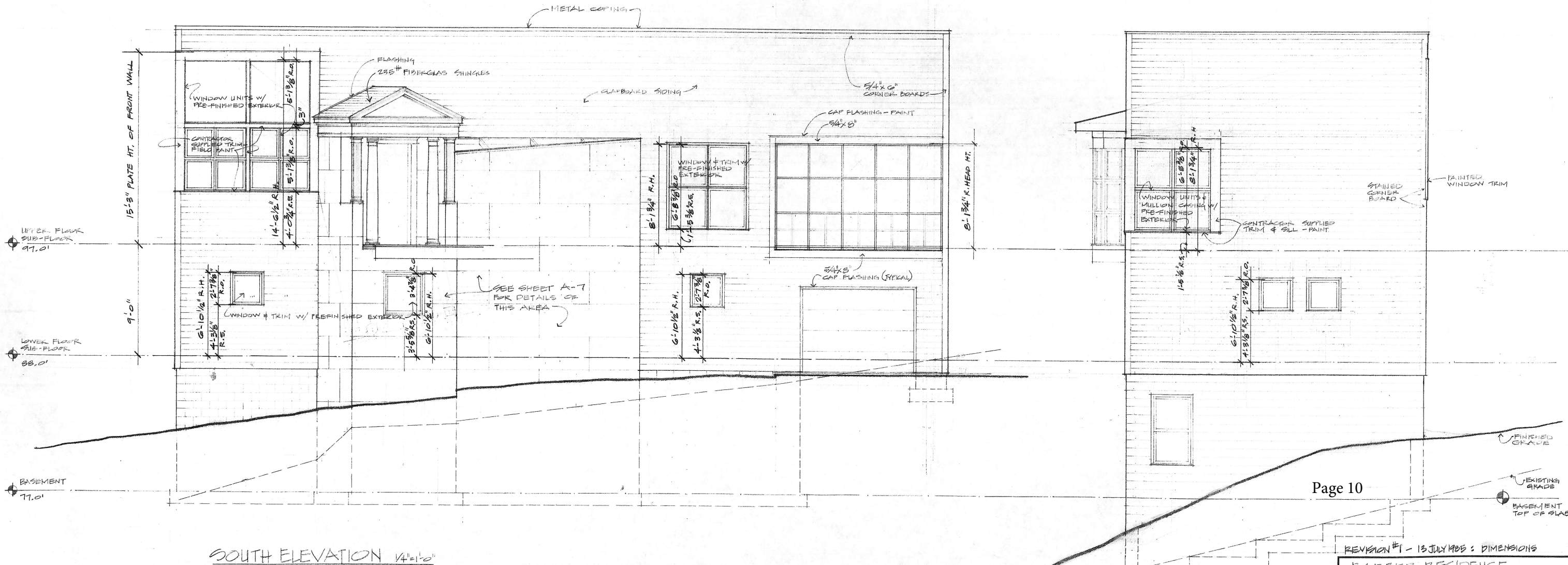


2 DETAIL 3/4"=1'-0"

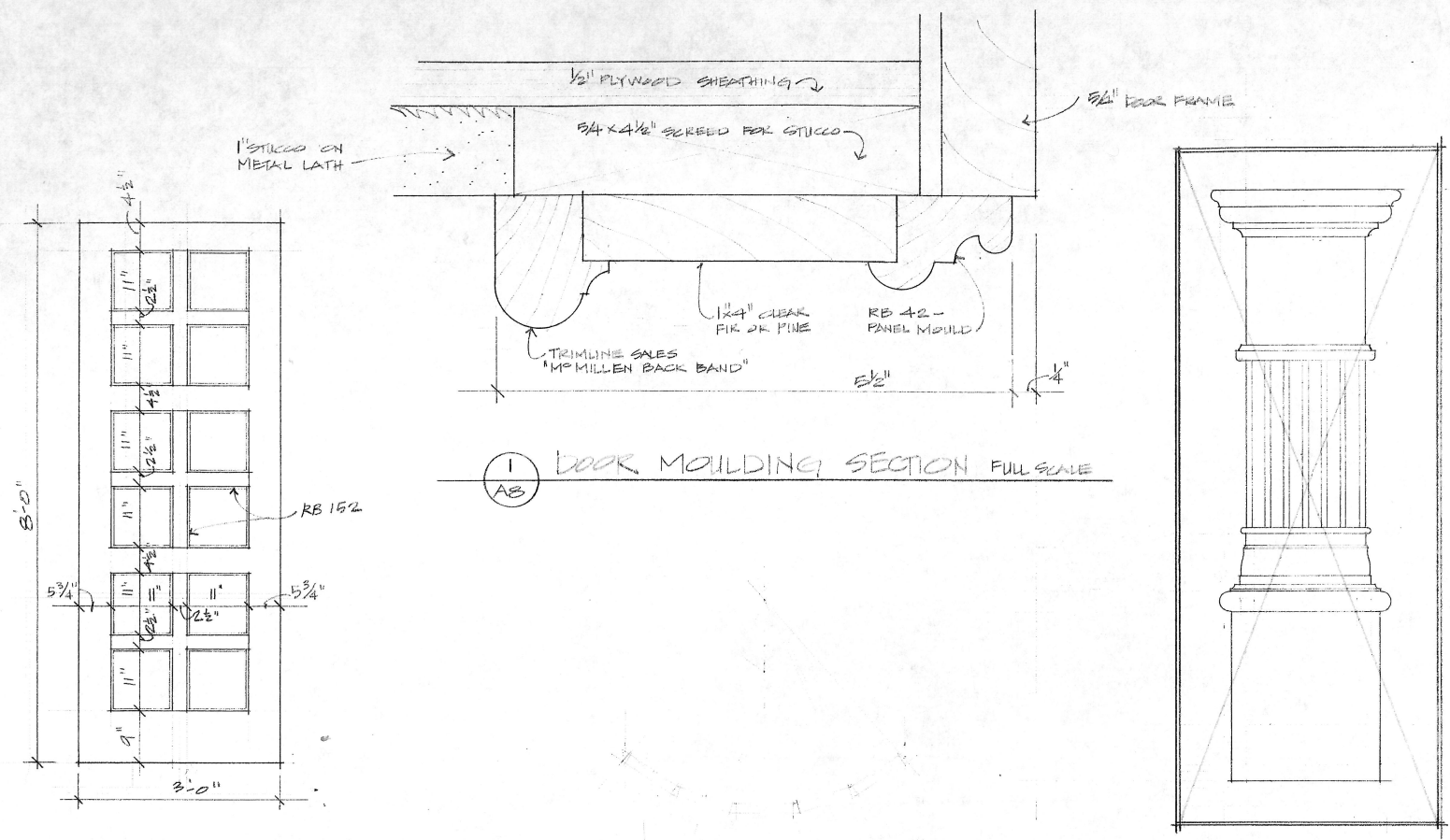


