

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: 9/24/2021 Application No.: _____
Address of Subject Property: 957 Briarcliff Atlanta GA 30306
Applicant: Shawn Schrebi E-Mail: Schrebi500@yahoo.com
Applicant Mailing Address: 4025 weatherford circle
Alpharetta GA 30009
Applicant Phone(s): 214-680-6861 Fax: _____

Applicant's relationship to the owner: Owner ☒ Architect: ☐ Contractor/Builder ☐ Other ☐

Owner(s): _____ E-Mail: _____

_____ E-Mail: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: _____

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☒ Moving a building ☐ Other building changes ☐
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐
Sign installation or replacement ☐ Other ☐

Description of Work:

Finish existing basement w/new bathroom and bedroom.
Main floor renovation plus new addition.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov. An incomplete application will not be accepted.

Andrew A. Baker 9/24/2021
Signature of Applicant/Date

Revised 10/5/2020

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/We Shawn Sohrabi
being owner(s) of the property at 957 Briarcliff Atlanta GA 30306
hereby delegate authority to _____
to file an application for a certificate of appropriateness in my/our behalf.

Amit M. Mehrotra
9/24/2021

[Signature]
Signature of Owner(s)
9/24/2021
Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

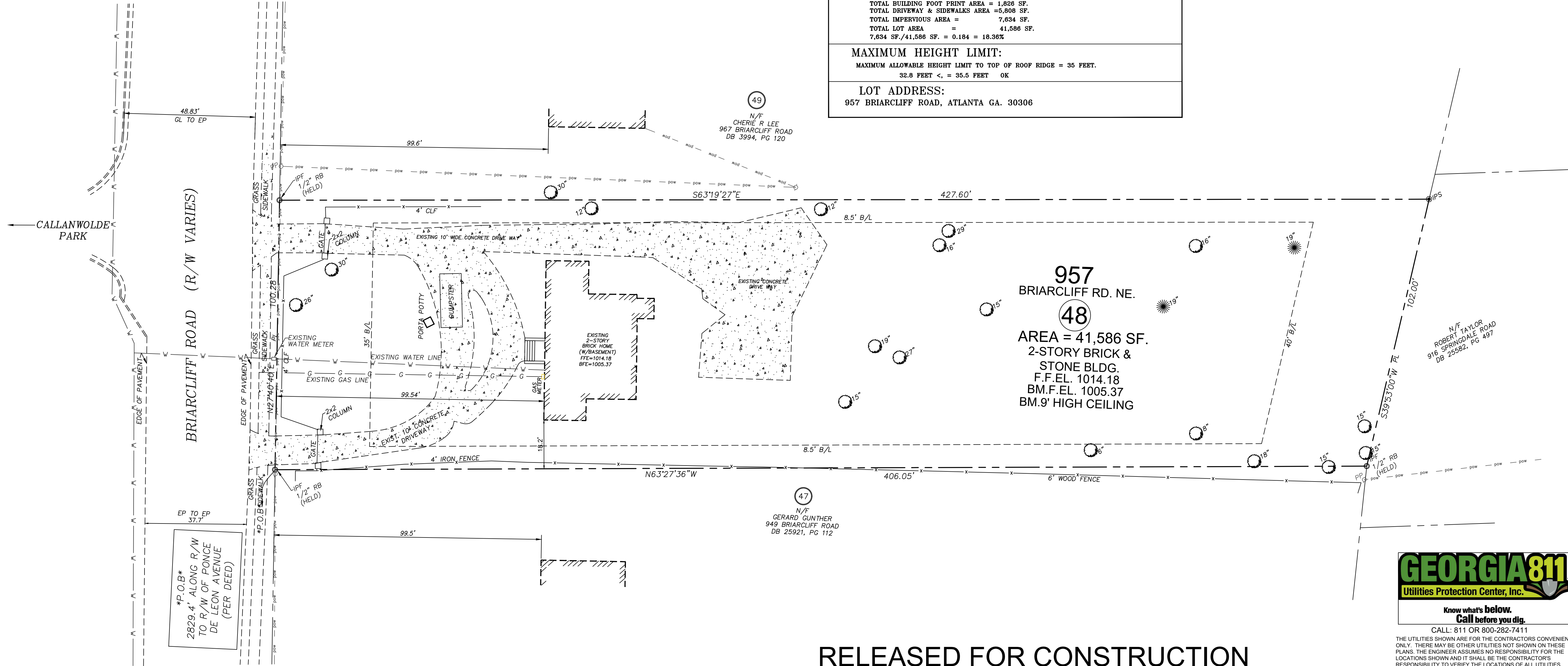
If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION WITH GA. AMENDMENTS 2020
INT. FIRE CODE 2018 EDITION WITH GA. AMEDMENTS 2020
INT. PLUMBING CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION: WITH GA. AMENDMENTS 2014, 2020
INT. FUEL GAS CODE 2018 EDITION: WITH GA. AMENDMENTS 2014, 2020
NATIONAL ELECTRICAL CODE 2018 EDITION: WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION: WITH GA. AMEDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018 WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

EXISTING DEVELOPMENT DATA:

GENERAL:	
DEVELOPMENT TYPE:	SINGLE FAMILY RESIDENTIAL
ZONING:	RESIDENTIAL, RSM
ZONING PER PLAT:	RESIDENTIAL, R-A5
PROJECT DATA:	
TOTAL AREA:	41,586 SF. = 0.945 ACRES
TOTAL DISTURBED AREA:	00000 SF. = 0.00 ACRES
BUILDING DATA:	
EXISTING SINGLE FAMILY RESIDENTIAL	
FIRST FLOOR AREA = 1,701 SF.	
SECOND FLOOR AREA = 1,297 SF.	
BASEMENT FLOOR AREA = 1,701 SF.	
TOTAL HEATED FLOOR AREA = 4,699 SF.	
BUILDING FOOT PRINT AREA = 1,701 SF.	
SANITARY SERVICE:	DeKALB COUNTY PUBLIC SEWER SYSTEM
WATER SERVICE:	DeKALB COUNTY PUBLIC WATER.
BUILDING SETBACKS:	
FRONT BUILDING LINE:	35 FT.
REAR BUILDING LINE:	40 FT.
SIDE BUILDING LINE:	8.5 FT.
LOT COVERAGE CLACULATION:	
BUILDING FIRST FLOOR AREA = 1,701 SF.	
COVERED PORCH, FRONT AREA = 75 SF.	
EVAC UNITS AREA = 60 SF.	
TOTAL BUILDING FOOT PRINT AREA = 1,826 SF.	
TOTAL DRIVEWAY & SIDEWALKS AREA = 5,808 SF.	
TOTAL IMPERVIOUS AREA = 7,634 SF.	
TOTAL LOT AREA = 41,586 SF.	
7,634 SF./41,586 SF. = 0.184 = 18.36%	
MAXIMUM HEIGHT LIMIT:	
MAXIMUM ALLOWABLE HEIGHT LIMIT TO TOP OF ROOF RIDGE = 35 FEET.	
32.8 FEET < = 35.5 FEET OK	
LOT ADDRESS:	
957 BRIARCLIFF ROAD, ATLANTA GA. 30306	



100 YEAR FLOOD NOTE:

THIS SITE IS NOT LOCATED WITHIN A ZONE (A, AE, SHADED ZONE X), AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089 C006 4K, DATED 08/15/2019, FOR ININCORPORATED DeKALB COUNTY, GEORGIA.

SITE DEVELOPMENT NOTES:

- THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.
- OUTSIDE CONSTRUCTION SHALL BE LIMITED TO THE HOURS OF 7:00 AM. TO 7:00 PM. MONDAY TO FRIDAY; 8:00 AM. TO 6:00 PM. ON SATURDAY; AND THERE WILL BE NO OUTSIDE CONSTRUCTION ON SUNDAY.
- ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.
- ALL SIDEWALK (AS APPLICABLE) FOR AND SUB-GRADE SHALL BE INSPECTED PRIOR TO POURING.
- ALL STORM WATER SHALL REDIRECTED AWAY FROM THE NEW BUILDING AND DOWNSTREAM PROPERTIES. REAR YARD STORM WATER SHALL BE DIVERTED TO THE COMMON DOWNSTREAM SWALE.
- ALL DRAINAGE SWALES SHALL CONTAIN SOD OR BE SUPPLEMENTED WITH MATTING, (MB).

EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.
- ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES.
- A 50' FOOT UNDISTURBED VEGETATIVE BUFFER ADJACENT TO ALL RUNNING STREAMS AND CREEKS WILL BE LEFT AND MAINTAINED.
- SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
- THERE ARE NO CRITICAL EROSION AREAS ON SITE.
- THERE IS NO VEGETATION ON LIMIT OF CONSTRUCTION.
- THERE IS NO WETLAND, OR LAKE WITHIN 500' ON PROPERTY.
- THERE IS NO STREAM BUFFER WITHIN 500' ON PROPERTY.

EROSION CONTROL NOTE:

ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BASED ON THE EXISTING SITE CONDITIONS IF DEEMED NECESSARY BY ON-SITE INSPECTOR.

CONCRETE TRUCK WASHING-BERMED CONTAINMENT AREAS SHALL BE ESTABLISHED FOR CONCRETE TRUCKS TO WASH DOWN TOOLS, CONCRETE MIXER, CHUTES, HOPPERS AND THE REAR OF THE VEHICLE. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.

GRADING NOTE:

THERE ARE NO ON-SITE NEW RETAINING WALLS.

SURVEY NOTE:

- BOUNDARY INFORMATION PROVIDED BY OWNER.

RELEASED FOR CONSTRUCTION



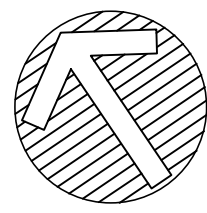
CALL: 811 OR 800-282-7411
THE UTILITIES SHOWN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



Hamid D Golpayegani
Level II Certified Design Professional
CERTIFICATION NUMBER 0000019335
ISSUED: 10/13/2018 EXPIRES: 10/13/2021

ENGINEER
CONTACT PERSON
HAMID GOLPAYEGANI
PHONE: (404) 993-2829

GSWCC
24-HOUR CONTACT
SAIED TAKALLOU
957 BRIARCLIFF RD.
ATLANTA, GA.
SAIED TAKALLOU
PH. 404-428-7000



0 10' 20' 40'
1" = 20'-0"

REVISIONS	DATE
FDR REVIEW	05/20/2021

957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306
DEKALB COUNTY, GEORGIA

TITLE

EXISTING
SITE
PLAN

LDP Design Group
LAND DEVELOPMENT & PLANNING
ENGINEERS DESIGN GROUP INC.
ARCHITECTS, PLANNERS, ENGINEERS
1150 LEA DRIVE
ROSWELL, GEORGIA 30076
PHONE: (404) 993-2829
EMAIL: ldpdesign2000@gmail.com

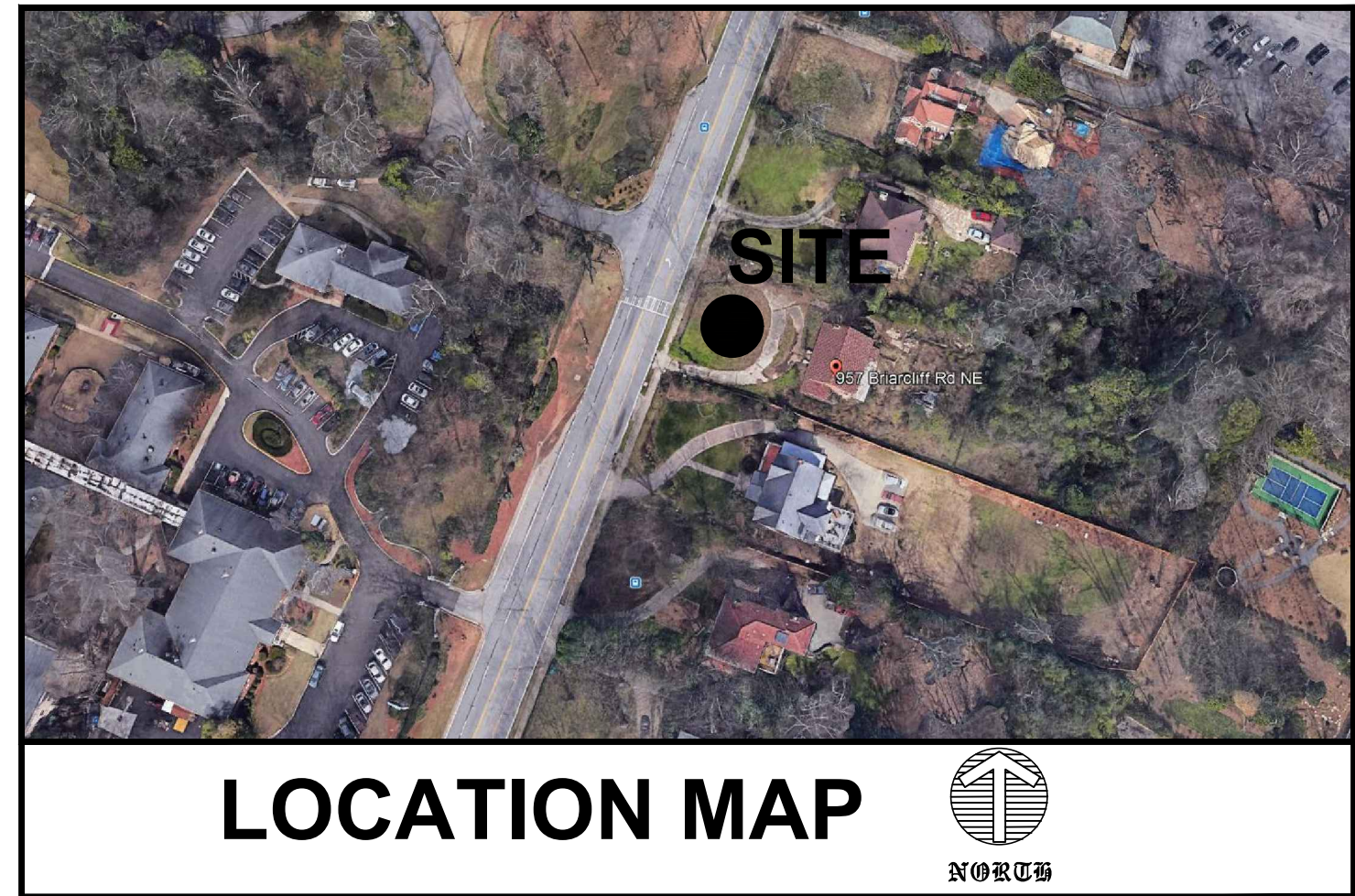
OWNER/DEVELOPER
SAIED TAKALLOU
CONTACT:
SAIED TAKALLOU
957 BRIARCLIFF ROAD, NE.
ATLANTA, GA. 30306
PH. 404-428-7000



DRAWN K.M.
CHECKED H.G.
DATE 05/12/2021
SCALE AS SHOWN
JOB NO. 21-147
FILE NAME
SHEET
C-1.1
OF SHEETS

NEW ADDITION DEVELOPMENT DATA:

GENERAL:	
DEVELOPMENT TYPE:	SINGLE FAMILY RESIDENTIAL
ZONING:	RESIDENTIAL, RSM
ZONING PER PLAT:	RESIDENTIAL, R-A5
PROJECT DATA:	
TOTAL AREA:	41,586 SF. = 0.945 ACRES
TOTAL DISTURBED AREA:	4,468 SF. = 0.10 ACRES
BUILDING DATA:	
EXISTING SINGLE FAMILY RESIDENTIAL	
FIRST FLOOR AREA = 1,701 SF.	
SECOND FLOOR AREA = 1,297 SF.	
BASEMENT FLOOR AREA = 1,701 SF.	
TOTAL HEATED FLOOR AREA = 4,699 SF.	
BUILDING FOOT PRINT AREA = 1,701 SF.	
NEW ADDITION:	
FIRST FLOOR NEW ADDITION AREA = 417 SF.	
GARAGE NEW ADDITION AREA = 528 SF.	
SIDEWALK NEW ADDITION AREA = 60 SF.	
SANITARY SERVICE:	DeKALB COUNTY PUBLIC SEWER SYSTEM
WATER SERVICE:	DeKALB COUNTY PUBLIC WATER.
BUILDING SETBACKS:	
FRONT BUILDING LINE:	35 FT.
REAR BUILDING LINE:	40 FT.
SIDE BUILDING LINE:	8.5 FT.
LOT COVERAGE CLACULATION:	
BUILDING FIRST FLOOR AREA = 1,701 SF.	
COVERED PORCH, FRONT AREA = 75 SF.	
HVAC UNITS AREA = 50 SF.	
TOTAL BUILDING FOOT PRINT AREA = 1,826 SF.	
TOTAL DRIVEWAY & SIDEWALKS AREA = 5,043 SF.	
TOTAL IMPERVIOUS AREA = 6,869 SF.	
FIRST FLOOR NEW ADDITION AREA = 417 SF.	
GARAGE NEW ADDITION AREA = 748 SF.	
SIDEWALK NEW ADDITION AREA = 60 SF.	
TOTAL NEW ADDITION AREA = 1,225 SF.	
TOTAL IMPERVIOUS WITH ADDITIONS AREA = 8,094 SF.	
TOTAL LOT AREA = 41,586 SF.	
6,094 SF./41,586 SF. = 0.195 = 19.46%	
MAXIMUM HEIGHT LIMIT:	
MAXIMUM ALLOWABLE HEIGHT LIMIT TO TOP OF ROOF RIDGE = 35 FEET.	
32.8 FEET <, = 35.5 FEET OK	
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957 BRIARCLIFF ROAD, ATLANTA GA. 30306	



LOCATION MAP



957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306
DEKALB COUNTY, GEORGIA

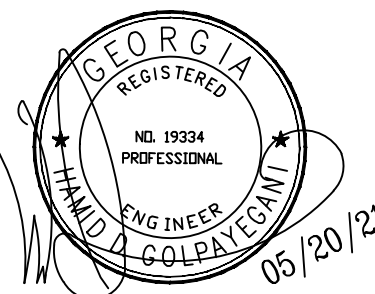
TITLE

NEW ADDITION
SITE PLAN

LDP Design Group
LAND DEVELOPMENT & PLANNING
ENGINEERS DESIGN GROUP INC.
ARCHITECTS, PLANNERS, ENGINEERS
1150 LEA DRIVE
ROSWELL, GEORGIA 30076
PHONE: (404) 993-2829
EMAIL: ldpdesign2000@gmail.com

