

**RECEIVED**

By Rachel Bragg at 10:52 am, Sep 24, 2021

404.371.2155 (o)

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DeKalbCountyGa.gov

Clark Harrison Building  
330 W. Ponce de Leon Ave  
Decatur, GA 30030

Chief Executive Officer

Michael Thurmond

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Director

Andrew A. Baker, AICP

**Application for Certificate of Appropriateness**

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 229 WOODVIEW DRIVE, DECATUR, GA 30030

Applicant: ALICE JOHNSON DESIGN E-Mail: alicejohnson141@gmail.com

Applicant Mailing Address: 1403 Emory Rd., NE  
Atlanta, GA 30306

Applicant Phone(s): 404. 909. 0057 Fax: \_\_\_\_\_

Applicant's relationship to the owner: Owner ☐ Architect: ☒ Contractor/Builder ☐ Other ☐

Owner(s): MATT WISE E-Mail: mattwise47@gmail.com

JOCELYN CH E-Mail: jtc024@gmail.com

Owner(s) Mailing Address: 229 WOODVIEW DR, DECATUR, GA 30030

Owner(s) Telephone Number: MATT: 858.761.7132 JOCELYN:

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1956

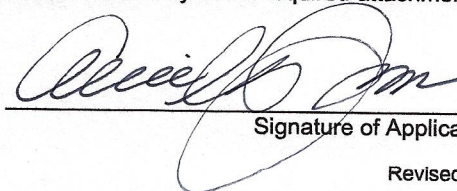
Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☒ Moving a building ☐ Other building changes ☐  
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐  
Sign installation or replacement ☐ Other ☐

Description of Work:

CONSTRUCT AN ATTACHED 2-CAR GARAGE ADDITION  
ON TOP OF THE EXISTING PARKING PAD. MATERIALS TO  
BE CONVENTIONAL SIDING & TRIM W/ ARCH ROOF SHINGLES  
TO MATCH EX. SPLIT-LEVEL HOUSE (PINK BASE, SIDING)  
WOOD DECK TO BE CONSTRUCTED IN REAR YARD & ATTACHED  
TO NEW GARAGE.

This form must be completed in its entirety before the Planning Department accepts it. The form must be accompanied by supporting documents (plans, material, color samples, photos, etc.). Provide eight (8) collated sets of the application form and all supporting documentation. If plans/drawings are included, provide eight (8) collated sets on paper no larger than 11" x 17" and three (3) additional sets at scale. All documents submitted in hard copy must also be submitted in digital form (.pdf format). All relevant items from the application checklist must be addressed. An application which lacks any of the required attachments shall be determined incomplete and will not be accepted.



Signature of Applicant/Date

Revised 1/26/17

DEPARTMENT OF PLANNING & SUSTAINABILITY

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is not the owner of the property.

(I) / (We),

Jocelyn Wise and Matthew Wise

being (owner) (owners) of the property 229 Woodview Dr. Decatur, GA 30030,

hereby delegate authority to Alice Johnson

to file an application in (my) (our) behalf.

   
Signature of Owner/Date

**Please review the following information**

**Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.**

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, the Preservation Commission will issue a cease and desist order and you may be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, the preservation planner will need to inspect the completed project to ensure that the work has been completed in accord with the Certificate of Appropriateness. The review may be conducted either before or after your building inspection. If you will be requiring a Certificate of Occupancy, please notify the preservation planner when your project nears completion. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including monetary fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void. You will need to apply for a new certificate if you still intend to do the work.

Please contact the preservation planner, David Cullison (404/371-2155), if you have any questions.



THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000+ FEET, AN ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION WAS USED TO GATHER THE INFORMATION USED IN PREPARATION OF THIS PLAT.

TREE LEGEND  
DOG - DOGWOOD  
MAG - MAGNOLIA  
OAK - OAK

LINE TABLE(M)				
LINE	BEARING	LENGTH		
L1	S 77° 40' 27" E	14.51'		

CURVE TABLE(M)				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	80.49'	775.24'	S 74° 41' 59" E	80.46'

CURRENT ZONING : R-75 RESIDENTIAL MEDIUM LOT DISTRICT

MINIMUM LOT SIZE: 10,000 SQ. FT.  
MINIMUM LOT WIDTH @ FRONT SETBACK LINE: 75 FT.  
MINIMUM PUBLIC ROAD FRONTAGE: 75 FT.  
MAXIMUM IMPERVIOUS SURFACE: 35%  
FRONT SETBACK: 30 FT.  
SIDE SETBACK: 7.5 FT.  
REAR SETBACK: 40 FT.