4 PLAN-DETAIL 3/4"=1'-0"

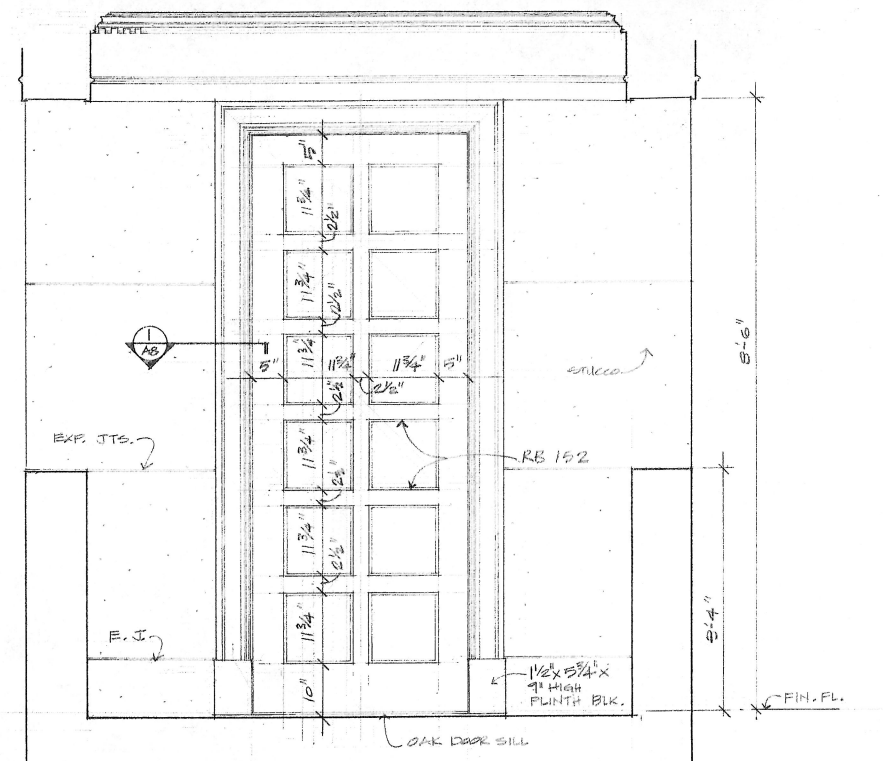
3 PLAN-DETAIL 3/4"=1'-0"