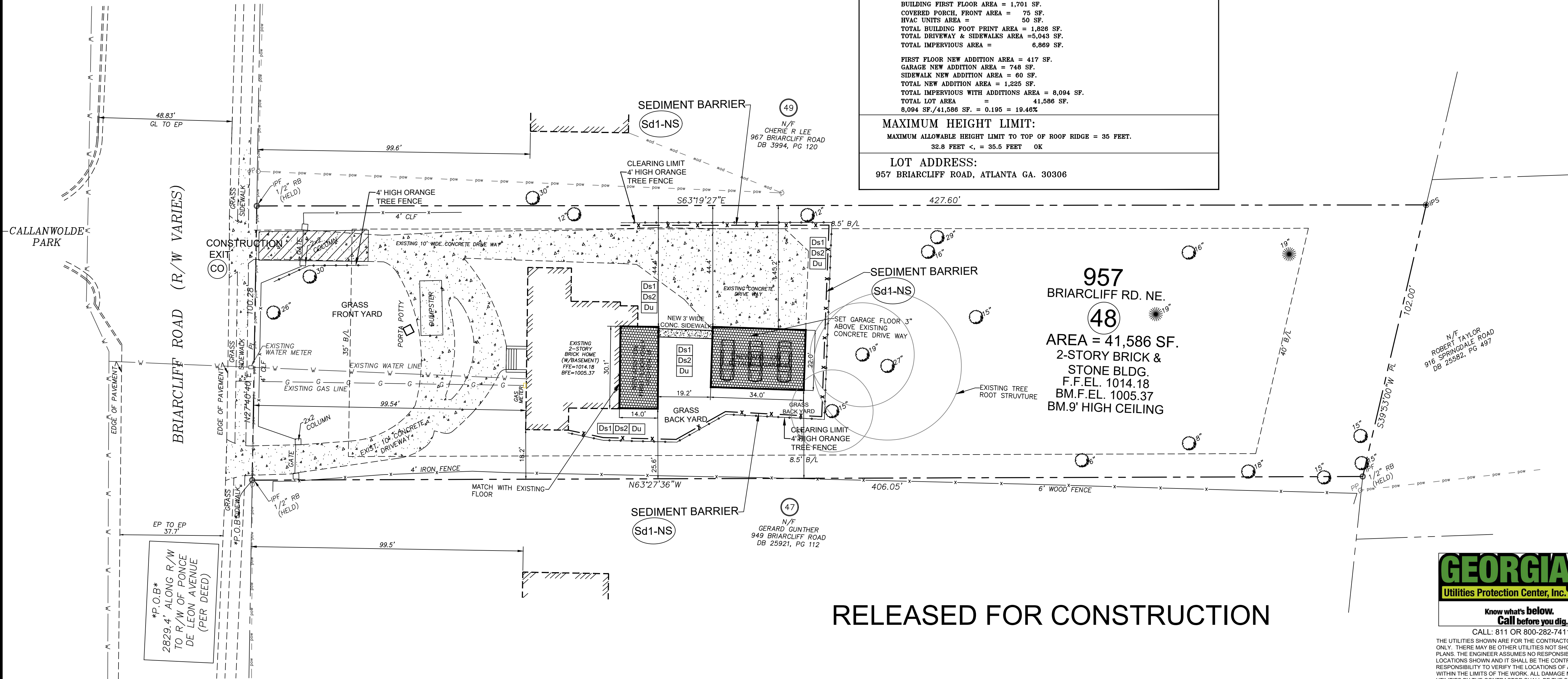
OWNER/DEVELOPER
SAIED TAKALLOU

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ATLANTA, GA. 30306
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DRAWN
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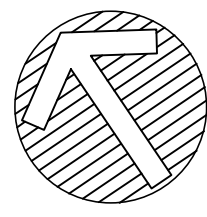


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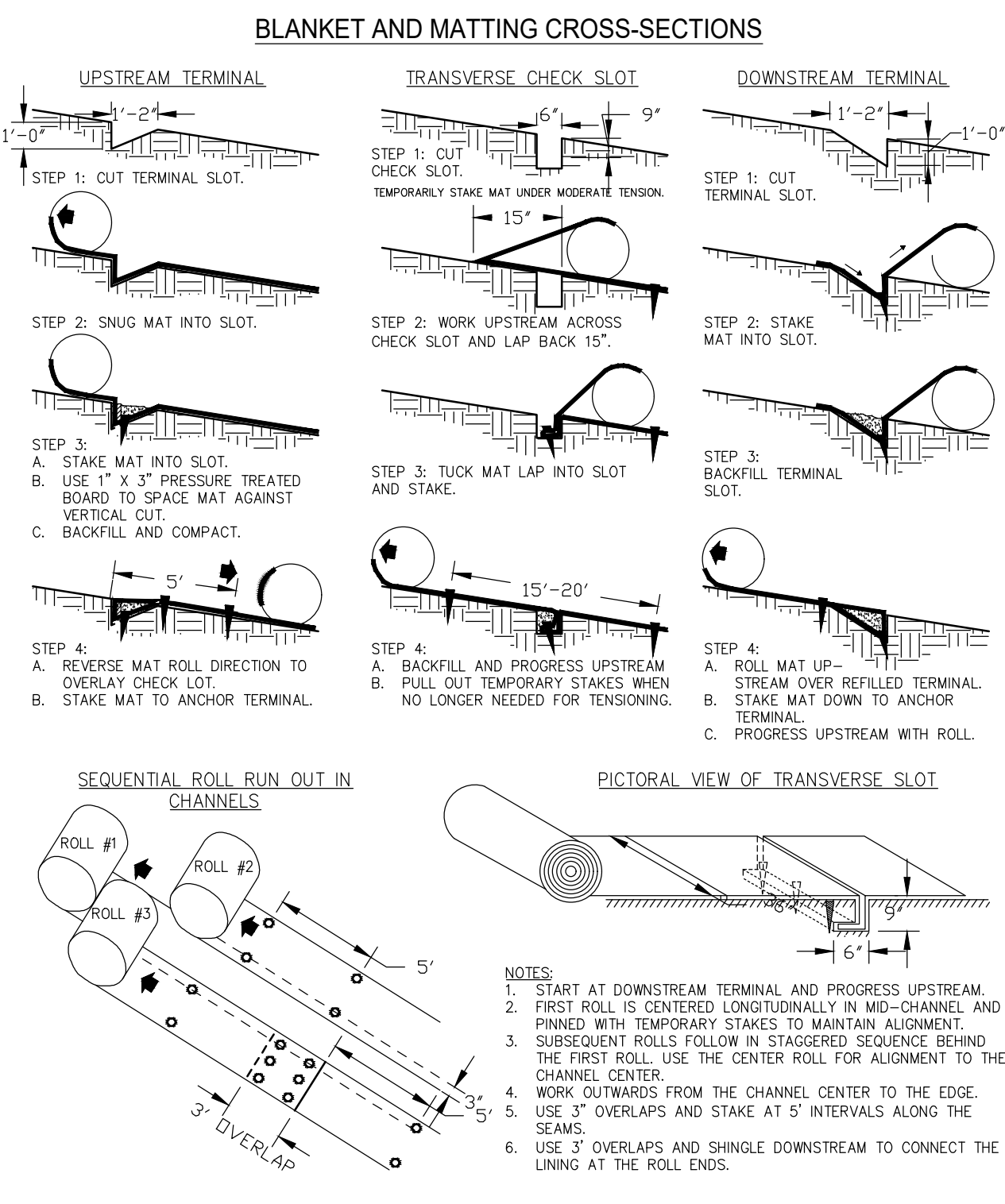
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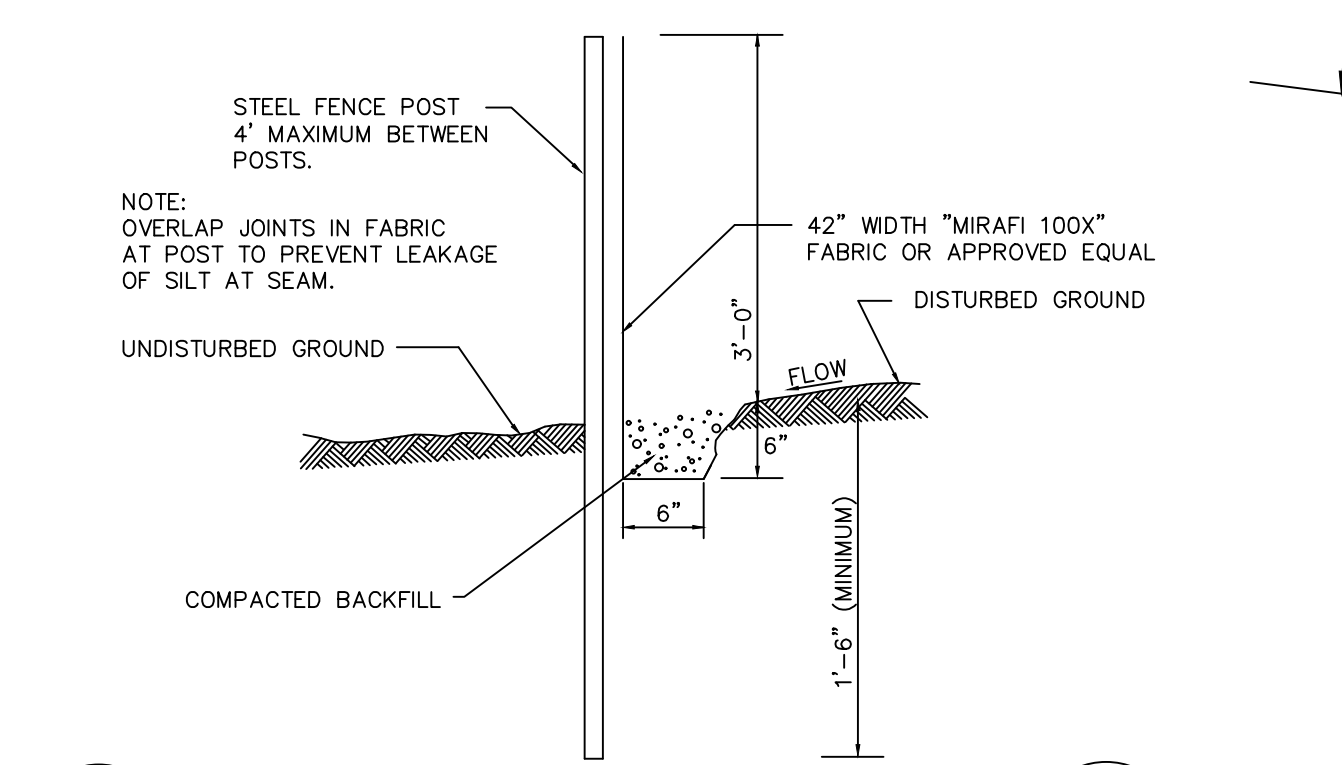
0 10' 20' 40'
1" = 20'-0"

TYPICAL INSTALLATION GUIDELINES FOR ROLLED EROSION CONTROL PRODUCTS (RECP)



SLOPE STABILIZATION MATTING/BLANKET INSTALLATION

2 C2.1 SCALE: NTS



3 C2.1 SCALE: NTS

TEMPORARY SEEDING SPECIFICATIONS - LBS/ACRE

CONDITION 1 - FLAT TO MODERATE SLOPES 0% - 3%	GRASS	SPRING	SUMMER	FALL	WINTER
RYE GRASS	-	-	30	40	-
RYE GRASS	-	-	60	56	-
WHEAT	-	-	50	60	-
WEEDING LOVEGRASS	2	-	-	-	-
BROWNTOP MILLET	20	20	-	-	-
FESCUE	-	-	10	-	-

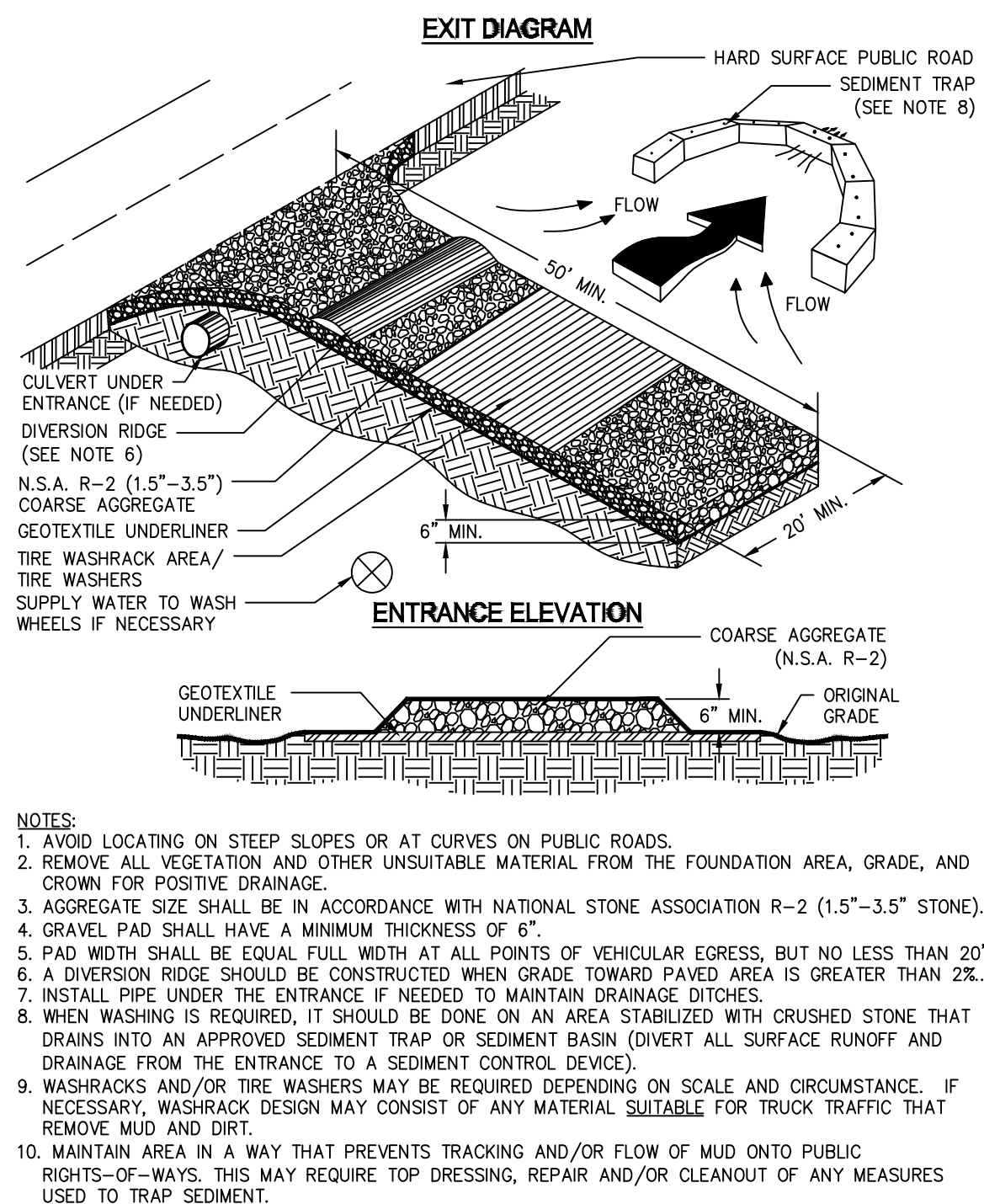
CONDITION 2 - MODERATE TO STEEP SLOPE 3% - 25%

GRASS	SPRING	SUMMER	FALL	WINTER
RYE GRASS	-	-	20	20
RYE GRASS	-	-	60	60
WHEAT	-	-	56	56
LESPEDEZA ANNUAL	-	-	-	10
WEEDING LOVEGRASS	4	-	-	-
BROWNTOP MILLET	10	20	-	-
SUDANGRASS	20	-	-	-
FESCUE	-	-	20	-

CONDITION 3 - CONCENTRATED WATER AREAS

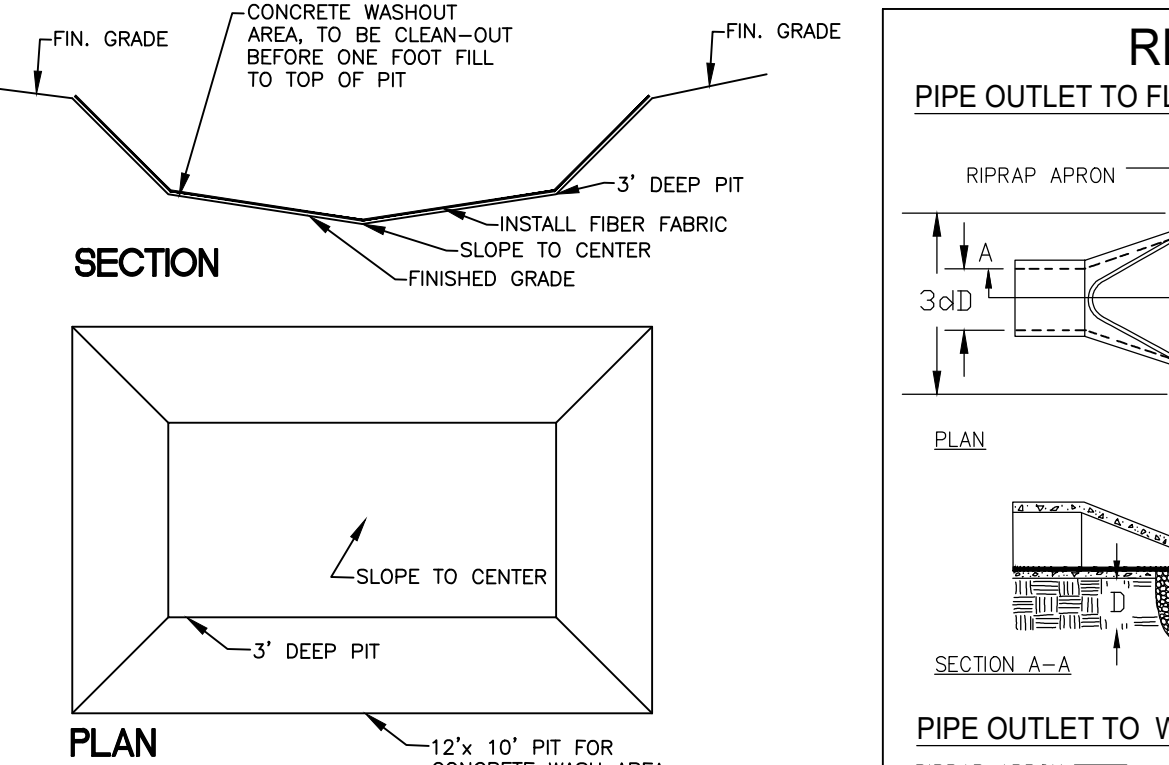
GRASS	SPRING	SUMMER	FALL	WINTER
RYE GRASS	-	-	10	10
RYE GRASS	-	-	112	112
WHEAT	-	-	120	120
LESPEDEZA ANNUAL	4	-	-	-
BROWNTOP MILLET	20	20	-	-
SUDANGRASS	30	10	-	-
PEARL MILLET	-	20	-	-
FESCUE	-	-	30	-

CRUSHED STONE CONSTRUCTION EXIT



1 C2.1 SCALE: NTS

2 C2.1 SCALE: NTS



3 C2.1 SCALE: NTS

PERMANENT GRASSING SPECIFICATIONS - LBS/ACRE

AUG. 31		
COMMON BERMUDA GRASS (HULLED)	4	LBS/ACRE
COMMON BERMUDA GRASS (UNHULLED)	4	LBS/ACRE
NOV. 15		
COMMON BERMUDA GRASS	15	LBS/ACRE
COMMON BERMUDA GRASS (HULLED)	8	LBS/ACRE
COMMON BERMUDA GRASS	20	LBS/ACRE

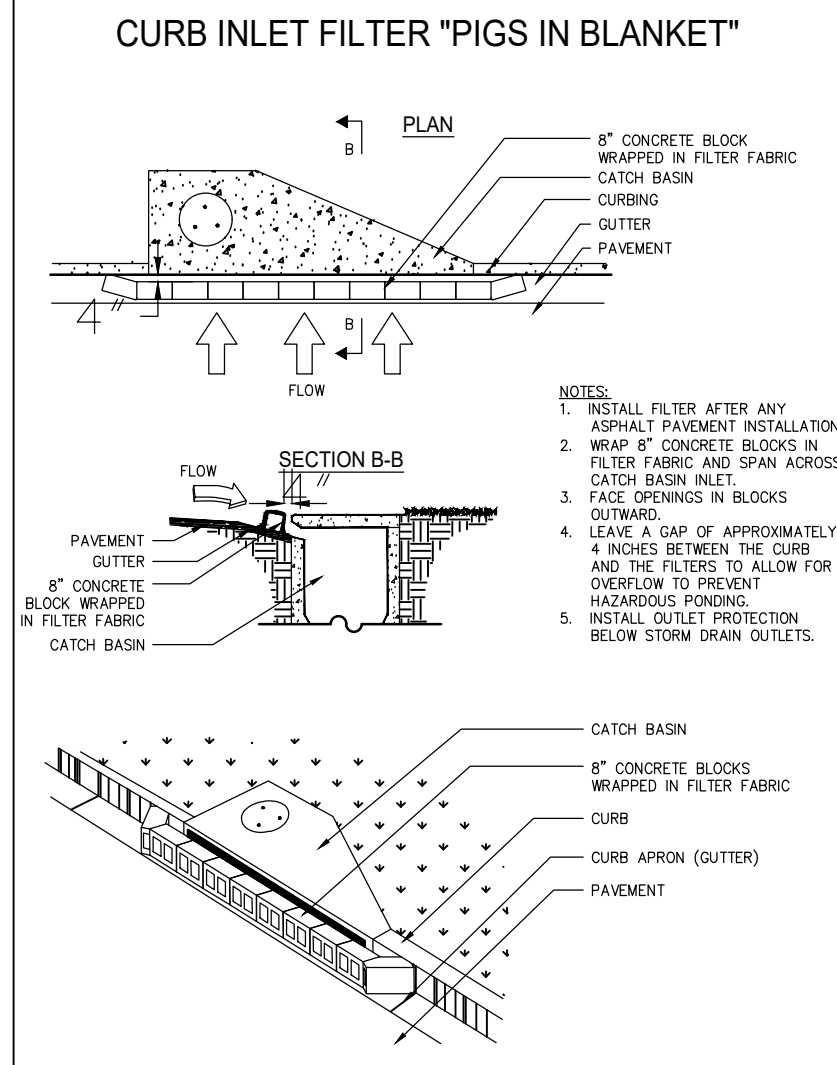
MAR. 15 TO AUG. 15

A GRASS (HULLED)	8 LBS/ACRE
	15 LBS/ACRE
E-(PERM.)	
6-12-12	1500 LBS/ACRE
	50 - 100 LBS/ACRE
	1 TO 2 TONS/ACRE

FERTILIZER RATE--(TEMP.)

