

Chief Executive Officer  
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director  
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 1466 NORTH DECATUR ROAD, ATLANTA, GA 30306

Applicant: WRIGHT GARDNER E-Mail: wrightg@wrightgardnerarchitect.com

Applicant Mailing Address: 154 KROG STREET NE, SUITE 125  
ATLANTA, GA 30307

Applicant Phone(s): 404-218-8466 Fax: \_\_\_\_\_

Applicant's relationship to the owner: Owner ☐ Architect: ☒ Contractor/Builder ☐ Other ☐

Owner(s): PHIL & DANETTE VANTRUMP E-Mail: d.vantrump@yahoo.com  
E-Mail: pvantump@me.com

Owner(s) Mailing Address: 1466 NORTH DECATUR ROAD, ATLANTA, GA 30306

Owner(s) Telephone Number: 404-519-9029

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: EARLY 20TH CENTURY

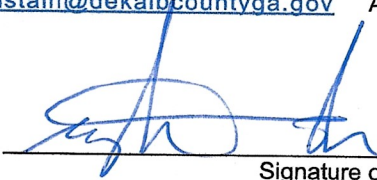
Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☒ Moving a building ☐ Other building changes ☐  
New accessory building ☒ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐  
Sign installation or replacement ☐ Other ☐

Description of Work:

DEMOLISH EXISTING GARAGE & REBUILD W/ STEEL REINFORCEMENTS FOR PARKING CARS, ADD PORTE COCHERE W/ LINING QUARTERS ABOVE CONNECTED TO HOUSE TO PROVIDE NEEDED BEDROOMS. (REQUIRES VARIANCE). HOME ADDITION / SUN PORCH / MASTER BEDROOM AT REAR OF HOUSE, NOT VISIBLE FROM STREET.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov). An incomplete application will not be accepted.

 9/23/2021  
Signature of Applicant/Date



DEPARTMENT OF PLANNING & SUSTAINABILITY

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is not the owner of the property.

I/ We, PHIL AND DANETTE VAN TRUMP  
being owner(s) of the property at 1466 NORTH DECATUR ROAD, ATLANTA, GA  
hereby delegate authority to WRIGHT GARDNER  
to file an application for a certificate of appropriateness in my/our behalf.

  
Signature of Owner(s)

3/27/21  
Date

**Please review the following information**

**Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.**

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

#### FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0062K, DATED 08/15/19

#### ZONING INFORMATION

CLASSIFICATION: R-85  
MINIMUM LOT WIDTH - 85 FEET  
MINIMUM LOT AREA - 12,000 sf.  
SETBACKS: FRONT - 35 FEET  
SIDE - 8.5 FEET  
REAR - 40 FEET  
MAXIMUM LOT COVERAGE - 35%  
MINIMUM FLOOR AREA - 2000 sf.  
MAXIMUM BUILDING HEIGHT - 35 FEET

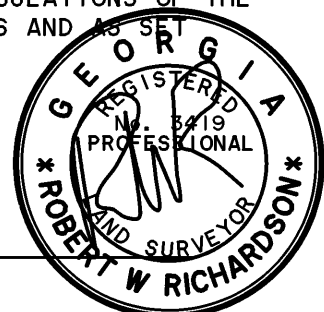
LOT AREA:  
19,013 sf.  
0.437 ACRES

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

ROBERT W. RICHARDSON, GA RLS #3419

11/09/20

DATE



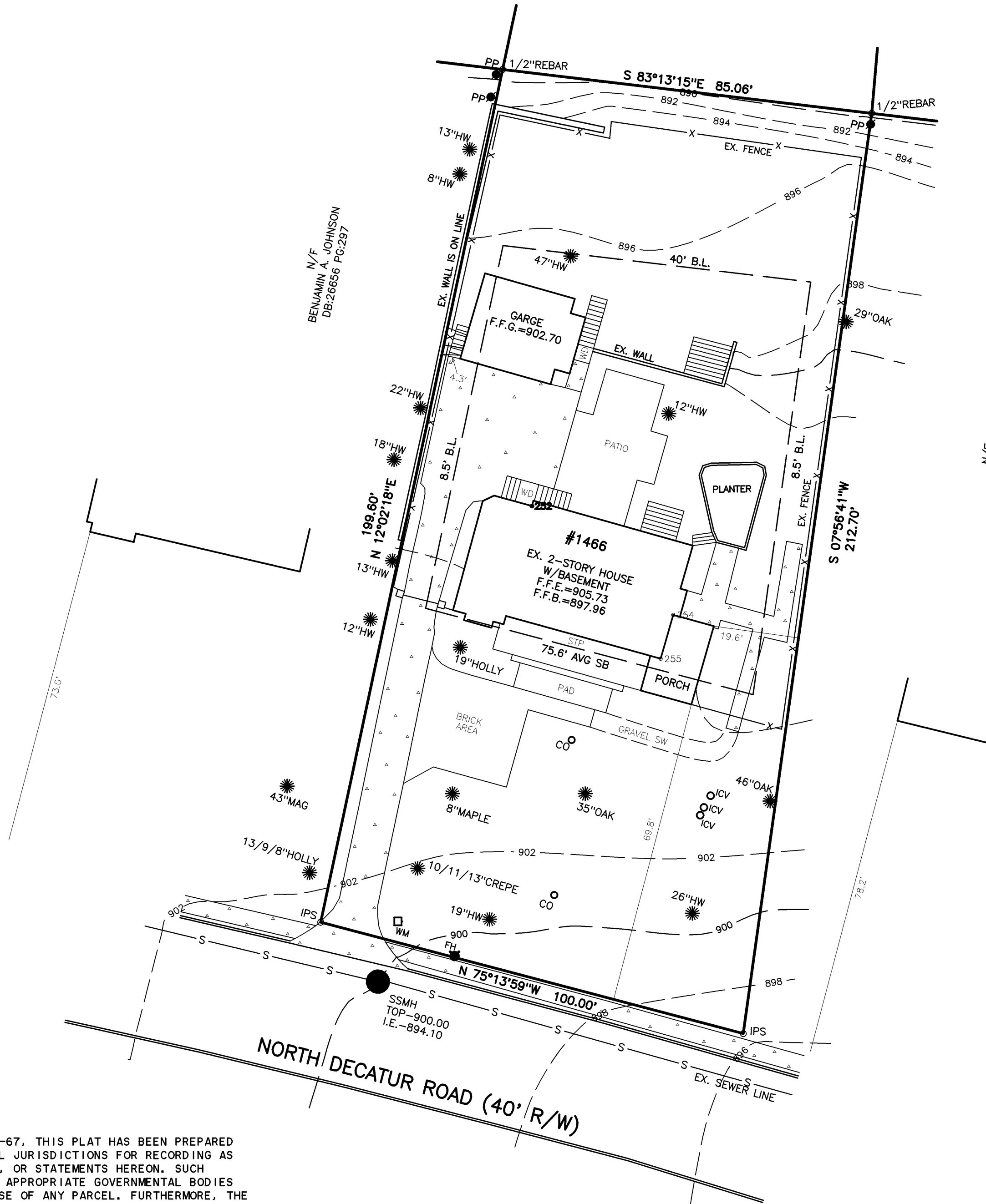
N/F  
KATHERINE C. STUBBS  
DB:15142 PG:424

N/F  
BENJAMIN A. JOHNSON  
DB:26656 PG:297

N/F  
KARL OTS  
DB:23030 PG:36

#### LEGEND

IPF = 1/2" REBAR FOUND  
IPS = 1/2" REBAR PIN SET  
L.L. = LAND LOT  
L.L.L. = LAND LOT LINE  
P.L. = PROPERTY LINE  
CL = CENTERLINE  
B.L. = BUILDING LINE  
R/W = RIGHT-OF-WAY  
S.S.E. = SANITARY SEWER EASEMENT  
D.E. = DRAINAGE EASEMENT  
MH = MANHOLE  
C.B. = CATCH BASIN  
J.B. = JUNCTION BOX  
HW = HEADWALL  
D.I. = DROP INLET  
PP = POWER/UTILITY POLE  
F.H. = FIRE HYDRANT  
I.E. = INVERT ELEVATION  
F.F.E. = FINISHED FLOOR ELEVATION  
F.F.B. = FINISHED FLOOR BASEMENT  
F.F.G. = FINISHED FLOOR GARAGE  
BOC = BACK OF CURB  
EP = EDGE OF PAVEMENT  
N/F = NOW OR FORMERLY  
P.O.B. = POINT OF BEGINNING  
SS = SANITARY SEWER LINE/PIPE  
X-X-X = FENCE LINE  
O = FLOOD HAZARD ZONE LINE  
S = STORM SEWER LINE/PIPE  
W = WATER LINE  
G = GAS LINE  
CM = CONCRETE MONUMENT  
C.E. = CONSTRUCTION EASEMENT  
C&G = CURB AND GUTTER  
LS = LIGHT STANDARD  
OTP = OPEN TOP PIPE FOUND  
CTP = CRIMP TOP PIPE FOUND



20 10 0 20  
GRAPHIC SCALE - 1" = 20'

ALPHA LAND SERVICES  
P.O. BOX 1651  
LOGANVILLE, GA. 30052  
ENGINEERING \* LAND SURVEYING  
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

SURVEY FOR:

1466 N. DECATUR ROAD  
TAX PARCEL: 18-054-07-005

REVISION: \_\_\_\_\_  
DISTRICT: 18TH  
DEKALB COUNTY  
FIELD DATE: 10/28/20  
PLAT DATE: 11/09/20  
REF. PLAT: PB. 8 P. 36

LAND LOT: 54  
SUB: 18TH  
AREA = 0.437 ACRES  
JOB No. 20-10-551



The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of .03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

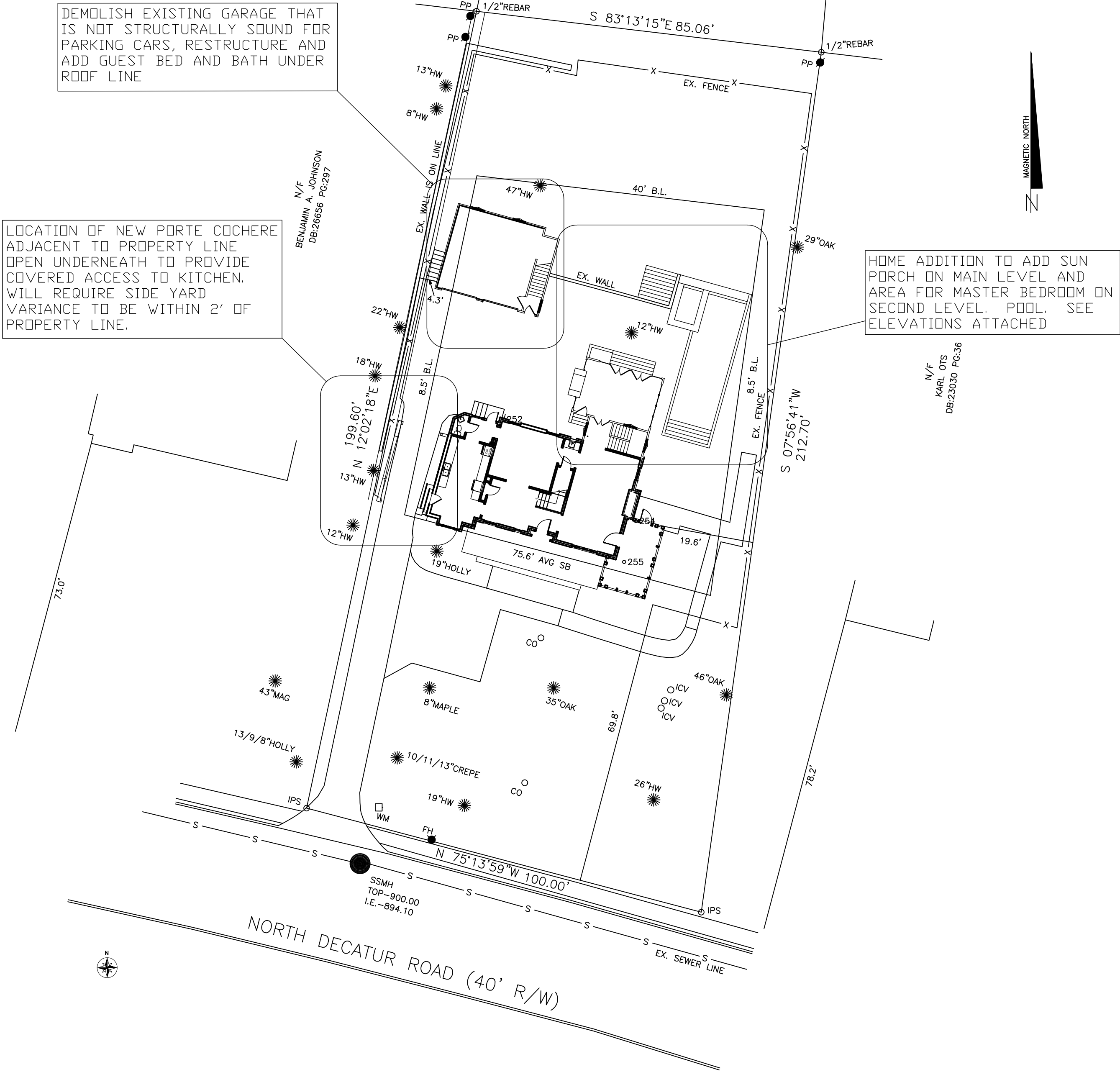
FLOOD HAZARD STATEMENT

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REAR - 40 FEET  
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MINIMUM FLOOR AREA - 2000 sf.  
MAXIMUM BUILDING HEIGHT - 35 FEET

