



Michael L. Thurmond
Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street
Decatur, GA 30030

Wednesday, July 13, 2022, at 1:00 PM

Planning Department Staff Analysis



Andrew Baker, AICP
Director

N3. Case No: A-22-1245838 Parcel ID(s): 15-157-21-003

Commission District 03 Super District 07

Applicant: Create Homes, LLC
275 Washington Avenue, NE
Marietta, GA 30060

Owner: Create Homes, LLC
275 Washington Avenue, NE
Marietta, GA 30060

Project Name: 2072 Easterwood Terrace- Development

Location: The property is located on the east side of Easterwood Terrace, approximately 260 feet south of the intersection with Easterwood Court, at 2072 Easterwood Terrace, Decatur, GA 30032.

Request: Section 2.2.1 to reduce the front yard setback from 30 feet to 17 feet to construct a new, single-family, detached home within the R-75 (Residential Medium Lot-75) Zoning District.

Staff Recommendation: Disapproval

STAFF FINDINGS:

Variances from the provisions or requirements of this chapter other than variances described in [section 7.5.4](#) shall be authorized only upon making all of the following findings in writing:

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The Easterwood Park subdivision plat was approved and recorded in 2007. The subject property (Lot 13) contains a number of utility encumbrances; most notably a 15-foot sanitary sewer easement that traverses the center of the lot. This significant reduction of the buildable area has created an exceptional conditional, thus necessitating the request for the front setback reduction.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested variance may go beyond the minimum necessary to afford relief and may constitute a grant of special privilege. The minimum (heated living area) unit size within the R-75 Zoning District is 1,600 square feet. The proposed site plan indicates a total heated floor area of 2,095 square feet. It may be possible to construct a smaller unit and reduce the degree of relief needed.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

Since Easterwood Terrace is presently undeveloped, placement of the first few homes is central to setting the residential setback consistency of the street. Setback consistency aides in establishing residential harmony and character along the street. One offset home may disturb the continuity of home placement along the street.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Strict application of the provisions and requirements of this chapter may cause an undue and unnecessary hardship. Although the home could be smaller, the sanitary sewer easement may still prohibit full compliance with the 30-foot front setback requirement.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The future land use designation of this property is Suburban (SUB). The Suburban character area recognizes single-family, detached homes as a preferred land use. Additionally, guidelines recommend compatible design and conformance to traditional neighborhood development patterns, when appropriate. The proposed home may be consistent with the goals of the *Comprehensive Plan*.

CONCLUSION:

The 15-foot sanitary sewer easement and other utilities hinder the full development of the subject property. However, the proposed residential size may go beyond the minimum relief necessary to permit residential use of the subject property. Therefore, staff recommends disapproval of this request.



DeKalb County Department of Planning & Sustainability

Hon. Michael Thurmond
Chief Executive Officer

Andrew Baker, AICP,
Director

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. _____

Applicant and/or
Authorized Representative Create Homes LLC

Mailing Address: 275 Washington Avenue NE

City/State/Zip Code: Marietta, GA 30060

Email: Zach@createyourhome.com

Telephone Home: 678-978-2568 Business: 678-978-2568

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Create Homes LLC

Address (Mailing): 275 Washington Avenue NE

Email: Zach@createyourhome.com

Telephone Home: 678-978-2568 Business: 678-978-2568

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 2072 Easterwood Terrace City: Decatur State: GA Zip: 30032

District(s): 15 Land Lot(s): 21 Block: _____ Parcel: 003

Zoning Classification: R-75 Commission District & Super District: 3 & 7

CIRCLE TYPE OF HEARING REQUESTED:

- **VARIANCE** (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

*** PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS. ***

TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT:

Date Received: _____ Fee Paid: _____

ZONING BOARD OF APPEALS APPLICATION AUTHORIZATION OF THE PROPERTY OWNER

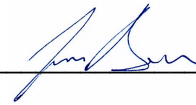
I hereby authorize the staff and members of the Zoning Board of Appeals
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 05/24/2022