N-P-K	10-10-10 (IF NEEDED UPON TESTING)	500-700 LBS/AC.
LIME	1	TON/ACRE

NOTE:
ALL SEEDING RATES FOR SINGLE SPECIES, MIXTURES CAN RESULT IN LOWER RATES, CONSULT MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA FOR MIXING RATES.

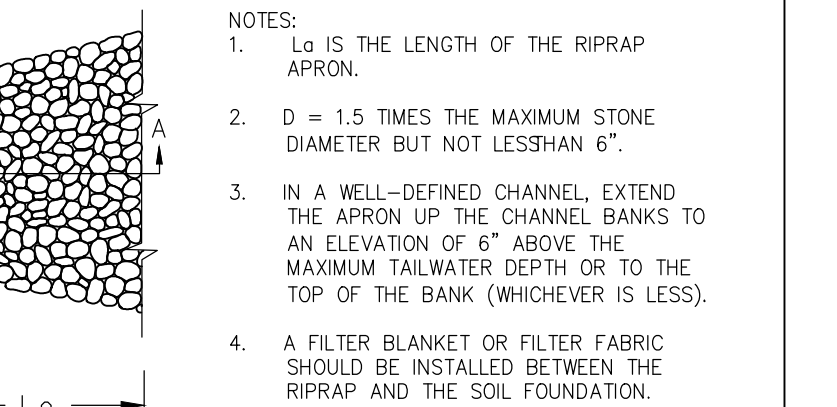


5 C2.1 SCALE: NTS

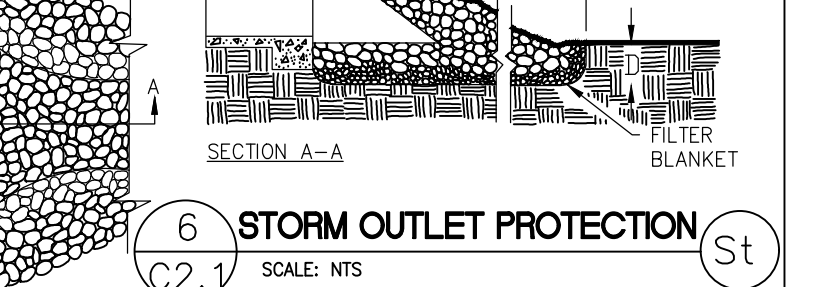
6 C2.1 SCALE: NTS

7 C2.1 SCALE: NTS

RIPRAP OUTLET PROTECTION PIPE OUTLET TO FLAT AREA - NO WELL DEFINED CHANNEL



PIPE OUTLET TO WELL DEFINED CHANNEL



7 C2.1 SCALE: NTS

8 C2.1 SCALE: NTS

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COVER SHEET

OWNER: SAIED TAKALLOU
404-428-7000
957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME: BRIARCLIFF
INTERIOR RENOVATION, REAR ADDITION
ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306



957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

24 HOURS CONTACT
INFORMATION:
SAIED TAKALLOU
404-428-7000
957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. FIRE CODE 2018 EDITION
WITH GA. AMEDMENTS 2020
INT. PLUMBING CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. FUEL GAS CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
NATIONAL ELECTRICAL CODE 2018 EDITION:
WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION:
WITH GA. AMEDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

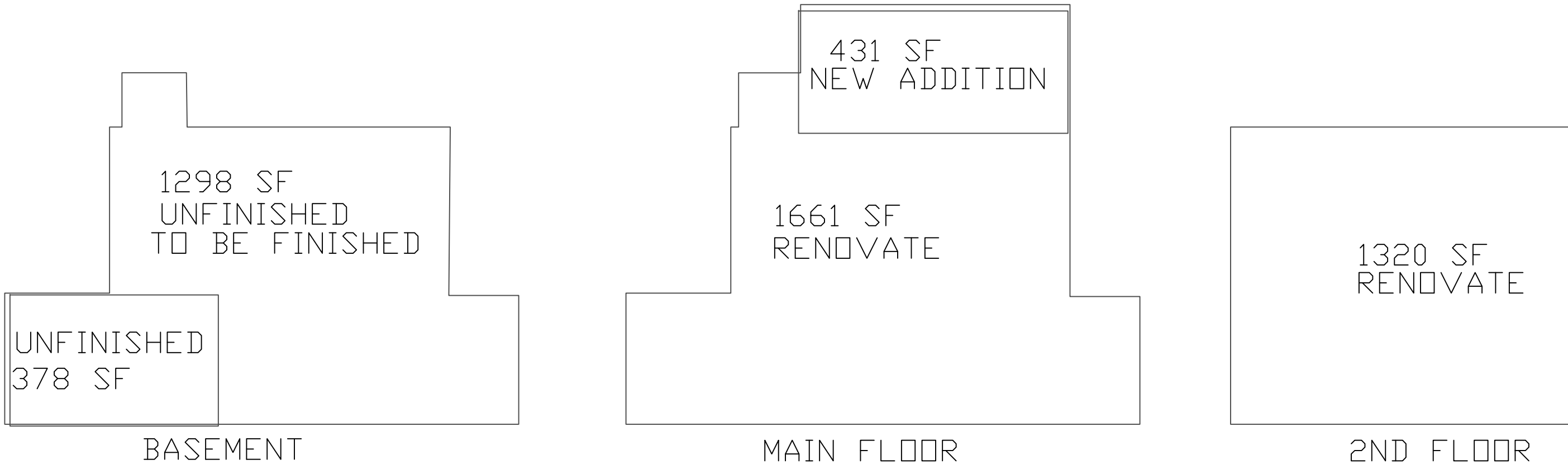
SCOPE OF WORK:

FINISH 1298 SF OF THE EXISTING BASEMENT
TO LIVING HEATED AREA.
WITH NEW BATHROOM AND BEDROOM.
403 SF UNFINISHED AREA IN BASEMENT (MECH. ROOM)
1701 SF HEATED, MAIN FLOOR RENOVATED AREA
INCLUDING KITCHEN AND BATHROOM. 403 SF ADDITION
ADDITION OF 528 SF OD DETACHED GARAGE
CONTRACTOR MUST VERIFY ALL DIMENSIONS.

GENERAL FRAMING NOTES:

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE TWO 2X10^{1/2} ANCHERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C SEC. 2516F.
- LUMBER SPECIES:
 - POST, BEAMS, HEADERS, JOISTS & RAFTERS: DOUGLAS FIR.
 - SILLS, PLATES, BLOCKING, BRIDGING END. 3 DOUGLAS FIR.
 - STUDS STUD GRADE D.F.
 - POST & BEAM DECKING UTILITY GRADE D.F.
 - PLYWOOD SHEATHING 1/2" CDX PLYWOOD, 32/16
 - GLU-LAM BEAMS F8-2400, DRY ADH.

5. NAIL SCHEDULE: JOIST TO SILL OR GIRDER BRIDGING TO JOIST 2" SUBFLOOR TO GIRDER SOLE PLATE TO JOIST TOP PLATE TO STUDS STUD TO SOLE PLATE	3-8d 2-8d 2-16d 16d @ 16" 2-16d 4-8d or 2-16d	TOE NAIL TOE NAIL BLIND NAIL FACE NAIL END NAIL TOE NAIL OR END NAIL
DOUBLE STUDS DOUBLE TOP PLATE CONTINUOUS HEADER (2 PC.) CLG. JST TO PL. CLG.JST LAP OVER PL. CLG.JST. TO RAFTER RAFTER TO TOP PL. BUILD-UP CORNER STUDS PLYWOOD SUBFLOOR	16d @ 16" 16d @ 16" 16d @ 16" 3-8d 3-16d 3-16d 3-8d 16d @ 24" 8d @ 6" 8d @ 10"	FACE NAIL FACE NAIL EDGE NAIL TOE NAIL FACE NAIL FACE NAIL TOE NAIL FACE NAIL EDGE NAIL EDGE NAIL INTERIOR
PLYWOOD & ROOF SHEATHING	8d @ 6" 8d @ 12" 2-16d 16d @ 15" 1/2" BOLTS W/WASHERS EA. SIDE @ 24" O.C. 2-8d	EDGE NAIL INTERIOR FACE NAIL STAGGER NAIL FACE NAIL
1X6 SPACED SHEATHING		



LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	7 1/4"	9 1/4"	9 1/2"	11 1/4"	11 7/8"	14"	16"	18"	18 3/4"	20"
6'	TL/LF										
8'	TL/LF	686									
9'-6"	TL/LF	349	1077	1162							
10'	TL/LF	285	931	1004							
12'	TL/LF	136	549	593	965	1125					
14'	TL/LF	71	348	376	618	723					
16'-6"	TL/LF	33	212	229	380	446	721				
18'-6"	TL/LF	19	148	161	269	316	515	760			
20'	TL/LF	12	116	126	212	249	408	605	851		
24'	TL/LF		64	69	119	141	234	350	498	561	678
28'	TL/LF		37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

COVER SHEET

BY: A.K. CK:

DATE 05/11/2021

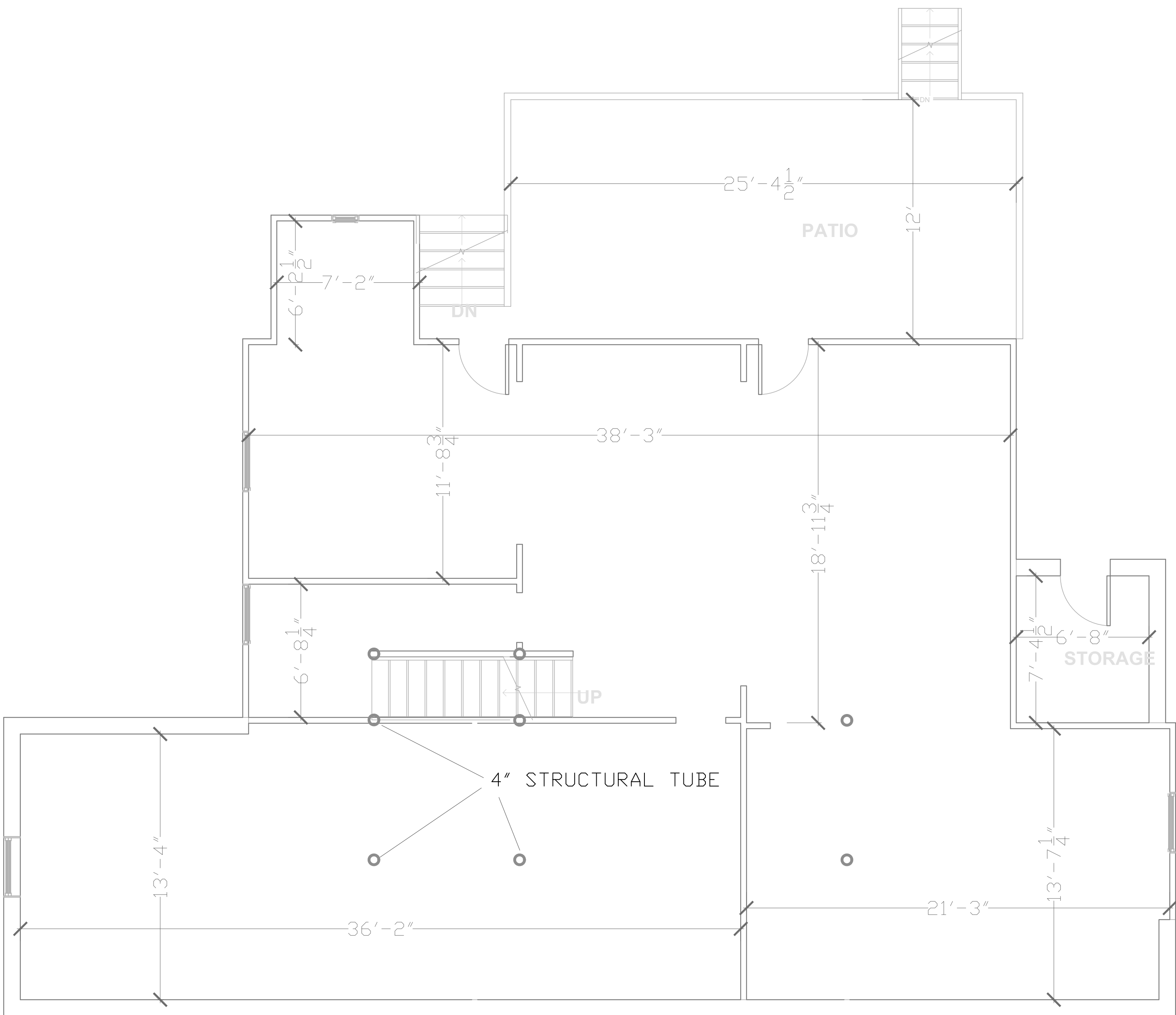
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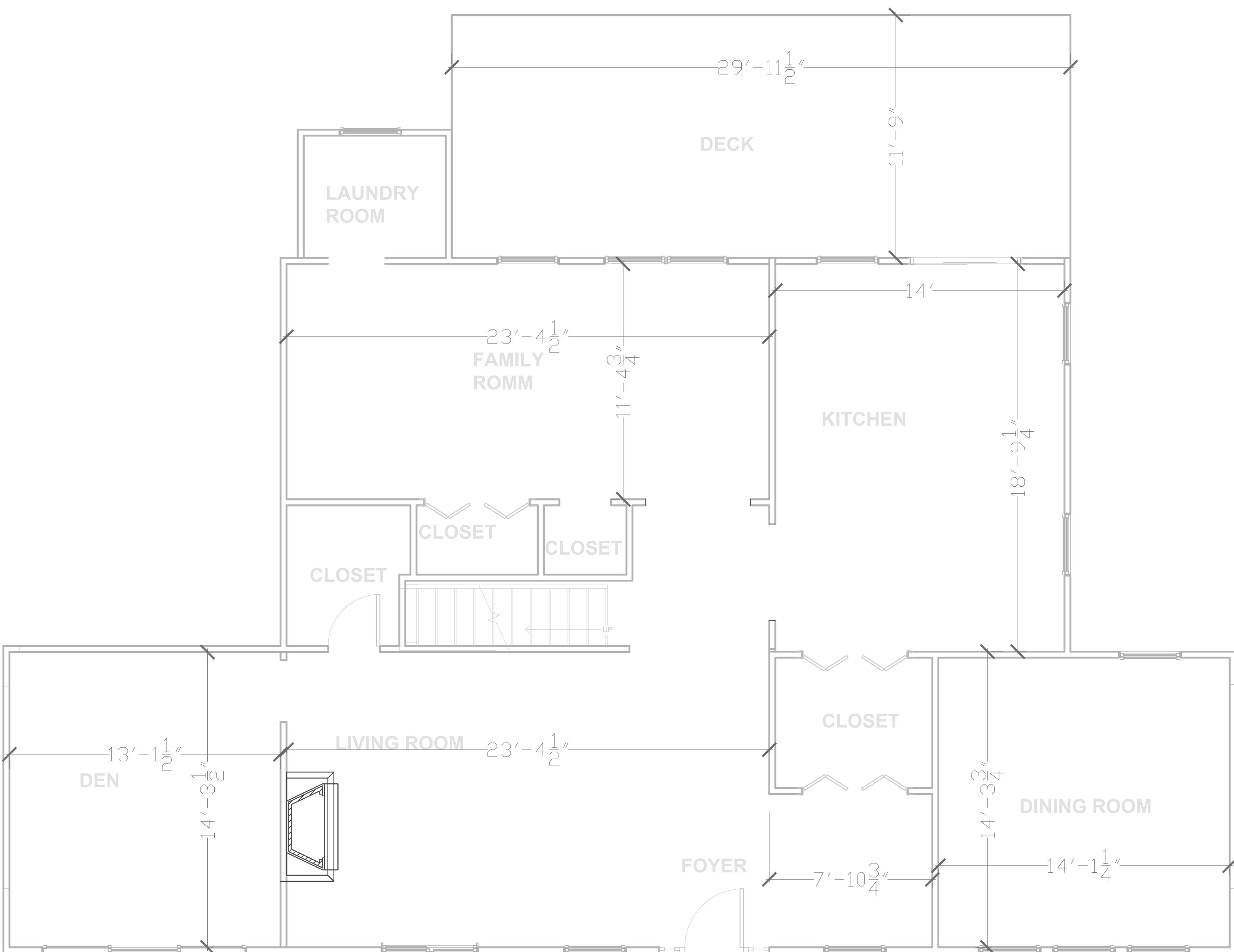
ATLANTIC BUILDING SPECIALTIES

OWNER:
MR. SAEID TAKALLOU

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM



EXISTING UNFINISHED BASEMENT
SCALE: 1/4"=1'



EXISTING 1ST FLOOR
SCALE: 1/4"=1'

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. FIRE CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. PLUMBING CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
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INT. ENERGY CODE 2018 EDITION:
WITH GA. AMENDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

LVL FLOOR LOAD TABLE (PLF)											
3 1/2"											
SPAN	LOAD	7 1/4"	9 1/4"	9 1/2"	11 1/4"	11 3/8"	14"	16"	18"	18 3/4"	20"
6'	TL/LF										
8'	TL/LF	686									
9'-6"	TL/LF	349	1077	1162							
10'	TL/LF	285	931	1004							
12'	TL/LF	136	549	593	965	1125					
14'	TL/LF	71	348	376	618	723					
16'-6"	TL/LF	33	212	229	380	446	721				
18'-6"	TL/LF	19	148	161	269	316	515	760			
20'	TL/LF	12	116	126	212	249	408	605	851		
24'	TL/LF		64	69	119	141	234	350	498	561	678
28'	TL/LF		37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL SUPPORTING ROOF ONLY	LOAD BEARING WALL ONE STORY ABOVE	LOAD BEARING WALL TWO STORY ABOVE	NON LOAD BEARING WALL
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