LOT AREA:  
19,013 sf.  
0.437 ACRES



LEGEND

IPF = 1/2" REBAR FOUND  
IPS = 1/2" REBAR PIN SET  
L.L. = LAND LOT  
L.L.L. = LAND LOT LINE  
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P.O.B. = POINT OF BEGINNING  
SS-- = SANITARY SEWER LINE/PIPE  
-X-X- = FENCE LINE  
-O- = FLOOD HAZARD ZONE LINE  
--- = STORM SEWER LINE/PIPE  
--W-- = WATER LINE  
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CM = CONCRETE MONUMENT  
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C&G = CURB AND GUTTER  
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ALPHA LAND SERVICES

P.O. BOX 1651  
LOGANVILLE, GA. 30052  
ENGINEERING \* LAND SURVEYING

OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

REVISION: \_\_\_\_\_

LAND LOT: \_\_\_\_\_

DISTRICT: \_\_\_\_\_

DEKALB COUNTY

GEORGIA

FIELD DATE: 10/28/20

PLAT DATE: 11/09/20

REF. PLAT: PB. 8 P. 36

SURVEY FOR:

1466 N. DECATUR ROAD

TAX PARCEL: 18-054-07-005

LOT: 5 BLOCK: B

SUB: LULLWATER

AREA = 0.437 ACRES

JOB No. 20-10-551



stamp:

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revisions

No.	Description	Date

sheet title:

EXISTING/DEMO  
PLANS

project number: 21-nm  
drawing date: MM.DD.2021  
scale: as noted

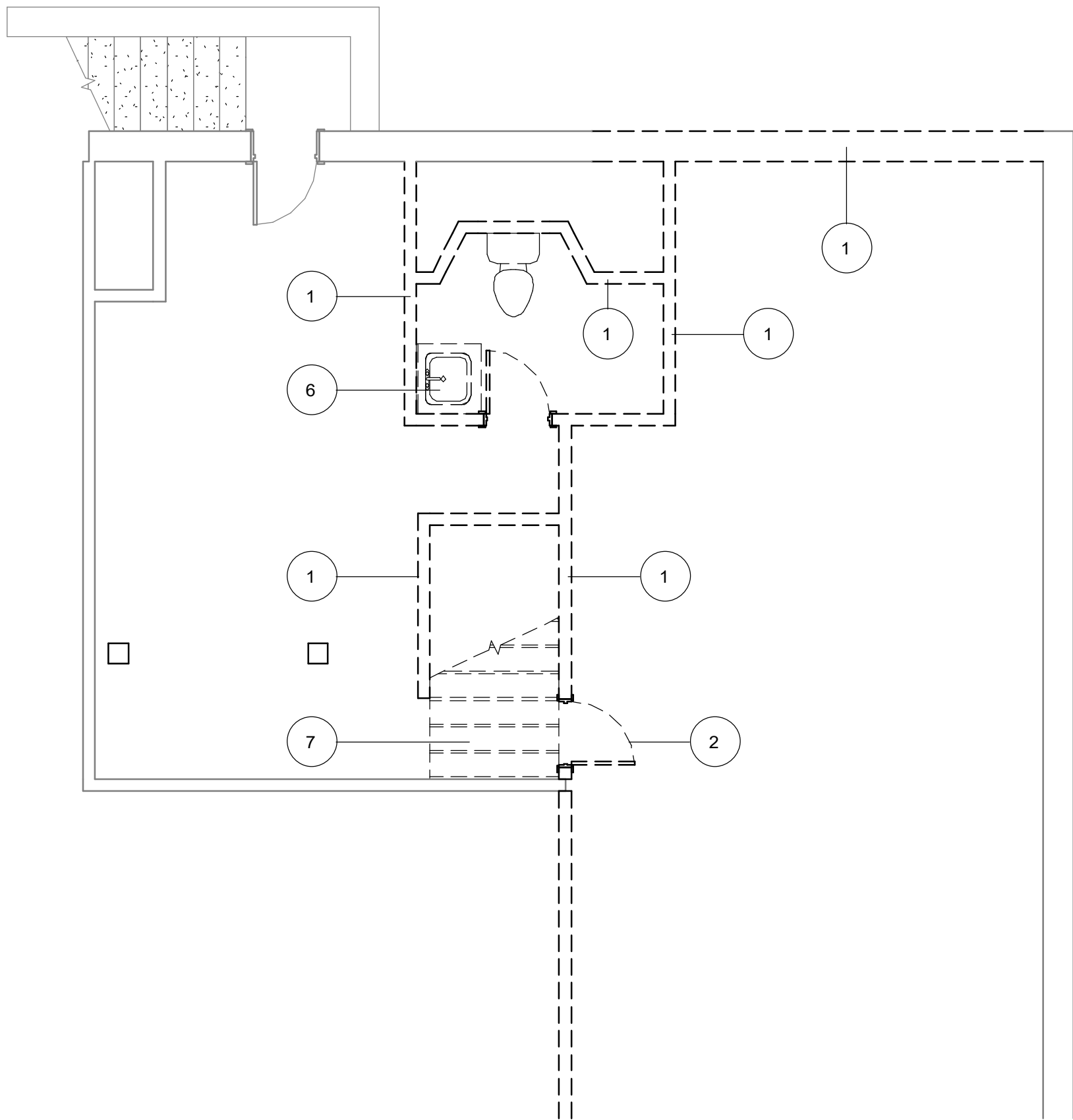
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A0-10

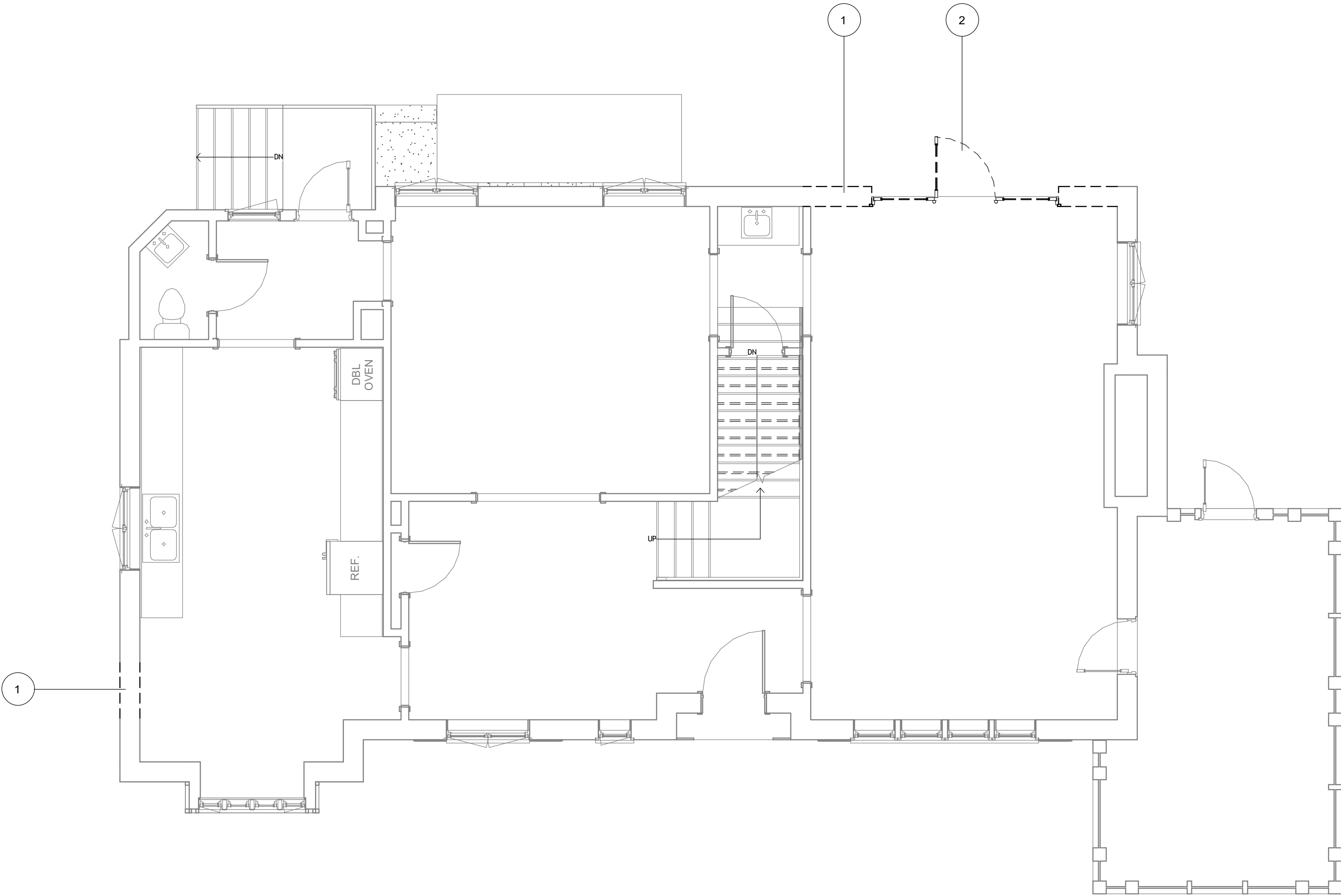
NOT ISSUED FOR CONSTRUCTION  
ISSUED FOR CONSTRUCTION

GENERAL DEMOLITION NOTES:	
1	CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND TO NOTIFY OWNER OF ANY DISCREPACIES
2	CONTRACTORS SHALL NOT DEMOLISH ANY LOAD BEARING WALLS OR CONSTRUCTION THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE STRUCTURE. NOTIFY OWNER OF ANY STRUCTURAL ISSUES ARISING FROM DEMOLITION
3	REMOVE AND CAP ALL EXISTING FLOOR POWER AND COMMUNICATION OUTLETS THROUGHOUT PER ELECTRICAL CODE REQUIREMENTS
4	DEMOLITION INCLUDES TRENCHING/ SAW CUTTING OF SLAB FOR ELECTRICAL OUTLETS
5	DEMOLITION INCLUDES TRENCHING/SAW CUTTING OF SLAB FOR PLUMBING WORK. COORDINATE PLUMBING REMOVAL AND RELOCATION WITH PLUMBING DRAWINGS.
6	REMOVE ALL MECHANICAL DUCTWORK & EQUIPMENT AND CAP ALL ROOF PENETRATIONS FOR RE-USE
7	WHERE PARTITION DEMOLITION OCCURS ADJACENT TO EXISTING TO REMAIN, PATCH AND REPAIR ADJACENT CONDITIONS FOR FINAL FINISHES
8	ITEMS DAMAGED DURING DEMOLITION BEYOND SCOPE OF DEMOLITION. REQUIREMENTS SHALL BE REPAIRED OR REPLACED TO LIKE NEW CONDITION AT NO ADDITIONAL COST TO OWNER

