

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 1199 OXFORD RD NE ATLANTA GA 30306

Applicant: GARRETT COLEY E-Mail: coleypermits1@gmail.com

Applicant Mailing Address: PO BOX 957421 DULUTH GA 30095

Applicant Phone(s): 678-886-6678

Fax: _____

Applicant's relationship to the owner: Owner ☐ Architect: ☐ Contractor/Builder ☐ Other ☒ **AUTHORIZED AGENT**

Owner(s): JOE THOMAS & MAGGIE WILSON

E-Mail: mwilson186@gmail.com

E-Mail: _____

Owner(s) Mailing Address: 1199 OXFORD RD NE ATLANTA GA 30306

Owner(s) Telephone Number: 434-981-6203

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1929

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☒ Moving a building ☐ Other building changes ☐
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐
Sign installation or replacement ☐ Other ☐

Description of Work:

PROPOSED WORK WILL INCLUDE INTERIOR ALTERATIONS TO AN EXISTING SINGLE FAMILY HOME
NEW FIREPLACE AT EXISTING REAR PORCH AND NEW SIDE ENTRY

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov An incomplete application will not be accepted.



6/28/2022

Signature of Applicant/Date

Revised 10/5/2020

1199 Oxford Road Interior Renovation

Mark	Date	Description
	5/3/22	FOR CONST
Issue/Revision	FOR CONST	
Project ID	2125	
CAD File Name	central.rvt	
Drawn By	CP	
Checked By	CP	
Sheet Title		

COVER
SHEET

Drawing No.
A-0.0

PROJECT INFORMATION

INTERIOR RENOVATION TO AN EXISTING SINGLE FAMILY RESIDENCE. NEW FIREPLACE AT EXISTING REAR PORCH AND NEW SIDE ENTRY.

GOVERNING CODES:

- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition, with Georgia Amendments (2020)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- National Electrical Code, 2017 Edition, with no Georgia Amendments
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
- International Swimming Pool & Spa Code, 2018 Edition, with Georgia Amendments (2020)
- Prescriptive Deck Details Per 2012 IRC and 2014/15 Amendments

ADDRESS: 1199 Oxford Road Atlanta, Ga 30306
LAND LOT: -
DISTRICT: -
COUNTY: DeKalb
ZONING: R-85 (DeKalb County Uninc)
Druid Hills Historic District

NET LOT AREA: 13,940 sf (.32 Acre)
GROSS LOT AREA: -

EXISTING SF: 4,101 sf
NEW SF: 4,101 sf (No Change to Existing)

LOT COVERAGE (35% MAX)

BLDG FOOTPRING + PAVING + DECKS / NET LOT AREA:
EXISTING No Change to Existing
PROPOSED No Change to Existing

BUILDING CODE DATA

STORIES 2
HEIGHT NO CHANGE
WEATHER MODERATE
FLOOD HAZARDS NONE (NOT IN FLOOD PLAIN, NO STATE WATERS WITHIN 200' OF SITE)
WIND SPEED 90 MPH, Exposure B
WINTER DESIGN TEMP 22 deg
GROUND SNOW LOAD 5 psf
TYP DEAD LOADS 20 psf Roof, 15 psf Floor, 10 psf Attic
TYP LIVE LOADS 40 psf, 30 psf sleeping rooms
TYP ROOF LOAD 20 psf
TERMITE SEVERE
FROST LINE DEPTH 12"
MEAN ANNUAL TEMP 66.2 deg
SEISMIC DESIGN CATEGORY B

SYMBOL LEGEND

	ELEVATION MARK		COLUMN NUMBER AND LINE
	WALL SECTION MARK		ROOM INFORMATION
	DETAIL MARK		DOOR TAG
	INTERIOR ELEVATION MARK		WINDOW TAG
	LEVEL ELEVATION MARK		PARTITION TYPE
			TAG FOR KEYNOTE
			REVISION NUMBER
			REVISION MARK

PROJECT DIRECTORY

OWNER:

Joe Thomas & Maggie Wilson
1199 Oxford Road
Atlanta, Ga 30306
CONTACT: Maggie Wilson
PHONE: 434.981.6203
EMAIL: mwilson186@gmail.com

CONTRACTOR:

Copper Sky Renovations
1155 Zonolite Rd Suite A2
Atlanta, Ga 30306
CONTACT: Jim Walker
PHONE: 404.931.7419
EMAIL: jim.walker@coppersky.net

ARCHITECT:

Patton Architects, LLC
1698 Fernleaf Circle
Atlanta, GA 30318
CONTACT: Cody Patton
PHONE: 404.368.2399
EMAIL: cpatton@pattonarchitects.com

STRUCTURAL:

3LP Engineering
107 Weatherstone Drive, Suite 540
Woodstock, GA 30188
CONTACT: Maria Arguellas
PHONE: 954.261.8936
EMAIL: maria@3lpengineering.com

MEP:

Design / Build

ABBREVIATIONS

A.D.A.	AMERICANS W/ DISABILITIES ACT	N/A	NOT APPLICABLE
AFF	ABOVE FINISHED FLOOR	N.I.C.	NOT IN CONTRACT
ARCH.	ARCHITECT / ARCHITECTURAL	N.S.F.	NET SQUARE FOOTAGE
BD.	BOARD	O.C.	ON CENTER
BLDG.	BUILDING	O.D.	OUTSIDE DIAMETER
C.L.	CENTERLINE	O.H.	OPPOSITE HAND
CLG.	CEILING	P-LAM.	PLASTIC LAMINATE
CLR.	CLEAR	PLYWD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	PROJ.	PROJECT / PROJECTION
COL.	COLUMN	PT.	PAINT
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONST.	CONSTRUCTION	QTY.	QUANTITY
CONT.	CONTINUOUS	RCP	REFLECTED CEILING PLAN
CPT.	CARPET	RAD.	RADIUS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION	S.C.	SOLID CORE
DN.	DOWN	SCHED.	SCHEDULE
DET.	DETAIL	SECT.	SECTION
ELEC.	ELECTRIC / ELECTRICAL	S.F.	SQUARE FOOT / SQUARE FOOTAGE
ELEV.	ELEVATION / ELEVATOR	SIM.	SIMILAR
EQ.	EQUAL	SPEC.	SPECIFICATION
EXIST.	EXISTING	SQ.	SQUARE
EXT.	EXTERIOR	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	TEMP.	TEMPORARY
FIXT.	FIXTURE	T.O.	TOP OF
FT.	FOOT / FEET	T.O.S.	TOP OF STEEL
G.S.F.	GROSS SQUARE FOOTAGE	T.O.W.	TOP OF WALL
G.W.B.	GYPSPUM WALL BOARD	TYP.	TYPICAL
GYP.	GYPSPUM	U.N.O.	UNLESS NOTED OTHERWISE
H.C.	HOLLOW CORE / HANDI-CAP	V.I.F.	VERIFY IN FIELD
H.M.	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
HT.	HEIGHT	V.O.J.	VERIFY ON JOB
H.V.A.C.	HEATING VENTILATION & AIR CONDITION	W/	WITH
IN.	INCH	W/O	WITHOUT
L.F.	LINEAR FEET	W.C.	WATER CLOSET
MAT'L.	MATERIAL	WD.	WOOD
MFR.	MANUFACTURER	W.H.	WATER HEATER
MTL.	METAL	WT.	WEIGHT

GENERAL NOTES

- Construction shall conform to the requirements of all governing federal, state, and local codes.
- All materials, hardware and fixtures will be U.L. listed.
- The drawings illustrate general workscope requirements and do not elaborate on installation techniques. All work performed shall meet or exceed industry standards, be performed in accordance with manufacturer's recommendations, and shall conform to all provisions of state, county and city codes, building laws, ordinance rules and regulations.
- Contractor or Owner shall obtain and pay for building permits.
- Coordinate exact locations of conduit, ductwork, mechanical and electrical devices, and light fixtures with the Architect in the field.
- All partitions are dimensioned to finish face of partition unless noted otherwise. All dimensions shown on the drawings shall be considered critical. It shall be the responsibility of the contractor to notify the Architect of any deviation in the placement of work prior to installation.
- Drawings are furnished to show design intent for construction only and do not show every condition or aspect of construction. Contractor to inform the Architect of any discrepancies or unforeseen conditions prior to proceeding with any work. Do not scale drawings. Dimensions govern.
- Contractor to remove existing soils to allow for new construction. See Civil Drawings.
- Debris resulting from the construction shall be removed entirely from the construction site on a daily basis to a waste area provided by the contractor.
- All work shall be done in a workmanlike manner and in accordance with accepted construction standards. All walls, ceilings, and other assemblies to be plumb, true, and square, unless otherwise noted.
- Mechanical, electrical and plumbing scope, fixtures and locations will generally be noted on the drawings. The contractor is responsible for providing permit drawings and obtaining all MEP permits.
- Double studs construction to be used at all cased and door openings.
- Outlets and utilities indicated on plan are minimum requirements. Additional telephones or outlets may be required by code or by owner. General Contractor to verify all locations in field.
- All floor and wall penetrations in rated assemblies shall be sealed with approved, current firestop assemblies appropriate for the rated wall assembly.
- Contractor is responsible for soil testing. Contractor is responsible for any required testing of material and assemblies installed by contractor.
- All assemblies, material to meet current Georgia Energy Code requirements.
- Interior finishes, materials, and furnishings shall comply with and meet the smoke and fire rating requirements of all state and local codes. In particular, all interior finishes shall meet requirements set forth in the standard building code.
- Final clean-up of building and site shall be the responsibility of the general contractor. Building and site shall be turned over in a clean and new condition.
- Provide one fire extinguisher per residential unit.
- Not Used.
- All lumber in contact with concrete slabs, exterior masonry walls, or in conjunction with concrete slabs, exterior masonry walls, or in conjunction with gravel stops or roofing shall be preservative treated in accord with AWPA C1-77 and AWPI LP-22, CCA, Type A, non-leaching type preservative.
- Not Used.
- The contractor shall provide a warranty for correction of the work of this project for the period of one year after substantial completion or as otherwise stipulated in the contract documents.
- The Architect is not responsible for changes made or authorized by the owner, owner's representatives, tenants, contractor or others without written consent by the architect or consultant.
- The contractor shall be responsible for coordination of structural, mechanical, electrical, and plumbing work with the architectural drawings. All discrepancies in the documents shall be reported to the architect for resolution of any conflicts with any design elements before the work is done.
- The contractor shall field verify construction tolerances and take field measurements of any existing conditions related to the work of this project. Unforeseen conditions encountered at the site materially different from those indicated in the contract document shall be promptly reported to the Architect or owner's representative before the conditions are disturbed.
- The contractor shall be responsible for all cutting, patching and fitting necessary to achieve the scope of the work.
- Existing utilities or other mechanical, electrical, or plumbing equipment requiring removal, capping, termination, and/or relocation shall be included in the overall scope and performance of the project by the contractor.
- All substrate surfaces are to be prepared to receive finish materials per manufacturer's product literature and written instructions for installation, or application. Fill voids in round columns prior to applying finish materials.
- The contractor shall verify that no conflicts exist in locations of any and all mechanical, telephone/data, electrical, lighting and plumbing equipment (to include all piping, ductwork, and conduit) and that all required clearance for installation or maintenance or above equipment is provided.
- The contractor shall provide and install equipment and appliances specified unless otherwise noted. The contractor shall verify all plumbing and electrical requirements related to equipment and appliances in the scope of work.

