

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 1556 N. Decatur Road, Atlanta, GA 30307

Applicant: Ben Bass / Director Real Estate-SW - sweetgreen E-Mail: benjamin.bass@sweetgreen.com

Applicant Mailing Address: 3101 Exposition Boulevard, Los Angeles, CA 90018

Applicant Phone(s): 214-850-8504 Fax: _____

Contact: Bryan Ruesch, bryan.ruesch@jsdinc.com, 224-545-8712

Applicant's relationship to the owner: Owner ☐ Architect: ☐ Contractor/Builder ☐ Other ☒ Tenant

Owner(s): Emory Village, LLC E-Mail: joanna.ieto@colliers.com

Owner(s) Mailing Address: 1230 Peachtree Street, NE, Suite 800, Atlanta, GA 30309-3574

Owner(s) Telephone Number: 856-359-5312

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 60 years

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☐ Moving a building ☐ Other building changes ☒
New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental changes ☐
Sign installation or replacement ☒ Other ☐

Description of Work:

Tenant improvement work for a new sweetgreen restaurant. Scope of work includes new exterior painting and signage on south and west walls, new storefront, new fabric canopy over patio area, new railing around patio perimeter, new wheat paste poster series "mural" on the west and interior remodeling.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov. An incomplete application will not be accepted.

Ben Bass

05/27/22

Signature of Applicant/Date

Revised 10/5/2020

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We, Jan R. Saperstein

being owner(s) of the property at 1556 North Decatur Road, Atlanta, GA 30307

hereby delegate authority to Ben Bass, sweetgreen

to file an application for a certificate of appropriateness in my/our behalf.



Signature of Owner(s)

5.27.22

Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

DEKALB COUNTY HISTORIC PRESERVATION COMMISSION (HPC)

2021 Calendar (Revised 06/14/2021)

Certificate of Appropriateness (COA) Applications will only be accepted during the two-week application period seen below.

<u>Applications Accepted</u>	<u>Application Deadline</u>	<u>Sign Must Be Posted</u>	<u>HPC Meeting Date</u>	<u>Last Date to File Appeal (approximate)</u>
June 14	June 25	July 9	July 19	August 3
July 12	July 23	August 6	August 16	August 31
August 16	August 27	September 10	September 20	October 5
September 13	September 24	October 8	October 18	November 2
October 11	October 22	November 5	November 15	November 30
November 8	November 19	December 3	December 13	December 28

All meetings will be held on the third Monday of the month except for December. The HPC meets via Zoom at 6:00 pm. Click [HERE](#) for the most recent agenda and applications.

This calendar is subject to change. Revisions will be shown in red. The most recent calendar can be obtained from the Department of Planning and Sustainability [web site](#) or call the department at 404/371-2158.

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may pick this up at the DeKalb County Department of Planning and Sustainability, 330 West Ponce de Leon Avenue, Third Floor, in Decatur, or you may make your request by mail, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Email the application and supporting documents to plansustain@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting.
4. The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. In most months, the Historic Preservation Commission meets on the third Monday at 7 p.m. at the Maloof Auditorium, 1300 Commerce Drive in Decatur. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
5. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
7. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted. Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail dccullis@dekalbcountyga.gov. Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District"	Y	N
I have reviewed the DeKalb County Tree Ordinance	Y	N
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers	Y	N

1. General

- Label all drawings with the address of the site, owners' name, and contact phone number.
- Number all drawings.
- Include a graphic scale on reductions.
- Date all revisions.
- Indicate all unverified numbers with +/- signs
- Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include

- Topographical plan with significant trees sized and located;
- Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- Distance between houses;
- Façade width to finished face of material;
- Grading and elevations across site;
- Dirt removal or regrading if more than 18";
- Tree protection plan;
- Tree removal and replacement plan

3. Driveways and Walkways

- Location and relationship to house;
- Width;
- Material;
- Curb cut and apron width

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4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
 - b. Visibility from right-of-way;
 - c. Material (plastic lens or glass);
 - d. Shown in plan and elevation to scale
-

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10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g. Hardieplank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g. 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g. double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
 - b. Provide samples of brick or stone;
 - c. Provide samples if new or unusual materials
-

DEPARTMENT OF PLANNING & SUSTAINABILITY

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment



Project Description and Company Background
sweetgreen – Emory Village
1556 North Decatur Road, Atlanta, GA
05/27/2022

The Site

Sweetgreen is proposing to lease a one-story building of approximately 1,813 square feet located at 1556 North Decatur Road, within the Emory Village commercial district. The building Landlord is Emory Village LLC, and the premises was formerly home to a Dragon Bowl restaurant.

The site is located within the C-1 Local Commercial zoning district, and also within the Emory Village Overlay District and the Druid Hills Historic District. We are making application for both Druid Hills Historic District and Emory Overlay District Certificate of Appropriateness.

The Exterior

Sweetgreen is proposing to enhance and refresh the building exterior with their brand image. The intent is to paint the existing brick masonry walls on all sides with a white color. New “*sweetgreen*” signage composed of a rear box with double stroke neon is proposed for both the south building face above the entry, and on the west building face. The west building face is also including a wheat paste poster series mural below the new sign and extending about midway of the building length. A new aluminum storefront system with insulated glazing will replace the existing system on the south entry façade.

The existing patio area will also be revived. The existing front canopy structure at the patio area will remain, but will be covered in a new fabric with one of *sweetgreen*’s brand colors. The existing patio barrier fence will be removed and replaced with a new powder coated white ornamental metal fence. New outdoor seating and additional fabric umbrellas (to match the canopy fabric) will be provided for additional shade, along with string lighting for evening patrons. New planters will be added to the east side of the patio to help conceal the existing adjacent property retaining wall, while also adding live greenery to the space.

The Interior

As a brand, *sweetgreen* creates experiences which start with their restaurants, which are designed to reflect the personality of the neighborhood. Their spaces are defined by natural materials, communal seating, and an open kitchen concept because *sweetgreen* is all about transparency.

The interior of this location includes a dining area, open kitchen design and pick up area for online orders. The dining area features custom white oak banquettes and tables overlooking the open kitchen, wall art, plants, and patio area. The kitchen is highlighted in kale green and white tile and stainless steel to showcase the food which is made from scratch daily. The pickup area is zoned in *sweetgreen*’s signature kale green and located near the entrance for easy pick up. The space has been designed with *sweetgreen* customers as the priority, with the goal of providing an exceptional dine in or pick up experience.

The Company

Conceived to bridge the gap between healthy eating and convenience, *sweetgreen* is a fast-casual restaurant serving regionally and locally sourced fresh ingredients that make up their specialty salads and “warm bowls”. Every morning, *Sweetgreen* stores receive deliveries of fresh whole vegetables, fruits and grains, all of which are transformed into healthy, fresh menu items by their employee teams. *Sweetgreen* also offers a variety of beverages, but does not serve alcohol.

Sweetgreen is passionate about building relationships with each community, supporting and partnering with small and mid-size farmers, and also volunteering with local non-profits.

Sweetgreen is committed to sustainability, as evidenced in their food packaging design and waste management practices. All *sweetgreen* stores have compost services and pick-up, averaging diverting 60% of waste from landfills, composting 75% of food scraps.

Operations

The following information represents the most frequently asked questions regarding *sweetgreen*'s store operations.

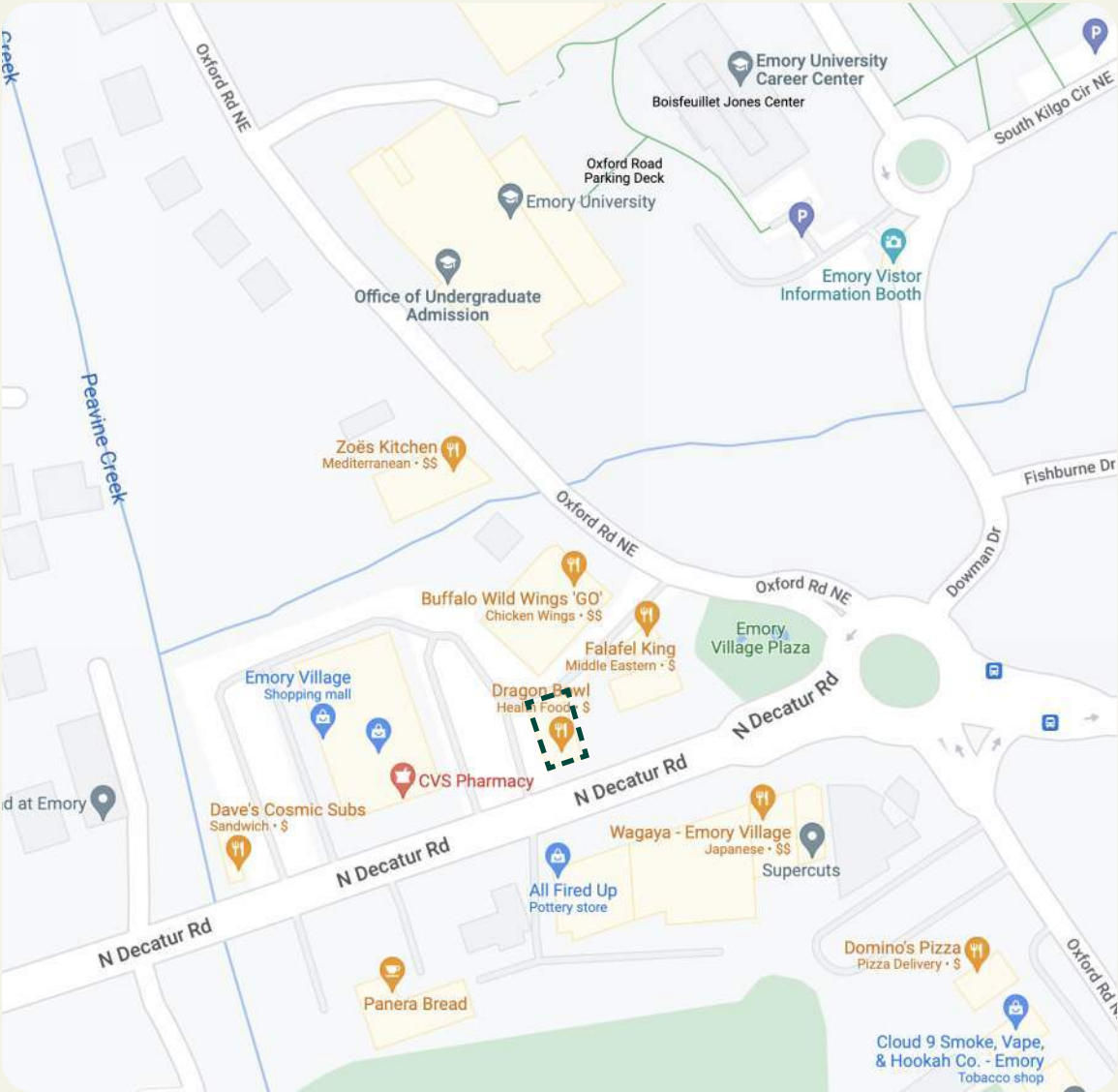
- Employees:
 - Approximately thirteen (13) employees are anticipated at peak shift, including full and part-time staff.
- Days/Hours of Operation (typical):
 - Monday through Saturday, 6:00 a.m. to 11:00 p.m.
 - Sunday 7:00 a.m. to 7:30 p.m.
- Days/Hours Open to the Public (typical):
 - Monday through Saturday, 10:30 a.m. to 10:30 p.m.
 - Sunday, 11:00 a.m. to 6:00 p.m.
- Covered Outdoor Dining:
 - *Sweetgreen*'s proposed covered outdoor seating area is an amenity for the convenience of customers and it provides a critical opportunity for enhanced place-making.
 - Hours of operation to be determined and/or as allowed per code - Monday through Saturday until 10:30 pm, Sunday until 6:00 pm.
- Days/Hours for Delivery:
 - Rear loading area deliveries anticipated (6) times per week, typically between the hours of 7:00 a.m. and 9:00 a.m.
 - Small deliveries via USPS/UPS/FedEx or similar, anticipated via front door during normal business hours.
- Food Ordering Method
 - Customer to order on-line or park and place an order in-store with two seating options: In-store or in the designated covered outdoor dining space or may leave directly after.
- Trash/Compost/Recycling:
 - Existing trash, composting, and recycling areas are located at the rear of the building, near the loading/service area.
 - Regularly scheduled pick-ups to occur (6) to (7) days per week.
 - Hours of pick-up to be determined and as allowed per code.

ATL

Emory Village: Concept 2

1556 N Decatur Rd. Atlanta, GA
April 8th, 2022

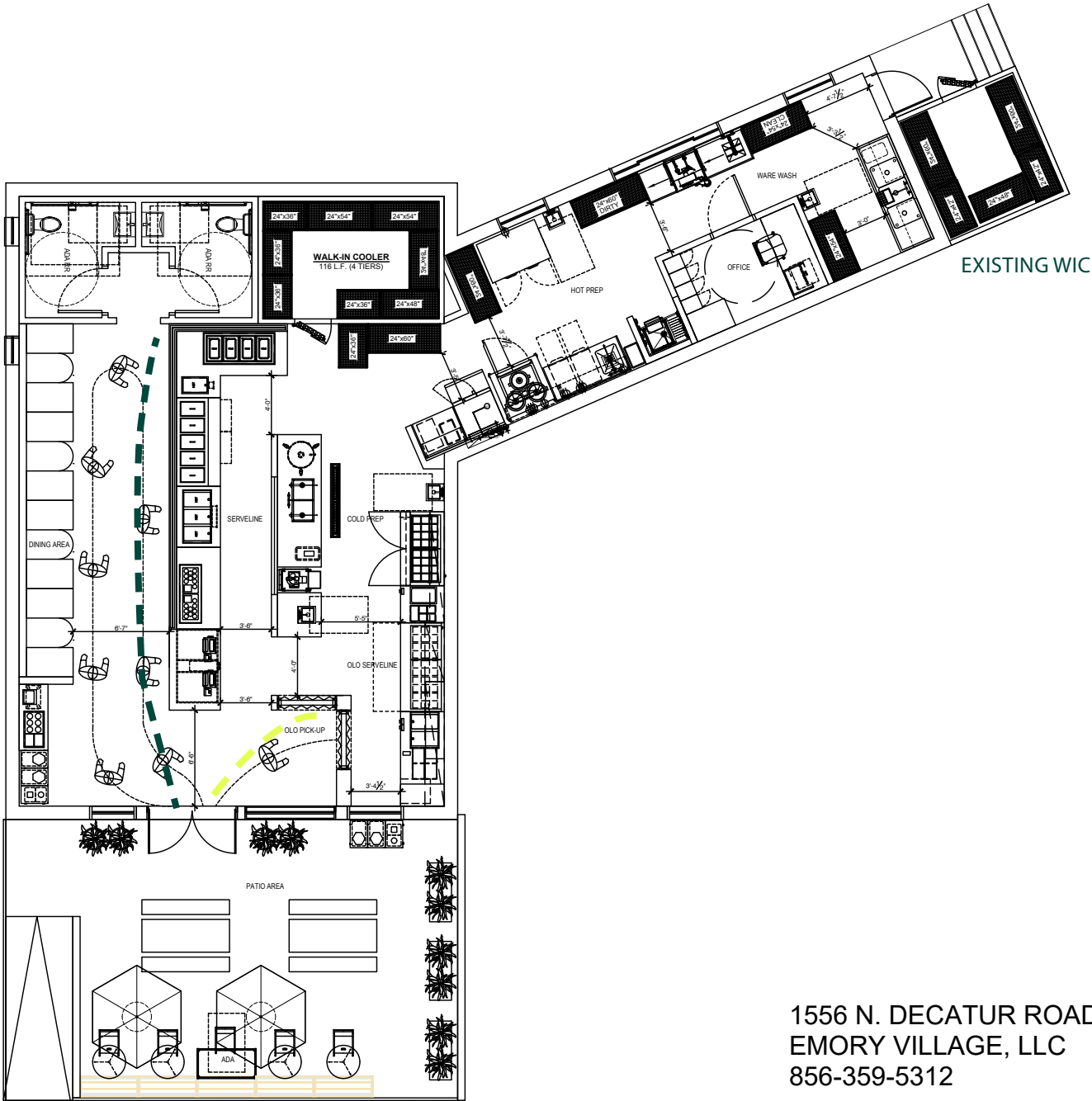
SITE LOCATION + VICINITY



LOCKED LAYOUT

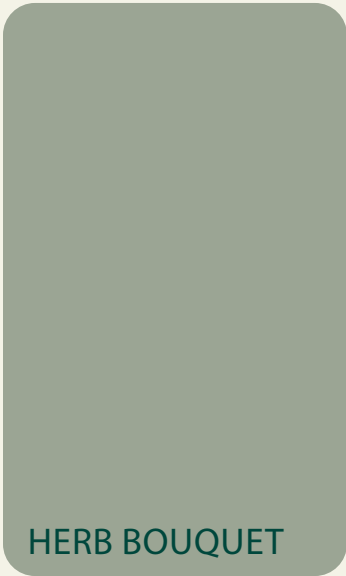
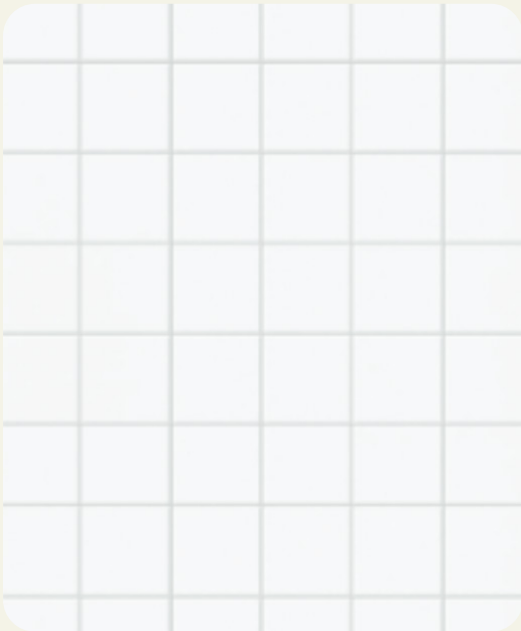
KEY

- in-store customer
- OLO customer



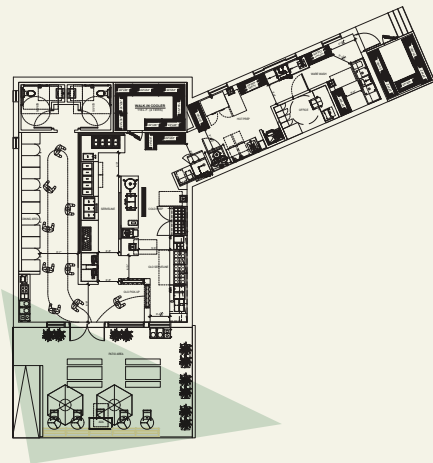
1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

MATERIAL PALETTE



VIEW EXTERIOR 1

STOREFRONT FACING SOUTHEAST - REAR BOX W/ DBL STROKE NEON 15" H



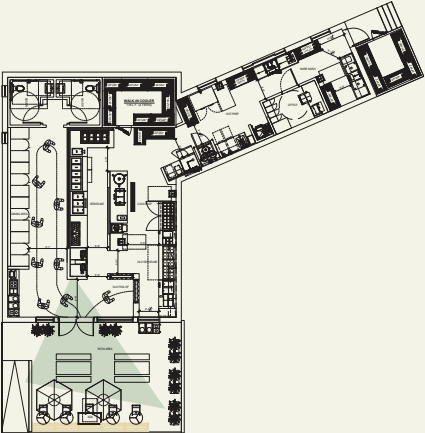
1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312



Existing storefront

VIEW EXTERIOR 2

REAR BOX W/ DBL STROKE NEON 15" H



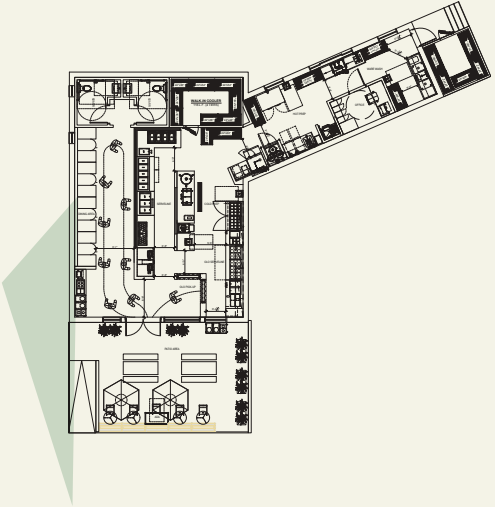
1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312



Existing storefront

VIEW EXTERIOR 4

“COOL KIDS” POSTER SERIES WITH REAR BOX W/ DBL STROKE NEON 15” H



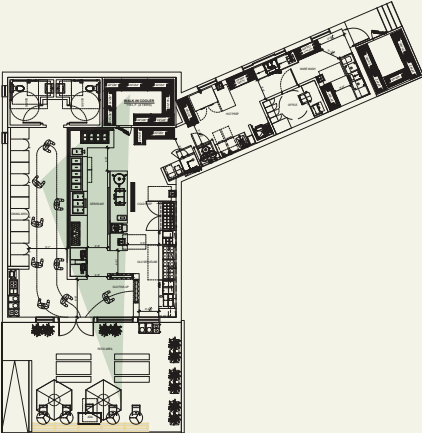
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Existing storefront

VIEW INTERIOR 10

SECTION CUT - FRONTLINE



Treated Pine Picnic Table w/ Attached Benches



6' Picnic Table Shown Unstained with 11" wide seats, 32" wide table top and decorative trim ends.

Prices: \$489 - \$849



Price Chart

Options	Item#	Price
4' Table w/ Benches	[FT48SAE]	\$489
6' Table w/ Benches	[FT72SAE]	\$599
7' Table w/ Benches	[FT84SAE]	\$649
8' Table w/ Benches	[FT96SAE]	\$749
10' Table w/ Benches	[FT120SAE]	\$849

Leaves Warehouse in 7-10 Business Days

Options and Upgrades

Optional Stain:

- Cedar Stain/Sealer [25% Fee]
- Black Stain [25% Fee]
- White Stain [25% Fee]

Add Stainless Steel Hardware [+\$79]

Add 2" Umbrella Hole [Free]

3 Optional Stains Available



In the Good Old Wintertime

Our Treated Pine Picnic Table with Attached Benches is a classic. Its convenience, durability, and attractive design make it a perennial favorite. In fact, with year-round barbecuing becoming so popular during the past decade, our tables are commonly used on porches patios and yards throughout the seasons. So make your own summertime any time with this beautiful, sturdy treated pine table.

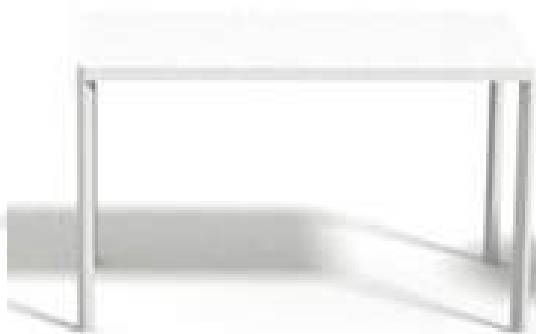
Specifications

- Treated Pine
- Galvanized Bolts, Washers, and Nuts
- 5'W x 30"H
- 32"W
- 11"W
- 140 lbs, 198 lbs, 224 lbs, 250 lbs or 300 lbs
- 750 lbs (each bench)
- Cedar Tone, White, or Black Staining Available
- Rounded & Sanded Edges
- Made in the U.S.A.

Shipping & Assembly

- Ships Partially Assembled
- Approx. Assembly Time: 45 Minutes

1556 N. DECATUR ROAD
 EMORY VILLAGE, LLC
 856-359-5312

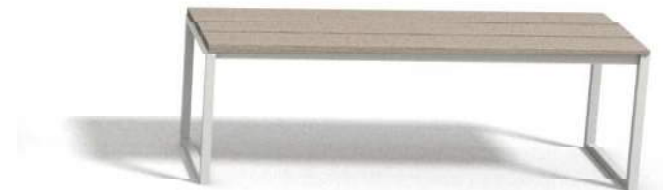


ADA Table
24" x 48" x 29" HT



2-Top Cafe w/ Tripod Base
24" DIA x 29" HT

Stackable Chair
18" x 20" x 17/31" HT



Bench w/o Back
18" x L" x 17/32" HT

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312



CONCRETE BOX SERIES



(Top Left) The Douglas | Design: TBG Partners Dallas TX

(At Right) Frisco Cinemark The Cut | Design: Kimley Horn - Frisco TX



WALL THICKNESS & SIZE LIMITATIONS

1. The standard wall thickness cast for Form and Fiber's boX planters is as follows:

- 3.0" Minimum wall thickness for planters up to 6'-0" L (72")
- 3.5" thickness for planters over 6'-0" L (72") and up to 8'-0" L (96")
- 4.0" thickness may be used per manufacturer discretion
- Limitations in size will apply over 8'-0" L and/or over 4,000 lbs.

2. Form and Fiber is able to cast a variety of sizes of boardform planters, however, limitations do apply.

- **8'-0" MAXIMUM LENGTH** with a **MAXIMUM WIDTH of 4'-0" or less**

****NOTE:** CONCRETE BOX PLANTERS ARE FULLY CUSTOMIZABLE AND CAN BE FABRICATED TO DESIGNER SIZE SPECIFICATION WITHIN MANUFACTURER LIMITATIONS. NON-STANDARD SIZES WILL REQUIRE A ONE-TIME MOLD UPCHARGE.

CONCRETE BOX SERIES STANDARD SIZES

PRODUCT ID	LENGTH	WIDTH	HEIGHT	MATERIAL	THICK- NESS	AVG. WT.
BX_CON 202014	20"	20"	14"	concrete	3 IN.	385 lbs
BX_CON 242418	24"	24"	18"	concrete	3 IN.	580 lbs
BX_CON 303018	30"	30"	18"	concrete	3 IN.	770 lbs
BX_CON 481824	48"	18"	24"	concrete	3 IN.	1015 lbs
BX_CON 601824	60"	18"	24"	concrete	3 IN.	1214 lbs
BX_CON 721824	72"	18"	24"	concrete	3 IN.	1414 lbs
BX_CON 242424	24"	24"	24"	concrete	3 IN.	725 lbs
BX_CON 482424	48"	24"	24"	concrete	3 IN.	1160 lbs
BX_CON 404024	40"	40"	24"	concrete	3 IN.	1370 lbs
BX_CON 161630	16"	16"	30"	concrete	3 IN.	548 lbs
BX_CON 482430	48"	24"	30"	concrete	3 IN.	1378 lbs
BX_CON 602430	60"	24"	30"	concrete	3 IN.	1631 lbs
BX_CON 722430	72"	24"	30"	concrete	3 IN.	1885 lbs
BX_CON 303030	30"	30"	30"	concrete	3 IN.	1133 lbs

ocean master classic

premium parasols

The Ocean Master Classic market style parasol is the culmination of durable engineering, stylish profiles and functional shade design. Manufactured to marine specifications, all Ocean Master parasols feature 100% replaceable parts for easy service and a 15/5-year warranty. Classic beauty. Classic TUUCI.



finish options

standard	powder coat					
polished aluminum	textured bright white	sea shell white	espresso	ash grey	hammered bronze	jet black

shapes & sizes

square	octagon	hexagon	rectangle
ft. / m.	ft. / m.	ft. / m.	ft. / m.
5.5' / 1.65	6.0' / 1.8	7.0' / 2.15	5' x 8' / 1.5 x 2.45
6.5' / 2.0	7.5' / 2.25	*8.5' / 2.6	*6' x 9' / 1.8 x 2.75
7.5' / 2.25	*9.0' / 2.75	*10.0' / 3.0	rectangle
*8.5' / 2.6	*10.5' / 3.2	*11.0' / 3.4	auto-scope
			ft. / m.
square	octagon		
auto-scope	auto-scope		
ft. / m.	ft. / m.		
*10.0' / 3.0	*13.0' / 4.0		

finial options



features:

- a. Manual Lift w/ Stainless Steel Security Pin
- b. "Auto-Loc" Marine Pulley Lift System
- c. "Easy Drive" Crank Lift System
- d. Reinforced Strut Joints Construction
- e. Armor-Wall Mast
- f. Reinforced Pocket Construction

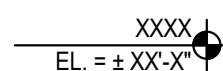

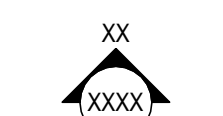




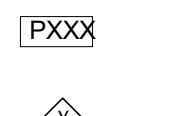
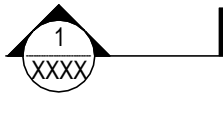

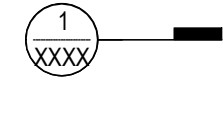
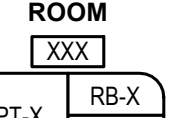
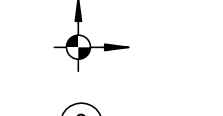
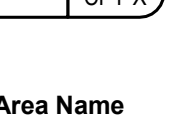
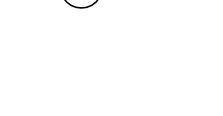

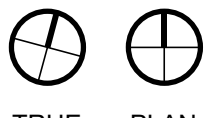
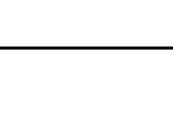
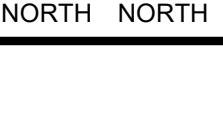
1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

*Available with Easy Drive Crank

ABBREVIATION LEGEND

⌄ (E) (N) @ Ø	CENTERLINE EXISTING NEW AT DIAMETER OR ROUND
ADD'L AFF ALUM ARCH AS ASS	ADDITIONAL ABOVE FINISH FLOOR ALUMINUM ARCHITECTURAL ART AND CHAIR SUPPLIER ALARM SYSTEM SUPPLIER
B.O. BD. BLDG.	BOTTOM OF BOARD BUILDING
CMU CS	CONCRETE MASONRY UNIT CHEMICAL SUPPLIER
DIM	DIMENSION(S)
EA EL ELEC ELEV EQ EXT	EACH ELEVATION (VERTICAL HEIGHT) ELECTRIC(AL) ELEVATION EQUAL EXTERIOR
FRP FRT	FIBERGLASS-REINFORCED PANEL FIRE-RETARDANT TREATED
GA GALV GC GYP	GAUGE GALVANIZED GENERAL CONTRACTOR GYPSUM
H.P. HS HVAC	HIGH POINT HOOD SUPPLIER HEATING AND VENTILATING
INT	INTERIOR
KES	KITCHEN EQUIPMENT SUPPLIER
MAX. MECH MFR	MAXIMUM MECHANICAL MANUFACTURER
MIN. MISC MSS	MINIMUM MISCELLANEOUS MUSIC SYSTEM SUPPLIER
N.I.C. NO.	NOT IN CONTRACT NUMBER
O.C. OSB	ON CENTER ORIENTED STRAND BOARD
PAF POS PREP PVC	POWDER ACTUATED FASTENER POINT OF SALE PREPARATION POLYVINYL CHLORIDE
R RTU	RADIUS ROOF TOP UNITS
SG SIM SS SSS SST STR	SWEETGREEN SIMILAR SOLID SURFACE CCTV AND SAFE/CASHBOX STAINLESS STEEL STRUCTURE
T T.B.D. T.O. TAB TCC TLS TMB TMS TP TRS TSV TYP	TENANT TO BE DETERMINED TOP OF TENANT'S TEST AND BALANCE VENDOR TENANT'S CABLING CONTRACTOR TENANT'S LIGHT/LAMP SUPPLIER TENANT'S MENUBOARD SUPPLIER TENANT'S MILLWORK SUPPLIER TENANT'S PHONE SUPPLIER TENANT'S RAILING SUPPLIER TENANT'S SIGNAGE VENDOR TYPICAL
UPS U.N.O. VD V.I.F. VAR	UNINTERRUPTED POWER SUPPLY UNLESS NOTED OTHERWISE VENDOR VERIFY IN FIELD VARIES
W/ WA WCS WS	WITH WASHROOM ACCESSORIES TENANT'S WALK-IN COOLER SUPPLIER TENANT'S WINDOW SHADE SUPPLIER