ATLANTIC BUILDING SPECIALTIES

OWNER:
MR. SAEID TAKALLOU

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

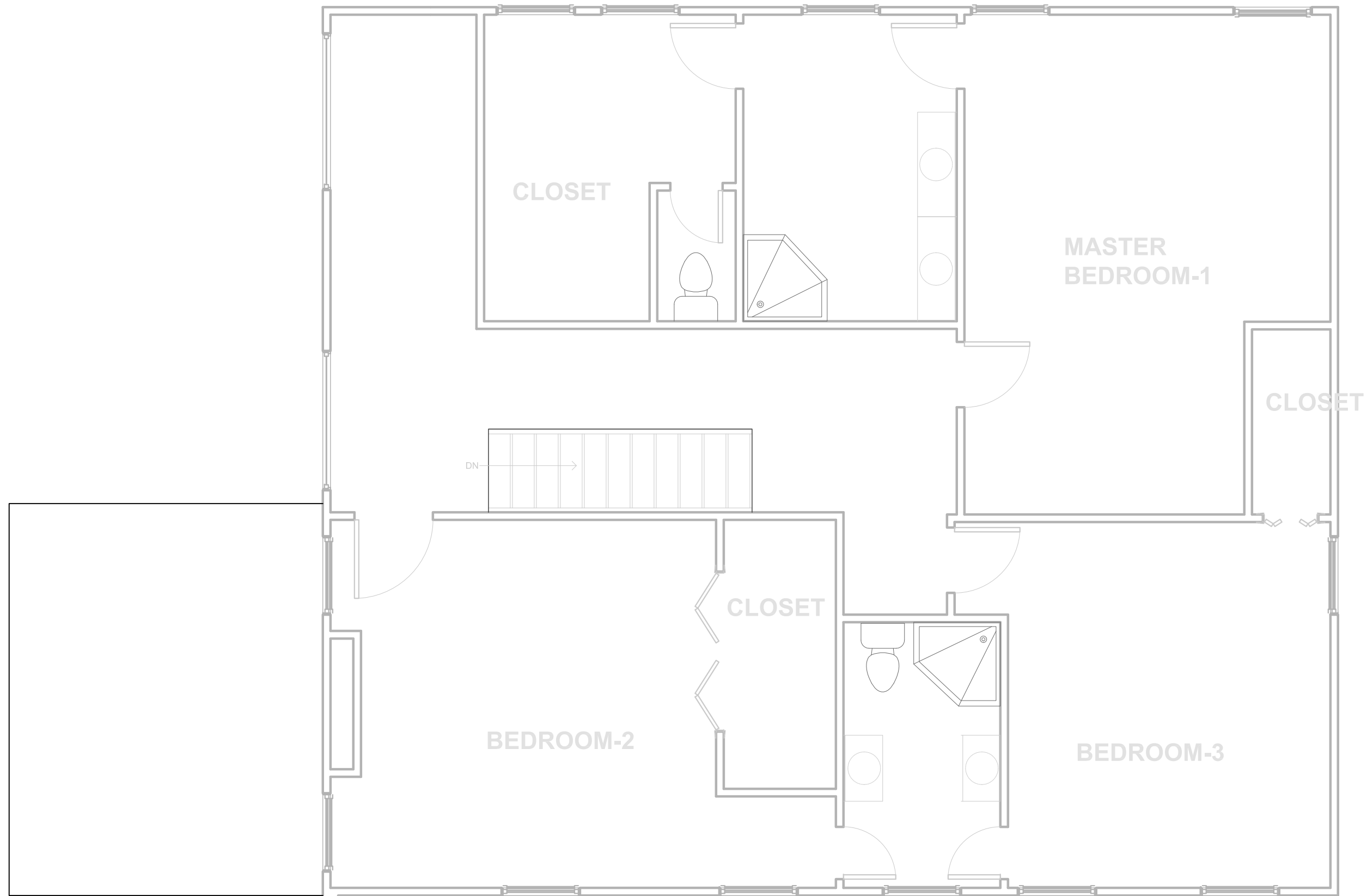
BY: A.K. CK:

DATE 05/11/2021

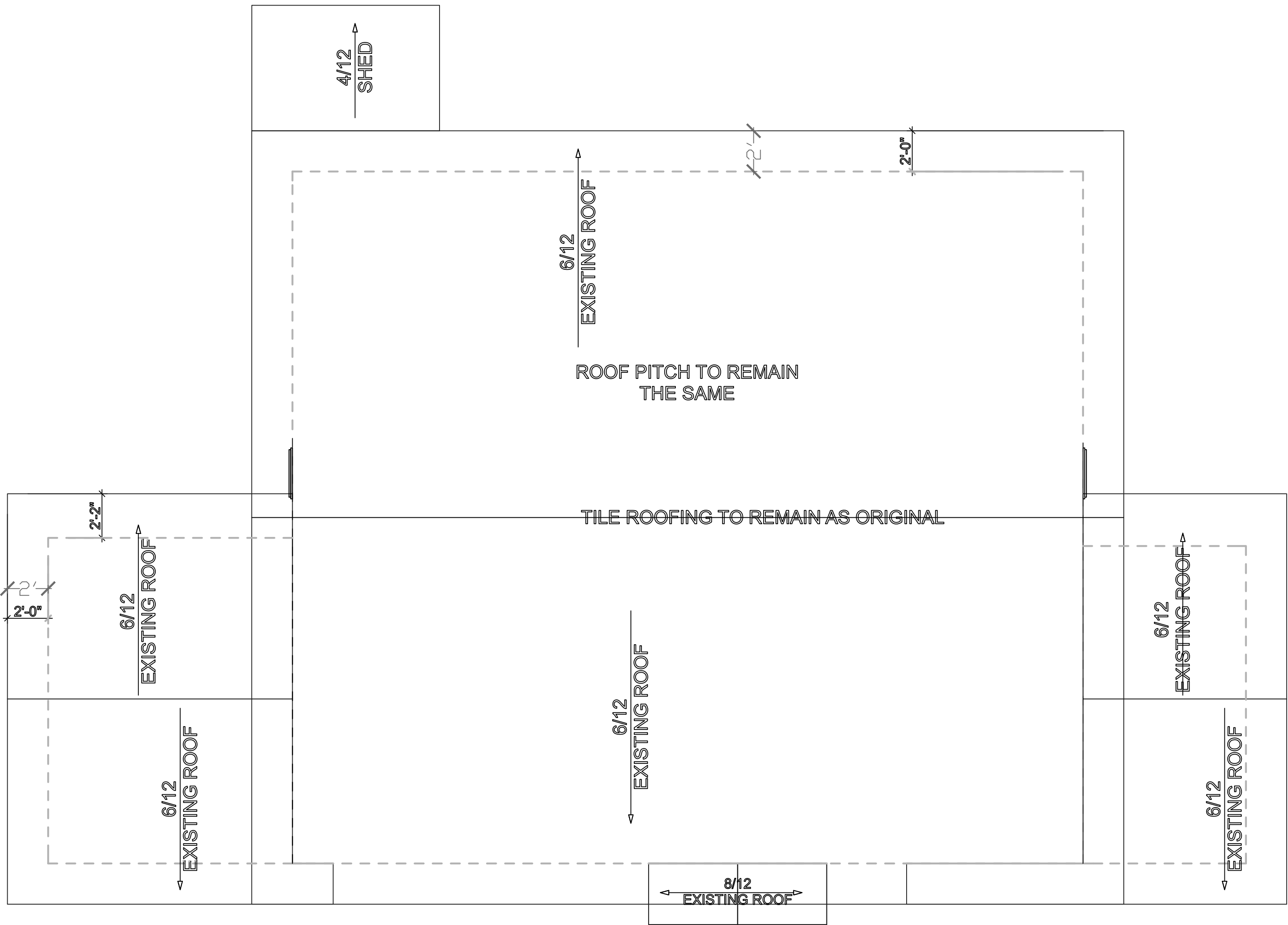
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OF:



EXISTING 2ND FLOOR
SCALE: 1/4"=1'



EXISTING ROOF
SCALE: 1/4"=1'

LVL FLOOR LOAD TABLE (PLF)

		3 1/2"										
SPAN	LOAD	7 1/4"	9 1/4"	9 1/2"	11 1/4"	11 7/8"	14"	16"	18"	18 3/4"	20"	
6'	TL/LF											
8'	TL/LF	686										
9'-6"	TL/LF	349	1077	1162								
10'	TL/LF	285	931	1004								
12'	TL/LF	136	549	593	965	1125						
14'	TL/LF	71	348	376	618	723						
16'-6"	TL/LF	33	212	229	380	446	721					
18'-6"	TL/LF	19	148	161	269	316	515	760				
20'	TL/LF	12	116	126	212	249	408	605	851			
24'	TL/LF		64	69	119	141	234	350	498	561	678	
28'	TL/LF		37	40	71	85	144	217	311	352	482	

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
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WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION:
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INT. FUEL GAS CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
NATIONAL ELECTRICAL CODE 2018 EDITION:
WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION:
WITH GA. AMEDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

ATLANTIC BUILDING SPECIALTIES

OWNER:
MR. SAEID TAKALLOU

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

BY: A.K. CK:

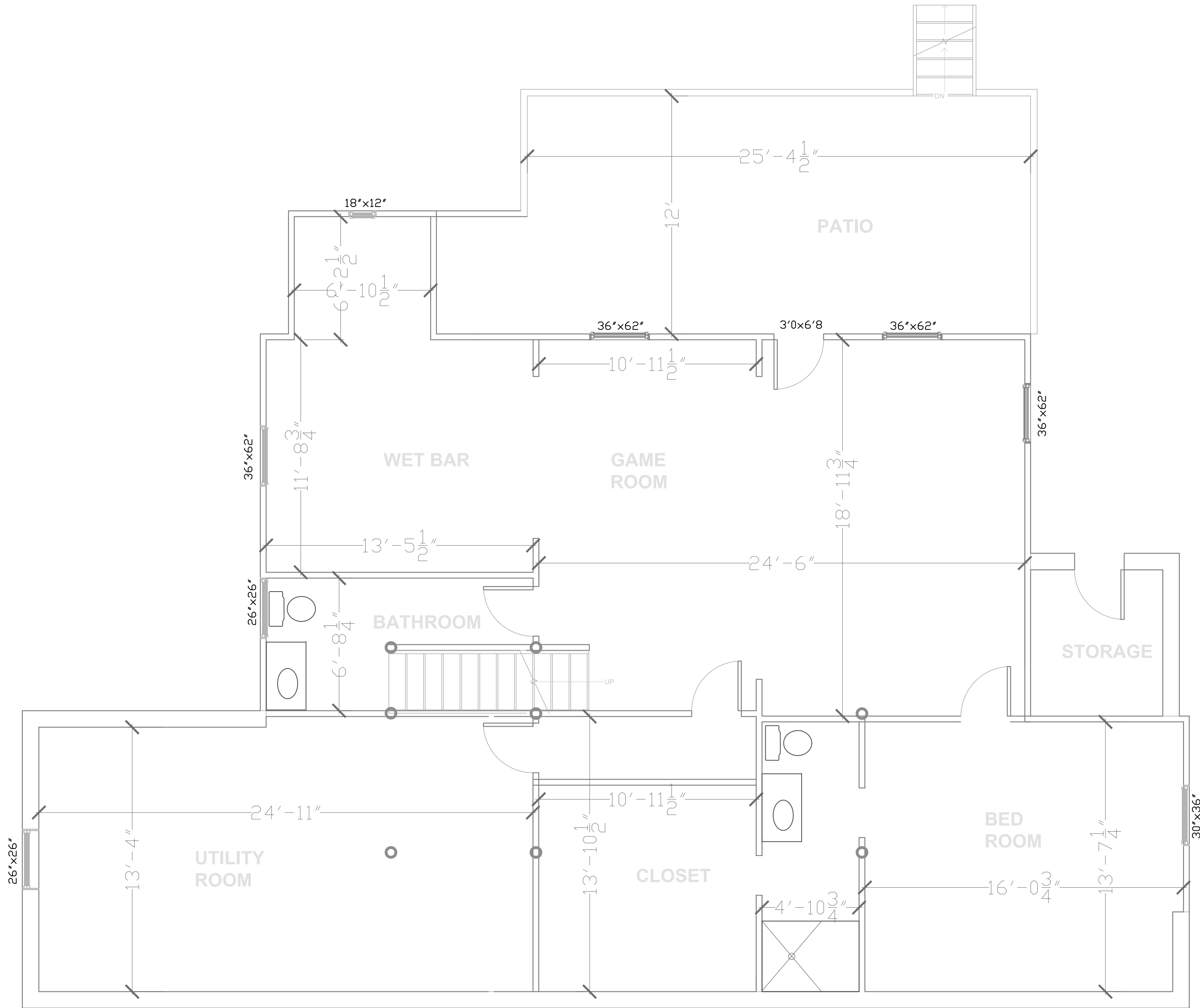
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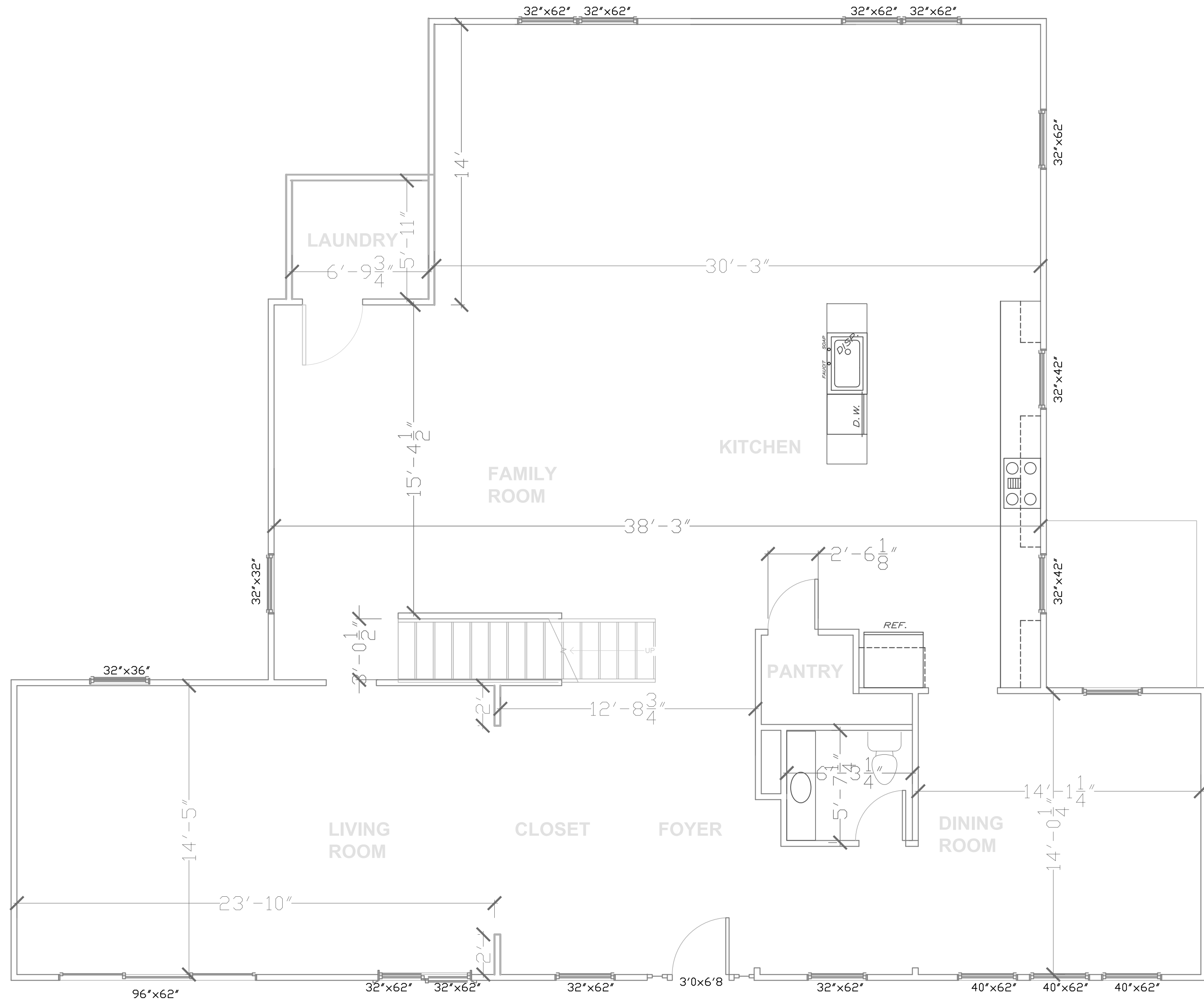
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OF:

RELEASED FOR CONSTRUCTION



PROPOSED BASEMENT
SCALE: 1/4"=1'



PROPOSED 1ST FLOOR
SCALE: 1/4"=1'

LVL FLOOR LOAD TABLE (PLF)

		3 1/2"										
SPAN	LOAD	7 1/4"	9 1/4"	9 1/2"	11 1/4"	11 3/8"	14"	16"	18"	18 3/4"	20"	
6'	TL/LF											
8'	TL/LF	686										
9'-6"	TL/LF	349	1077	1162								
10'	TL/LF	285	931	1004								
12'	TL/LF	136	549	593	965	1125						
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16'-6"	TL/LF	33	212	229	380	446	721					
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28'	TL/LF		37	40	71	85	144	217	311	352	482	

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

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INT. FUEL GAS CODE 2018 EDITION:
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WITH STATE AMENDMENTS 2020
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DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

ATLANTIC BUILDING SPECIALTIES

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4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

BY: A.K. CK:

DATE 05/11/2021

SHEET:

OF:

RELEASED FOR CONSTRUCTION

LVL FLOOR LOAD TABLE (PLF)											
SPAN	LOAD	7 1/4"	9 1/4"	9 1/2"	11 1/4"	11 3/8"	14"	16"	18"	18 3/4"	20"
6'	TL/LF										
8'	TL/LF	686									
9'-6"	TL/LF	349	1077	1162							
10'	TL/LF	285	931	1004							
12'	TL/LF	136	549	593	965	1125					
14'	TL/LF	71	348	376	618	723					
16'-6"	TL/LF	33	212	229	380	446	721				
18'-6"	TL/LF	19	148	161	269	316	515	760			
20'	TL/LF	12	116	126	212	249	408	605	851		
24'	TL/LF		64	69	119	141	234	350	498	561	678
28'	TL/LF		37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

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NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

OWNER:
MR. SAEID TAKALLOU

PROPOSED 2ND FLOOR
& ROOF PLANS

BY: A.K. CK:

DATE 05/11/2021

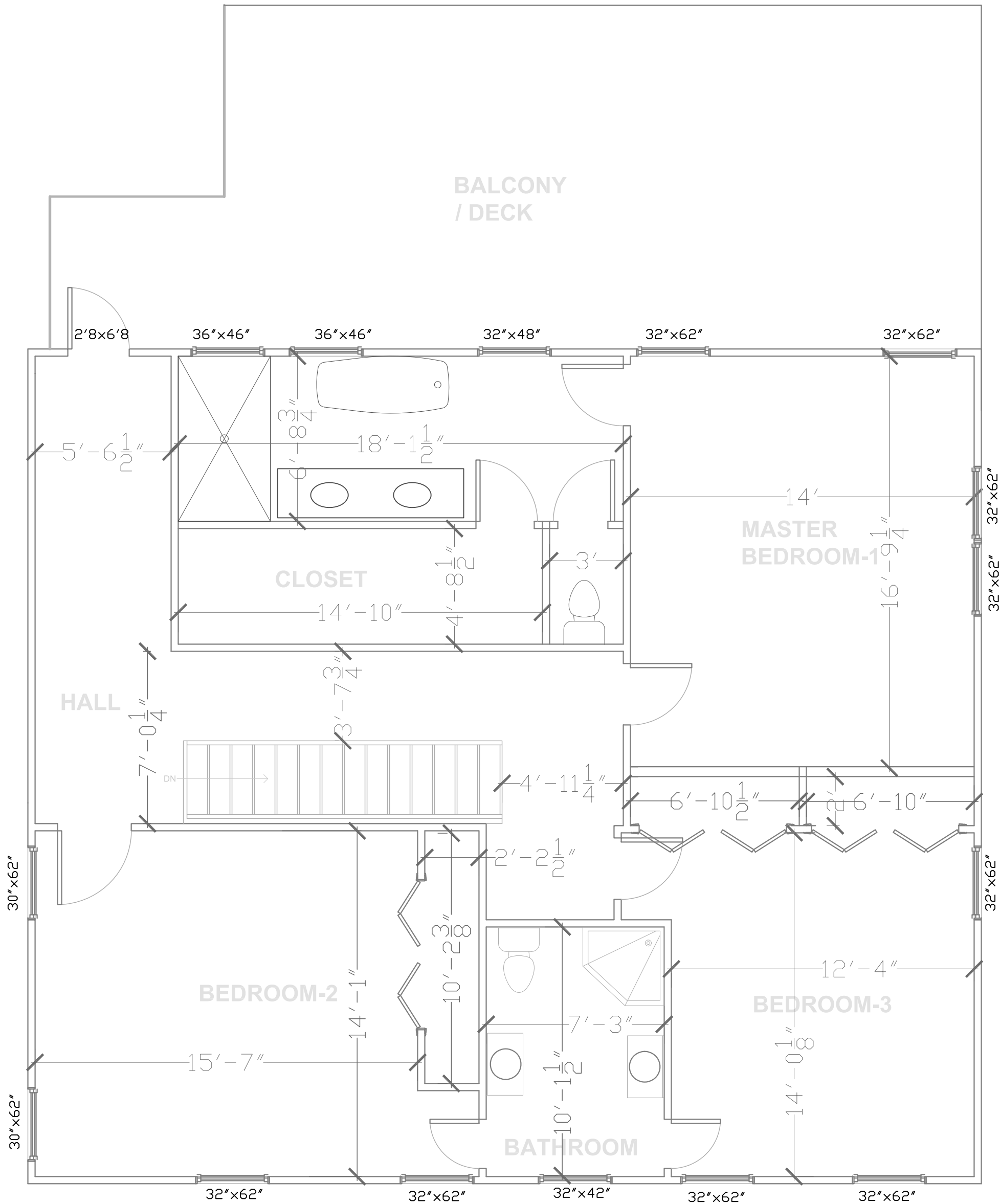
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OF:

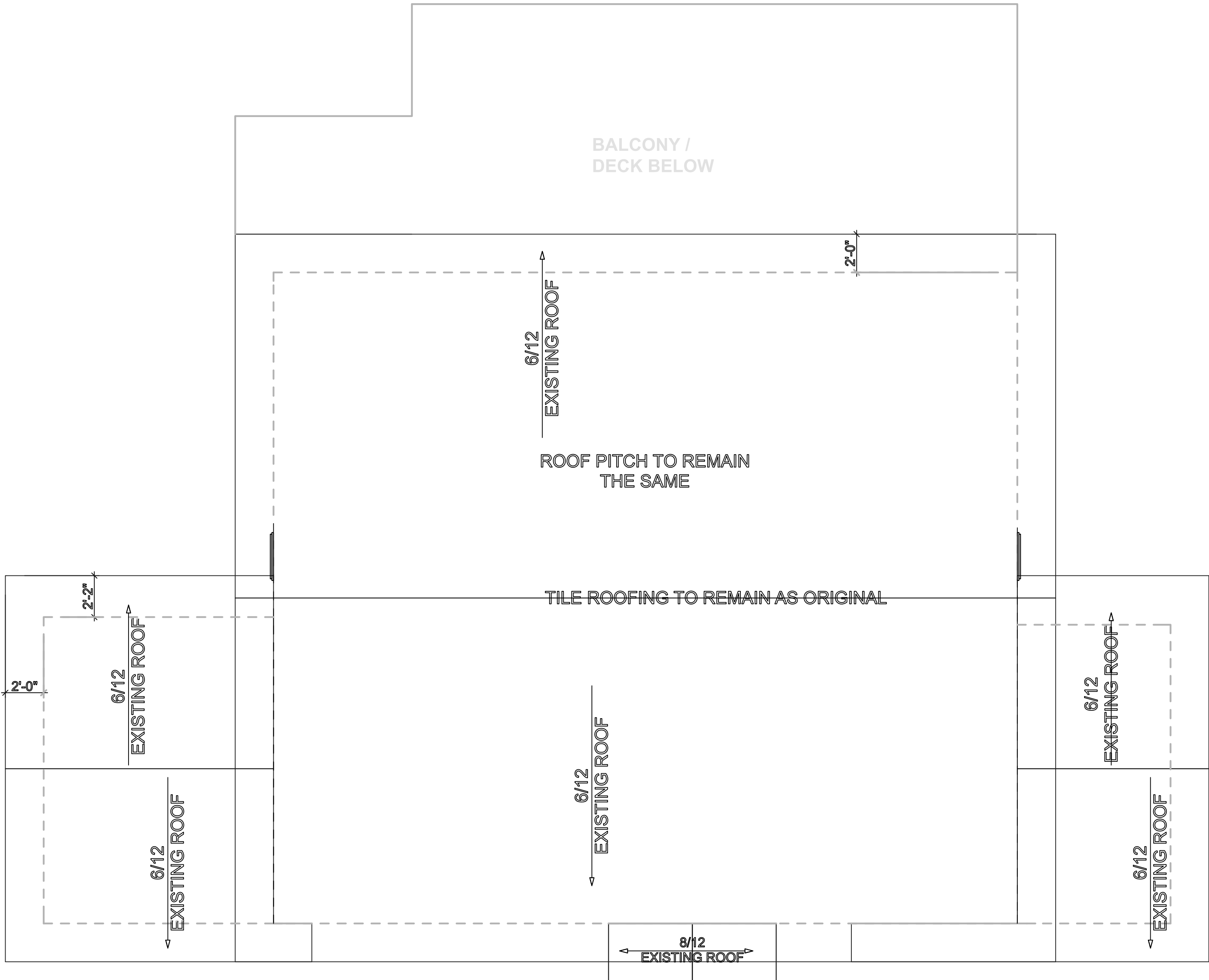
ATLANTIC BUILDING SPECIALTIES

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM



PROPOSED 2ND FLOOR

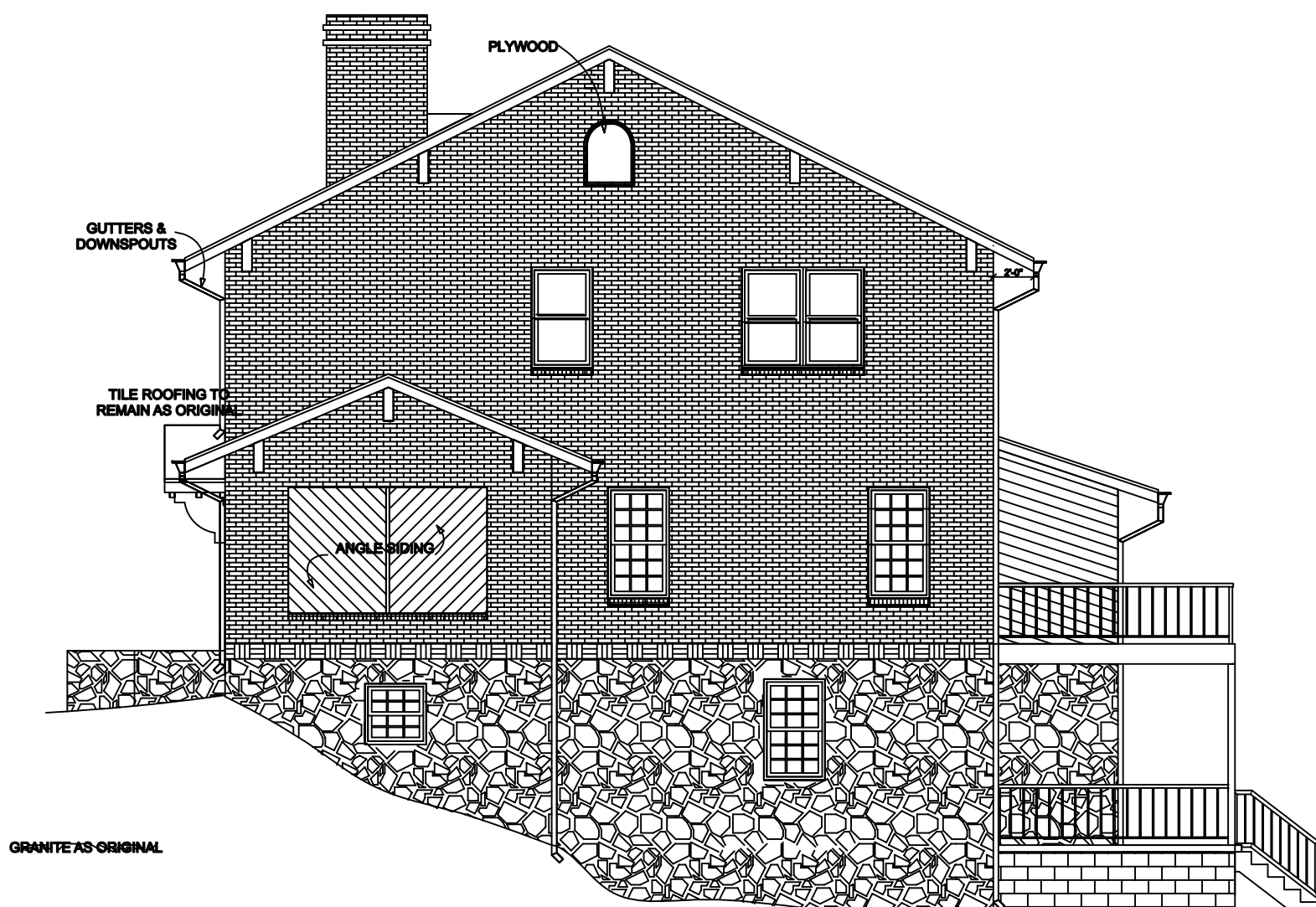
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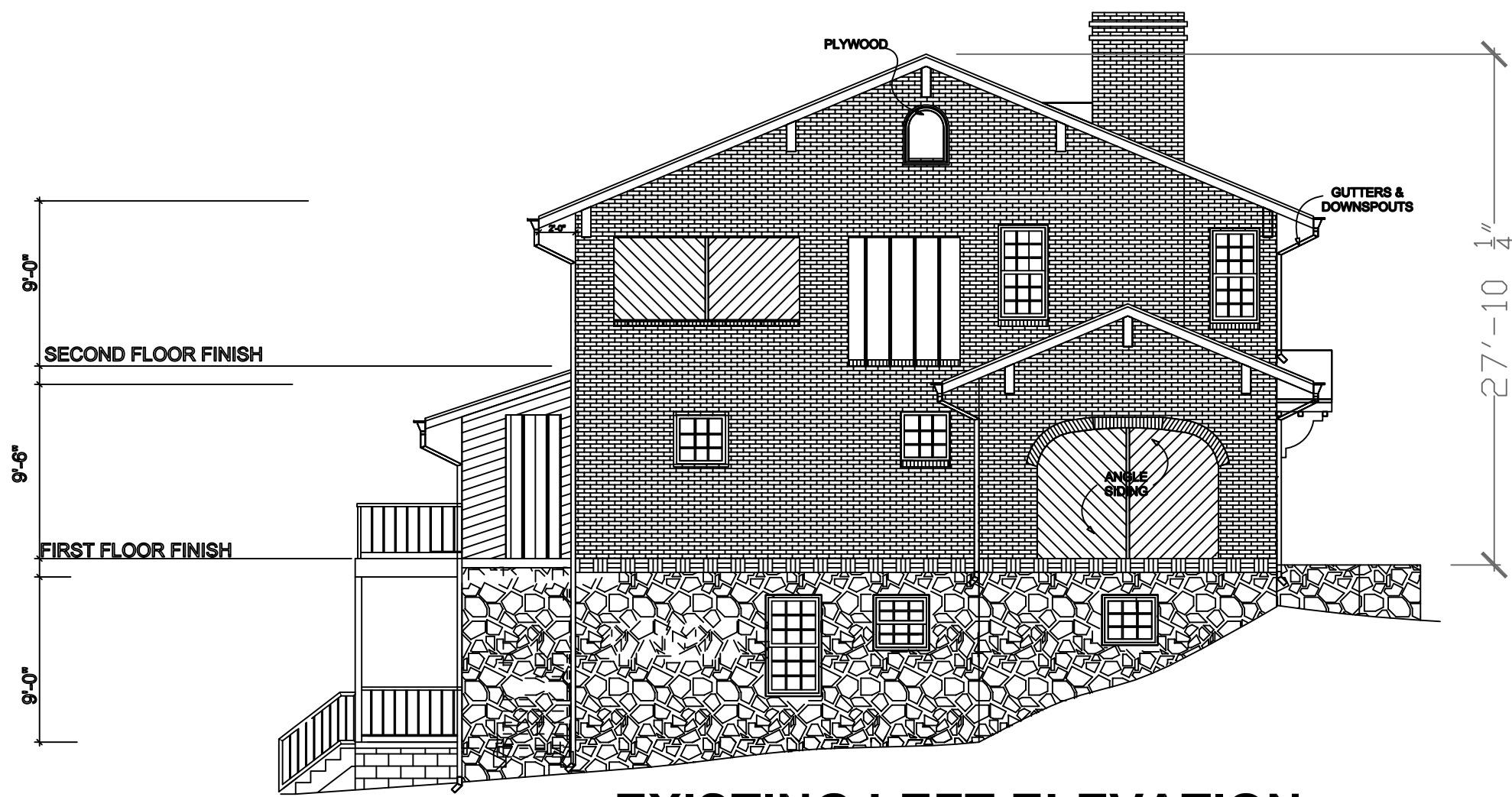
PROPOSED ROOF

SCALE: 1/4"=1'

RELEASED FOR CONSTRUCTION



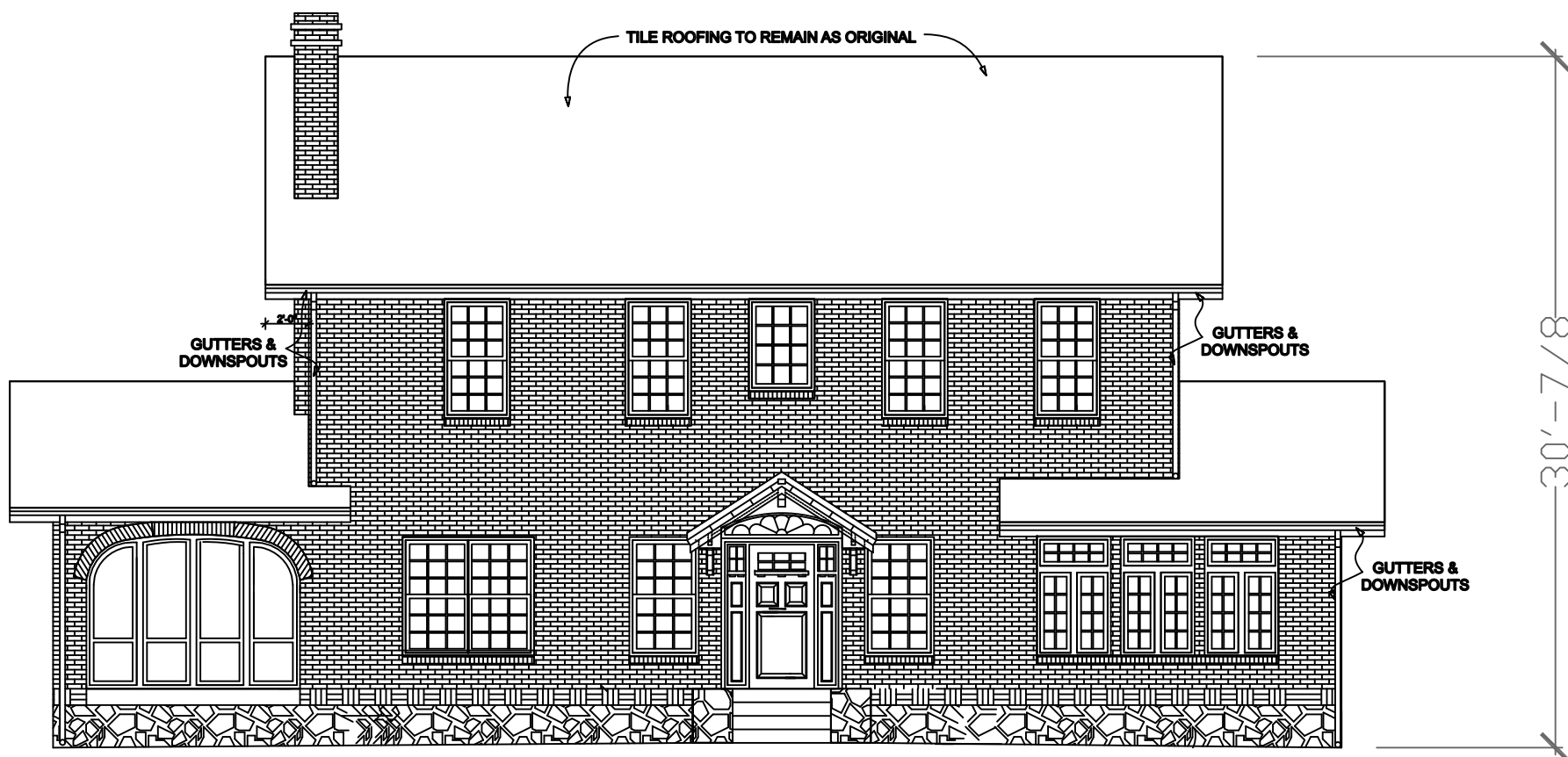
EXISTING RIGHT ELEVATION
SCALE: 1/8"=1'



EXISTING LEFT ELEVATION
SCALE: 1/8"=1'



EXISTING REAR ELEVATION
SCALE: 1/8"=1'



EXISTING FRONT ELEVATION
SCALE: 1/8"=1'

LVL FLOOR LOAD TABLE (PLF)

3 1/2'											
SPAN	LOAD	7 1/2"	9 1/2"	9 1/2"	11 1/2"	11 3/8"	14"	16"	18"	18 3/4"	20"
6'	TL/LF										
8'	TL/LF	686									
9'-6"	TL/LF	349	1077	1162							
10'	TL/LF	285	931	1004							
12'	TL/LF	136	549	593	965	1125					
14'	TL/LF	71	348	376	618	723					
16'-6"	TL/LF	33	212	229	380	446	721				
18'-6"	TL/LF	19	148	161	269	316	515	760			
20'	TL/LF	12	116	126	212	249	408	605	851		
24'	TL/LF		64	69	119	141	234	350	498	561	678
28'	TL/LF		37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. FIRE CODE 2018 EDITION
WITH GA. AMEDMENTS 2020
INT. PLUMBING CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. FUEL GAS CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
NATIONAL ELECTRICAL CODE 2018 EDITION:
WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION:
WITH GA. AMEDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

ATLANTIC BUILDING SPECIALTIES

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

OWNER:
MR. SAEID TAKALLOU

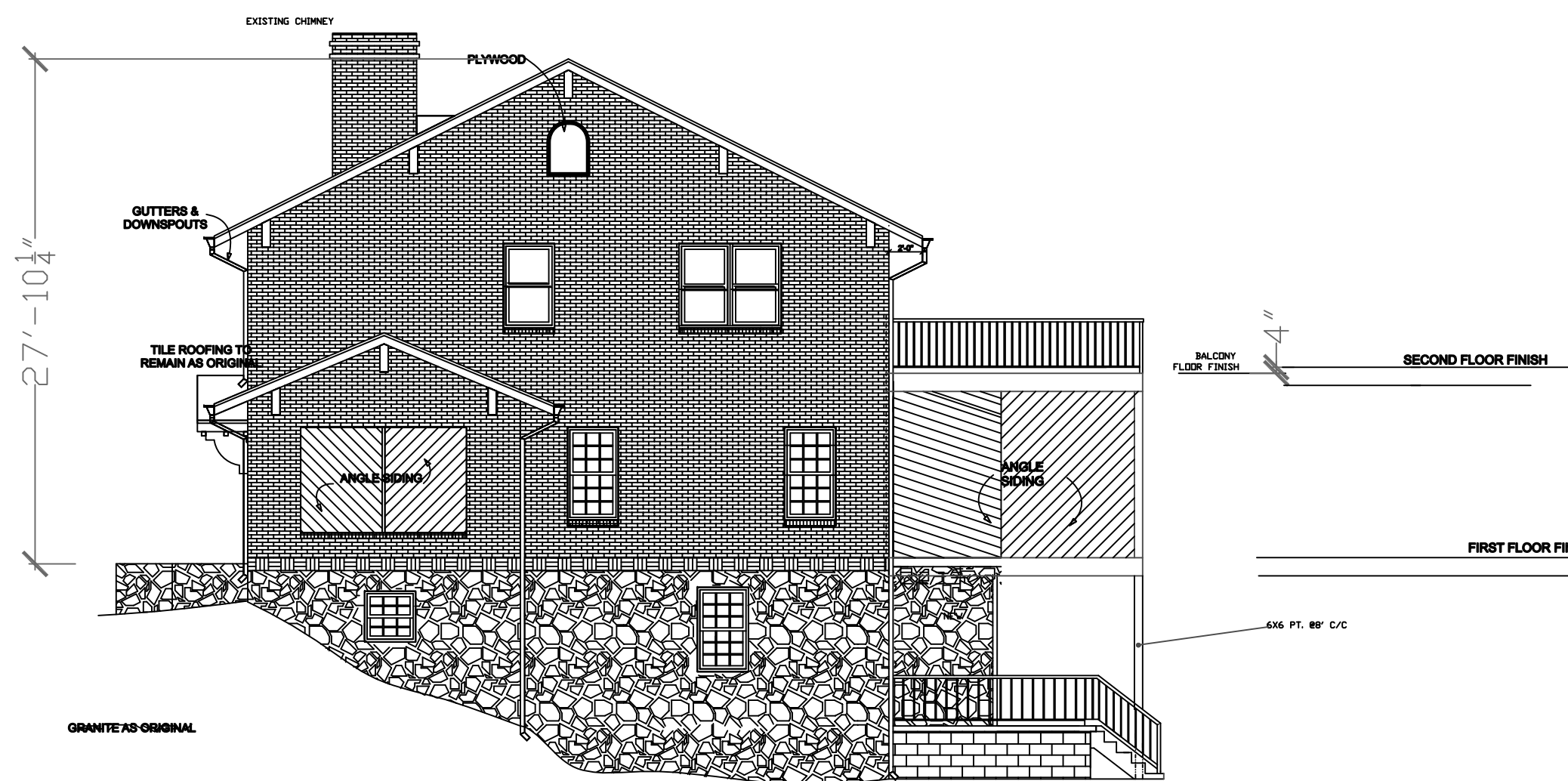
BY: A.K. CK:

DATE 05/11/2021

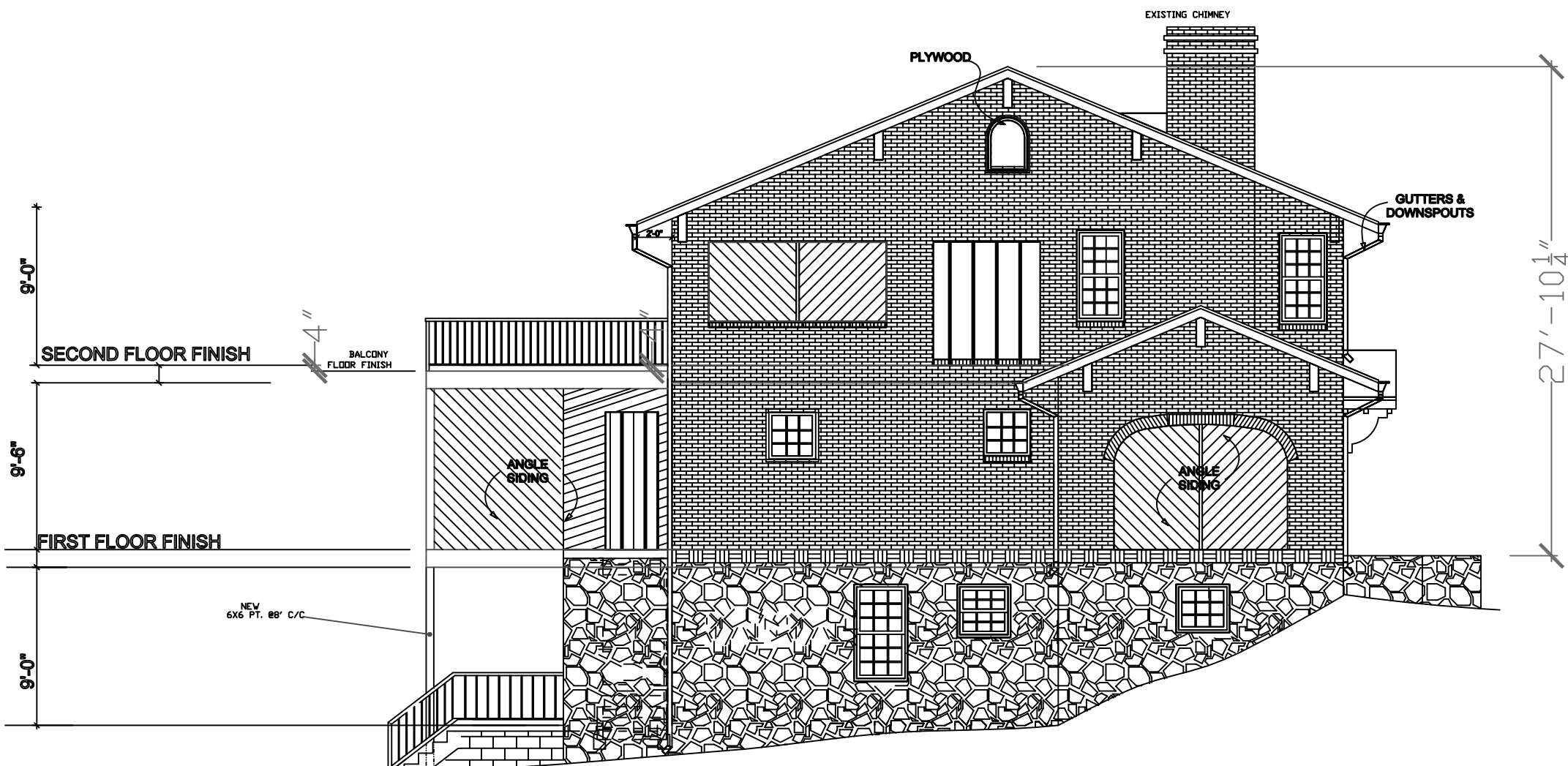
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A5

OF:



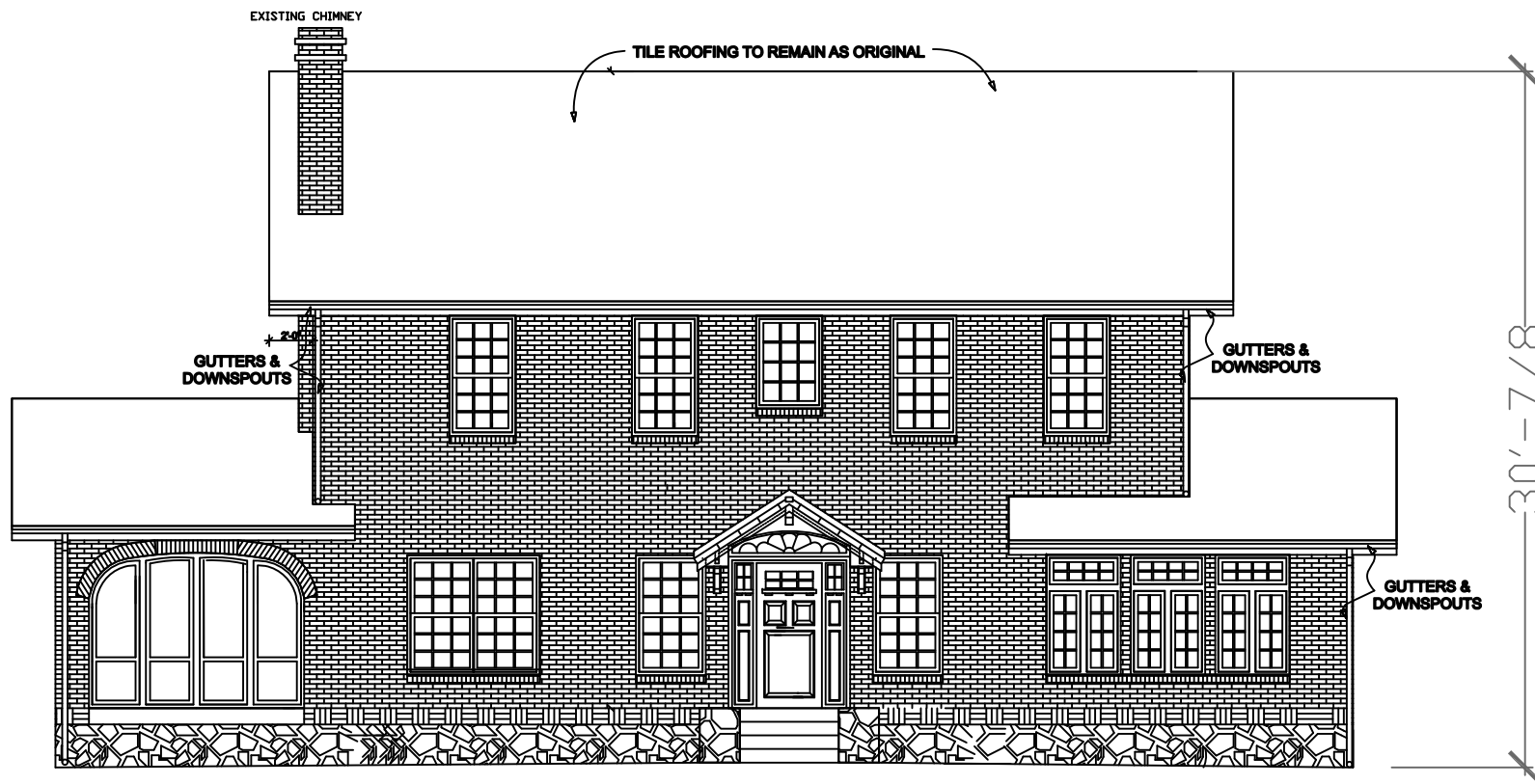
PROPOSED RIGHT ELEVATION
SCALE: 1/8"=1'



PROPOSED LEFT ELEVATION
SCALE: 1/8"=1'



PROPOSED REAR ELEVATION
SCALE: 1/8"=1'



PROPOSED FRONT ELEVATION
SCALE: 1/8"=1'

LVL FLOOR LOAD TABLE (PLF)

3 1/2"												
SPAN	LOAD	7 1/2'	9'	9 1/2'	11 1/2'	11 7/8'	14'	16'	18'	18 3/4'	20'	
6'	TL/LF											
8'	TL/LF	686										
9'-6"	TL/LF	349	1077	1162								
10'	TL/LF	285	931	1004								
12'	TL/LF	136	549	593	965	1125						
14'	TL/LF	71	348	376	618	723						
16'-6"	TL/LF	33	212	229	380	446	721					
18'-6"	TL/LF	19	148	161	269	316	515	760				
20'	TL/LF	12	116	126	212	249	408	605	851			
24'	TL/LF		64	69	119	141	234	350	498	561	678	
28'	TL/LF			37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL SUPPORTING ROOF ONLY	LOAD BEARING WALL ONE STORY ABOVE	LOAD BEARING WALL TWO STORY ABOVE	NON LOAD BEARING WALL
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

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WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION:
WITH GA. AMEDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

ATLANTIC BUILDING SPECIALTIES

OWNER:
MR. SAEID TAKALLOU

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

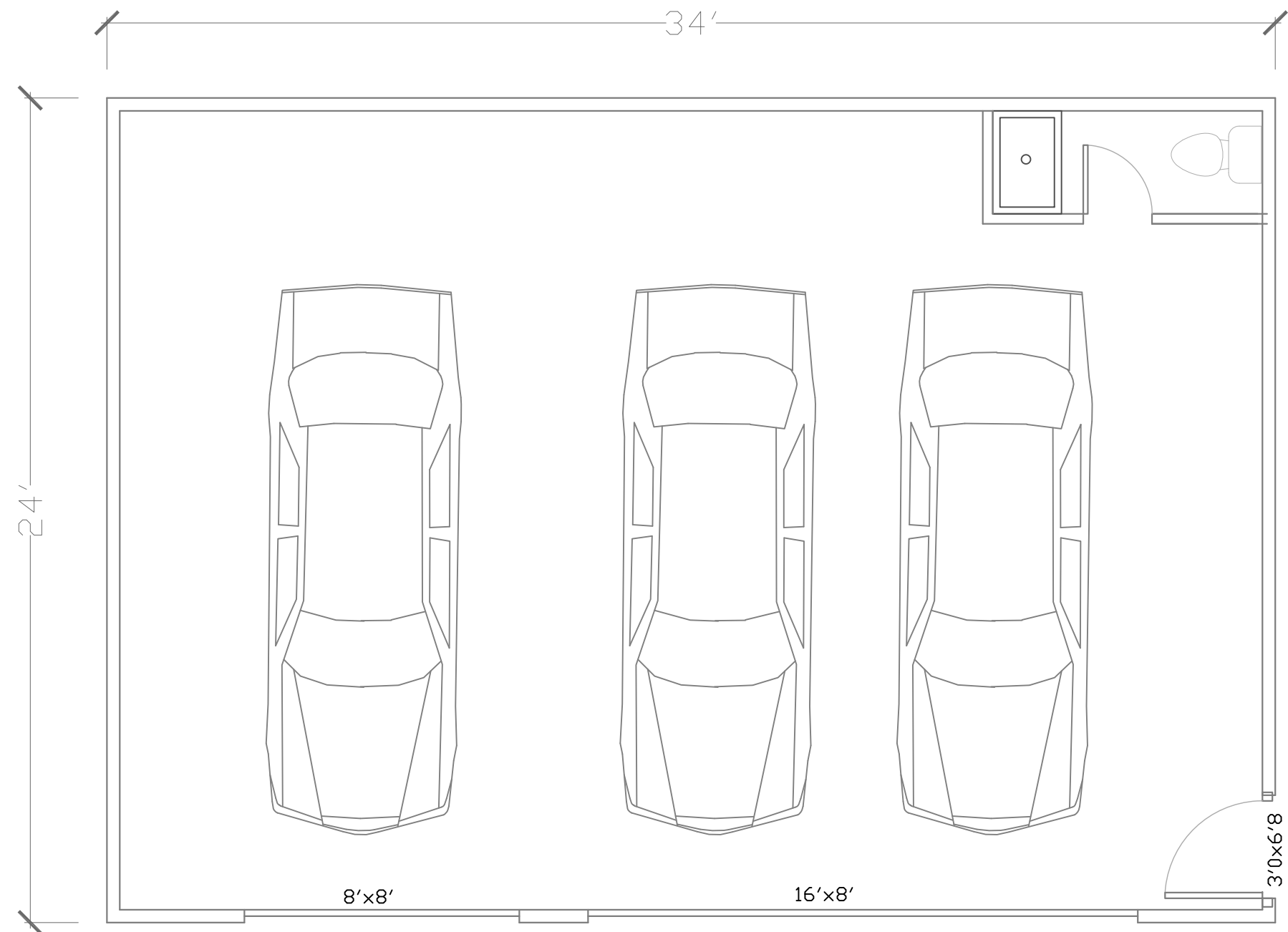
BY: A.K. CK:

DATE 05/11/2021

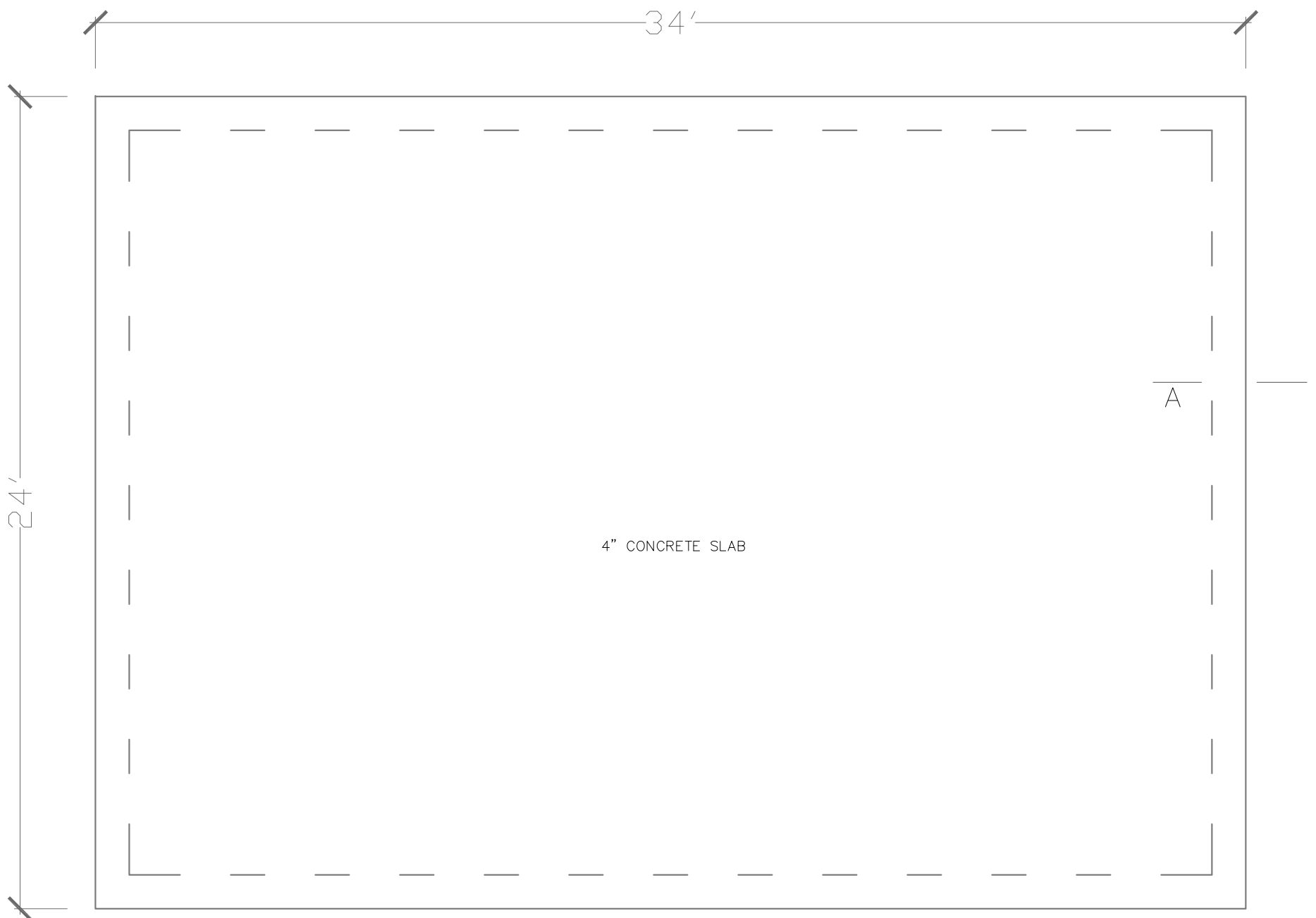
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A6

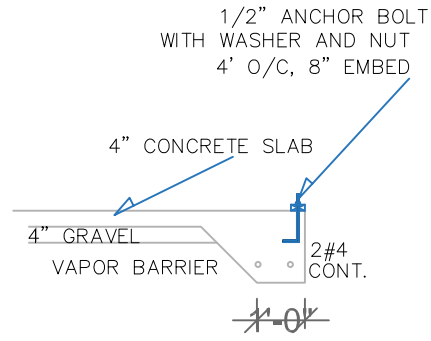
OF:



GARAGE FLOOR PLAN
SCALE: 1/4"=1'



GARAGE FOUNDATION & SLAB
SCALE: 1/4"=1'



SECTION A-A
TURN DOWN SLAB

LVL FLOOR LOAD TABLE (PLF)

3 1/2"													
SPAN	LOAD	7 1/4'	9 1/4'	9 1/2'	11 1/4'	11 7/8'	14'	16'	18'	18 3/4'	20'		
6'	TL/LF												
8'	TL/LF	686											
9'-6"	TL/LF	349	1077	1162									
10'	TL/LF	285	931	1004									
12'	TL/LF	136	549	593	965	1125							
14'	TL/LF	71	348	376	618	723							
16'-6"	TL/LF	33	212	229	380	446	721						
18'-6"	TL/LF	19	148	161	269	316	515	760					
20'	TL/LF	12	116	126	212	249	408	605	851				
24'	TL/LF		64	69	119	141	234	350	498	561	678		
28'	TL/LF		37	40	71	85	144	217	311	352	482		