DRAWING LOG

ARCHITECTURAL

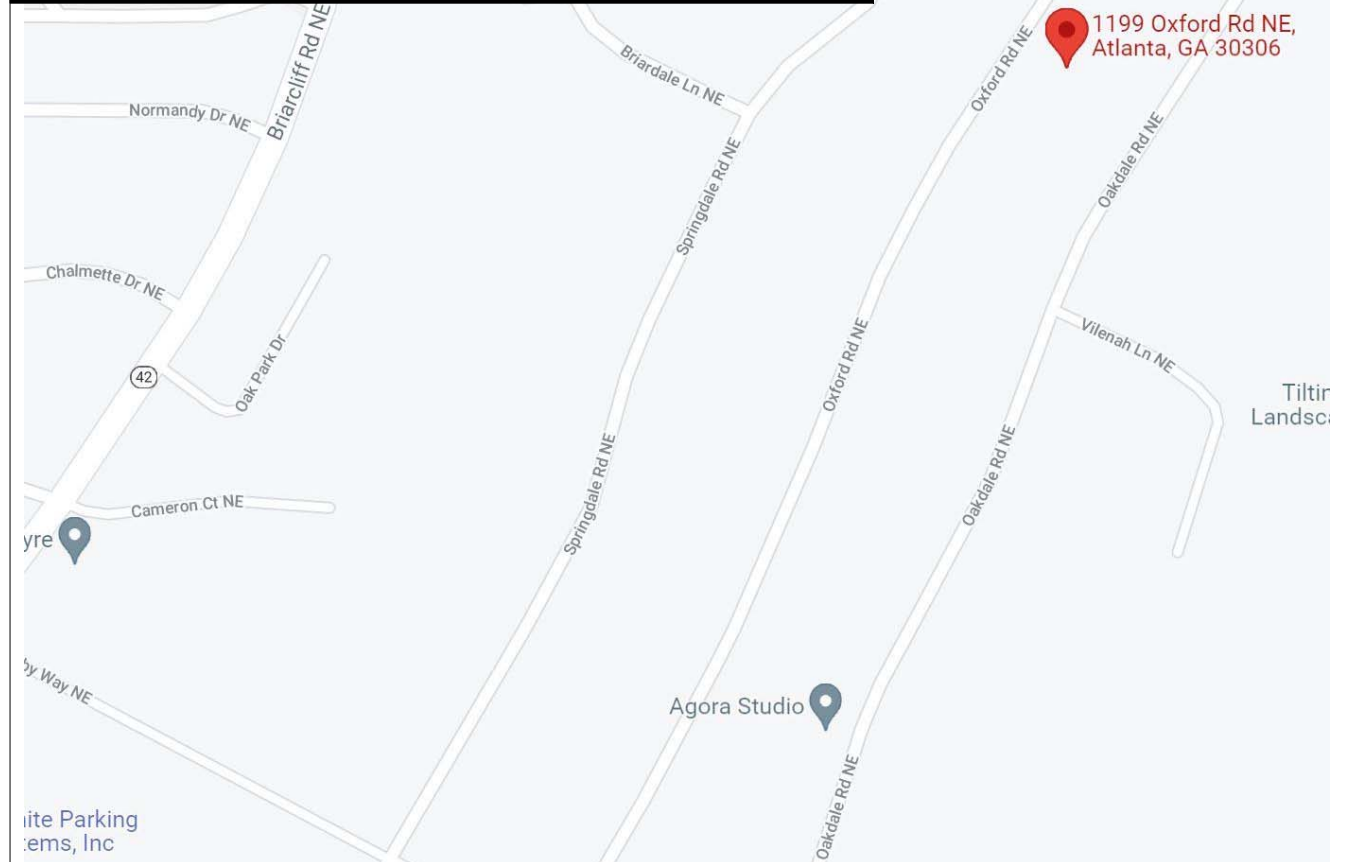
SHEET	DESCRIPTION	ISSUE DATE:	AS BUILT	SCHEM DES	FOR CONST
A-0.0	COVER SHEET				X
A-2. 01	FLOOR PLANS EXISTING	10/29/21	X	X	
A-2. 02	FLOOR PLANS EXISTING	4/4/22	X	X	
A-3.0	ELEVATIONS AS-BUILT				X
D-2.1	FLOOR PLANS DEMO		X	X	
A-2.1	FLOOR PLANS NEW		X	X	
A-2.2	FLOOR PLANS NEW		X	X	
A-3.1	EXTERIOR ELEVATIONS		X	X	