SYMBOL LEGEND

	LEVEL TAG		DATA DEVICE TAG
	BUILDING ELEVATION		DOOR TAG
	INTERIOR ELEVATION		FURNITURE TAG
	KITCHEN EQUIPMENT TAG		PLUMBING FIXTURE TAG
	SECTION MARKER		WASHROOM ACCESSORIES TAG
	SECTION / DETAIL		ROOM TAG
	LAYOUT POINT		FINISH TAG
	KEY NOTE TAG		AREA TAG
	REVISION TAG		REVISION TAG
	View Title 1/4" = 1'-0"		

PROJECT CONTACTS

LANDLORD Contact Name Company Name Address Line 1 Address Line 2 Email: Tel: xxx.xxx.xxxx	SIGNAGE VENDOR Chad Elliot Ruggless Sign Address Line 1 Address Line 2 Email: chad@rugglessign.com Office: 859.879.1199 ext. 129	WATER UTILITY DeKalb County Utility Customer Operations Service Center 774 Jordan Lane, Suite 200 Decatur, GA 30033 Email: dekalbwaterservice@dekalbcountryga.gov Tel: 404.378.4475
DESIGN MANAGER Lena Giang Design manager, architecture + planning Tel: 323.451.9323 sweetgreen.com	KITCHEN VENDOR Katie Dixon Singer Equipment 3851 Ten Oaks Road, Suite 2C Glenelg, MD 21737 Email: kdixon@singerequipment.com Tel: 443.419.1009	SEWER UTILITY City of Atlanta Dept Of Watershed Management 72 Marietta Street NW Atlanta, GA 30303 Email: coafog@atlantaga.gov Tel: 404.546.1290
CONSTRUCTION MANAGER Johnathan Davila Sweetgreen Email: johnathan.davila@sweetgreen.com	ZONING DEPARTMENT City of Atlanta 55 Trinity Avenue Atlanta, GA 30303 Office of Zoning & Development Email: dcpozo@atlantaga.gov Tel: 404.330.6145	GAS UTILITY Atlanta Gas Light Company Thomas Parks, Commerical Acct. Rep 10 Peachtree Place NE Atlanta, GA 30309 Email: tcparks@southernco.com Tel: 404.472.4931
ARCHITECT OF RECORD Nathan Sauber Dewberry Architects, Inc. 1950 S. Boulder Ave Suite 600 Tulsa, OK 74114 Office: 918.295.5258	BUILDING DEPARTMENT Office of Buildings Email: dcp-oo@atlantaga.gov Tel: 404.330.6150	ELECTRIC UTILITY Georgia Power Builder and Property Support William Betts 829 Jefferson Street NW Atlanta, GA 30318 Email: g2p@builders@southernco.com Tel: 877.365.3276 option 1 Cell: 770.216.1432
MEP ENGINEER Christian Reynolds Salas O'Brien Address Line 1 Address Line 2 Email: christian.reynolds@salasobrien.com Office: 404.881.5300 Cell: 470.705.8343	HEALTH DEPARTMENT Fulton County Health Dept - Environmental Health Central District Office 10 Park Place South S.E. Atlanta, GA 30303 Tel: 404.613.1303	TELEPHONE UTILITY Comcast Business Tel: 877.269.8849 AT&T U-Verse Tel: 888.901.2779
	THIRD PARTY INSPECTOR Contact Name Company Name Address Line 1 Address Line 2 Email: Tel: xxx.xxx.xxxx	EXPEDITOR Kevin McKenna Burnham Nationwide, Inc. Chicago Office 111 W Washington St., Ste 1700 Chicago, IL 60602 Tel: 312.260.7074
		HVAC SUPPLIER Derek Van Ripper Trane 3253 E Imperial Hwy Brea, CA 92821 USA Email: derek.vanriper@trane.com Tel: 714.983.0505

CODE AUTHORITIES

CODE NAME	CODE JURISDICTION
LIFE SAFETY CODE	NFPA 101 LIFE SAFETY CODE 2018 EDITION W/ STATE AMENDMENTS 2020
BUILDING CODE:	2018 IBC + GA AMENDMENTS (2020)
ACCESSIBILITY CODE:	2018 GEORGIA ACCESSIBILITY CODE 120-3-10(.01-.08)
FIRE CODE:	2018 INTERNATIONAL FIRE CODE + GA AMENDMENTS (2020)
MECHANICAL CODE:	2018 INTERNATIONAL MECHANICAL CODE + GA AMENDMENTS (2020)
PLUMBING CODE:	2018 INTERNATIONAL PLUMBING CODE + GA AMENDMENTS (2020)
ELECTRICAL CODE:	2020 NATIONAL ELECTRICAL CODE
ENERGY CODE:	2015 INTERNATIONAL ENERGY CODE + GA SUPPL. (2020)
HEALTH CODE	GEORGIA DEPT. OF HEALTH FOOD SERVICE RULES + REGS CHAPT. 511-6-1

SITE & OCCUPANCY

FOR COMPLETE CODE COMPLIANCE, REFER TO LIFE SAFETY SHEET G-200

PROJECT DESCRIPTION:	NEW TENANT IMPROVEMENT					
BUILDING HEIGHT:	1 STORY					
TENANT AREA:	1,955					
BUILDING USE:	COMMERCIAL					
ZONING:	G-R, GENERAL RETAIL					
TYPE OF USE:	RESTAURANT, FAST CASUAL					
TYPE OF OCCUPANCY:	A-2					
BUILDING OCCUPANT LOAD						
ROOM NAME	AREA SF	BENCH LF	/	LOAD FACTOR	=	OCC. LOAD
DINING	432 SF	30 LF	/	1.5 LF	=	20
KITCHEN	961 SF	-	/	100 SF	=	10
REST / CIRC	257 SF	-	/	0 SF	=	0
	1,650 SF					30
PATIO	305 SF	24 LF	/	1.5 LF	=	16
	305 SF					16
TOTAL	1,955 SF					46
MAXIMUM DISTANCE OF TRAVEL TO EXIT REQUIRED:		200' - 0"				
DISTANCE OF TRAVEL TO EXIT PROVIDED:		73' - 9"				
NUMBER OF EXITS REQUIRED:		1				
NUMBER OF EXITS PROVIDED:		1				

PLUMBING FIXTURES

OCCUPANT LOAD- PLUMBING						
ROOM NAME	AREA SF	/	LOAD FACTOR	=	OCC. LOAD	
DINING	432 SF	/	0 SF	=		
KITCHEN	961 SF	/		=		
REST / CIRC	257 SF	/	0 SF	=		
	1,650 SF				0	
PATIO	305 SF	/	200 SF	=	2	
	305 SF				2	

TOTAL PLUMBING OCCUPANTS: 46

FIXTURE	MEN: (23)		WOMEN: (23)	
	REQ'D	PROVIDE	REQ'D	PROVIDE
WATER CLOSET	1	1	1	1
URINALS	1	1	N/A	N/A
LAVATORIES	1	1	1	1
DRINKING FOUNTAIN	NOT REQUIRED		NOT REQUIRED	

- NOTES:
- OCCUPANT USE AND LOAD FACTOR PER NFPA OCCUPANT LOAD FACTOR TABLE 7.3.1.2
 - THE TOTAL NUMBER OF PLUMBING FIXTURES REQUIRED DETERMINED PER IBC 2018 TABLE 2902.1
 - WATER TAP PROVIDED IN LIEU OF DRINKING FOUNTAIN

GENERAL NOTES

- THE GC SHALL REVIEW ALL DOCUMENTS AND FIELD VERIFY ALL DRAWING DIMENSIONS. INSPECT EXISTING FIELD CONDITIONS AND CONFIRM THAT THE WORK CAN BE BUILT AS SHOWN IN THE CONSTRUCTION DOCUMENTS.
- ANY DISCREPANCIES BETWEEN THE DEMISED PREMISES PLAN, THE CONTRACT DOCUMENTS DRAWINGS AND THE FIELD INSPECTION CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- THE GC SHALL BE RESPONSIBLE FOR THE LOSS AND/OR DAMAGE OF ALL OWNER SUPPLIED MATERIALS AND FIXTURES RECEIVED AND ACCEPTED AT THE SITE, WHETHER IN CONTRACT OR NOT.
- GC SHALL MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS CONFORMING WITH ALL APPLICABLE CODES AND ORDINANCES FOR THE ENTIRE DURATION OF THE WORK.
- DURING ALL PHASES OF THE WORK, THE GC SHALL NOT DISTURB THE FUNCTIONS AND DELIVERIES OF NEIGHBORING TENANTS.
- THE GC SHALL, IN THE WORK OF ALL TRADES, PERFORM ALL CUTTING, PATCHING, RESTORING, REPAIRING AND THE LIKE, NECESSARY TO COMPLETE THE WORK AND RESTORE ANY DAMAGED SURFACES RESULTING FROM THE WORK TO THEIR ORIGINAL CONDITION. ALL SAW-CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN THE FIELD BY PROJECT MANAGER AND COORDINATED WITH THE LANDLORD PRIOR TO COMMENCING WORK. ALL ROOF PATCHING SHALL RETURN AFFECTED AREA TO A "LIKE NEW" CONDITION. PRIOR TO PATCHING THE GC SHALL VERIFY ANY ROOF WARRANTY WITH THE LANDLORD.
- EACH SUBCONTRACTOR SHALL LEAVE THE CONSTRUCTION SITE IN A CLEAN AND ORDERLY CONDITION UPON COMPLETION OF HIS WORK ON A DAILY BASIS. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GC SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, INCLUDING OWNER FURNISHED ITEMS AND TRASH GENERATED BY THE OWNER'S CONTRACTORS FOR THE DURATION OF THE PROJECT.
- PERMITS FOR FIRE SPRINKLER SYSTEM, FIRE ALARM, SIGNAGE OR ANY OTHER PERMITS REQUIRED BY LOCAL AUTHORITIES ARE TO BE SUBMITTED UNDER SEPARATE APPLICATIONS. SEE SECTION DEFERRED SUBMITTALS THIS SHEET FOR ADDITIONAL CLARIFICATION.
- DURING ALL CONSTRUCTION PHASES, THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER AS REQUIRED BY LOCAL LAWS AND/OR REGULATIONS.
- A 44" CLEAR EXIT AISLE THOUGH ROOMS TO EXIT DOORS SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL UNLESS OTHERWISE NOTED.
- DOORS OPENING INTO AN EXIT CORRIDOR SHALL BE SELF-CLOSING AND HAVE A MINIMUM FIRE RESISTANCE RATING OF NO LESS THAN CORRIDOR WALL. DO NOT INSTALL HOLD-OPEN CLOSERS AT DOORS OPENING INTO EXIT CORRIDORS.
- FIRE DAMPERS SHALL BE PROVIDED BY THE MECHANICAL SUBCONTRACTOR WHERE DUCTS PENETRATE FIRE-RATED WALLS, FLOORS OR CEILING ASSEMBLIES.
- ALL EXIT DOORS SHALL BE READILY OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.

SCOPE OF WORK

TENANT EXTERIOR AND INTERIOR ALTERATIONS TO AN EXISTING BUILDING. MODIFICATIONS TO INCLUDE NEW PARTITION WALLS, CEILINGS, ELECTRICAL, PLUMBING AND HVAC AS NEEDED FOR OPERATION OF A FAST-CASUAL SALAD RESTAURANT.

GROUP	TENANT	OCCUPANCY
PREVIOUS USE:	RESTAURANT	A-2
PROPOSED USE:	SWEETGREEN	A-2

SHEET INDEX

		PERMIT ISSUE	REVISION A	REVISION B	REVISION C	ADDENDUM 1	ADDENDUM 2	ADDENDUM 3
SHEET SHEET TITLE								
GENERAL								
G-001	PROJECT INFORMATION	X						
G-100	ACCESSIBILITY	X						
G-200	LIFE SAFETY PLAN	X						
G-300	RESPONSIBILITY MATRIX	X						
DEMOLITION								
D-010	DEMO STOREFRONT ELEVATIONS	X						
D-100	DEMOLITION PLAN	X						
ARCHITECTURAL								
A-000	SITE PLAN	X						
A-020	BARRICADE PLANS, ELEVATIONS & DETAILS	X						
A-030	STOREFRONT ELEVATIONS	X						
A-032	ENLARGED PATIO PLAN	X						
A-101	ANNOTATION & DIMENSION FLOOR PLAN	X						
A-130	EQUIPMENT & FURNITURE PLAN	X						
A-140	REFLECTED CEILING AND LIGHTING PLAN	X						
A-300	SLAB DETAILS	X						
A-360	SAFETY AND ACCESSIBILITY GRAPHICS	X						
A-361	GRAPHICS COORDINATION	X						
A-400	DOORS & WINDOWS	X						
A-401	DOOR & WINDOW DETAILS	X						
MECHANICAL								
M-200	HVAC DEMO ROOF PLAN	X						
M-201	HVAC ROOF PLAN	X						



sweetgreen
3000 S. ROBERTSON BLVD.
LOS ANGELES, CALIFORNIA 90034

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ARCHITECT OF RECORD:



Dewberry Architects Inc.

300 N. Lake Ave, 12th Floor
Pasadena, Ca. 91101
916.239.4256 Phone
916.239.7245 Fax

STAMP:

XXXX-XXXX

PROJECT INFORMATION:
EMORY VILLAGE
PROJECT INFORMATION:
1556 N DECATUR RD,
ATLANTA, GA 30307

DRAWN BY: TF
CHECKED BY: JW
PROJECT MANAGER: ZM
SG DESIGN MANAGER: LG
SG CONSTR. MANAGER: JD
PROJECT NO: 50139167
TEMPLATE VERSION: 05.06.2022

REVISIONS

REV. DATE DESCRIPTION

PROJECT INFORMATION

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

G-001

ACCESSIBILITY NOTES

ACCESSIBILITY & USABILITY FOR THE PHYSICAL HANDICAPPED SHALL BE PROVIDED IN PUBLIC AREAS. THE PROVISIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (ANSI A 117.1) 2009 AND TITLE III OF THE 2010 AMERICANS WITH DISABILITIES ACT AS REQUIRED BY THE CODE, SHOWN GRAPHICALLY ON THIS SHEET AND IN NOTES BELOW.

TENANT IS RESPONSIBLE FOR ALL SITE VERIFICATIONS.

TENANT'S LEASED PREMISES MUST COMPLY WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT (ADA). COMPLIANCE WILL INCLUDE, BUT NOT BE LIMITED TO, THE DESIGN, CONSTRUCTION AND / OR ALTERATION OF THE LEASED PREMISES.

DOORS AND HARDWARE:

- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE OF EFFORT. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
- ALL ENTRANCES AND EXIT DOORS TO BUILDING SHALL BE MADE ACCESSIBLE TO THE DISABLED. WHERE BUILDING CODE PERMITS, PROVIDE SIGNAGE TO ACCESSIBLE ENTRY/EXIT IF ALL LOCATIONS ARE NOT ACCESSIBLE.
- EVERY REQUIRED EXIT DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3 FEET IN WIDTH AND NOT LESS THEN 6'-8" IN HEIGHT. WHEN INSTALLED IN EXIT DOORWAYS, EXIT DOORS SHALL BE CAPABLE OF OPERATING AT LEAST 90 DEGREES AND SHALL BE MOUNTED SO THAT THE CLEAR WIDTH OF THE EXITWAY IS NOT LESS THAN 32".
- PER ADA SECTION 404.2, MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPENERS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. DOOR CLOSERS TO BE SET TO TAKE AT LEAST 5 SECONDS TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES TO WITHIN 3" OF THE LATCH. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
- THE BOTTOM 10" OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING, SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, 1" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
- THE FLOOR OR LANDING ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND A LENGTH OPPOSITE THE DIRECTION OF THE DOOR SWING OF 44"-48" IN LENGTH, DEPENDENT UPON DIRECTION OF APPROACH AND EXISTENCE OF LATCH AND CLOSER.
- THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE, SERVING OTHER THAN A REQUIRED EXIT STAIRWAY, SHALL PROVIDE A MINIMUM OF 48" OF CLEAR SPACE FROM ANY DOOR OPENING INTO SUCH VESTIBULE WHEN THE DOOR IS POSITIONED TO AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.

SIGNS AND IDENTIFICATIONS:

- LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE-WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10, UTILIZING AN UPPERCASE "I" FOR MEASUREMENT. (703.2)
- CHARACTERS, SYMBOLS, OR PICTOGRAPHS ON TACTILE SIGNS SHALL BE RAISED 1/32" (0.8 MM) MINIMUM. RAISED LETTERS AND NUMBERS SHALL BE SANS SERIF UPPERCASE CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8" (16 MM) HIGH, BUT NO HIGHER THAN A NOMINAL 2" (51 MM). (703.3)

AUDIBLE ALARMS:

- AUDIBLE EMERGENCY ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE PREVAILING EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST 15 DECIBELS OR EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A DURATION OF 30 SECONDS BY 5 DECIBELS, WHICHEVER IS LOUDER. SOUND LEVELS FOR ALARM SIGNALS SHALL NOT EXCEED 120 DECIBELS.

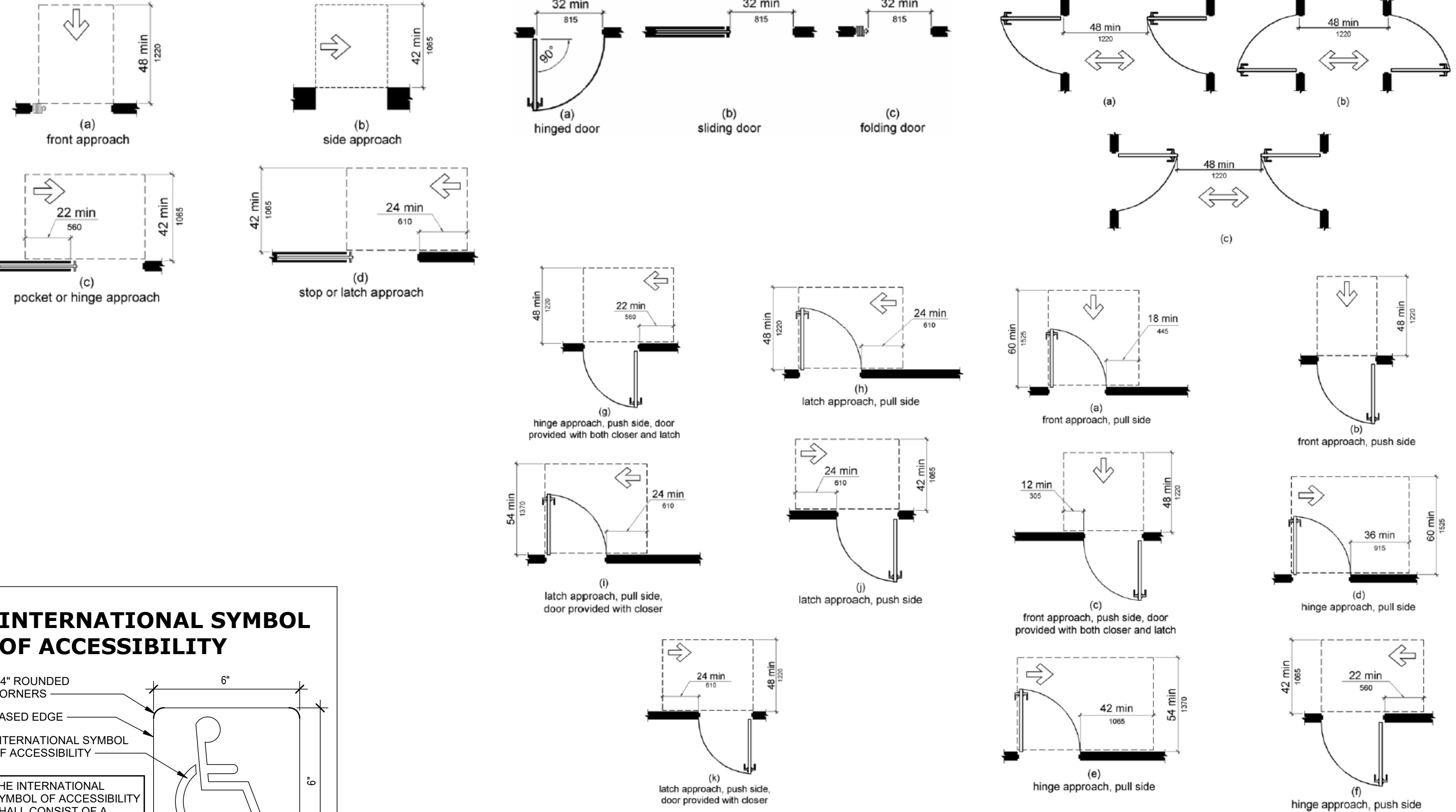
VISUAL ALARMS:

- VISUAL ALARMS SHALL BE FLASHING LIGHTS ARRANGED TO FLASH IN CONJUNCTION WITH THE AUDIBLE EMERGENCY ALARMS. THE FLASHING FREQUENCY OF VISUAL ALARMS SHALL BE APPROXIMATELY 1 HZ. SPECIALIZED SYSTEMS USING ADVANCED TECHNOLOGY MAY BE SUBSTITUTED IF EQUIVALENT PROTECTION IS AFFORDED HANDICAPPED USERS OF THE BUILDING OR FACILITY.

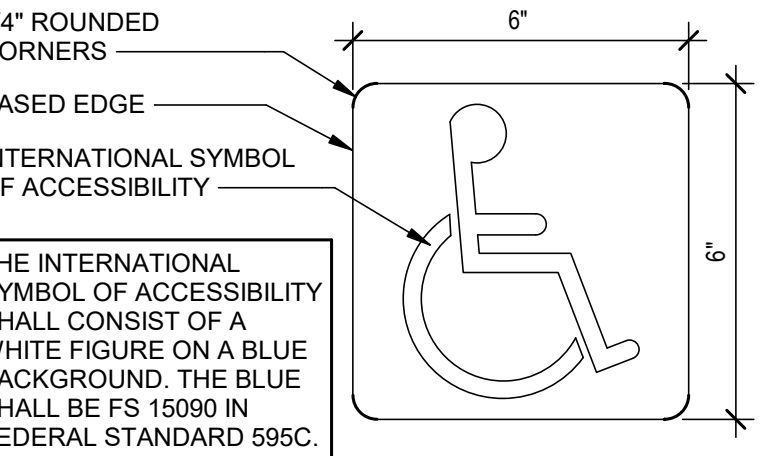
AUXILIARY ALARMS:

- SENSORY ALARMS PROVIDED FOR PERSONS WITH HEARING IMPAIRMENTS SHALL BE CONNECTED TO THE BUILDING EMERGENCY SYTEM OR THERE SHALL BE A STANDARD 1100-VOLT ELECTRICAL RECEPTACLE INTO WHICH AN ALARM UNIT CAN BE CONNECTED TO BE ACTIVATED BY THE BUILDING ALARM SYSTEM. INSTRUCTIONS FOR USE OF THE AUXILIARY ALARM OR CONNECTIONS SHALL BE PROVIDED.

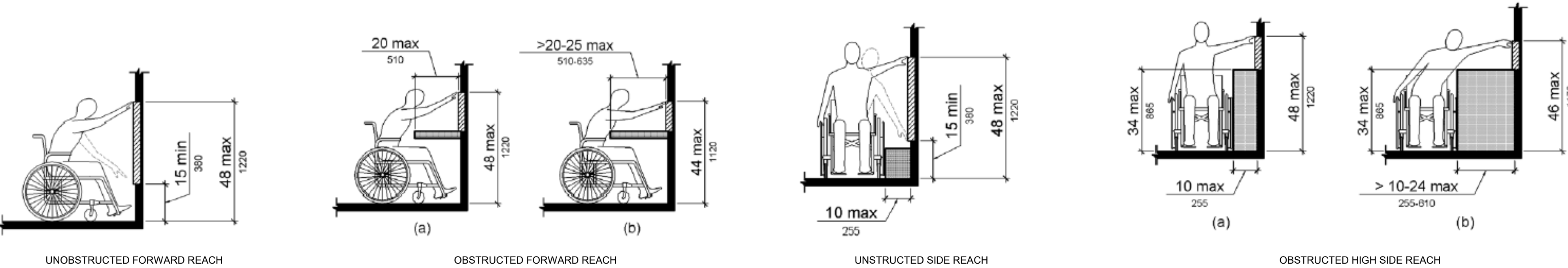
CLEAR FLOOR SPACE & TURNING SPACE



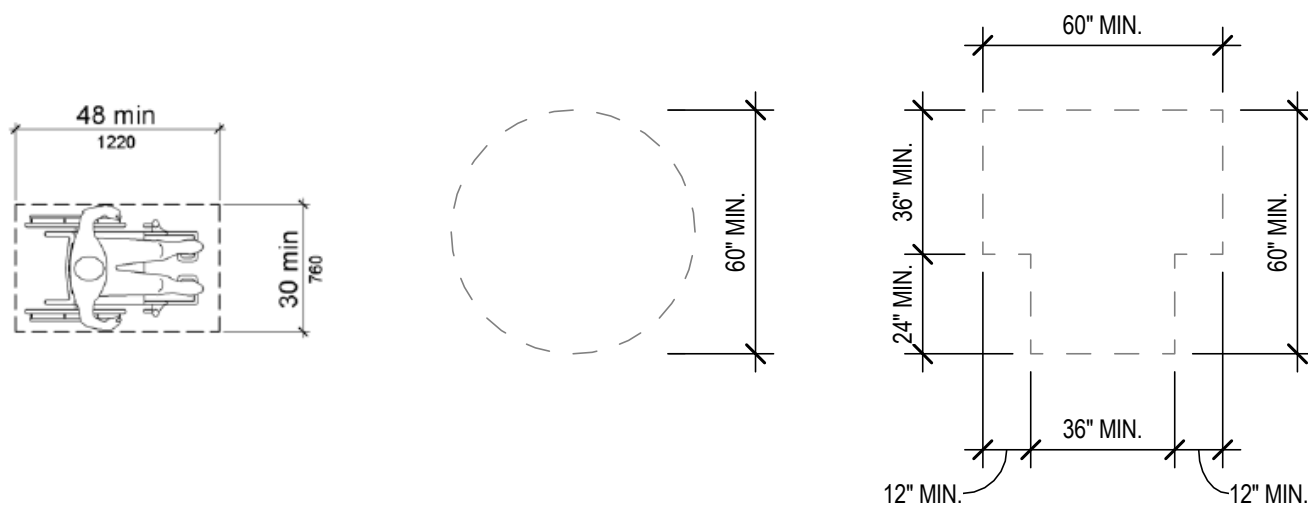
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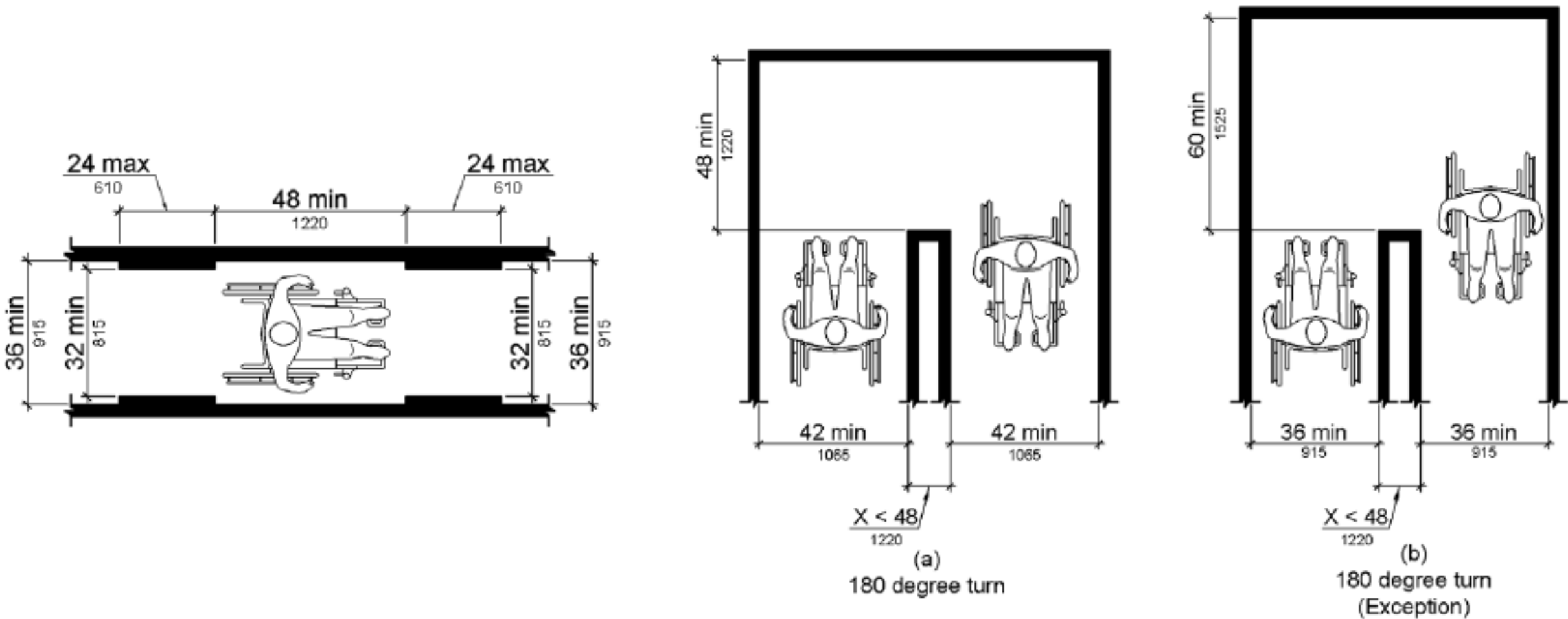
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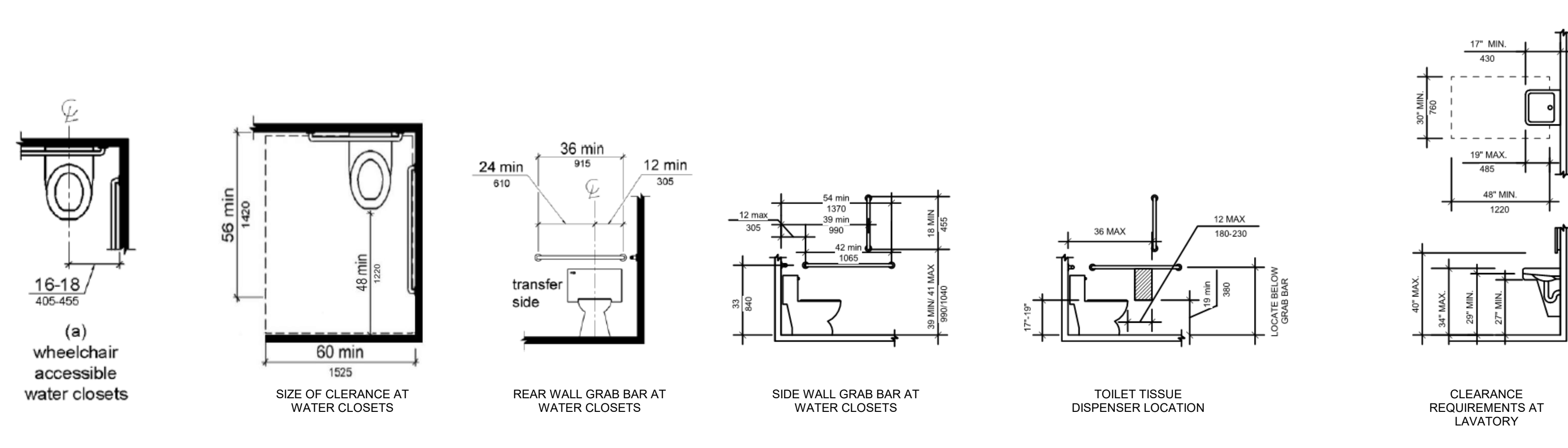
CLEAR FLOOR SPACE & TURNING SPACE



