



Michael L. Thurmond
Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
330 Ponce De Leon Avenue, Suite 300
Decatur, GA 30030

October 13, 2021 at 1:00 PM

Planning Department Staff Analysis



D3 Case No: A-21- 1245150 Parcel ID(s): 18-054-06-001

Commission District 02 Super District 06

Applicants: Dave Price
 1595 Nottingham Way
 Atlanta, GA 30309

Owner: David and Elizabeth Finnerty Martin
 1136 Lullwater Road
 Atlanta, GA 30307

Project Name: 1176 Lullwater Road

Location: Property is located approximately 180 feet south east of the intersection of North Decatur and Lullwater Road.

REQUEST: Applicant requests variances from Chapter 27:

- 1) Section 5.2.5 (D) 2 to increase the elevation of the dwelling threshold from 874.2-feet to 883.1-feet, to construct a house.
- 2) Section 2.2.1 to reduce the south side yard setback from 8.5-feet to 5-feet, within the R-85 zoning district

Update:

Application was deferred from the September 9 ZBOA meeting to "allow the county time to clarify and report on the elimination of the floodplain and state waters buffer requirements." Staff received an updated "State Waters Determination Form" on Monday, October 4, 2021.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

STATE WATER DETERMINATION FORM

AP# 955316

FEE PAID: ☒ YES ☐ NO ☐ NO FEE APPLIED

Parcel I.D. Number: 18 054 06 001 Date: 09/02/2021
1176 LULLWATER RD, ATLANTA, GA 30307

Site Address: DAVID A. AND ELIZABETH F MARTIN

Property Owner/Requested By: DAVID MARTIN OWNER

Name/Title of Agent:

IF NOT OWNER, Requested By: 404 308 0071

Phone #: 1136 LULLWATER RD. ATLANTA, GA 30307

Address:

Type of Water Feature: Perennial Stream Site Visited By: B. Ford

☐ River ☒ Stream ☐ Creek ☐ Branch ☐ Lake ☐ Reservoir ☐ Pond ☐ Drainage System ☐ Spring ☐ Well

Is there flow? ☒ Yes ☐ No (if yes) ☒ Surface ☐ Subsurface

Is there wrested edge vegetation? ☒ Yes ☐ No Yes, however, a small portion of south bank lacks wrested vegetation due to rock wall

Is there a defined channel? ☒ Yes ☐ No Yes, defined channel.

Is it confined entirely on owner's property? ☐ Yes ☒ No Stream crosses under road. Property boundary not marked in field.

Are hydric soils present? ☐ Yes ☐ No

Is wetland vegetation present? ☐ Yes ☐ No

Final Determination: ☒ State Waters Yes
☒ Buffers Required Yes, state and county buffers required.
☐ No State Water observed

Comments: Former County employee Greg Hubbard classified this stream as not having a buffer on May 15, 2019, due to presence of "concrete/rock wall" and required 10' drainage easment.

As noted above, rock wall exist on a small portion of stream bank. Therefore, 10' drainage easement should be maintained along portion stream with a rock wall and state/county buffers exist on all other portions.

****This form is only good for 12 months from Date Site Visited. Date Site Visited must be within 6 months of any Land Disturbing Activity Permit Application**



GKH Environmental Consulting

specializing in regulatory compliance and reporting

STATE WATER DETERMINATION FORM

Parcel I.D. Number: _____ Date: 9/24/21

Site Address: 1176 Lullwater Rd., Decatur, GA 30307

Property Owner Name: David Martin

Name/Title of Agent: Peggy Hibbert (Realtor)

IF NOT OWNER, requested by: _____

Phone Number: (404) 308-0071 Email: david@basismedical.com

Your Address: 1595 Nottingham Way, Atlanta, GA 30309

=====
Type of Water Feature: Creek Site Visited By: Gregory K. Hubbard

☐ River ☐ Stream ☒ Creek ☐ Branch ☐ Lake ☐ Reservoir ☐ Pond ☐ Drainage System ☐ Spring ☐ Well

Is there flow? ☒ Yes ☐ No If yes: ☒ Surface ☐ Subsurface

	Y	N	Comments
Is there wretched edge vegetation?		✓	Rock-lined channel
Is there a defined channel?	✓		
Is it confined entirely on owner's property?		✓	
Are hydric soils present?	✓		
Is wetland vegetation present?		✓	Ivy covering rock wall

Final Determination	Comments
<input type="checkbox"/> State Water	
<input type="checkbox"/> Buffers Required	
<input type="checkbox"/> No State Water Observed	
<input checked="" type="checkbox"/> State Water, No Buffer	Rock-lined channel
<input type="checkbox"/> Concrete-lined	

Comments: This property has been approved for construction by DeKalb Historical District. Plans have been submitted to DeKalb County Planning & Development Dept. There are no buffers on rock-lined channels. Owner requests State EPD input. Pictures attached.

*** THIS FORM IS ONLY GOOD FOR 12 MONTHS FROM THE DATE SITE VISITED. DATE SITE VISITED MUST BE WITHIN 6 MONTHS OF ANY LAND DISTURBING ACTIVITY PERMIT APPLICATION. ***







DeKalb County Department of Planning & Sustainability

Hon. Michael Thurmond
Chief Executive Officer

Andrew Baker, AICP,
Director

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. _____

Applicant and/or
Authorized Representative Dave Price - Price Residential Design

Mailing Address: 1595 Nottingham Way

City/State/Zip Code: Atlanta, Georgia 30309

Email: dave@priceresidentialdesign.com

Telephone Home: 404-245-4244 Business: 404-245-4244

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: David Martin and Elizabeth Finnerty Martin

Address (Mailing): 1136 Lullwater Road Atlanta, Georgia 30307

Email: _____

Telephone Home: _____ Business: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 1176 Lullwater Road City: Atlanta State: GA Zip: 30307

District(s): 18 Land Lot(s): 2 Block: 13 Parcel: 18 054 06 001

Zoning Classification: R-85 Commission District & Super District: D:2 SD:6

CIRCLE TYPE OF HEARING REQUESTED:

- ☒ **VARIANCE** (From Development Standards causing undue hardship upon owners of property.)
- ☐ **SPECIAL EXCEPTIONS** (To reduce or waive off-street parking or loading space requirements.)
- ☐ **OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.**

*** PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS. ***

TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT:

Date Received: _____ Fee Paid: _____

ZONING BOARD OF APPEALS APPLICATION

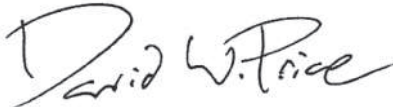
AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 8-5-2021

Applicant: 
Signature applicant, representing owner

DATE: _____

Applicant: _____
Signature



DeKalb County
GEORGIA

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals
to inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the
Zoning Board of Appeals for the requests as shown in this application

DATE: 8-5-2021

Applicant/Agent:
Signature

David W. Price

TO WHOM IT MAY CONCERN:

(I/ (WE) David Martin / Elizabeth Finnerly Martin
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to:
David Price of Price Residential Design

Julie J. Waller
Notary Public



H. D. M.
Owner

Julie J. Waller
Notary Public



Elizabeth Finnerly Martin
Owner

Notary Public

Owner

Price Residential Design
1595 Nottingham Way Atlanta, Georgia 30309
dave@priceresidentialdesign.com
404-245-4244

August 5, 2021

Zoning Board of Appeals
DeKalb County Planning and Sustainability Department
330 W. Ponce de Leon Avenue -- Third Floor
Decatur, GA 30030

RE: 1176 Lullwater Road - Request for Variance from DeKalb County Zoning Ordinance Section 27-2.2.1 Dimensional Requirements to reduce the south side yard setback from 8.5' to 5' and, Section 27-5.2.5(D)(2) to increase the elevation of the dwelling threshold from 874.2' (average natural grade at 35' front setback - setback averaging does not apply on this lot) to 883.1' elevation for this vacant lot.

Dear Board members and staff:

We believe this request conforms to the criteria set forth in code and ask that the Board grant relief in this unique case.

(1) by reason of exceptional narrowness, shallowness, or shape of a specific lot, or by reason of exceptional topographic and other site conditions (such as, but not limited to, floodplain, major stand of trees, steep slope), which were not created by the owner or applicant, the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district.

The lot slopes steeply from south to north with a flood hazard area (Base Flood Elevation of 870.7) along the rear and northern side to create a buildable area which narrows considerably as you move towards the rear of the lot. It is a vacant conforming lot and is located in the Druid Hills Historic District and therefore new construction is limited to what is considered an appropriate size and location by the DeKalb County Historic Preservation Commission per its guidelines. The DeKalb County Tree Protection Ordinance also prohibits the removal of any trees from the flood hazard zone per Section 14-39(g)(10) with some exceptions (we must remove one pine tree infested with termites). The exceptional topography was not created by the owners and these variances are the only method of allowing a new single-family home appropriate to the Historic District.

(2) the requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.

The variance does not constitute a grant of special privilege or go beyond the minimum necessary to afford relief because the HPC guidelines 7.2 require that any new home must be consistent with the other properties in the district, including having a consistent building orientation, setback, directional emphasis, shape, massing, proportion, and scale to maintain the rhythm along the streetscape. The project was approved on July 19th, 2021, by the HPC based on the attached site plan, which creates the largest possible front setback, to align as closely as possible with the neighboring property's setback while also having the same orientation (slightly skewed versus the lot line) as the neighbor. The front left corner of the house will be 7.5' from the property line so it will only get close to the 5' proposed setback at two points. The threshold elevation will simply bring us into the pattern with the other existing properties along Lullwater Road. The existing southern neighbor's threshold elevation is 885.8', ours is proposed to be 883.1', and the elevation at the existing public sidewalk at future driveway is 881.5'. The grade along Lullwater Road drops slightly as you go north so the proposed threshold is in line with the existing pattern.

(3) the grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.

The granting of the variance would not be detrimental to the public welfare or injurious to the surrounding properties because, while we are closer than 8.5' to the lot line, a five-foot setback will be far enough from the property line to avoid any special fire separation considerations as per IRC section R302. Also, we are to the north of our only neighbor on Lullwater Road, so there will be no loss of sunlight to the neighbor's vegetation due to the proposed construction.

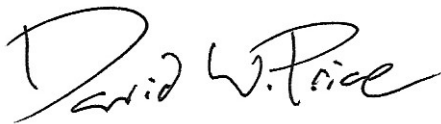
(4) the literal interpretation and strict application of the applicable provisions or requirements of this Chapter would cause undue and unnecessary hardship.

The literal interpretation and strict application of the Zoning Ordinance would cause undue and unnecessary hardship because the flood hazard area has a BFE of 870.7, which county officials have told us we must be 3' above with our lowest floor, the garage. With a garage ceiling height lowered to the lowest possible, at 7.8', while still allowing the track of an overhead garage door, the lowest main floor threshold possible on this lot is 883.1'. This threshold elevation is consistent with the pattern along Lullwater Road. If a full 8.5' side setback is required, we would be changing either the massing/scale/proportion of the proposed and HPC-approved home or moving it closer to the street where the buildable area gets slightly wider, against HPC guideline for consistent front setback, or removing trees within the floodplain by moving the structure north, which is expressly prohibited by code except in specific exceptions. The only method of complying with the multiple layers of regulations which govern this specific lot is this request for modest relief from the Zoning Code.

(5) the requested variance would be consistent with the spirit and purpose of this chapter and the DeKalb County Comprehensive Plan text.

The requested variance would be consistent with the spirit and purpose of this chapter and the DeKalb County Comprehensive Plan text since the purpose of the variance process is to encourage flexibility when dealing with odd or non-conforming existing conditions which occasionally occur. Both proposed variances are modest and will allow a project consistent with the existing pattern on Lullwater Road as encouraged both by the goals of the Historic Preservation Commission and the DeKalb County Comprehensive Plan.

Thank you for your consideration,

A handwritten signature in black ink that reads "David W. Price". The signature is written in a cursive, flowing style.

David W. Price, Applicant

CERTIFICATE OF APPROPRIATENESS

July 20, 2021

Site Address: 1176 LULLWATER RD
ATLANTA, GA 30307-

Parcel ID: 18-054-06-001

Application Date:

Applicant: Dave Price

Mailing Address: 1595 Nottingham Way
Atlanta, Georgia 30309

THIS IS TO ADVISE YOU THAT THE DEKALB COUNTY HISTORIC PRESERVATION COMMISSION, AT ITS REGULARLY SCHEDULED PUBLIC MEETING ON July 19, 2021, REACHED THE FOLLOWING DECISION ON THIS APPLICATION:

ACTION: Approval

1. Build a new house on a wooded lot. The house will be a two-story Colonial Revival-style house with an attic and basement. The basement will be aboveground at the rear and right side. The house will be clad with brick, except for the granite front terrace and basement level, and cement-fiber lap siding in the gables, on the dormers and on the rear wing. The roof will be side-gabled with three gabled dormers on the front roof slope. The roof will be clad with fiberglass shingles. The front entry portion of the terrace will have a hipped roof supported by tapered columns. An arched opening on the front of the basement level will lead to a one-car garage door set back more than 8' behind the front façade. A wooden deck and screened porch will be at the rear of the house. All windows will be wood with simulated divided lights.
2. A 10'3" wide concrete driveway will enter at the southeast corner of the lot and curve across to the basement level garage. A turnaround will be installed at the curve in the driveway. The distance between the end of the turnaround and the opposite side of the driveway will be 23'. A 1.5' high boulder wall will be installed along a portion of the driveway near the house. A 4' wide walkway will run from the driveway to the front terrace.
3. Ten trees will be removed. Two 3"-5" American beech trees will be planted in the front yard. Naturalistic plantings of native shrubs will be installed beside the sidewalk and flanking the driveway near the house.
4. The south side setback of 5' will require a zoning variance from the required 8.5'. The commission notes that other county departments may require further study of the floodplain and stream buffer.

DeKalb County Historic Preservation Commission

Monday, July 19, 2021- 6:00 P.M.

Staff Report

New Construction Agenda

R. 1176 Lullwater Road, Price Residential Design. Build a new house on a wooded lot. 1245085

Undeveloped. (18 054 06 001)

This property is in the Emory Grove National Register Historic District and Emory Grove Character Area.

7-18 1176 Lullwater Road (DH), John Carpentier. Comment only on a proposed house location. 1235073 For comment only

This lot was split off from the original lot (to the north) in 1993 or 1994. It has never been developed and is heavily wooded. It is much smaller than other lots in the area.

The buildable area is restricted by topographical problems. A small stream runs across the rear of the property and diagonally away from the property on the north side. The grade on the south (left) side of the lot is the same as that of the adjacent house, but then drops off to the right and drops off steeply to the rear. A portion of the property is in the floodplain. While this limits development, it does not prohibit it. The stream runs **between stone walls ("seawalls")**. **Because of these walls, the county and the Georgia Environmental Protection Division** have determined that a stream buffer is not required. Staff recommends the commission **accept EPD's determination and not require the 75' setback set out in the Design Manual**. The State Waters Determination is included in the application material on pages 16 and 17.

The **grade drops about 7' from the left front corner of the unbuildable area to the right front corner**. **The adjacent house, 1166 Lullwater, is set back about 93' from the right-of-way**. The setbacks of nearby houses on Lullwater are all more than 93', with those across the street all over 100'. The next house on the north side faces North Decatur Road and its rear is about 130' from the proposed building site.

Summary

Applicant proposes to build a new house on a wooded lot. Although this lot has some atypical characteristics, the owner has the right to build on it.

Part of the left side of the house will be screened from the right-of-way by the neighboring house, while the north side will be visible only from a limited area because of the screening provided **by the neighbor's** evergreen hedge along the sidewalk.

1. The applicant states the proposed location will minimize grading and tree loss. The location will maximize the use of the topography, as there are few flat areas on the lot. The applicant has submitted a state water determination form that states no buffer is required, due to the concrete/brick wall along the stream. The house will be set back 75 feet from the right-of-way and **13' closer to the street** than the adjacent house. The house **will be set 5' from the property line** on that side. It adheres closely to the south side property line to make the best of the topography.

The side setback will require a variance from the 8.5' required by the zoning code. The side of the house **will be just over 37' from the side of the neighbor's house.** **The first floor (FFE) will be 2' lower than that of the neighbor.**

2. The house will be a two-story Colonial Revival house with an attic and basement. The basement will be above ground at the rear. The house will have a side gabled roof which will be clad with fiberglass shingles and will have a chimney on the north elevation. A hipped-roof dormer will be set into the center of the roof on the front elevation. (Applicant has also provided an elevation with three gabled dormers, but he prefers the hipped gable.) A cornice with dentils will extend from the front elevation to both side elevations.

Most of the house will be clad in brick in a running bond pattern. The front porch/terrace, garage entry, and front foundation will be clad with granite. Both gables and the projecting wing at the rear will be clad with cement fiber lap siding. All windows will be wood with simulated divided lights. Most will be double-hung sash with 6/6 or 4/4 light patterns. There will also be some casement and fixed windows, mostly on the sides and rear. The roof will be clad with fiberglass shingles.

The windows on the front will be spaced evenly across the façade. Those on the first floor will have decorative cast stone lintels. The window above the front entrance will be paired, six-light casement windows. A terrace will run across the front of the facade, becoming a screened porch at the right end. The deck of the terrace will be seven steps above grade at the entry, with the slope rising to the left. A metal railing will be installed between the piers on the front of the porch, but is not shown in the drawing. The front entrance will have a hipped roof, with a dentil cornice and tapered columns. An arched opening beneath the screened porch will lead to a one-car garage door set back **a little more than 8' behind the front façade.**

A wooden deck will be set at the rear of the house. The deck will be on the first floor and a screened porch will be beneath it on the basement level.

3. A **10'3" wide** concrete driveway will enter the parcel at the high point of the lot, in the southeast corner. The driveway will curve across the front of the lot to the basement level garage at the northeast corner of the house. The grade to the left will be higher as the driveway approaches the garage so a 1.5' high boulder wall will retain the soil. At the curve in front of the garage the driveway will widen and extend into a turnaround with a curb at the outer end. The applicant says the distance from end of the turnaround to the boulder wall on the opposite side of the driveway **will be about 23'.** **He says this is too small to park a car and still leave room for another car to pass.** The garage will have a one-car wide entry, but room to park at least two cars inside. **A 4'** wide sidewalk will run from the driveway to the front terrace.
4. A tree evaluation report by an arborist is in the application material on pages 12 through 15. The tree plan shows 28 existing trees on the site including 8 specimen-sized trees. The applicant proposes removing 10 trees (1,7,10,11,12,13,14,15,22,23 in the tree evaluation) three of which

are specimen trees (1,12,13). Two of the specimen trees (1 and 12) are unhealthy, based on the submitted documentation. The third specimen **tree to be removed is a 41" dbh beech** near the high point of the property. The applicant proposes planting two new 3"-5" American beech trees in the front yard.

5. The end of the **neighbor's all evergreen hedge extends a short distance onto the** property. The applicant says he intends to retain it. He also proposes installing naturalistic plantings of either native shrubs in areas beside the sidewalk and flanking the driveway near the house. The purpose of the first (A on the site plan) is to provide screening for the house and the second (B on the site plan) is to screen the garage entry.

Recommendation

1. Approve. Due to the topography of the lot, this appears to be the most appropriate location for construction of a house (7.3.2.).
2. Approve with the condition that the dormers be the provided design of three, gable-roofed dormers as they are more appropriate than the central, hipped roof gable. The height of the house is appropriate as it uses the topography to minimize the scale of the building. It is consistent with the dominate pattern of scale in the area and appears to conform to the heights of existing structures in the area of influence (7.2.7). The proposed design also appears to comply with the guidelines regarding massing (7.2.4), proportion (7.2.5) and rhythm (7.2.6). The architectural details, including the dentils and materials support the Colonial Revival style of the building (6.1.2 and 7.2.8). The proposed new construction is also compatible with the design patterns of its historic neighbors, including building orientation, setback, height, scale, and massing (7.3.2).
3. Approve. Due to the topography of the site, the front of the house is the only reasonable location for a garage. When front yard parking is necessary, it should be added in a manner that does not destroy the unbroken landscaped character of the front yard spaces in Druid Hills. This is accomplished by the construction of the basement level garage, which will not distract from the overall design of the district (9.5). For a similar historic design, see the house around the corner at 1526 N Decatur Rd.
4. Approve. These materials are commonly found throughout the area of influence and are appropriate (6.1.1 and 6.1.2).
5. Approve.

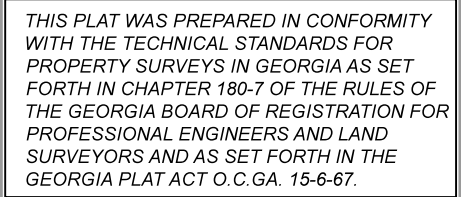
Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features.
- 6.1.1 *Exterior Materials* (p50) Guideline - Original masonry should be retained to the greatest extent possible without the application of any surface treatment, including paint. Repointing of mortar joints should only be undertaken when necessary, and the new mortar should duplicate the original material in composition, color, texture, method of application, and joint profile. Repaired joints should not exceed the width of original joints. The use of electric saws and hammers in the removal of old mortar is strongly discouraged as these methods can seriously damage adjacent bricks.
- 6.1.1 *Exterior Materials* (p51) Guideline - Original stucco should be retained to the greatest extent possible without the application of any surface treatment including paint. Stucco facing requires periodic maintenance and should be repaired with a stucco mixture that matches the original material in both appearance and texture.



0' 30' 60' 90'

GRAPHIC SCALE
1"=30'



APPROXIMATE LIMITS OF FUTURE 100 YEAR FLOOD HAZARD
AREA PER DEKALB COUNTY GIS MAPS. ELEVATION = 870.7

CLOSURE STATEMENT

LEGEND

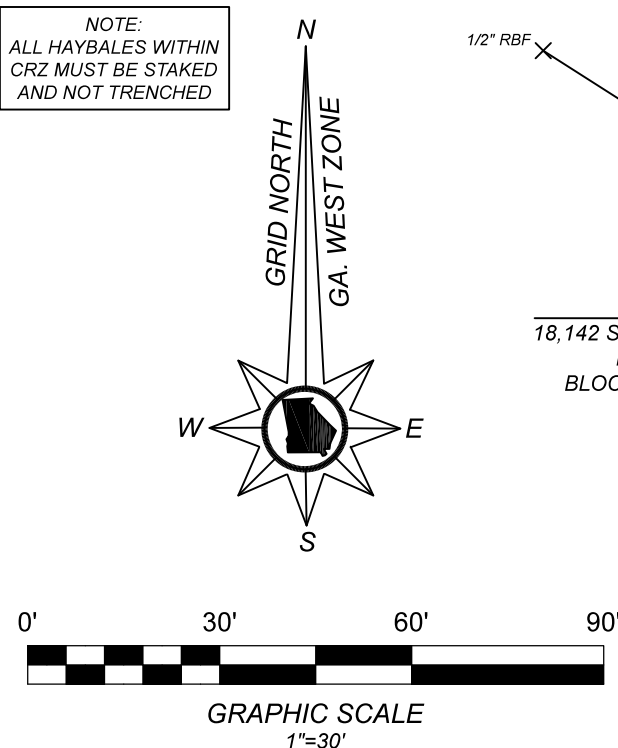
DATE: OCTOBER 25, 2016		ISSUE	
SCALE: 1" = 30'	NO.	DESCRIPTION	DATE
ACREAGE: 0.4165	R-1	REVISE TREES	6/29/21
LAND LOT(S): 2	R-2	REVISE TREES	8/5/21
DISTRICT: 18th			
CITY:			
COUNTY: DEKALB STATE: GEORGIA			
SURVEYED: MAF DRAWN: MWR			
CHECKED: WGH APPROVED: CAM			
PROJECT #: 16-257			

1176 LULLWATER ROAD

The seal is circular with a double-lined border. The outer ring contains the text "GEORGIA" at the top and "A. MCGAUGHEY" at the bottom, separated by two stars. The inner ring contains the text "REGISTERED" at the top and "LAND SURVEYOR" at the bottom. In the center, the text "No. 3174" and "8/5/21" are displayed, with a stylized signature or graphic element overlaid across them.

SHEET
1

OF
1



TOTAL IMPERVIOUS AREA: 3,601 S.F.
TOTAL LOT AREA: 18,142 S.F.
TOTAL PROPOSED LOT COVERAGE: 19.8% (35% max)

CONSTRUCTION NOTES:

1. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
2. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
3. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
4. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
5. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
6. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
7. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
8. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
9. A FINAL AS-BUILT LOT SURVEY IS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
10. THERE ARE WATER QUALITY DEVICES DESIGNED FOR THIS SITE.
11. DUMPSTERS AND OR TEMP. SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
12. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
- MONDAY - FRIDAY 7:00 AM - 7:00 PM
- SATURDAY 8:00 AM - 5:00 PM
13. I, CALER MCGAUGHEY CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS

TREE PRESERVATION CALCULATION:
COMPUTED USING ONLY TREES OUT OF FLOOD PLAIN
- DESTROYED - 9 TREES @ 57'0 units
- SAVED - 9 TREES @ 68'0 units
- DENSITY REQUIREMENTS 0.193 AC. * 15 UNITS/AC = 2.9 units
- REQUIRED: 2.9 units
NO ADDITIONAL UNITS REQUIRED
REQUIRED TREES TO REMAIN:
- SAVED - 9 TREES @ 159 INCHES
- SPECIMEN TREE REMOVED 1 @ 41 INCHES (1.5 x INCHES removed = additional 62 INCHES required)
120 INCHES DBH PER ACRE X 0.193 ACRES = 23 INCHES
62 INCHES + 23 INCHES = 85 INCHES (PROVIDED)
18 TREES X .25 = 5 TREES (PROVIDED)
0 PROPOSED TREE PLANTINGS AS PER ZONING
TREE PROTECTION FENCES IN ACCORDANCE WITH THE APPROVED PLAN MUST BE INSTALLED PRIOR TO STARTING LAND DISTURBANCE ACTIVITIES, AND MAINTAINED UNTIL FINAL LANDSCAPING.

NO LAND DISTURBING ACTIVITIES TO BEGIN PRIOR TO EROSION AND SEDIMENTATION CONTROL S AND TREE

TREE PROTECTION FENCES IN ACCORDANCE WITH THE APPROVED PLAN MUST BE INSTALLED PRIOR TO STARTING LAND DISTURBANCE ACTIVITIES, AND MAINTAINED UNTIL FINAL LANDSCAPING.

NOTE: TREE NUMBERS 2, 3, 5, 6, & 16 HAVE OVER 20% IMPACTION AND REQUIRE AN ARBORIST PRESCRIPTION

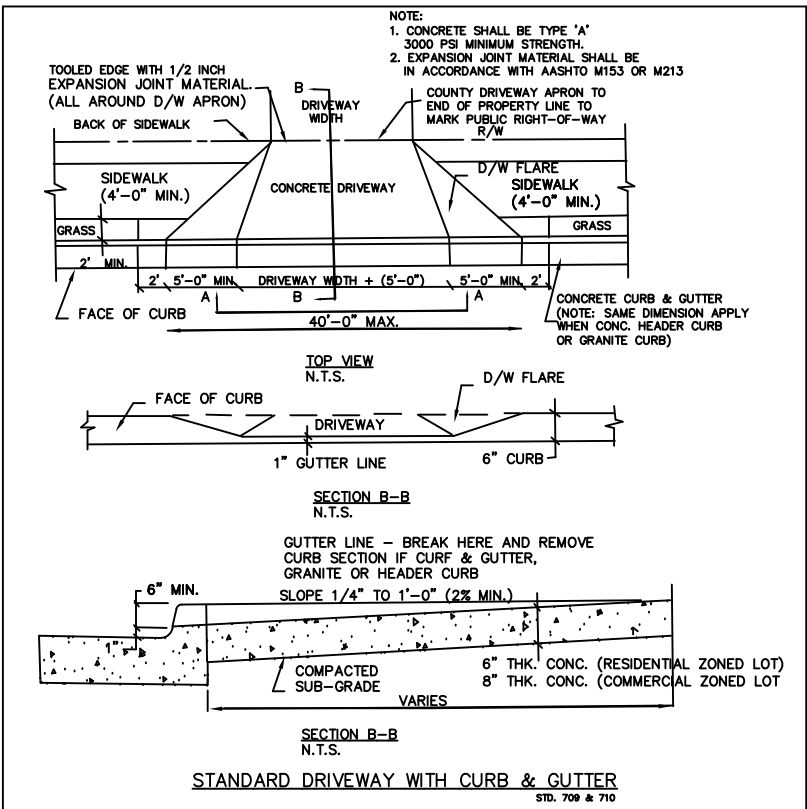
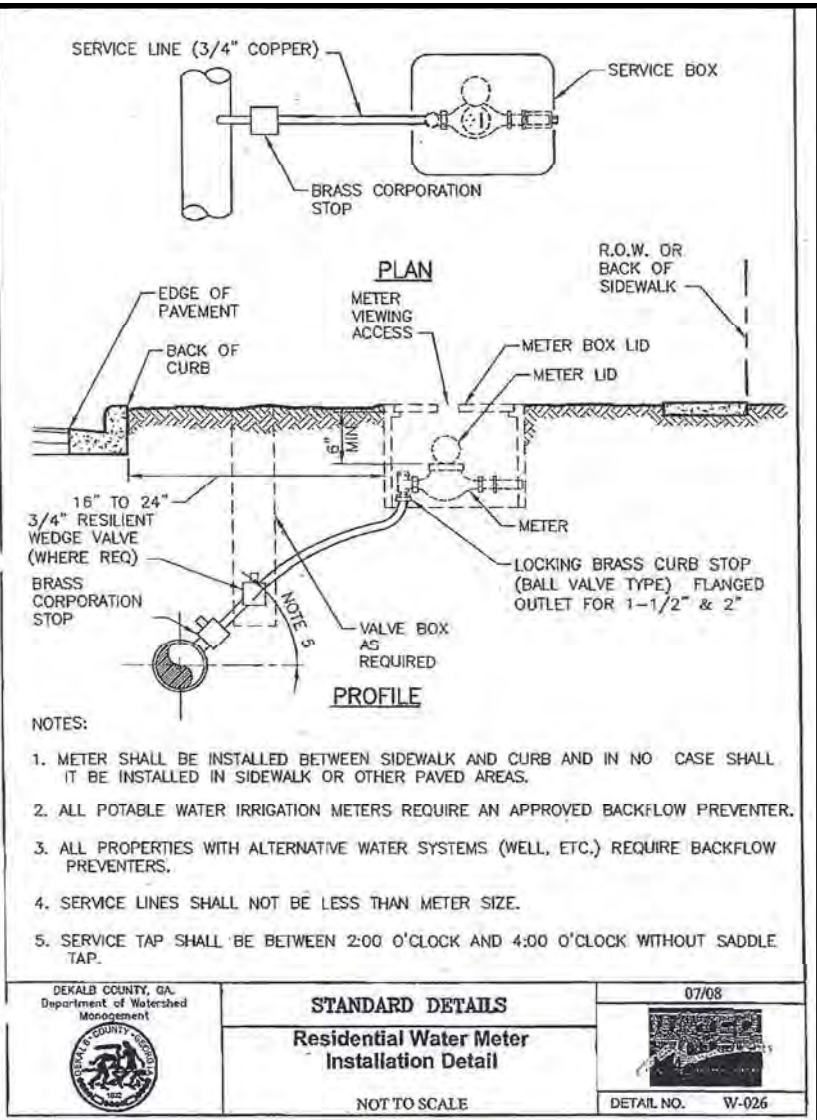
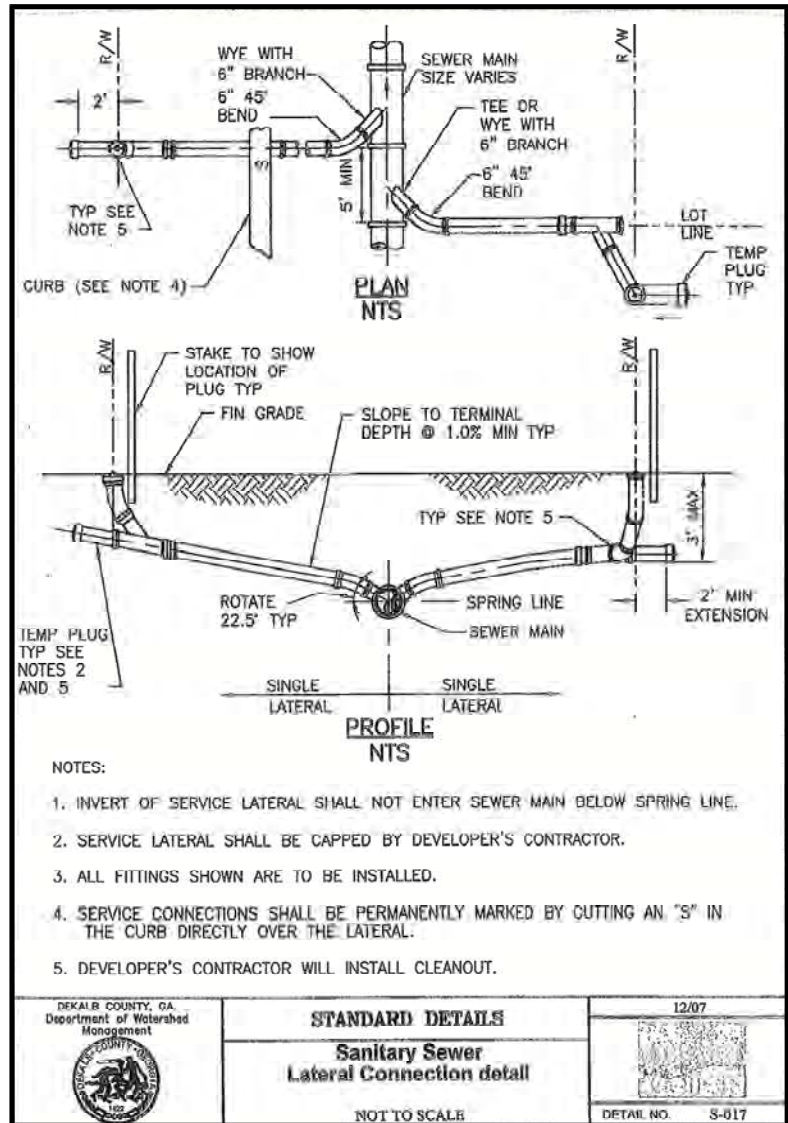
TREE NUMBER	SPECIES	CONDITION (GOOD, FAIR, POOR, DEAD)	DBH (INCHES)	DENSITY / UNITS	REMAIN / REMOVE	CRZ (FEET) (IF TREE IS TO REMAIN)	% IMPACT ON CRZ
1	WATER OAK	POOR	POOR (37)	DDH	REMOVE		
2	SWEET GUM	FAIR	24	6.0	REMAIN	24	24.7
3	ASH	FAIR	24	6.0	REMAIN	24	24.4
4	ASH	FAIR	18	4.8	REMOVE		
5	YELLOW POPLAR	GOOD	18	4.8	REMAIN	18	28.2
6	YELLOW POPLAR	GOOD	25	6.8	REMAIN	25	30.1
7	SWEET GUM	GOOD	15	4.0	REMOVE		
8	ASH	GOOD	N FLOOD		REMAIN	19	0
9	LOBLOLLY PINE	GOOD	N FLOOD		REMAIN	30	9.8
10	YELLOW POPLAR	GOOD	25	6.8	REMOVE		
11	YELLOW POPLAR	GOOD	12	3.2	REMOVE		
12	LOBLOLLY PINE	POOR	POOR (33)	DDH	REMOVE		
13	BEECH	GOOD	41	18.4	REMOVE		
14	HARDWOOD	GOOD	12	3.2	REMOVE		
15	HARDWOOD	GOOD	15	4.0	REMOVE		
16	LOBLOLLY PINE	GOOD	33	11.8	REMAIN	33	25.2
17	YELLOW POPLAR	GOOD	N FLOOD	4.0	REMAIN	13	1.3
18	HARDWOOD	POOR	N FLOOD	DDH	REMOVE		
19	YELLOW POPLAR	GOOD	N FLOOD	10.4	REMAIN	31	0
20	YELLOW POPLAR	GOOD	N FLOOD	8.6	REMAIN	28	0
21	TURLELO	GOOD	N FLOOD		REMAIN	24	9.8
22	LOBLOLLY PINE	GOOD	28	8.6	REMOVE		
23	YELLOW POPLAR	GOOD	15	4.0	REMOVE		
24	YELLOW POPLAR	GOOD	N FLOOD		REMAIN	53	14.7
25	PECAN	GOOD	N FLOOD		REMAIN	8	0
26	YELLOW POPLAR	GOOD	N FLOOD		REMAIN	24	0
27	YELLOW POPLAR	GOOD	N FLOOD		REMAIN	30	0
28	HARDWOOD	GOOD	N FLOOD		REMAIN	10	0
29	SWEET GUM	GOOD	OFF SITE		REMAIN	18	0
30	HARDWOOD	GOOD	OFF SITE		REMAIN	12	0
31	POST OAK	GOOD	OFF SITE		REMAIN	27	3.4
32	YELLOW POPLAR	GOOD	9	2.4	REMAIN	9	0
33	SWEET GUM	GOOD	9	2.4	REMAIN	9	0
34	SWEET GUM	GOOD	8	2.4	REMAIN	8	0
35	YELLOW POPLAR	GOOD	9	2.4	REMAIN	9	19.7
36	WATER OAK	POOR	POOR (11)	DDH	REMOVE		

TOTAL OUT OF FLOOD PLAIN= 18 TREES @ 125.0 units

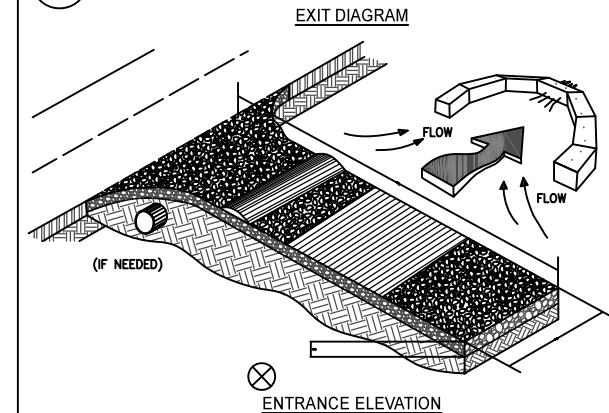
OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

Seal of the Georgia Land Surveyor, Registered Professional Surveyor No. 3174, dated 8/5/21, signed by A. McGAUGHEY.

SHEET
1
OF
2



CRUSHED STONE CONSTRUCTION EXIT



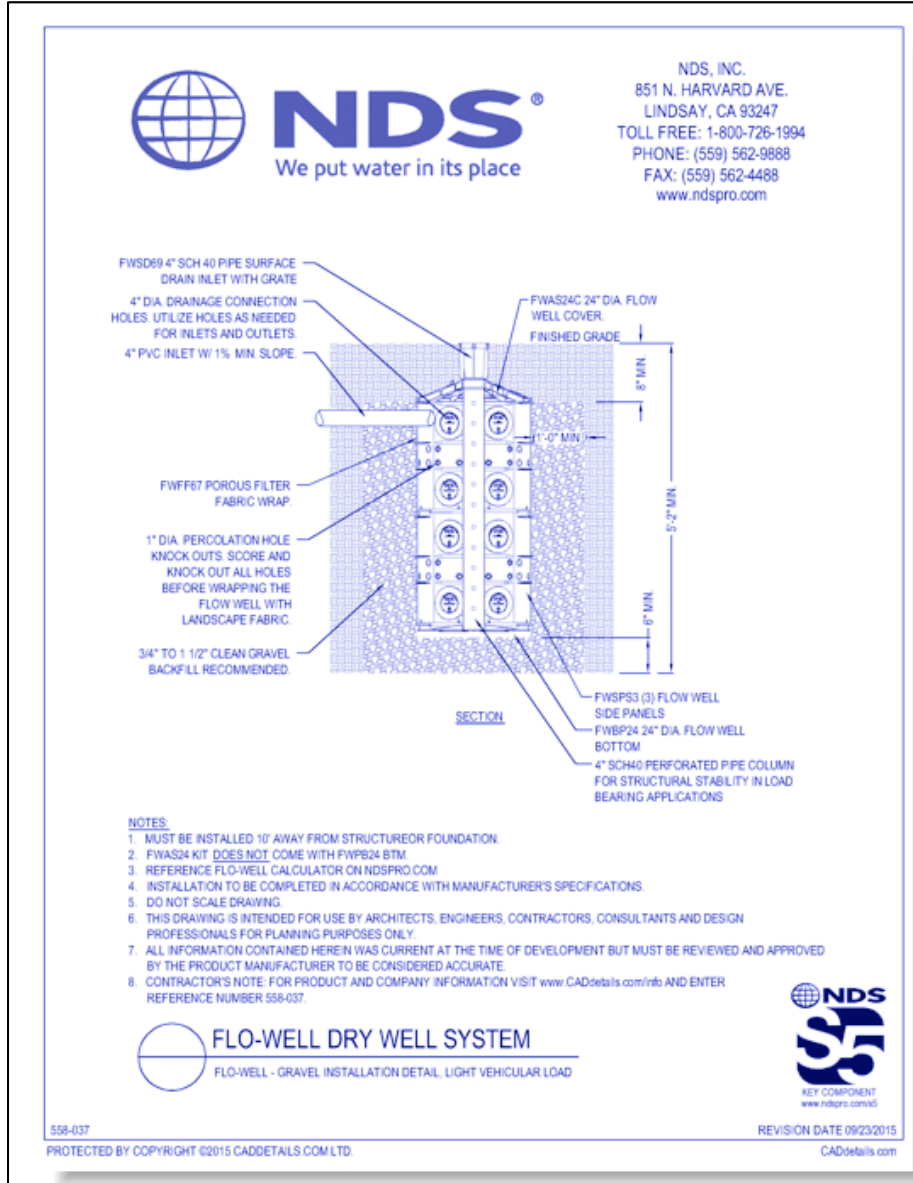
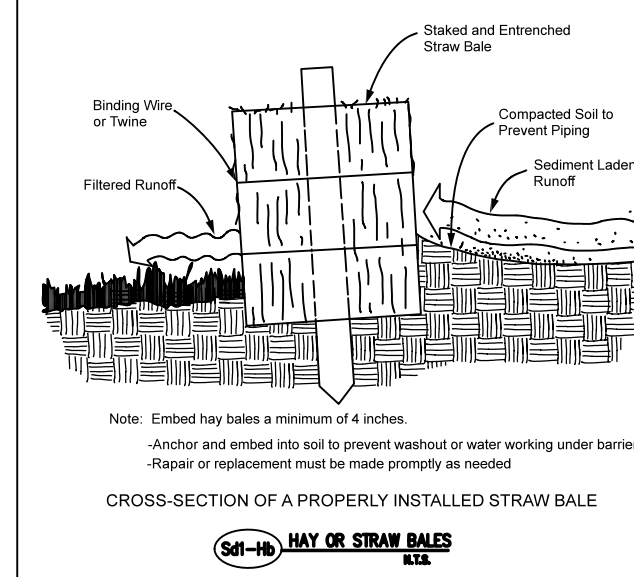
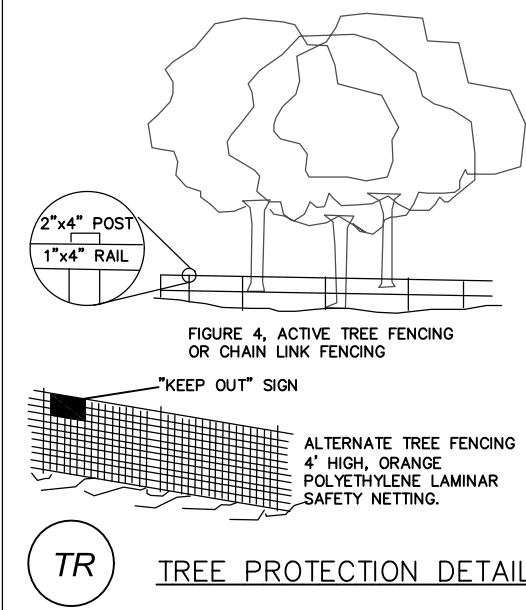
- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5\"/>

Ds1	Ds2
Ds3	Ds4

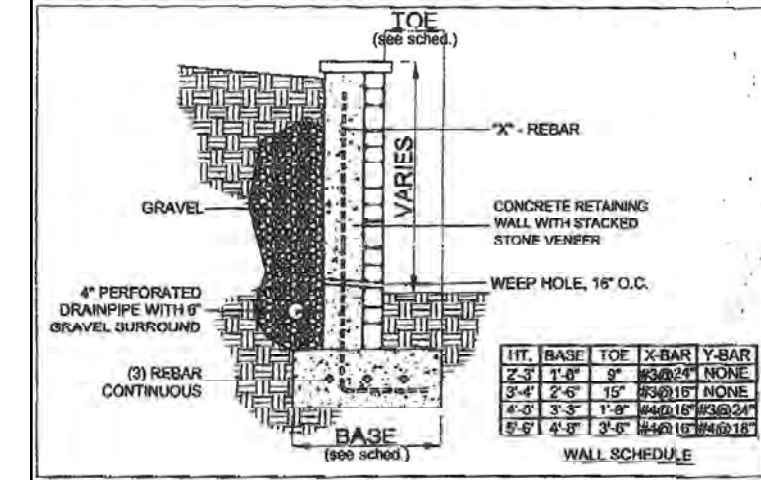
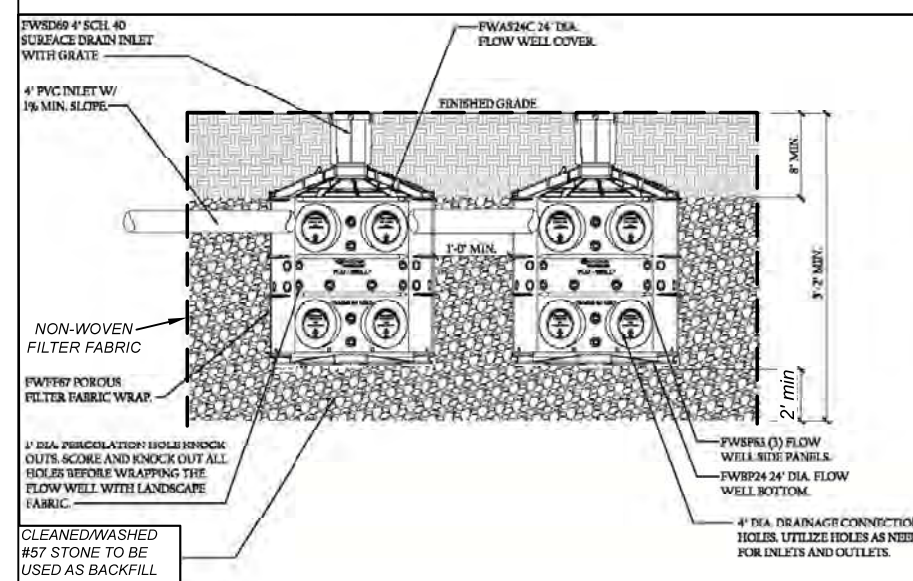
ON ALL DISTURBED AREAS

EROSION CONTROL SEDIMENT PRACTICES:

- Ds1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY). ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- Ds2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING). ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- Ds3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- Ds4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD). ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN ±5%, AND PLANNED WITHIN 36 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.



FLOW WELL - IN SERIES - MANUFACTURER'S SPECIFICATIONS



Step 1:

Enter the Square Feet of Drainage Area 1: (Ex. Roof)

3,601

Enter the Square Feet of Drainage Area 2: (Ex. Grass)

0

Step 2:

Choose the Coefficient of Runoff for Area 1: 1.0 (Concrete/Asphalt/Roof)

Choose the Coefficient of Runoff for Area 2: 0.35 (Grass)

Step 3:

Choose the 25 Year Rainfall: (see rainfall map). 2.25 in/hr

Step 4:

Enter the depth of the gravel backfill beneath the Flo-Well:

(Dimension A) 2 ft

Step 5:

Enter the thickness of the gravel backfill around the Flo-Well:

(Dimension B) 4.5 ft

Runoff	84.2 gpm
	0.19 cfs
Volume of water to be stored	2526 Gallons
	337.7 Cubic feet
# of Flo-Well's Needed	4
	2 DOUBLE STACK
Amount of Gravel Needed	26.18 Cubic yards
	706.86 Cubic feet

DATE: AUGUST 5, 2021

SCALE: 1" = 30'

ACREAGE: 0.4165

LAND LOT(S): 2

DISTRICT: 18th

CITY:

COUNTY: DEKALB STATE: GEORGIA

SURVEYED: MAF DRAWN: MWR

CHECKED: WGH APPROVED: CAM

PROJECT #: 16-257

NO.	ISSUE	DESCRIPTION	DATE

SITE PLAN FOR:

1176 LULLWATER ROAD

PART OF LOT 27C, BLOCK 13, DRUID HILLS S/D
LAND LOT 2, 18th DISTRICT, DEKALB COUNTY, GEORGIA
TAX PARCEL No. 18 054 06 001



LAND SURVEYOR

404-384-9577

GA LAND SURVEYOR, LLC

3355 ANNANDALE LANE, STE 1
SUWANEE, GA 30024

SHEET

2

OF
2

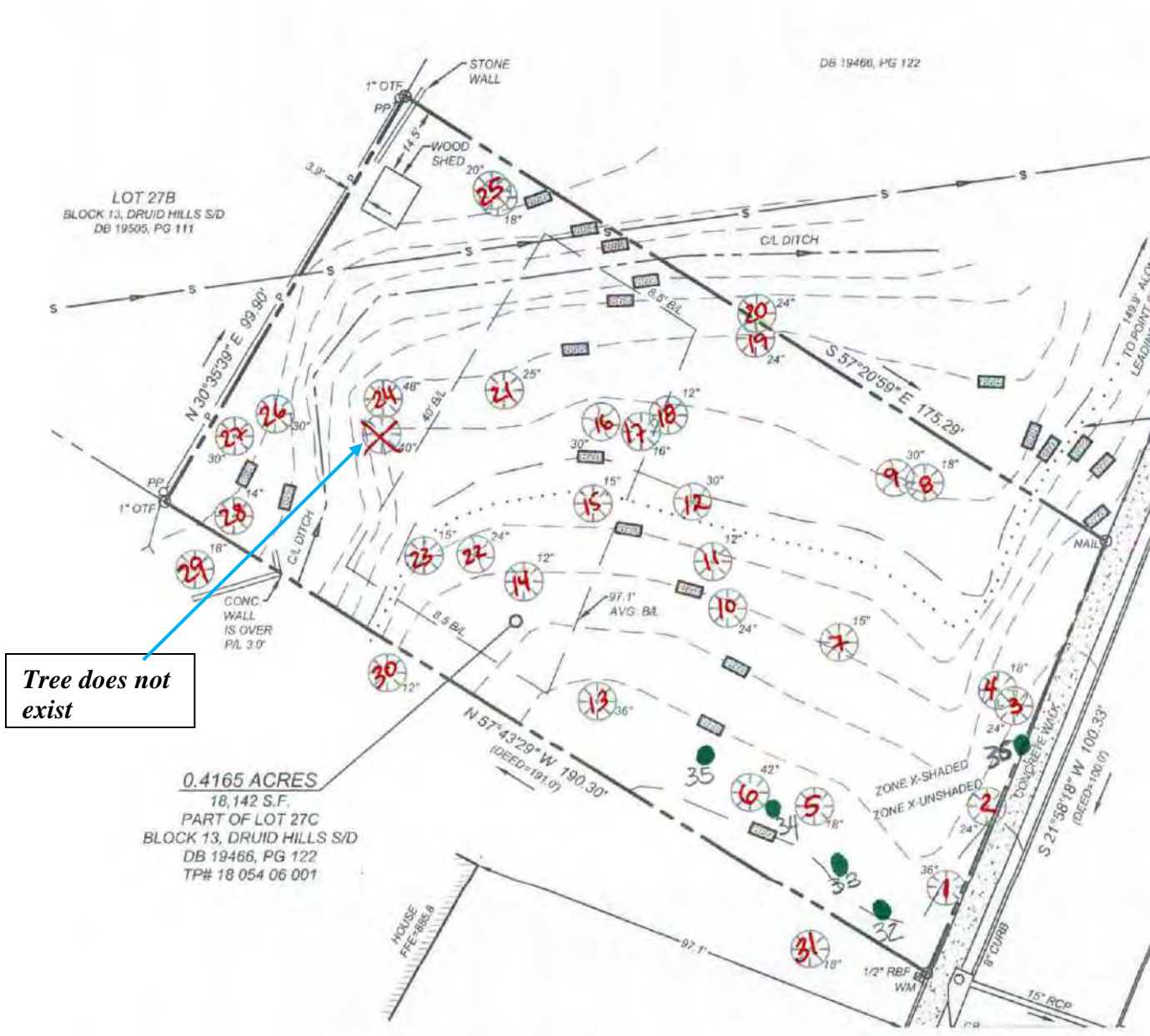
Tree Evaluation Report

1176 Lullwater Road, DeKalb County
July 6, 2021

Description of property:

This is a vacant undeveloped lot with proposed new construction. Twenty-eight trees exist on the site with three boundary trees noted. There are eight specimen-sized trees on the property and one off site.

Observations: All observations were visual and made from the ground. No invasive tests, underground or aerial inspections were performed. The site visit was conducted on July 1, 2021. Diameters were measured at breast height, 4½ feet above the ground (DBH) and current conditions noted.



Tree #	Species	Actual DBH	Condition	Specimen	Dead	Buffer	Boundary	Target
1	Water Oak	37"	Bifurcated upper trunk, Covered in vines	Y	N	N	N	Y
2	Water Oak	24"	Covered in vines	N	N	N	N	Y
3	Ash	24"	Covered in vines	N	N	N	N	Y
4	Ash	18"	Covered in vines	N	N	N	N	Y
5	Yellow-poplar	18"	Appears Healthy	N	N	N	N	Y
6	Yellow-poplar	25"	Appears Healthy	N	N	N	N	N
7	Sweetgum	15"	Appears Healthy	N	N	N	N	N
8	Ash	19"	Appears Healthy	N	N	Y	N	N
9	Loblolly Pine	30"	Appears Healthy	Y	N	Y	N	N
10	Yellow-poplar	25"	Appears Healthy	N	N	N	N	N
11	Yellow-poplar	12"	Appears Healthy	N	N	N	N	N
12	Loblolly Pine	33"	Termites at the base, <20% LCR	Y	N	Y	N	N
13	Beech	41"	1 broken limb, Appears Healthy	Y	N	N	N	Y
14	Hardwood	12"	Appears Healthy	N	N	N	N	N
15	Hardwood	15"	Appears Healthy	N	N	N	N	N
16	Loblolly Pine	33"	Appears Healthy	Y	N	Y	N	N
17	Yellow-poplar	13"	Appears Healthy	N	N	Y	N	N
18	Hardwood	12"	Lean >20 degrees, decay in main trunk	N	N	Y	N	N
19	Yellow-poplar	31"	Appears Healthy	Y	N	N	N	N
20	Yellow-poplar	28"	Appears Healthy	N	N	N	N	N
21	Tupelo	24"	Appears Healthy	N	N	Y	N	N
22	Loblolly Pine	28"	Appears Healthy	N	N	N	N	Y
23	Yellow-poplar	15"	Appears Healthy	N	N	N	N	Y
24	Yellow-poplar	53"	Appears Healthy	Y	N	Y	N	N
25	Pecan	8"	Appears Healthy	N	N	Y	N	N
26	Yellow-poplar	24"	Roots starting to become eroded, Appears Healthy	N	N	Y	N	N
27	Yellow-poplar	30"	Appears Healthy	Y	N	Y	N	Y
28	Hardwood	10"	Appears Healthy	N	N	Y	N	N
29	Sweetgum	~18"	Appears Healthy	N	N	Y	Y	Y
30	Hardwood	12"	Appears Healthy	N	N	N	Y	Y
31	Post Oak	27"	Appears Healthy	N	N	N	Y	Y

Highlighted trees are of specimen size for DeKalb County

32	Yellow-poplar	9"	Appears Healthy, Outcompeted	N	N	N	N	N
33	Sweetgum	9"	Appears Healthy, Outcompeted	N	N	N	N	N
34	Sweetgum	8"	Appears Healthy, Outcompeted	N	N	N	N	N
35	Yellow-poplar	9"	Appears Healthy, Outcompeted	N	N	N	N	N
36	Water Oak	11"	Significant lean over street, unbalanced crown weight	N	N	N	N	Y

Trees (#32-36) not on original site plan

PAGE 3

1176 Lullwater Road, DeKalb County

Pictures (not in good condition):

Tree 1



Tree 12



Tree 18



Tree 26



PAGE 4
1176 Lullwater Road, DeKalb County

Tree 36 leaning over street



Final Notes:

Consult with the International Society of Arboriculture for specific guidelines on tree removal, pruning and planting, www.isa-arbor.com.

This letter serves as an assessment of the specified trees. I certify that all the statements in this letter are true, complete, and correct to the best of my knowledge and belief, and that they are made in good faith. All trees will fail. No arborist can state exactly when, where, or how a tree will fail. Live trees that appear **healthy may fall as an "act of God" or with significant weather or environmental conditions that cannot be controlled.** All recommendations made in this letter are the sole responsibility of the homeowner to address, thus assuming any risk associated with not performing such recommendations.

This information was generated by Heidi Rieckermann Harrington, Certified Arborist (ISA #NY-1074A), Certified Forester (SAF #2756), HRH Trees, LLC.

Chief Executive Officer

Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director

Andrew A. Baker, AICP

STATE WATER DETERMINATION FORM

AP# _____

FEE PAID: ☐ YES ☐ NO ☐ NO FEE APPLIED

Parcel I.D. Number: _____ Date: _____

Site Address: _____

Property Owner/Requested By: _____

Name/Title of Agent: _____

IF NOT OWNER, Requested By: _____

Phone #: _____ Fax: _____

Address: _____

Type of Water Feature: _____ Site Visited By: _____

☐ River ☐ Stream ☐ Creek ☐ Branch ☐ Lake ☐ Reservoir ☐ Pond ☐ Drainage System ☐ Spring ☐ Well

Is there flow? ☐ Yes ☐ No (if yes) ☐ Surface ☐ Subsurface

Is there wretched edge vegetation? ☐ Yes ☐ No _____

Is there a defined channel? ☐ Yes ☐ No _____

Is it confined entirely on owner's property? ☐ Yes ☐ No _____

Are hydric soils present? ☐ Yes ☐ No _____

Is wetland vegetation present? ☐ Yes ☐ No _____

Final Determination: ☐ State Waters _____
☐ Buffers Required _____
☐ No State Water observed _____

Comments: _____

****This form is only good for 12 months from Date Site Visited. Date Site Visited must be within 6 months of any Land Disturbing Activity Permit Application**

DeKalb County Planning & Development Department

STATE WATER DETERMINATION FORM

AP#

931464

FEE PAID: ☒ YES

☐ NO

☐ NO FEE APPLIED

Parcel I.D. Number: 18-054-06-001

Date:

Site Address: 1176 Lullwater Rd. Atl. 30307

Property Owner Name: David A & Elizabeth F Martin

Name/Title of Agent: David Martin

IF NOT OWNER, Requested By:

Phone Number: 404 308-0071

Fax:

Your Address: 1136 Lullwater Rd.

Atl, GA 30307

Type of Water Feature: Stream

Site Visited By:

94 Subl GH
5-15-19

☐ River ☐ Stream ☒ Creek ☐ Branch ☐ Lake ☐ Reservoir ☐ Pond ☐ Drainage System ☐ Spring ☐ Well

Is there flow? (Circle) Yes or No (if yes Circle) Surface / Subsurface

Y/N

Comments

Is there wretched edge vegetation?	X	
Is there a defined channel?	X	concrete/rock wall along creek.
Is it confined entirely on owner's property?	✓	" "
Are hydric soils present?	X	
Is wetland vegetation present?	✓	

Comments

Final Determination:	<input checked="" type="checkbox"/> State Water	STATE WATER, * NO Buffer AT wall.
	<input type="checkbox"/> Buffers Required	
	<input type="checkbox"/> No State Water Observed	

Comments: 10 FT EASEMENT, For County Drainage EASEMENT.

*THIS FORM IS ONLY GOOD FOR 12 MONTHS FROM THE DATE SITE VISITED. DATE SITE VISITED MUST BE WITHIN 6 MONTHS OF ANY LAND DISTURBING ACTIVITY PERMIT APPLICATION. * GH 5-15-19

330 West Ponce de Leon Avenue, Suite 300. Decatur, Georgia 30030

Phone: 404.371.2517 Fax: 404.371.2760

Web Address: <http://www.dekalbcountyga.gov>

Email Address: planninganddevelopment@dekalbcountyga.gov



DeKalb County Planning & Development Department

Burrell Ellis
Chief Executive Officer

STATE WATER DETERMINATION FORM

Parcel I.D. Number: 18-002 Date: 9-20-16

Site Address: 1176 Lullwater Rd

Name: GARY VAKUTINE Title: Develop Insp. III

Property Owner/Requested By: In House: Lee Azimi: LAND DEVELOPMENT

Phone #: _____ Fax: _____

Address: _____

Type of Water Feature: CONTAINED STATE WATER / site visited by: GARY VAKUTINE

☐ River ☐ Stream ☒ Creek ☐ Branch ☐ Lake ☐ Reservoir ☐ Pond ☐ Drainage System ☐ Spring ☐ Well

Is there flow? ☒ Yes ☐ No
(if yes) ☒ Surface ☐ Subsurface

Is there wretched edge vegetation? ☐ Yes ☒ No

Is there a defined channel? — SEA WALL ☒ Yes ☐ No

SEA WALL ALONG CREEK
THE LENGTH OF THE
PROPOSED WORK ZONE.

Is it confined entirely on owner's property? ☐ Yes ☒ No

Are hydric soils present? ☐ Yes ☒ No

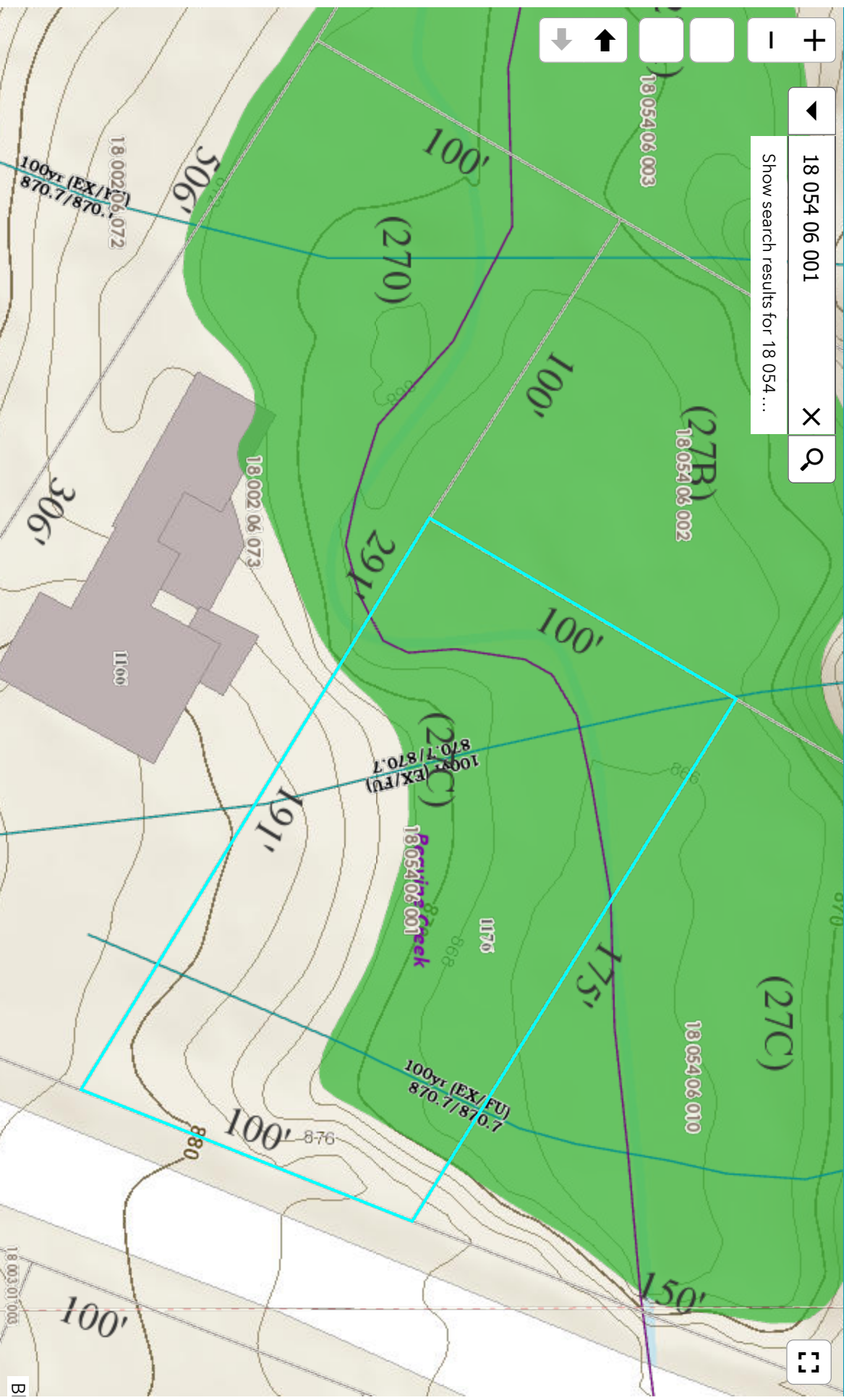
Is wetland vegetation present? ☐ Yes ☒ No

Final Determination: ☒ State Water
☒ NO (buffers required)
☐ No State Water observed

STATE WATER CONTAINED
By SEA WALL ALONG
PROPOSED WORK SITE.

Comments: NO Buffer Along SEA WALL
Portion of Site.

Date Site visited: This form is only good for 12 months from Date Site Visited. Date Site Visited must be within 6 months of any Land Disturbing Activity Permit Application. 9-20-16

-84.3291 33.7872 Degrees

Diagram illustrating a 2x10 grid structure with columns labeled 0', 1', 2', 3', 4', 5', 10', and 20'. The grid is divided into four 5x5 quadrants. The top-left quadrant has columns 0'-5' and row 1 shaded. The top-right quadrant has columns 10'-20' and row 1 shaded. The bottom-left quadrant has columns 0'-5' and row 2 shaded. The bottom-right quadrant has columns 10'-20' and row 2 shaded.



PRICE RESIDENTIAL DESIGN

LULLWATER RESIDENCE

1176 LULLWATER ROAD

LULLWATER RESIDENCE
1176 LULLWATER RD
ATLANTA, GEORGIA
EXTERIOR
ELEVATIONS
SHEET A-1
JUNE 25, 2021

Architectural elevation drawing of a two-story brick building with a stone base and a garage. The drawing includes detailed annotations for materials, dimensions, and structural elements.

Annotations:

- WIDTH OF BRICK AT FRONT WALL
- 8'-6" WIDTH OF BRICK AT RECESSED WALL - 18" BEHIND FRONT WALL
- FIBERGLASS SHINGLES OVER 15# FELT PAPER UNDERLAYMENT ON 1/2" APA-RATED DECKING
- HARDPLANK SIDING - 5'1" EXPOSURE W/ HITTERED CORNERS ON DORRIERS
- 2'-0" ROUGH
- 5'-5"
- 3'-10"
- 6'-10"
- 3'-10"
- 6'-10"
- 3'-10"
- 5'-5"
- UPPER FLOOR TOP OF WALL
- 9'-1"
- UPPER FLOOR SUPER
- 1'-3"
- MAIN FLOOR TOP OF WALL
- 2'-8" TALL x 17'-4" WID TYPED COLUMN CONTINUES TO TERRACE FLOOR BEHIND STONE PIER - SEE LEFT ELEVATION FOR FULL VIEW
- 3092 D/H
- 3092 D/H
- 2040 CRT
- 2040 CRT
- 3092 D/H
- 3092 D/H
- 3092 D/H
- 3462 D/H
- 3462 D/H
- 3068 DOOR
- SCREENED PORCH
- GRANITE PIER WITH METAL GUARDRAIL
- MAIN FLOOR SUPER (3092)
- 1'-4"
- BASE PT TOP OF WALL
- 7'-9"
- BASEMENT SLAB - #735
- 1'-4"
- GRANITE VENEER AT TERRACE ONLY
- 12' WIDE x 7' HIGH WOOD GARAGE DOOR IN FULL SHADOW
- 4'-2"
- GARAGE SLAB - #731 WHICH IS AT THE MIN. 3' ABOVE BASE FLOOD OF 8'-10"

FRONT ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$

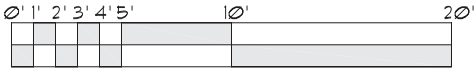


RIGHT SIDE ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$

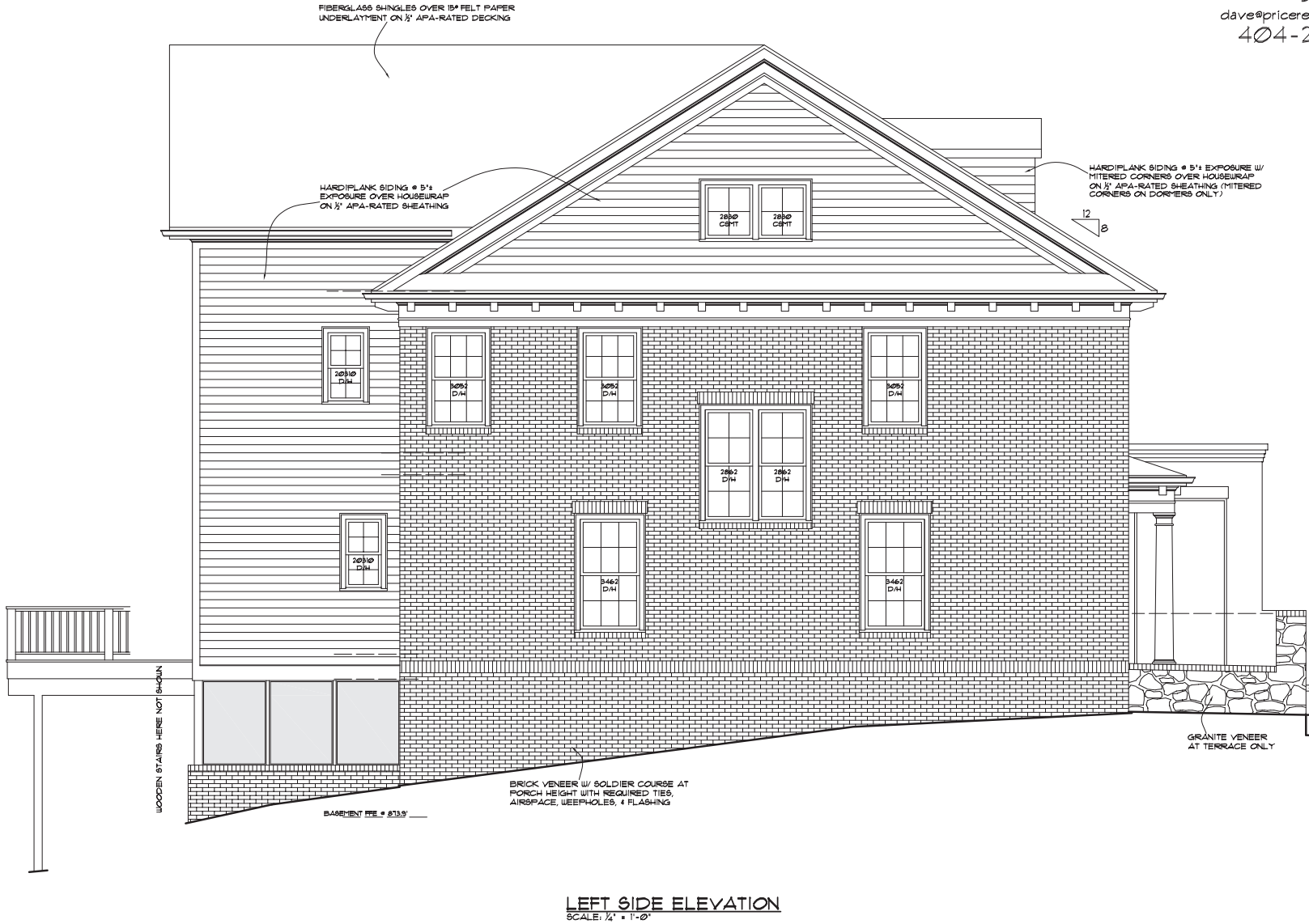
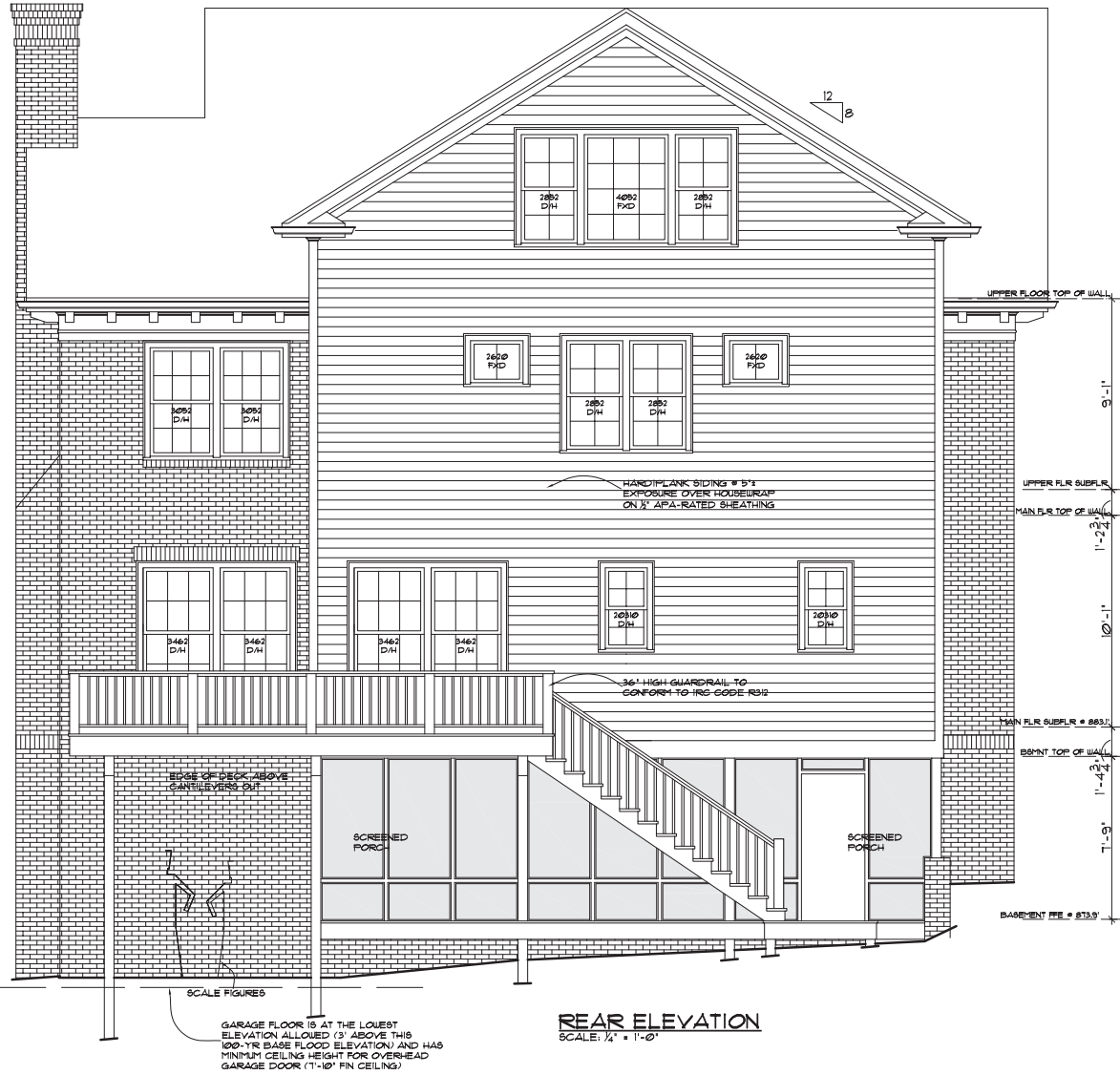
GARAGE FLOOR IS AT THE LOWEST ELEVATION ALLOWED (3' ABOVE THIS 100-YR BASE FLOOD ELEVATION) AND HAS MINIMUM CEILING HEIGHT FOR OVERHEAD GARAGE DOOR (7'-10" FIN CEILING)

REVISION 7-19-21
REPLACED SINGLE
HIPPED DORMER
THREE SMALLER
GABLED DORMERS TO
SATISFY CONDITION #2
OF HPC STAFF REPORT

GENERAL NOTE: EXCEPT AS NOTED,
ALL WINDOWS SHALL BE
PRIMED WOOD, SGL. W/ 3/4" PLYMBS (APPLIED TO GLASS), LITE PATTERN AS SHOWN
ALL DRS. SHALL BE WOOD.



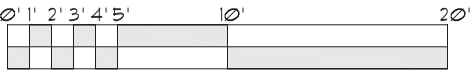
PRICE RESIDENTIAL DESIGN
1595 NOTTINGHAM WAY
ATLANTA, GEORGIA
30309
dave@priceresidentialdesign.com
404-245-4244



PRICE RESIDENTIAL DESIGN
LULLWATER RESIDENCE
1176 LULLWATER ROAD

REVISION 7-19-21
REPLACED SINGLE
HIPPED DORMER
THREE SMALLER
GABLED DORMERS TO
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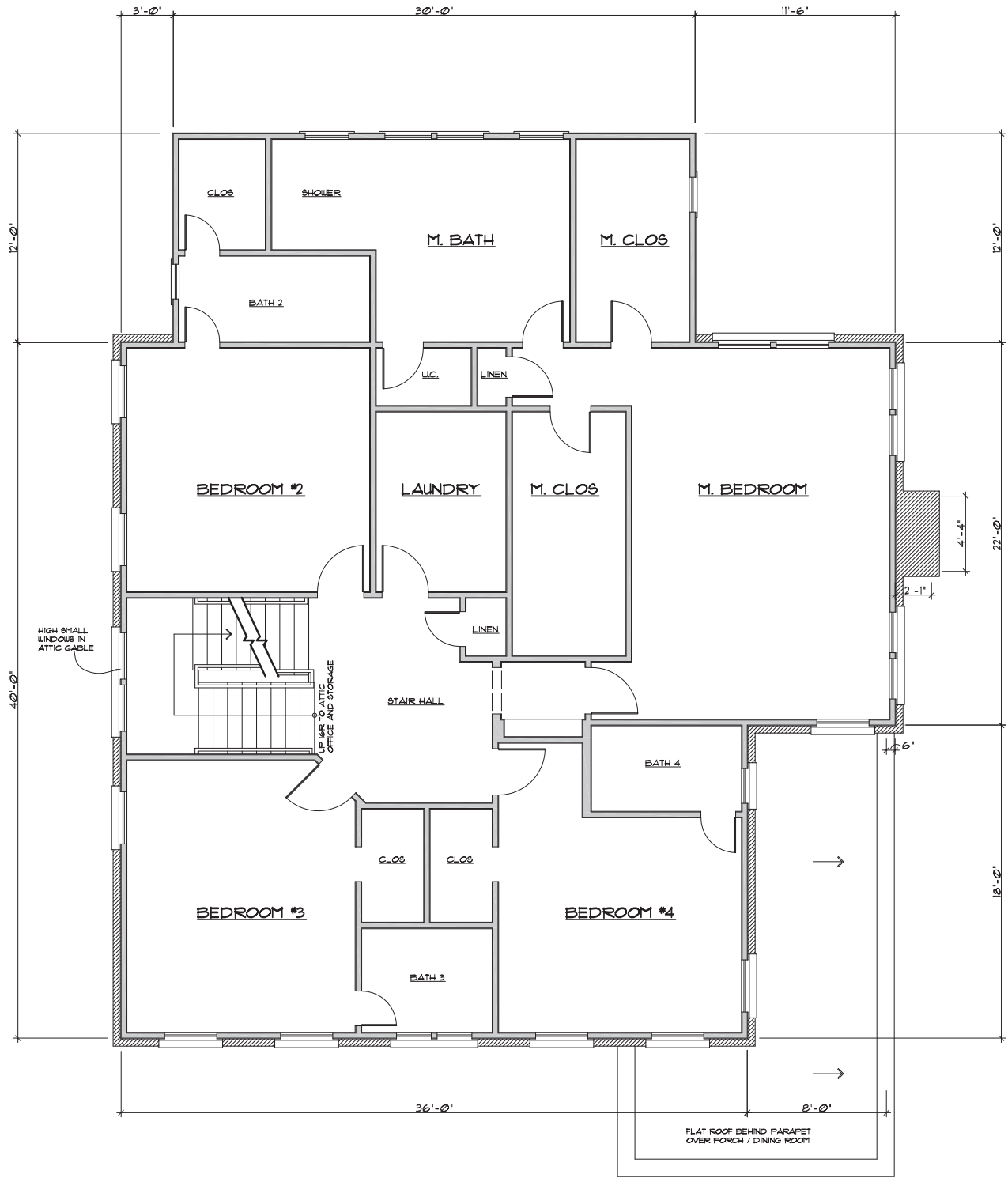
LULLWATER RESIDENCE
1176 LULLWATER RD
ATLANTA, GEORGIA
EXTERIOR
ELEVATIONS
SHEET A-2
JUNE 25, 2021



PRICE RESIDENTIAL DESIGN
1595 NOTTINGHAM WAY
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dave@priceresidentialdesign.com
404-245-4244

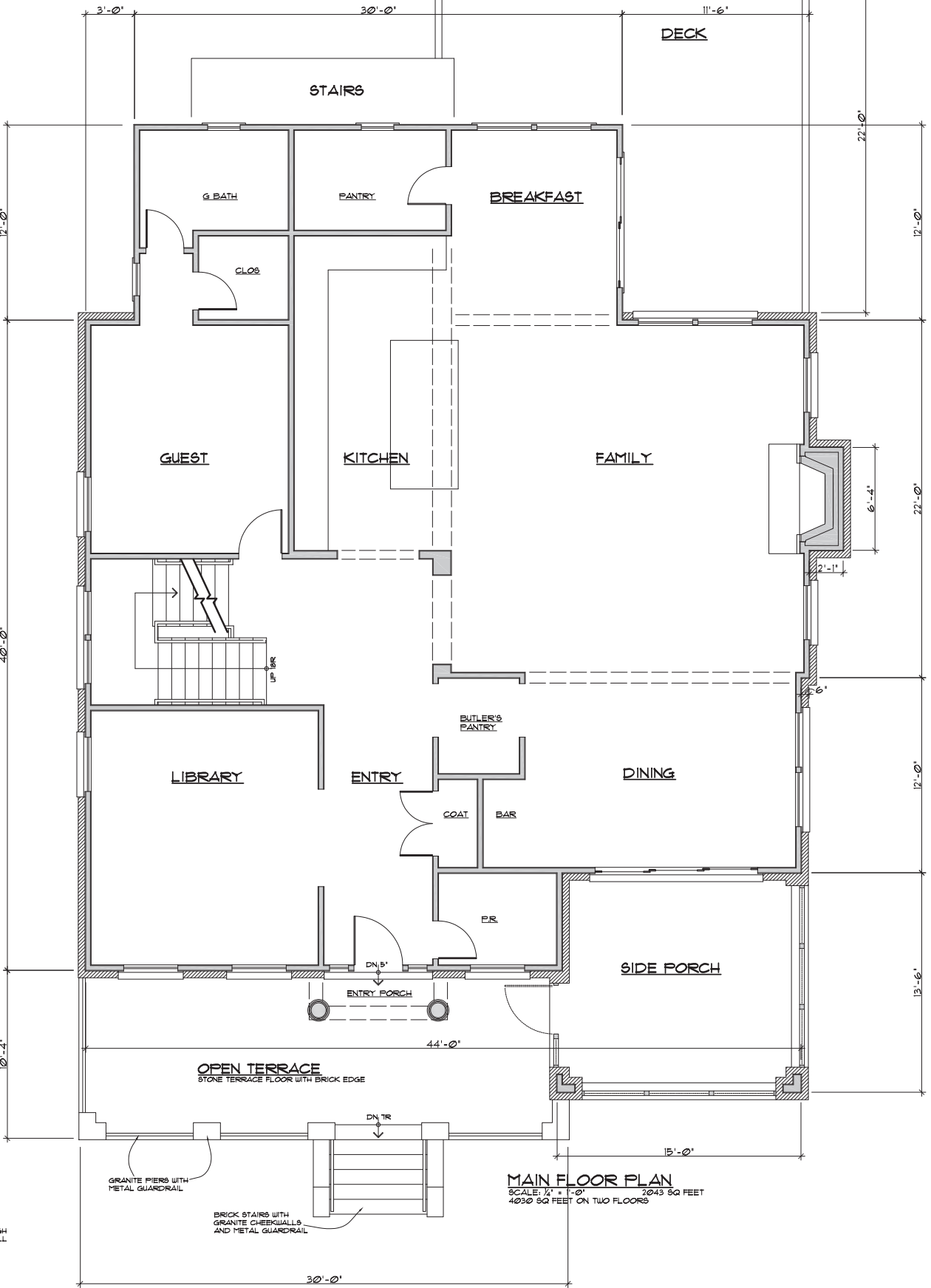
PRICE RESIDENTIAL DESIGN
LULLWATER RESIDENCE
1176 LULLWATER ROAD

LULLWATER RESIDENCE
1176 LULLWATER RD
ATLANTA, GEORGIA
MAIN AND UPPER
LEVEL FLOOR PLANS
SHEET A-3
JUNE 25, 2021

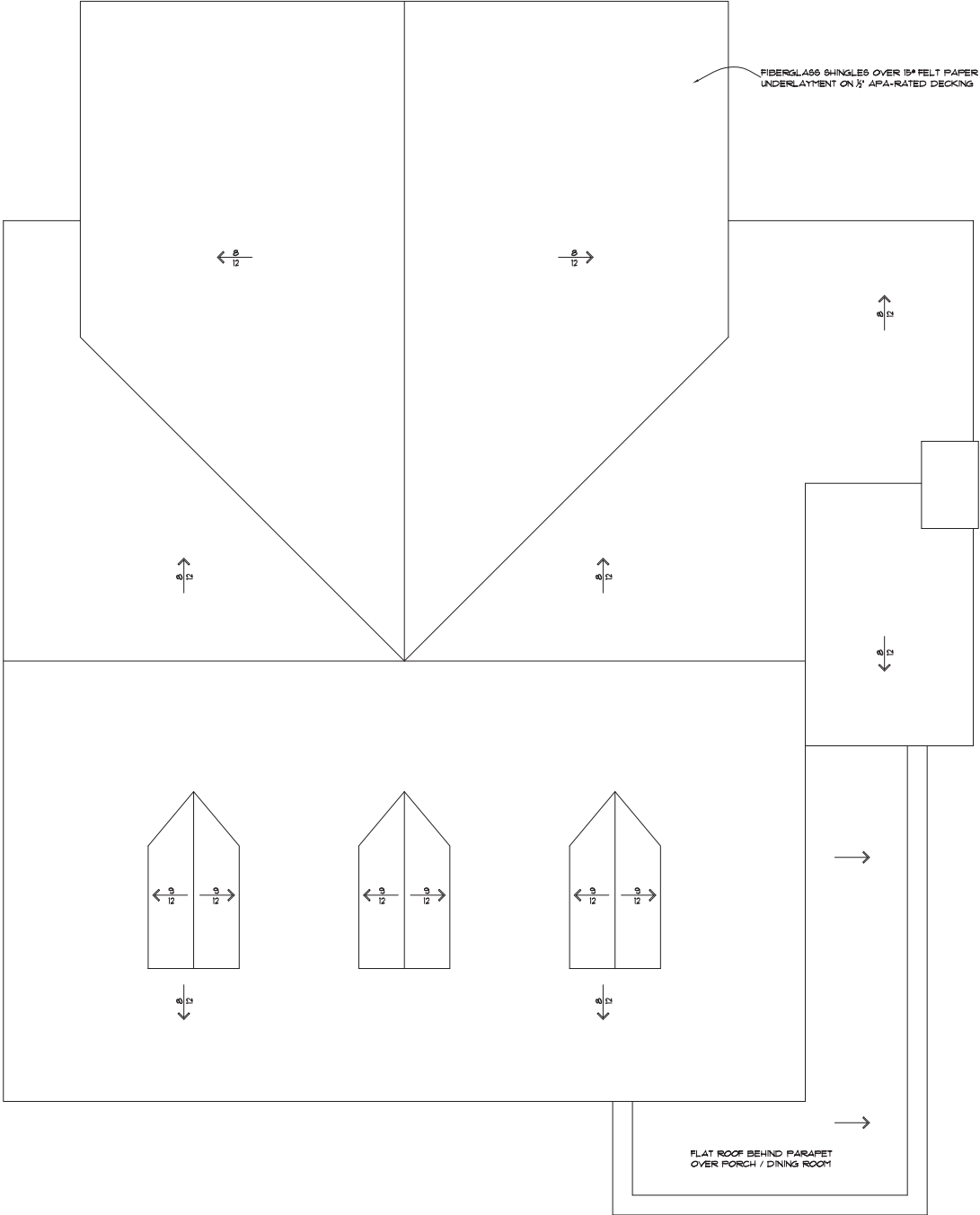


UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
1981 SQ FEET
4030 SQ FEET ON TWO FLOORS

TYPICAL DIMENSION EITHER TO ROUGH
FRAMING OR ROUGH FOUNDATION WALL

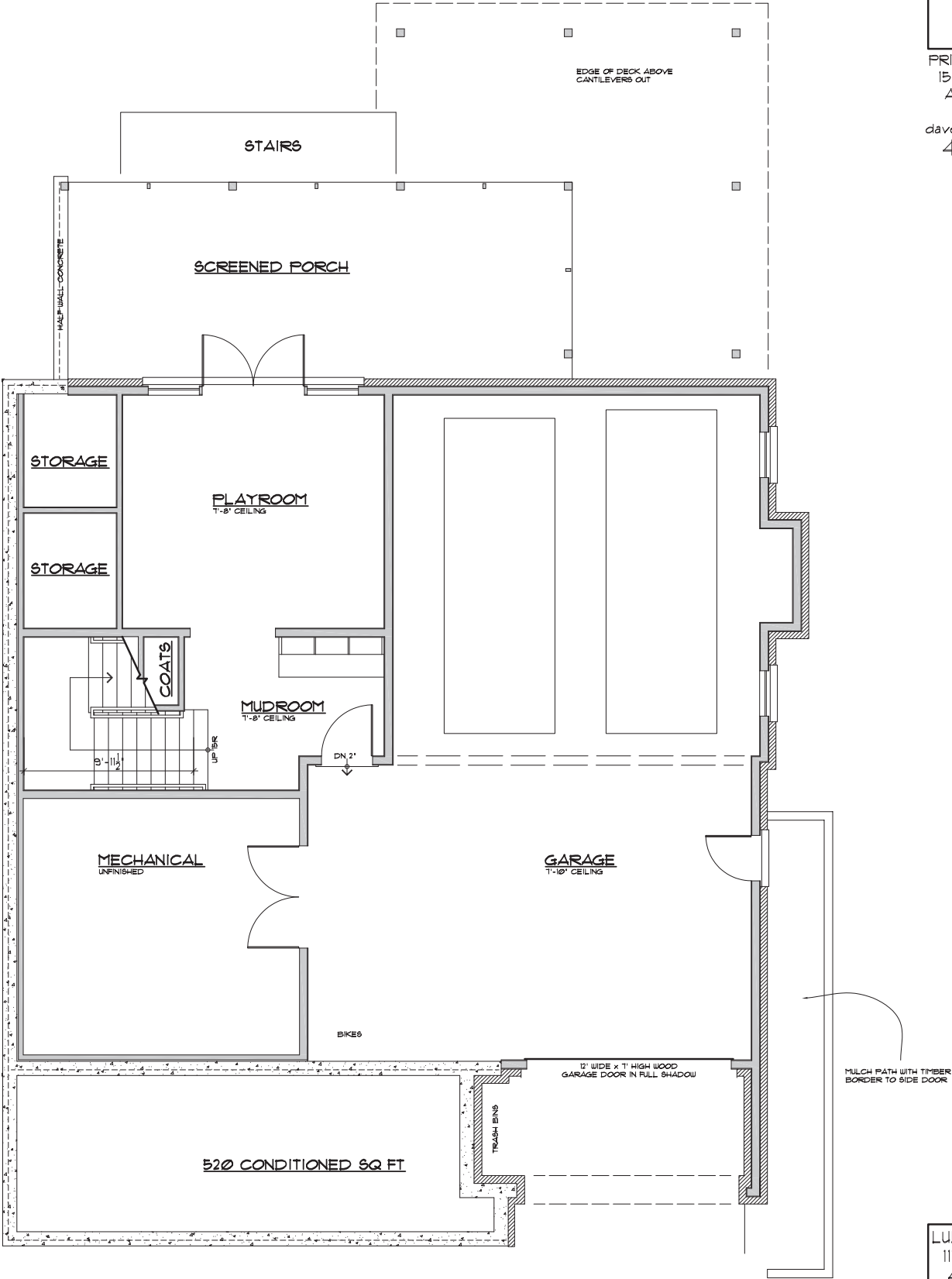


MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
2043 SQ FEET
4030 SQ FEET ON TWO FLOORS

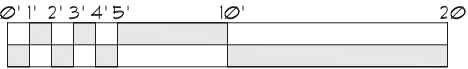


ROOF PLAN
SCALE: 1/4" = 1'-0" SOME CONDITIONED SPACE
(OFFICE, STORAGE) IN ATTIC - UNPLANNED

REVISION 7-19-21
REPLACED SINGLE
HIPPED DORMER
THREE SMALLER
GABLED DORMERS TO
SATISFY CONDITION #2
OF HPC STAFF REPORT



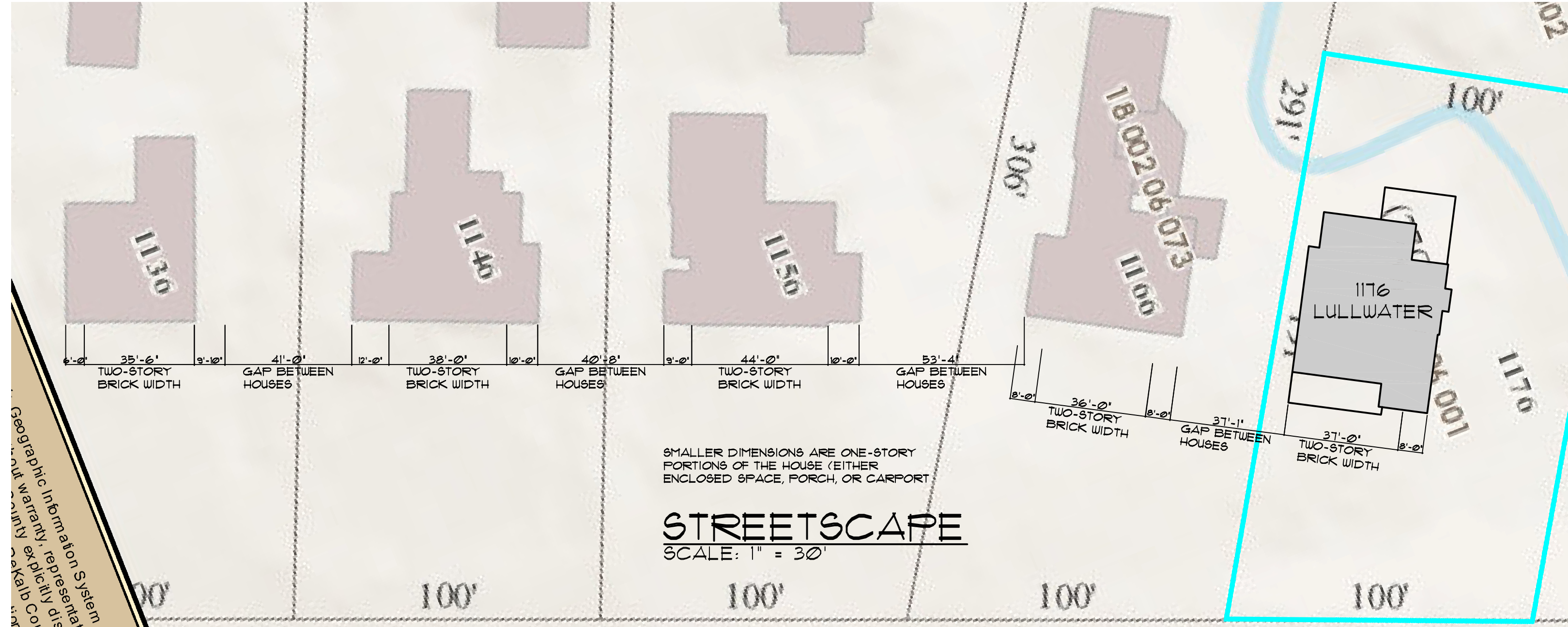
BASEMENT PLAN
SCALE: 1/4" = 1'-0" 520 SQ FEET HEATED
SHORT CEILING BECAUSE THRESHOLD HEIGHT
HEIGHT AND FLOOD ZONE REGULATIONS CONFLICT



PRICE RESIDENTIAL DESIGN
1595 NOTTINGHAM WAY
ATLANTA, GEORGIA
30309
dave@priceresidentialdesign.com
404-245-4244

PRICE RESIDENTIAL DESIGN
LULLWATER RESIDENCE
1176 LULLWATER ROAD

LULLWATER RESIDENCE
1176 LULLWATER RD
ATLANTA, GEORGIA
BASEMENT AND
ROOF PLANS
SHEET A-4
JUNE 25, 2021



1136



1146

GRADE CALCULATED USING
DEKALB GIS MAP INFORMATION

FRONT WALL BRICK
HEIGHT: 17'-1"
(FROM MAIN FLOOR)



1156 NO WAY TO TAKE A
STRAIGHT PHOTO

FRONT WALL BRICK
HEIGHT: 17'-10"



1166

FRONT WALL BRICK
HEIGHT: 17'-4"



1176

FRONT WALL BRICK
HEIGHT: 18'-4"

WHILE WIDTHS ARE CORRECT, ROOF HEIGHT LOOKS MUCH
SHORTER THAN IN A DRAWING. THIS RIDGE IS OVER 10'
ABOVE EAVE, CALCULATED BY COUNTING BRICKS.

Dekalb Zoning Board of Appeals Meeting September 9, 2021

New Item: N2; A-21-1245150; 18-054-06-001; 1176 Lullwater Road, Atlanta, GA 30307

RE: Application to reduce side yard setback:

Objection to Reducing Side Yard Setback:

My name is Virginia Tate, and I own the house at 1166 Lullwater Road, Atlanta, GA 30307. It is my side yard that Dave Price is requesting a reduction of the setback from 8 to 3 feet. I strenuously object to this reduction as the house will be extremely close to mine and it simply is not necessary.

Mr. Price's drawings are completely inaccurate and misrepresent the distance between the two houses. (1176 Lullwater Drawing attached). On p. 4 of his drawings, he shows that there is 37.2 feet between the houses towards the back. However, the distance does not take into account the 12 foot wide sun room and deck. (Picture attached)

I have attached my survey for 1166 Lullwater Road. It shows 32.8 feet from the two-story portion of the house to the side property line towards the back and 30.5 feet at the front of the house. Reducing the distance by 12 feet for the sun room and deck means there is only 20.8 feet at the back and 18.5 feet at the front. When you add in the 3 feet Mr. Price is requesting, then you have a paltry 23.8 feet between the two houses at the back and 21.5 feet at the front. The typical distance between houses on the street is 40-50 feet.

As stated, I strenuously object to the reduction of the set back. It significantly encroaches upon my property and is completely unnecessary. To suggest that it is needed to build a bigger house is not a valid point.

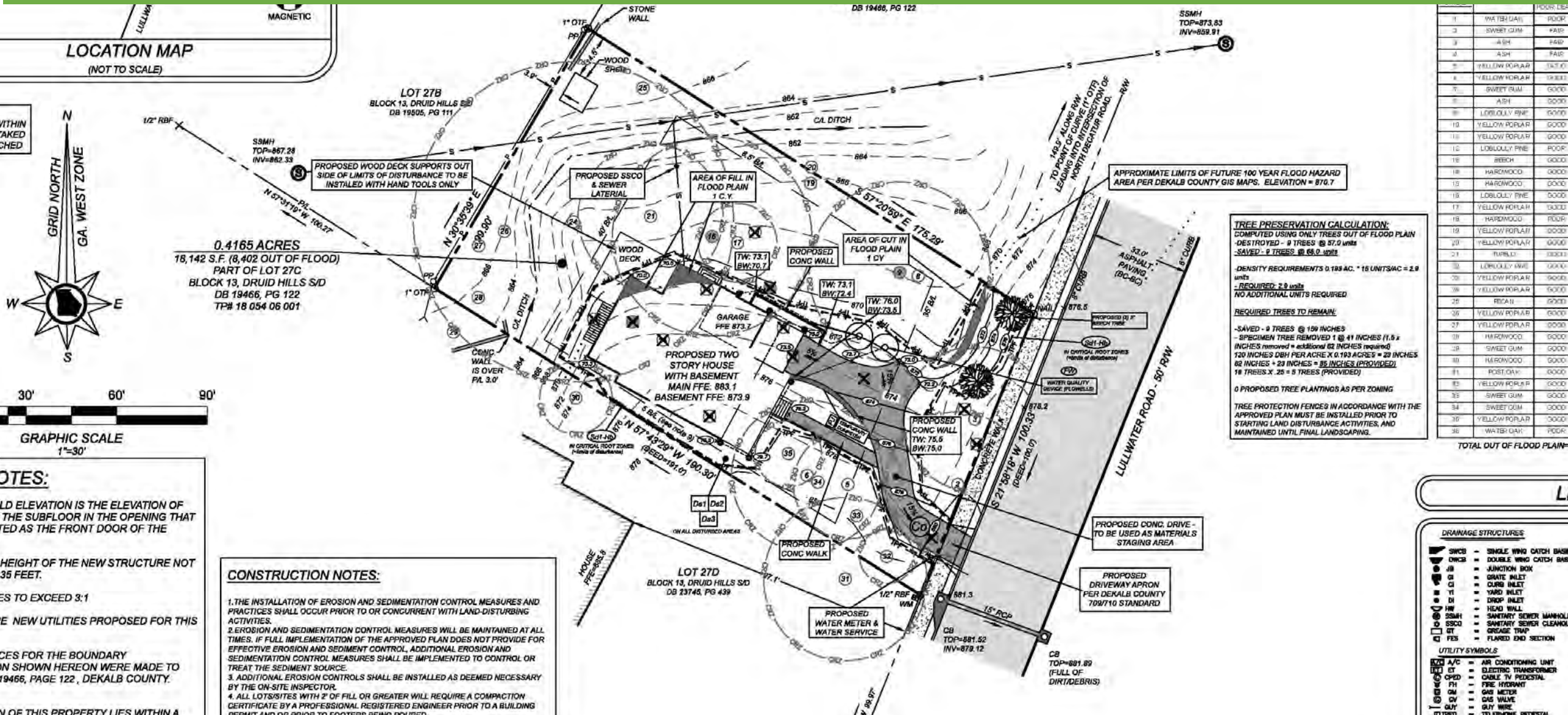
Respectfully submitted,

Virginia Tate
1166 Lullwater Road
Atlanta, GA 30307
(404) 314-7075

N2.

1176 Lullwater Road

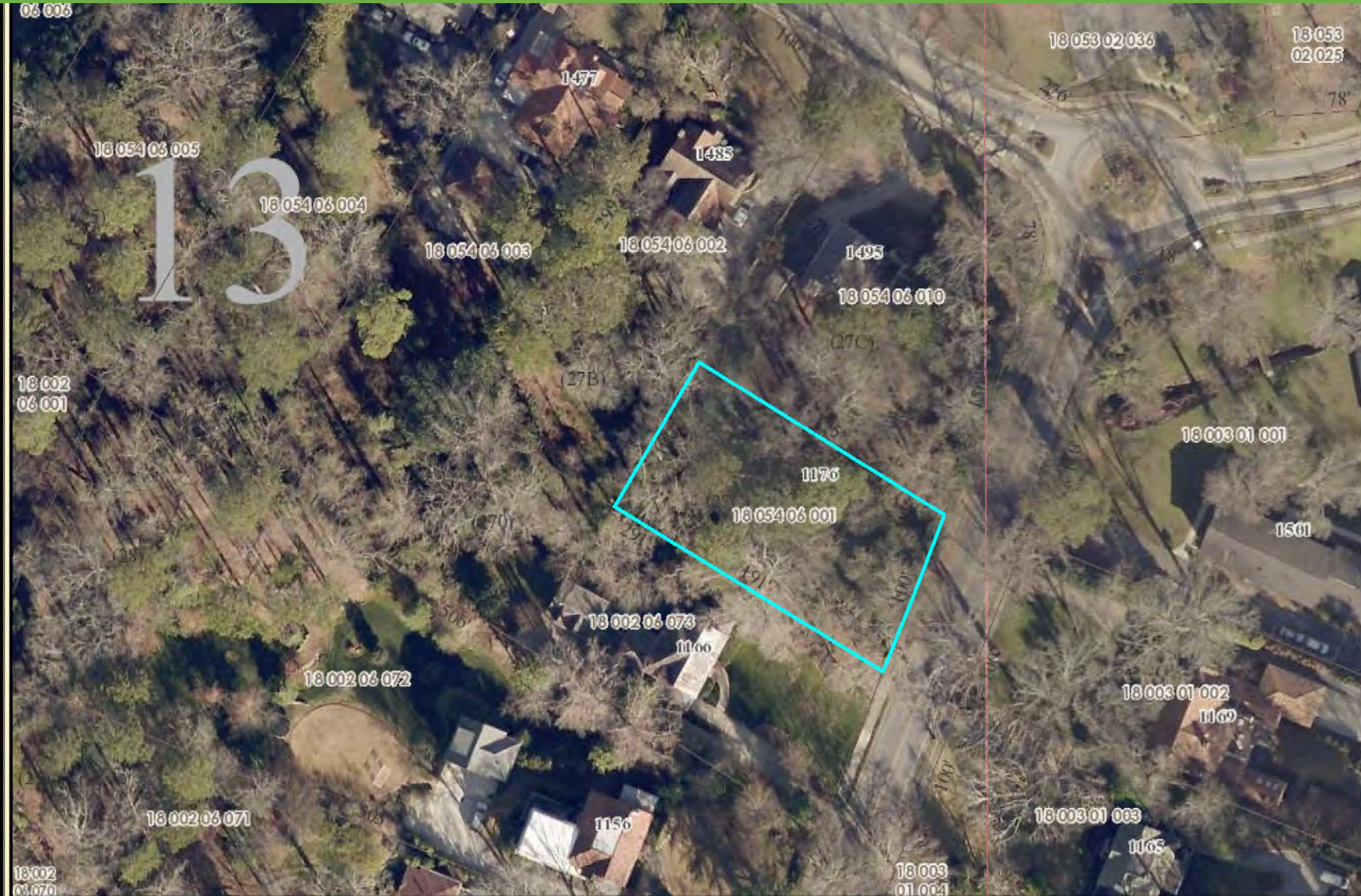
Site Plan



N2.