Applicant:
Signature



DATE: _____

Applicant:
Signature

Create Homes

A LIMITED LIABILITY COMPANY

5/24/2022

DeKalb County Dept. of Planning and Sustainability
Zoning Boards of Appeals
330 Ponce De Leon Ave Suite #300
Decatur, GA 30030

**RE: Letter of Intent for Zoning Variance
Easterwood Park Subdivision
2072 Easterwood Terrace
Decatur, GA 30032
Parcel ID # 15 157 21 003**

Dear Board Members,

This correspondence is intended to serve as the Letter of Intent for requesting relief by variance under section 7.5.1 of the DeKalb County Zoning Board of Appeals, on behalf of Create Homes LLC (applicant) in regard to the above referenced property. Applicant is requesting a variance from the standards of 27-2.2 – Residential Zoning Districts: Dimensional Requirements; Sec. 2.2.1 – Dimensional Requirements; found in Table 2.2, Residential Zoning Districts Dimension Requirements.

The subject property is zoned R-75 and located in the Easterwood Park subdivision. Easterwood Park was developed and platted in 2007 but no new homes were built, the applicant purchased all lots in the subdivision in 2020. The subject property is currently vacant and owned by the Applicant.

For R-75 zoned lots, the required front setback from collector roads is 30 feet. The Applicant is requesting a reduction from the required 30 feet front setback to 17 feet to allow for construction of a home that is consistent in size, shape, and character of the other homes in the neighborhood, which have also been constructed by applicant.

- (1) The subject lot has an extraordinary and exceptional physical condition created by utility easements, which were not created by the Applicant or previous Owner. The lot buildable area of the subject lot, inside of the required setbacks and outside of easements is not sufficient for the construction of a home that is consistent with the architectural style in the neighborhood and meets the minimum square footage (2,000 sf) requirements under the R-75 zoning. The strict application of the requirements of this chapter would deprive the Applicant from being able to build a home on the subject lot due to the area within the required setbacks and outside of easements not being sufficient for a house footprint that will meet the minimum square footage requirements.
- (2) The requested variance is the minimum necessary to afford relief and allow for the placement of the proposed home. Applicant is proposing a house plan with the smallest

Create Homes

A LIMITED LIABILITY COMPANY

footprint while remaining consistent with the size, shape, and architectural style of other homes in the neighborhood.

- (3) It is the opinion of applicant that granting of the requested variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located. Rather, it will allow for a home to be constructed with similar characteristics of the other homes in the neighborhood.
- (4) The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship by preventing the construction of a home that meets the minimum required square footage under the R-75 zoning and is compatible with other homes in the neighborhood.
- (5) The DeKalb County Comprehensive Plan classifies this property as Suburban, a single-family detached home is a compatible use under this classification. If granted, the variance would allow for the construction of a single-family detached home consistent with the size, shape and character of the neighborhood, and the DeKalb County Comprehensive Plan.

Sincerely,



Zach Brooks

Create Homes LLC
275 Washington Avenue NE
Marietta, GA 30060
Zach@createyourhome.com
(678) 978-2568

THE ASHLEY (B)



BUILDING CODE ANALYSIS

USE GROUP: SMALL ASSEMBLY (GROUP "A")

CONSTRUCTION CLASS: UNPROTECTED

EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOW SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

DESIGN LOADS:

FLOOR LIVE LOAD = 40 PSF

DECKS = 40 PSF

FLOOR DEAD LOAD = 10 PSF

BASIC WIND SPEED = 90 MPH

STAIR LOADS = 40 PSF

ROOF LIVE LOAD = 20 PSF

LATERAL SOIL PRESSURE = 20 PCF (ASSUMED)

SQUARE FOOTAGES

1ST FLOOR	890 SQ. FT.
2ND FLOOR	1,205 SQ. FT.
TOTAL HEATED	2,095 SQ. FT.
FRONT PORCH	96 SQ. FT.
GARAGE	425 SQ. FT.
OTHER PORCHES	n/a SQ. FT.
TOTAL UNHEATED	521 SQ. FT.
OVERALL WIDTH	38' - 0"
OVERALL DEPTH	38' - 0"

SUBDIVISION:

LOT #: _____

RELEASED: _____

www.CreateYourHome.com

NOTE: THE DESIGNS DEPICTED IN THESE DRAWINGS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE NOT RELEASED TO THIRD PARTIES FOR REPRODUCTION OR ANY DERIVATIVE WORKS OR WORKING DRAWING PRODUCTION.