ACCESSIBILITY ROUTE REQUIREMENTS:



TOILET AND PLUMBING FACILITIES:



sg

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JD

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50139167

TEMPLATE VERSION:

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REVISIONS

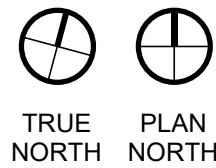
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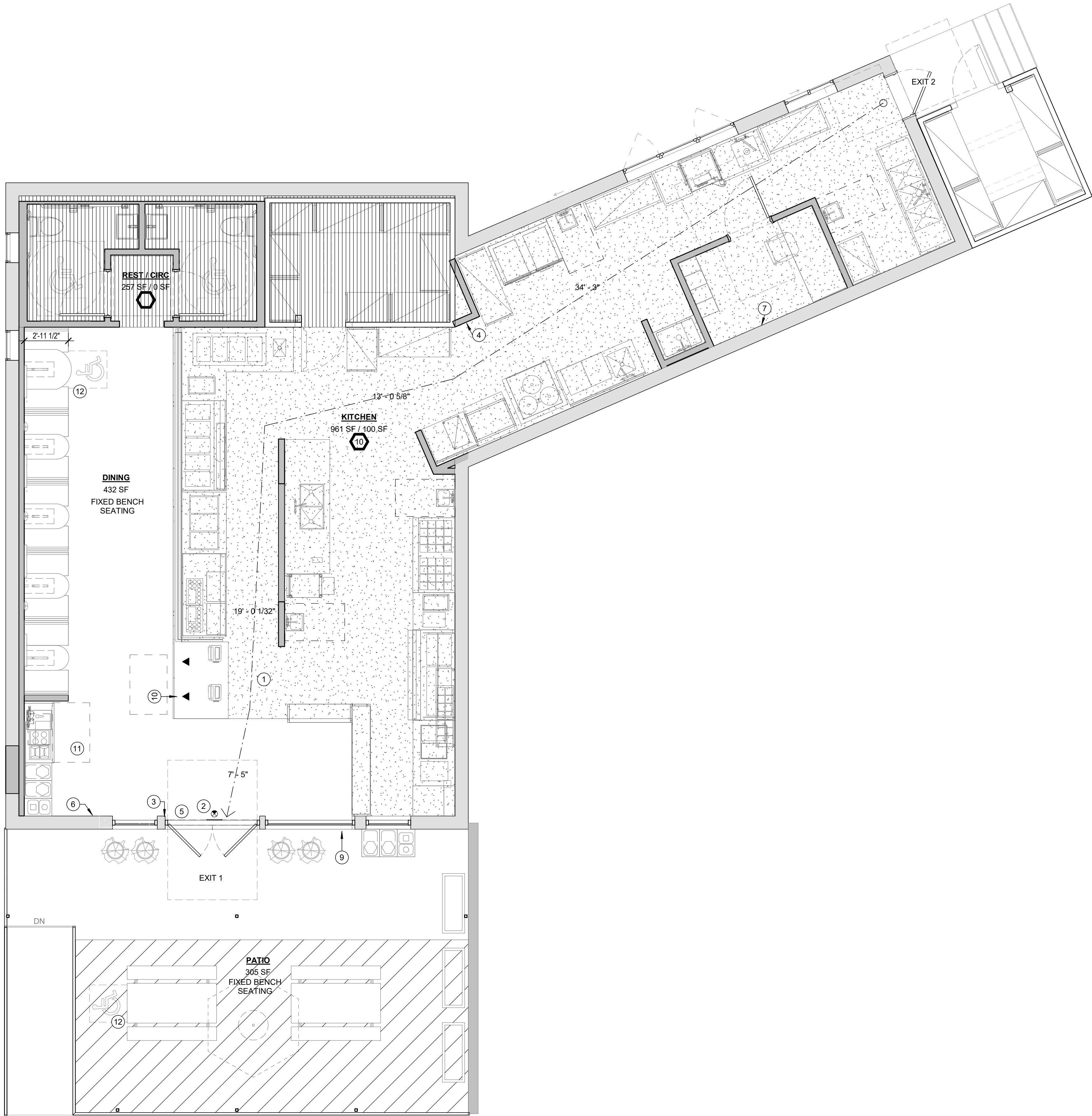
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LIFE SAFETY PLAN

1/4" = 1'-0"



GENERAL NOTES

- REFER TO DOOR & HARDWARE SCHEDULE FOR ACCESSIBLE EGRESS DOOR AND HARDWARE REQUIREMENTS.
- LANDLORD TO PROVIDE CONTINUATION OF ACCESSIBLE EGRESS ROUTE OF TRAVEL BEYOND LEASE LINE.
- ACCESSIBLE ROUTE OF TRAVEL NOT TO EXCEED RUNNING SLOPE OF 1:20, MAX. CROSS SLOPE OF 1:50. NOTIFY ARCHITECT OF NON-COMPLIANCE.
- DURING CONSTRUCTION, AT LEAST ONE FIRE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT.
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
- ELECTRICAL CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO BE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX.
- ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO BE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX.
- REFER TO ACCESSIBILITY SHEETS FOR ADDITIONAL DETAILS AND REQUIREMENTS FOR ACCESSIBLE FEATURES.

LIFE SAFETY LEGEND

CODED NOTES

- EXIT PATH OF TRAVEL, 44" MIN
- ILLUMINATED EXIT SIGNAGE, SEE LIGHTING SCHEDULE
- TACTILE EXIT SIGN WITH BRAILLE, SEE SIGNAGE SCHEDULE
- FIRE EXTINGUISHER. CONFIRM FINAL LOCATIONS AND QUANTITIES WITH LOCAL FIRE JURISDICTION
- PROVIDE SIGN ABOVE DOOR: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.", SEE SIGNAGE SCHEDULE
- MAXIMUM OCCUPANCY SIGNAGE, SEE SIGNAGE SCHEDULE. VERIFY LOCATION W/ SWEETGREEN CM PRIOR TO INSTALLATION.
- 36" CLEARANCE IN FRONT OF ELECTRICAL PANELS
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, SEE SIGNAGE SCHEDULE
- ACCESSIBLE TRANSACTION COUNTER. MIN. 36" LENGTH AT 34" AFF. CLEAR FLOOR SPACE IN FRONT OF COUNTER TO BE MIN. 30"x48" FOR SIDE APPROACH
- ACCESSIBLE BEVERAGE STATION AT 34" AFF, SEE INTERIOR DETAILS
- ACCESSIBLE SEATING

CODE REVIEW

BUILDING OCCUPANT LOAD					
ROOM NAME	AREA SF	BENCH LF	LOAD FACTOR	=	OCC. LOAD
DINING	432 SF	30 LF	/	1.5 LF	= 20
KITCHEN	961 SF	-	/	100 SF	= 10
REST / CIRC	257 SF	-	/	0 SF	= 0
	1,650 SF				30
PATIO	305 SF	24 LF	/	1.5 LF	= 16
	305 SF				16
TOTAL	1,955 SF				46

OCCUPANCY & USE DATA:

TYPE OF OCCUPANCY: A-2
OCCUPANCY SEPARATION: NONE
TYPE OF CONSTRUCTION: V-B
AREA (TENANT ONLY): 1,955
AREA & HEIGHT MODIFICATIONS: NONE PROPOSED

EGRESS & FIRE SAFETY REQUIREMENTS:

FIRE SPRINKLERS: No
NUMBER OF EXITS REQUIRED: 1
NUMBER OF EXITS PROVIDED: 1

MAX. DISTANCE OF TRAVEL TO EXIT REQUIRED: 200' - 0"
DISTANCE OF TRAVEL TO EXIT PROVIDED: 73' - 9"

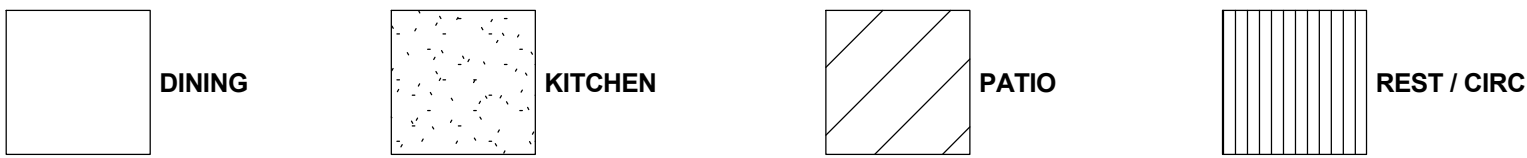
TOTAL PLUMBING OCCUPANTS: 46

FIXTURE	MEN: (23)		WOMEN: (23)	
	REQ'D	PROVIDE	REQ'D	PROVIDE
WATER CLOSET	1	1	1	1
URINALS	0	0	N/A	N/A
LAVATORIES	1	1	1	1
DRINKING FOUNTAIN	NOT REQUIRED		NOT REQUIRED	

SEAT COUNTS/ ACCESSIBLE SEATING REQUIREMENTS:

DINING: 20
PATIO: 16
TOTAL SEATS PROVIDED: 36
ACCESSIBLE SEATING (5% OF TOTAL)
DINING: 1 REQUIRED 1 PROVIDED
PATIO: 1 REQUIRED 1 PROVIDED

LIFE SAFETY LEGEND



OCCUPANCY LOAD

---> PATH OF TRAVEL

sg

sweetgreen

3000 S. ROBERTSON BLVD.
LOS ANGELES, CALIFORNIA 90034

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ARCHITECT OF RECORD:

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XXXX-XXXX

PROJECT INFORMATION:
EMORY VILLAGE

PROJECT INFORMATION:
1556 N DECATUR RD,
ATLANTA, GA 30307

DRAWN BY: TF
CHECKED BY: JW
PROJECT MANAGER: ZM
SG DESIGN MANAGER: LG
SG CONSTR. MANAGER: JD
PROJECT NO: 50139167
TEMPLATE VERSION: 05.06.2022

REVISIONS
REV. DATE DESCRIPTION

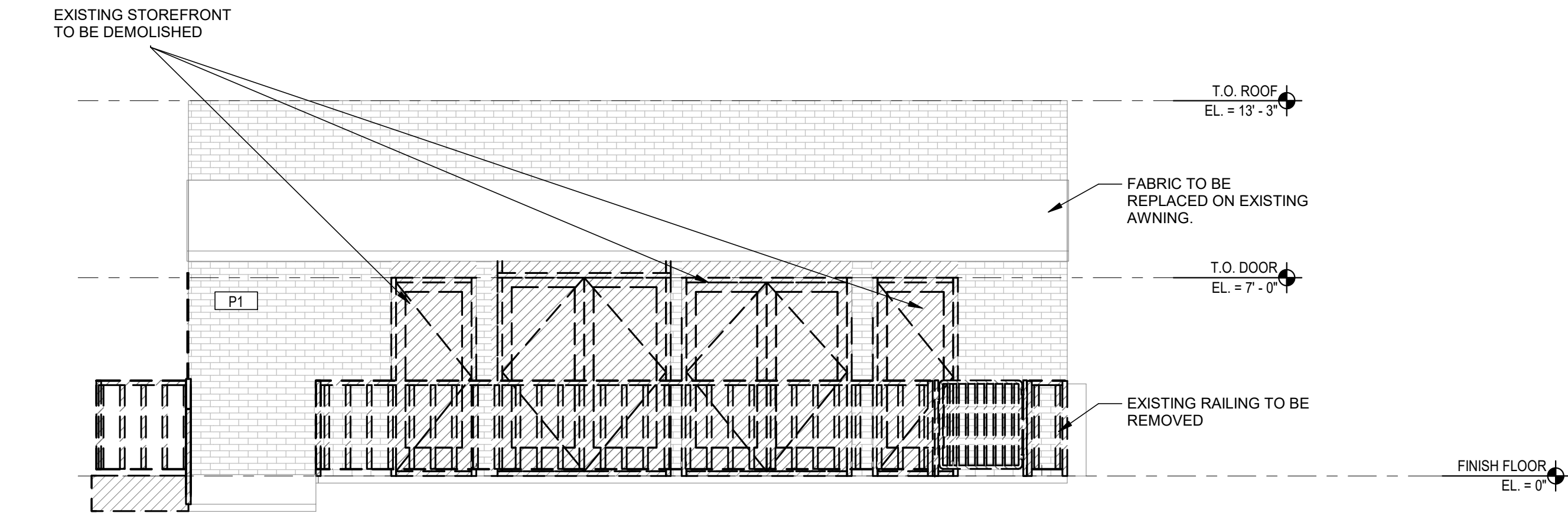
LIFE SAFETY PLAN

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

G-200

ITEM			FURNISH	INSTALL	REMARKS			
			LANDLORD/EXIST. GENERAL CONTR.	OWNER	LANDLORD/EXIST. GENERAL CONTR.	OWNER	SUBMITTAL REQUIRED	
GENERAL CONDITIONS								
ALL OTHER PERMITS								
BUILDING & HEALTH PERMITS								GC TO OBTAIN & PAY FOR ALL PERMITS; DO NOT INCLUDE THESE IN BID
DUMPSTERS / TOILETS								
GC TO UNLOAD ALL MATERIALS PURCHASED DIRECTLY BY OWNER								
INSPECTIONS, CERTIFICATIONS AND CERTIFICATE OF OCCUPANCY								GC TO CALL-IN/SCHEDULE ALL REQUIRED INSPECTIONS, INCLUDING HEALTH
LANDLORD SUBCONTRACTORS								GC TO PAY FOR ALL OTHERS
PROTECTION OF SITE WORK AND ADJACENT CONSTRUCTION								GC TO PATCH & REPAIR DAMAGED AREAS DUE TO DEMO & NEW WORK
PROJECT PROCEDURES, FIELD ENGINEERING								
PROJECT PROCEDURES								
PUNCH LIST PRIOR TO CONSTRUCTION TURNOVER								
REDLINED AS-BUILT PLANS								GC TO PROVIDE DIGITAL & ONE HARD COPY
TEMPORARY BARRICADES								COORDINATE CONSTRUCTION BARRICADE WITH LL
DEMOLITION								
ALL CONSTRUCTION DEBRIS REMOVAL								INCLUDING DISPOSAL OF CRATING & PACKING
ALL EXTERIOR BUILDING DEMO								SEE WORK LETTER AND DRAWINGS
ALL EXTERIOR SITE DEMO								SEE WORK LETTER AND DRAWINGS
ALL INTERIOR DEMO								SEE WORK LETTER AND DRAWINGS
ALL ROOFTOP UNITS/CURBS/EXHAUSTS/ OTHER ROOF EQUIPMENT								SEE WORK LETTER AND DRAWINGS
ASBESTOS, MOLD, PESTS BACTERIAL CONDITIONS								TO BE REMOVED IF ANYTHING FOUND ON SITE
OFFENSIVE SMELLS								TO BE CLEANSED AND ELIMINATED ENTIRELY
INTERIOR WORK								
ACCESSIBLE RESTROOMS								
ALL FLOOR TRANSITION STRIPS								COOLER BASE BY COOLER MANUFACTURER SEE PLAN FOR LOCATIONS
ALL METAL CORNER GUARDS AND PLATES								ALL TILED AND FRP WALLS TO HAVE OUTSIDE CORNER GUARDS
CEILING TILE								
CRACK SUPPRESSION MEMBRANE								
DEMISING WALLS FRAMING/OTHER CONSTRUCT WALL PER CODE								N/A
FINAL CLEANING								KES TO REMOVE PROTECTIVE VINYL FILM FROM ALL EQUIPMENT
FLOORING AND BASE								AS SCHEDULED, REFER TO FINISH PLAN AND SCHEDULES
GYP. BD. AT DEMISING WALL PER CODE GYP. BD. READY TO PAINT								N/A
GYP. BD. AT PERIMETER WALLS GYP. BD. READY TO PAINT								EXISTING; GC TO REPAIR/REPLACE WHERE DAMAGED OR MISSING
INTERIOR CONCRETE SLAB								REFER TO PLANS FOR SCOPE
INTERIOR LIGHTING AND WAYFINDING								SEE LIGHTING SCHEDULE, ELECTRICAL DRAWINGS
INTERIOR PARTITIONS FRAMING, SUBSTRATE AND BLOCKING								
LINTELS/HM FRAMES, DOORS & HARDWARE								
NEW CONCRETE FLOOR; PATCH/REPAIR AS REQ'D								CUTTING, PATCHING, REPAIR AND FOR ALL UNDERGROUND NEW WORK
OPERATIONAL SIGNAGE								CONFIRM ALL LOCATIONS WITH DESIGN MANAGER PRIOR TO INSTALL
PAINTING								
PERIMETER WALLS FRAMING/OTHER CONSTRUCT WALL PER CODE								EXISTING; GC TO REPLACE WHERE NEEDED
SOFFIT FRAMING AND GYP. BD.								
SOLID SURFACE COUNTERTOPS								KES TO PROVIDE & INSTALL ALL SOLID-SURFACE COUNTERTOPS
SPECIALTY CEILINGS AND SOUNDPROOFING								UNISTRUT BY GC. GC TO PAINT CLOUDS AND RODS
SPRINKLER SYSTEM								N/A
STAINLESS STEEL WALL FINISHES								CAULK ALL EDGES WITH STAINLESS STEEL COLORED CAULK
SUBSTRATE, INSULATION, SOUNDPROOFING, VAPOR BARRIER AT PERIMETER								GC TO EXTEND FINISHES IF EXISTING ARE NOT CONTINUOUS TO DECK
WALL FINISHES, FRP, TRIM AND SEALERS								GC TO PROVIDE 1-GAL. LABELED TOUCH-UP PAINT FOR ALL AREAS
WATERPROOFING MEMBRANE ON FLOOR AND UP WALLS								
4" STAINLESS STEEL BASE AT ALL MILLWORK								REFER TO A-121 FINISH SCHEDULE, B2 STAINLESS STEEL WALL BASE
EXTERIOR WORK								
ALL STRUCTURAL CONCRETE WORK, FOUNDATIONS								EXIST.; GC TO PATCH AND REPAIR DUE TO DEMO AND NEW WORK
ALL STRUCTURAL STEEL								EXIST.; GC TO PROVIDE PER PLANS
ALL STRUCTURAL STEEL FOR INTERIOR AND EXTERIOR/LINTELS								EXIST. BY LL. PER OWNER SPEC. AS SHOWN ON PLANS, INSULATED
BACK DOOR AND HARDWARE								
CEM. BD./EXTERIOR GRADE GYP. BD. AT EXTERIOR WALLS/SOFFITS								EXIST. BY LL.; GC TO PROVIDE AS REQ'D
EXTERIOR CONCRETE WORK AND FINISHES (FROST WALLS/SIDEWALK)								
EXTERIOR FRAMING, BARRIERS, INSULATION, FLASHING & SEALERS								EXIST.; GC TO PATCH AND REPAIR DUE TO DEMO AND NEW WORK
EXTERIOR LIGHTING								AS SCHEDULED, REFER TO LIGHTING PLAN AND SCHEDULE
EXTERIOR PATIO FOUNDATION & BASE								
EXTERIOR WALL								EXIST. BY LL. GC CUT/REPAIR/REPLACE AS REQ'D
EXTERIOR WALL FINISHES								
FRONT DOOR AND HARDWARE								AS REQUIRED DUE TO NEW WORK
INSULATION, VAPOR BARRIER, FLASHING AT EXTERIOR DEMISING WALLS								EXISTING
LINTELS/HM FRAMES								
MODIFIED EXTERIOR PATIO STRUCTURE								
REPAIRS TO CONC. JOINTS LOCATED AT FRONT OR SIDE ENTRY DOORS								GC TO PROVIDE AS NEEDED FOR CONCRETE SLAB
REPAIRS TO EXTERIOR WALL(S)								GC TO PROVIDE AS NEEDED FOR HOODS
ROOF LADDER								
SIDE DOOR AND HARDWARE								EXIST.; GC TO PROVIDE AS REQ'D.
SPANDREL GLASS								EXISTING
STOREFRONT AND GLAZING								
PICK UP WINDOW								
SUBSTRATE MESH OPENING								
ROOF WORK								
CLOSING ALL EXISTING NON-USED ROOF PENETRATIONS								GC TO CAP & COORDINATE WORK
CURB ADAPTERS								IF REQUIRED, AT TENANTS EXPENSE
INTERIOR ROOF HATCH AND LADDER WITH LOCK								
NEW ADDITIONAL AND ALTERATIONS TO EXISTING ROOF PENETRATIONS								AT TENANTS EXPENSE
NEW ROOF PENETRATIONS/CURB CUTS								COORDINATE WITH LL REQUIRED SUBS
ROOF DECK, INSULATION, ROOFING JOINTS AND FLASHING								
ROOF DRAINS/GUTTERS								EXISTING
ROOFTOP SCREENING FOR ROOF EQUIPMENT								GC TO COORDINATE W/ LL. & OWNER CM. IF SCREENING REQ'D.
STRUCTURAL DESIGN, STEEL AND CONSTRUCTION FOR ALL ROOF WORK								EXIST.; WHERE REQ'D DUE TO NEW WORK AT TENANTS EXPENSE
STRUCTURAL DRAWINGS FOR RTU'S/FANS/CONDENSERS ON ROOF								BY OWNER AT OWNER EXPENSE

ITEM			FURNISH	INSTALL		REMARKS
		LANDLORD/EXIST. GENERAL CONTR.	OWNER	LANDLORD/EXIST. GENERAL CONTR.	OWNER	SUBMITTAL REQUIRED
SPECIALTY ITEMS AND EQUIPMENT						
ALL FURNITURE						REFER TO EQUIPMENT SCHEDULE FOR RESPONSIBILITIES
ALL KITCHEN EQUIPMENT						REFER TO EQUIPMENT SCHEDULE FOR RESPONSIBILITIES
BLOCKING OR CARRIER SYSTEM FOR WALL MOUNTED RR SINK						PROVIDE & INSTALL PER SINK MFR. REQUIREMENTS
BOOTHS/BANQUETTES						OWNER TO PROVIDE CONTROL SAMPLE OF MATERIAL
CHEMICAL DISPENSERS						OWNER VENDOR INSTALLS AND PROVIDES
CONDUIT WITH PULLSTRING FOR PHONE						
DATA WIRING IN PREMISES						GC TO PROVIDE AND PULL, SG VENDOR TO TERMINATE
DECOR PACKAGE/ARTWORK						GC TO ASSEMBLE & INSTALL
DOOR CHIME W/TRANSFORMER AND PUSH BUTTON						
FIRE EXTINGUISHERS						GC TO VERIFY LOCATIONS & QUANTITIES PER FIRE MARSHALL
INTERIOR MENU BOARDS						GC COORDINATE INSTALL W/OWNER
INTERIOR RAILINGS						
INTERIOR SIGNAGE - RESTROOM						ELEC. ATTACHMENT, BLOCKING & ANY ACCESS PANELS BY GC.
INTERIOR SIGNAGE - EGRESS REQUIRED						ELEC. ATTACHMENT, BLOCKING & ANY ACCESS PANELS BY GC.
INTERIOR SIGNAGE - DECORATIVE						
INTERIOR SIGNAGE - ILLUMINATED HANGING SIGN						ELEC. ATTACHMENT & BLOCKING BY GC
INTERNET LINES TO SPACE						GC DOES FINAL HOOK-UP
LOW-E FILM						
MOSAICS						
ORDER/PICK-UP SIGNAGE						GC COORDINATE INSTALL W/OWNER
PATIO FURNITURE						
PATIO RAILING & SHOP DRAWINGS						GC TO PROVIDE QUART OF TOUCH UP PAINT
POS EQUIPMENT AND CABLES						
PRIVACY FILM						
SAFE						GC TO PROVIDE POWER AS REQUIRED
SNEEZE GUARD GLASS W/FRAME						GC TO PROVIDE BLOCKING/SHIMS AS REQUIRED
SECURITY CONDUIT AND J-BOXES AND COVER PLATES						
SECURITY WIRING AND EQUIPMENT						PROVIDED AND INSTALLED BY SSS
SOUND SYSTEM AND SPEAKERS						
SOUND SYSTEM CONDUITS - J-BOXES AND COVER PLATES						
SOUND SYSTEM WIRING						
TELEPHONE SYSTEMS - J-BOXES AND COVER PLATES						GC PROVIDE NEEDED CONDUIT
TOILET ROOM ACCESSORIES						AS SHOWN ON PLAN
TOILET ROOM PARTITIONS						
UMBRELLAS						
WINDOW GRAPHICS						AT WINDOWS, PROVIDED BY OWNER SIGNAGE CO.
ELECTRICAL						
BRANCH CIRCUIT BREAKERS						
DISTRIBUTION CONDUIT AND WIRING						EXISTING SERVICE
ELECTRICAL SERVICE						EXISTING SERVICE. GC TO COORD. LOCATION OF ALL RECEPT.
FIRE ALARM SYSTEM						GC COORD INSTALL W/ALARM PROVIDER & LL REQ FA VENDORS
GENERAL CONDUIT, J-BOXES AND WIRING						
KITCHEN EQUIPMENT UTILITY CONNECTIONS						
LOW VOLTAGE WIRING						OWNER PROVIDE CABLES, GC PULLS, OWNER TO FINAL CONNX
PANELS						
SITE LIGHTING						
SERVICE CONDUIT AND WIRING						AS NOTED IN ELECTRICAL DWGS
TRANSFORMERS						LL TO PROVIDE CONDUIT & WIRING FROM MAIN PANEL TO SPACE
WIRING DEVICES, RECEPTACLES, SWITCHES, CONTACTORS AND TIMERS						
PLUMBING						
DISH TABLES						GC SHALL RECEIVE, UNCRATE & INSTALL
EXTERIOR GREASE INTERCEPTOR						FIELD VERIFY EXISTING LOCATION
FAUCETS						PER OWNER SPECIFICATIONS LEVER TYPE, TYP.
GAS LINE SIZE						FIELD VERIFY EXISTING LOCATION
GAS SERVICE TO SPACE						FIELD VERIFY EXISTING LOCATION
GREASE WASTE LINE TO SPACE						FIELD VERIFY EXISTING LOCATION & INVERT
INTERIOR GREASE TRAP						
KITCHEN EQUIPMENT UTILITY CONNECTIONS						
KITCHEN SINKS						KITCHEN SINKS BY OWNER, INSTALLED BY GC
HAND SINKS						HAND SINKS FURNISHED BY OWNER, INSTALLED BY GC
MOP SINK						PER OWNER SPECIFICATIONS
PLUMBING VENT TO SPACE						
PRESSURE BOOSTER PUMP						PROVIDE ONLY IF PRESSURE IS LOWER THAN 60 PSI.
RESTROOM LAVATORIES, WATER CLOSETS AND URINALS						PER OWNER SPECIFICATIONS
SANITARY SEWER TO SPACE						FIELD VERIFY EXISTING LOCATION & INVERT
WATER FILTERS AND EQUIPMENT						FURNISHED BY KES
WATER HEATER, HEATER ALARM AND INTAKE/EXHAUST FLUE PIPE						PER OWNER SPECIFICATIONS
WATER SERVICE TO SPACE						FIELD VERIFY EXISTING LOCATION
MECHANICAL						
CAPTURE SHROUDS						
DUCTWORK AND AIR DISTRIBUTION						PER OWNER SPECIFICATIONS
EXHAUST FANS AND CURBS						
EXHAUST DUCTWORK						PER OWNER SPECIFICATIONS
KITCHEN EQUIPMENT UTILITY CONNECTIONS						PER OWNER SPECIFICATIONS
MAIN SPRINKLER SERVICE						
MAKE-UP AIR UNIT AND CURB						
ROOFTOP UNITS AND CURBS						PER OWNER SPECIFICATIONS
SPRINKLER SYSTEM DISTRIBUTION MODIFICATIONS						
TEST, BALANCE AND REPORT						PER OWNER SPECIFIED BY VENDOR
THERMOSTATS AND TEMPERATURE SENSORS						PER OWNER SPECIFICATIONS
UTILITIES TO RTU UNITS						
UNIT HEATERS						
TYPE II EXHAUST HOOD						PER OWNER SPECIFICATIONS



1 DEMO EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

GENERAL NOTES

- A. DEMOLISHED MATERIALS SHALL BECOME THE GENERAL CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AND RECYCLED BY THE GENERAL CONTRACTOR'S OPTION AND AS PER THE GOVERNING AGENCY REQUIREMENTS, UNLESS OTHERWISE INSTRUCTED BY TENANT.
- B. SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL OR ACOUSTICAL DEFICIENCY; CONTACT PROJECT MANAGER BEFORE PROCEEDING AT THESE AREAS.
- C. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. CAP UNUSED UTILITIES AND CONCEAL BEHIND FINISHED SURFACES.
- D. PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN DEMOLITION, REMOVAL OF EXISTING EXTERIOR CONSTRUCTION AND NEW CONSTRUCTION TO ENSURE THAT NO WATER DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS.
- E. TOTAL SCOPE OF DEMOLITION MAY NOT BE COVERED ON THIS SHEET. REVIEW ALL SHEETS IN THIS DRAWING SET TO DETERMINE TOTAL SCOPE OF DEMOLITION.
- F. IN INSTANCES WHERE EXISTING EQUIPMENT, MILLWORK, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INVOLVE ALL ASSOCIATED HANGERS, ANCHORS AND BLOCKING.
- G. ALL DEMOLITION ITEMS ON THIS SHEET TO BE PERFORMED BY TENANT'S GENERAL CONTRACTOR, U.N.O.
- H. COORDINATE ALL DEMOLITION ACTIVITY WITH BUILDING OWNER'S REPRESENTATIVE. SOME DEMOLITION ACTIVITIES MAY BE REQUIRED TO BE PERFORMED ON PREMIUM TIME.
- I. MAINTAIN EXISTING SPRAY-ON FIREPROOFING OF EXISTING STRUCTURE AND FIRE RATED ASSEMBLIES. ANY COMPROMISE OF EXISTING FIRE RATING SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION.
- J. ANY EXISTING FINISHED SURFACES TO REMAIN THAT ARE AFFECTED BY SELECTIVE DEMOLITION SHALL BE PATCHED TO MATCH EXISTING ADJACENT SURFACES UNLESS CONCEALED BY NEW CONSTRUCTION.