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

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WITH GA. AMEDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
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ADDRESS: 957 BRIARCLIFF RD. NE.
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SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

PROPOSED DETACHED
GARAGE FLOOR PLAN

BY: A.K. CK:

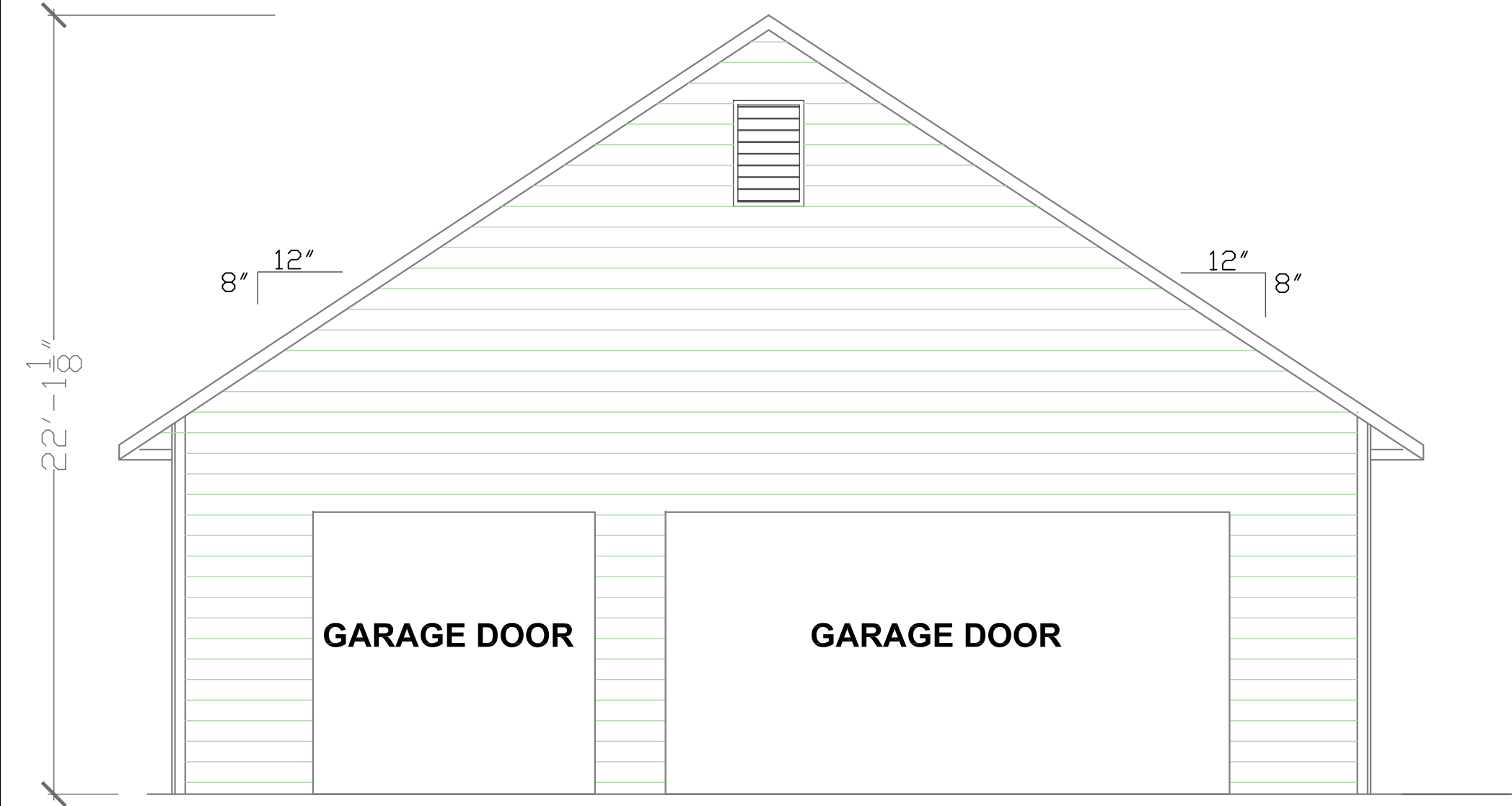
DATE 05/11/2021

SHEET:

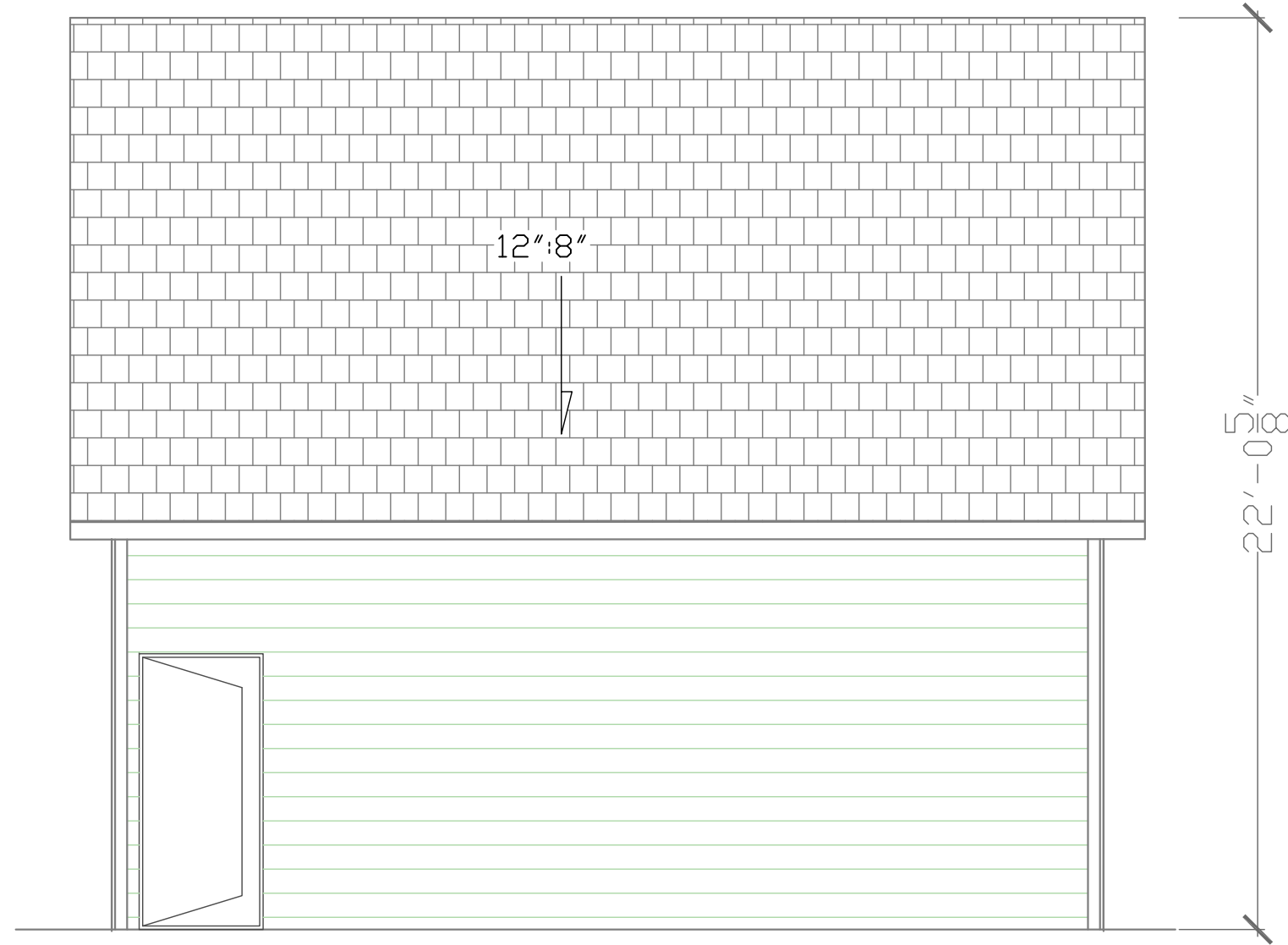
A7

OF:

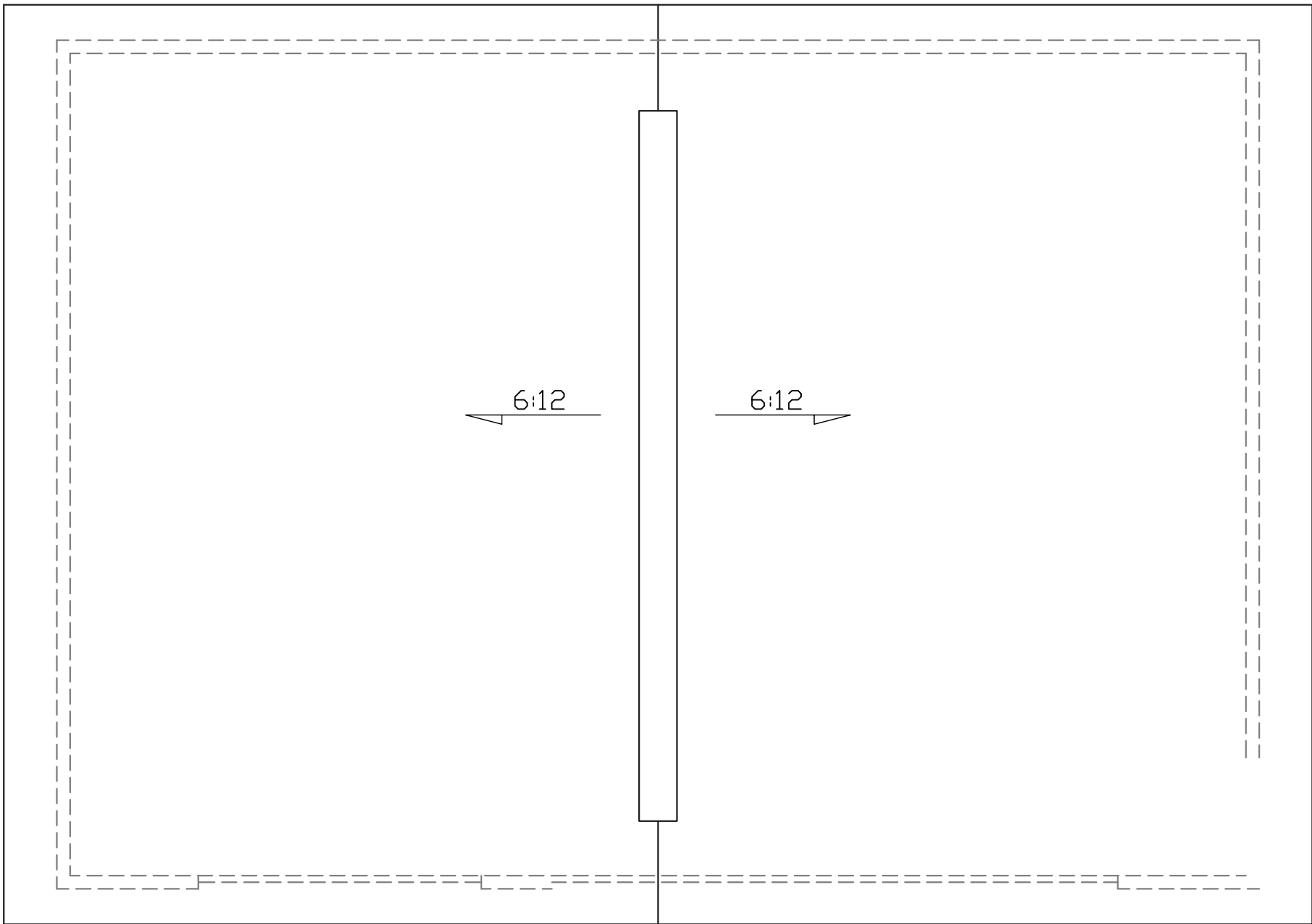
RELEASED FOR CONSTRUCTION



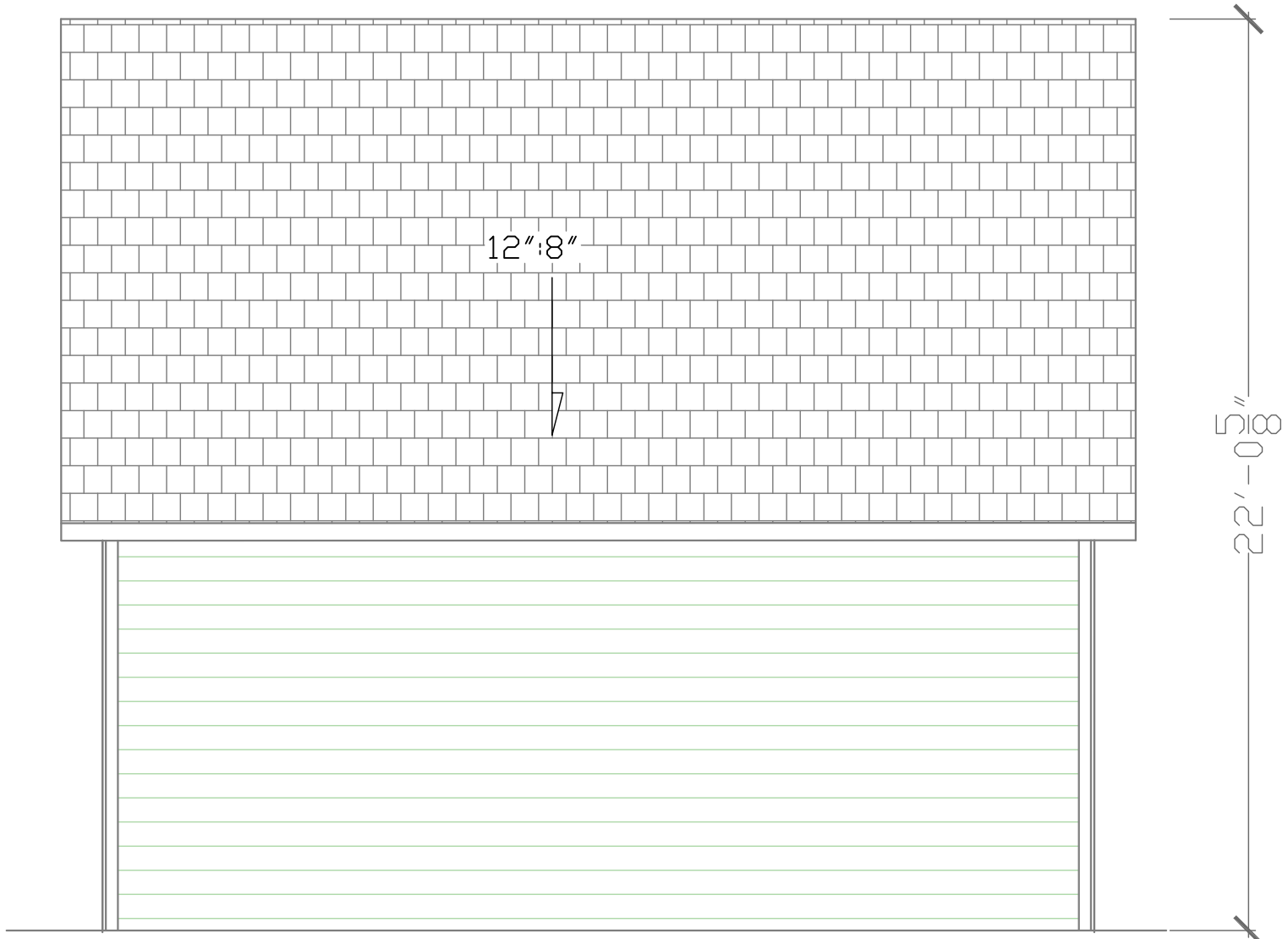
FRONT ELEVATION
SCALE: 1/4"=1'



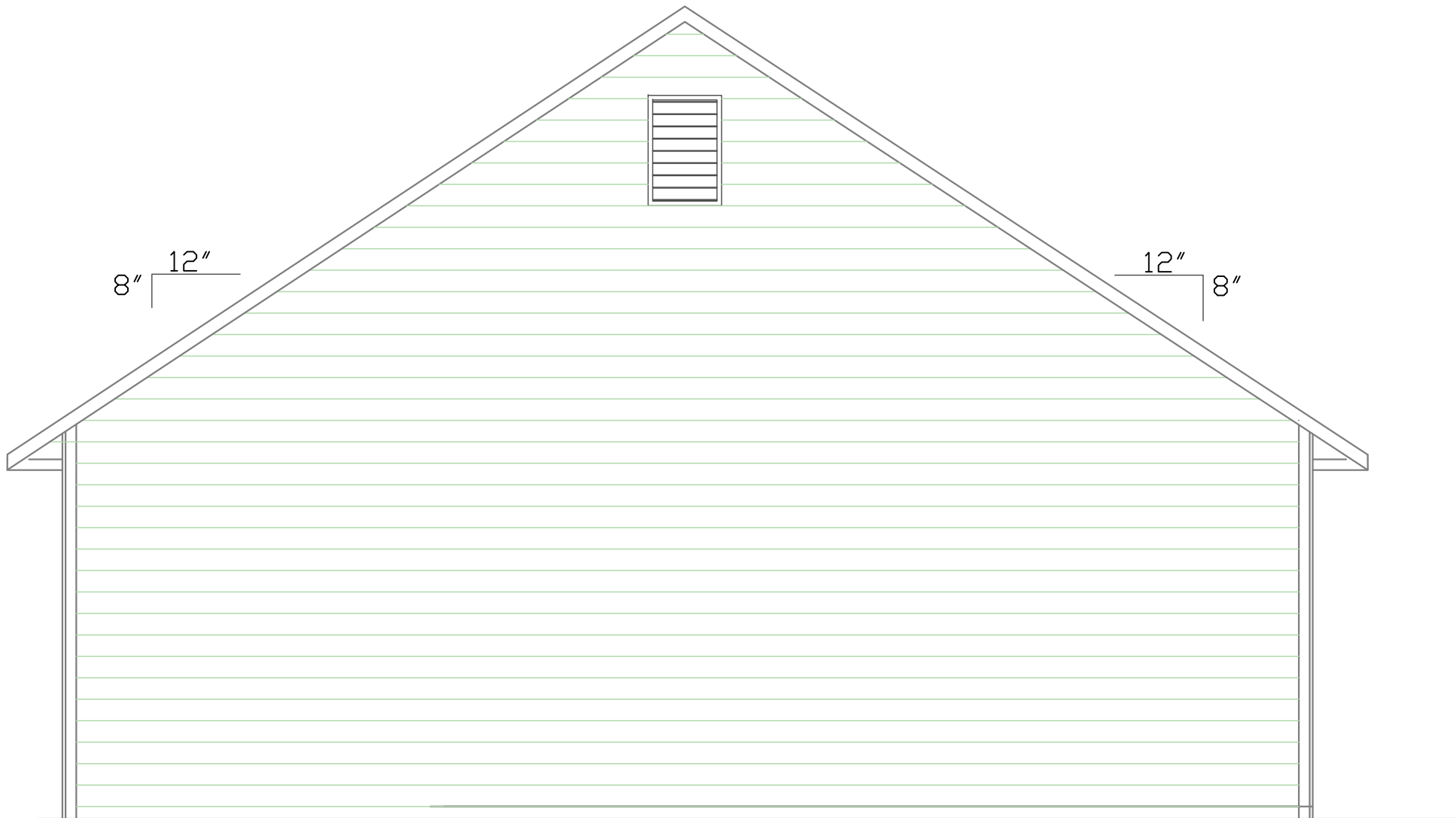
RIGHT ELEVATION
SCALE: 1/4"=1'



GARAGE ROOF PLAN
SCALE: 1/4"=1'



LEFT ELEVATION
SCALE: 1/4"=1'



REAR ELEVATION
SCALE: 1/4"=1'

LVL FLOOR LOAD TABLE (PLF)

		3 1/2"										
SPAN	LOAD	7 1/4'	9 1/4'	9 1/2'	11 1/4'	11 3/8'	14"	16"	18"	18 3/4'	20'	
6'	TL/LF											
8'	TL/LF	686										
9'-6"	TL/LF	349	1077	1162								
10'	TL/LF	285	931	1004								
12'	TL/LF	136	549	593	965	1125						
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20'	TL/LF	12	116	126	212	249	408	605	851			
24'	TL/LF		64	69	119	141	234	350	498	561	678	
28'	TL/LF			37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

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WITH GA. AMEDMENTS 2020
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WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

ATLANTIC BUILDING SPECIALTIES

OWNER:
MR. SAEID TAKALLOU

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

PROPOSED DETACHED
GARAGE ELEVATIONS

BY: A.K. CK:

DATE 05/11/2021

SHEET:

OF:

RELEASED FOR CONSTRUCTION



BMC East LLC
3386 Lawrenceville Hwy
Tucker GA 30084
770-934-1400

INVOICE

INVOICE DATE	INVOICE NUMBER
08/16/21	68355308-00
CUSTOMER P.O. NUMBER	ACCOUNT NUMBER
SCREEN	266913
TERMS	REFERENCE
NET10TH PROX	
DUE DATE	INVOICE TOTAL
09/10/21	76.02
PLEASE REMIT PAYMENT TO:	
BMC East LLC 4202 P.O. Box 404934 Atlanta, GA 30384-4934	

BILL TO:

TAKMIL LLC
1444 CAVE RD
ATLANTA, GA 30327

SHIP TO: 1547CAVE

1547 CAVE RD NW
ATLANTA, GA 30327

LINE NO.	QTY	U/M	PRODUCT AND DESCRIPTION	UNIT PRICE/EXT FOOTAGE	TOTAL
1	4.00	each	OE68355308-1 2846 BRONZE SCREEN	17.45	69.80
			TOTAL FOOTAGE	0.00	
			LINE SUBTOTAL		69.80
			TAX(ST: 4.00%: CNTY: 3.00%: CITY: 1.90%)		6.22
			ORDER TOTAL		76.02
Thank you for your business. In January 2021, BFS and BMC merged to create the premier supplier of building materials and services. Please note that you may receive two different invoices and/or statements from us, with two different remit addresses. We request that you make payments to the remit address listed on each specific statement and invoice. Making payments to the remit address listed on your invoice will ensure your payments are processed correctly and in a timely fashion.					
BMC.Billtrust.com is available 24/7/365 to view, print, and/or pay your balance online.					
					INVOICE TOTAL
					76.02

This invoice should be paid by the due date above. Finance charges will be assessed on past due balances. Claims, disputes, or requests for corrections to this invoice must be made in writing within 5 days of receipt of the invoice or they shall be waived. Non-stock items are non-refundable. A full set of our Terms and Conditions of Sale can be viewed on our website at www.buildwithbmc.com/bmc/s/master-sales-agreement.