STRUCTURAL

S-2.1	STRUCTURAL BEAM SKETCH			X	
S-2.2	STRUCTURAL BEAM SKETCH			X	

SEE STRUCTURAL LETTER AND SKETCHES
DATED APRIL 15, 2022 BY 3LP ENGINEERING

LOCATION MAP



1199 Oxford Road
Interior Renovation
Atlanta, Ga 30306
DeKalb County

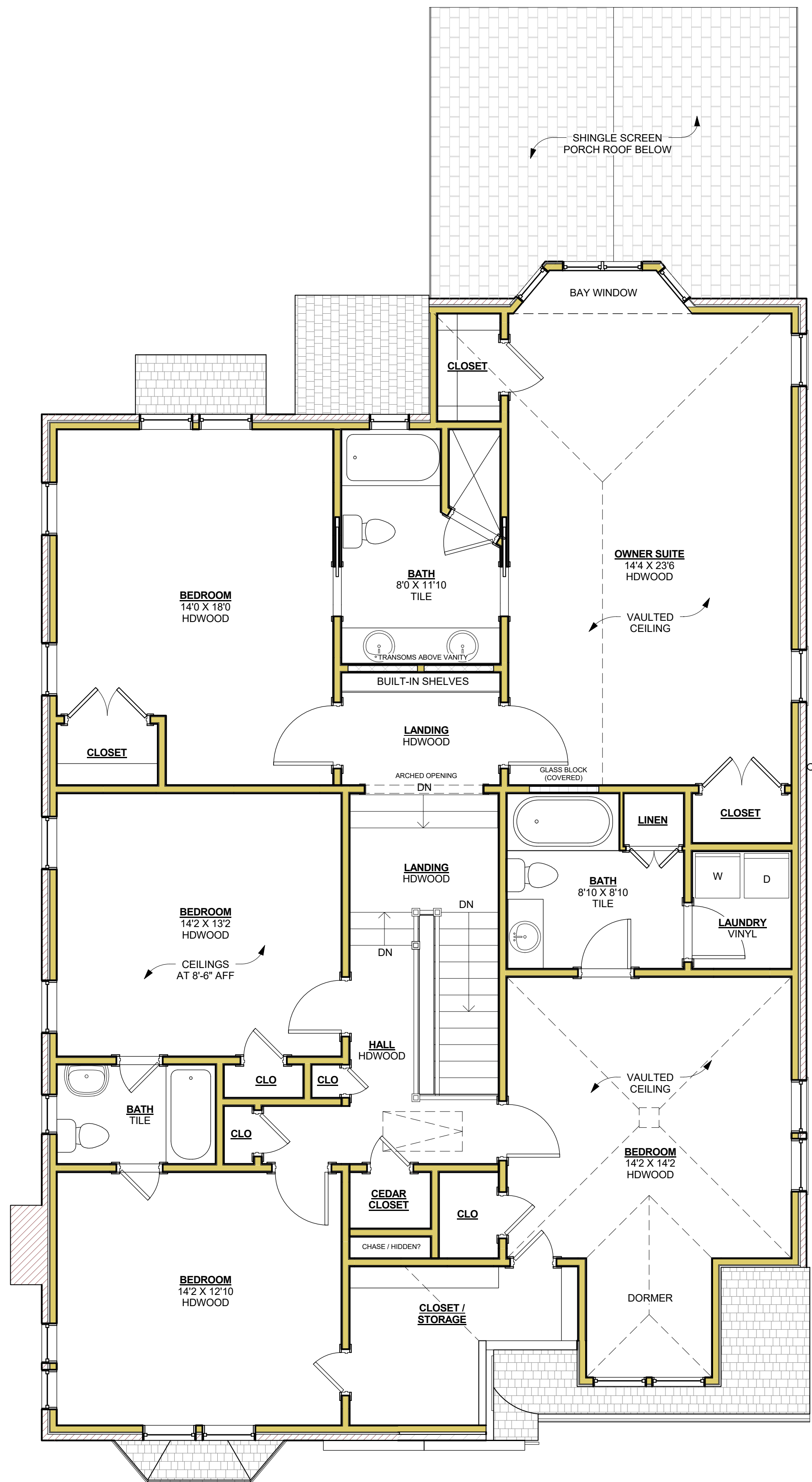


Mark	Date	Description
	10/29/21	AS BUILT
	5/3/22	FOR CONST

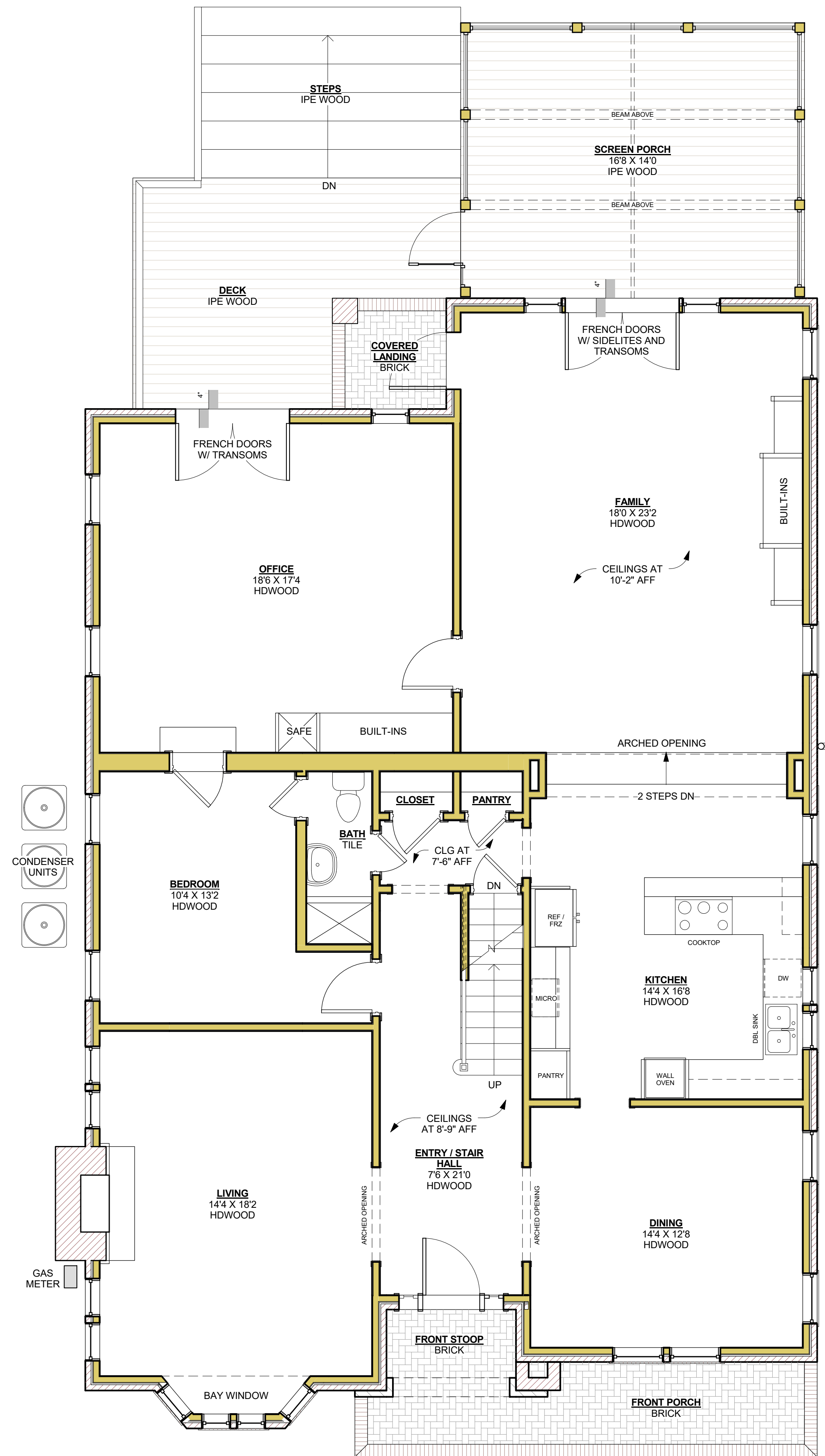
Issue/Revision	FOR CONST
Project ID	2125
CAD File Name	central.rvt
Drawn By	CP
Checked By	CP
Sheet Title	

FLOOR PLANS
EXISTING

Drawing No.
A-2. 01



2 Second Floor Existing 2,035 SF (GROSS)
A-2. 01 1/4" = 1'-0"



1 First Floor Existing 2,066 SF (GROSS)
A-2. 01 1/4" = 1'-0"



ISSUED FOR CONSTRUCTION

1199 Oxford Road
Interior Renovation
Atlanta, Ga 30306
DeKalb County

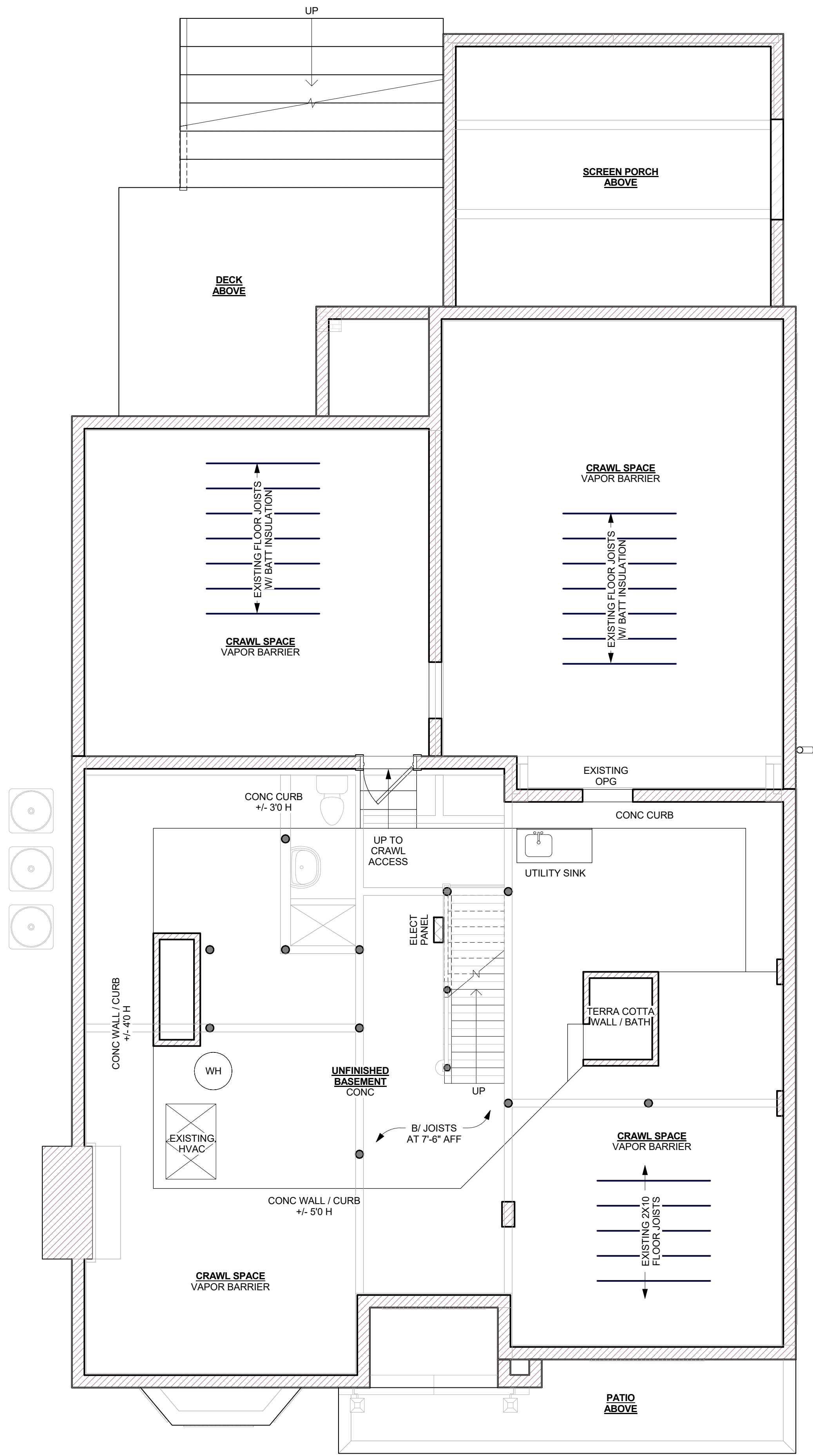


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	5/3/22	FOR CONST

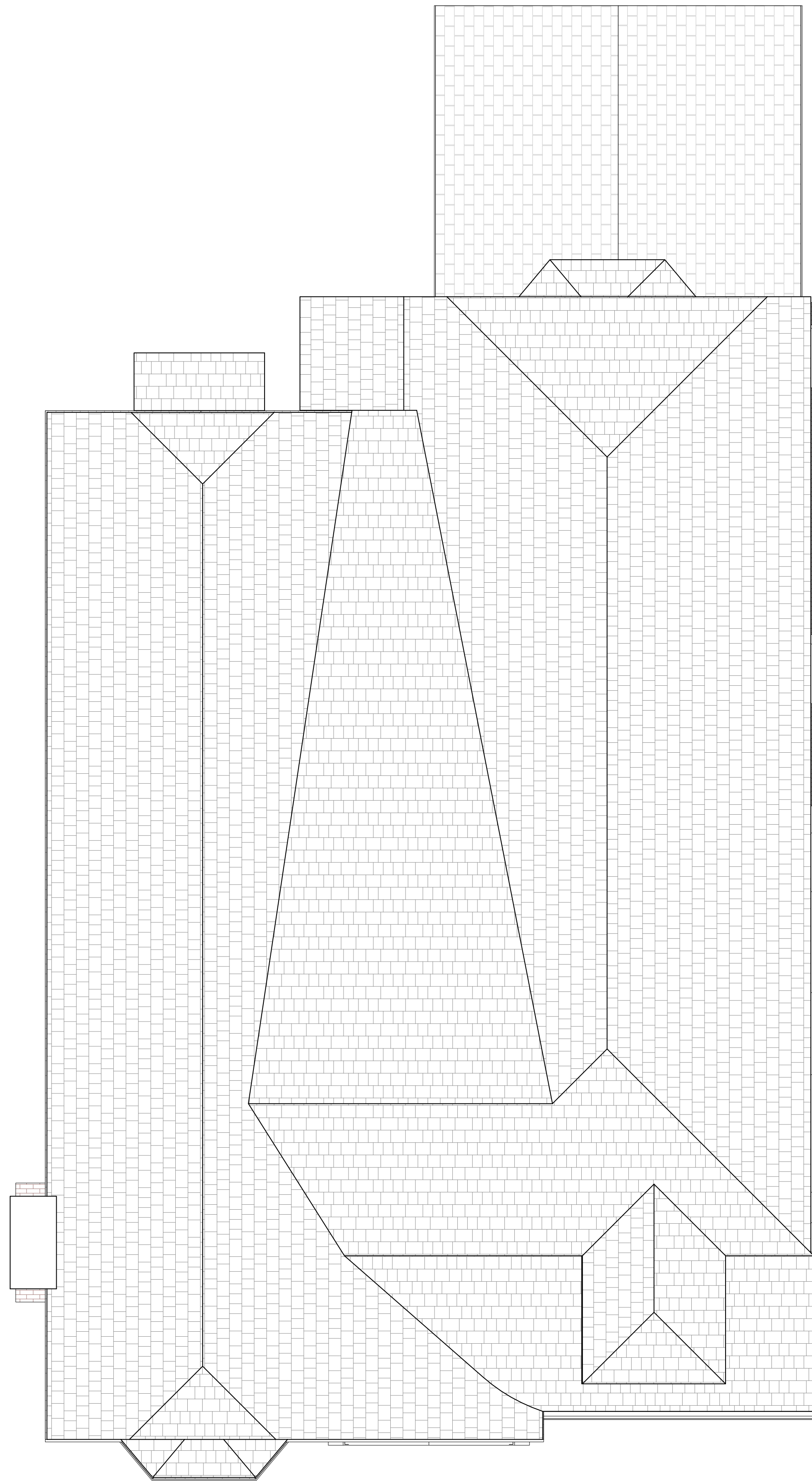
Issue/Revision	FOR CONST
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Sheet Title	