CODED NOTES

LEGEND

EXISTING CONSTRUCTION TO REMAIN	
EXISTING CONSTRUCTION TO BE DEMOLISHED	
EXISTING CASEWORK / FURNITURE/STOREFRONT TO BE DEMOLISHED	
EXISTING DUCTS TO BE DEMOLISHED	

sg

sweetgreen

3000 S. ROBERTSON BLVD.
LOS ANGELES, CALIFORNIA 90034

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EMORY VILLAGE

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ATLANTA, GA 30307**

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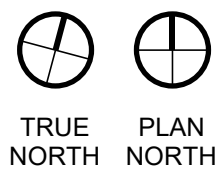
REV.	DATE	DESCRIPTION
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**DEMO STOREFRONT
ELEVATIONS**

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

D-010

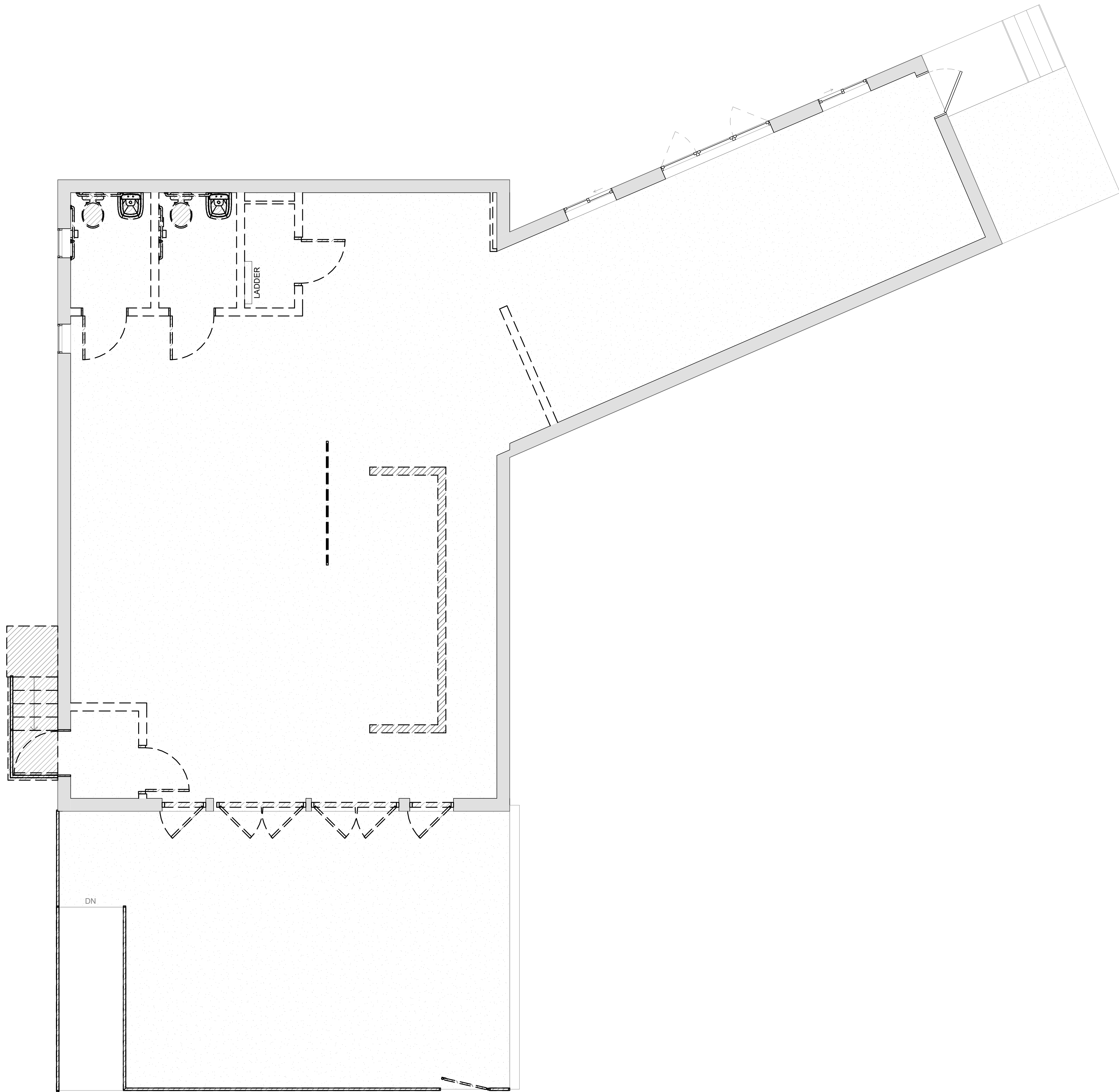
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DEMOLITION PLAN
1/4" = 1'-0"

1
D-010



GENERAL NOTES

- DEMOLISHED MATERIALS SHALL BECOME THE GENERAL CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AND RECYCLED BY THE GENERAL CONTRACTOR'S OPTION AND AS PER THE GOVERNING AGENCY REQUIREMENTS, UNLESS OTHERWISE INSTRUCTED BY TENANT.
- SURVEY THE CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL OR ACOUSTICAL DEFICIENCY; CONTACT PROJECT MANAGER BEFORE PROCEEDING AT THESE AREAS.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. CAP UNUSED UTILITIES AND CONCEAL BEHIND FINISHED SURFACES.
- PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN DEMOLITION, REMOVAL OF EXISTING EXTERIOR CONSTRUCTION AND NEW CONSTRUCTION TO ENSURE THAT NO WATER DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS.
- TOTAL SCOPE OF DEMOLITION MAY NOT BE COVERED ON THIS SHEET. REVIEW ALL SHEETS IN THIS DRAWING SET TO DETERMINE TOTAL SCOPE OF DEMOLITION.
- IN INSTANCES WHERE EXISTING EQUIPMENT, MILLWORK, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL IS TO INVOLVE ALL ASSOCIATED HANGERS, ANCHORS AND BLOCKING.
- ALL DEMOLITION ITEMS ON THIS SHEET TO BE PERFORMED BY TENANT'S GENERAL CONTRACTOR, U.N.O.
- COORDINATE ALL DEMOLITION ACTIVITY WITH BUILDING OWNER'S REPRESENTATIVE. SOME DEMOLITION ACTIVITIES MAY BE REQUIRED TO BE PERFORMED ON PREMIUM TIME.
- MAINTAIN EXISTING SPRAY-ON FIREPROOFING OF EXISTING STRUCTURE AND FIRE RATED ASSEMBLIES. ANY COMPROMISE OF EXISTING FIRE RATING SHALL BE PATCHED AND REPAIRED TO ORIGINAL CONDITION.
- ANY EXISTING FINISHED SURFACES TO REMAIN THAT ARE AFFECTED BY SELECTIVE DEMOLITION SHALL BE PATCHED TO MATCH EXISTING ADJACENT SURFACES UNLESS CONCEALED BY NEW CONSTRUCTION.
- GC TO VERIFY DIMENSIONS OF DEMISED PREMISES, INCLUDING LOCATIONS OF ALL EXISTING CONDITIONS. ALERT PROJECT TEAM OF ANY DISCREPANCIES PRIOR TO LAYOUT.

CODED NOTES

LEGEND

EXISTING CONSTRUCTION TO REMAIN	
EXISTING CONSTRUCTION TO BE DEMOLISHED	
EXISTING CASEWORK / FURNITURE/STOREFRONT TO BE DEMOLISHED	
EXISTING DUCTS TO BE DEMOLISHED	

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3000 S. ROBERTSON BLVD.
LOS ANGELES, CALIFORNIA 90034

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ARCHITECT OF RECORD:

Dewberry

Dewberry Architects Inc.

300 N. Lake Ave, 12th Floor
Pasadena, Ca. 91101
916.239.4256 Phone
916.239.7245 Fax

STAMP:

XXXX.XXXX

PROJECT INFORMATION:
EMORY VILLAGE

PROJECT INFORMATION:
**1556 N DECATUR RD,
ATLANTA, GA 30307**

DRAWN BY:	TF
CHECKED BY:	JW
PROJECT MANAGER:	ZM
SG DESIGN MANAGER:	LG
SG CONSTR. MANAGER:	JD
PROJECT NO:	50139167
TEMPLATE VERSION:	05.06.2022

REV.	DATE	DESCRIPTION
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DEMOLITION PLAN

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

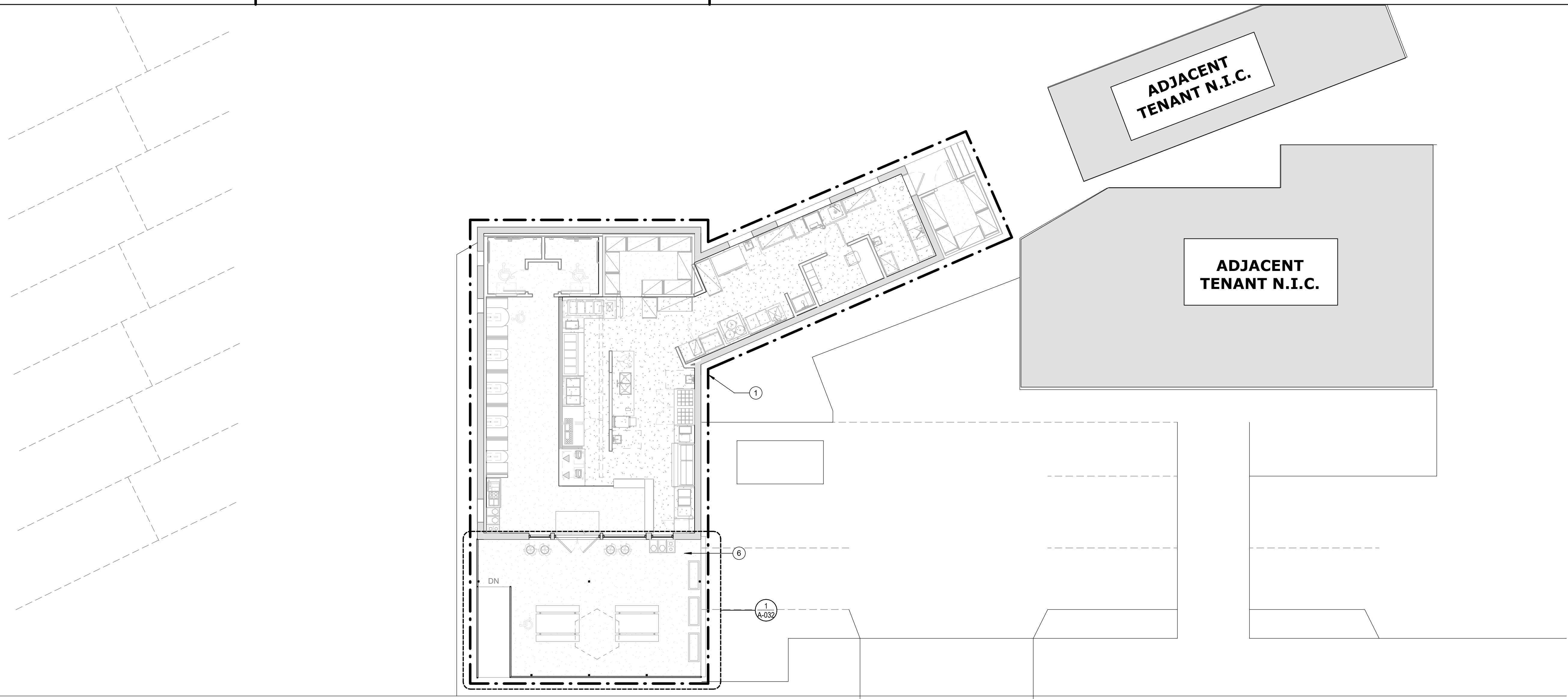
D-100

GENERAL NOTES

A. ALL SITE WORK INCLUDING PAVING, CURBING, PARKING, PARKING LOT LIGHTING, SIDEWALKS, LANDSCAPING, AND DUMPSTER ENCLOSURE ARE EXISTING UNLESS NOTED OTHERWISE.

CODED NOTES

- | | |
|---|------------|
| 1 | LEASE LINE |
| 6 | PATIO AREA |



TRUE NORTH PLAN NORTH

1

ARCHI
1/8" = 1'-0"

ARCHITECTURAL SITE PLAN

1/8" = 1'-0"

sg

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SITE PLAN

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

A-000

5/20/2022 5:40:32 PM

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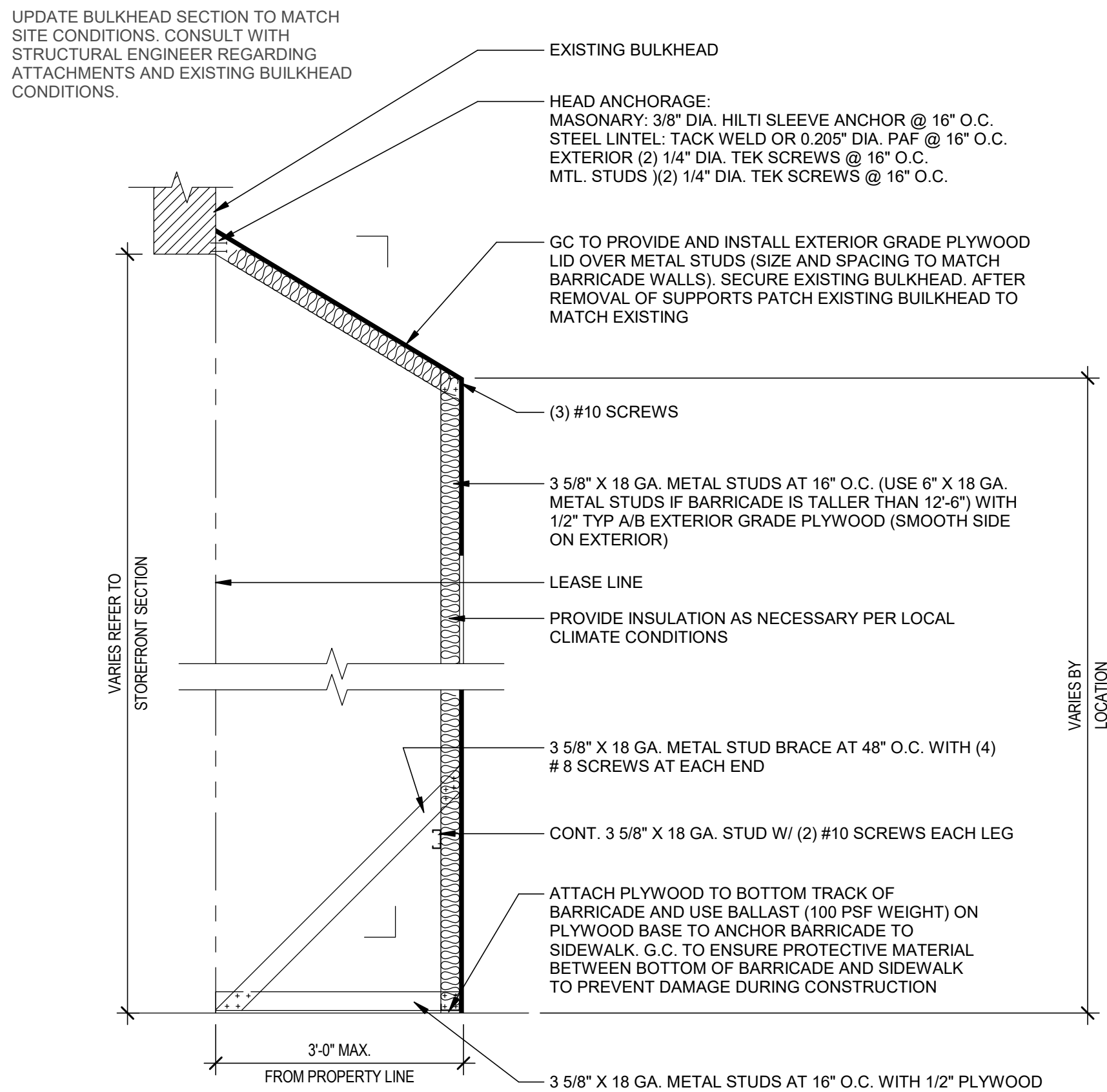
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**1556 N DECATUR RD,
ATLANTA, GA 30307**

DRAWN BY: Author
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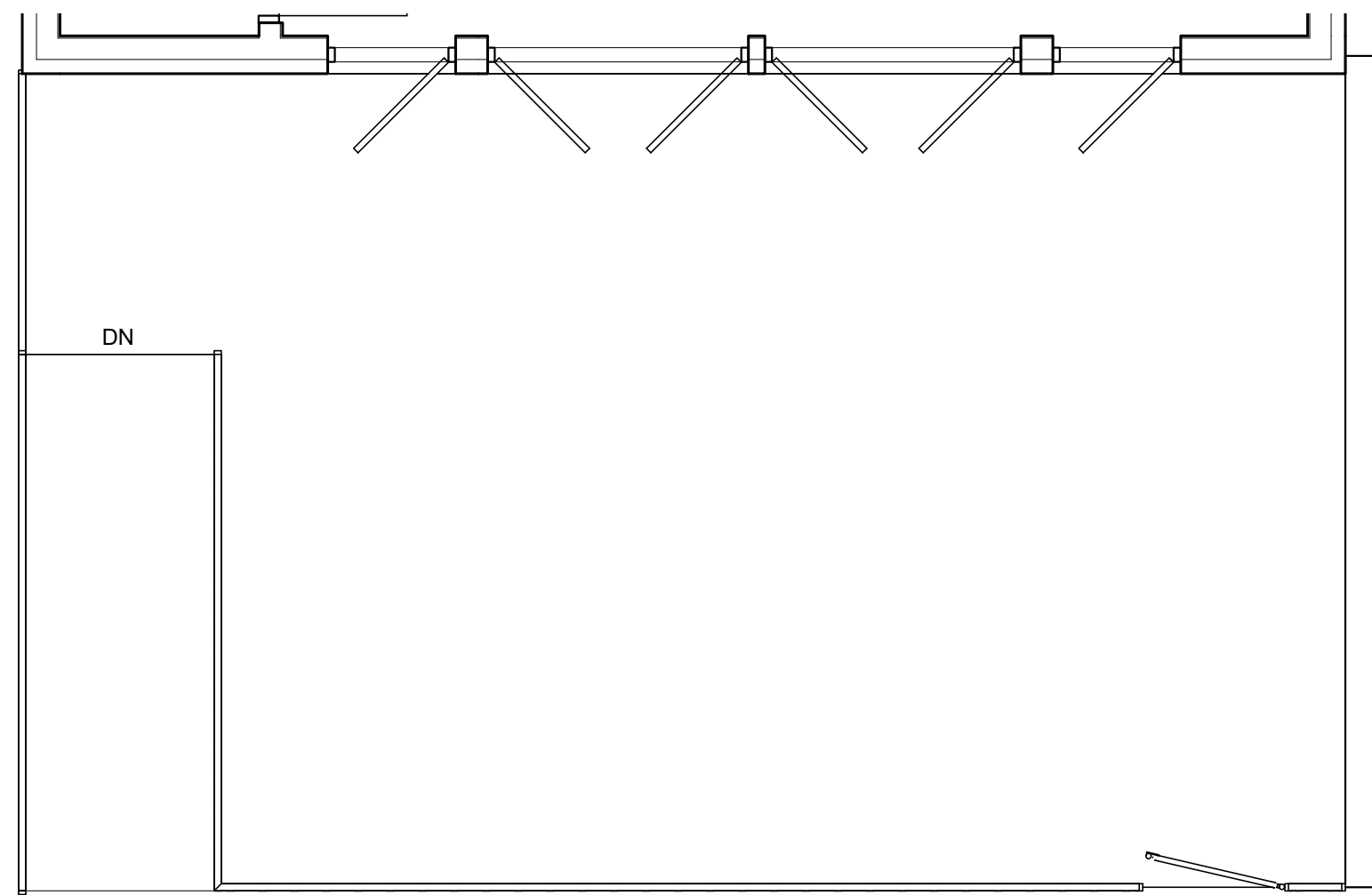
REV.	DATE	DESCRIPTION
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**BARRICADE PLANS,
ELEVATIONS &
DETAILS**

A-020



3 STOREFRONT BARRICADE - EXTERIOR
NTS

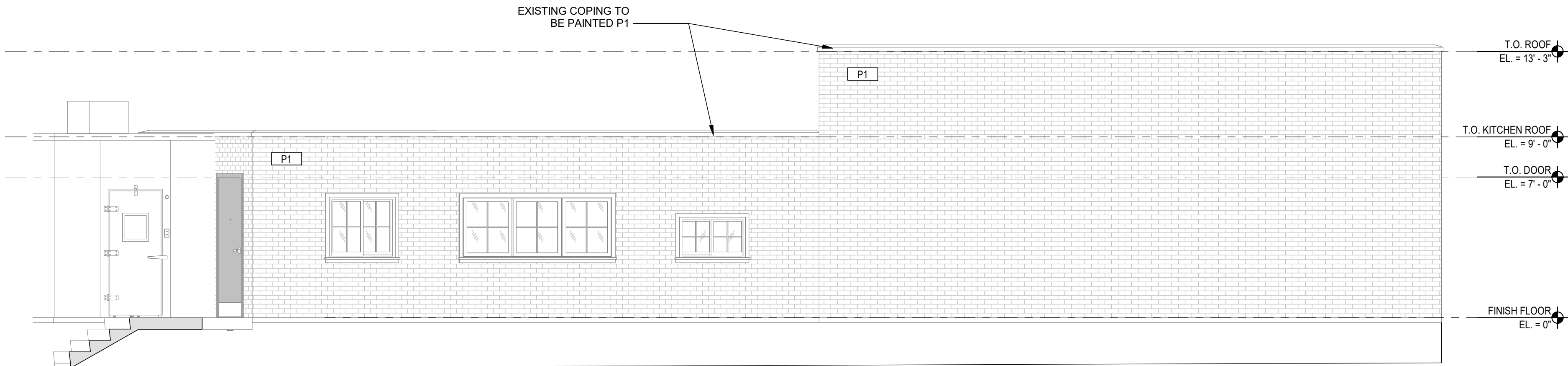


1 CONSTRUCTION BARRICADE PLAN
1/4" = 1'-0"

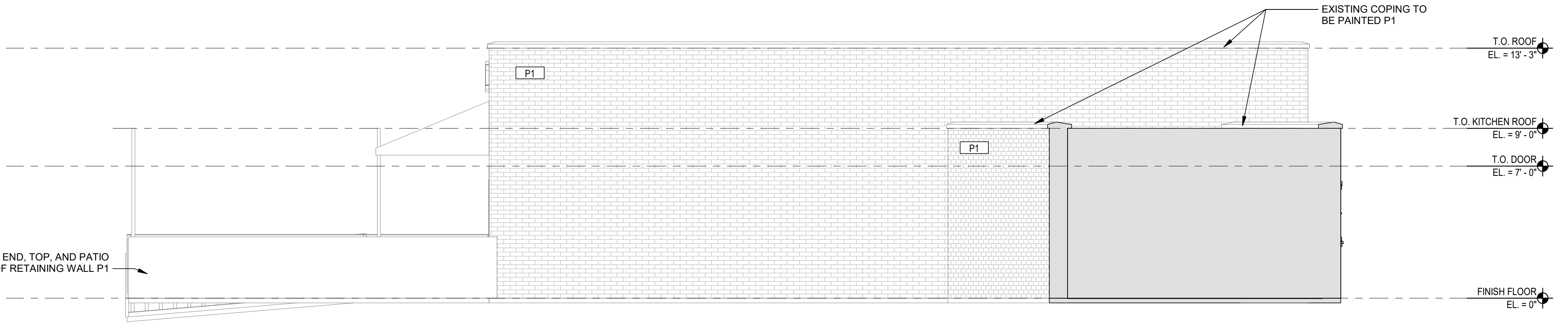
1556 N. DECATUR ROAD
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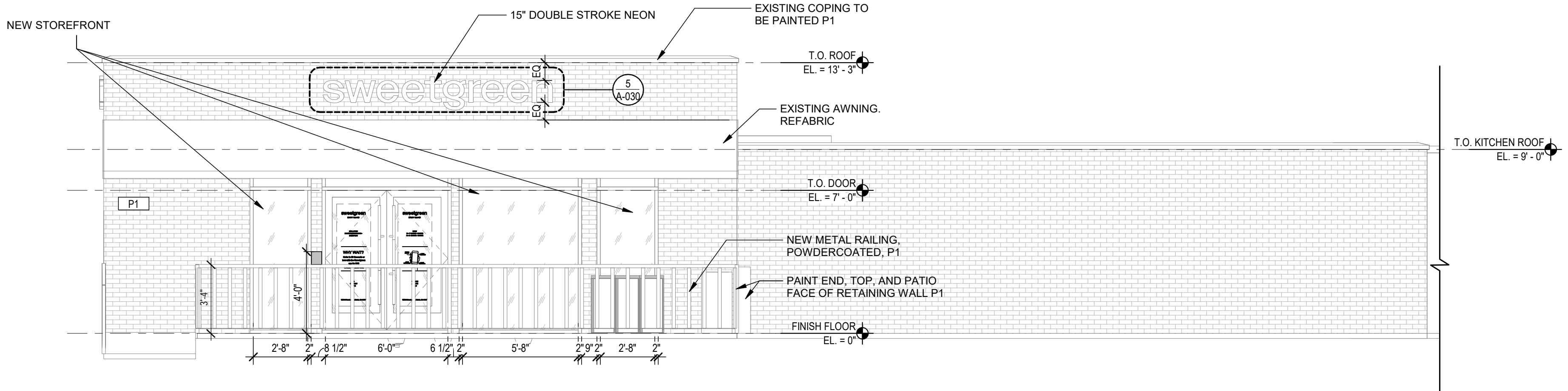
- GREEN FACE:**
- LETTER RETURN PAINTED GREEN SATIN FINISH
 - LOGO ACRYLIC TO BE #7328
 - VINYL TO BE 3M #3630-26
 - TRIM CAP TO BE GREEN



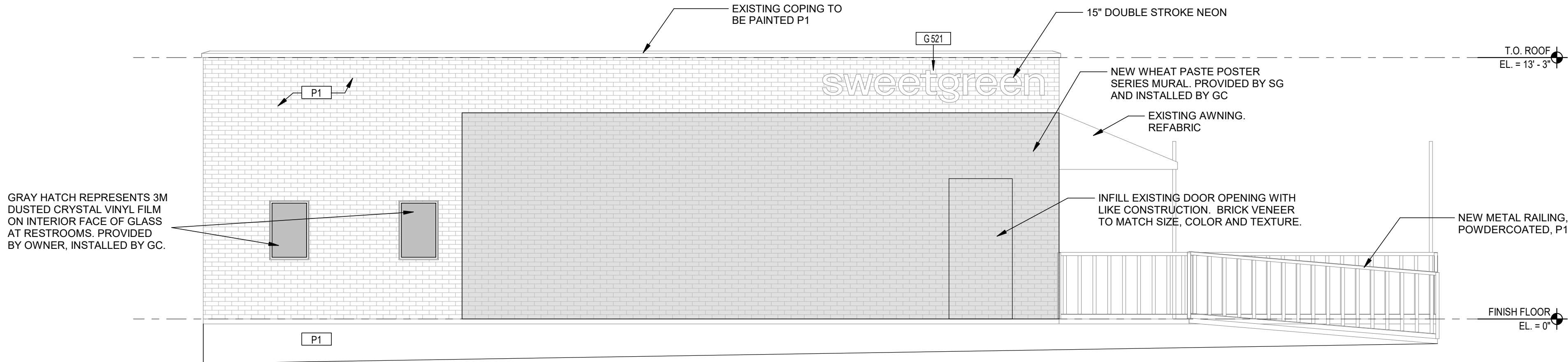
4 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



3 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

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CHECKED BY:

JW

PROJECT MANAGER:

ZM

SG DESIGN MANAGER:

LG

SG CONSTR. MANAGER:

JD

PROJECT NO:

50139167

TEMPLATE VERSION:

05.06.2022

REVISIONS

REV.	DATE	DESCRIPTION
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STOREFRONT
ELEVATIONS

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

A-030

GENERAL NOTES	CODED NOTES	PATIO FURNITURE "PF"														
A. REFER TO FURNITURE SCHEDULE FOR TOTAL QUANTITIES OF ALL FURNITURE ITEMS. ALL FURNITURE ITEMS MAY NOT BE SHOWN ON PLANS. B. REFER TO LIGHTING SCHEDULE FOR TOTAL QUANTITIES OF ALL EXTERIOR LIGHTS.		TAG		QTY.	DESCRIPTION			MANUFACTURER		MODEL		SUPPLY		INSTALL	REMARKS	
		500- PATIO TABLES														
		PF 510.1		2	ACCESSIBLE PATIO TABLE			RAD FURNITURE		SOLID SERIES SQUARE CAFE TABLE, WHITE, 24"x48"x30"			OWNER	GC		
		700- PATIO ACCESSORIES														
		PF 700.1		1	PATIO UMBRELLA- GRAY			TUUCI		OCEAN MASTER MAX CLASSIC			OWNER	GC		
NOTE: VENDOR TO VERIFY ALL QUANTITIES PRIOR TO ORDER AND INSTALL OF PATIO FURNITURE																
TYPICAL PATIO FURNITURE PLAN NOTES:																
1. CONTRACTOR TO VERIFY MODEL NUMBER WITH FURNITURE SPECIFICATIONS. ANY DISCREPENCIES BETWEEN MODEL NUMBER AND DESCRIPTION ARE TO BE DISCUSSED WITH ARCHITECT.																
2. FURNITURE VENDOR TO VERIFY ALL QUANTITIES PRIOR TO ORDER.																
3. CUSTOM ELEMENTS ARE NOTED WITH AN "X" PREFIX.																