ADDITIONALLY, THIS LOT LIES WITHIN THE DRUID HILLS HISTORICAL DISTRICT AND MAY BE SUBJECT TO DRUID HILLS HISTORICAL DISTRICT REGULATIONS.

FOR A MORE COMPLETE AND FULL DISCLOSURE OF THE REGULATIONS AND RESTRICTIONS, SEE DEKALB COUNTY, GA. CODE OF ORDINANCES.

AREA LOT E  
10,175 SQ.FT.  
0.23 ACRE

EXISTING LOT COVERAGE (IMPERVIOUS SURFACES)

HOUSE (FOOTPRINT) + OVERHANG	1,474 sq. ft.
STEEP	35 sq. ft.
CONCRETE WALK	79 sq. ft.
CONCRETE DRIVE	1,031 sq. ft.
SLATE PATIO	165 sq. ft.
SHED & RAMP	79 sq. ft.
STEPS	80 sq. ft.
WALLS	214 sq. ft.
HVAC PAD	5 sq. ft.

TOTAL = (31.1%) - 3,161 sq. ft.  
TOTAL LOT AREA = 0.23 Acre - 10,175 sq. ft.

#### LEGEND

CMP CORRUGATED METAL PIPE  
DE DRAINAGE EASEMENT  
SSE SANITARY SEWER EASEMENT  
BSL BUILDING SETBACK LINE  
RBF REBAR FOUND  
IPP IRON PIN PLACED REBAR  
IPF IRON PIN FOUND  
OTP OPEN TOP PIN  
CTP CRIMP TOP PIN  
RB REBAR  
CB CATCH BASIN  
JB JUNCTION BOX  
HW HEAD WALL  
POB POINT OF BEGINNING  
MH MAN HOLE  
R/W RIGHT-OF-WAY  
PP POWER POLE  
LL LAND LOT  
M MEASURED  
D DEED  
P PLAT  
-X- FENCE  
X.O SPOT ELEVATION

#### GENERAL NOTES

1. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
2. RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
3. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
4. ALL EASEMENTS DEPICTED ARE PER PUBLIC RECORD, UNLESS NOTED OTHERWISE.
5. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES, UNLESS SHOWN OTHERWISE.
6. NO ZONING REPORT SUPPLIED. THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSIONS REGARDING THE ZONING DESIGNATIONS SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM DEKALB COUNTY, GA. RECORDS.

#### PLAT CERTIFICATION NOTICE

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW OF THE STATE OF GEORGIA.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67. AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-6, 43-15-19, 43-15-22.

CERTIFICATE OF AUTHORIZATION NO. LSF000374

#### SURVEYOR CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JOHN W. STANZILIS, JR.

#### AVERAGE SETBACK CALCULATIONS

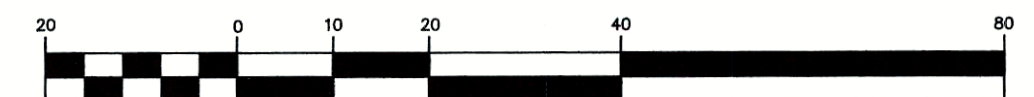
#223 WOODVIEW DRIVE	44.6'
#237 WOODVIEW DRIVE	44.5'
#243 WOODVIEW DRIVE	43.5'
AVERAGE =	44.2'

\* MEASUREMENTS USED FOR AVG. SETBACK CALCULATION.

#### FLOOD STATEMENT

BY GRAPHICALLY PLOTTING ONLY, THE SUBJECT PROPERTY DOES NOT FALL WITHIN A 100 YEAR FEDERALLY DESIGNATED FLOOD HAZARD AREA. THE SUBJECT PROPERTY FALLS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 13089C0062K - EFFECTIVE DATE OF 08/15/2019. ZONE "X", AS DESCRIBED BY SAID MAP BEING "AREA OF MINIMAL FLOOD HAZARD".

#### GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

2102373.dwg

LOCATED IN UNINCORPORATED DEKALB COUNTY

ABOVE THE GROUND SURVEY PREPARED FOR:

MATTHEW WISE

FIELD DATE 06/09/21 PLAT DATE 06/15/21

SCALE 1" = 20'

LAND LOT(S) 4 18th DISTRICT SECTION

DEKALB COUNTY, GEORGIA

LOT E BLOCK 5 UNIT

REVISION BY: DATE:

SUBDIVISION IRA McDAVID PROPERTY

SURVEYED: DRAFTED:

PLOTTED: DISC #:

APPROVED:

SHEET 1 OF 1

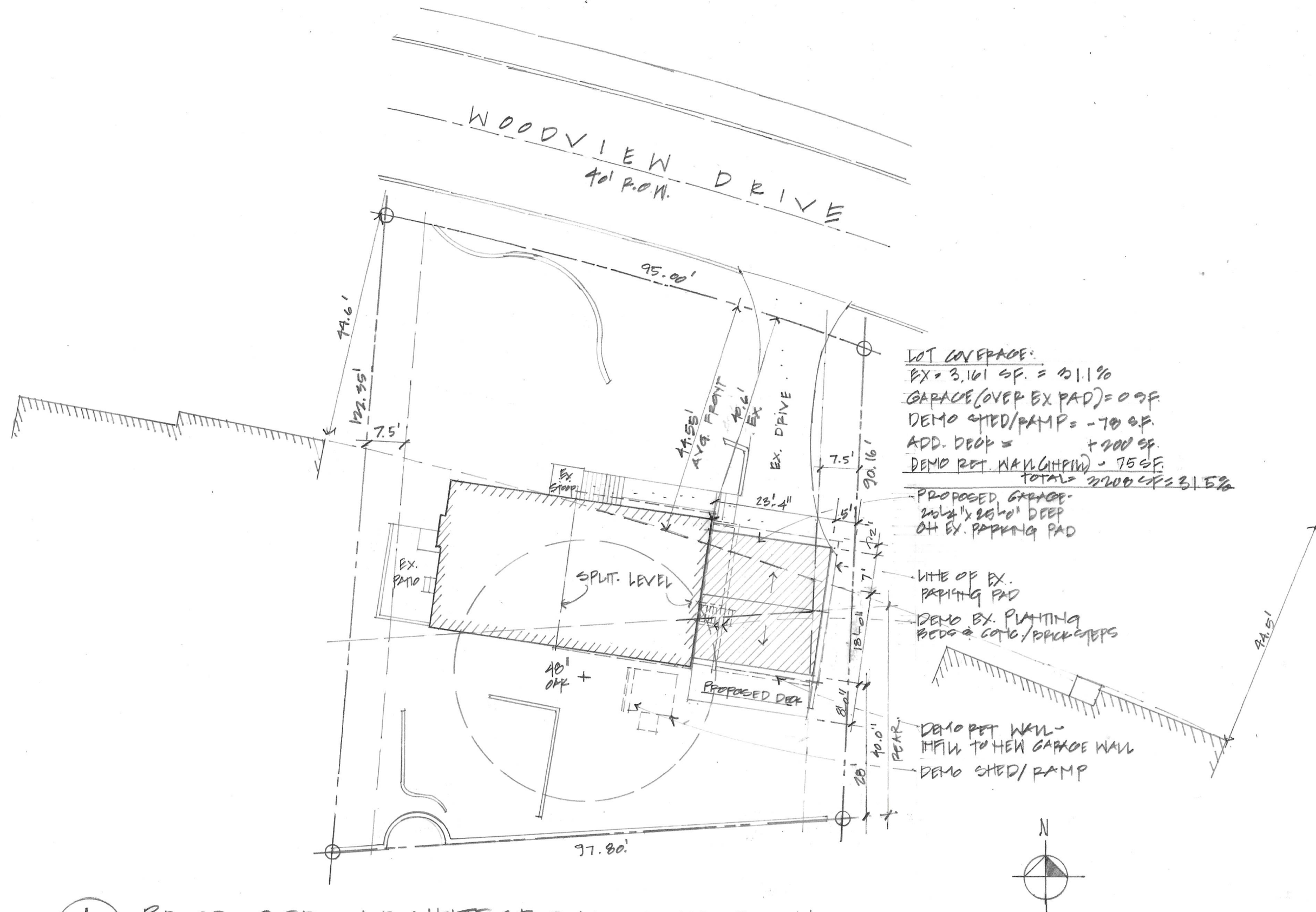
# SOLAR LAND SURVEYING COMPANY

P.O. BOX 723993 ATLANTA, GEORGIA 30339-0993  
TELEPHONE (770) 794-9055 FAX (770) 794-9052

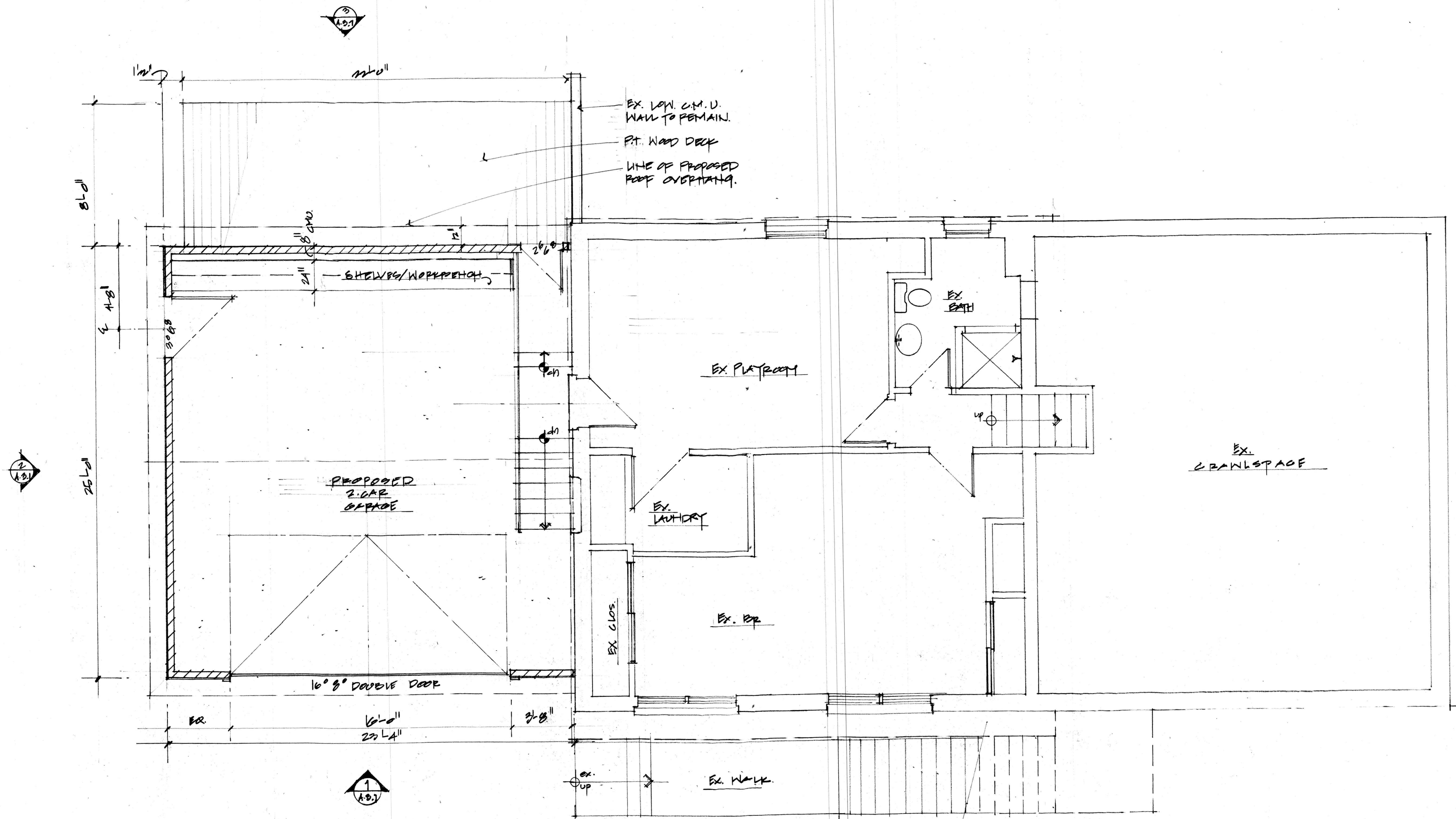
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ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED





A-0.1	ALICE JOHNSON - DESIGN		Wise Residence		Date	GARAGE ADDITION		NOT ISSUED FOR CONSTRUCTION		
	1403 EMORY ROAD, NE		229 Woodview Drive		9/24/21	HPC Application		ajd# - 202113		
	ATLANTA, GA 30306		Decatur, GA 30030							
	This drawing is the property of ALICE JOHNSON - DESIGN and is not to be reproduced or copied in whole or part except under the premises of this site and project.									

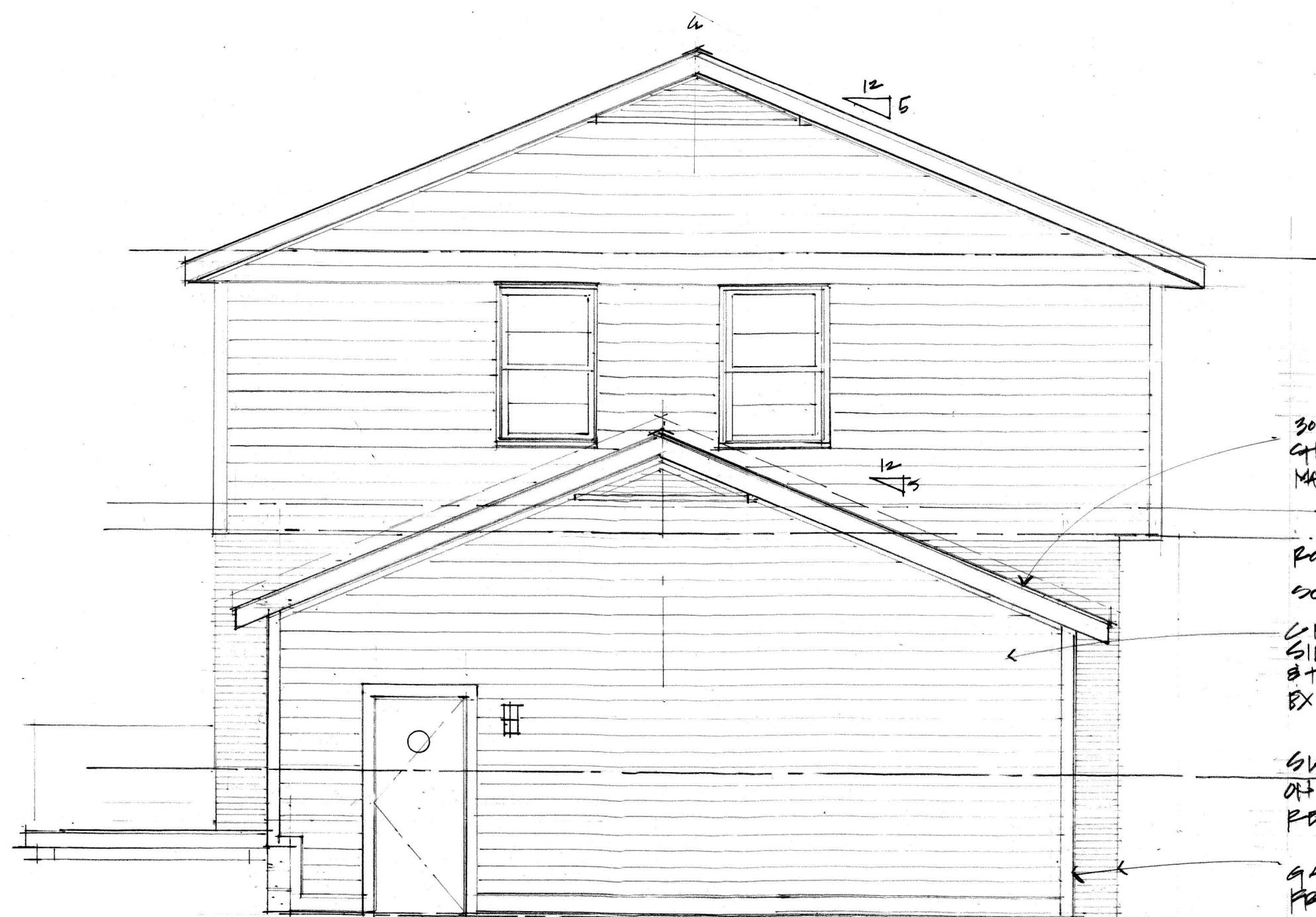


1  
A-2.1  
PROPOSED GARAGE/DRIVE PLAN  
1/4" = 1'0"

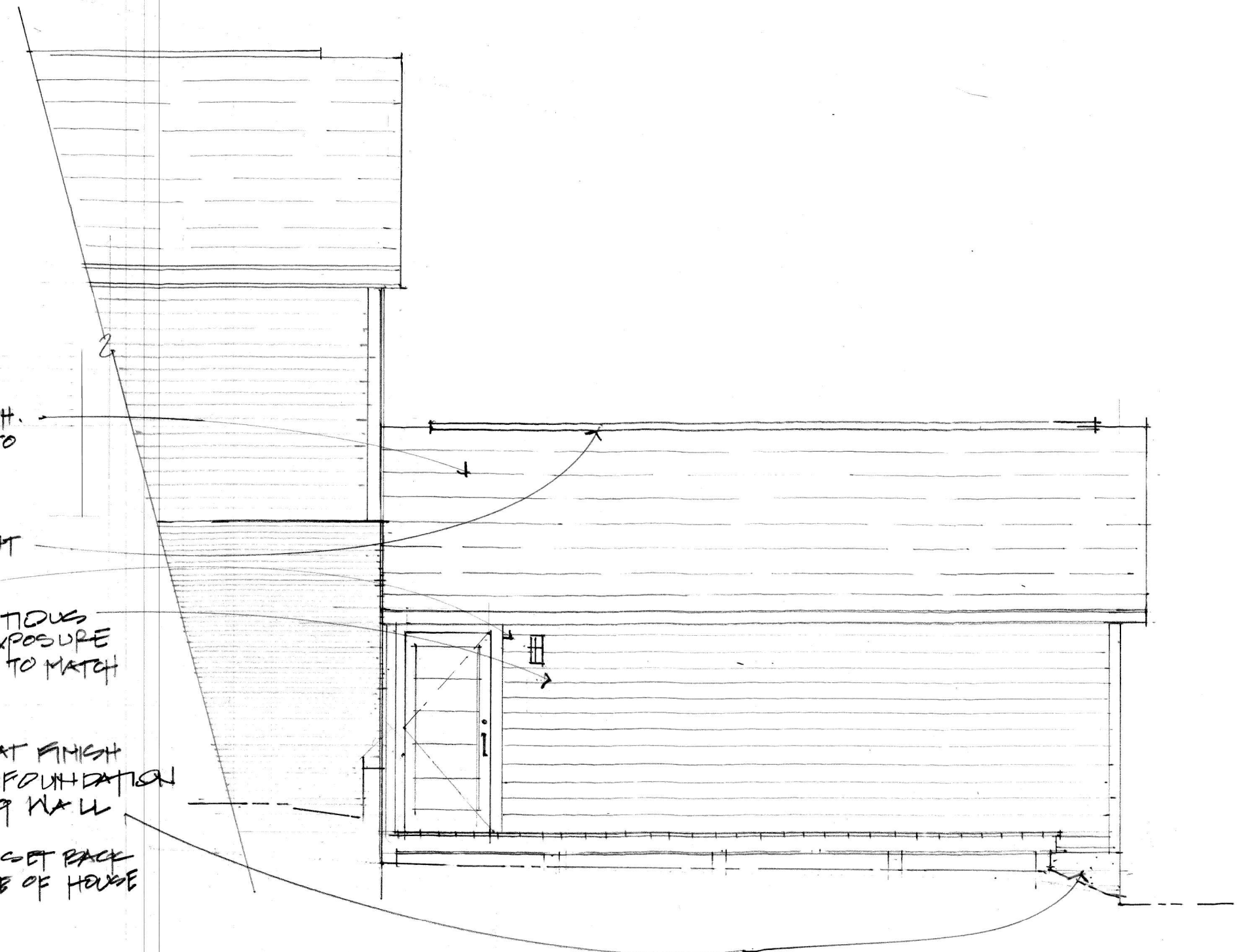
ALICE JOHNSON - DESIGN		Wise Residence	Date	GARAGE ADDITION	NOT ISSUED FOR CONSTRUCTION
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A-2.1