FLOOR PLANS
EXISTING

Drawing No.	A-2. 02
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2 Basement Existing
A-2. 02 1/4" = 1'-0"



1 Roof Plan Existing
A-2. 02 1/4" = 1'-0"



1 Front Elevation Existing
A-3.0 1/4" = 1'-0"



3 Right Elevation Existing
A-3.0 1/4" = 1'-0"

Mark	Date	Description
	10/29/21	AS BUILT
	5/3/22	FOR CONST

Issue/Revision	FOR CONST
Project ID	2125
CAD File Name	central.rvt
Drawn By	CP
Checked By	CP
Sheet Title	

Mark	Date	Description
	4/4/22	SCHEM DES
	5/3/22	FOR CONST

Issue/Revision	FOR CONST
Project ID	2125
CAD File Name	central.rvt
Drawn By	CP
Checked By	CP
Sheet Title	

FLOOR PLANS
DEMO

Drawing No.
D-2.1

DEMOLITION NOTES

1. Submit schedule indicated proposed sequence of operations for selective demolition work to Owners Representative for review prior to start of work. Include coordination for shutoff, capping, and continuation of utility services as required, together with details for dust and noise control.
2. All materials that can be salvaged for resale value are to be brought to the attention of the owner prior to removal. The owner reserves the right to all salvage material. These items include, but are not limited to the following: electrical boxes and machinery, copper, aluminum, etc.
3. Repair demolition performed in excess of that required. Return structures and surfaces to remain to condition existing prior to commencement of selective demolition work.
4. Repair adjacent construction or surfaces soiled or damaged by selective demolition work.
5. Remove all abandoned or inoperable mechanical, electrical, plumbing and sprinklers unless noted otherwise.
6. Remove all items that are attached to or protrude from all existing interior and exterior surfaces. These may include but are not limited too nails, bolts, screws, clips, pipes and wires.
7. Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.
8. Provide temporary weather protection during interval between demolition and removal of existing construction on exterior surfaces and installation of new construction to ensure that no water leakage or damage occurs to structure or interior areas of existing building.
9. Maintain existing utilities indicated to remain. Keep in service and protect against damage during demolition operations. Locate, identify, stub off, and disconnect utility services that are not indicated to remain. Do not interrupt utilities serving occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to governing authorities.
10. Provide interior and exterior shoring, bracing, or support to prevent movement, settlement, or collapse of structures to be demolished and adjacent facilities to remain.
11. Demolish concrete and masonry in small sections. Cut concrete and masonry at junctures with construction to remain using power-driven masonry saw or hand tools; do not use power-driven impact tools.
12. Remove debris, rubbish, and other materials resulting from demolition operations from building site. Transport and legally dispose off site. If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws, and ordinances concerning removal, handling, and protection against exposure or environmental pollution. Burning of removed materials is not permitted on project site.
13. Upon completion of demolition work, remove tools, equipment, and demolished materials from site. Remove protections and leave interior areas broom clean. Repair demolition performed in excess of that required. Return surfaces to remain to condition existing prior to commencement of selective demolition work. Repair adjacent construction or surfaces soiled or damaged by selective demolition work.
14. If unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure both nature and extent of conflict. Submit report to Owners representative in written, accurate detail. Pending receipt of directive from Owners representative, rearrange selective demolition schedule as necessary to continue overall job progress without delay.

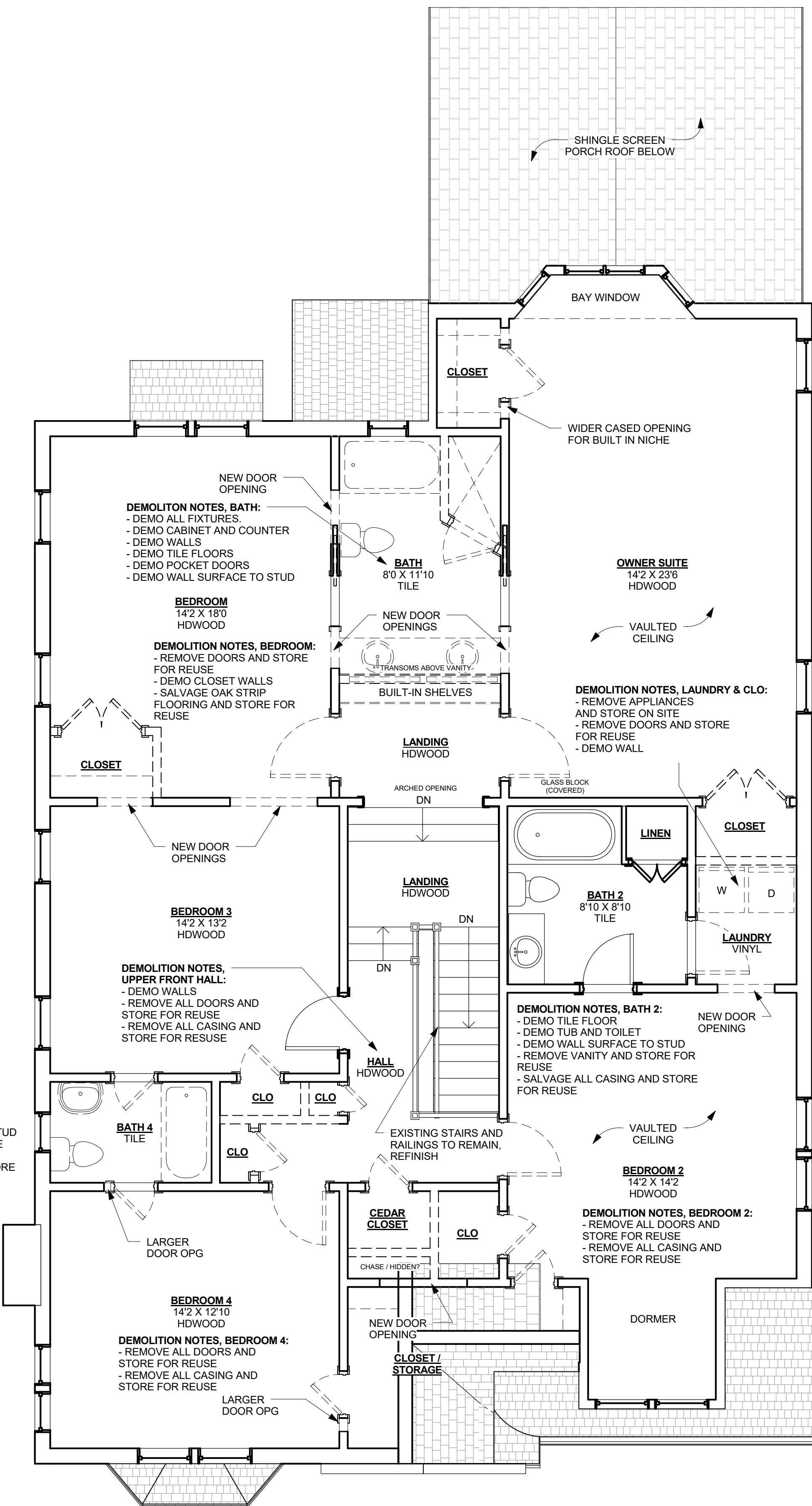
SALVAGE NOTE

COORDINATE SALVAGE AND DONATION OF EXISTING MATERIALS WITH OWNER, INCLUDING BUT NOT LIMITED TO FIXTURES, APPLIANCES, DOORS, WINDOWS, HARDWARE, ETC. (LIFE CYCLE BUILDING CENTER)