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SG CONSTR. MANAGER: JD

PROJECT NO: 50139167

TEMPLATE VERSION: 05.06.2022

REVISIONS

REV. DATE DESCRIPTION

ENLARGED PATIO PLAN

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

A-032

1 1/2" = 1'-0"

1 1/2" = 1'-0"

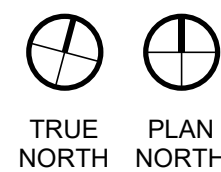
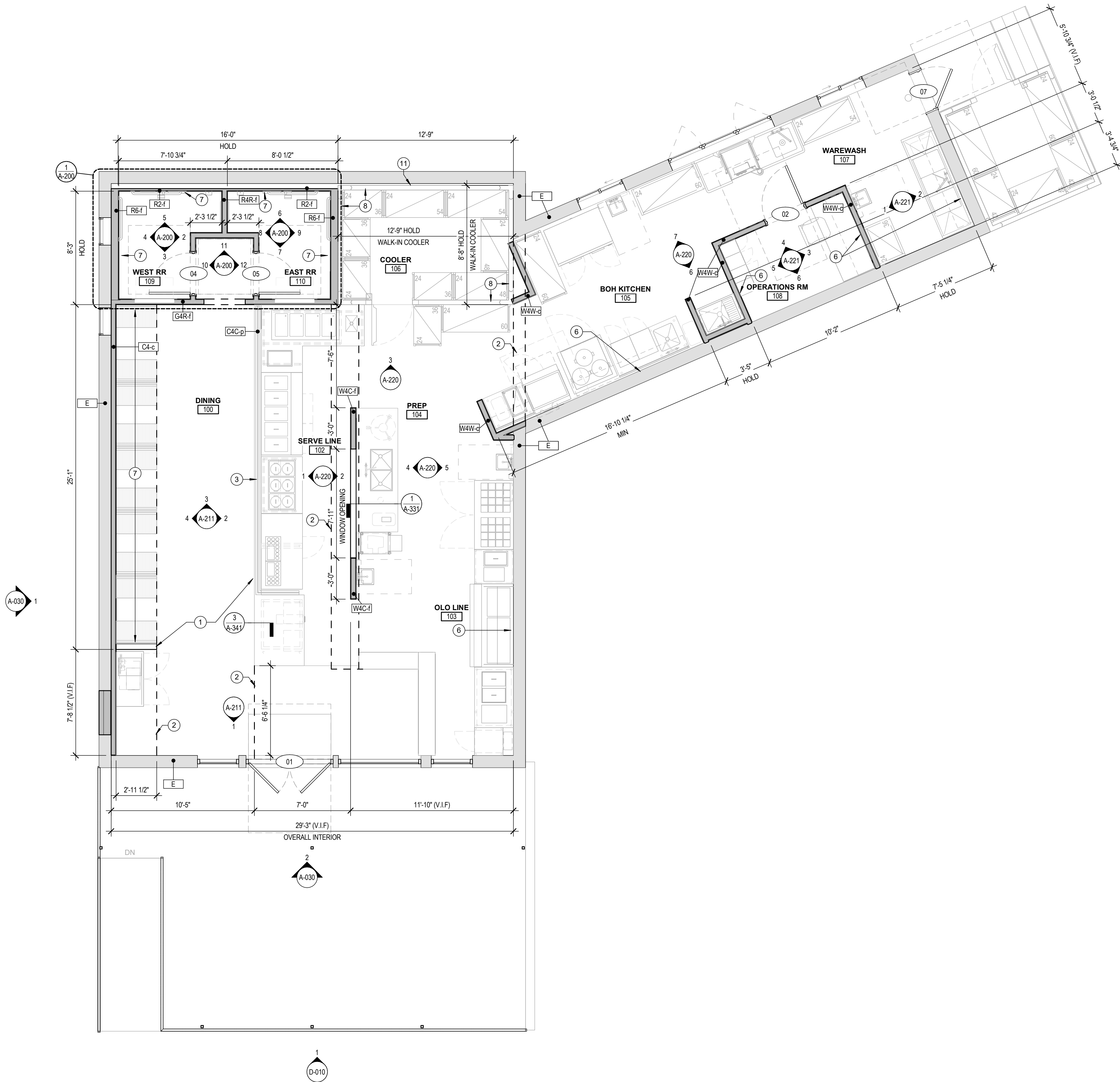
1" = 1'-0"

TRUE NORTH PLAN NORTH

1 3/8" = 1'-0"

ENLARGED PATIO PLAN

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ARCHITECTURAL FRAMING PLAN

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING OR CENTERLINE OF STRUCTURE U.N.O.
- WALL SUBSTRATES ARE CONTAINED WITHIN THE WALL TAG INFORMATION. REFER TO PARTITION WALL SCHEDULE.
- DASHED CIRCLE IN RESTROOMS INDICATES 5'-0" TURNING DIAMETER PER CODE.
- INTERIOR DOORS ARE 4" OFF OF PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO BE HELD PER DRAWING UNLESS NOTED OTHERWISE. CONTACT ARCHITECT IF DISCREPANCY IS REQUIRED DUE TO AS-BUILT CONDITIONS.
- REFER TO DOOR & WINDOW SHEET FOR STOREFRONT RESPONSIBILITY AND DOOR TYPES.
- REFER TO WALL/PARTITION SCHEDULE FOR WALL TYPES.
- PROVIDE DEFLECTION TRACKS AT ALL WALLS THAT CONNECT TO THE UNDERSIDE OF STRUCTURE.
- SURFACE MOUNTED PIPING IS NOT ACCEPTABLE. PIPING AND CONDUITS OF ALL TYPES MUST BE CONCEALED WITHIN WALLS, FLOORS AND CEILINGS, UNLESS OTHERWISE NOTED.
- GC TO VERIFY ALL INTERIOR DIMENSIONS AFTER DEMO, PRIOR TO LAYOUT START. ALERT SWEETGREEN AND ARCHITECT OF ANY DISCREPANCIES.

CODED NOTES

- LOW WALL, REFER TO SECTION FOR HEIGHT
- SOFFIT ABOVE, SHOWN DASHED. REFER TO REFLECTED CEILING PLAN.
- FINISH FACE OF WALL TO ALIGN WITH FINISH FACE OF SOFFIT ABOVE
- PROVIDE BLOCKING IN WALL FOR SHELIVING / AV RACK, REFER TO ELEVATIONS FOR LOCATIONS
- PROVIDE BLOCKING IN WALL FOR ARTWORK, REFER TO ELEVATIONS FOR LOCATIONS
- OUTLINE OF COOLER. GC TO CONFIRM DIMENSIONS OF WALK-IN COOLER WITH EQUIPMENT SUPPLIER PRIOR TO INSTALLATION
- 2" MIN. SEPARATION BETWEEN WALK-IN COOLER WALL AND ANY ADJACENT WALL, TYP.

LEGEND

SYMBOL	DESCRIPTION
	EXISTING CONSTRUCTION
	NEW FULL HEIGHT WALL CONSTRUCTION
	NEW FULL HEIGHT WALL CONSTRUCTION W/ SOUND BATT INSULATION
	NEW LOW WALL
	EXISTING DOOR
	NEW DOOR

WALL ASSEMBLY SCHEDULE

TAG	WIDTH	SUBSTRATE SIDE 1	STUD	SUBSTRATE SIDE 2
E	10 5/8"	5/8" CEMENT BOARD	6"	5/8" GYPSUM BOARD
4G	4 1/4"		3-5/8"	5/8" GYPSUM BOARD
R6-f	6 5/8"		6"	5/8" CEMENT BOARD AND 5/8" GYPSUM BOARD
C4	4 1/4"		3-5/8"	5/8" CEMENT BOARD
C4C	4 7/8"	5/8" CEMENT BOARD	3-5/8"	5/8" CEMENT BOARD
W4C	4 7/8"	5/8" CEMENT BOARD	3-5/8"	5/8" CEMENT BOARD AND 5/8" PLYWOOD
4G	4 1/4"		3-5/8"	5/8" GYPSUM BOARD
G4G	4 7/8"	5/8" GYPSUM BOARD	3-5/8"	5/8" GYPSUM BOARD
G4R-f	4 7/8"	5/8" GYPSUM BOARD	3-5/8"	5/8" GYPSUM BOARD
C4C	4 7/8"	5/8" PLYWOOD	3-5/8"	5/8" CEMENT BOARD AND 5/8" PLYWOOD
R2-f	2 1/4"		1-5/8"	5/8" GYPSUM BOARD
R4R-f	4 7/8"	5/8" CEMENT BOARD	3-5/8"	5/8" CEMENT BOARD
W4W	4 7/8"	5/8" CEMENT BOARD AND 5/8" PLYWOOD	3-5/8"	5/8" CEMENT BOARD AND 5/8" PLYWOOD

HEIGHT CONDITIONS:
c UP TO 6" ABOVE CEILING
f FULL HEIGHT TO DECK
p PARTIAL HEIGHT KNEE WALL
RE: 1/A-310 FOR TOP OF WALL CONNECTIONS

SUBSTRATE TYPES:
C 5/8" CEMENT BOARD
E EXISTING GYP. BD. SUBSTRATE READY FOR FINISH. V.I.F.
G 5/8" TYPE "X" GYP. BOARD
P 5/8" FIRE TREATED PLYWOOD
W 5/8" CEMENT BOARD FROM SLAB TO 1'-4" A.F.F.
5/8" FIRE TREATED PLYWOOD FROM 1'-4" TO WALL HT.
PG 5/8" FIRE TREATED PLYWOOD FIRST LAYER
5/8" CEMENT BOARD SECOND LAYER
5/8" FIRE TREATED PLYWOOD FIRST LAYER
5/8" TYPE "X" GYP. BOARD SECOND LAYER
R 5/8" CEMENT BOARD

STUD FRAMING SIZES:
0 EXISTING WALL (NO FRAMING)
1 7/8" HAT CHANNEL
2 1 5/8" x 3 5/8" FLAT FRAMING
4 3 5/8" METAL STUD
6 6" METAL STUD

SEE PLAN FOR INSULATION LOCATIONS

SLAB PER PLANS

KEY. DIAGRAM DESCRIPTION

A) SUBSTRATE
#) STUD SIZE
A) SUBSTRATE
h) HEIGHT CONDITION

#) STUD SIZE
A) SUBSTRATE
h) HEIGHT CONDITION

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TF

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JW

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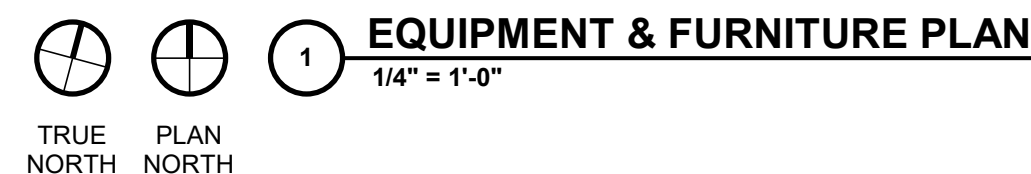
REVISIONS

REV. DATE DESCRIPTION

ANNOTATION &
DIMENSION FLOOR
PLAN

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

A-101



- A. GC TO COORDINATE EQUIPMENT WITH UNDERGROUND PLUMBING. GC TO NOTIFY ARCHITECT AND SWEETGREEN OF ANY DISCREPANCIES OR CONFLICTS.
- B. REFER TO KITCHEN EQUIPMENT SCHEDULE FOR EQUIPMENT SPECIFICATIONS.
- C. REFER TO FURNITURE SCHEDULE FOR FINAL FURNITURE PIECE COUNTS. NOT ALL UNITS MAY BE REFLECTED ON THE DRAWING.
- D. GC TO PROVIDE CAULKING AT EQUIPMENT.
- E. REFER TO ENLARGED RESTROOM PLAN SHEET FOR EQUIPMENT AND ACCESSORY SCHEDULE FOR RESTROOM ITEMS.
- F. KES TO INSTALL COOLER MANUFACTURER SUPPLIED AIR CURTAIN INSIDE COOLER DOOR.
- G. GC TO SUPERVISE INSTALLATION OF VENDOR INSTALLED ITEMS FOR PROPER INSTALLATION PER EQUIPMENT PLAN.
- H. ALL EQUIPMENT MUST BE CERTIFIED OR CLASSIFIED FOR SANITATION BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED CERTIFICATION PROGRAM OR AN ACCREDITED TESTING AGENCY.
- I. REFER TO PATIO PLAN AND FURNITURE FOR DETAILS.
- J. REFER TO KITCHEN EQUIPMENT SCHEDULE FOR DETAILS.
- K. REFER TO SIGNAGE SCHEDULE FOR DETAILS.
- L. REFER TO DATA DEVICE SCHEDULE FOR DETAILS.

1	ACCESSIBLE TRANSACTION COUNTER. MIN. 36" LENGTH AT 34" AFF. CLEAR FLOOR SPACE IN FRONT OF COUNTER TO BE MIN. 30"x48" FOR SIDE APPROACH
4	AIR CURTAIN CENTERED ABOVE DOOR
5	BOOTH SEATING, SUPPLIED BY OWNER, INSTALLED BY GC. GC TO PROVIDE BLOCKING IN WALL FOR TABLE ATTACHMENT
6	REFER TO ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS AT BOOTHS; ALIGN WITH THE CENTER OF THE TABLES, 14" A.F.F.
10	ACCESSIBLE DINING TABLE
11	PROVIDE ADT PANEL LOCATION 4'-6" A.F.F. O.C. REFER TO ELECTRICAL DRAWINGS

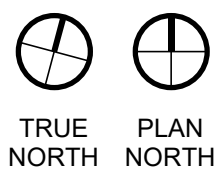
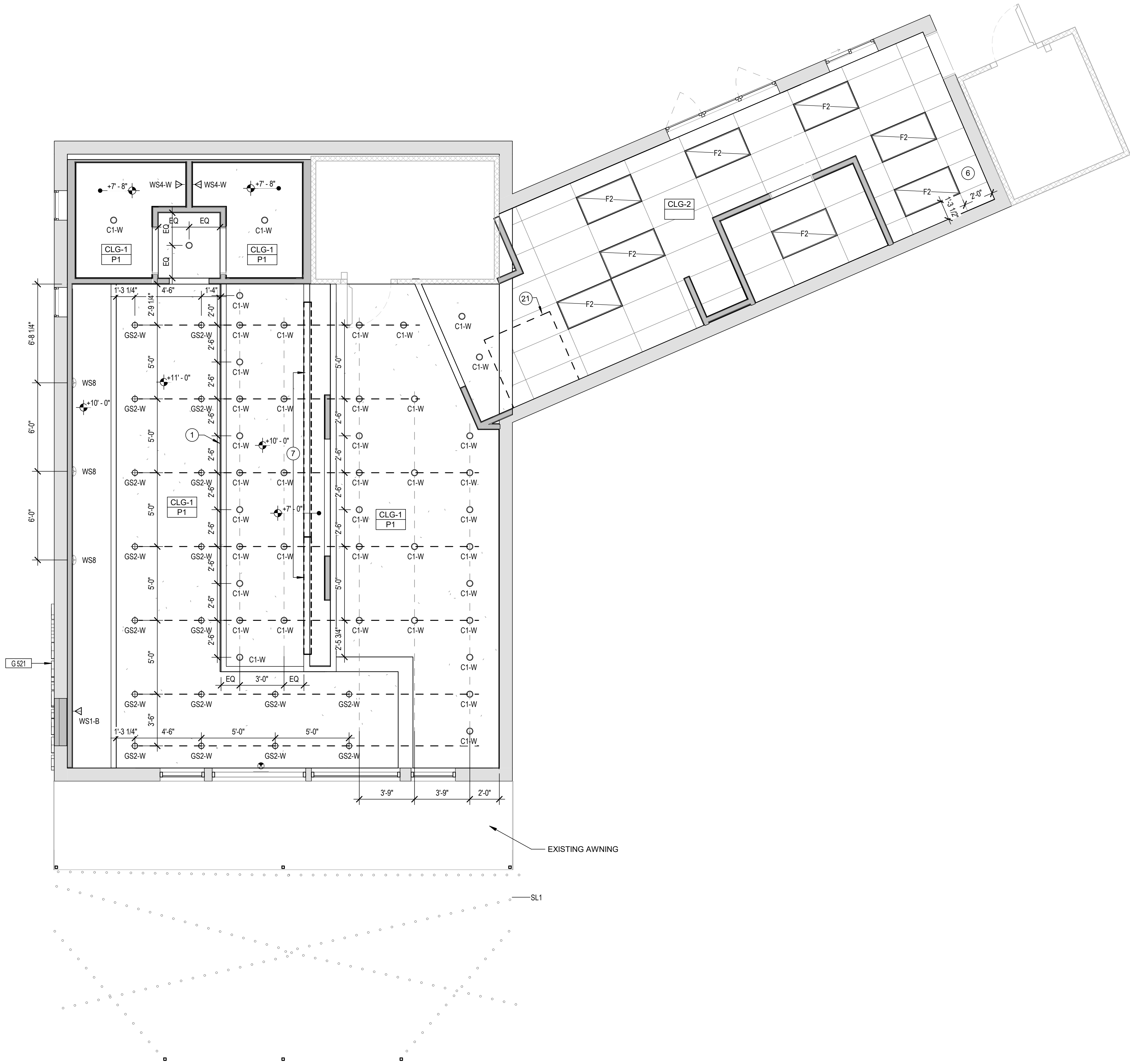
1. CONTRACTOR TO VERIFY MODEL NUMBER WITH FURNITURE SPECIFICATIONS. ANY DISCREPANCIES BETWEEN MODEL NUMBER AND DESCRIPTION ARE TO BE DISCUSSED WITH ARCHITECT.

NOTE: VENDOR TO VERIFY ALL QUANTITIES PRIOR TO ORDER AND INSTALL OF FURNITURE

TAG	QTY.	MANUFACTURER	DESCRIPTION	MODEL	SUPPLY	INSTALL	REMARKS
100- TABLES							
F 105	4	DIGIFAB	DINING TABLE 20"x24"- TWO-TOP DINING TABLE WITH WHITE OAK, SEMI-GLOSS CLEAR COAT	CUSTOM	OWNER	GC	CONTACT: ZENON GARNCARZ 416.428.8642
F 106	1	DIGIFAB	DINING TABLE 24"x24"- TWO-TOP DINING TABLE WITH WHITE OAK, SEMI-GLOSS CLEAR COAT	CUSTOM	OWNER	GC	CONTACT: ZENON GARNCARZ 416.428.8642
300- BANQUETTES							
F 301	10	MILLWORK BROTHERS	CUSTOM BOOTH	CUSTOM	OWNER	GC	GC TO ASSEMBLE AND INSTALL; GC TO PROVIDE ELECTRICAL COVER PLATES (WHITE OR S/S)
400- FABRICATION							
F 435	2	IDX	TRASH STATION	CUSTOM	OWNER	GC	REFER TO DETAILS FOR CONSTRUCTION.
F 462	2	COUPLER	WHITE POWDERCOAT, SEMI-MATTE COLOR RAL XXX		OWNER	GC	1" STEEL TUBE & SHEET METAL
F 470	1	OLDE GOOD THINGS	LOCAL LIST BOARD	CUSTOM, LOCAL 5'X3' - LANDSCAPE	OWNER	GC	GC TO PROVIDE BLOCKING
800- PLANTERS							
F 813	3		CONCRETE PLANTER	CUSTOM	OWNER	GC	GC TO ASSEMBLE AND INSTALL
F 850	4	HUDSON & OAK	15"D X 12"H MATTE DUSTY GLAZE PLANTER (COLORS: PEACH, WHITE & CARBON)	ROUND PLANTER	OWNER	GC	OWNER TO PROVIDE PLANTING
900- MISC							
F 900	1	CUSTOM DISTRICT	UTENSIL HOLDER- COUNTER RECESSED	CUSTOM	OWNER	GC	REFER TO SHOP DRAWINGS FOR CUTOUT DIMENSIONS

REV.	DATE	DESCRIPTION
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A-130



REFLECTED CEILING PLAN / LIGHTING PLAN
1/4" = 1'-0"

GENERAL NOTES

- CEILING HEIGHT DIMENSIONS ARE FROM DESIGNATED FINISH FLOOR SURFACES TO THE FINISHED CEILING SURFACE UNLESS NOTED OTHERWISE.
- REFER TO FINISH LIST FOR FINISHES AT EXPOSED CEILING AREAS IN ADDITION TO NOTES LISTED ON THIS SHEET.
- ALL UNISTRUT SUPPORTING CEILING ELEMENTS AND / OR DUCT WORK SHALL NOT CONTAIN ANY ELECTRICAL CONDUIT. ALL ELECTRICAL CONDUIT MUST RUN IN SEPARATE UNISTRUT.
- ALL DIMENSIONS ARE TO FACE OF WALL, SOFFIT, OR CENTERLINE OF FIXTURE UNLESS NOTED OTHERWISE.
- FULL CERAMIC TILE COURSING SHALL TAKE PRECEDENT OVER ANY CEILING/HEADER DIMENSION INDICATED IN THE PLAN.
- SOUND BATT INSULATION TO BE INSTALLED ABOVE THE RESTROOM CEILING.
- SUB-CONTRACTOR TO COORDINATE FINAL SPRINKLER HEAD LOCATIONS WITH ARCHITECT VIA SHOP DRAWINGS, SPRINKLER HEADS TO BE CENTERED BETWEEN LIGHTS IN ALL LOCATIONS. FOR SPRINKLER HEADS ABOVE STORAGE SHELVING, A PROTECTIVE CAGE MUST BE PROVIDED.
- ALL CEILING ACCESS PANELS LARGER THAN 12"x 12" TO BE MUD-IN STYLE INTXFORMS APS24X24. ALL CEILING ACCESS PANELS SMALLER THAN 12"x 12" TO BE FLANGED STEEL TYPE.
- ALL CEILING FIXTURES AND ACCESSORIES TO ALIGN WITH CENTER OF LIGHTING FIXTURES, CEILING TILES OR OTHER CEILING ELEMENTS WHERE POSSIBLE.
- PHOTOMETRIC VALUES IN ALL AREAS TO MEET OR EXCEED LOCAL CODE REQUIREMENTS.
- NO LIGHT TO BE LESS THAN 18" FROM FACE OF FINISHED WALL SURFACE.
- SEE FINISH SCHEDULE FOR CEILING MATERIAL & FINISH.
- SEE ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE SCHEDULE

CODED NOTES

- FACE OF SOFFIT TO ALIGN WITH FACE OF WALL BELOW
- BEGIN LAY-IN CEILING TILES AT THIS LOCATION
- DIGITAL MENUBOARD, GC TO SUPPLY BLOCKING IN CEILING/SOFFIT. EXTEND BLOCKING 36" PAST LENGTH OF MENUBOARD ON BOTH SIDES.
- CAPTIVEAIRE HOOD, REFER TO EQUIPMENT PLAN

TYPICAL LIGHTING PLAN NOTES:

- CONTRACTOR TO VERIFY MODEL NUMBER WITH LIGHTING VENDOR. ANY DISCREPENCIES BETWEEN MODEL NUMBER AND DESCRIPTION ARE TO BE DISCUSSED WITH ARCHITECT.
- LIGHTING VENDOR TO VERIFY ALL QUANTITIES PRIOR TO ORDER.
- CUSTOM ELEMENTS ARE NOTED WITH AN "X" PREFIX.
- SWEETGREEN LIGHTING VENDOR TO PROVIDE SPECIFIED FIXTURES AND CONTROLS.

LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SUPPLY / RETURN DIFFUSERS RE: MECHANICAL PLANS		24"x48" LAY-IN CEILING
	CEILING ACCESS PANELS RE: GENERAL NOTES FOR TYPE		GYPSUM BOARD CEILING
	SECURITY CAMERA		RECESSED CAN LIGHT
	WIRELESS ACCESS POINT		SUSPENDED PENDANT LIGHT
	RECESSED MOUNT SPEAKER - BOH		2X4 LED LIGHT FIXTURE
	WALL MOUNT SPEAKER - FOH		SCONCE LIGHT
	FIRE SPRINKLER HEAD FOR REF. ONLY, SEE FIRE PROTECTION PLAN		SCONCE LIGHT
	WALL MOUNT SUBWOOFER - FOH		

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STAMP:

XXXX-XXXX

PROJECT INFORMATION:
EMORY VILLAGE

PROJECT INFORMATION:
**1556 N DECATUR RD,
ATLANTA, GA 30307**

DRAWN BY: TF
CHECKED BY: JW
PROJECT MANAGER: ZM
SG DESIGN MANAGER: LG
SG CONSTR. MANAGER: JD
PROJECT NO: 50139167
TEMPLATE VERSION: 05.06.2022

REVISIONS
REV. DATE DESCRIPTION

**REFLECTED CEILING
AND LIGHTING PLAN**

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

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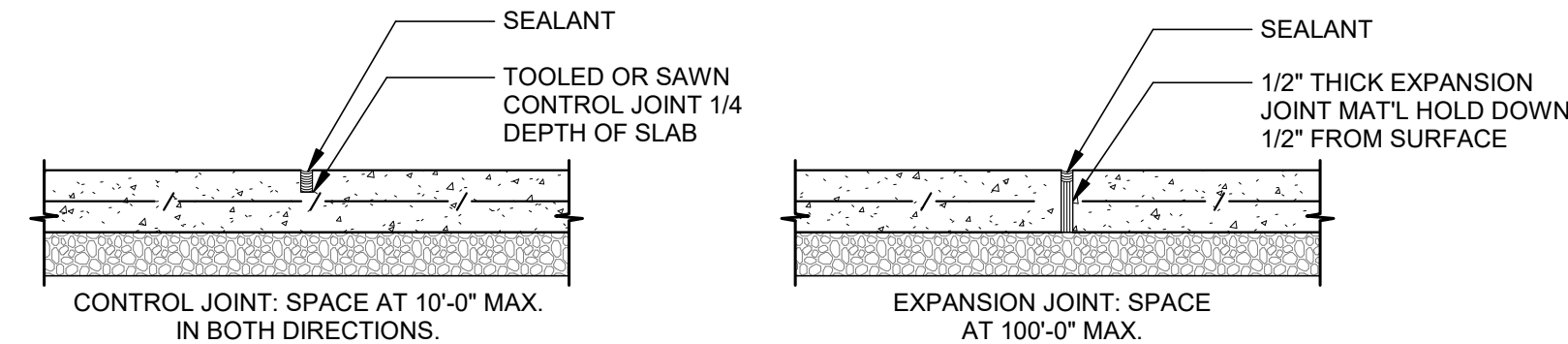
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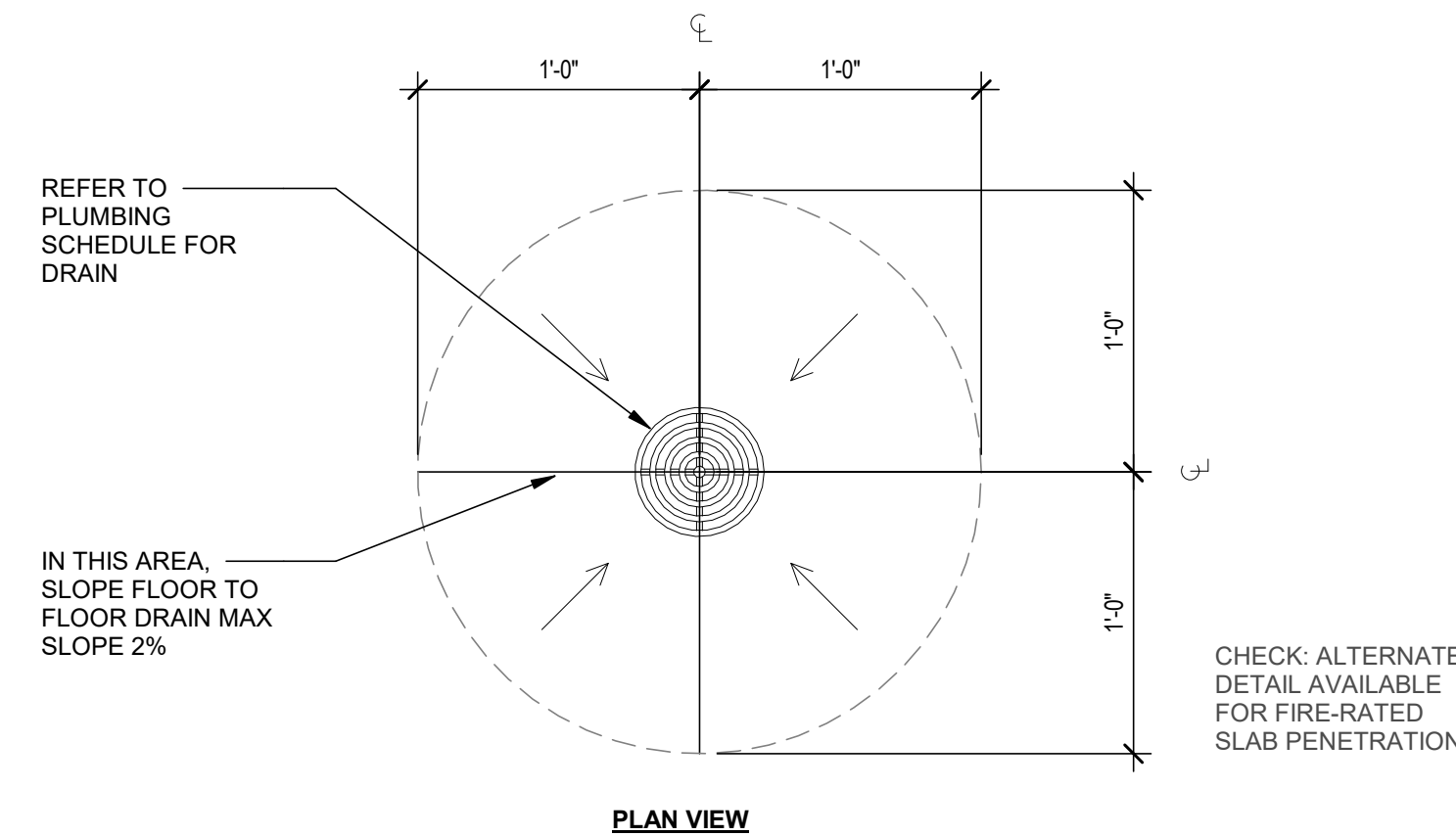
SLAB DETAILS