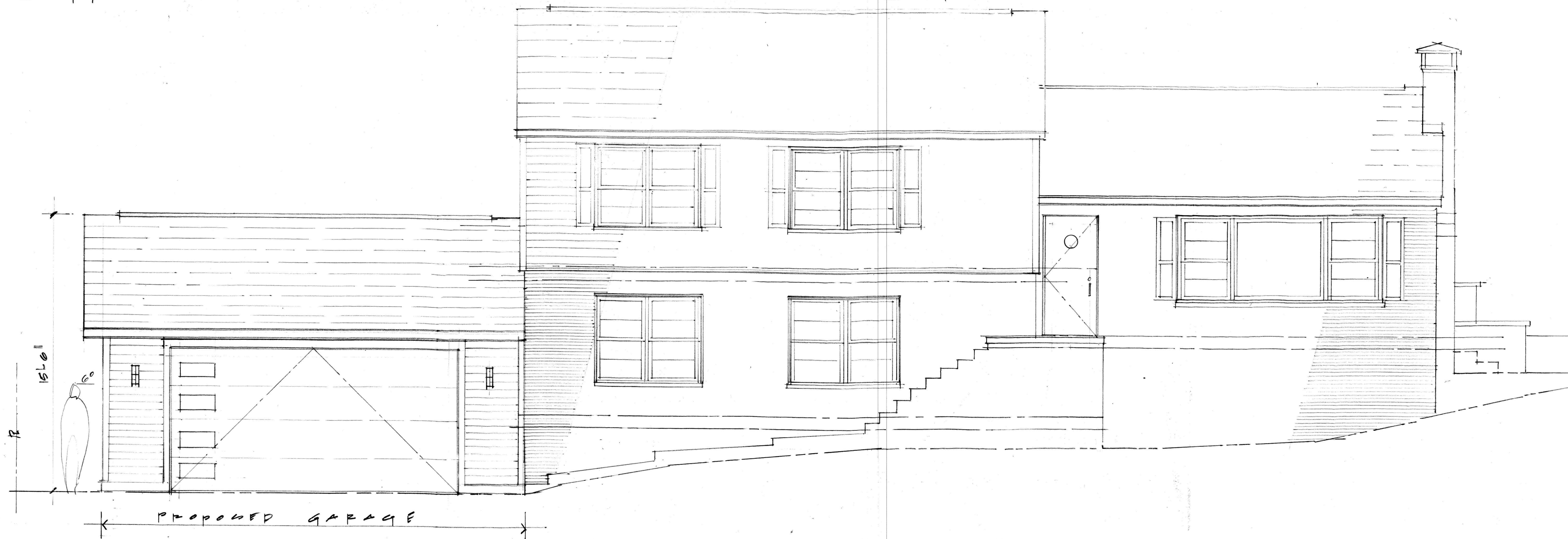




2 PROPOSED SIDE ELEVATION  
A-3.1 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION  
A-3.1 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION  
A-3.1 1/4" = 1'-0"

ALICE JOHNSON - DESIGN		Wise Residence		DATE		GARAGE ADDITION		NOT ISSUED FOR CONSTRUCTION	
1403 EMORY ROAD, NE	ATLANTA, GA 30306	229 Woodview Drive	Decatur, GA 30030	9/24/21		HPC Application			aid# - 202113
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A-3.1