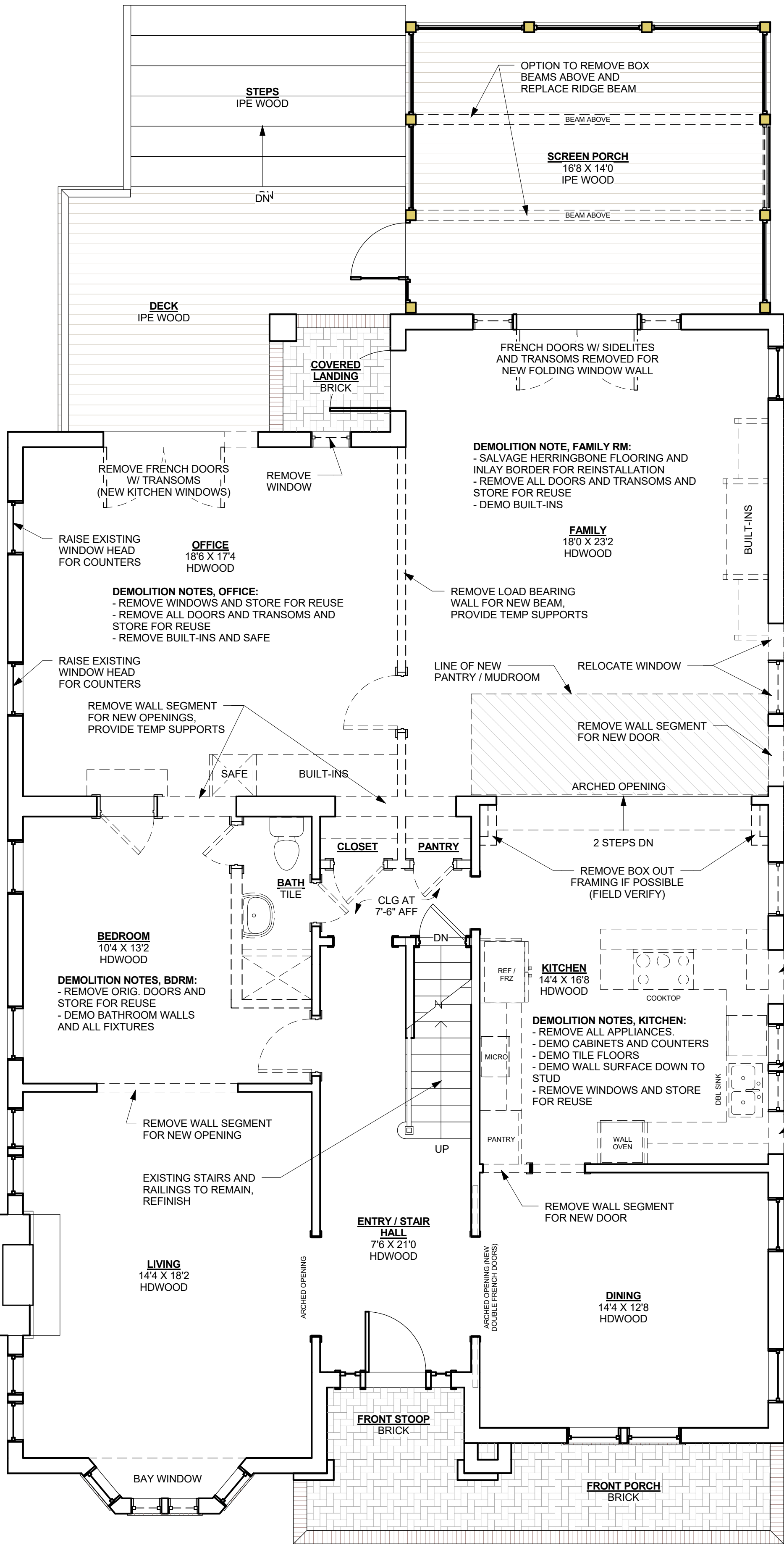
PARTITION TYPE LEGEND

	NEW WALL PARTITION
	EXISTING WALL
	DEMO WALL
	2X4 WD STUD AT 16" O.C. W/ 1/2" GYP EA SIDE

DEMOLITION NOTES, BATH 4:
- DEMO TILE FLOOR
- DEMO ALL FIXTURES
- DEMO WALL SURFACE TO STUD
- REMOVE DOORS AND STORE FOR REUSE
- SALVAGE CASINGS AND STORE FOR REUSE



2 Second Floor Demo
D-2.1 1/4" = 1'-0"



1 First Floor Demo
D-2.1 1/4" = 1'-0"



GENERAL NOTES

- 1) CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY OWNER OR ARCHITECT OF ANY DISCREPANCIES OR UNFORSEEN CONDITIONS PRIOR TO ANY WORK.
- 2) ALL INTERIOR WALLS ARE P-1 U.N.O.
- 3) WALLS ARE DIMENSIONED FROM FACE OF FINISH UNLESS NOTED OTHERWISE. DOORS AND WINDOWS ARE DIMENSIONED FROM EDGE OF OPENING.
- 4) ALL GYPSUM BOARD AT BATHROOM AREA AND KITCHEN SINK AREA TO BE WATER RESISTANT. PROVIDE CEMENT BOARD AT TILE LOCATIONS.
- 5) PROVIDE BLOCKING AT ALL BATHROOM ACCESSORIES, WALL CABINETS, AND SHELVING.
- 6) CENTER LIGHT FIXTURES ON DOORWAYS, IN ROOMS OR ABOVE PLUMBING FIXTURES WHERE APPLICABLE.
- 7) PROVIDE SWITCHES & ELECTRICAL OUTLETS PER RESIDENTIAL ELECTRICAL CODE. INSTALL AT 18" AFF OR AT 44" AFF AT COUNTERTOPS. PROVIDE GFCI OUTLETS AT WET AREAS AND EXTERIORS. COORD OUTLETS, DIMMER SWITCHES, CABLE, & DATA W/ OWNER.
- 8) PROVIDE ALLOWANCE AND INSTALL ALL APPLIANCES, PLUMBING, AND LIGHTING FIXTURES AS SELECTED BY OWNER.
- 9) NEW INTERIOR DOORS TO BE SOLID CORE WOOD TO MATCH EXISTING OR AS SELECTED BY OWNER. PROVIDE HARDWARE AND LOCKSETS AS SELECTED BY OWNER.
- 10) ALL INTERIOR TRIM (BASE, CROWN, DOOR AND WINDOW TRIM) TO MATCH ORIGINAL / EXISTING, PAINT.
- 11) REPLACE EXISTING FURNACE, CONDENSER UNIT AND DUCTWORK AS REQUIRED. VERIFY MODEL AND SIZING WITH OWNER & MECH CONTRACTOR. MIN SEER 14.
- 12) COORDINATE ALL PLUMBING AND HVAC ROUTING IN FIELD. VERIFY WITH OWNER.
- 13) PROVIDE BATT OR SPRAY INSULATION AT NEW EXTERIOR WALLS AND CEILINGS (MIN R-13 WALL, R-38 CEILINGS, R-19 FLOORS OVER UNCONDITIONED SPACE).

GENERAL SCOPE NOTES

- REPLACE CROWN MOLDING IN SPACES THAT DO NOT HAVE ORIGINAL PROFILE (TO MATCH ORIGINAL CROWN W/ PICTURE RAIL)
- SAND & PAINT OR REPLACE BASE, CROWN, & CASINGS THAT ARE DAMAGED
- SAND & PAINT / REFINISH DOORS THAT ARE UNFINISHED OR DAMAGED
- CLEAN OR REPLACE DOOR HARDWARE & HINGES THAT ARE PAINTED OVER (MATCH ORIGINAL)
- REPAIR PLASTER OR GYP WALLS WHERE DAMAGED / WORK
- REMOVE EXISTING TILE IN KITCHEN, REPLACE WITH NEW HARDWOOD TO MATCH EXISTING
- REFINISH WOOD IN FAMILY ROOM TO MATCH EXISTING
- REMOVE EXISTING BATT FROM FLOOR JOISTS AND PROVIDE NEW SPRAY FOAM INSULATION AT CRAWL SPACE UNDER REAR ADDITION

GRAPHICS LEGEND

- 36" OR 48" DUAL FUEL RANGE W/ HOOD
- KITCHEN SINK WITH FAUCET, SPRAYER, AND GARBAGE DISPOSAL
- 24" DISHWASHER BELOW COUNTERTOP
- COUNTER DEPTH / BUILT-IN REFRIGERATOR / FREEZER W/ ICE
- VANITY SINK W/ FAUCET
- PEDESTAL SINK W/ FAUCET
- LOW FLOW TOILET
- TUB W/ FILLER, SHOWER, AND CONTROL
- TILE SHOWER WITH SHOWER HEAD, CONTROL, TEMP GLASS
- SIDE BY SIDE WASHER AND DRYER
- WATER HEATER
- AIR HANDLER UNIT
- HARD WIRED, INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP
- CARBON MONOXIDE DETECTOR

PARTITION TYPE LEGEND

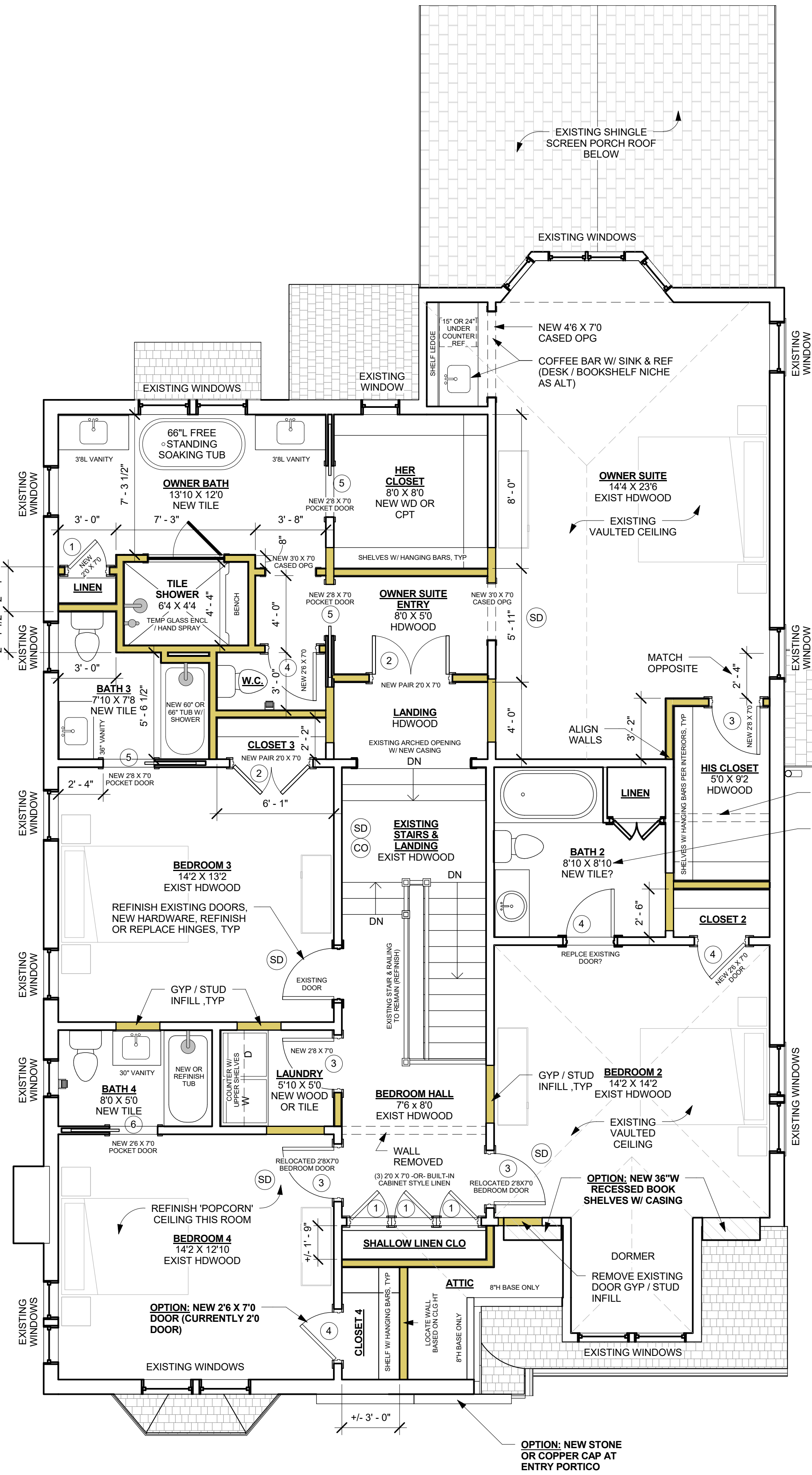
- NEW WALL PARTITION
- EXISTING WALL
- DEMO WALL
- 2X4 WD STUD AT 16" O.C. W/ 1/2" GYP EA SIDE