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

A-300

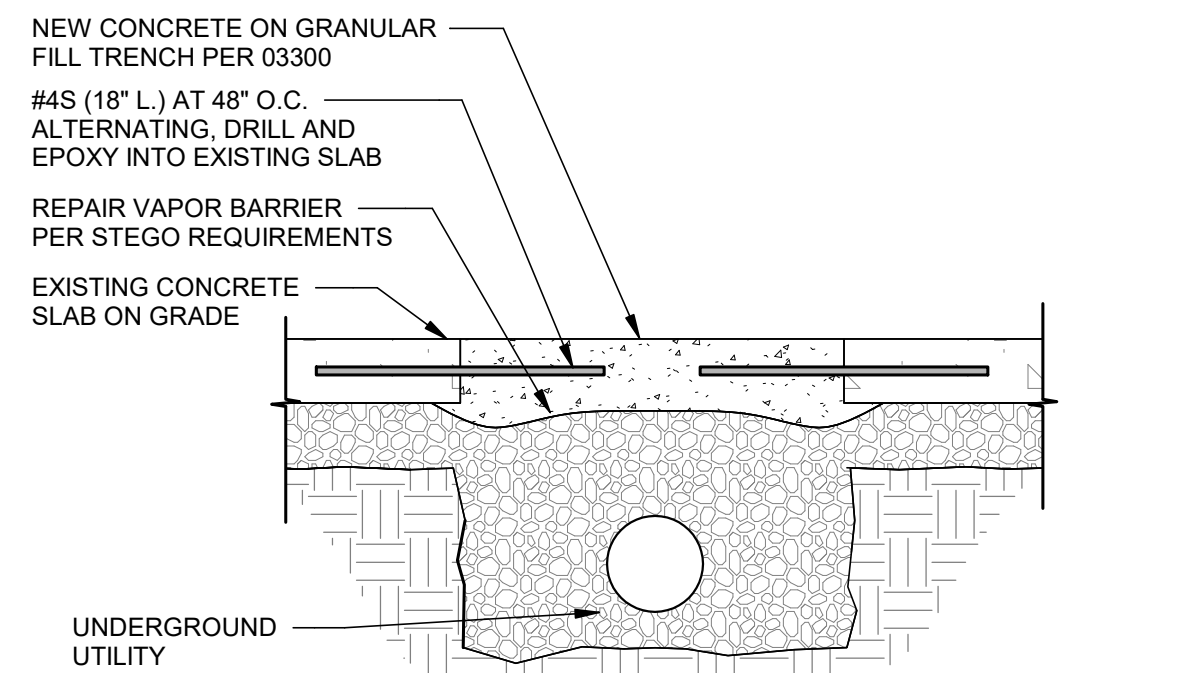


5 TYPICAL CONTROL JOINTS
1" = 1'-0"

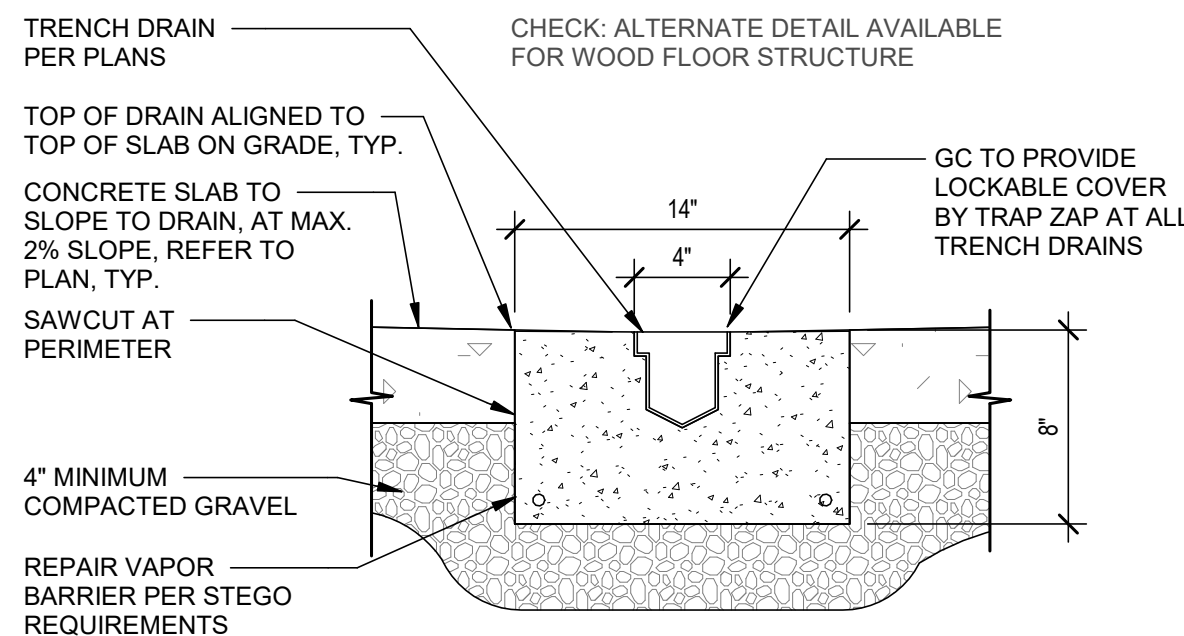


1 TYPICAL FLOOR DRAIN
1 1/2" = 1'-0"

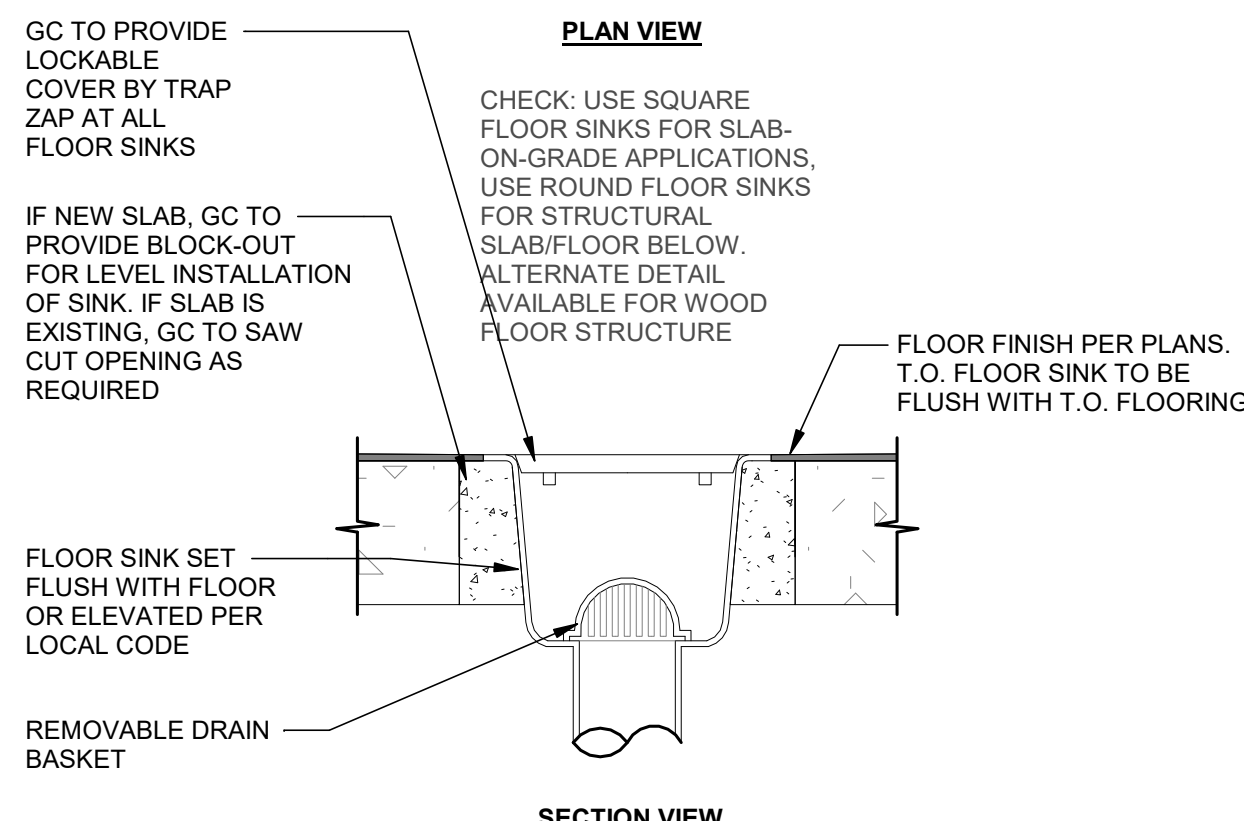
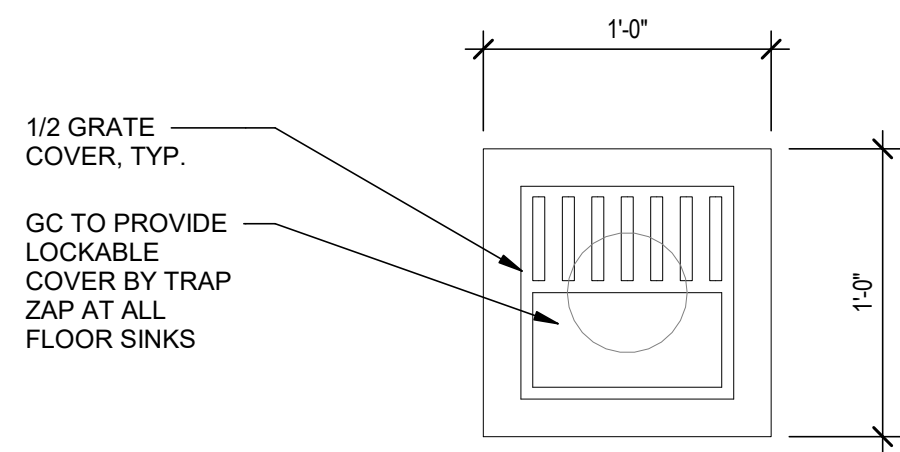
AOR TO VERIFY REQUIRED PLUMBING WITH ENGINEER.



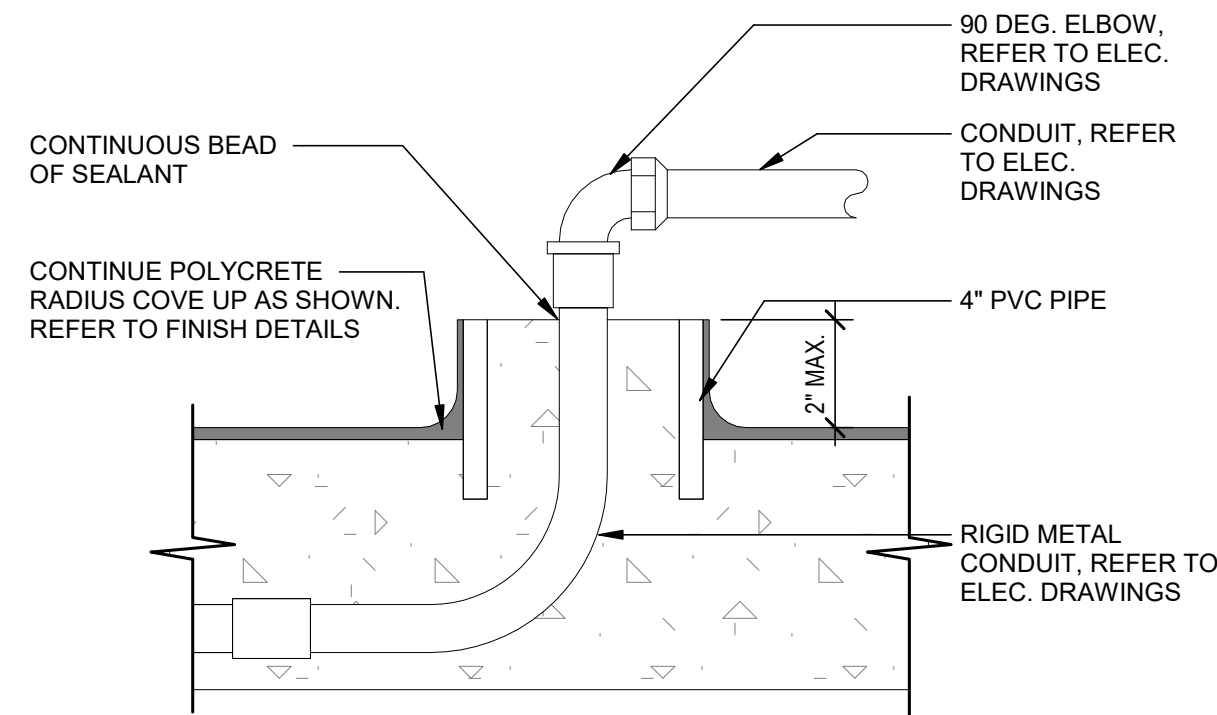
3B TYPICAL UTILITY TRENCH
1" = 1'-0"



3A TYPICAL TRENCH DRAIN
1 1/2" = 1'-0"

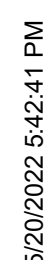


2 TYPICAL FLOOR SINK
1 1/2" = 1'-0"



4 TYPICAL ELECTRICAL STUB
3" = 1'-0"

5/20/2022 5:42:01 PM



GENERAL NOTES

- A. ALL ARTWORK & GRAPHICS SHOWN ARE PROVIDED BY OWNER AND INSTALLED BY GC.
- B. ALL SIGNAGE MUST BE INSTALLED WITH A LEVEL, AND BE APPLIED COMPLETELY STRAIGHT.
- C. ALL SIGNAGE TO BE MOUNTED WITH PROVIDED DOUBLE STICK TAPE
- D. ALL SIGNS ON THIS SHEET SWEETGREEN FURNISHED & GC INSTALLED, U.N.O.

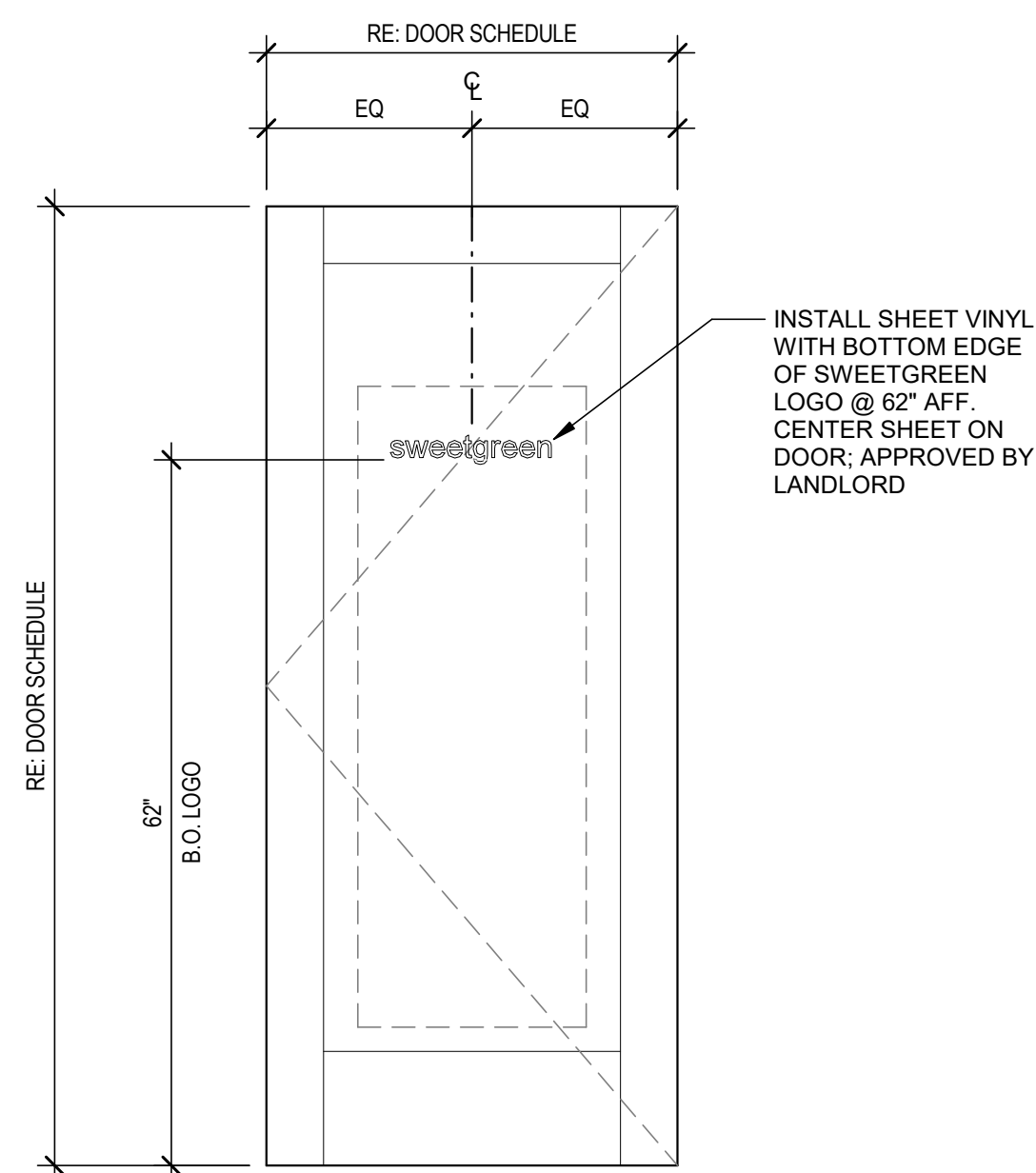
SCHEDULE

ART & GRAPHICS SCHEDULE- "G"

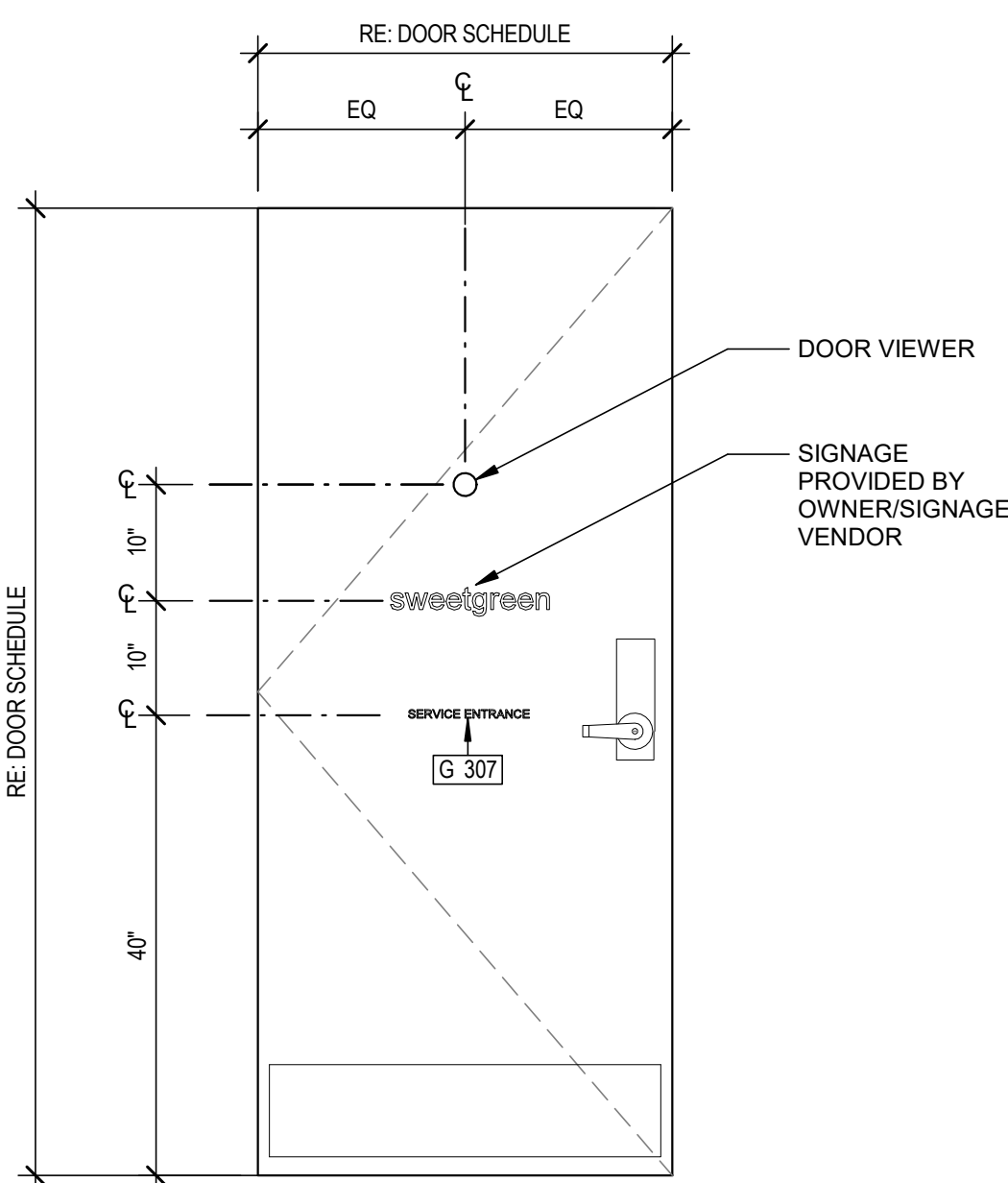
TAG	QTY.	DESCRIPTION	MANUFACTURER	MODEL	SUPPLY	INSTALL	REMARKS
100- EXTERIOR PRE OPENING GRAPHICS							
G 100	2	CIRCULAR UNISEX ACCESSIBLE RESTROOM SIGN	COMPLIANCE SIGNS	RR-120-DCTS-WHTonB H-MABLU	GC	GC	MOUNT C.O. SIGN @ 60" AFF
300- INTERIOR GRAPHICS							
G 301	2	1.75"x7" HANDWASHING SIGNAGE	BY OWNER	SG-002	OWNER	GC	REFER TO ELEVATIONS FOR MOUNTING HEIGHT LOCATION AND APPLICATION
G 306	2	1.75"x7" NO SMOKING SIGNAGE	BY OWNER	SG-226	OWNER	GC	REFER TO ELEVATIONS FOR MOUNTING HEIGHT LOCATION AND APPLICATION
G 310	2	CLIPBOARD ON SNEEZE GUARD	BY OWNER		OWNER	GC	REFER TO ELEVATIONS FOR MOUNTING HEIGHT LOCATION AND APPLICATION
G 311	1	ADA SNEEZE GUARD CLING	BY OWNER		OWNER	GC	REFER TO ELEVATIONS FOR MOUNTING HEIGHT LOCATION AND APPLICATION
400- WALL ART							
G 400	8		BY OWNER	BY OWNER	OWNER	GC	GC TO PROVIDE BLOCKING, ANCHOR TO WALL WITH "T-LOCK" HARDWARE AND PROVIDE BEAD OF SILICONE SEALANT AT PERIMETER BETWEEN FRAME AND WALL
500- EXTERIOR SIGNAGE							
G 521	3	ALUMINUM CHANNEL LETTERS- DARK GREEN	SIGNAGE VENDOR	CUSTOM	OWNER	OWNER	GC TO PROVIDE POWER & ACCESS - PAINT: DARK GREEN PMS 8830

TYPICAL ART & GRAPHIC PLAN NOTES:

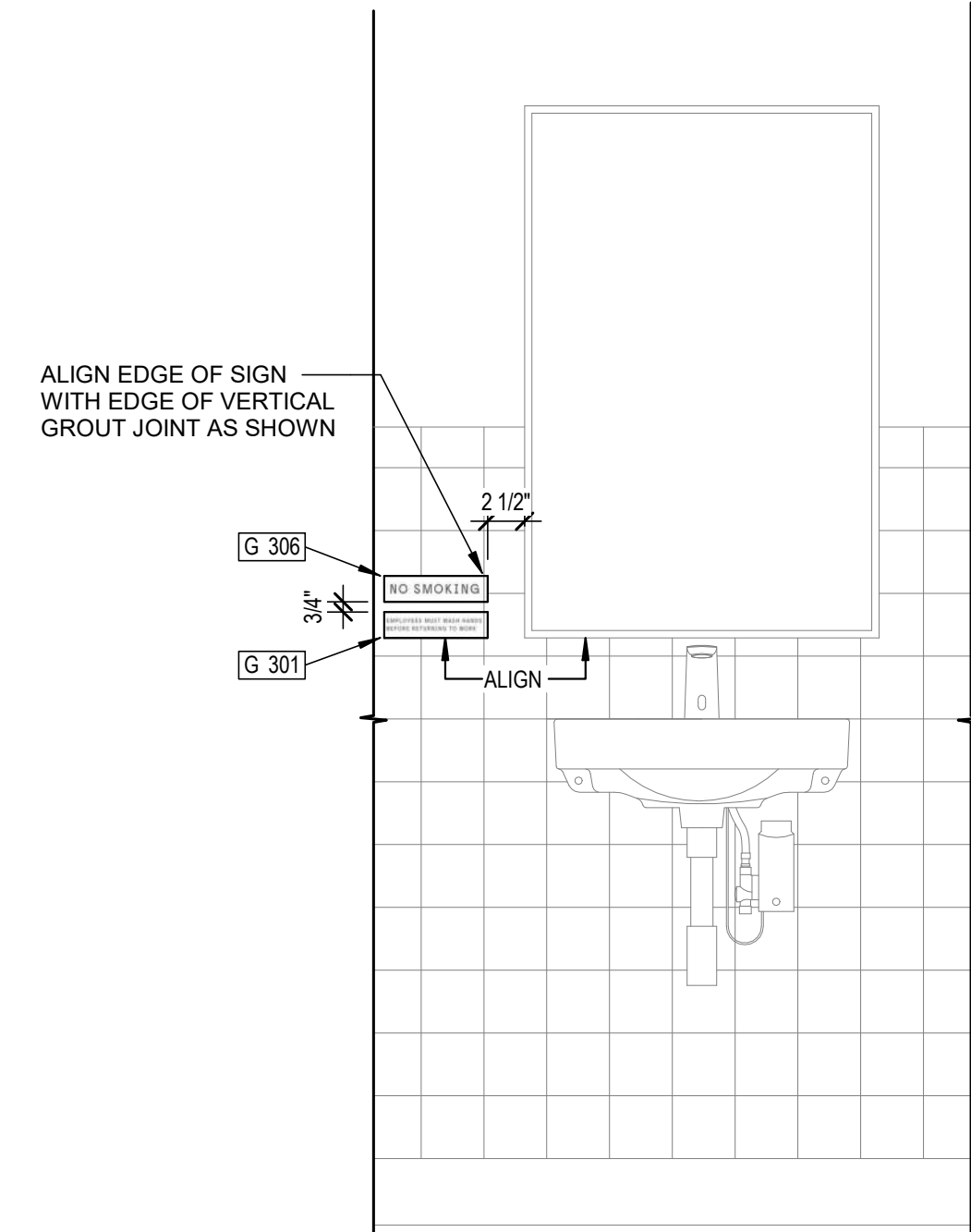
1. ALL FRAMED ARTWORK TO BE HUNG WITH FINISH NAILS, UNLESS OTHERWISE NOTED
2. FURNITURE VENDOR TO VERIFY ALL QUANTITIES PRIOR TO ORDER.
3. CUSTOM ELEMENTS ARE NOTED WITH AN "X" PREFIX.
4. SEE SAFETY AND ACCESSIBILITY GRAPHICS FOR ADDITIONAL REQUIREMENTS.



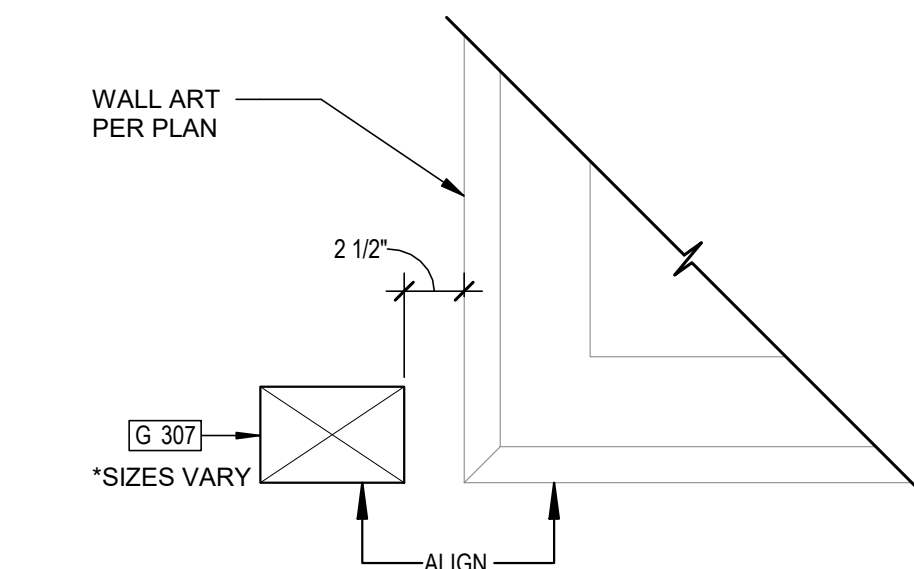
8 DOOR SIGNAGE
3/4" = 1'-0"



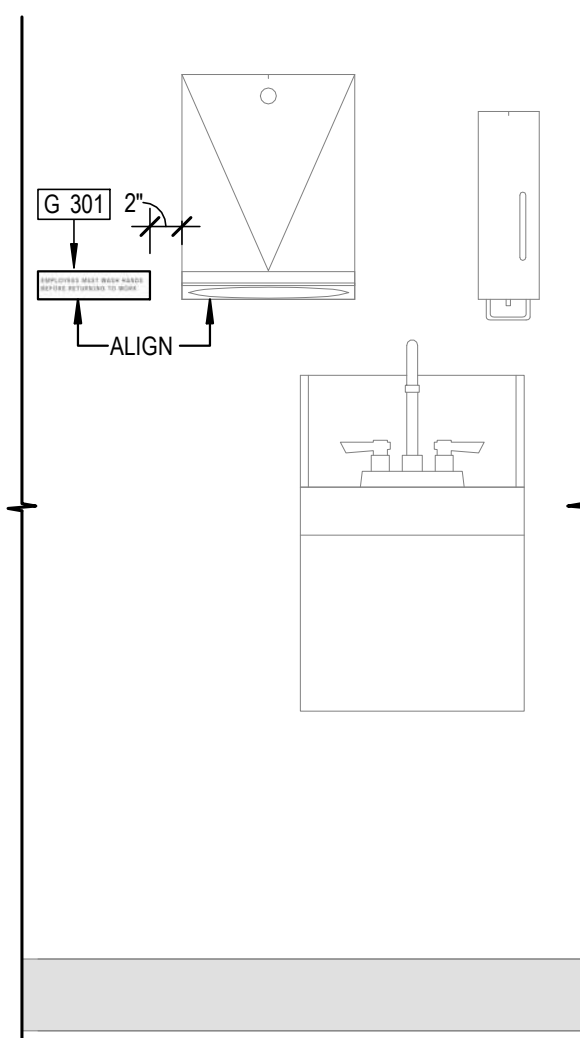
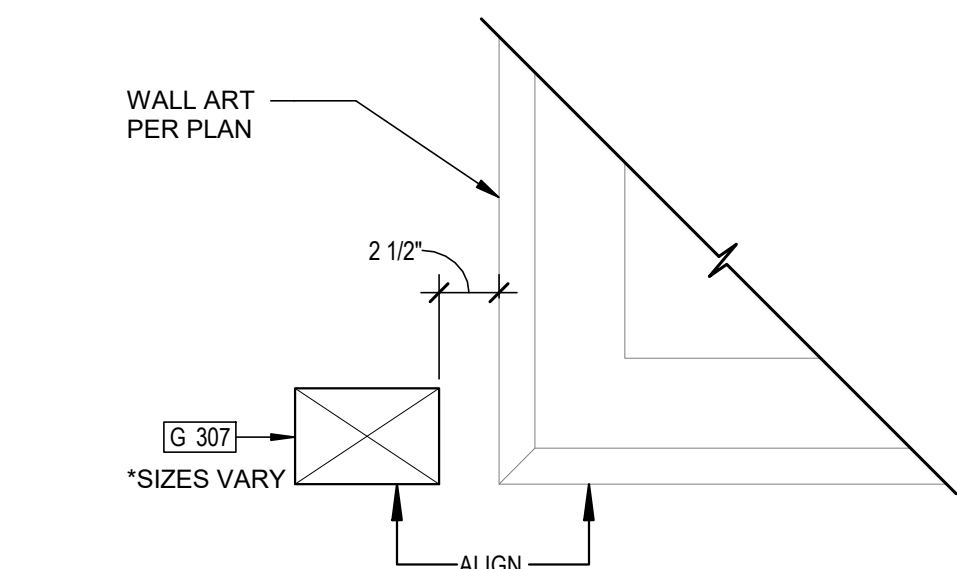
7 RESTROOM SIGNAGE
1" = 1'-0"



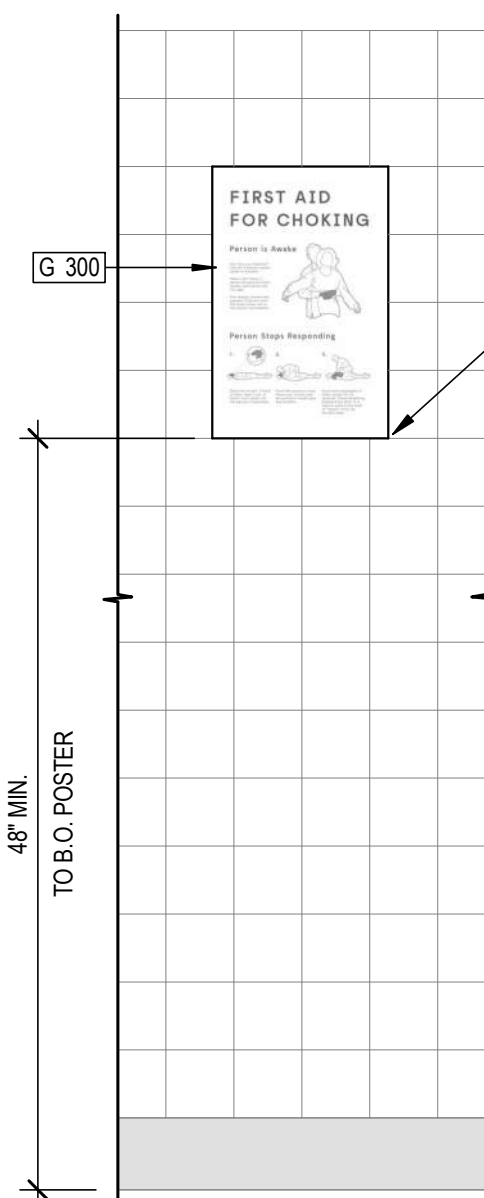
6 ART PLAQUE SIGNAGE
1 1/2" = 1'-0"