REVISIONS:	
REV No.	DATE:



COVER SHEET	
THE ASHLEY (B)	
TITLE	
DESIGNER:	DATE:
SHEET NO.	
C1	
SCALE:	
N.T.S	

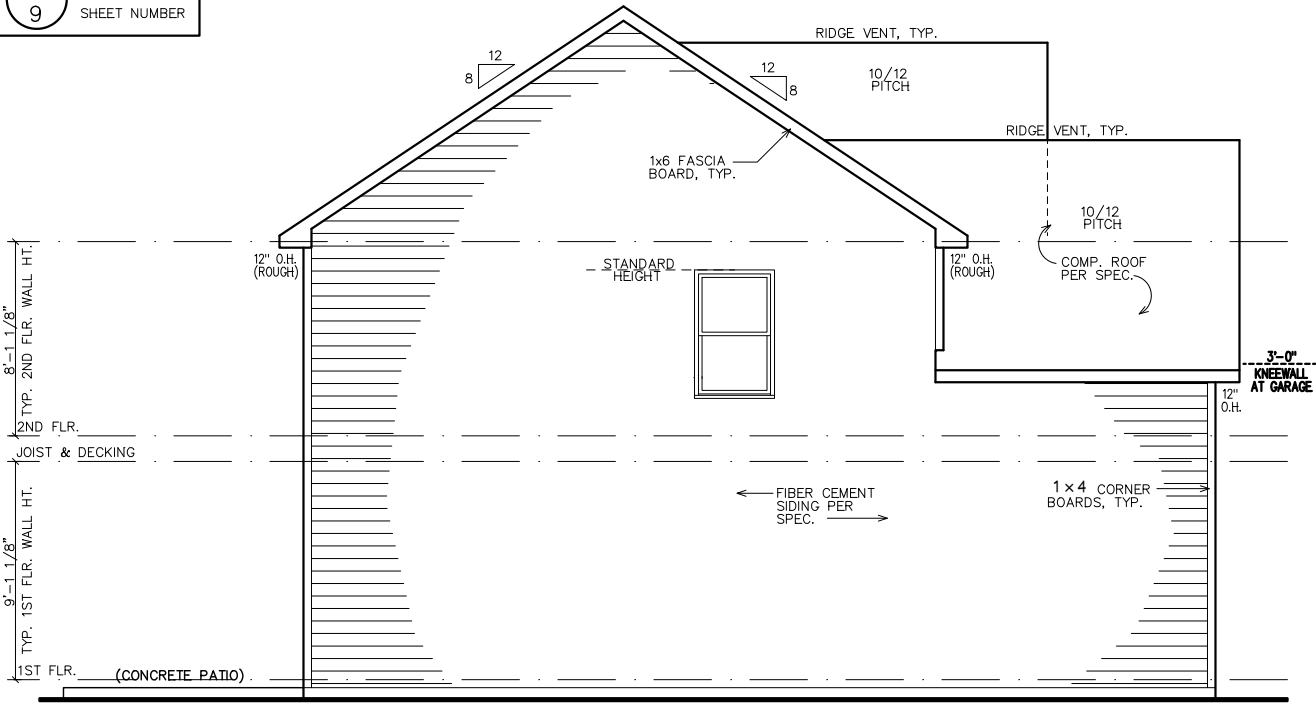
LEGEND

4

DETAIL NUMBER

9

SHEET NUMBER



STEPS DN.
TO GRADE
-PER SITE

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.