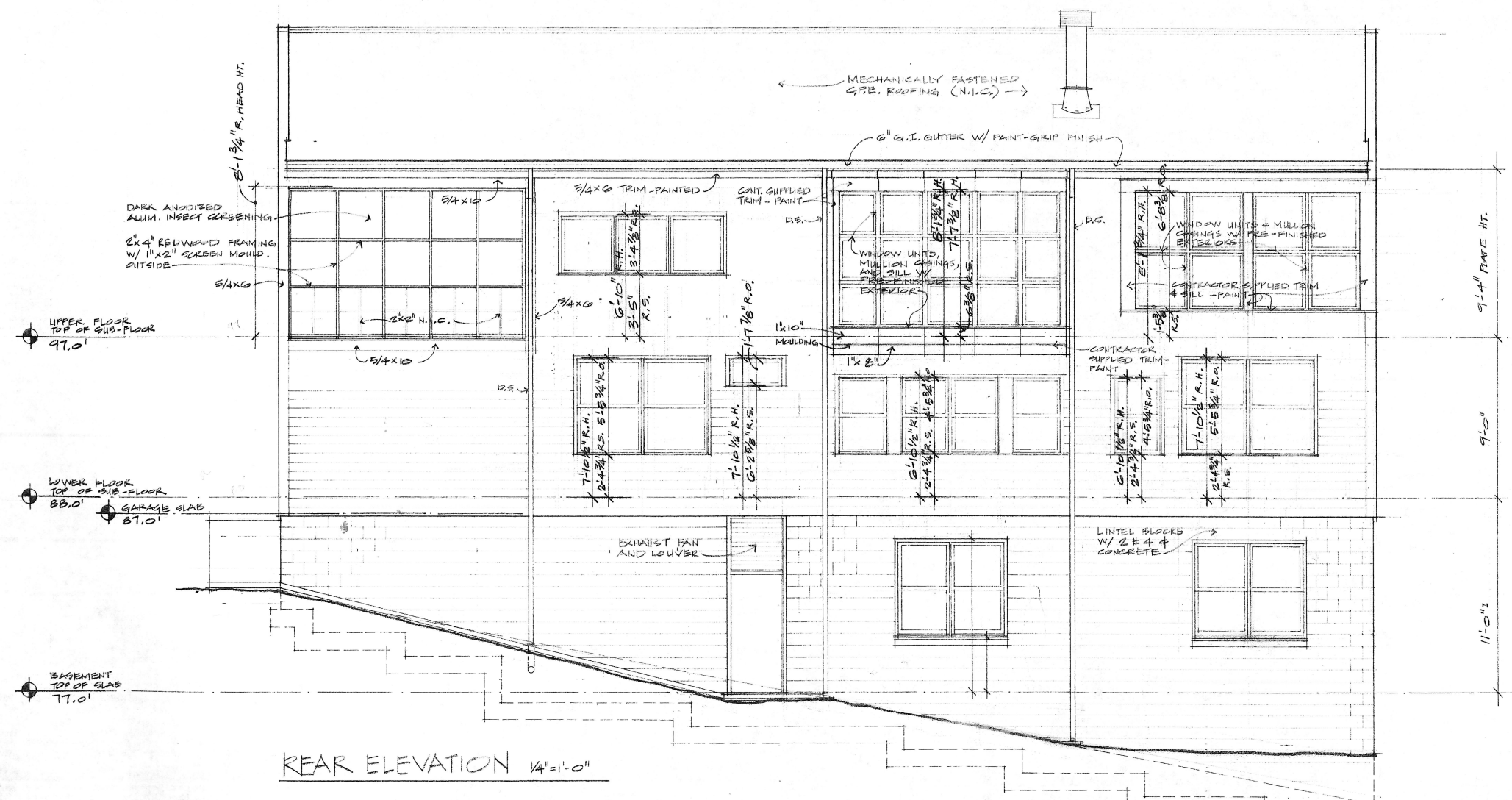
SOUTH ELEVATION 1/4"=1'-0"