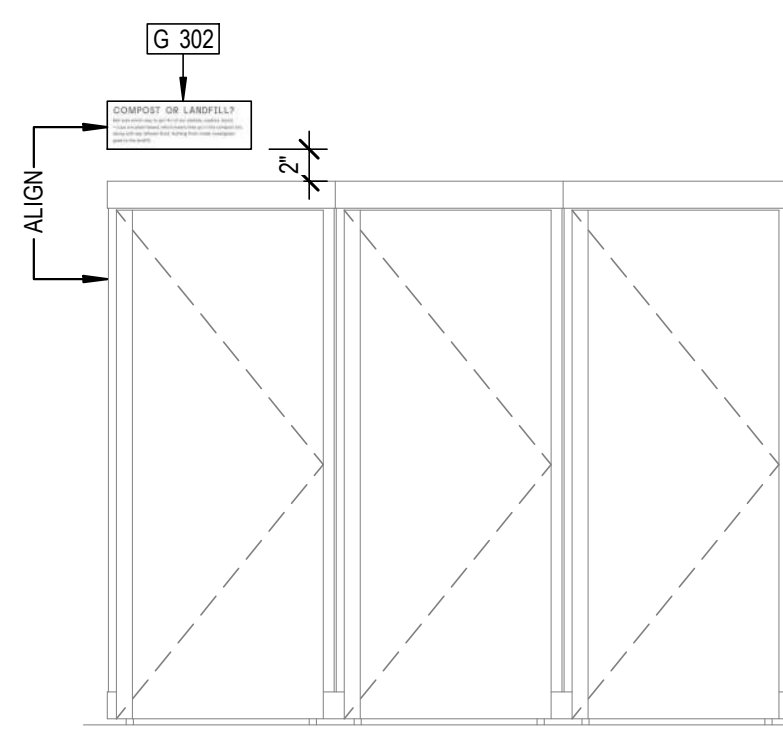
5 CORE VALUE BOARD DTL
1 1/2" = 1'-0"



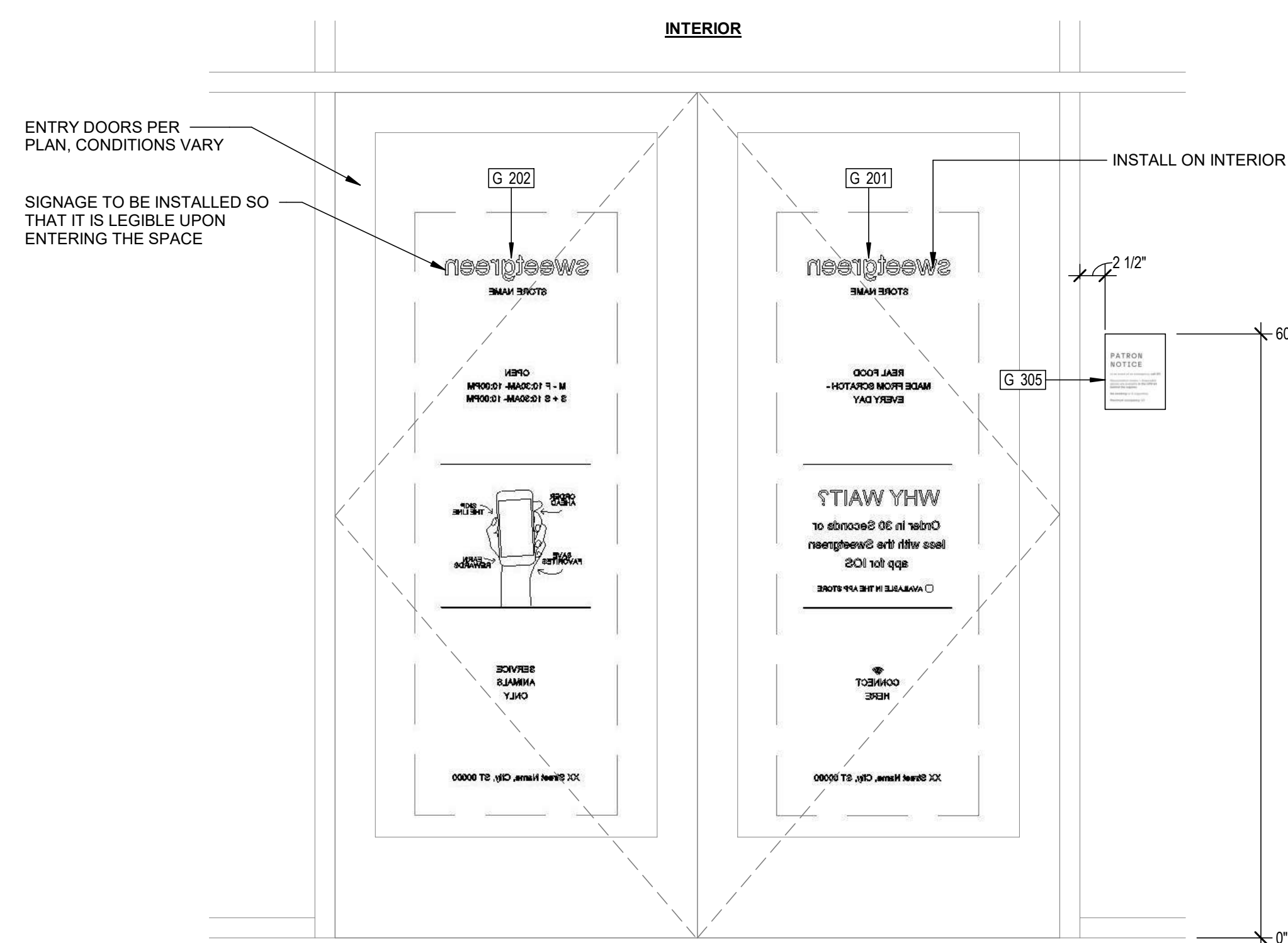
4 BOH HANDSINK SIGNAGE
1" = 1'-0"



3 CHOKING POSTER SIGNAGE



2 TYPICAL COMPOST SIGNAGE



1 TYPICAL DOOR SIGNAGE - INTERIOR
1" = 1'-0"



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STAMP:

XX.XXXX

EMORY VILLAGE

1556 N DECATUR RD,
ATLANTA, GA 30307

DRAWN BY:	TF
CHECKED BY:	JW
PROJECT MANAGER:	ZM
GG DESIGN MANAGER:	LG
GG CONSTR. MANAGER:	JD
PROJECT NO:	50139167
TEMPLATE VERSION:	05.06.2022

REVISIONS		
REV.	DATE	DESCRIPTION

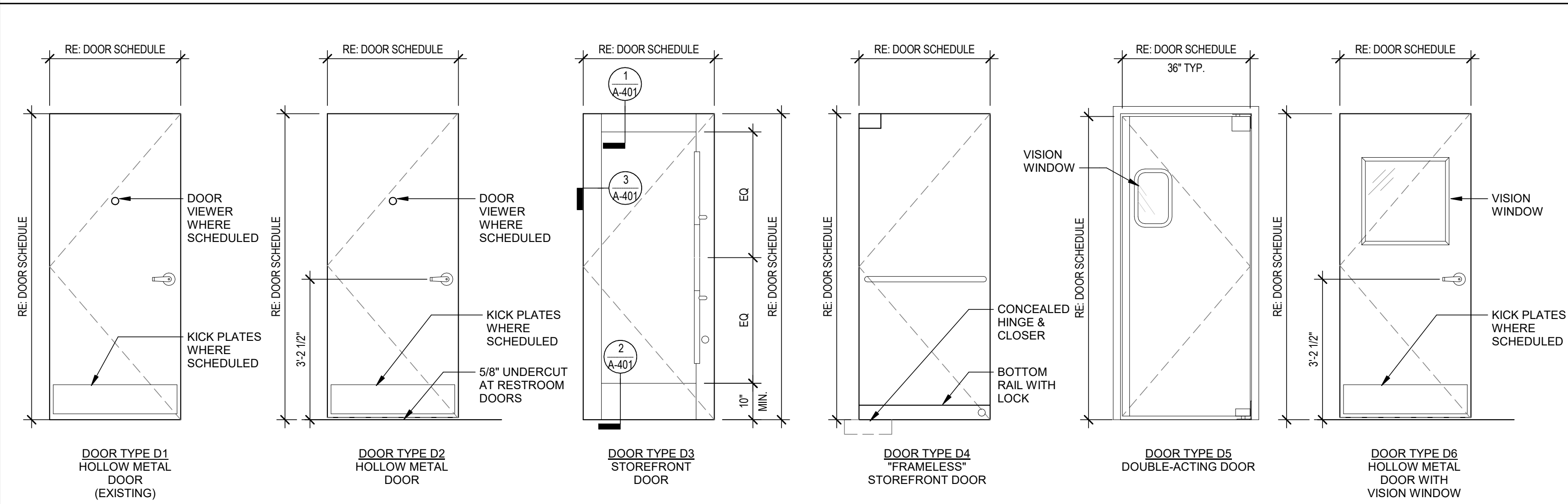
GRAPHICS COORDINATION

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

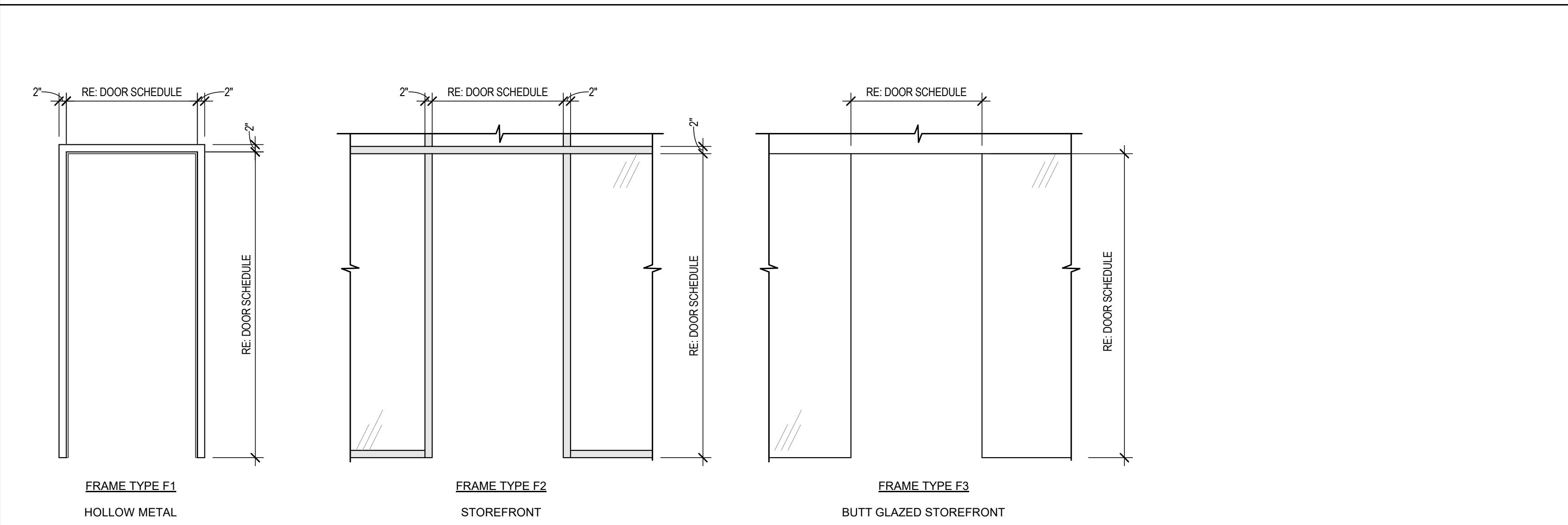
A-361

DOOR, FRAME SCHEDULE								DOOR HARDWARE SCHEDULES			
TAG	DESCRIPTION	DOOR			FRAME TYPE	HW SET	NOTES	DOOR HARDWARE SCHEDULE 1 (STOREFRONT ENTRY EXTERIOR)			
		TYPE	WIDTH	HEIGHT				QTY.	ITEM	MANUFACTURER	MODEL NO.
01		D3	6'-0"	6'-10"	1 3/4"	F2		2	DOOR CLOSER	LCN	CONCEALED CLOSER MODEL 2031
02		D2	3'-0"	7'-0"	1 3/4"	F1		1	MORTISE CYLINDER	SCHLAGE	80-103, C.O. CYLINDER @ 22" FROM B.O. DOOR
04		D2	3'-0"	7'-0"	1 3/4"	F1		1	TEMPORARY CORE	SCHLAGE	80-035, INTERCHANGEABLE CORES
05		D2	3'-0"	7'-0"	1 3/4"	F1		2	CONTINUOUS HINGE	HAGER	780-224HD
07		D2	3'-0"	7'-0"	1 3/4"	F1		1	EXIT INDICATOR	ADAMS RITE	MS1850S-210-335
								4	DOOR PULL	BY OWNER	CUSTOM WOOD/METAL OFFSET PULL
								2	DOOR STOP	ROCKWOOD	MODEL 462
								2	DOOR SWEEP	PEMKO	MODEL SFSC-200-36 (36" DOOR)
								DOOR HARDWARE SCHEDULE 2 (SERVICE DOOR EXTERIOR)			
								QTY.	ITEM	MANUFACTURER	MODEL NO.
								1	DOOR CLOSER	DORMA	7414AR
								1	LOCKSET	SCHLAGE	AL70PD, SATURN
								1	DOOR VIEWER	DOOR SCOPE	DS2000 ALS, C.O. VIEWER @ 60" FROM B.O. DOOR
								2	KICKPLATE	HIAWATHA	KP8X34-32D
								1	DOOR STOP	ROCKWOOD	MODEL 462
								1	DOOR SILENCER	IVES	SR64
								DOOR HARDWARE SCHEDULE 3 (UTILITY DOOR INTERIOR)			
								QTY.	ITEM	MANUFACTURER	MODEL NO.
								1	DOOR CLOSER	DORMA	7414AR
								1	LOCKSET	SCHLAGE	AL70PD, SATURN
								3	HINGES	STANLEY	FBB179
								2	KICKPLATE	HIAWATHA	KP8X34-32D
								1	DOOR STOP	DON-JO	1407-630-US26D
								1	DOOR SILENCER	IVES	SR64
								DOOR HARDWARE SCHEDULE 4 (RESTROOM)			
								QTY.	ITEM	MANUFACTURER	MODEL NO.
								1	DOOR CLOSER	DORMA	7414AR
								1	PUSH/PULL PLATES	IVES	8200/8305-4X16-US26D-AM
								1	OCCUPANCY INDICATOR	SCHLAGE	B571626
								3	HINGES	STANLEY	FBB179
								2	KICKPLATE	HIAWATHA	KP8X34-32D
								1	DOOR STOP	DON-JO	1407-630-US26D
								1	DOOR SILENCER	IVES	SR64
GENERAL NOTES											
A. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. "APPLIES ALSO TO EXIT GATES". THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1003.3.1.8)											
B. EXIT HARDWARE ON THE EXTERIOR EXIT DOORS OF THIS BUILDING SATISFIES THE REQUIREMENTS OF SECTION 1003.3.1.9											
C. GC SHALL POST A SIGN ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1" LETTERING STATING: "THIS DOOR MUST REMAIN UNLOCKED WHEN OCCUPIED" MAIN EXIT ONLY (1003.3.1.8)											
D. LATCHES, HANDLES, PANIC BARS AND ALL DOOR HARDWARE WILL COMPLY WITH SECTION 7.2 OF NFPA 101 PER THE SPECIFICATIONS.											
E. THE MANAGER HAS A KEY TO UNLOCK RESTROOM DOORS, FROM THE OUTSIDE IN CASE OF AN EMERGENCY.											
F. ALL DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS.											
G. MAXIMUM EFFORT TO OPERATE EXTERIOR OR INTERIOR DOORS WITH CLOSERS SHALL NOT EXCEED 5 POUNDS. THIS MAY BE INCREASED TO 15 POUNDS FOR FIRE-RATED DOORS.											
H. THE BOTTOM 10 INCHES OF ALL DOORS, EXCEPT AUTOMATIC AND SLIDING, SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.											
I. ALL WINDOW AND DOOR GLAZING IS TO BE CLEAR, LOW-E, AND INSULATED.											
J. WINDOW AND DOOR GLAZING TO BE TEMPERED AT LOCATIONS INDICATED WITH "T"											
K. GC TO PROVIDE 10 KEYS ON TURNOVER, WITH WALL MOUNTED KEY BOX FOR OFFICE, SIZED TO HOLD ALL KEYS.											
L. VINYL GRAPHICS SUPPLIED BY OWNER, INSTALLED BY GC.											
M. LANDINGS AT DOORS TO HAVE A MAXIMUM SLOPE OF 1:48											
N. WITH THE EXCEPTION OF THE OPERATIONS ROOM, ALL DOORS TO BE KEYED ALIKE.											
P. GC TO PROVIDE LOCKBOX AT FRONT AND REAR DOORS											

DOOR TYPES



FRAME TYPES



NOTE TO AOR:
CODED LOCKS ONLY FOR
SPECIFIC DESIGNATED
PROJECTS. WHEN REQUIRED
SPECIFY: LOCKSET, SCHLAGE,
AD-200-CY-40-KP-ATH-626AM
(SPECIFY LEFT OR RIGHT
HANDED)

sg

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REVISIONS
REV. DATE DESCRIPTION

DOORS & WINDOWS

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

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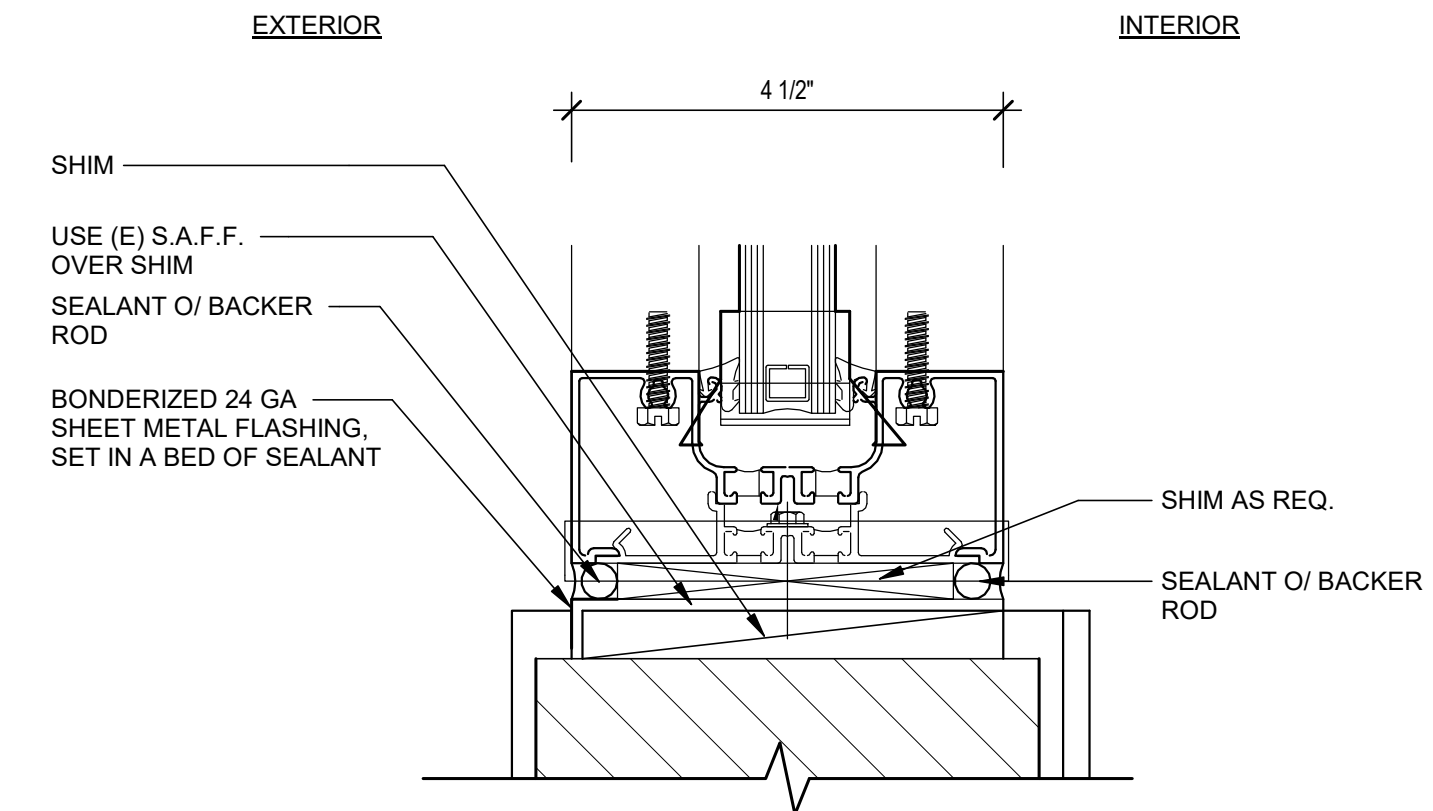
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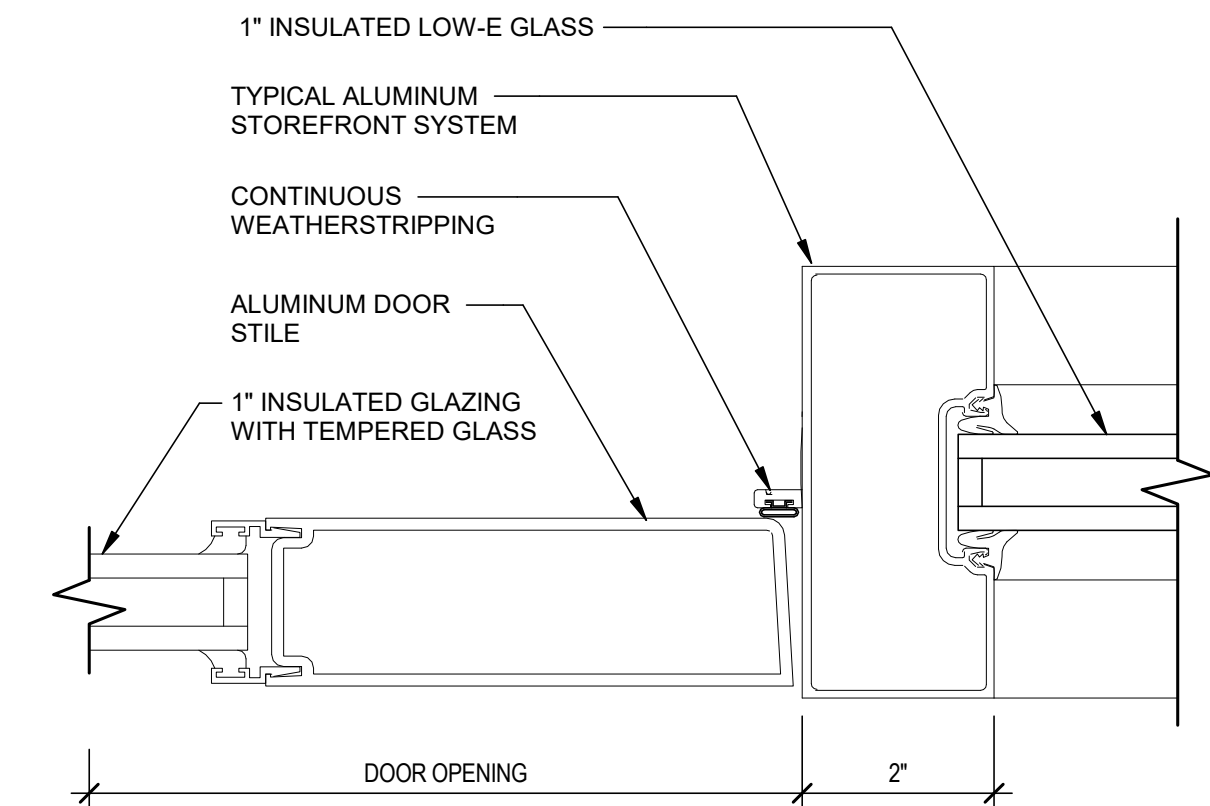
**DOOR & WINDOW
DETAILS**

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

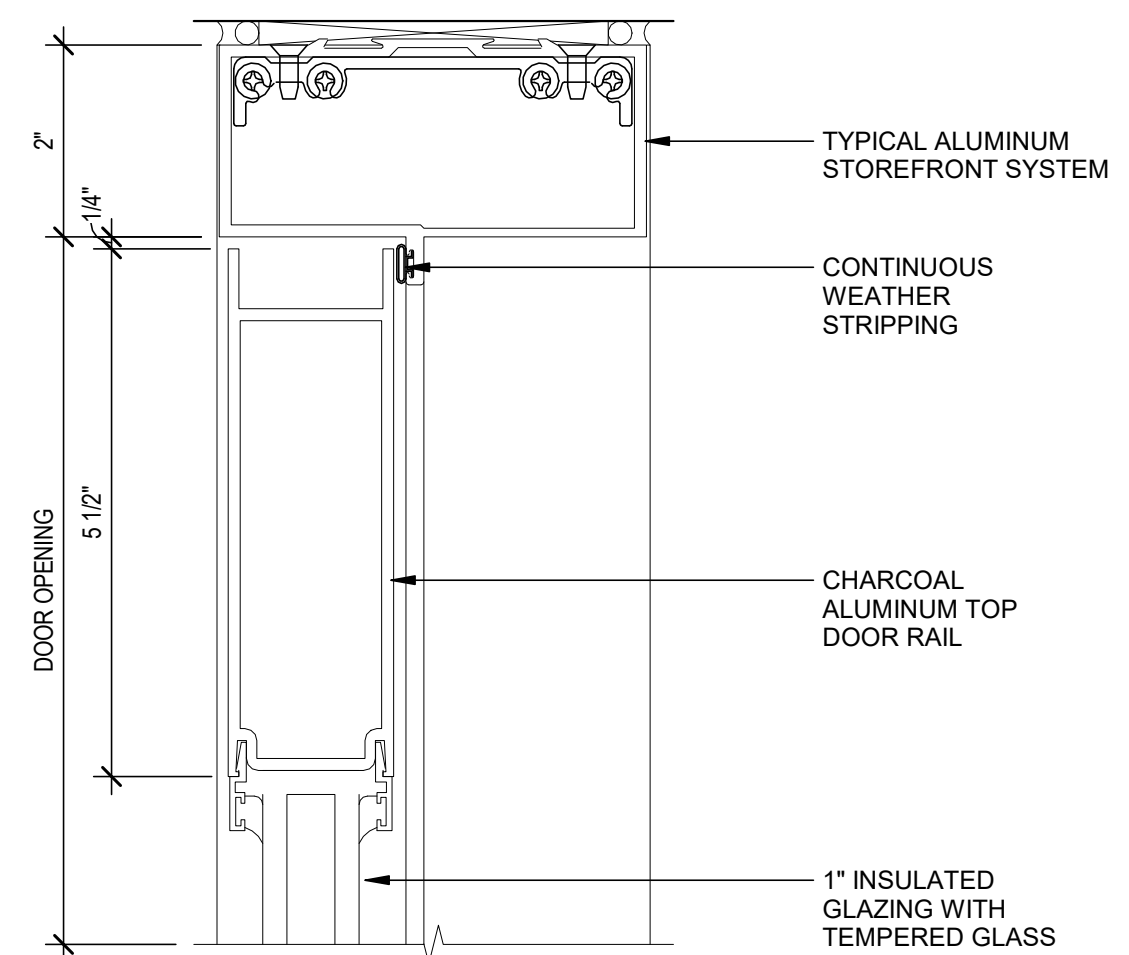
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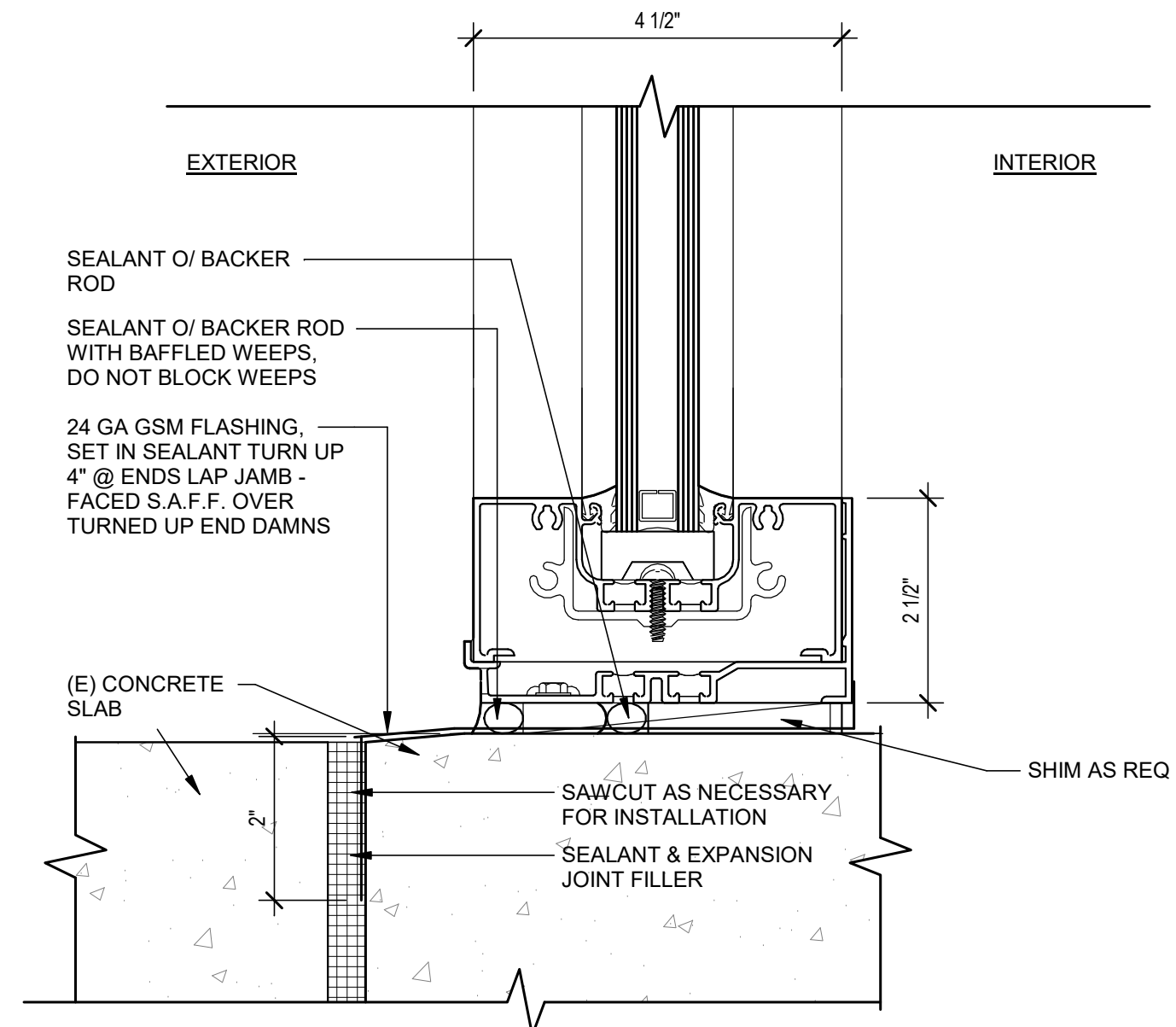
8 **STOREFRONT JAMB**
6" = 1'-0"