FINISH SCHEDULE

ROOM	FLOOR	CEILING	WALL
BEDROOMS	HARDWD	GYP, PAINT	GYP, PAINT
BATHS	TILE	GYP, PAINT	GYP, PAINT
CLOSETS	MATCH ROOM	GYP, PAINT	GYP, PAINT
KITCHEN	HARDWD	GYP, PAINT	GYP, PAINT
FAMILY	HARDWD	GYP, PAINT	GYP, PAINT
OFFICE	HARDWD	GYP, PAINT	GYP, PAINT
LAUNDRY	WD OR TILE	GYP, PAINT	GYP, PAINT
POWDER	HARDWD	GYP, PAINT	GYP, PAINT

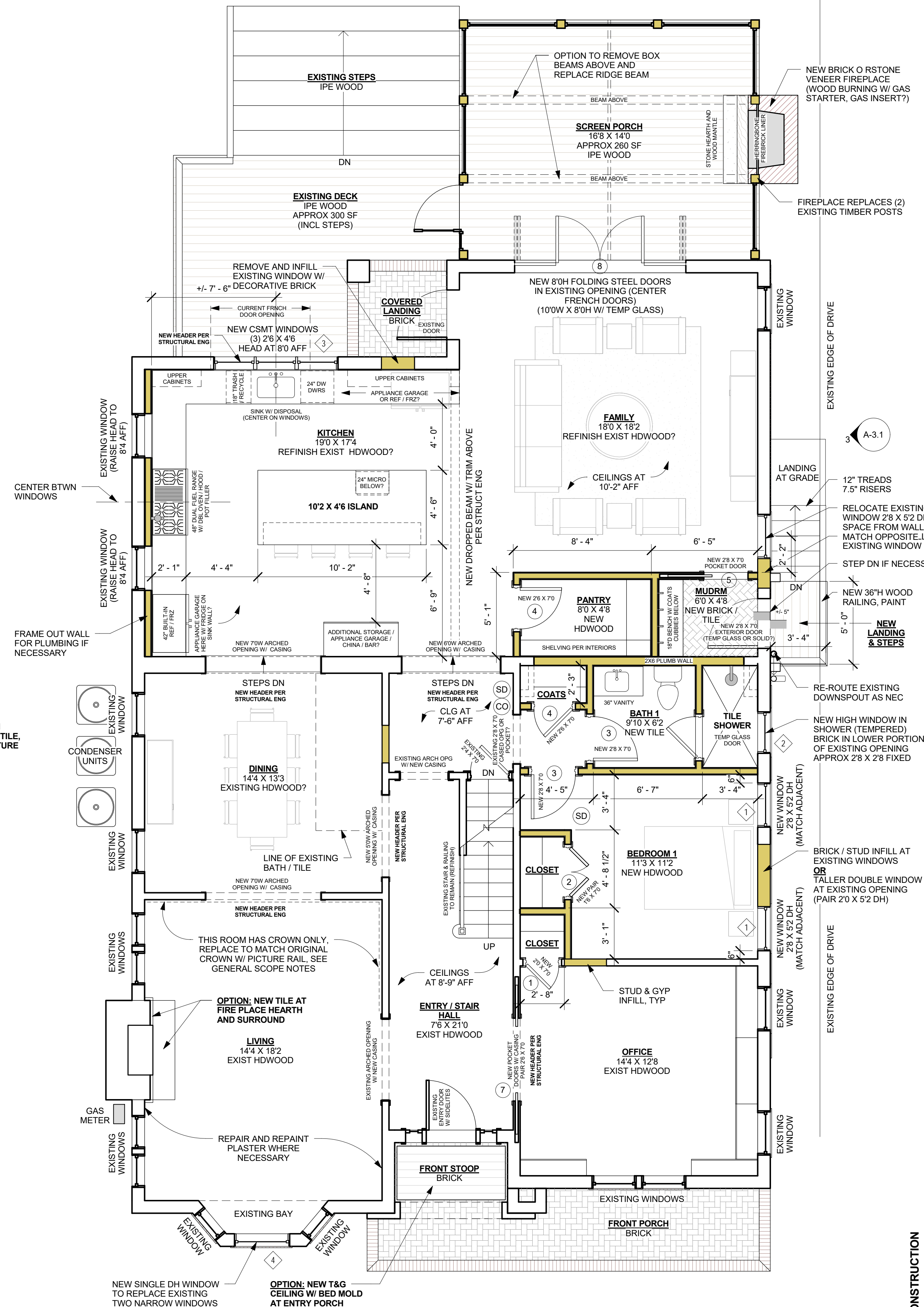
FINISH NOTES:

- 1) INSTALL AND FINISH ALL WOOD FLRS TO MATCH EXISTING.
- 2) VERIFY CEILING, WALL, AND TRIM PAINT COLORS WITH OWNER. REPLACE ALL POPCORN CEILINGS.
- 3) NEW KITCHEN, LAUNDRY, & BATHROOM COUNTERTOPS TO BE STONE OR QUARTZ AS SELECTED BY OWNER. INSTALL BACKSPLASH AS SELECTED BY OWNER.
- 4) PROVIDE ALLOWANCE FOR ALL CABINET AND DOOR HARDWARE TO BE SELECTED BY OWNER.
- 5) PROVIDE ALLOWANCE FOR WIRE OR WOOD CUSTOM SHELVING IN CLOSETS. VERIFY W/ OWNER.
- 6) PROVIDE ALLOWANCE FOR CABINETRY IN BATHS, KITCHEN, LAUNDRY, BARS, & BUILT-INS.
- 7) TILE SURROUNDS TO CEILING AT TUBS AND SHOWERS. PROVIDE RECESSED SOAP NICHES AT TUBS & SHOWERS.
- 8) PROVIDE MIN 8" BASE, 4" CROWN, AND 4" CASING IN NEW SPACES. PROFILES TO MATCH EXISTING / SELECT BY INTERIORS.



2 Second Floor New
1/4" = 1'-0"

2,035 SF (GROSS)



1 First Floor New
1/4" = 1'-0"

2,066 SF (GROSS)



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	4/4/22	SCHEM DES
	5/3/22	FOR CONST

Issue/Revision	FOR CONST
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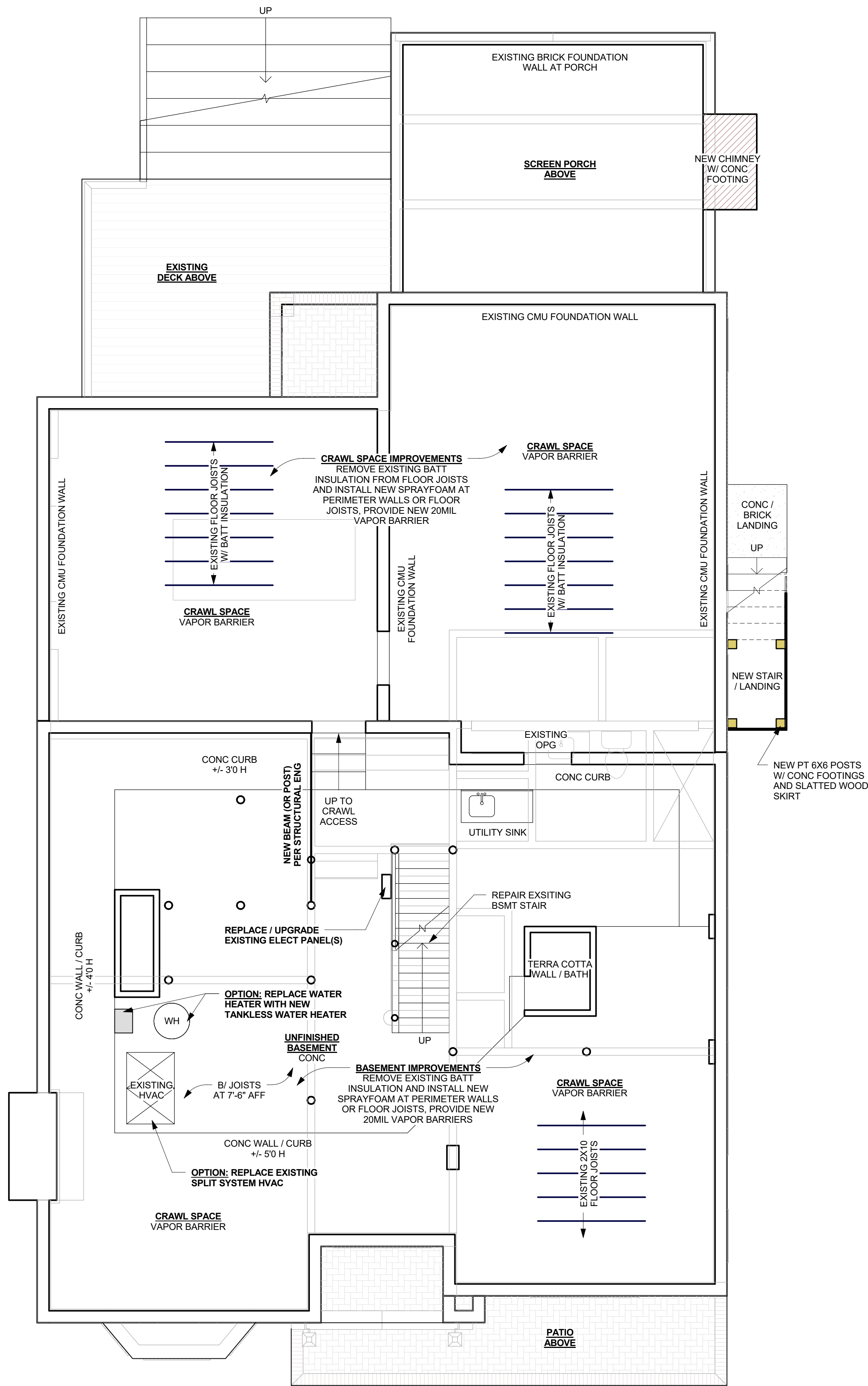
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FLOOR PLANS
NEW

Drawing No.	A-2.2
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ISSUED FOR CONSTRUCTION



2 Basement New
A-2.2 1/4" = 1'-0"

1 Roof Plan New
A-2.2 1/4" = 1'-0"

DOOR SCHEDULE

MARK	TYPE	QUANTITY	SIZE
1	A	5	2'0 X 7'0
2	B	3	2'0 X 7'0 PAIR
3	A	6	2'8 X 7'0 (2 RELOCATED)
4	A	6	2'6 X 7'0
5	C	4	2'8 X 7'0 POCKET
6	C	1	2'6 X 7'0 POCKET
7	C	1	2'6 X 7'0 POCKET PAIR (GLASS?)
8	D	1	4 PANEL FOLDING STEEL