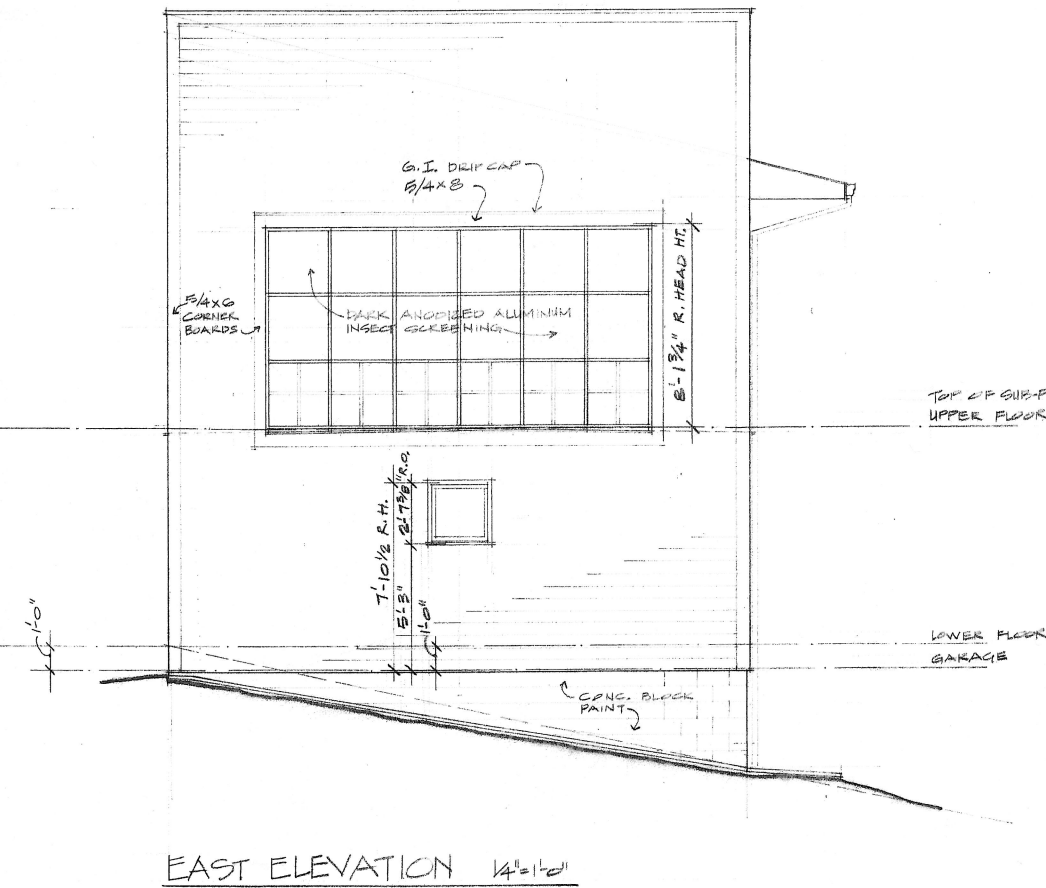
I-AB DOOR Moulding SECTION FULL SCALE



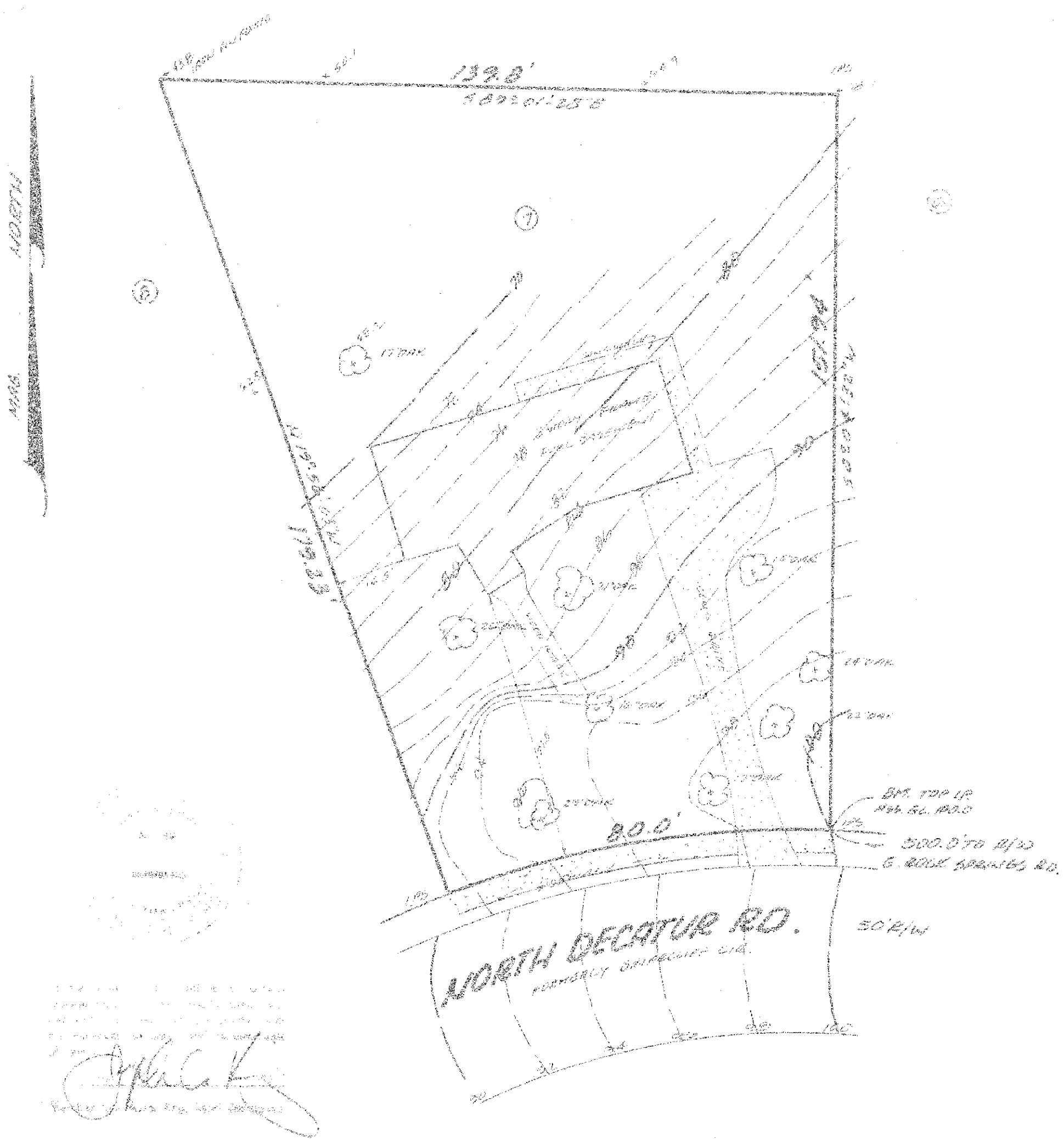
A ELEVATION @ FRONT DOOR 3/4"=1'-0"



REAR ELEVATION 1/4"=1'-0"



EAST ELEVATION 1/4"=1'-0"



I, the undersigned, being a duly qualified and licensed Surveyor in the State of Georgia, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the parties thereto, and that the same is a true and correct copy of the original survey as shown to me by the parties thereto, and that the same is a true and correct copy of the original survey as shown to me by the parties thereto.

Joseph C. King
 Surveyor

THIS PROPERTY IS NOT LOCATED WITHIN AN UNDESIGNATED FLOOD-HAZARDOUS AREA.
 SURVEY FOR
JAMES R. & KATHLEEN S. BARBER
 LOT 7, BLOCK "A" PROVISIONAL PLAT OF GRAND HILLS HEIGHTS C/D
 LAND LOT 35-18TH DISTRICT DEKALB COUNTY GEORGIA
 DATE: 11-18-85 - SCALE 1" = 20'

Joseph C. King, Land Surveyor 370 5720