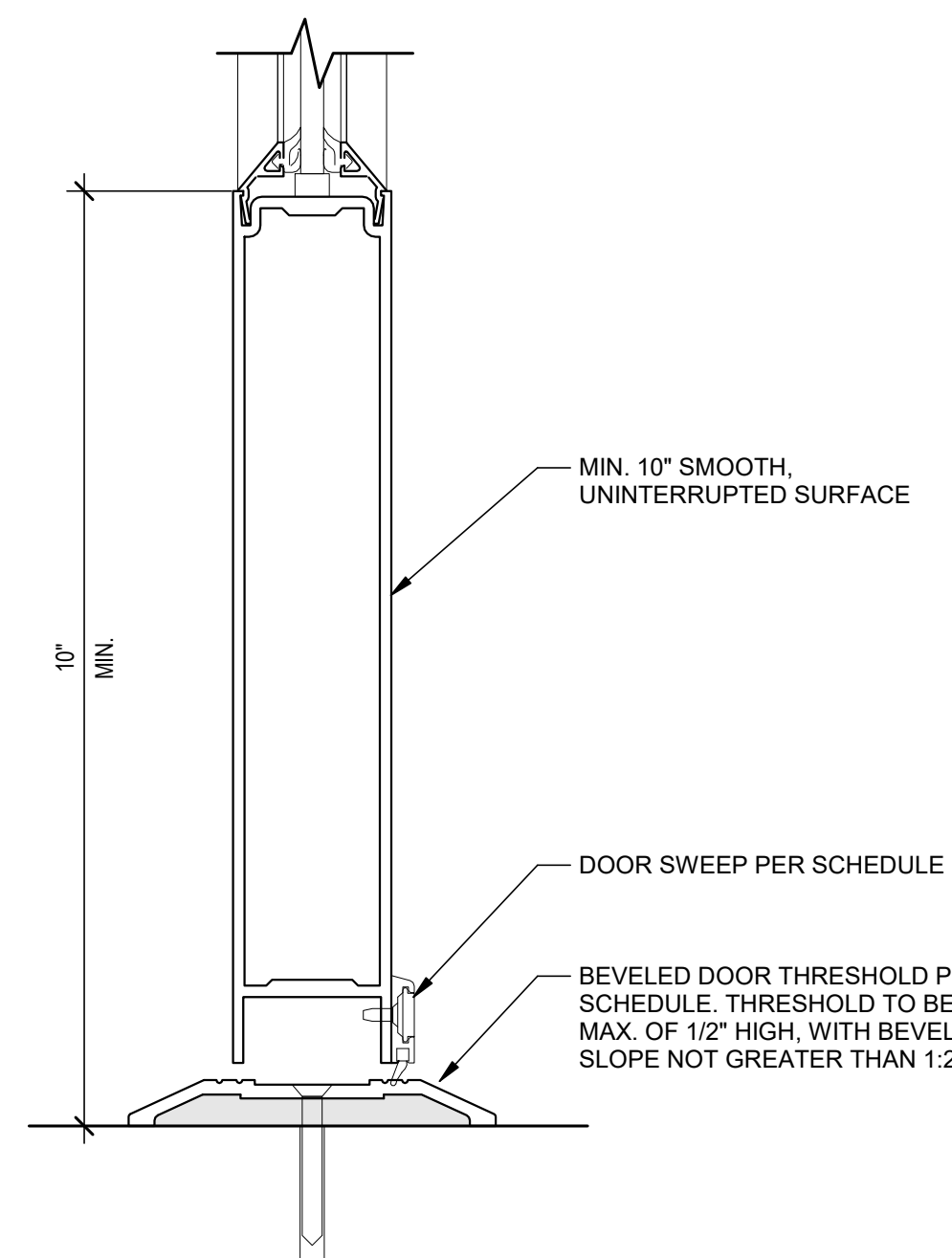
5 **STOREFRONT DOOR JAMB**
6" = 1'-0"



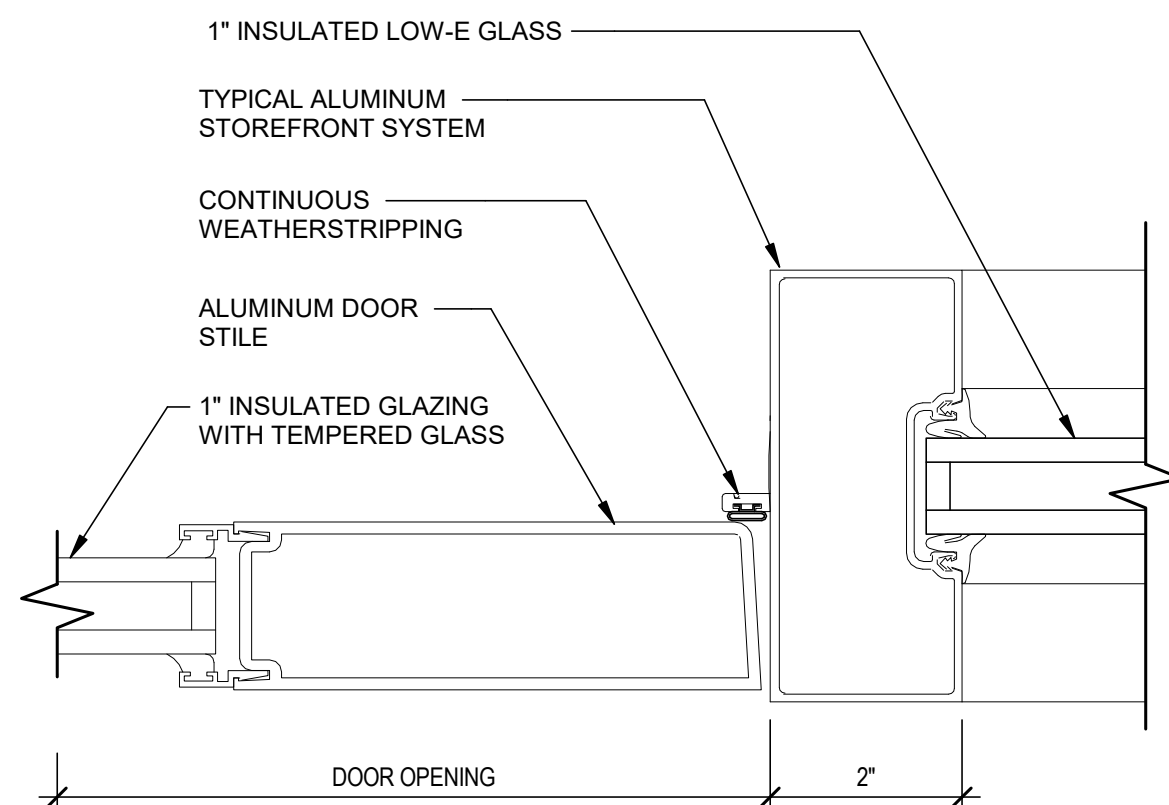
1 **DOOR HEAD**
6" = 1'-0"



6 **STOREFRONT SILL**
6" = 1'-0"

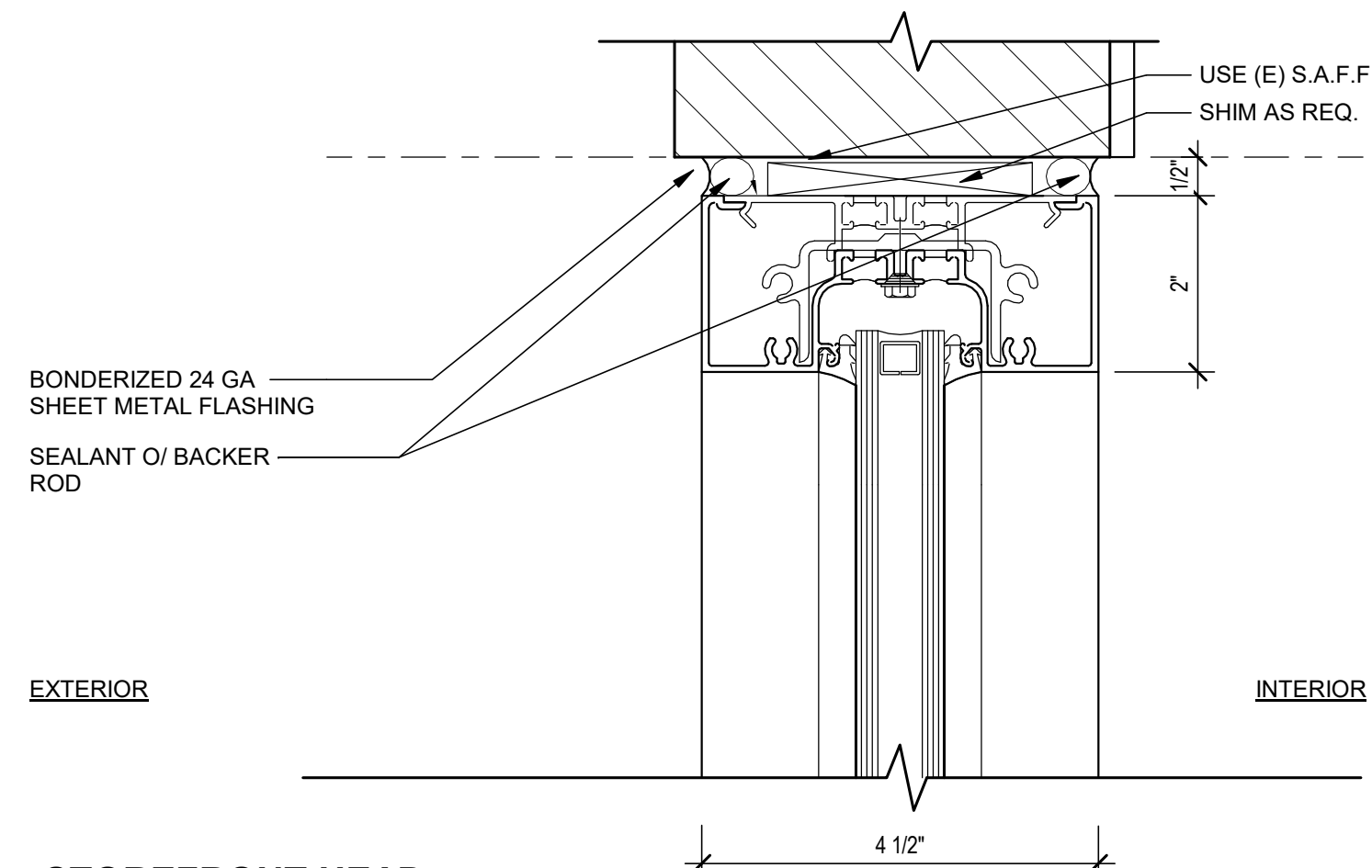


2 **DOOR JAMB**
6" = 1'-0"

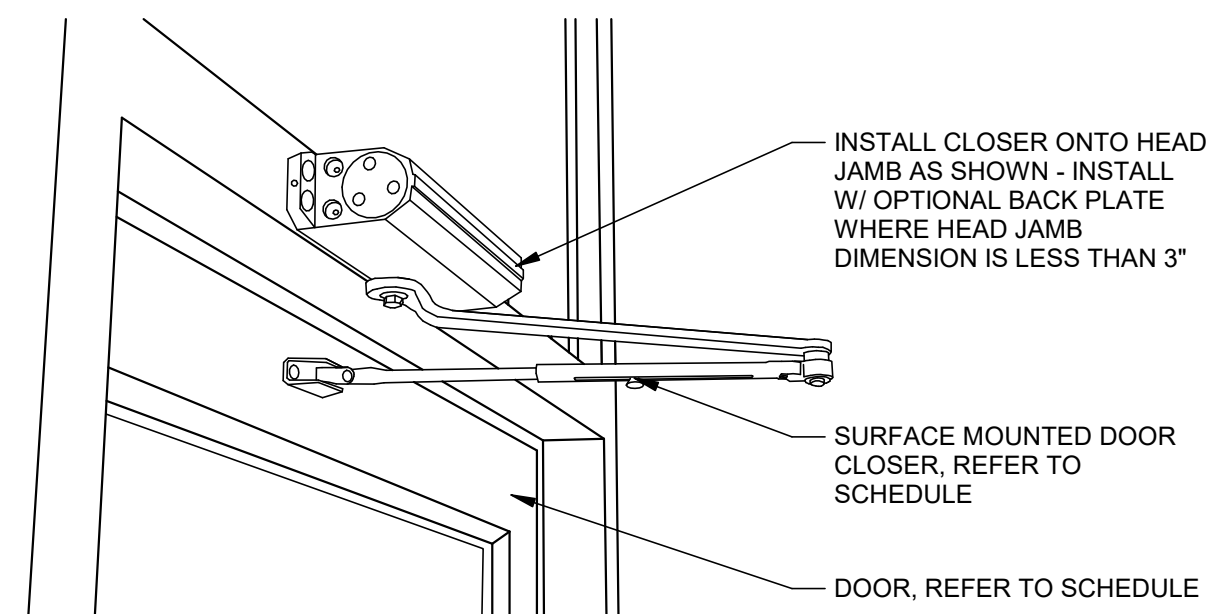


3 **SINGLE DOOR JAMB**
6" = 1'-0"

NOTE TO AOR: REVISE DETAILS AS NECESSARY TO REFLECT DESIGN INTENT AND EXISTING CONDITIONS



7 **STOREFRONT HEAD**
6" = 1'-0"



4 **DOOR CLOSER**
1/4" = 1'-0"



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3000 S. ROBERTSON BLVD.
LOS ANGELES, CALIFORNIA 90034

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916.239.7244 Phone
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STAMP:

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PROJECT INFORMATION:
EMORY VILLAGE
PROJECT INFORMATION:
1556 N DECATUR RD,
ATLANTA, GA 30307

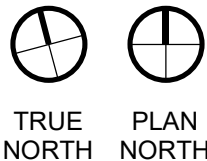
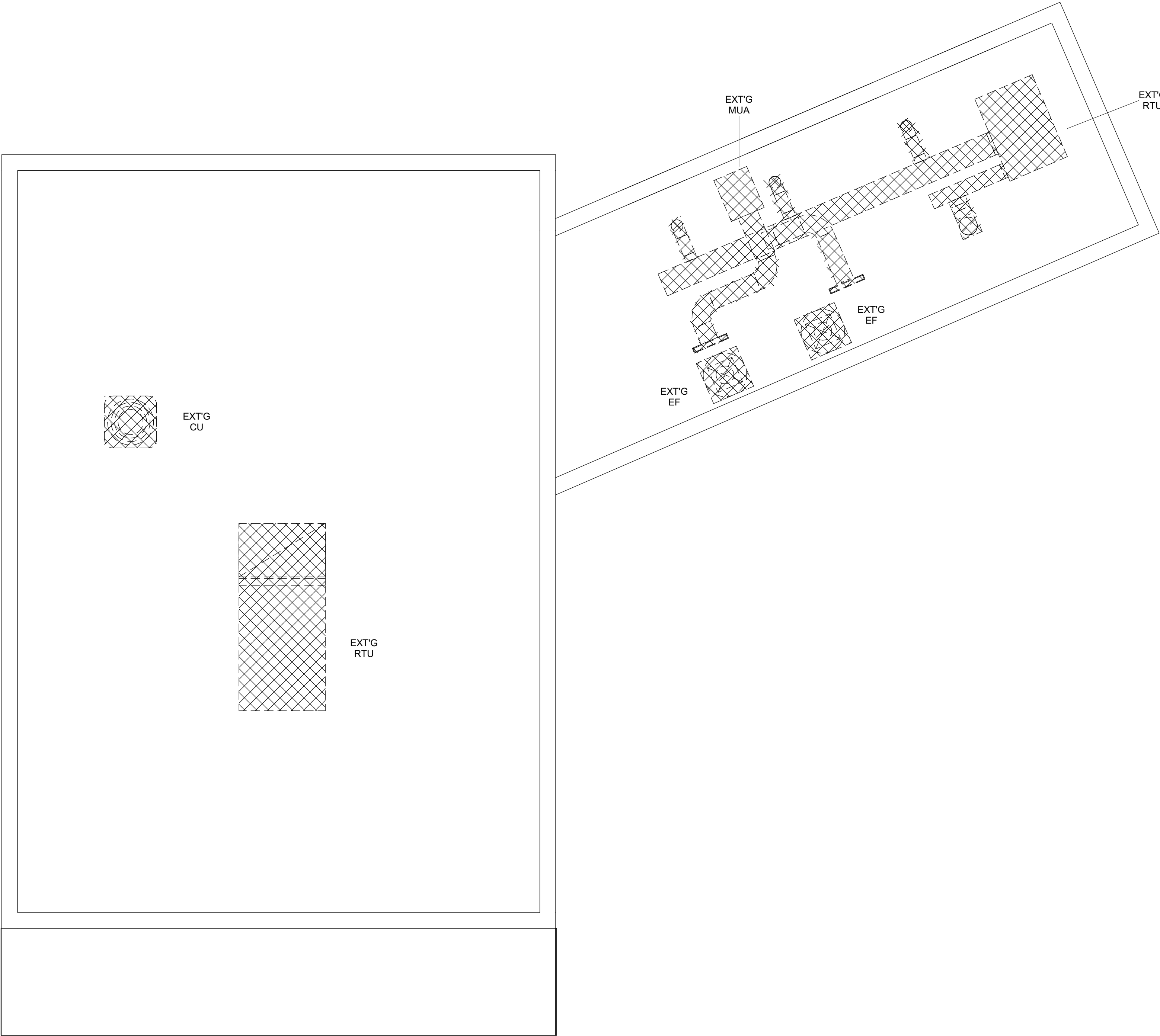
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CHECKED BY: DBS
PROJECT MANAGER: XX
SG DESIGN MANAGER: XX
SG CONSTR. MANAGER: XX
PROJECT NO: 50139167
TEMPLATE VERSION: 06.01.2020

REVISIONS
REV. DATE DESCRIPTION
05/20/2022 80% PROGRESS SET

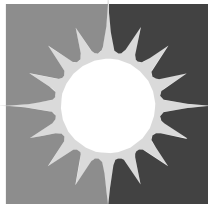
HVAC DEMO ROOF
PLAN

1556 N. DECATUR ROAD
EMORY VILLAGE, LLC
856-359-5312

M-200



1 H - HVAC Demolition Roof Plan
1/4" = 1'-0"



SALAS O'BRIEN
3200 WINDY HILL RD SE, STE 200E
ATLANTA, GA 30339-8435
404.651.5359
2021-02255

GENERAL NOTES

A GENERAL NOTES APPLY TO ALL HVAC SHEETS.

B WORK SHALL COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS AS APPROVED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION, INCLUDING APPLICABLE SECTIONS OF NFPA, THE MECHANICAL CODE, AND ANY INTERIM AMENDMENTS AT THE TIME OF THE PROPOSAL. PURCHASE PERMITS ASSOCIATED WITH THE WORK, OBTAIN INSPECTIONS REQUIRED BY CODE. SEE SHEET G-001 FOR THE PREVAILING CODES.

C CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW A COMPLETE SET OF THE CONSTRUCTION DOCUMENTS.

D COORDINATE WORK WITH THE OTHER TRADES. EQUIPMENT FURNISHED BY OTHERS, REQUIREMENT OF THE OWNER, AND OF THE EXISTING CONDITIONS AT THE PROJECT SITE.

E DRAWINGS FOR THE MECHANICAL WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS, REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS. PROVIDE DUCTWORK, CONNECTIONS, OFFSETS, ACCESSORIES, AND MATERIALS NECESSARY FOR A COMPLETE SYSTEM.

F DUCT DIMENSIONS ON PLANS INDICATE DIMENSIONS OF INTERNAL FREE AREA.

G PERFORATED CEILING DIFFUSERS SHALL BE 4-WAY UNLESS NOTED OTHERWISE.

H COORDINATE ROOF WORK WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

I UNLESS NOTED OTHERWISE RECTANGULAR DUCT ELBOWS GREATER THAN 45° SHALL BE MITERED ELBOWS WITH DOUBLE THICKNESS. RECTANGULAR DUCT ELBOWS 45° OR LESS SHALL BE RADIUS ELBOWS WITH AN INSIDE RADIUS OF AT LEAST 1/2 THE WIDTH OF THE DUCT.

J REPLACE AIR FILTERS WITH NEW, CLEAN MERV8 FILTERS AT TURNOVER.

K THE TERM "FURNISH" MEANS SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS. THE TERM "INSTALL" DESCRIBES THE OPERATIONS AT THE PROJECT SITE INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTING, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS. THE TERM "PROVIDE" MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTERIOR USE.

L A FINAL REPORT FOR THE TESTING AND ADJUSTMENTS OF ALL NEW SYSTEMS FROM ALL DISCIPLINES SHALL BE COMPLETED WITH FINAL APPROVAL BY THE FIELD INSPECTOR. THIS REPORT SHALL BE SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.

M TESTING AND BALANCING OF THE MECHANICAL SYSTEMS TO BE COMPLETED BY NATIONAL TAB AT THE GENERAL CONTRACTOR'S EXPENSE. REFER TO THE COVER SHEET, OR CONTACT SWEETGREEN'S CONSTRUCTION MANAGER FOR CONTACT INFORMATION.

N ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL START UP OF THE HEATING, COOLING, AND VENTILATION EQUIPMENT.

O REFER TO TRANS NATIONAL ACCOUNT INFORMATION BLOCK ON SHEET M-300 FOR REPRESENTATIVE CONTACT INFORMATION.

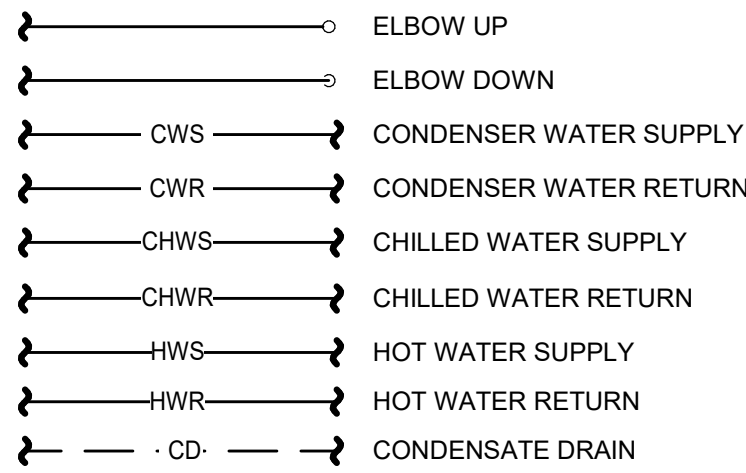
P CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY UNIT CONFIGURATIONS, COORDINATE DELIVERY WITH TRANE, RECEIVE AND UNLOAD EQUIPMENT, INSPECT EQUIPMENT, PROPERLY INSTALL EQUIPMENT INCLUDING FIELD-INSTALLED ITEMS, EQUIPMENT STARTUP AND 1ST YEAR LABOR WARRANTY AND ADMINISTRATION.










CODED NOTES

- 1 MAKE CONNECTION TO WATER SOURCE HEAT PUMP AS SHOWN AND PER DETAIL 2/SHEET M-400.
- 2 CONNECT TO EXISTING 2" CONDENSER WATER SUPPLY AND RETURN PIPING.
- 3 PROVIDE CONDENSATE DRAIN FROM THE WATER SOURCE HEAT PUMP AS SHOWN, PER DETAIL 4/SHEET M-400 AND PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE INDIRECT DRAIN PER DETAIL 4/SHEET M-400. ALL PIPING SHALL BE CONCEALED ABOVE CEILINGS AND WITHIN FRAMED WALLS UNLESS OTHERWISE NOTED.
- 4 PROVIDE WATER-SIDE ECONOMIZER CONNECTION PER DETAIL 2/SHEET M-400 AND PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 5 REFER TO SANITARY WASTE AND VENT PLAN FOR WALK-IN COOLER CONDENSATE DRAIN ROUTING.

SYMBOLS & ABBREVIATIONS

HVAC PIPING SYMBOLS



	PLAN NOTE: SEE KEYNOTES LISTED ON THE SAME SHEET FOR NOTE MEANING
	CONNECT TO EXISTING
	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
	EQUIPMENT TAG: SEE EQUIPMENT SCHEDULE ON SHEET M-300 FOR EQUIPMENT INFORMATION
	VALVE
	SOLENOID-OPERATED VALVE
	CHECK VALVE
	CIRCUIT-SETTER BALANCE VALVE RATED FOR POTABLE WATER
	BTU METER

HVAC PIPING ABBEVIATIONS

AFB	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
BC	BLOWER COIL
CD	CONDENSATE DRAIN
CHWR	CHILLED WATER RETURN
CHWS	CUPED WATER SUPPLY
CWR	CONDENSER WATER RETURN
CWS	CONDENSER WATER SUPPLY
EXTG	EXISTING
GC	GENERAL CONTRACTOR
HES	TENANT'S HVAC EQUIPMENT SUPPLIER
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
KES	TENANT'S KITCHEN EQUIPMENT SUPPLIER
RTU	ROOFTOP UNIT
WSPH	WATER SOURCE HEAT PUMP



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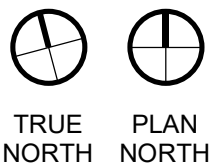
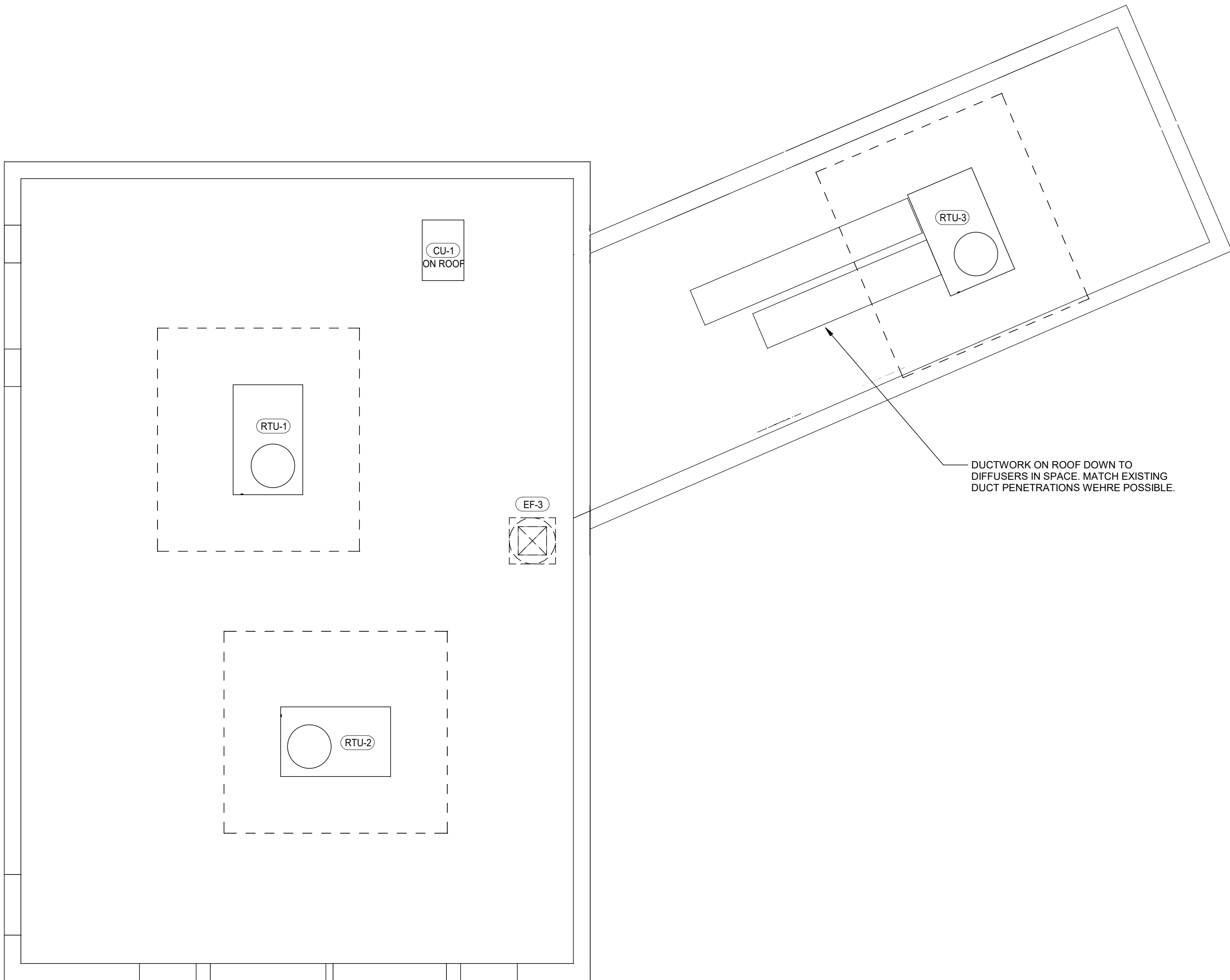
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REVISIONS		
REV.	DATE	DESCRIPTION
	05/20/2022	80% PROGRESS SET

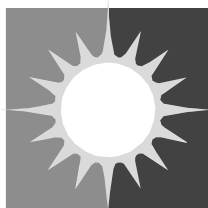
HVAC ROOF PLAN

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M-201



1 H - HVAC Roof Plan
1/4" = 1'-0"



SALAS O'BRIEN
| expect a difference |
3200 WINDY HILL RD SE, STE 200
ATLANTA, GA 30339-8435
404 881 5300
2021-02355

Certificate of Appropriateness – sweetgreen Emory Village
Site Photos – Existing Conditions



Southwest Corner of the building



Southeast corner of the building and adjacent property

Certificate of Appropriateness – sweetgreen Emory Village
Site Photos – Existing Conditions



Partial south elevation behind adjacent property at east



North side of building

Certificate of Appropriateness – sweetgreen Emory Village
Site Photos – Existing Conditions

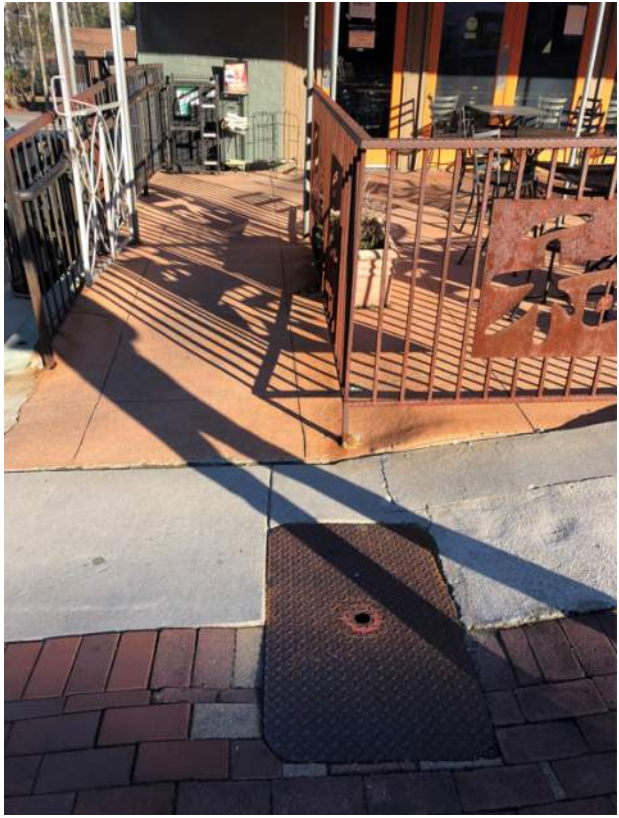


West side of building



West side of building

Certificate of Appropriateness – sweetgreen Emory Village
Site Photos – Existing Conditions



South side of building – Patio area



South side – Patio area and fence