DOOR NOTES:

- 1) DOOR PANEL STYLE, HARDWARE, AND FINISH TO MATCH EXISTING OR AS SELECTED BY OWNER.
- 2) TEMPER ALL GLASS IN OPERABLE DOORS

TYPE A	SOLID WOOD, paneled, paint
TYPE B	PAIR SOLID WOOD, paneled, paint
TYPE C	SOLID WOOD paneled - POCKET
TYPE D	STEEL, 2X4 LITES

WINDOW SCHEDULE

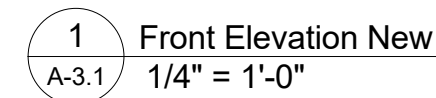
MARK	TYPE	QUANTITY	SIZE
1	A	2	2'8 X 5'2 DH
2	B	2	2'8 X 2'8 FIXED
3	C	3	2'6 X 4'6 CSMT
4	A	2	3'4 X 5'2 DH

WINDOW NOTES:

- TYPE A WOOD (OR MTL CLAD) DOUBLE HUNG - 6 OVER 1
- TYPE B FIXED WOOD (OR METAL CLAD) - 6 LITE TO MATCH EXISTING TOP SASHES
- TYPE C WOOD (OR MTL CLAD) CASEMENT - 2 X 3 LITE

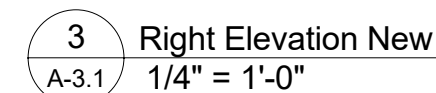
WINDOW NOTES

- 1) ALIGN HEADS OF NEW WINDOWS WITH EXISTING.
- 2) ALL WINDOWS TO BE WOOD OR METAL CLAD WOOD, SIMULATED DIVIDED LITE W/ CLEAR INSULATED GLAZING AND 7/8" MULLIONS OR EQUAL TO MATCH ORIGINAL HOUSE.
- 3) EXTERIOR TRIM, SILLS, AND MOLDING TO MATCH EXISTING, PAINT.
- 4) PROVIDE STANDARD WINDOW HARDWARE.
- 5) PROVIDE SELF ADHERING FLASHING AT PERIMETER OF ALL WINDOW AND DOOR OPENINGS.
- 6) WINDOWS SIZES ARE NOMINAL SIZES, REFER TO MANUFACTURER FOR ACTUAL SIZES AND ROUGH OPENINGS.
- 7) PROVIDE MIN OF ONE EMERGENCY EGRESS WINDOW PER BEDROOM (MARKED WITH 'E'). (CLR HT 24", CLR WIDTH 20", MAX SILL HT 44", 5 SF CLR OPG FOR GROUND FLOOR, 5.7 SF CLR OPG FOR OTHER FLOORS)
- 8) PROVIDE TEMPERED SAFETY GLAZING IN OPERABLE PANELS, WITHIN 24" OF DOORS, AND WHERE 60" OR LESS ABOVE A WET AREA, OR 36" OR LESS ABOVE A STAIR, LANDING, OR RAMP. NOTED **T** ON ELEVATIONS.



- 1) ALIGN HEADS OF NEW WINDOWS WITH EXISTING.
- 2) ALL WINDOWS TO BE WOOD OR METAL CLAD WOOD, SIMULATED DIVIDED LITE W/ CLEAR INSULATED GLAZING AND 7/8" MULLIONS OR EQUAL TO MATCH ORIGINALS.
- 3) EXTERIOR TRIM, SILLS, AND MOLDING TO MATCH EXISTING. PAINT.
- 4) PROVIDE STANDARD WINDOW HARDWARE.
- 5) PROVIDE W/CL ADHERING FLASHING AT PERIMETER OF ALL WINDOW AND DOOR OPENINGS.
- 6) WINDOW SIZES ARE NOMINAL SIZES. REFER TO MANUFACTURER FOR ACTUAL SIZES AND ROUGH OPENINGS.
- 7) PROVIDE MAIN OF ONE (1) 6" GREEN WINDOW PER BEDROOM (MARKED WITH 'E'), (CLR H 24"; CLR W 20"; MAX SILL HT 44"; 5 SF CLR OP FOR GROUND FLOOR, 5.75 SF CLR OP FOR OTHER FLOORS).
- 8) PROVIDE TEMPERED SAFETY GLAZING IN OPERABLE AREAS, OR OTHER 24" GLASS AND WHERE REQUIRED BY CODE OR LOCAL AGENCIES, OR IF OR LESS ABOVE A STAIR, LANDING, OR RAMP. NOTED "T" ON ELEVATIONS.

- 1) EXTERIOR WALL SHEATHING TO BE 7/16" ZIPSYSTEM BY HUBER W/ FULLY TAPPED SEAMS. STANDARD EXTERIOR SHEATHING W/ BUILDING PAPER AS ALTERNATE.
- 2) EXTERIOR ROOF SHEATHING TO BE 1/2" ZIPSYSTEM BY HUBER W/ FULLY TAPPED SEAMS. STANDARD EXTERIOR GRADE DECKING W/ ROOF FELT AS ALTERNATE.
- 3) BRICK VENEER/FOUNDATIONS TO MATCH EXISTING TEXTURE. PAINT OR STUCCO ALL BRICK TO MATCH EXISTING.
- 4) LANDING TO BE CEDAR, JAMES HARDIE ARTISAN, OR NICHIAH SAVANNAH SMOOTH FINISH. EXPOSURE AS NOTED. PAINT OR STAIN. PROVIDE MATCHING TRIM AS NOTED.
- 5) CEDAR SHINGLE TO BE CEDAR OR JAMES HARDIE SMOOTH FINISH. PAINT OR STAIN.
- 6) MAIN FLOOR TO BE ARCHITECTURAL SLATE, COLOR AS SELECTED BY OWNER TO MATCH EXISTING.
- 7) METAL ROOFING TO BE COPPER OR PREFINISHED METAL STANDING SEAM W/ 12" MAX RIB SPACING. COLOR AS SELECTED BY OWNER.



1199 Oxford Road
Interior Renovation
Atlanta, Ga 30306
DeKalb County



Mark	Date	Description
	4/4/22	SCHEM DES
	5/3/22	FOR CONST
Issue/Revision		FOR CONST
Project ID		2125
CAD File Name		central.rvt
Drawn By		CP
Checked By		CP
Sheet Title		

EXTERIOR ELEVATIONS

Drawing No.
A-3.1

ISSUED FOR CONSTRUCTION

GENERAL NOTES

- 1) CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY OWNER OR ARCHITECT OF ANY DISCREPANCIES OR UNFORSEEN CONDITIONS PRIOR TO ANY WORK.
- 2) ALL INTERIOR WALLS ARE P-1 UNLESS OTHERWISE NOTED.
- 3) WALLS ARE DIMENSIONED FROM FACE OF FINISH UNLESS NOTED OTHERWISE. DOORS AND WINDOWS ARE DIMENSIONED FROM EDGE OF OPENING.
- 4) ALL GYPSUM BOARD AT BATHROOM AREA AND KITCHEN SINK AREA TO BE WATER RESISTANT. PROVIDE CEMENT BOARD AT TILE LOCATIONS.
- 5) PROVIDE BLOCKING AT ALL BATHROOM ACCESSORIES, WALL CABINETS, AND SHELVING.
- 6) CENTER LIGHT FIXTURES ON DOORWAYS, IN ROOMS OR ABOVE PLUMBING FIXTURES WHERE APPLICABLE.
- 7) PROVIDE SWITCHES & ELECTRICAL OUTLETS PER RESIDENTIAL ELECTRICAL CODE. INSTALL AT 18" AFF OR AT 44" AFF AT COUNTERTOPS. PROVIDE GFCI OUTLETS AT WET AREAS AND EXTERIORS. COORD OUTLETS, DIMMER SWITCHES, CABLE, & DATA W/ OWNER.
- 8) PROVIDE ALLOWANCE AND INSTALL ALL APPLIANCES, PLUMBING, AND LIGHTING FIXTURES AS SELECTED BY OWNER.
- 9) NEW INTERIOR DOORS TO BE SOLID CORE WOOD TO MATCH EXISTING OR AS SELECTED BY OWNER. PROVIDE HARDWARE AND LOCKSETS AS SELECTED BY OWNER.
- 10) ALL INTERIOR TRIM (BASE, CROWN, DOOR AND WINDOW TRIM) TO MATCH EXISTING. PAINT.
- 11) REPLACE EXISTING FURNACE, CONDENSER UNIT AND DUCTWORK AS REQUIRED. VERIFY MODEL AND SIZING WITH OWNER & MECH CONTRACTOR. MIN SEER 14.
- 12) COORDINATE ALL PLUMBING AND HVAC ROUTING IN FIELD. VERIFY WITH OWNER.
- 13) PROVIDE BATT OR SPRAY INSULATION AT NEW EXTERIOR WALLS AND CEILINGS (MIN R-13 WALL, R-38 CEILINGS, R-19 FLOORS OVER UNCONDITIONED SPACE).

GRAPHICS LEGEND

- 36" RANGE W/ HOOD
- KITCHEN SINK WITH FAUCET, SPRAYER, AND GARBAGE DISPOSAL
- 24" DISHWASHER BELOW COUNTERTOP
- COUNTER DEPTH / BUILT-IN REFRIGERATOR / FREEZER W/ ICE
- VANITY SINK W/ FAUCET
- PEDESTAL SINK W/ FAUCET
- LOW FLOW TOILET
- TUB W/ FILLER, SHOWER, AND CONTROL
- TILE SHOWER WITH SHOWER HEAD AND CONTROL
- SIDE BY SIDE WASHER AND DRYER
- WATER HEATER
- AIR HANDLER UNIT
- HARD WIRED, INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP
- CARBON MONOXIDE DETECTOR

PARTITION TYPE LEGEND

- NEW WALL PARTITION
- EXISTING WALL
- DEMO WALL

- P-1 2X4 WD STUD AT 16" O.C. W/ 1/2" GYP EA SIDE

FINISH SCHEDULE

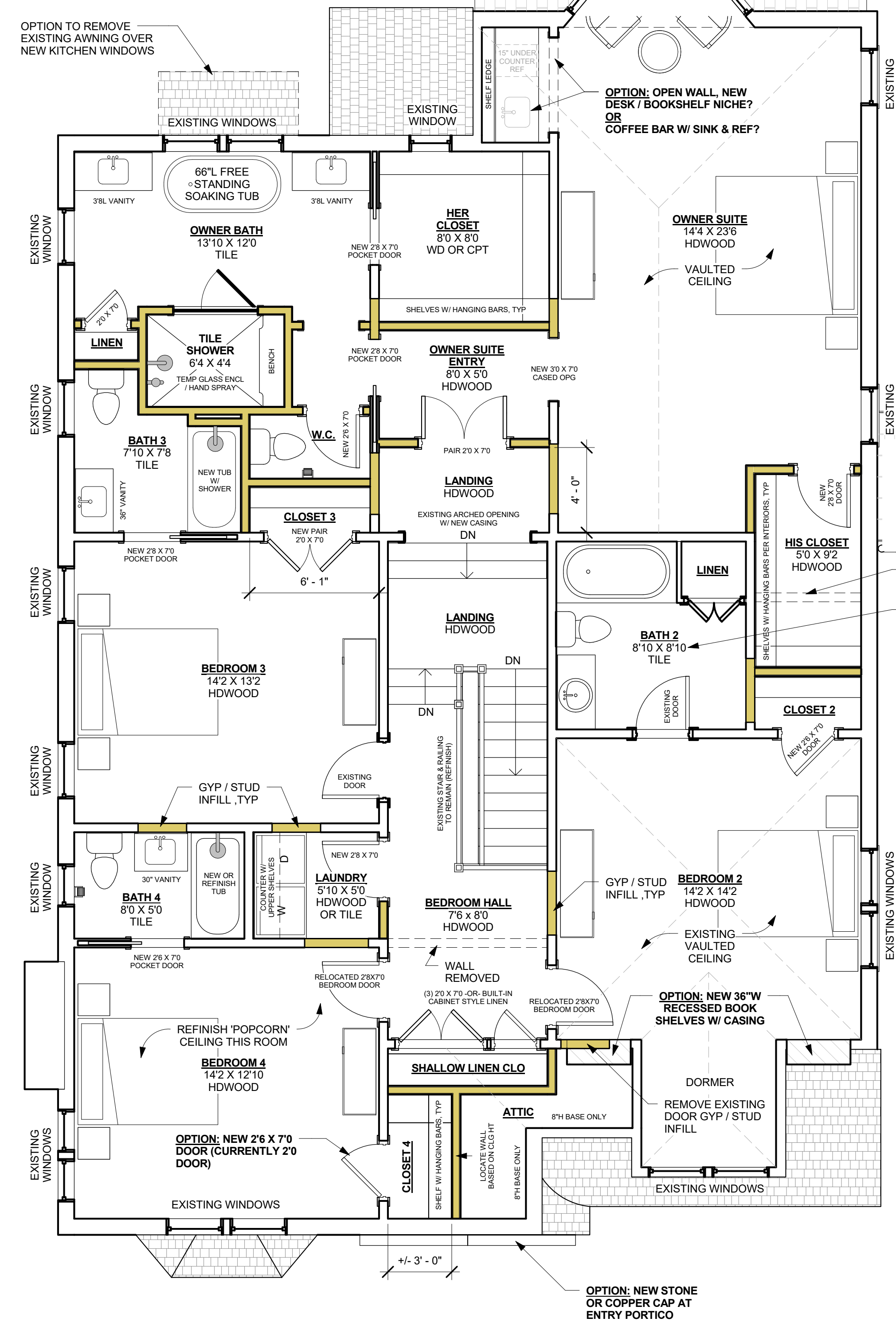
ROOM	FLOOR	CEILING	WALL
BEDROOMS	HARDWD	GYP, PAINT	GYP, PAINT
BATHS	TILE	GYP, PAINT	GYP, PAINT
CLOSETS	MATCH ROOM	GYP, PAINT	GYP, PAINT
KITCHEN	HARDWD	GYP, PAINT	GYP, PAINT
FAMILY	HARDWD	GYP, PAINT	GYP, PAINT
OFFICE	HARDWD	GYP, PAINT	GYP, PAINT
LAUNDRY	WD OR TILE	GYP, PAINT	GYP, PAINT
POWDER	HARDWD	GYP, PAINT	GYP, PAINT

FINISH NOTES:

- 1) INSTALL AND FINISH ALL WOOD FLRS TO MATCH EXISTING. VERIFY CEILING, WALL, AND TRIM PAINT COLORS WITH OWNER. REPLACE ALL POPOCORN CEILINGS.
- 2) NEW KITCHEN, LAUNDRY, & BATHROOM COUNTERTOPS TO BE STONE OR QUARTZ AS SELECTED BY OWNER. INSTALL BACKSPLASH AS SELECTED BY OWNER.
- 3) PROVIDE ALLOWANCE FOR ALL CABINET AND DOOR HARDWARE TO BE SELECTED BY OWNER.
- 4) PROVIDE ALLOWANCE FOR WIRE OR WOOD CUSTOM SHELVING IN CLOSETS. VERIFY W/ OWNER.
- 5) PROVIDE ALLOWANCE FOR CABINETRY IN BATHS, KITCHEN, LAUNDRY, BARS, & BUILT-INS.
- 6) TILE SURROUNDS TO CEILING AT TUBS AND SHOWERS. PROVIDE RECESSED SOAP NICHES AT TUBS & SHOWERS.
- 7) PROVIDE MIN 5 1/2" BASE, 4" CROWN, AND 4" CASING IN NEW SPACES. PROFILES TO MATCH EXISTING / SELECT BY OWNER.

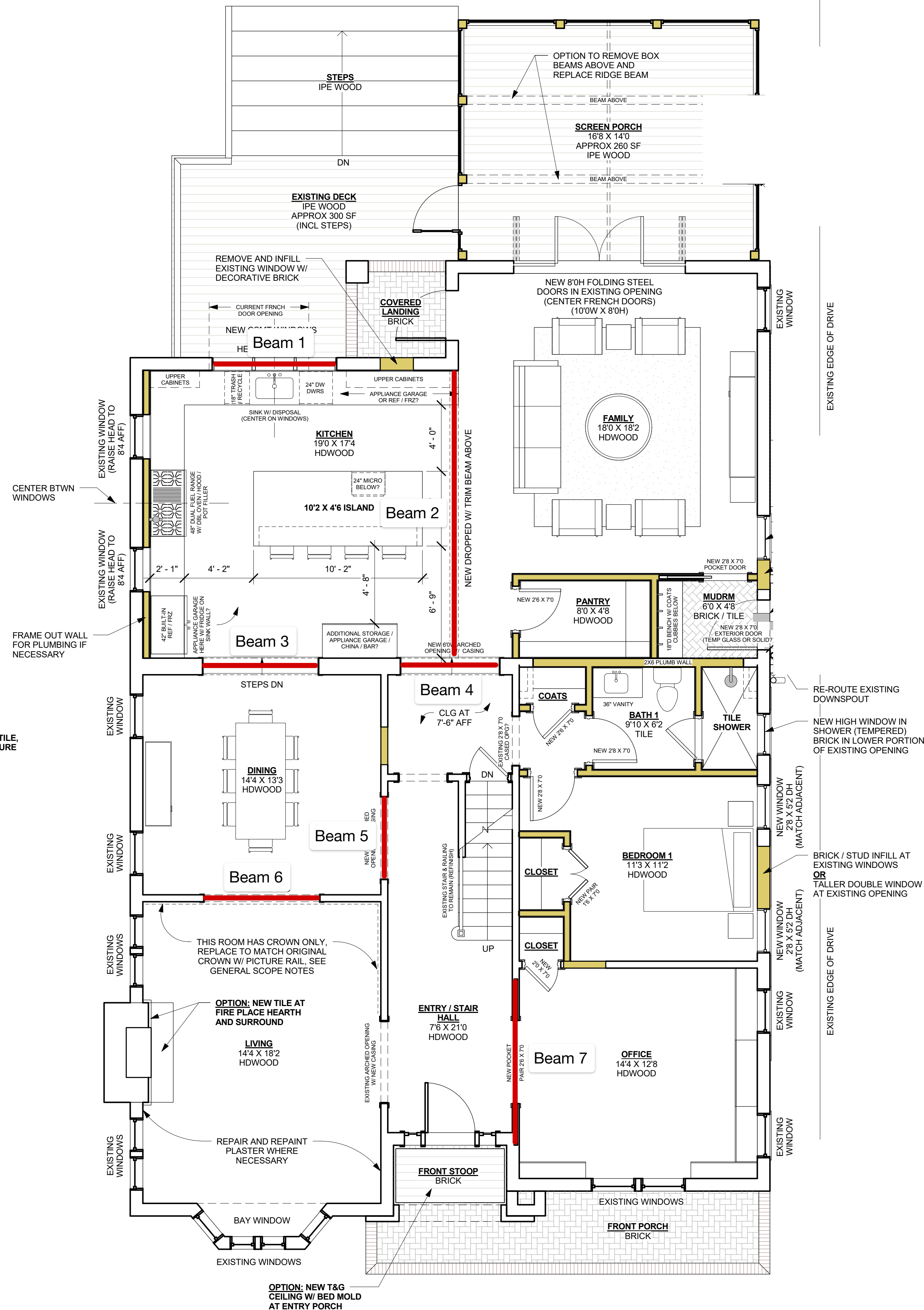
GERNERAL SCOPE NOTES

- REPLACE CROWN MOLDING IN SPACES THAT DO NOT HAVE ORIGINAL PROFILE (TO MATCH ORIGINAL CROWN W/ PICTURE RAIL)
- SAND & PAINT OR REPLACE BASE, CROWN, & CASINGS THAT ARE DAMAGED
- SAND & PAINT / REFINISH DOORS THAT ARE UNFINISHED OR DAMAGED
- CLEAN OR REPLACE DOOR HARDWARE & HINGES THAT ARE PAINTED OVER (MATCH ORIGINAL)
- REPAIR PLASTER OR GYP WALLS WHERE DAMAGED / WORN
- REMOVE EXISTING TILE IN KITCHEN, REPLACE WITH NEW HARDWOOD TO MATCH EXISTING
- REFINISH WOOD IN FAMILY ROOM TO MATCH EXISTING
- REMOVE EXISTING BATT FROM FLOOR JOISTS AND PROVIDE NEW SPRAY FOAM INSULATION AT CRAWL SPACE UNDER REAR ADDITION



2 Second Floor New
1/4" = 1'-0"

2,035 SF (GROSS)



1 First Floor New
1/4" = 1'-0"

2,066 SF (GROSS)

0' 2' 4' 8' 12'

Mark	Date	Description
	4/4/22	SCHEM DES

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STRUCTURAL BEAM SKETCH



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Drawing No. **S-2.2**