TO VIEW YOUR BILL ONLINE GO TO: <http://bmc.billtrust.com>

USE THIS ENROLLMENT CODE: KTK DRP SQZ



BMC East LLC
3386 Lawrenceville Hwy
Tucker GA 30084
770-934-1400

INVOICE

INVOICE DATE	INVOICE NUMBER
08/16/21	68585706-00
CUSTOMER P.O. NUMBER	ACCOUNT NUMBER
wdw	266913
TERMS	REFERENCE
N10TH 25thCO	
DUE DATE	INVOICE TOTAL
09/10/21	7,368.96
PLEASE REMIT PAYMENT TO:	
BMC East LLC 4202 P.O. Box 404934 Atlanta, GA 30384-4934	

BILL TO:

TAKMIL LLC
1444 CAVE RD
ATLANTA, GA 30327

SHIP TO: 957BRIAR

957 BRIARCLIFF RD
957 BRIARCLIFF RD NE
ATLANTA, GA 30306

LINE NO.	QTY	U/M	PRODUCT AND DESCRIPTION	UNIT PRICE/EXT FOOTAGE	TOTAL
1	1.00	EA	DW2832HILE3180FPR DH WOOD WINDOW 2/8X3/2 SINGLE IG LE 366 4-9/16 FJ JAMB /*** WOOD SILL *** WM180 FJ PRIMED BM, 1 OPENING	222.06	222.06
2	3.00	EA	DW2852HILE3180FPR DH WOOD WINDOW 2/8X5/2 SINGLE IG LE 366 4-9/16 FJ JAMB /*** WOOD SILL *** WM180 FJ PRIMED BM, 1 OPENING	248.22	744.66
3	0.00	EA	DW3046HILE3180FPR DH WOOD WINDOW 3/0X4/6 SINGLE IG LE 366 4-9/16 FJ JAMB /*** WOOD SILL *** WM180 FJ PRIMED BM, 1 OPENING	257.64	0.00
4	2.00	each	OE68585706-4 2/10X5/2 SGL 1/1 LC: 4-9/16 JAMBS BM	317.77	635.54
5	1.00	each	OE68585706-5 2/10X5/2 TWIN 1/1 LC: 4-9/16 jambs bm 7" mulls 5-1/2" in the pocket	653.70	653.70
6	1.00	EA	SS2020HILE3 STAT SASH 2/0X2/0 IG LE 366	200.93	200.93
7	1.00	each	OE68585706-7 3/4X5/2 TRIPLE STAT UNIT LC: 5" MULL 3-1/2" IN THE POCKET 4-9/16 JAMBS BM 1/1	999.67	999.67
8	2.00	EA	SW3452HILE3180FPR STAT WDW, 3/4X5/2, SINGLE, IG LE 366, 4-9/16 FJ JAMB /*** WOOD SILL *** WM180 FJ PRIMED BM, 1 OPENING	285.52	571.04
9	2.00	EA	DW2852H2ILE3180FPR DH WOOD WINDOW 2/8X5/2 TWIN IG LE 366 4-9/16 FJ JAMB /*** WOOD SILL *** WM180 FJ PRIMED BM, 2 OPENINGS	472.01	944.02
10	4.00	PR	DS2852HILE3 WOOD DH SASH 2/8X5/2 IG LE 366 1/1	153.23	612.92
11	4.00	PR	WDH52TBHDW 5/2 HD INS. TILT BAL (VINYL) WHT W/SPRG CVR	41.44	165.76
12	0.00	each	OE68585706-12 2/7X3/5 STAT SASH	173.00	0.00
13	2.00	EA	DW2452HILE3180FPR DH WOOD WINDOW 2/4X5/2 SINGLE IG LE 366 4-9/16 FJ JAMB /*** WOOD SILL *** WM180 FJ PRIMED BM,	256.53	513.06



BMC East LLC
3386 Lawrenceville Hwy
Tucker GA 30084
770-934-1400

INVOICE

INVOICE DATE	INVOICE NUMBER
08/16/21	68585706-00
CUSTOMER P.O. NUMBER	ACCOUNT NUMBER
wdw	266913
TERMS	REFERENCE
N10TH 25thCO	
DUE DATE	INVOICE TOTAL
09/10/21	7,368.96
PLEASE REMIT PAYMENT TO:	
BMC East LLC 4202 P.O. Box 404934 Atlanta, GA 30384-4934	

BILL TO:

TAKMIL LLC
1444 CAVE RD
ATLANTA, GA 30327

SHIP TO: 957BRIAR

957 BRIARCLIFF RD
957 BRIARCLIFF RD NE
ATLANTA, GA 30306

LINE NO.	QTY	U/M	PRODUCT AND DESCRIPTION	UNIT PRICE/ EXT FOOTAGE	TOTAL
14	1.00	each	1 OPENING OE68585706-14 2/7X5/2 TWIN LC: 1/1 366 4-9/16 JAMBS BM	559.72	559.72
TOTAL FOOTAGE				0.00	
LINE SUBTOTAL					6,823.08
TAX(ST: 4.00%: CNTY: 3.00%: CITY: 1.00%)					545.88
ORDER TOTAL					7,368.96
Thank you for your business. In January 2021, BFS and BMC merged to create the premier supplier of building materials and services. Please note that you may receive two different invoices and/or statements from us, with two different remit addresses. We request that you make payments to the remit address listed on each specific statement and invoice. Making payments to the remit address listed on your invoice will ensure your payments are processed correctly and in a timely fashion.					
BMC.Billtrust.com is available 24/7/365 to view, print, and/or pay your balance online.					
					INVOICE TOTAL
					7,368.96

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USE THIS ENROLLMENT CODE: KTK DRP SQZ

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

BUILDING PERMIT APPLICATION

Date: 6/11/2021

Shaded area for office use Building Permit Number	Check Applicable Type: <input type="checkbox"/> Non-Residential <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Apartment <input type="checkbox"/> Condo Stack Flats <input type="checkbox"/> Condo Townhouse <input type="checkbox"/> Townhouse Fee Simple
--	--

PROJECT NAME / TENANT NAME / SUBDIVISION NAME Briarcliff road	LDP NUMBER	NUMBER OF UNITS 1
--	------------	----------------------

PROJECT ADDRESS 957 Briarcliff rd	City Atlanta	State GA	Zip 30306
Building #	Floor #	Apt #	Suite #
			Lot #

PROPERTY OWNER'S NAME Shawn Sohrebi			
Address 4025 weatherford circle Alpharetta GA 30009			
Phone 214-680-6861	Mobile	Fax	
Email Sohrebi500@yahoo.com			

APPLICANT <input type="checkbox"/> Property Owner <input type="checkbox"/> Tenant Leasing Commercial Space <input type="checkbox"/> Contractor <input checked="" type="checkbox"/> Authorized Agent <input type="checkbox"/> Architect/Engineer			
Applicant's Name Tiffany Buford			
Company Name Zenith & Buford			
Address P.O. Box 4351			
Phone 678.862.3872	Mobile	Fax	
Email tbuford1125@gmail.com			

CONTRACTOR <input type="checkbox"/> Property Owner <input type="checkbox"/> To Be Determined <input checked="" type="checkbox"/> State of Ga Licensed Contractor <input type="checkbox"/> Specialty Contractor			
Contractor's Name Ali Nia			
Company Name Atlantic Building Specialist			
Address 4455 Lower Roswell Suite 684173 Marietta GA 30068			
Phone 404.579.3400	Mobile	Fax	
Email absinco@gmail.com		Business License Number	
Individual / Authorized Agent's State License #		Company's State License #	

Type of Work: <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Fire Damage <input type="checkbox"/> Demo <input type="checkbox"/> Exterior Work <input type="checkbox"/> Driveway <input type="checkbox"/> Other		Estimated Cost \$ 80000
Please provide a full description of work: Finish existing basement w/ new bathroom and bedroom, main floor renovation plus new addition		
Construction Type: <input type="checkbox"/> IA <input type="checkbox"/> IIA <input type="checkbox"/> IIIA <input type="checkbox"/> IB <input type="checkbox"/> IIB <input type="checkbox"/> IIIB <input type="checkbox"/> IV <input type="checkbox"/> VA <input type="checkbox"/> VB		Occupancy Classification:

Total Square Footage Include only areas pertaining to this scope of work. This should be a combined total of all of the items below (if applicable). <u>5088</u>			
Finished Floor Area Primary Structure <u>3100</u>	Unfinished Area Attic _____	Garage _____	Outdoor Areas Deck _____
Finished Basement _____	Basement <u>1676</u>	Detached garages require separate permits	Porch _____
			Patio <u>312</u>

Indicate additional permits required to complete this job <input checked="" type="checkbox"/> Mechanical <input checked="" type="checkbox"/> Electrical / Low Voltage <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> Other <input type="checkbox"/> None	Is there a sprinkler system? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Sanitary Facilities <input type="checkbox"/> Septic <input checked="" type="checkbox"/> Sewer	Elevators <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
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# of Stories 3	# Total Rooms 12	# Bathrooms 4	# Kitchens/Restrooms 1	# Bedrooms 4
Exterior Finish Materials		Roofing Materials		

Setbacks: Front _____ Rear _____ Left _____ Right _____		Impervious Area (Square Feet) _____	Lot Size: _____ Easement: <input type="checkbox"/> Yes <input type="checkbox"/> No
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THIS SECTION IS FOR NON RESIDENTIAL APPLICANTS ONLY

ADULT ENTERTAINMENT ESTABLISHMENT means a business or establishment where persons, employees, or patrons appear nude or in such attire, costume or clothing as to expose specified anatomical areas or engage in specified sexual activities, including, but not limited to, adult bookstores, adult businesses, adult motion picture theaters; adult mini-motion picture theaters, adult motion picture arcades; adult video stores, erotic entertainment/dance establishments; escort bureaus, introduction services. "Adult entertainment establishment" shall not include a traditional or mainstream establishment, which means a theater, movie theater, concert hall, museum, educational institution, or similar establishment which regularly features live or other performances or showing which are not distinguished or characterized by an emphasis on the depiction, display, or description or featuring is incidental to the primary purpose of any performance.

Is this business an adult establishment as defined above by the DeKalb County Code, or does it offer any form of adult entertainment?

☐ Yes ☐ No

****Note: Only the Property Owner, Architect, Engineer, or General Contractor should sign this application. EXCEPTION: If a tenant is apply to move into a commercial space, the tenant may sign. Authorized Agents may also sign, when an Authorized Permit Agent Form is completed on behalf of a State of Georgia licensed contractor. Before signing, please carefully read the statements below.**

I, Shawn Shrebi, do solemnly swear that the information on this application is true, and that no false or misleading

statement is submitted herein to obtain a Building Permit or Certificate of Occupancy. I understand that if I provide false or misleading information in this application I may be subject to criminal prosecution and/or immediate revocation of any Building Permit or Certificate of Occupancy issued as a result of this application. I understand that I must comply with all County ordinances and regulations. I hereby agree to provide any clearance(s) and/or inspection report(s) required prior to the issuance of a Permit or Certificate of Occupancy.

I further agree that I shall be responsible from the date of this permit, or from the time of the beginning of the first work, whichever shall be earlier, for all injury or damage of any kind resulting from this work, whether from basic services or additional services, to persons or property. I agree to exonerate, indemnify and save harmless the County from and against all claims or actions, and all expenses incidental to the defense of any such claims, litigation, and actions, based upon or arising out of damage or injury (including death) to persons or property caused by or sustained in connection with any work performed under the Building Permit issued as a result of this application.

Signature _____

Total Minimum Fees \$245 (\$195 Minimum Permit Fee; \$50 Certificate of Occupancy or Certificate of Completion). Some commercial projects require Fire Review & Inspection Fees (\$100 Fire Life Safety Review; \$100 Fire Site Review; \$100 Fire Inspection). Please note that additional fees may apply depending on the type of permit being submitted. Please contact us at (404) 371-2155 for the calculation of fees or refer to our fee schedule located at www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

TREE ORDINANCE EXEMPTION CERTIFICATION

Section 14-39(c)(1) as adopted 2-9-99 and amended 12-14-99

Building permit # 3085090

Address 957 Briarcliff Rd Atlanta 30306

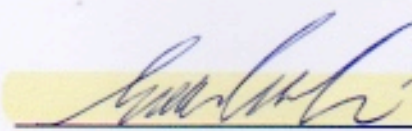
Tax Parcel I.D. _____

This Tree Ordinance Exemption Certification applies only to owners of single family residences making additions to existing homes or adding accessory structures, or constructing a new house for the owner's personal residence.

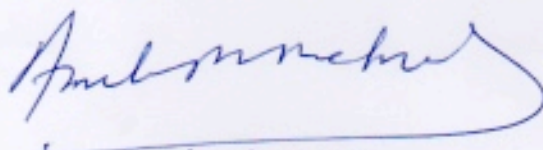
I, Shawn Sohrabi, the owner of the above property, hereby certify that the scope of construction as stated on this building permit will not require the removal of more than five (5) trees between the size of 8 inches in diameter at breast height (DBH) and 29 inches DBH.

I hereby certify that I have not removed more than five (5) trees between 8 inches DBH and 29 inches DBH in this calendar year. I fully understand that the removal of any trees pursuant to the above referenced building permit may require compliance with Section 14-39 of the Land Development Ordinance.

I fully understand that removal of any specimen overstory trees, 30" DBH and larger, or any specimen understory tree 10" DBH or greater is not permitted unless I have approval from the DeKalb County Arborist or the Zoning Board of Appeals. **Sec. 14-39(g) (8) f**


Owner's signature

9/24/2021
Date


9/24/2021



Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

ENVIRONMENTAL REQUIREMENTS FOR BUILDING PERMITS

The following environmental measures must be in place before permits will be issued.

1. Erosion control measures shall be adequate to protect saved trees on site, state waters, intermediate regional floodplain, drainage systems, required buffers, and adjacent properties, including county or state right-of-ways. ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL FINAL LANDSCAPING.
2. All required buffers and floodplains shall be clearly demarcated using sediment barriers and/or tree protection fencing. All state waters, buffers, and floodplains shall have a double row of type "C" silt fence along entire limits.
3. Tree protection fencing will be installed prior to any land disturbing activities, and maintained until final landscaping. No parking, storage, or other construction activities to occur within tree protection areas. Removal or damaged trees designated as save will result in a court summons and will require recompense with 4 inch caliper trees (number to be determined per incident).
4. Tree protection fence will be installed in such a way to adequately protect the critical root zone of all saved trees. Critical root zone means an area of root space that is within a circle circumscribed around the trunk of a healthy tree using a radius of one (1) foot per once (1) of a DBH. Exceptions to strict adherence may be made with prior approval from Environmental Plans Review & Inspections.
5. Prior issuance of the Certificate of Occupancy (CO), all disturbed areas will have a minimum of 90 vegetative cover using sod or other approved landscape materials. Coverage will be determined by viewing any square yard on site.
6. Site is to comply with the requirements of the tree ordinance. Cal (4047) 371-4913 for the Environmental Development Inspector at least 72 hours prior to requesting a Certificate of Occupancy.
7. No finished grade on the lot shall exceed 3:1 slope without prior approval.
8. No trash, building debris, or construction waste will be buried inadvertently on any building site.

I acknowledge that I have received and will comply with the requirements listed above, or a court summons and/or a stop work order can be issued.

SIGNATURE Shawn Sohryabi DATE 9/24/2021

PRINTED NAME Shawn Sohryabi

SITE ADDRESS 957 Briarcliff Rd

**STATE LICENSING BOARD FOR RESIDENTIAL AND GENERAL CONTRACTORS**

237 Coliseum Drive, Macon, GA 31217

478-207-2440

www.sos.ga.gov/plb**Authorized Permit Agent Form (ONE FORM PER PERMIT)**

This form may be used by a qualifying agent to designate an individual to obtain a permit on his/her behalf for a project for the qualifying company. The contractor should submit an original Authorized Permit Agent Form for each project for which he/she has designated an individual to pull permits. This designated individual shall further be identified as the authorized permit agent. This notarized form with an **ORIGINAL SIGNATURE (no copies or faxes accepted)**, a copy of the contractor's license, a copy of the contractor's company license, and a copy of the driver's license of the authorized permit agent is to be given to the permit office in the city or county in which the project is located. **DO NOT SEND A COPY OF THIS FORM TO THE BOARD OFFICE UNLESS REQUESTED.**

License verification by permitting office should be completed by visiting <http://verify.sos.ga.gov/verification>

Name of Qualifying Agent:	Shawn Sohrabi
Contractor License # (Attach a copy of license.)	
Name of Licensed Company:	
Company License # (Attach a copy of license.)	
Name of Authorized Permit Agent: (Attach a copy of driver's license.)	Tiffany Buford

PROJECT (an original form is required for each project):

Company listed on contract:	SP Star Investment
Property Owner's Name:	Shawn Sohrabi
Street Address:	4025 Weatherford Cir
Apartment or Suite #	
City, State, Zip:	Alpharetta GA 30009

I hereby designate the above listed Authorized Permit Agent to apply for and obtain the permit(s) for the project listed above. The undersigned, being licensed as a qualifying agent, do hereby affirm and swear, under oath, that all information on this form and on accompanying documents are true and correct.

Original Signature of Qualifying Agent (no copies or faxes accepted)

State of Georgia County of DeKalb

NOTARY SEAL

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE

27th DAY OF MAY, 2021

Yolanda Buford
NOTARY PUBLIC My Commission Expires:

