

RECEIVED

By Rachel Bragg at 11:02 am, Jun 24, 2022

404.371.2155 (a)  
404.371.4556 (f)

178 Sams Street  
Decatur, GA 30030

Chief Executive Officer  
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director  
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 1095 Lullwater Rd., NE, Atlanta, GA 30307

Applicant: Karen Soorikian E-Mail: karen@soorikianarchitecture.com

Applicant Mailing Address: 219 Fairfield St.  
Decatur, GA 30030

Applicant Phone(s): (404) 723-0927 Fax: \_\_\_\_\_

Applicant's relationship to the owner: Owner ☐ Architect ☒ Contractor/Builder ☐ Other ☐

Owner(s): Eric and Lynne Segall E-Mail: lynnesegall@gmail.com

E-Mail: esegall@gsu.edu

Owner(s) Mailing Address: 1095 Lullwater Rd., NE, Atlanta, GA 30307

Owner(s) Telephone Number: (770) 331-0295

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1925 97 years old

Nature of work (check all that apply):

New construction ☐ Demolition ☒ Addition ☐ Moving a building ☐ Other building changes ☐  
New accessory building ☒ Landscaping ☒ Fence/Wall ☐ Other environmental changes ☐  
Sign installation or replacement ☐ Other ☐

Description of Work:

The proposed work involves 2 components- (1) The demolition of an existing accessory building and the construction of a new accessory building with a 2-car garage and a guest space above and (2) the creation of a parking area for vehicles off of the current driveway by creating a new retaining wall.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov). An incomplete application will not be accepted.

Signature of Applicant/Date

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is **not** the owner of the property.

I/ We, Eric + Lynne Segall  
being owner(s) of the property at 1095 Millwater Road, NE  
hereby delegate authority to Karen Soorikian  
to file an application for a certificate of appropriateness in my/our behalf.

 |   
Signature of Owner(s)

6/23/22

Date

**Please review the following information**

**Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.**

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

## **Proposed Project Description - 1095 Lullwater Rd, NE**

### **Landscape Scope:**

1. Demolish Existing Accessory Structure
2. Demolish Existing Front Walkway
3. Remove two trees in the rear yard
  - White Oak (26")
  - Double trunk Magnolia (6"/10")
4. Construct three-car parking court into the existing grade to help obscure view of parking court from the public right-of-way.
  - Exposed Aggregate Concrete
  - Granite Cobble Curb
  - Granite Plinths at end of Curb
5. Construct low Retaining/Sitting Wall on street side of parking court to obscure view of parking court from the public right-of-way.
  - Brick veneer to match house
  - Bluestone or Limestone Cap
6. Construct walkway and stairs beginning at the bottom of the existing stairs to the front porch and terminating at the proposed retaining wall at the west side of the proposed parking court
  - Paving Material: Bluestone or Limestone
  - Stairs: Bluestone or Limestone treads with brick risers to match house
7. An existing magnolia tree will obscure views the retaining wall from the public right-of-way. Additional evergreen shrubs between the wall and the magnolia will add to the screening. In addition, a mixed, evergreen hedge along the north property line will screen the parking court from the public right-of-way.
8. Add paving between the existing driveway and the new accessory structure

### **Architectural Scope:**

Construct a new accessory structure to include a 2 car garage, a half bath, and storage spaces, with Guest suite on the second floor. The structure sits entirely behind the original home and will not be visible from the right of way.

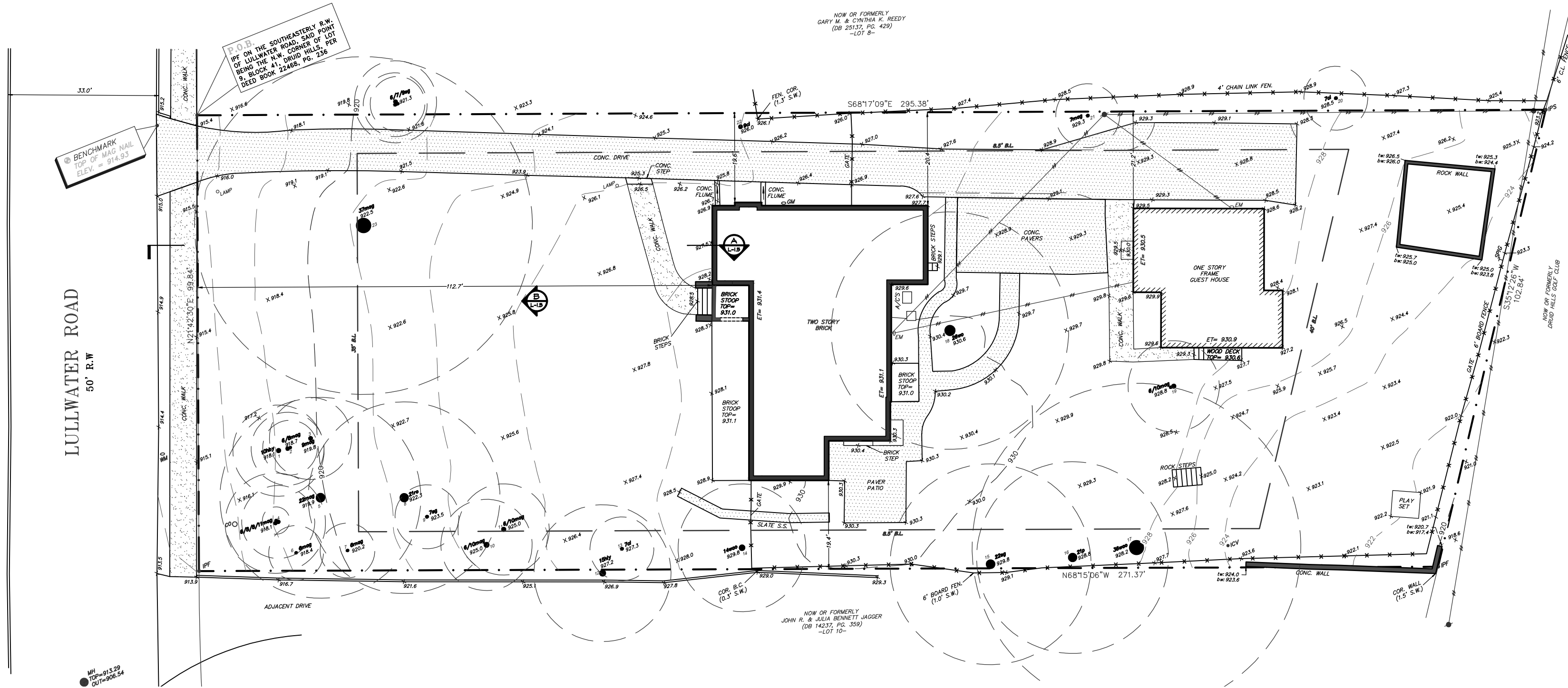






ZONING INFORMATION SUMMARY

|                          |                           |
|--------------------------|---------------------------|
| address                  | 1095 Lullwater Road       |
| parcel ID #:             | 18 002 07 004             |
| zoning category:         | R85 - SF RES DIST         |
| lot area                 |                           |
| minimum:                 | 12,000 s.f. (0.275 acres) |
| existing:                | 28,316 s.f. (0.65 acres)  |
| lot frontage:            |                           |
| minimum lot frontage:    | 100 feet                  |
| existing lot frontage:   | 99.84 feet                |
| setbacks                 |                           |
| front yard:              | 35 feet                   |
| side yard:               | 8.5 feet                  |
| rear yard:               | 40 feet                   |
| lot coverage             |                           |
| maximum:                 | 9,910.60 s.f. (35%)       |
| existing:                | 7,687 s.f. (27.15%)       |
| proposed:                | 9,105 s.f. (32.15%)       |
| maximum building height  | 35 feet                   |
| proposed building height | NO CHANGE                 |

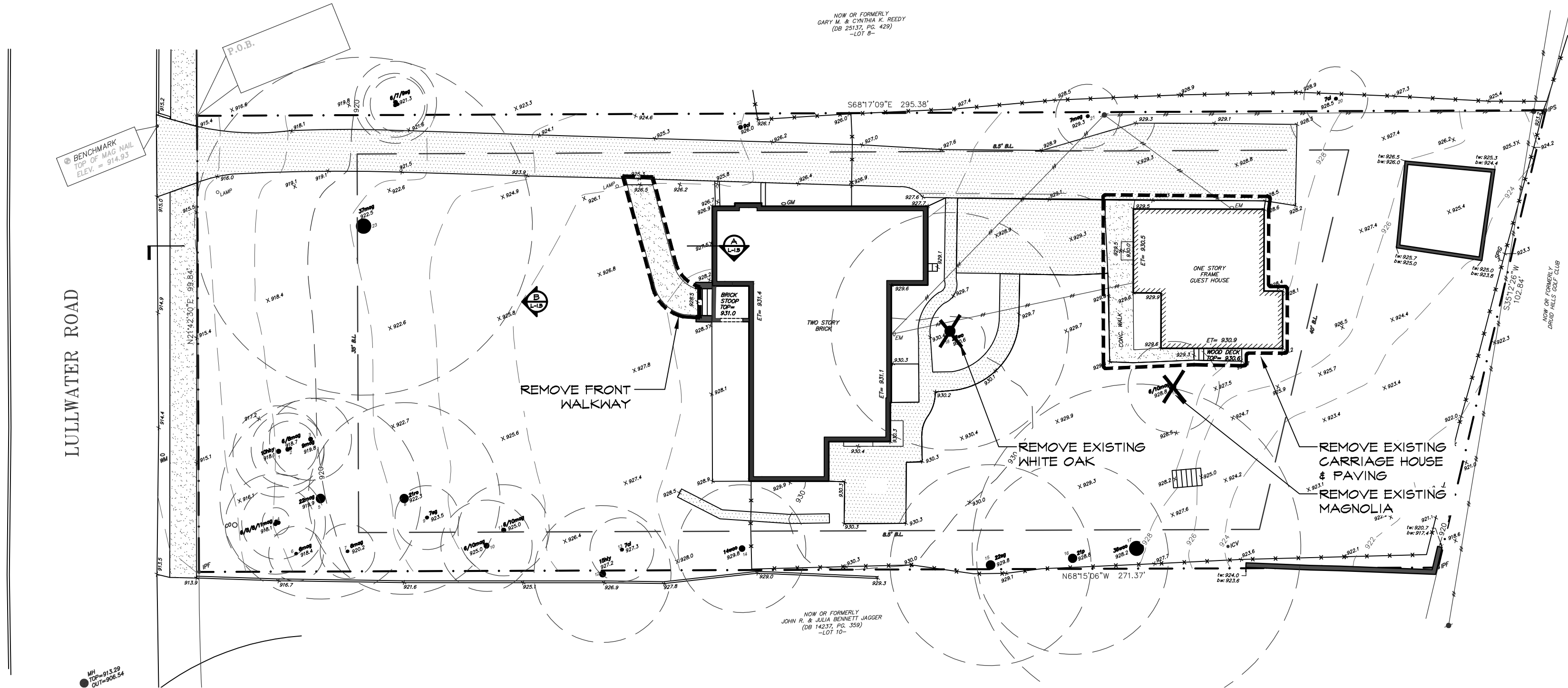


A EXISTING CONDITIONS & ZONING PLAN  
L-1.1 SCALE: 1" = 10'-0"

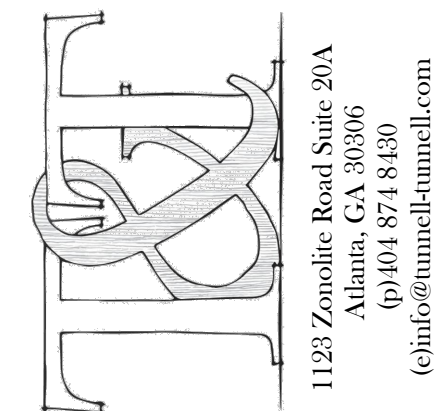


| TREE IMPACT SUMMARY |        |               |             |
|---------------------|--------|---------------|-------------|
| tree #              | dbh    | species       | dbh removed |
| 1                   | 10     | hackberry     | 0           |
| 2                   | 6/8    | magnolia      | 0           |
| 3                   | 9      | magnolia      | 0           |
| 4                   | 6/8/11 | magnolia      | 0           |
| 5                   | 22     | magnolia      | 0           |
| 6                   | 6      | magnolia      | 0           |
| 7                   | 6      | magnolia      | 0           |
| 8                   | 21     | red oak       | 0           |
| 9                   | 7      | sweetgum      | 0           |
| 10                  | 6/10   | magnolia      | 0           |
| 11                  | 6/10   | magnolia      | 0           |
| 12                  | 15     | holly         | 0           |
| 13                  | 7      | cherry laurel | 0           |
| 14                  | 14     | water oak     | 0           |
| 15                  | 22     | sweetgum      | 0           |
| 16                  | 21     | pine          | 0           |
| 17                  | 36     | water oak     | 0           |
| 18                  | 26     | white oak     | 26          |
| 19                  | 6/10   | magnolia      | 16          |
| 20                  | 7      | cherry laurel | 0           |
| 21                  | 7      | magnolia      | 0           |
| 22                  | 9      | cherry laurel | 0           |
| 23                  | 37     | magnolia      | 0           |
| 377                 |        |               | 42          |

|                   |        |             |
|-------------------|--------|-------------|
| # trees removed   | 2      |             |
| # inches removed  | 42     |             |
| lot size:         | 0.65   | acres       |
| remaining trees   | 40     |             |
| remaining dbh     | 335    | inches      |
| required density  | 120    | inches/acre |
| remaining density | 217.75 | inches/acre |

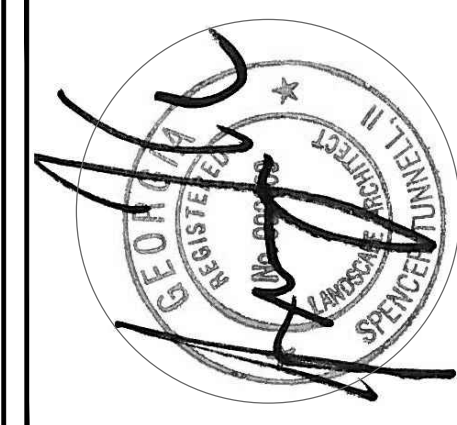


B DEMOLITION PLAN  
L-1.2 SCALE: 1" = 20'-0"



SEGALL RESIDENCE  
1095 LULLWATER ROAD  
ATLANTA, GA 30307

EXISTING  
CONDITIONS &  
ZONING PLAN  
DEMOLITION  
PLAN



| original issue date: |      |       |  |
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L-1.1  
scale: 1" = 20'-0"



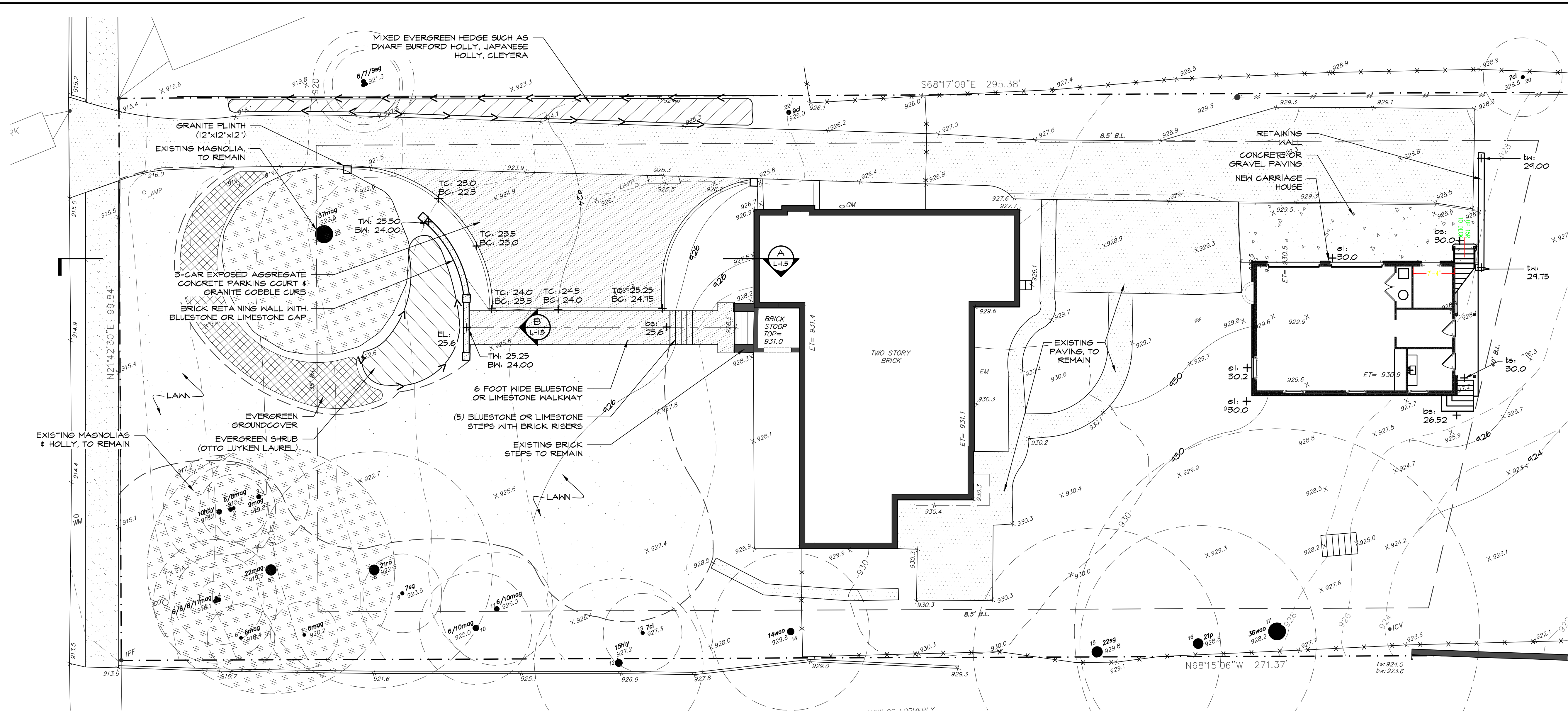
**SEGALL RESIDENCE**  
1095 LULLWATER ROAD  
ATLANTA, GA 30307

**SITE  
PLAN**

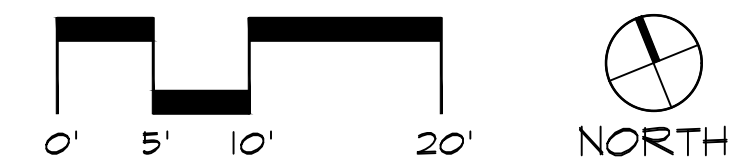


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**L-1.4**  
scale: 1" = 10'-0"



**A SITE PLAN**  
L-1.4 SCALE: 1" = 10'-0"



NOT RELEASED FOR CONSTRUCTION

**EARTHWORK SUMMARY ESTIMATE**

| area                                 | qty<br>(cubic yards) | cut/fill |
|--------------------------------------|----------------------|----------|
| front walkway and parking court      | -39.5                | cut      |
|                                      | 6.9                  | fill     |
| front yard grading                   | -7.66                | cut      |
| rear yard                            | 12.3                 | fill     |
| carriage house and additional paving | 62.5                 | fill     |
| total                                | <b>34.54</b>         | fill     |

**EVEGREEN SCREENING PLANTS**



dwarf burford holly



japanese holly



cleyera



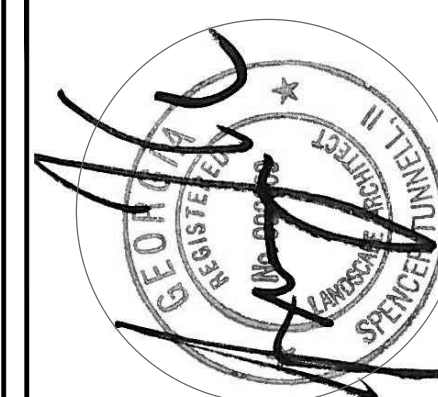
otto luyken laurel



**SEGALL RESIDENCE**

1095 LULLWATER ROAD  
 ATLANTA, GA 30307

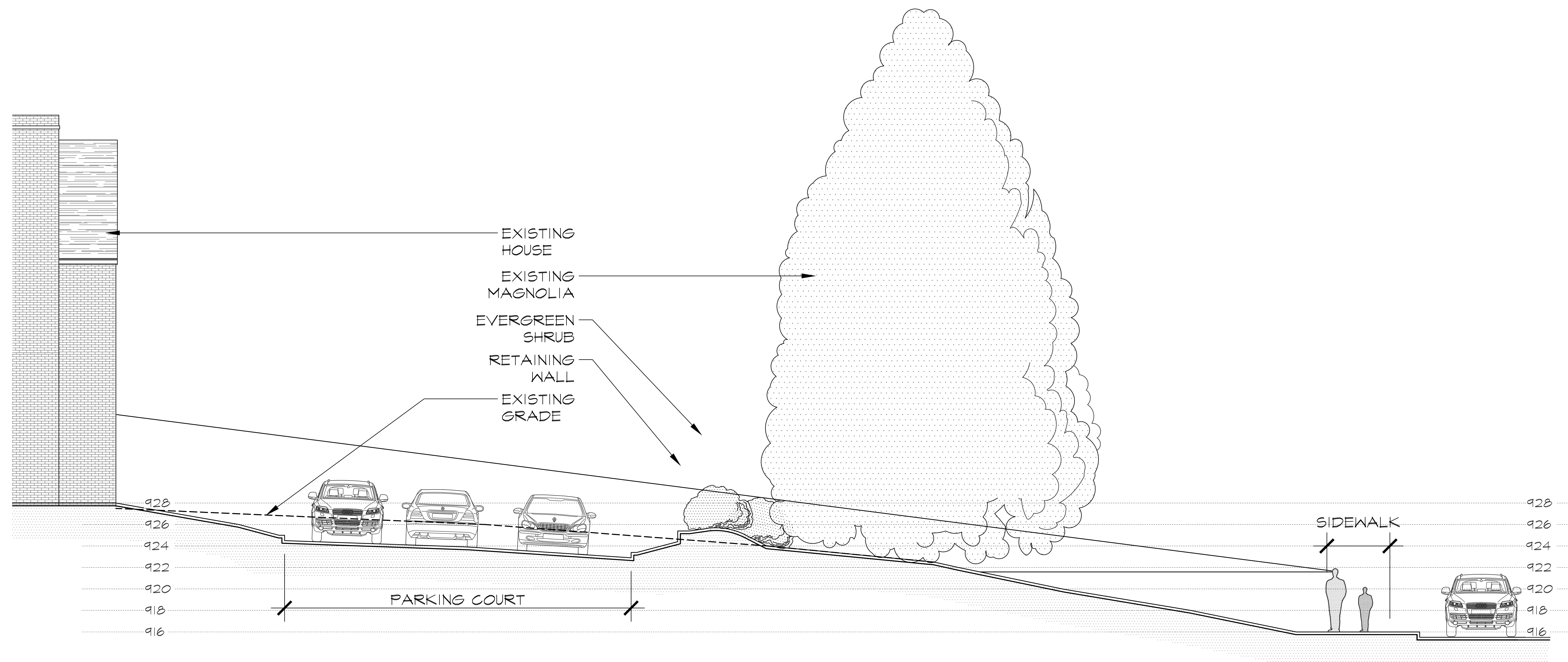
**SECTIONS &  
 ELEVATIONS**



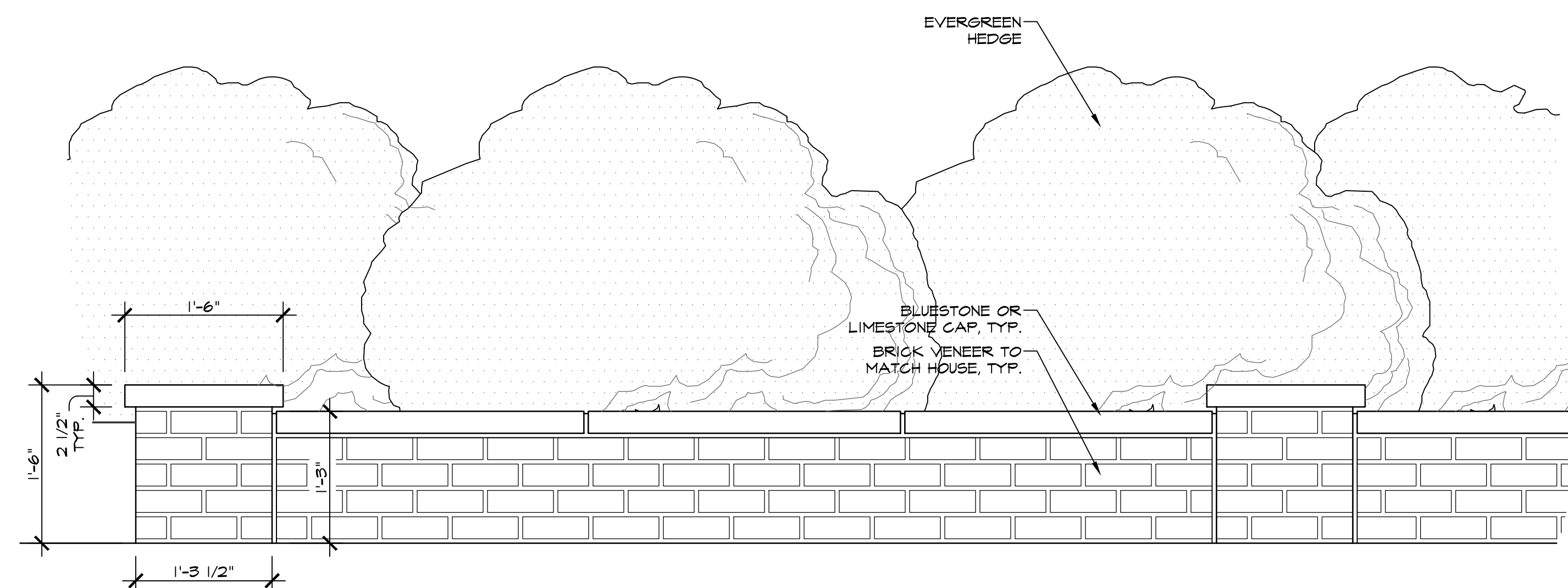
original issue date: **JUNE 24, 2022**

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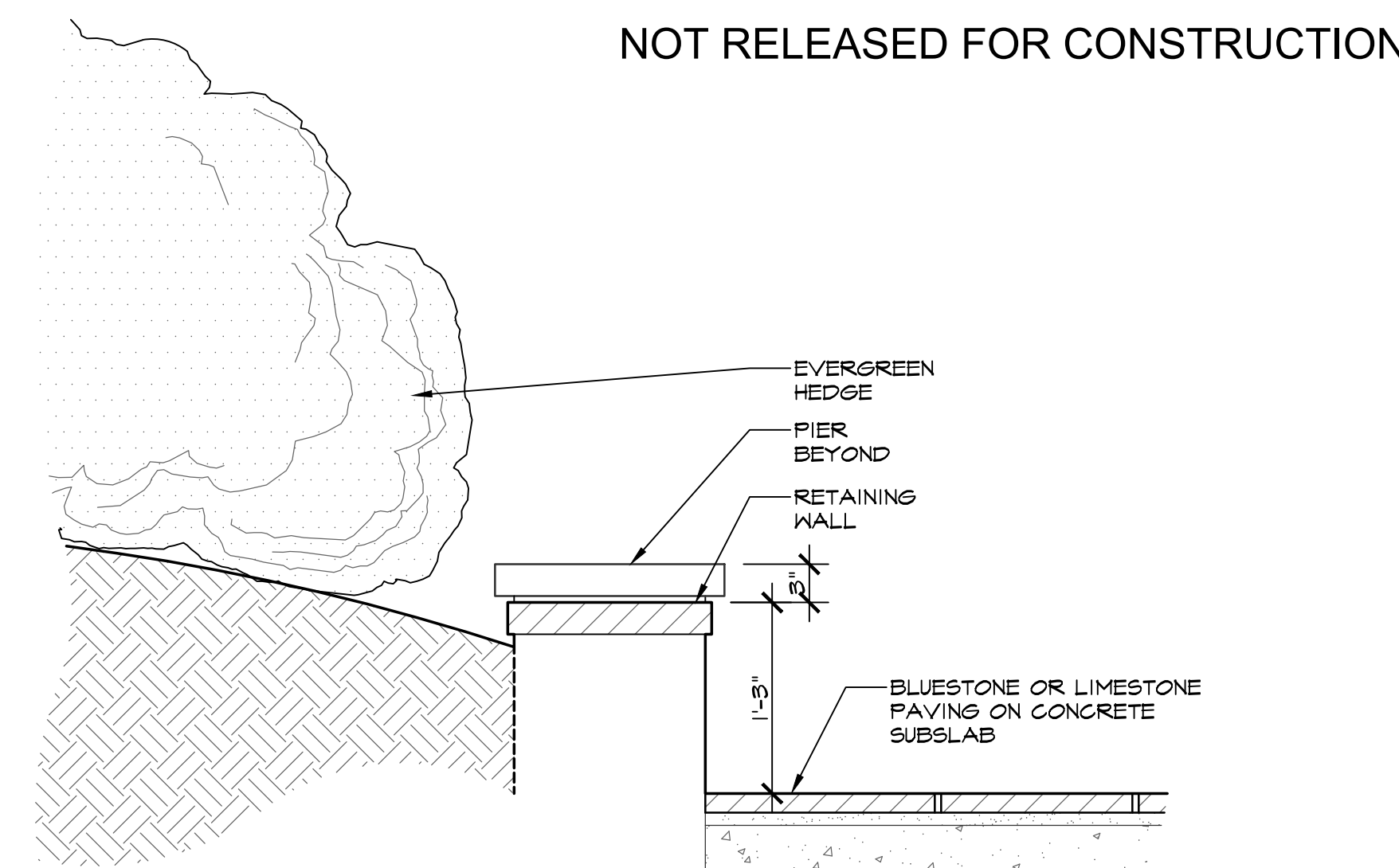
**L-1.5**  
 scale: AS SHOWN



**A PARKING COURT SECTION - LOOKING SOUTH**  
 L-1.5 SCALE: 3/16" = 1' - 0"



**B RETAINING/SITTING WALL @ END OF FRONT WALK - ELEVATION LOOKING WEST**  
 L-1.4 SCALE: 1" = 1'-0"  
FILE NAME: 21062022\_L-1\_BASE.dwg



**SECTION THOUGH WALL LOOKING NORTH**  
 SCALE: 1" = 1'-0"



# 1095 Lullwater Existing Conditions



This photo depicts the view along the driveway and the north side of the home. If you look very closely, you can see a few feet of the top of the existing accessory structure in the back of the home. The homeowners have had previous approvals to remove this structure. In this project we are planning to follow through with this demolition and replace the structure with our proposed garage/carriage house. The placement of this new structure will be 9'-6" further back from the side property line, thus will no longer have any visibility from the right of way.



Front Elevation of house facing Lullwater Rd. This photo is for reference to the design features of the home. The goal of the proposed carriage house design is to complement the features of the original Tudor architecture of the home, while being conscious of cost and recognizing the subordinant nature of the structure. We are going to give a nod to the original brick structure, with a brick water table at the foundation and brick row lock sills at the 2nd story windows. We plan to clad the new structure in a true 3-coat stucco smooth finish and the structure will be detailed such that the plane of stucco will sit appraised of the fenestration so that we can properly use the brick mould trim to frame out the windows and doors. Our man door to the main house from the carriage house and the garage door openings will have similar flattened Tudor arches in stucco as another nod to the original Tudor architecture of the home.

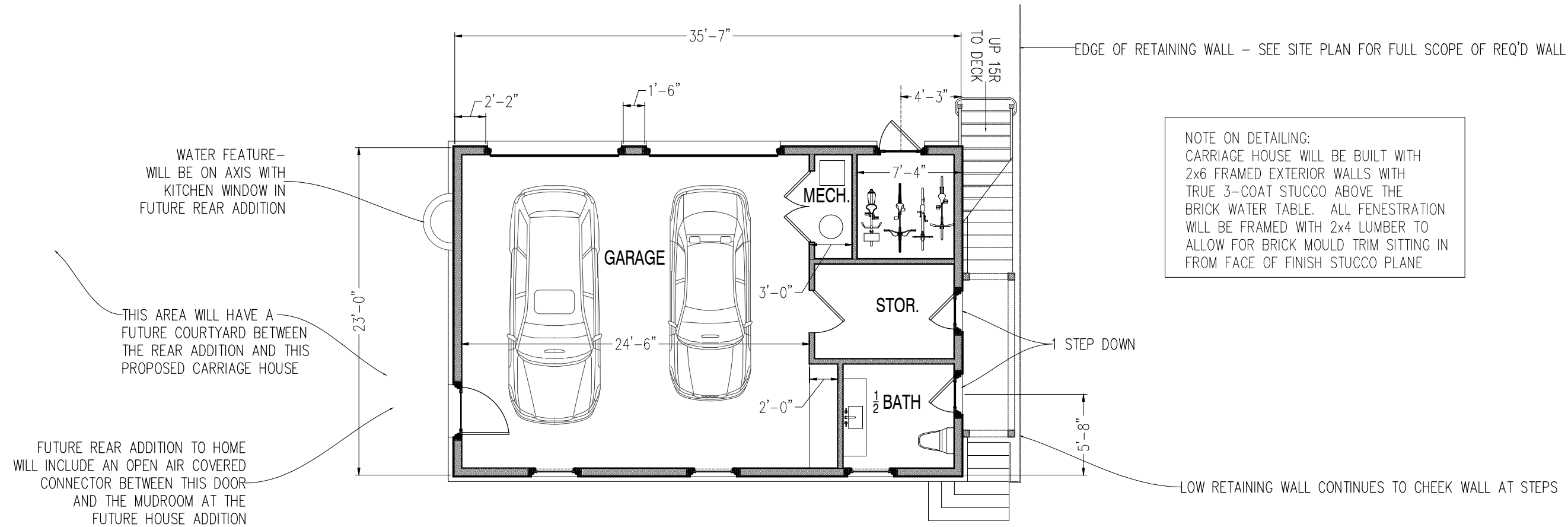


This is a close up of the existing stucco features on the original home. In this photo you can see the texture of the existing stucco, and the simple rake moulding at the gable. We plan to clad the carriage house in a similar smooth textured 3 coat stucco and to use a similiar simplified rake trim at the gable ends. We are also planning to use a simulated slate shingle product for the roof of the structure. Windows will be painted Jeld-Wen wood double hung windows or casement windows with SDL's.

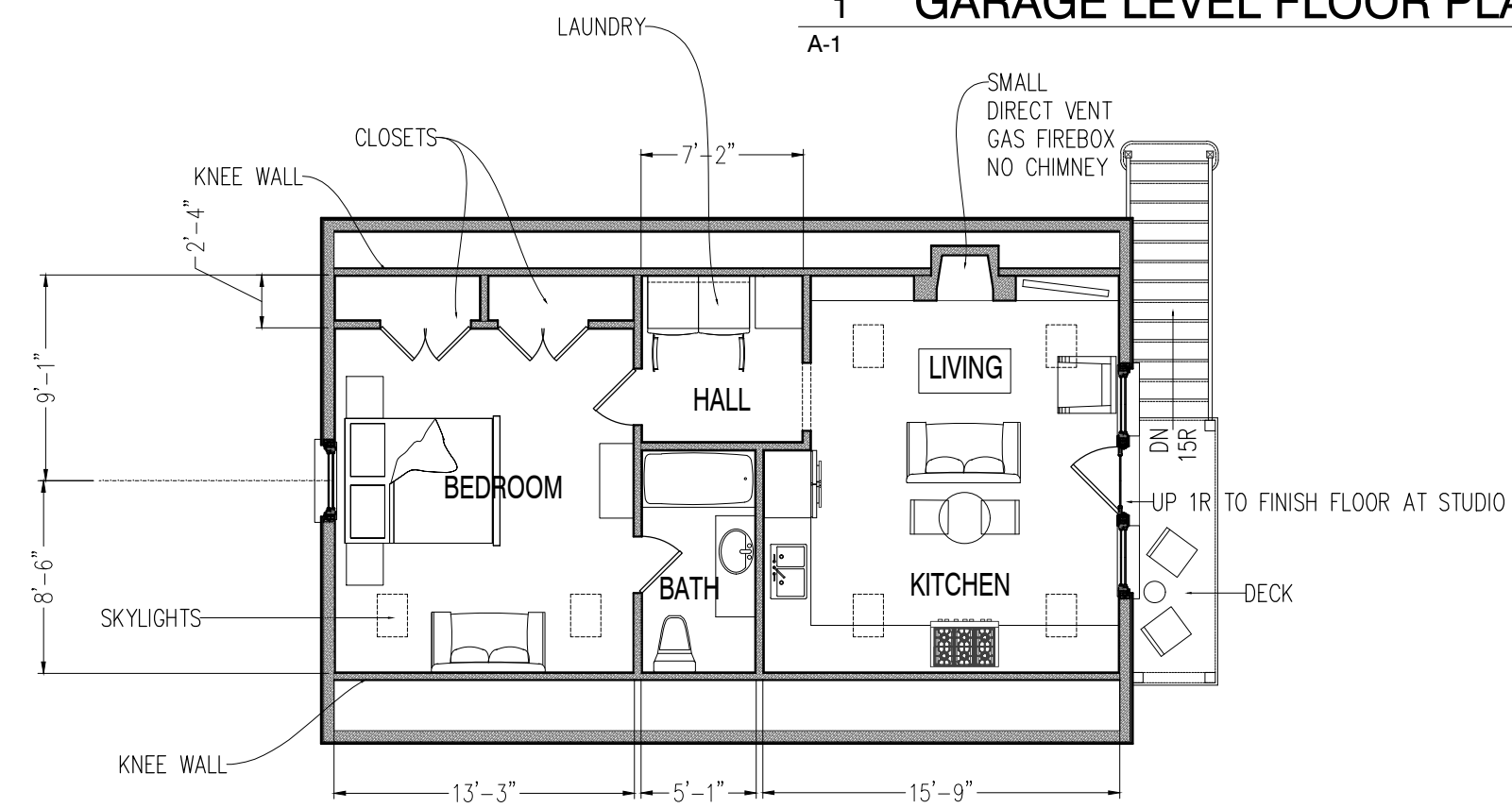


This series of photos show the existing accessory building that we propose to remove for the construction of our proposed new garage/carriage house.





1 GARAGE LEVEL FLOOR PLAN AT CARRIAGE HOUSE  
A-1 1/8"=1'-0"



1 STUDIO LEVEL FLOOR PLAN AT CARRIAGE HOUSE  
A-1 1/8"=1'-0"

219 Fairfield Street  
Decatur, GA 30030  
Phone: 404-723-0927  
karen@soorikianarchitecture.com

S O O R I K I A N  
ARCHITECTURE

SEGALL RESIDENCE  
1095 LULLWATER ROAD NE, ATLANTA, GA 30307

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architect.  
  
The Contractor shall verify all  
dimensions and existing  
conditions of the site before  
proceeding with each phase  
of the work.

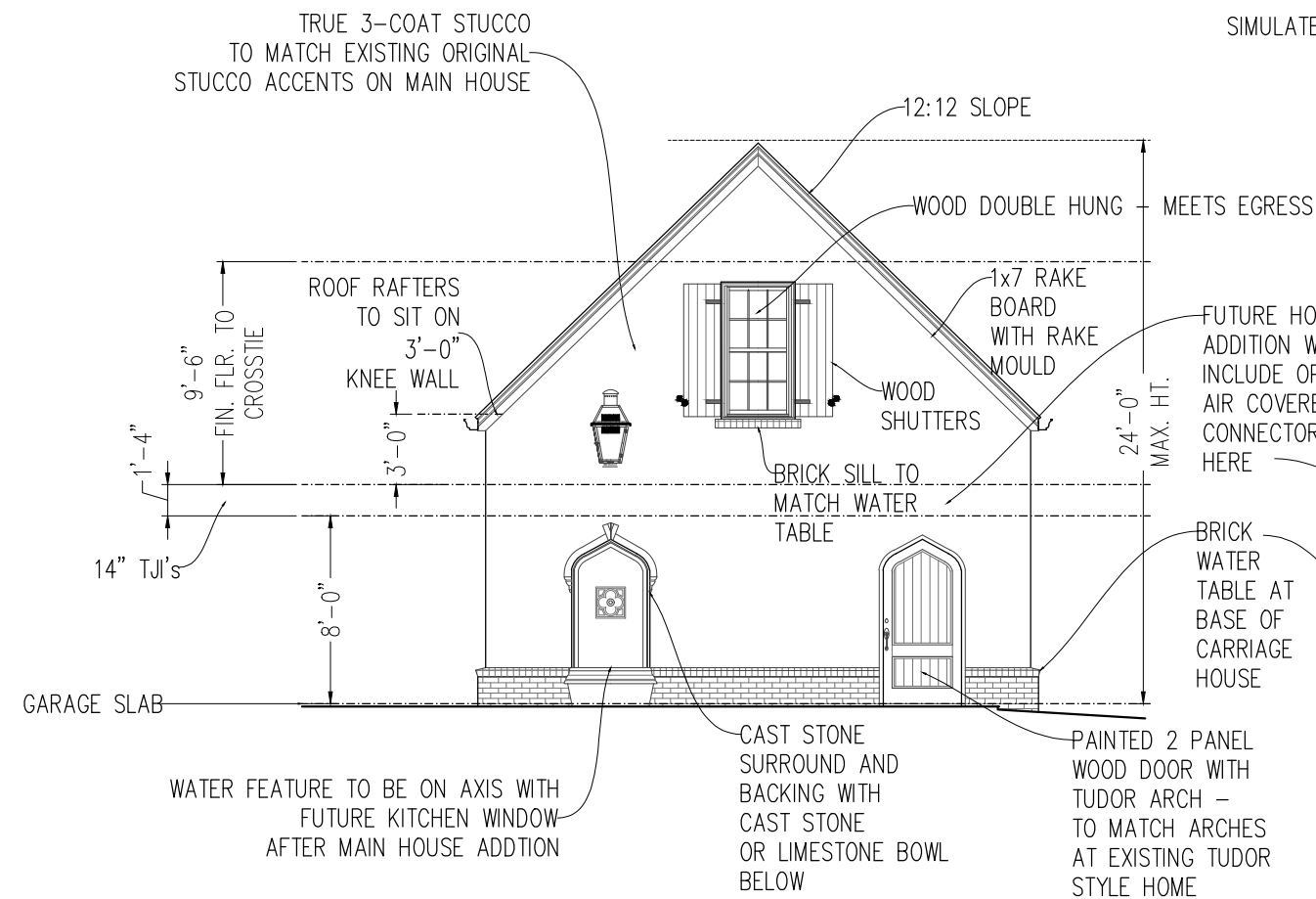
PROPOSED  
CARRIAGE  
HOUSE  
FLOOR PLANS

Date: 06-24-2022  
Revisions: REV

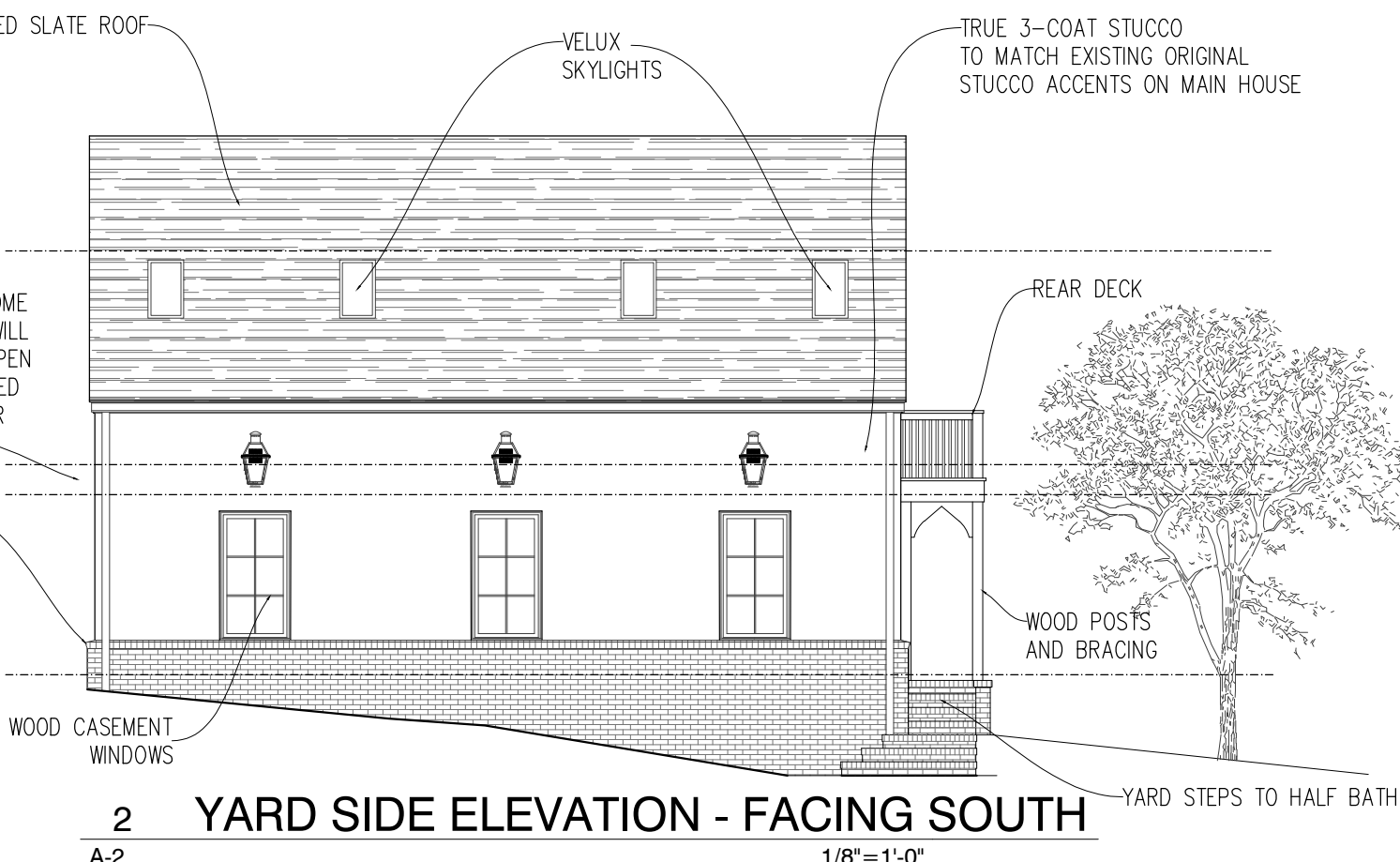
Job Number: 15-04  
Scale: 1/8"=1'-0"  
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Checked: KBS

A-1

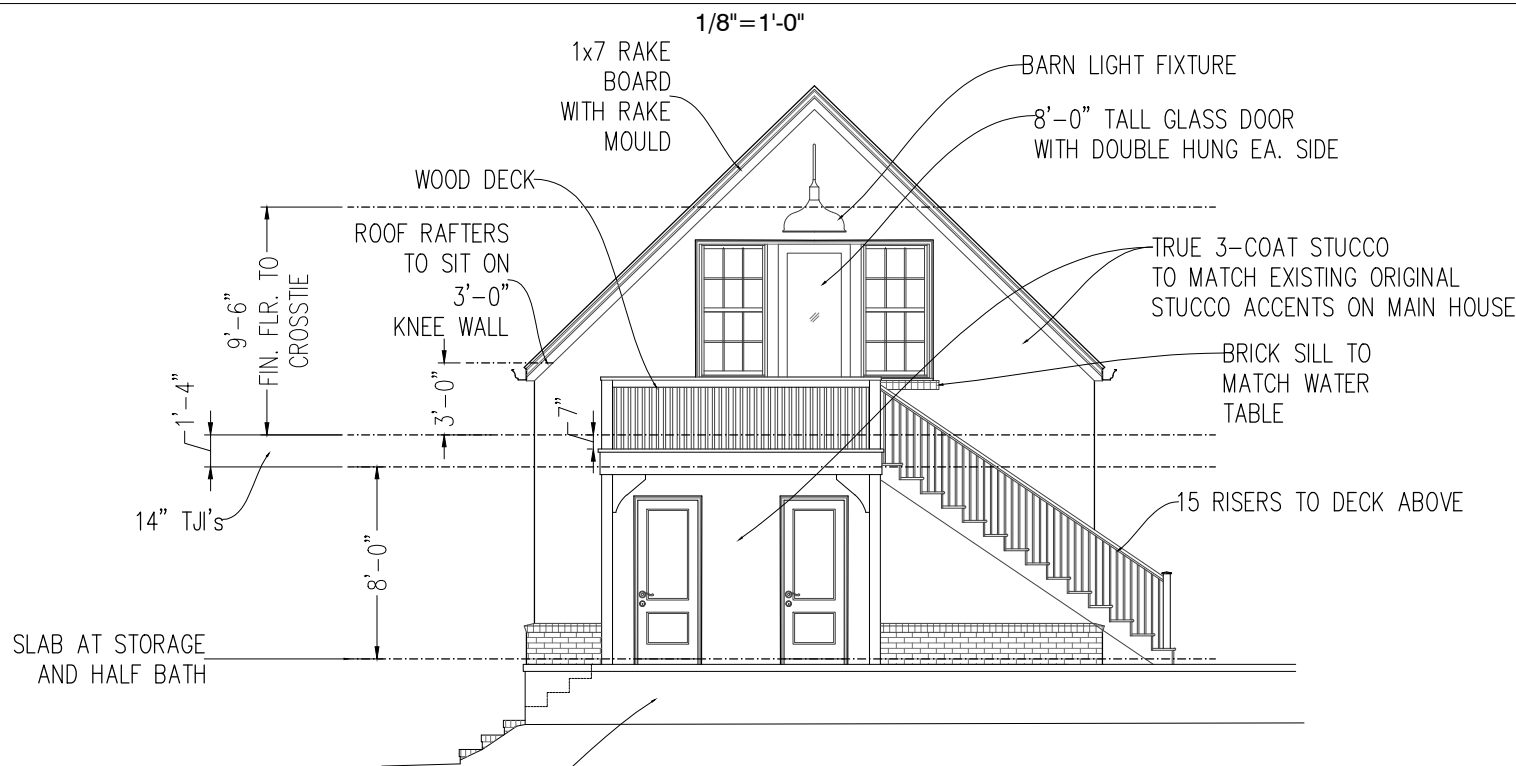




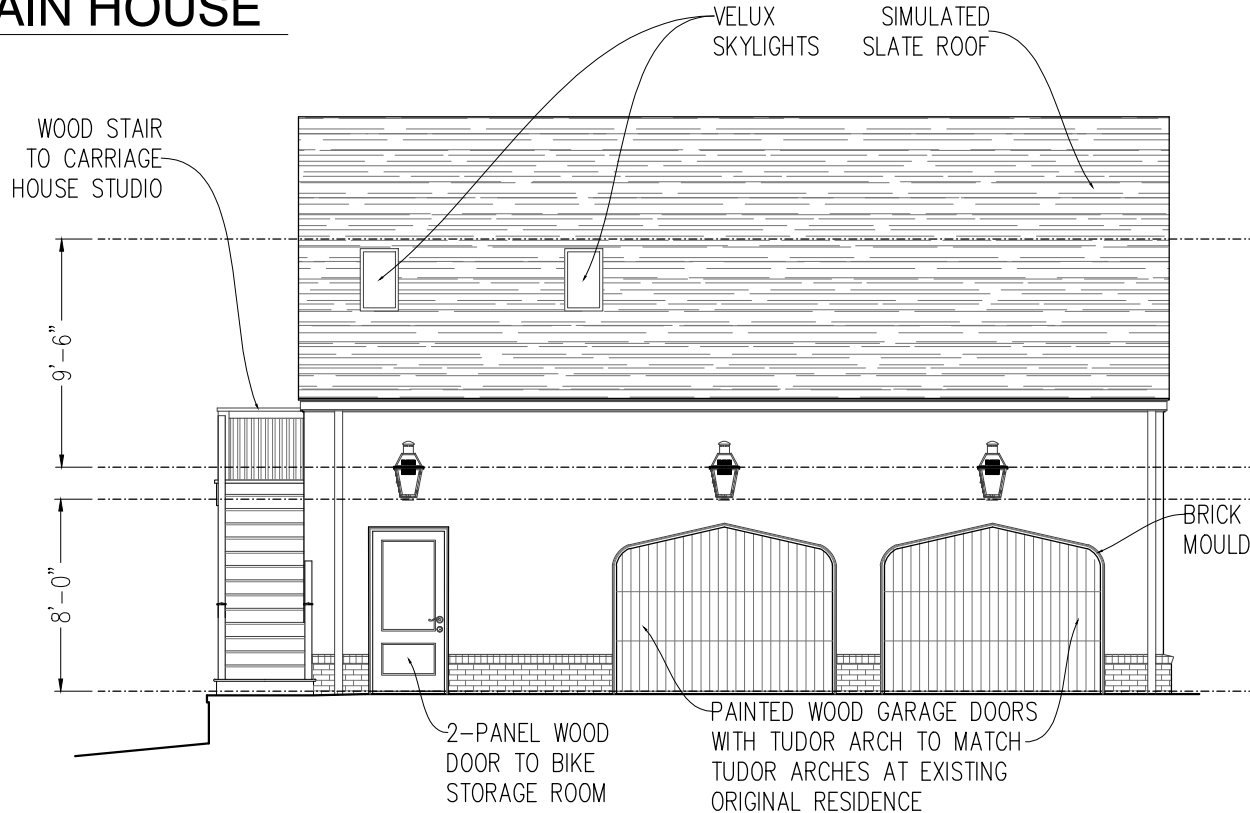
1 FRONT ELEVATION OF CARRIAGE HOUSE - FACES REAR OF MAIN HOUSE



2 YARD SIDE ELEVATION - FACING SOUTH



3 REAR ELEVATION



4 DRIVEWAY SIDE ELEVATION

REQUIREMENTS FOR GRADING, RETAINING AND REQUIRED STEPS TO GRADE TO BE DETERMINED BY LANDSCAPE ARCHITECT

219 Fairfield Street  
Decatur, GA 30030  
Phone: 404-723-0927  
karen@soorikianarchitecture.com

SOORIKIAN  
ARCHITECTURE

SEGALL RESIDENCE  
1095 LULLWATER ROAD NE, ATLANTA, GA 30307

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The Contractor shall verify all dimensions and existing conditions of the site before proceeding with each phase of the work.

PROPOSED  
CARRIAGE  
HOUSE  
EXTERIOR  
ELEVATIONS

Date: 06-24-2022  
Revisions: REV

Job Number: 15-04  
Scale: 1/8"=1'-0"  
Drawn: KBS  
Checked: KBS

A-2