1176 Lullwater Road

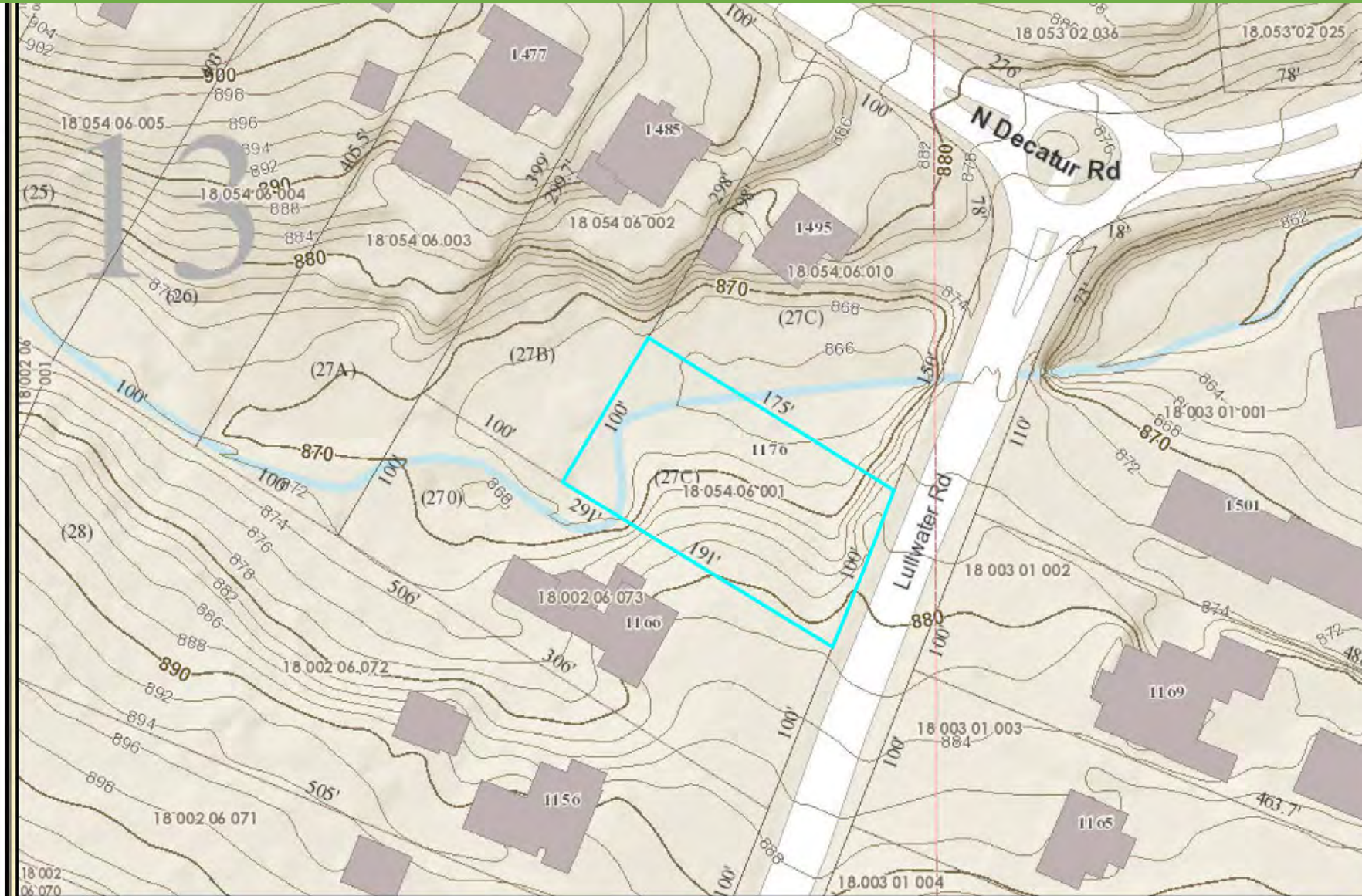
Aerial



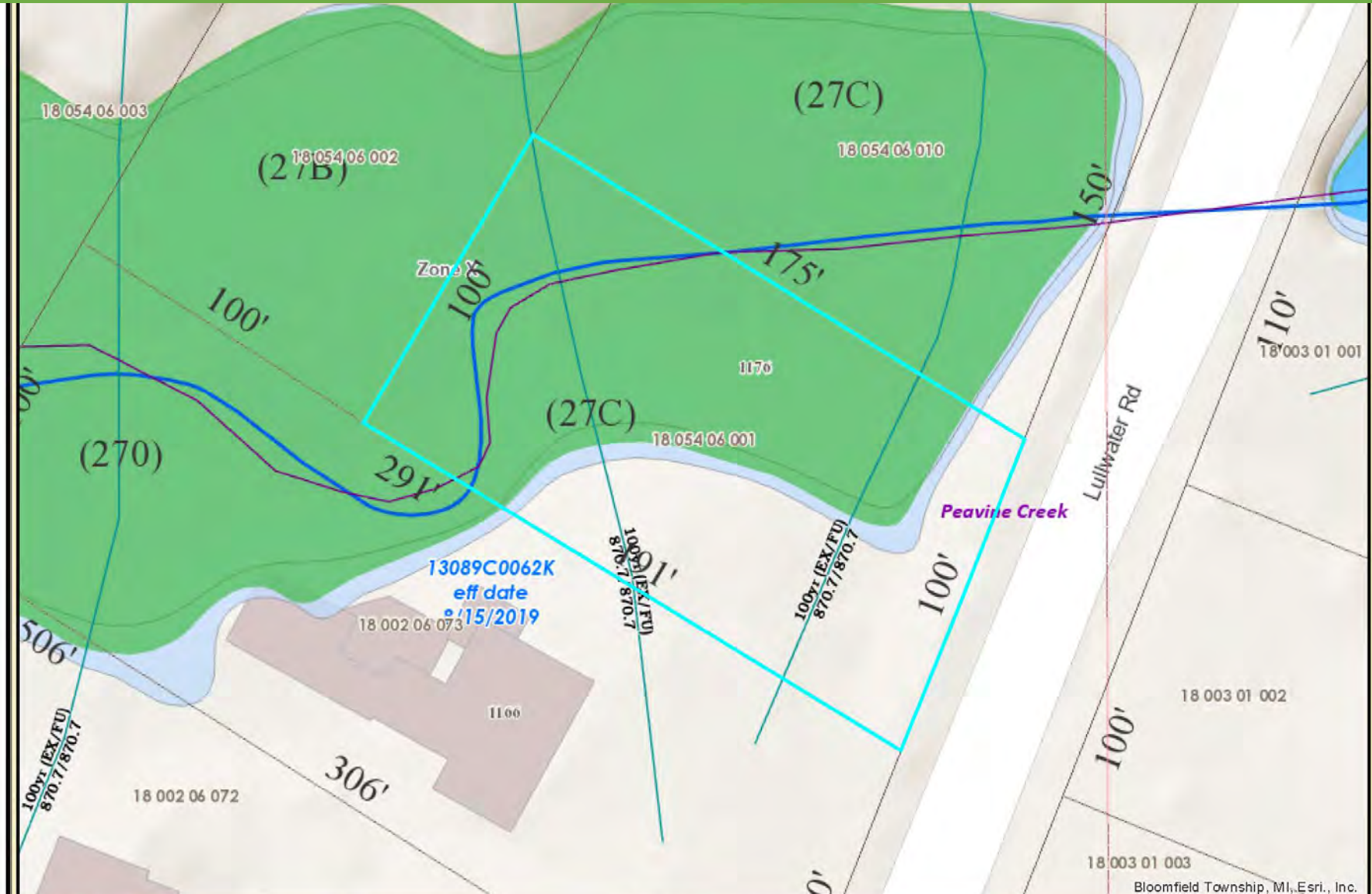
N2.

1176 Lullwater Road

Topo Map



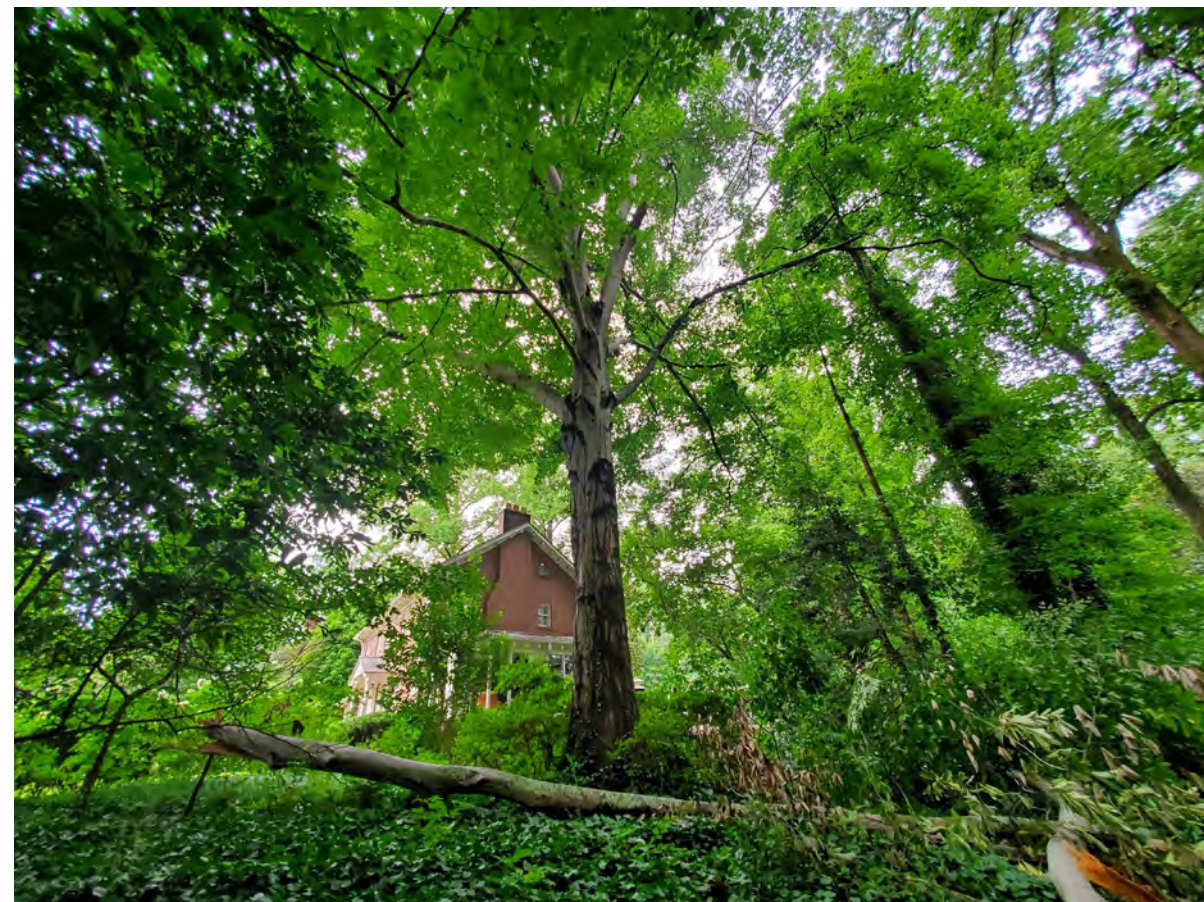
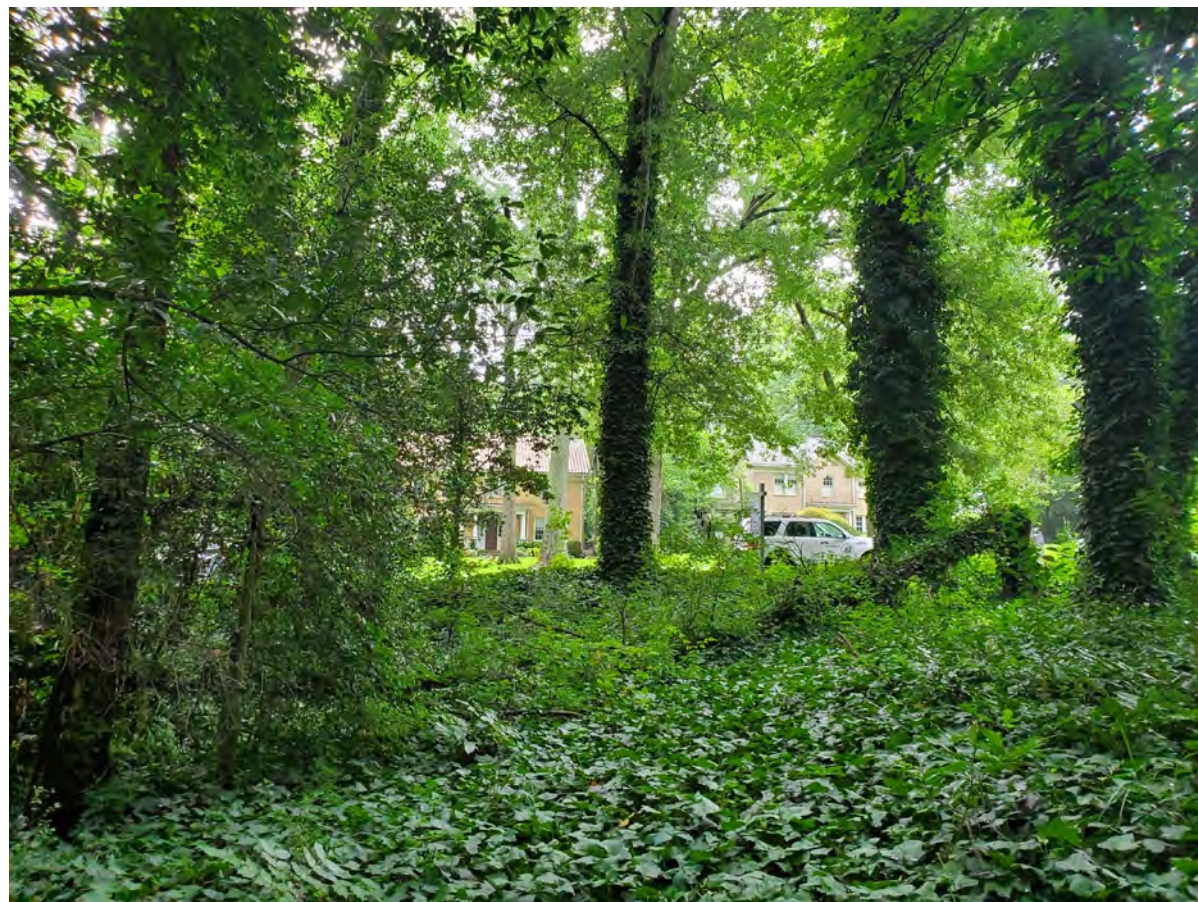
N2. 1176 Lullwater Road Floodplain



N2.

1176 Lullwater Road

Site Photo



N2.

1176 Lullwater Road

Site Photos