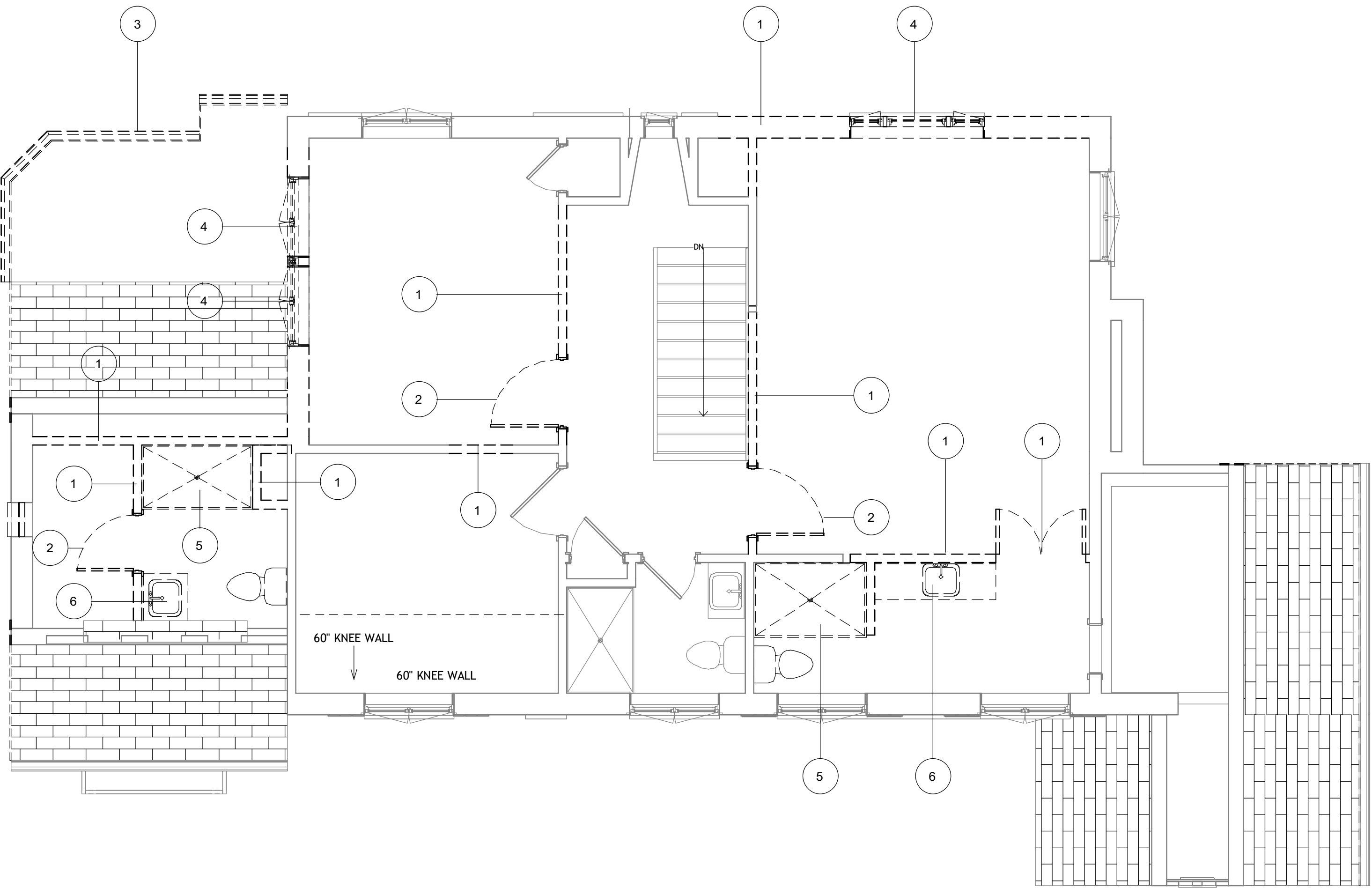
DEMOLITION NOTES	
Key Value	Keynote Text
1	EXISTING NON LOAD BEARING & LOAD BEARING WALLS TO BE DEMOLISHED
2	REMOVE EXISTING DOOR AND FRAME
3	REMOVE EXISTING GUTTER AND FASCIA BOARDS
4	REMOVE EXISTING WINDOW, TRANSOM & SIDELITES
5	REMOVE EXISTING SHOWER AND FIXTURES
6	REMOVE EXISTING SINK & VANITY. MAINTAIN PLUMBING CONNECTIONS
7	REMOVE EXISTING STAIR AND RAILING



3 1.0 BASEMENT DEMO  
A0-10 1/4" = 1'-0"



1 1.3. GROUND FLOOE DEMO  
A0-10 1/4" = 1'-0"



2 1.5 SECOND FLOOR DEMO  
A0-10 1/4" = 1'-0"

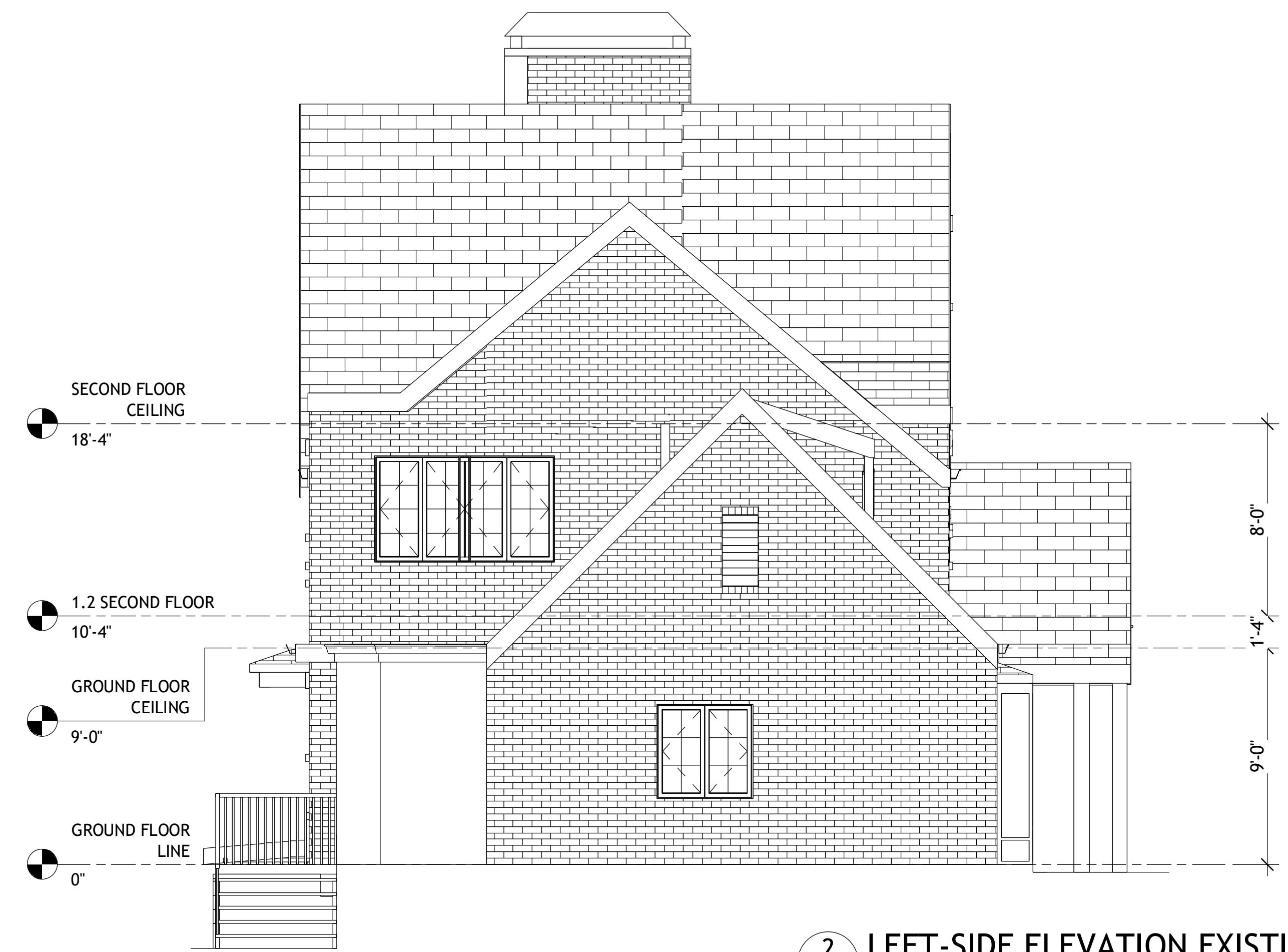


4 EXISTING 3D View 1  
A0-10





4 REAR ELEVATION EXISTING  
A0-11 1/4" = 1'-0"



2 LEFT-SIDE ELEVATION EXISTING  
A0-11 1/4" = 1'-0"



3 RIGHT-SIDE ELEVATION EXISTING  
A0-11 1/4" = 1'-0"



1 FRONT ELEVATION EXISTING  
A0-11 1/4" = 1'-0"

NORTH DECATUR  
HOME RENOVATIONS

stamp:

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revisions		
No.	Description	Date

sheet title:  
**EXISTING  
ELEVATIONS**

project number:  
drawing date:  
scale

21-mm  
MM.DD.2021  
as noted

sheet number:  
**A0-11**  
NOT ISSUED FOR CONSTRUCTION  
ISSUED FOR CONSTRUCTION



NORTH DECATUR  
HOME RENOVATIONS

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revisions

No.	Description	Date

sheet title:

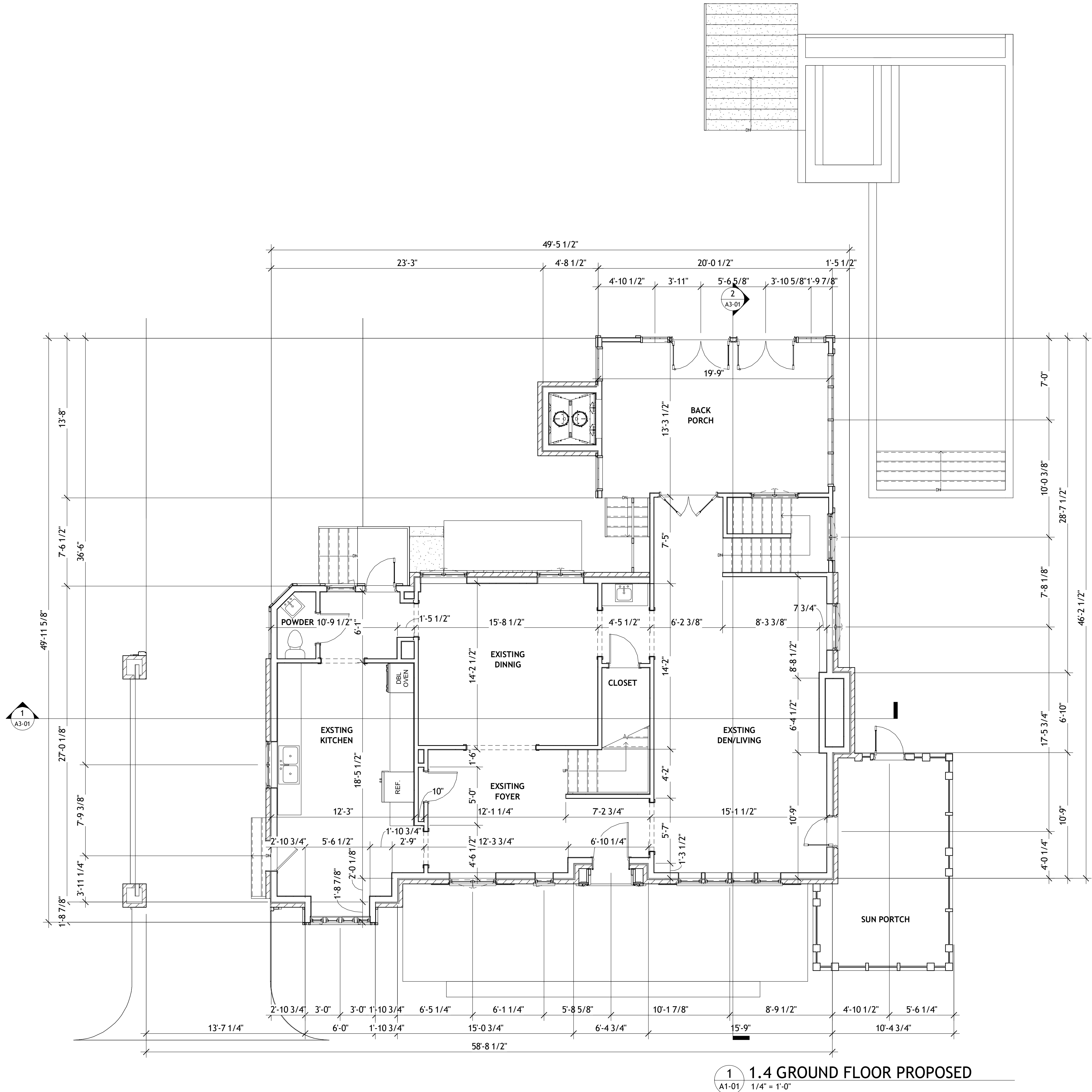
PROPOSED  
GROUND FLOOR

project number:  
drawing date:  
scale

21-mm  
MM.DD.2021  
as noted

sheet number:

**A1-01**  
■ NOT ISSUED FOR CONSTRUCTION  
□ ISSUED FOR CONSTRUCTION





tamp:

[illegible]

Sheet title:

project number: 21-nnn  
drawing date: MM.DD.2021  
scale: as noted

Sheet number:

☒ NOT ISSUED FOR CONSTRUCTION  
☐ ISSUED FOR CONSTRUCTION





NORTH DECATUR  
HOME RENOVATIONS

stamp:

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revisions

No.	Description	Date

sheet title:

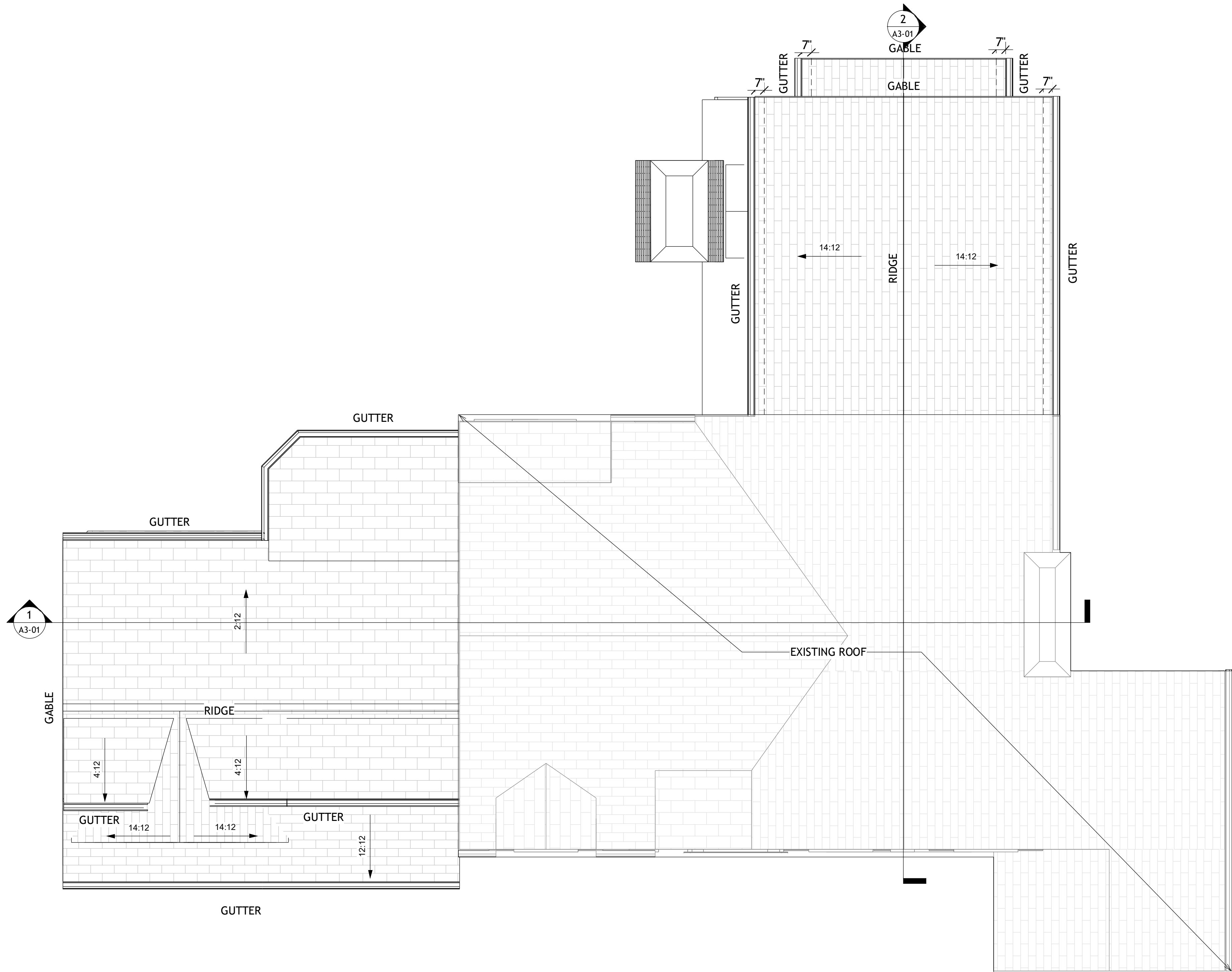
ROOF PLAN

project number: 21-nm  
drawing date: MM.DD.2021  
scale: as noted

sheet number:

A1-03

■ NOT ISSUED FOR CONSTRUCTION  
□ ISSUED FOR CONSTRUCTION



1 ROOF PLAN  
A1-03 1/4" = 1'-0"



NORTH DECATUR  
HOME RENOVATIONS

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revisions

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sheet title:

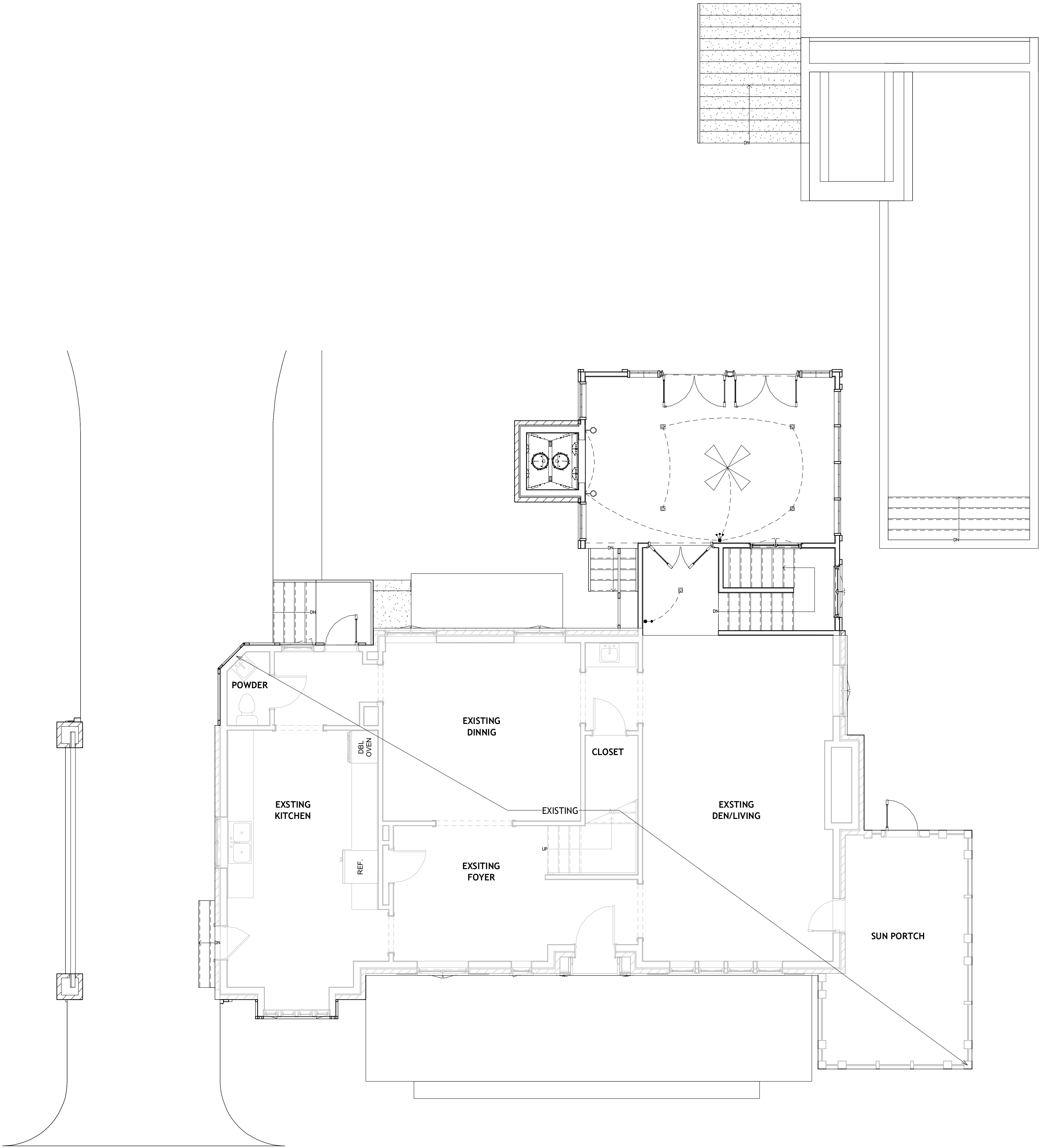
RCP PLAN

project number: 21-mm  
drawing date: MM.DD.2021  
scale: as noted

sheet number:

A1-04

■ NOT ISSUED FOR CONSTRUCTION  
□ ISSUED FOR CONSTRUCTION



1 1.4 RCP GROUND FLOOR PROPOSED  
A1-04 1/4" = 1'-0"



NORTH DECATUR  
HOME RENOVATIONS

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revisions

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sheet title:

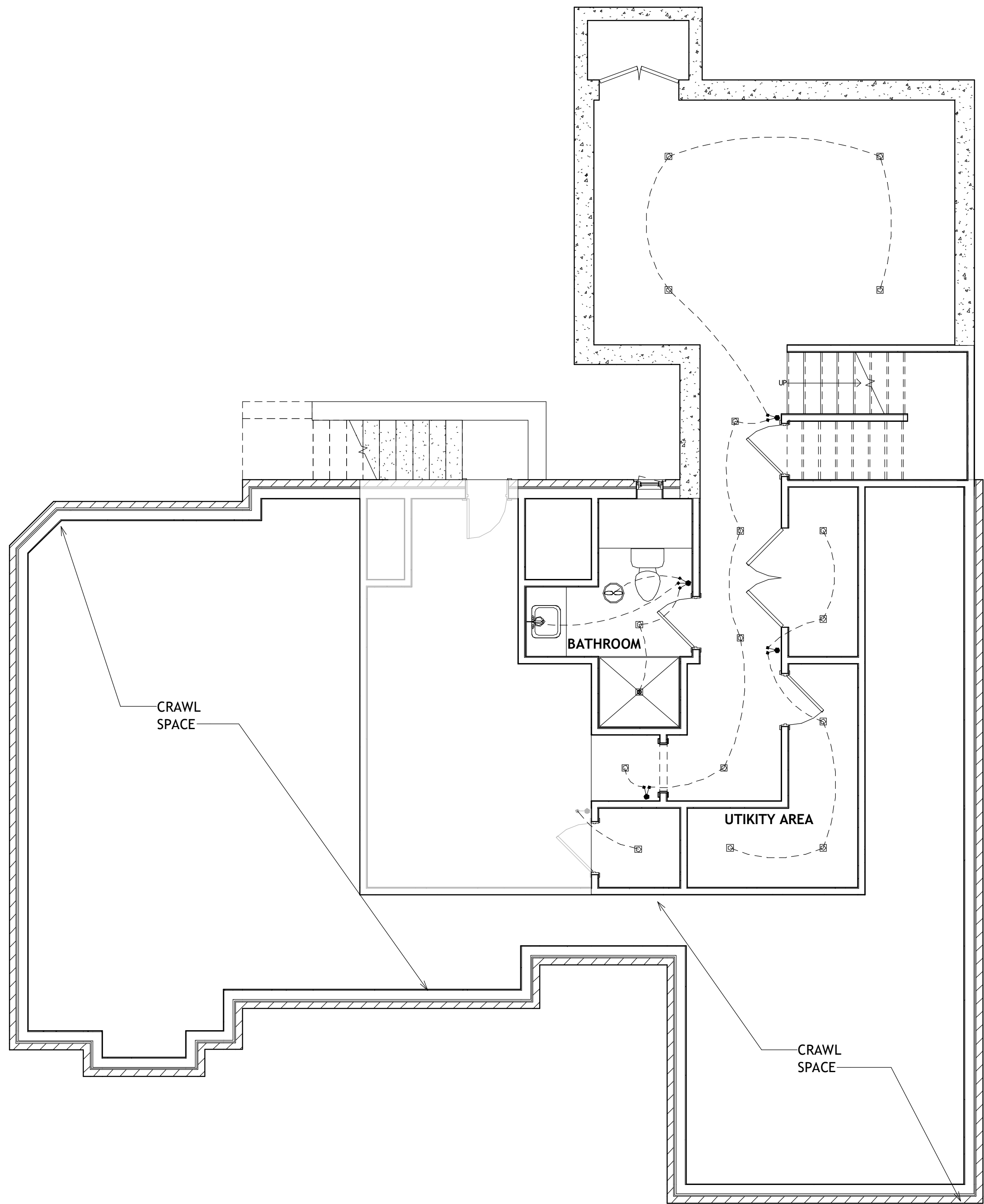
RCP PLAN

project number: 21-nm  
drawing date: MM.DD.2021  
scale: as noted

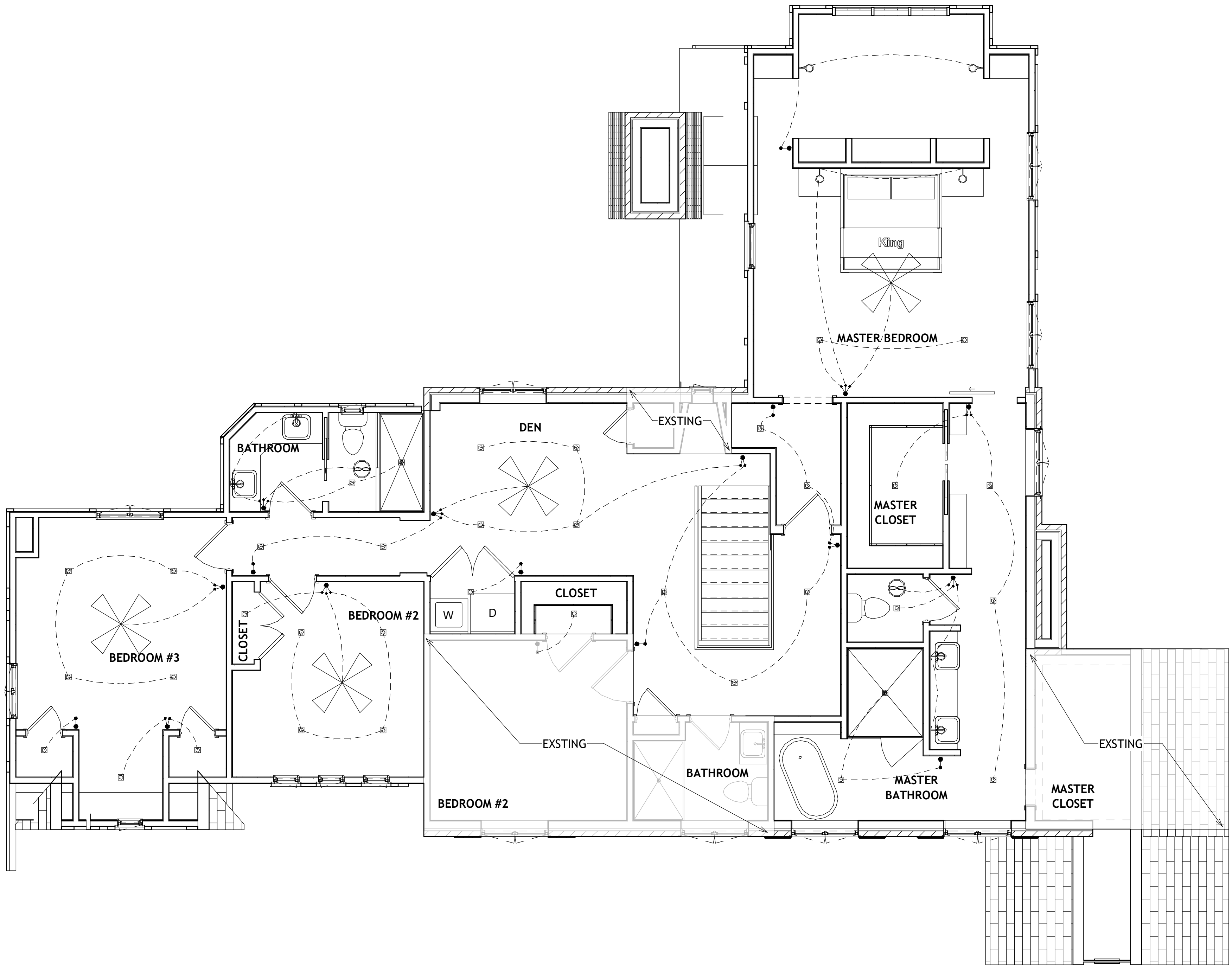
sheet number:

A1-05

NOT ISSUED FOR CONSTRUCTION  
ISSUED FOR CONSTRUCTION



2 1.1 RCP BASEMENT PROPOSED  
A1-05 1/4" = 1'-0"



1 1.6 RCP SECOND FLOOR PROPOSED  
A1-05 1/4" = 1'-0"



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revisions		
No.	Description	Date

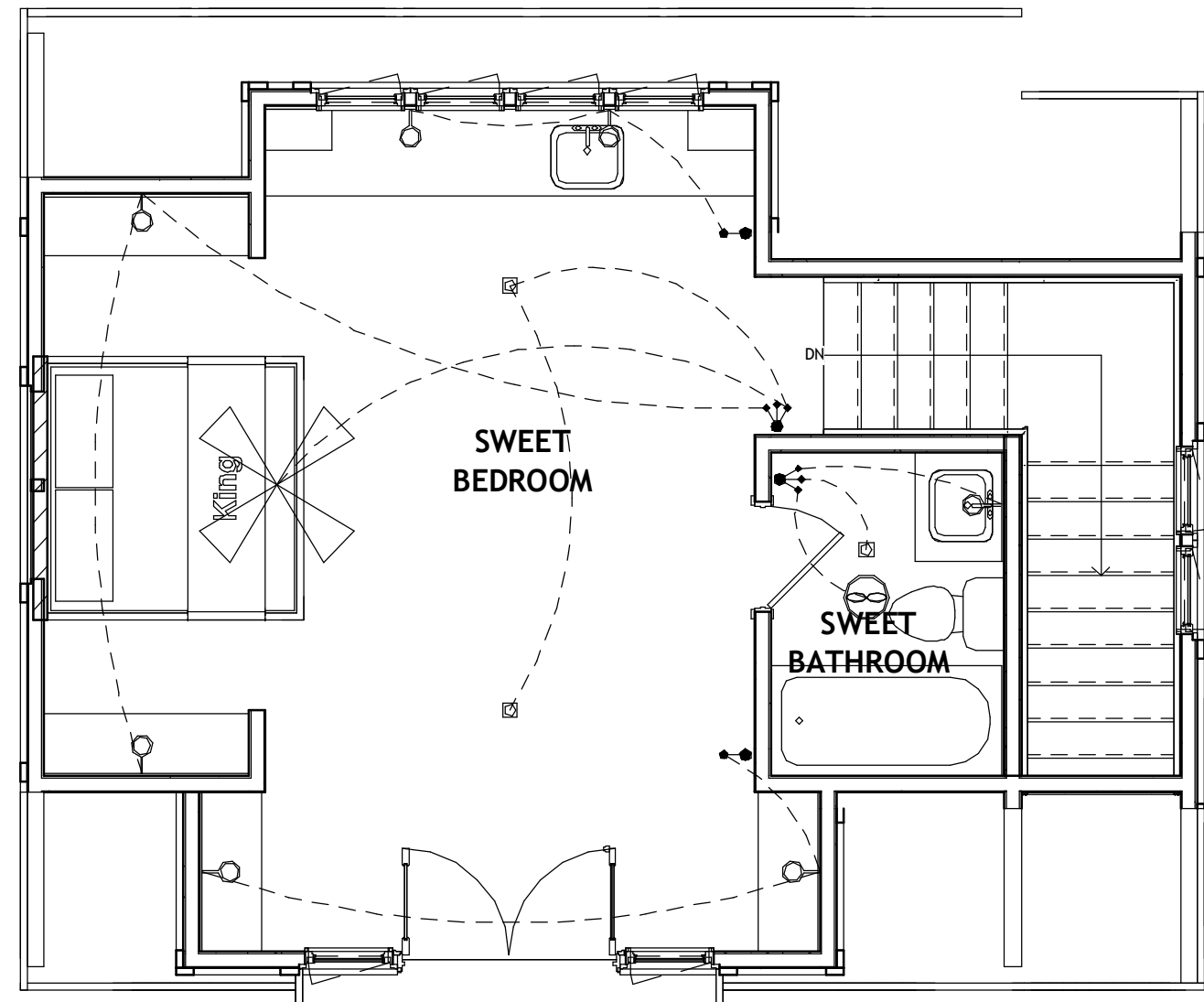
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**GARAGE/SWEET**

project number:  
drawing date:  
scale

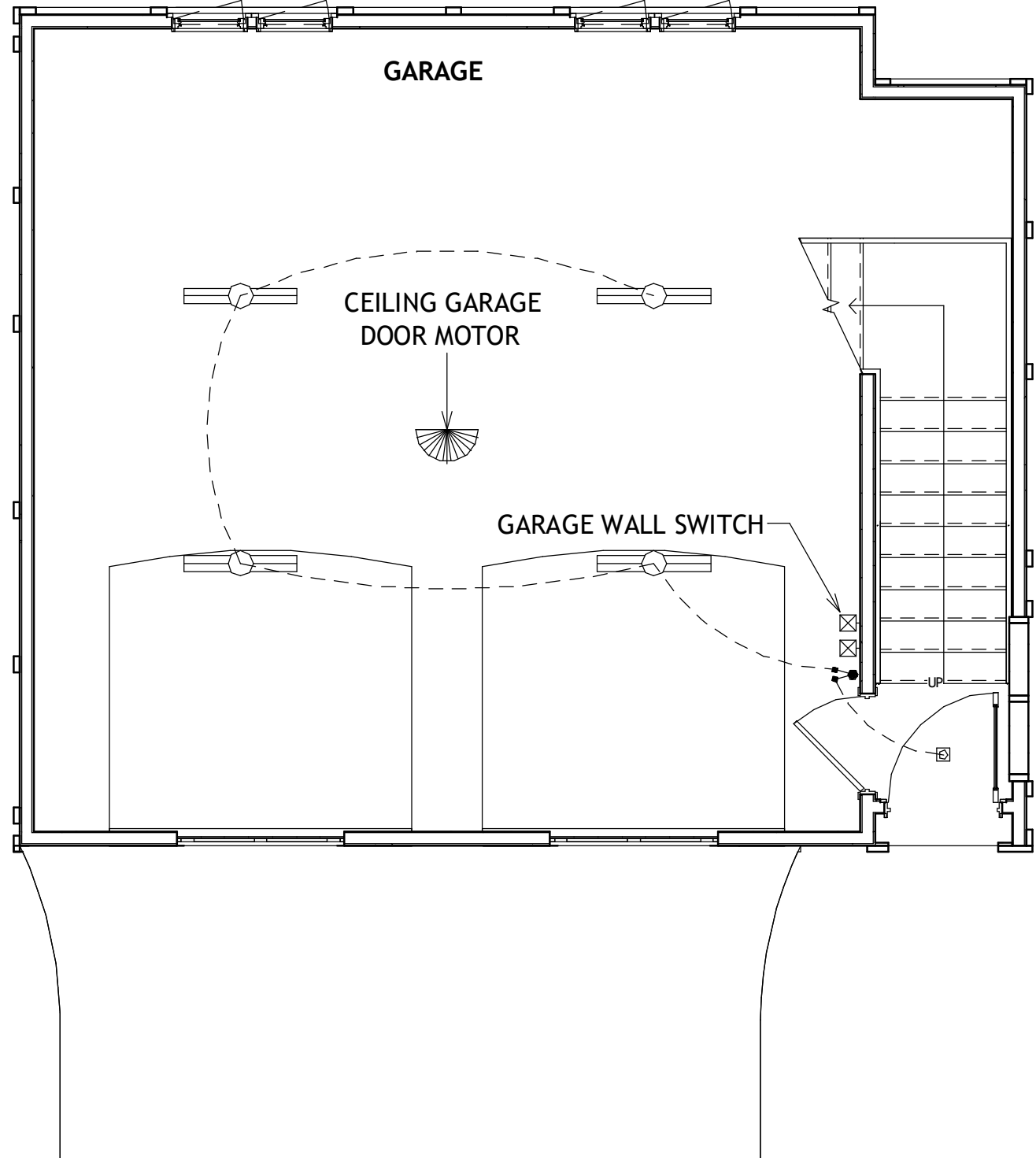
21-mm  
MM.DD.2021  
as noted

sheet number:  
**A1-06**

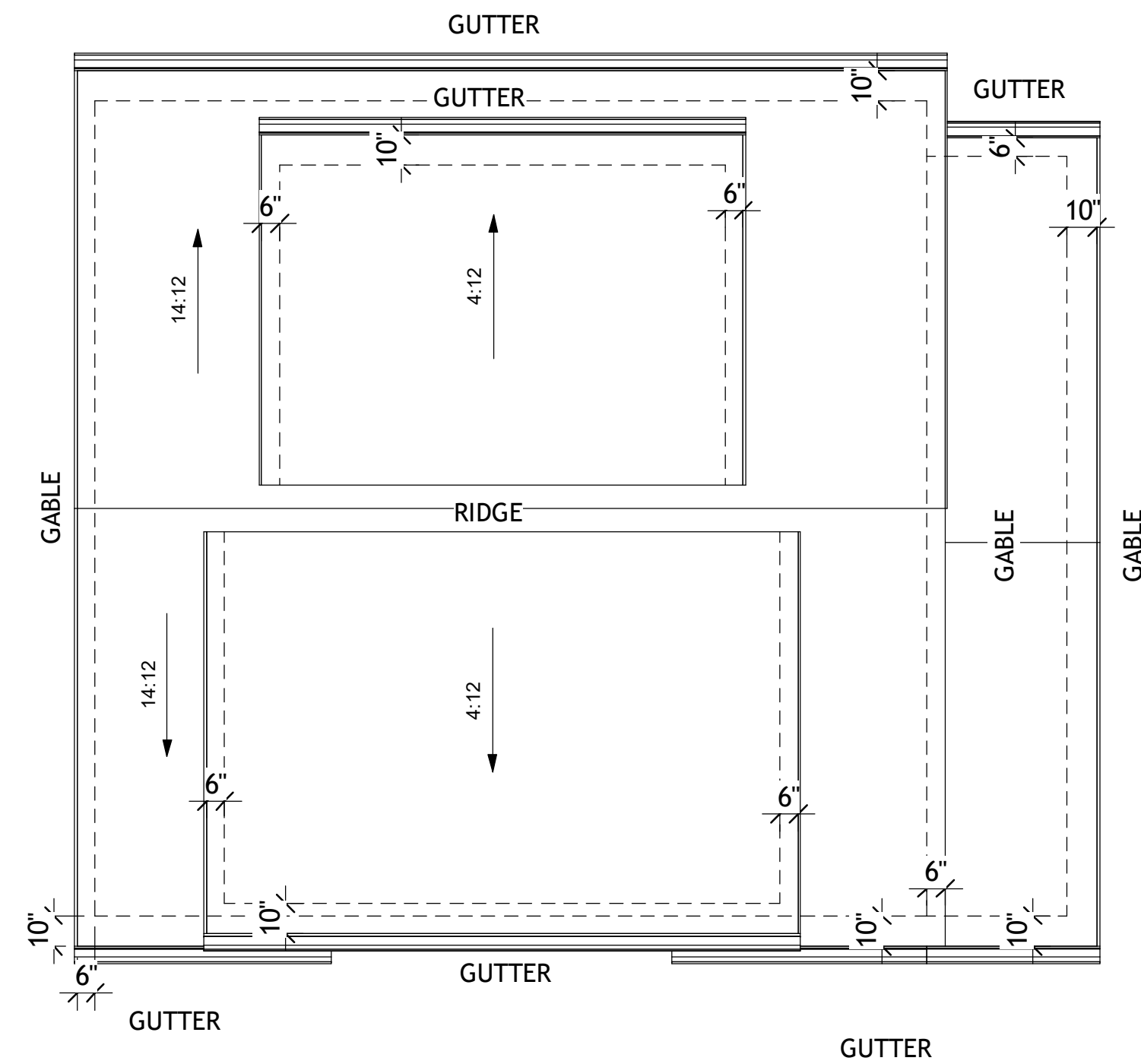
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ISSUED FOR CONSTRUCTION



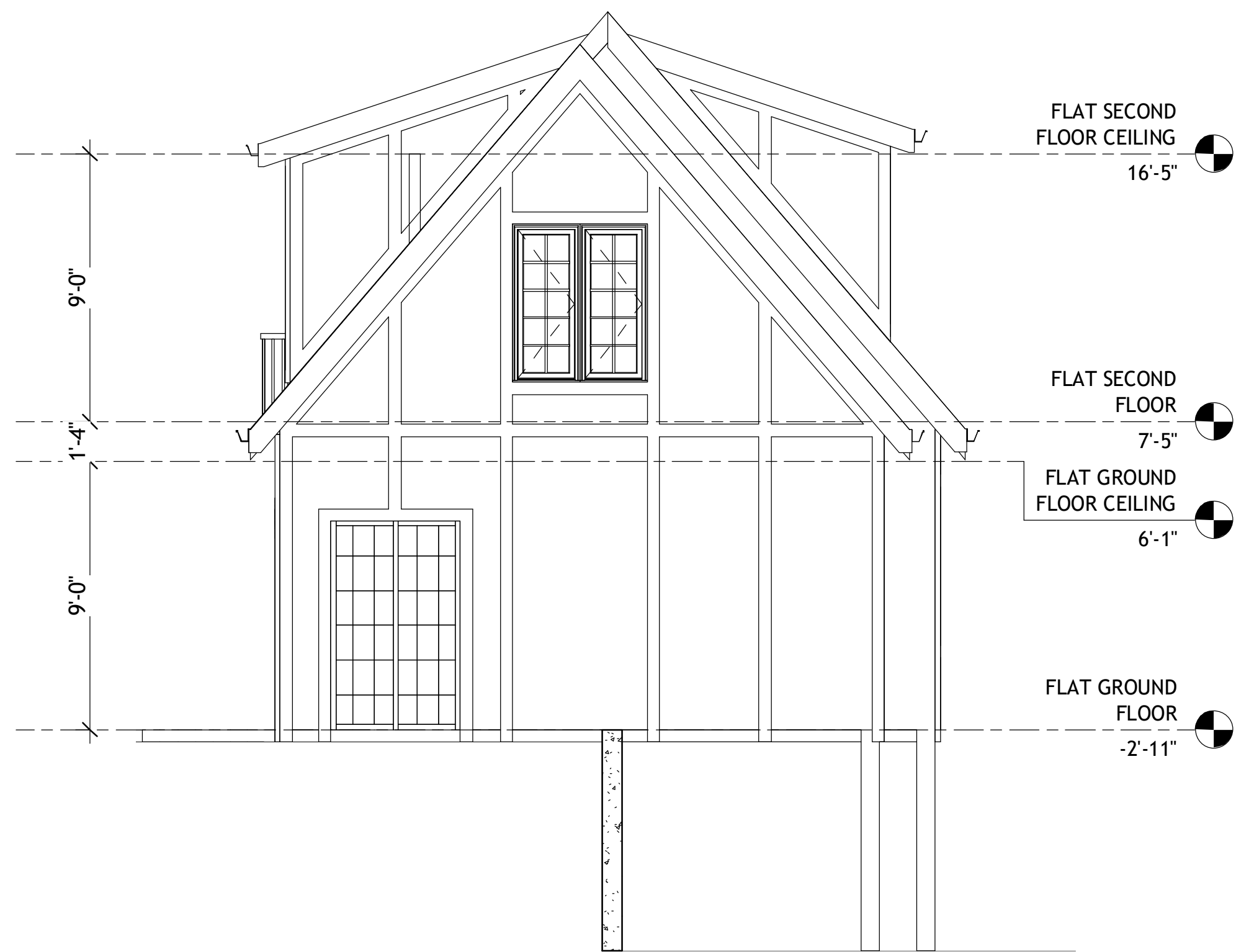
9 1.6.1 RCP SWEET SECOND FLOOR PROPOSED  
A1-06 1/4" = 1'-0"



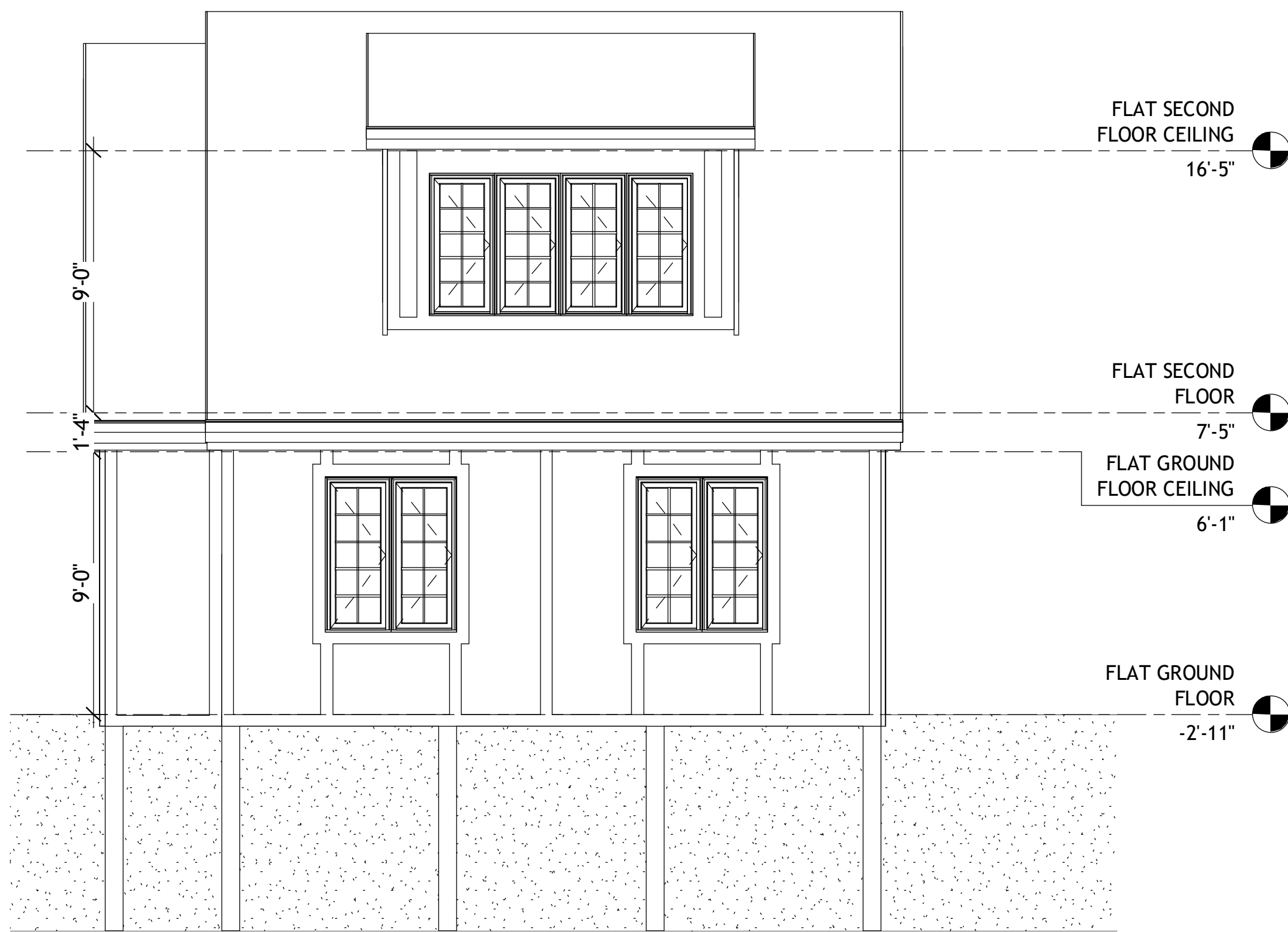
8 1.4.1 RCP SWEET GROUND FLOOR PROPOSED  
A1-06 1/4" = 1'-0"



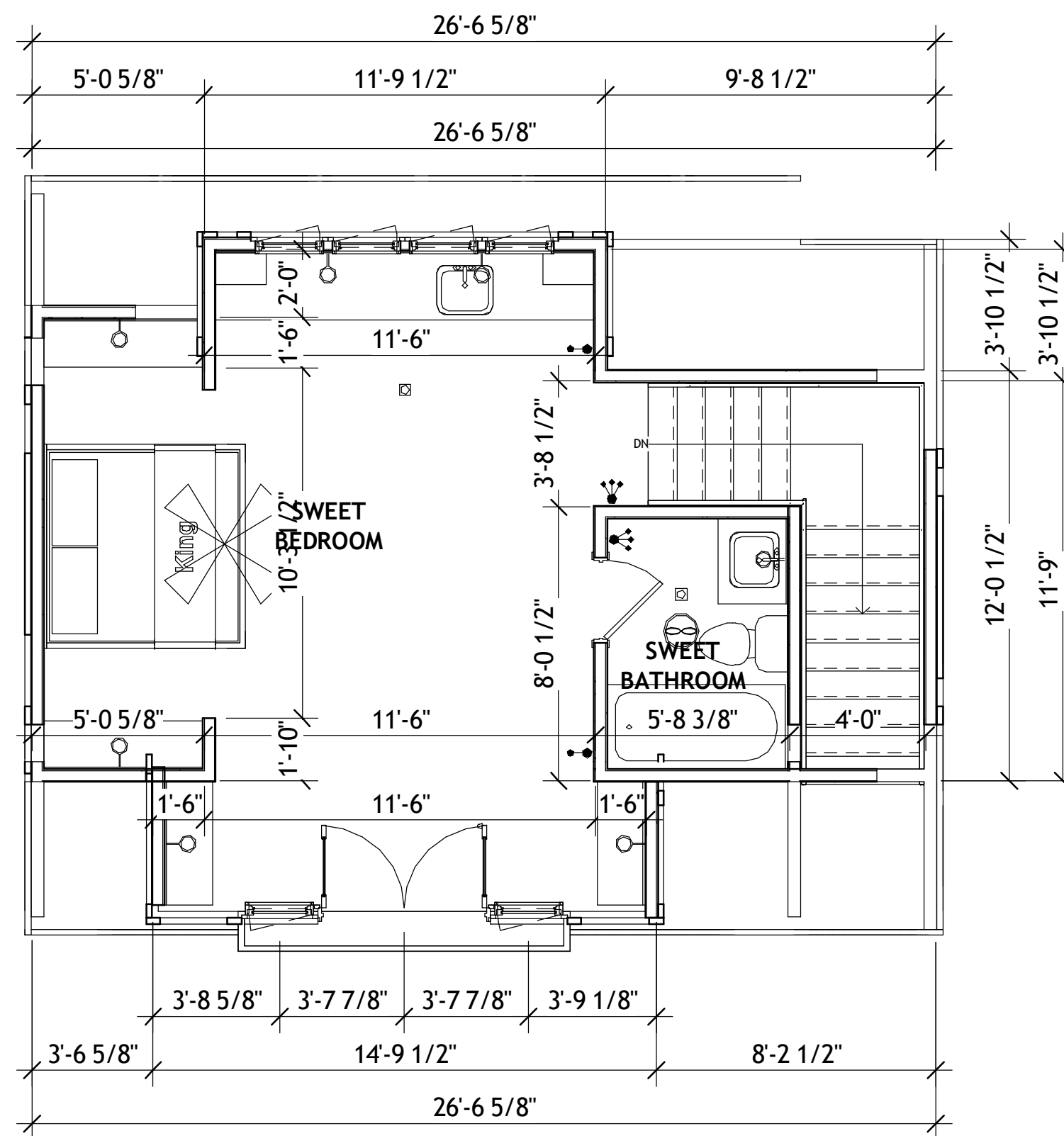
7 SWEET ROOF PLAN  
A1-06 1/4" = 1'-0"



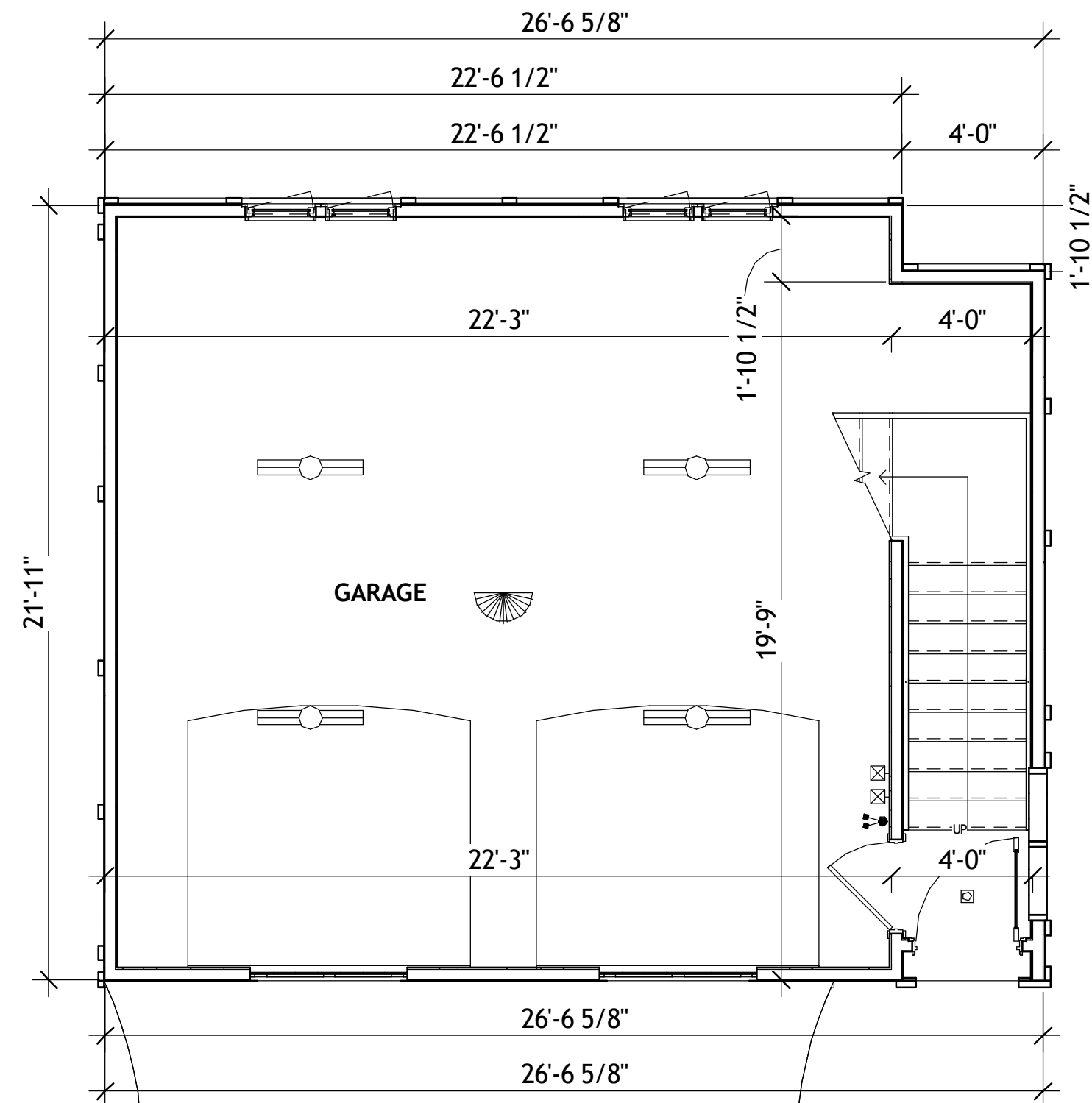
6 SWEET RIGHT ELEVATION  
A1-06 1/4" = 1'-0"



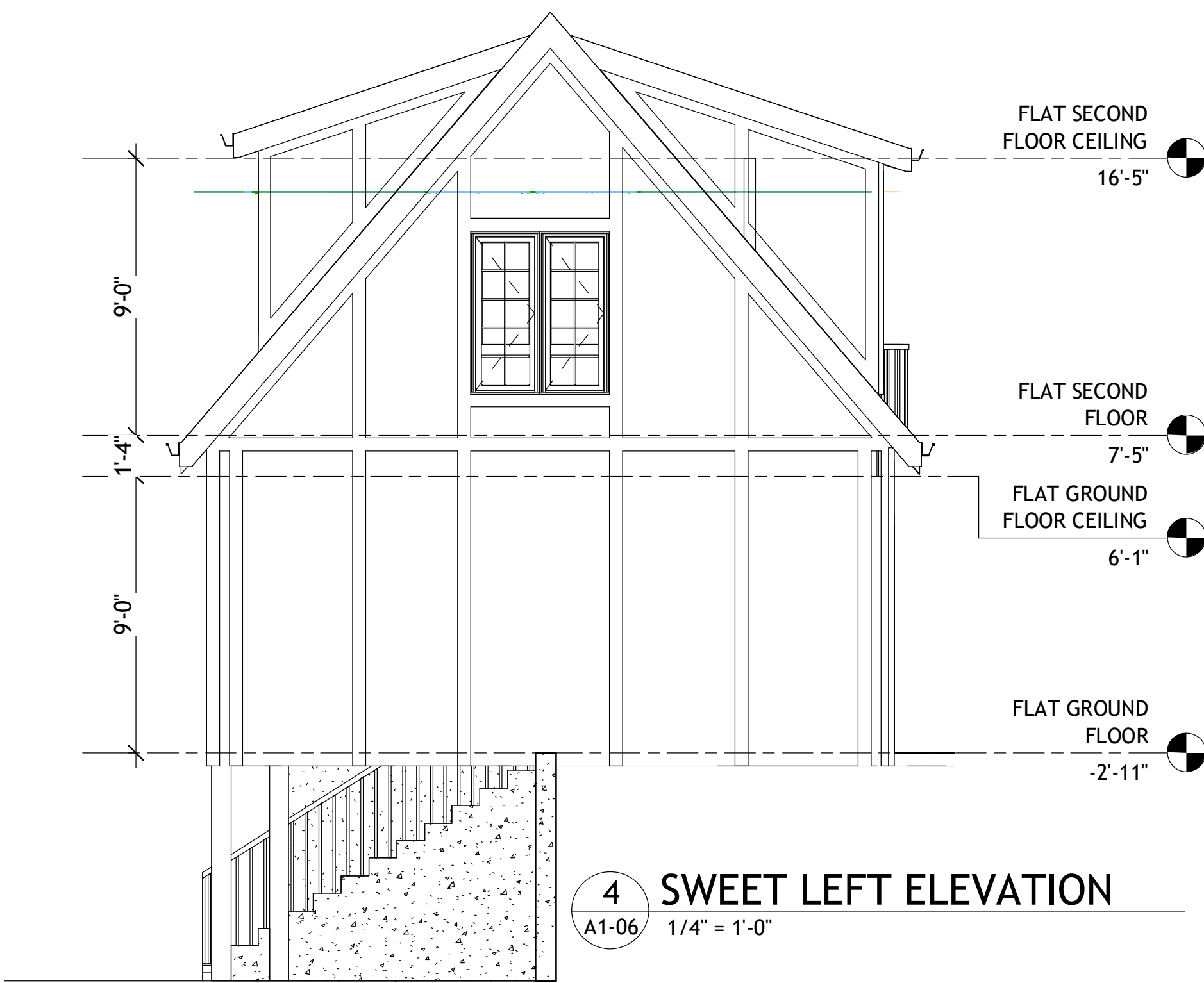
5 SWEET REAR ELEVATION  
A1-06 1/4" = 1'-0"



1 1.6.1 SWEET SECOND FLOOR PROPOSED  
A1-06 1/4" = 1'-0"



2 1.4.1 SWEET GROUND FLOOR PROPOSED  
A1-06 1/4" = 1'-0"



4 SWEET LEFT ELEVATION  
A1-06 1/4" = 1'-0"



3 SWEET FRONT ELEVATION  
A1-06 1/4" = 1'-0"





2 LEFT-SIDE ELEVATION PROPOSED  
A2-01 1/4" = 1'-0"



1 FRONT ELEVATION PROPOSED  
A2-01 1/4" = 1'-0"

NORTH DECATUR  
HOME RENOVATIONS

stamp:

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revisions		
No.	Description	Date

sheet title:

ELEVATIONS

project number: 21-mm  
drawing date: MM.DD.2021  
scale: as noted

sheet number:

A2-01

NOT ISSUED FOR CONSTRUCTION  
ISSUED FOR CONSTRUCTION





**2 RIGHT-SIDE ELEVATION PROPOSED**  
A2-02 1/4" = 1'-0"



**1 REAR ELEVATION PROPOSED**  
A2-02 1/4" = 1'-0"

NORTH DECATUR  
HOME RENOVATIONS

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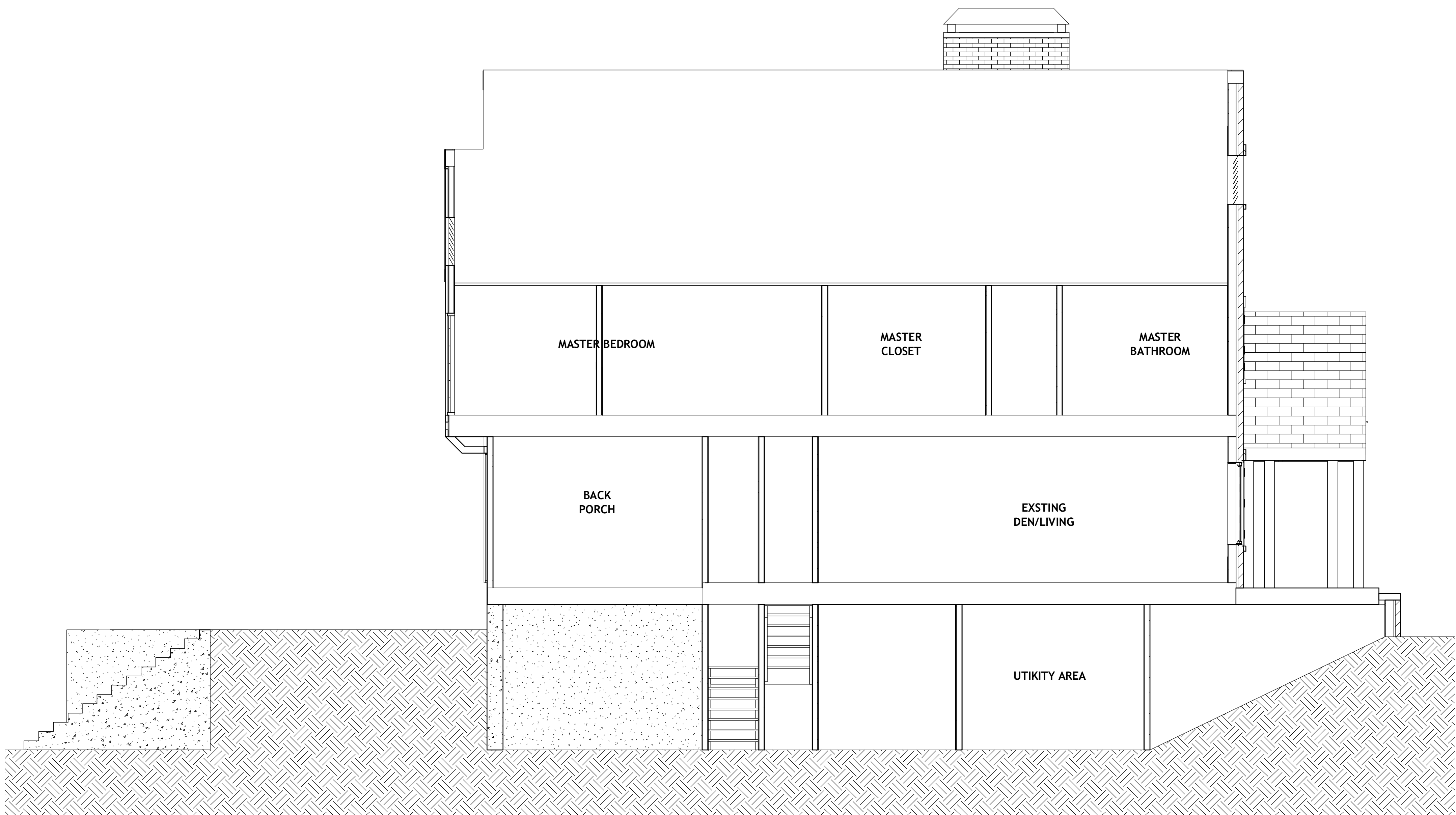
ELEVATIONS

project number: 21-mm  
drawing date: MM.DD.2021  
scale: as noted

sheet number:

**A2-02**  
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2 OVERALL SECTION #2  
A3-01 1/4" = 1'-0"



1 OVERALL SECTION #1  
A3-01 1/4" = 1'-0"

NORTH DECATUR  
HOME RENOVATIONS

stamp:

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revisions

No.	Description	Date

sheet title:

SECTIONS

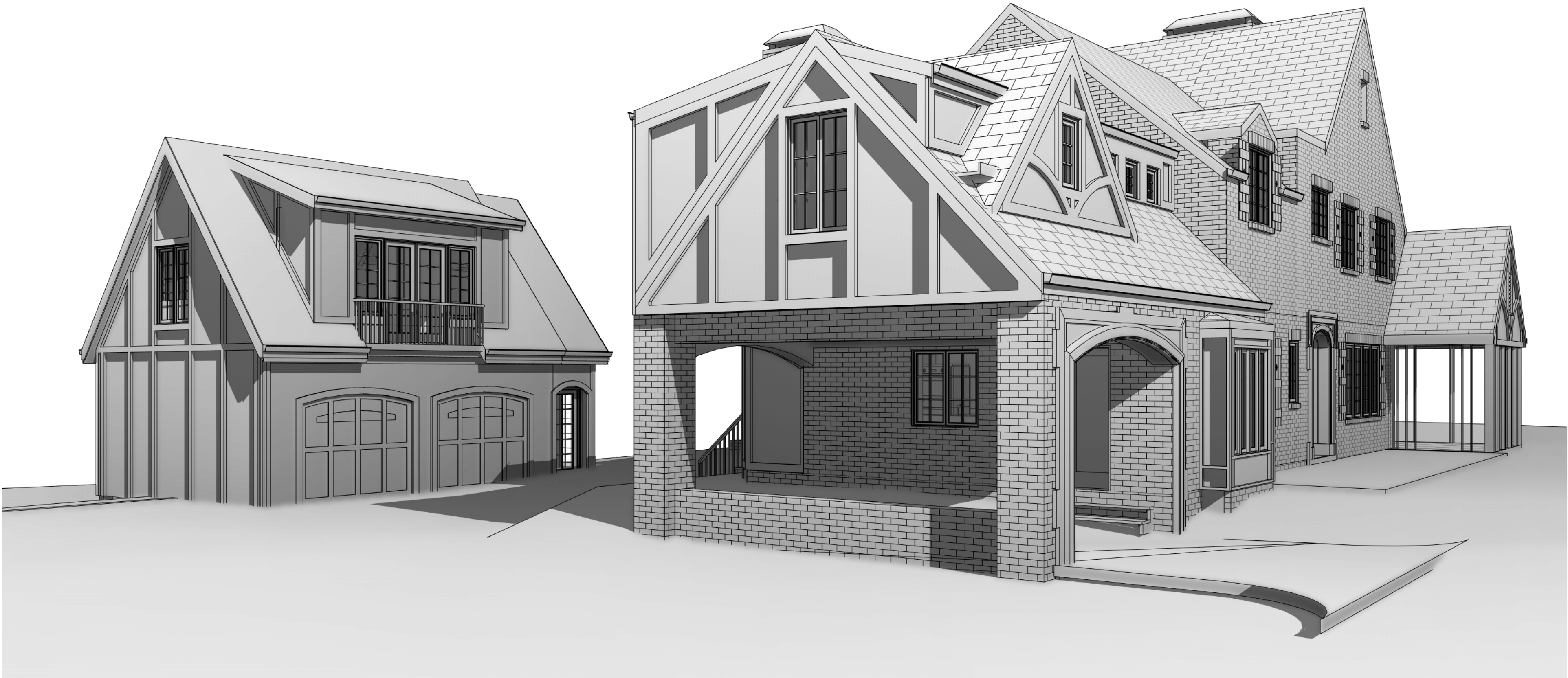
project number: 21-mm  
drawing date: MM.DD.2021  
scale: as noted

sheet number:

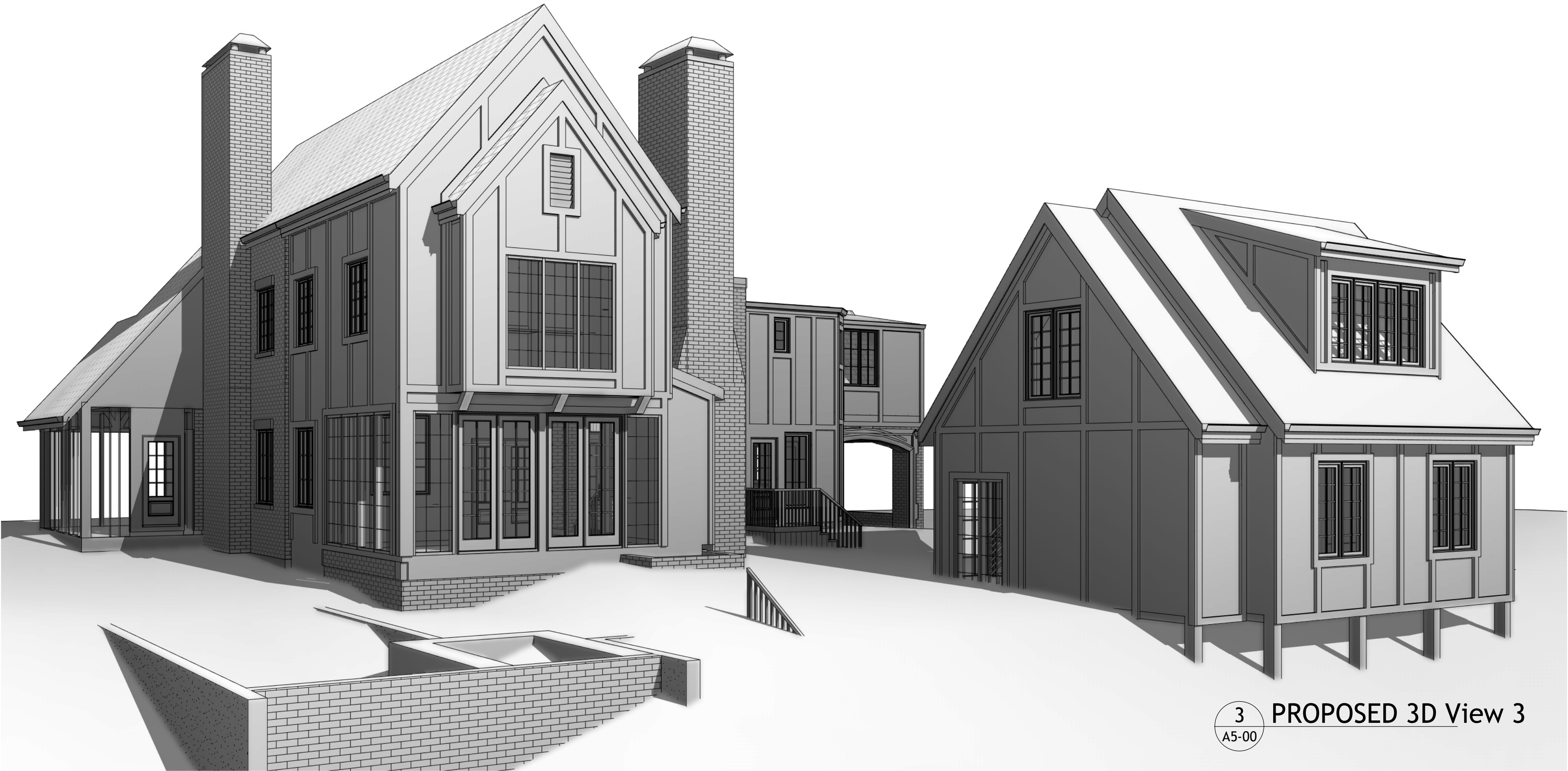
A3-01

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2 PROPOSED 3D View 2



3 PROPOSED 3D View 3



1 PROPOSED 3D View 1

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sheet title:

3D VIEWS

project number: 21-nnn  
drawing date: MM.DD.2021  
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sheet number:

A5-00

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