LEFT ELEVATION

GOVERNING CODES & STANDARDS	
1.	2018 INTERNATIONAL RESIDENTIAL CODE, WITH GEORGIA AMENDMENTS.
2.	2018 INTERNATIONAL BUILDING CODE, WITH GEORGIA AMENDMENTS.
3.	2018 INTERNATIONAL FIRE CODE, WITH GEORGIA AMENDMENTS.
4.	2018 INTERNATIONAL PLUMBING CODE, WITH GEORGIA AMENDMENTS.
5.	2018 INTERNATIONAL MECHANICAL CODE, WITH GEORGIA AMENDMENTS.
6.	2018 INTERNATIONAL FUEL GAS CODE, WITH GEORGIA AMENDMENTS.
7.	2018 INTERNATIONAL POOL & SPA CODE, WITH GEORGIA AMENDMENTS.
8.	2017 NATIONAL ELECTRICAL CODE, WITH GEORGIA AMENDMENTS.
9.	2015 INTERNATIONAL ENERGY CONSERVATION CODE w/GA AMENDMENTS.
10.	NFPA 101 LIFE SAFETY CODE AND T.P.I. SPECIFICATION FOR THE DESIGN, MANUFACTURE AND HANDLING OF WOOD TRUSSES.

DESIGN CRITERIA
ROOF LIVE LOAD: 20 PSF. FLOOR LIVE LOAD: 40 PSF. (INCLUDES DECKS, PATIOS, AND PORCHES) BASIC WIND VELOCITY: 90 MPH SEISMIC DESIGN CATEGORY: B BEARING WALLS WITH LIGHT FRAME WALLS AND WOOD STRUCTURAL PANELS.

SUBDIVISION:

LOT #:.
RELEASED:.

TABLE OF CONTENTS	
SHEET	DESCRIPTION
1	FRONT & SIDE ELEVATIONS
2	SIDE & REAR ELEVATIONS
3	SLAB/FOUNDATION PLAN
4	1st FLOOR PLAN
5	2nd FLOOR PLAN
6	2nd FLOOR FRAMING PLAN
7	CEILING FRAMING PLAN
8	ROOF PLAN
9	1st FLOOR ELECTRICAL PLAN
10	2nd FLOOR ELECTRICAL PLAN
11	MISCELLANEOUS DETAILS



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CLIENT INFORMATION:



275 WASHINGTON AVE.
MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.
Front & Side Elev.

DESIGNED BY: C.SAMUDA 07/23/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

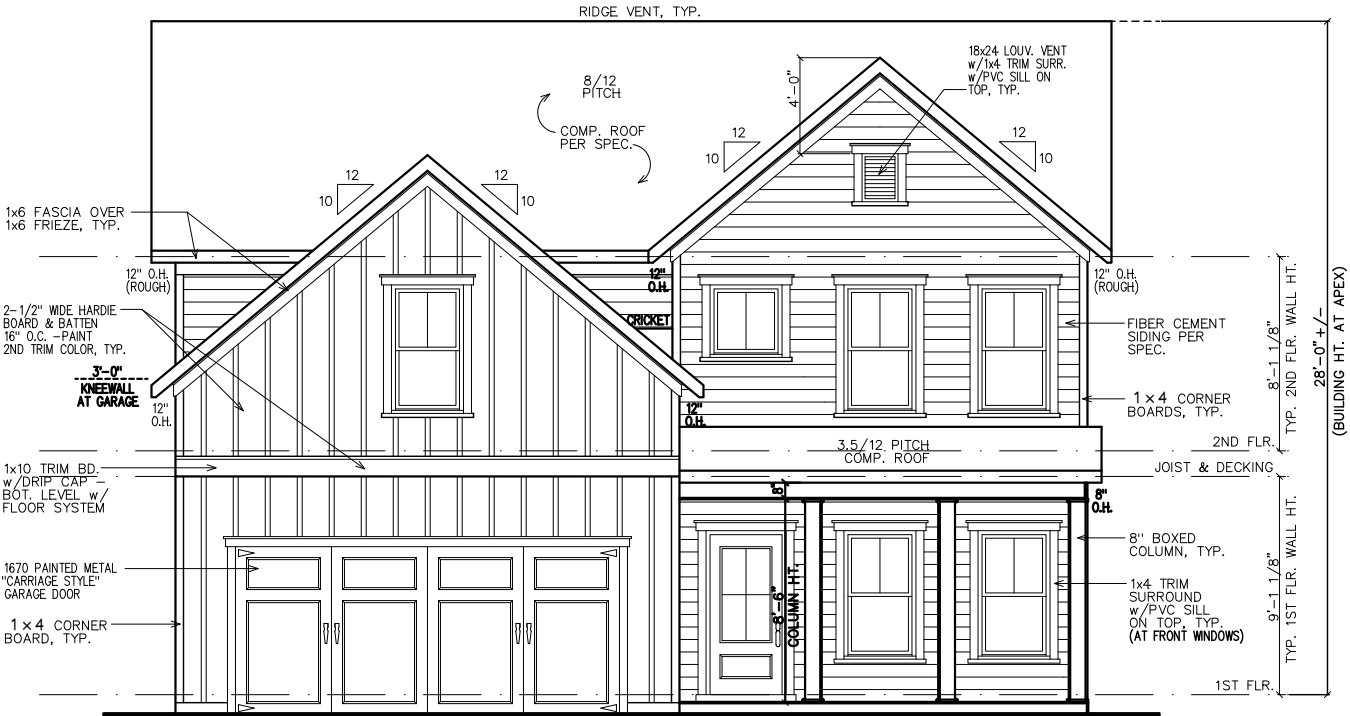
20-1045

REVISIONS:

No.	Date	Revisions	App.
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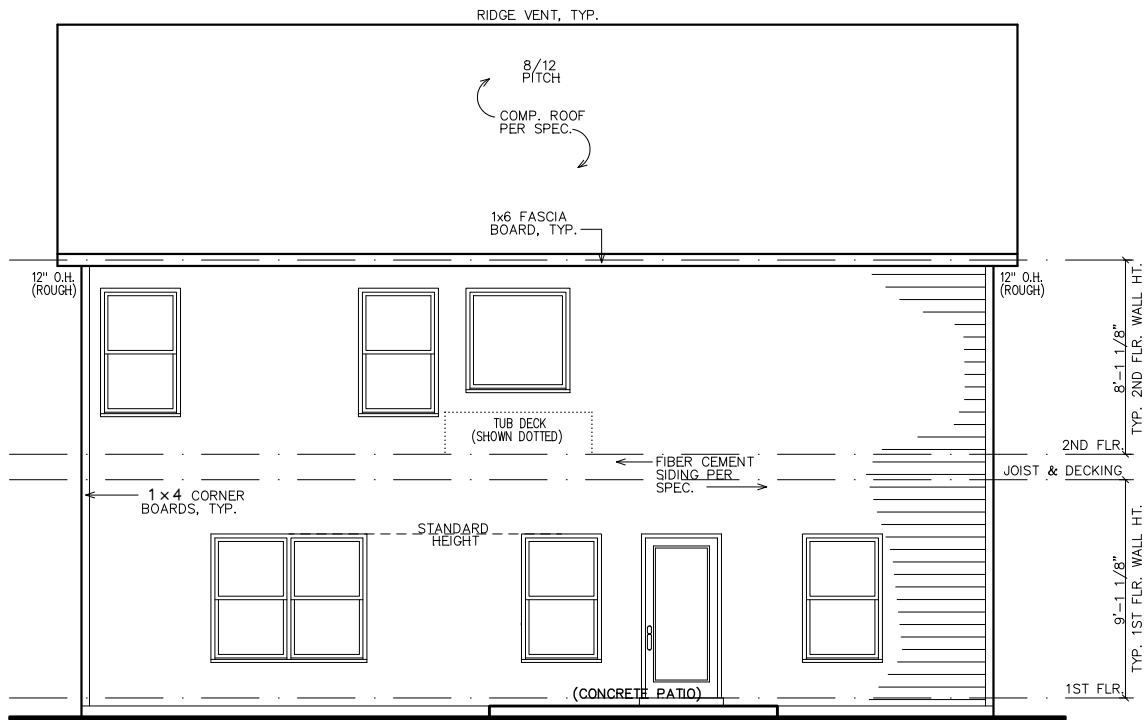
SHEET NUMBER:

1



NOTE:
GRADE LEVEL IS SHOWN
APPROXIMATE. ELEVATION
SHOWN MAY VARY SLIGHTLY.

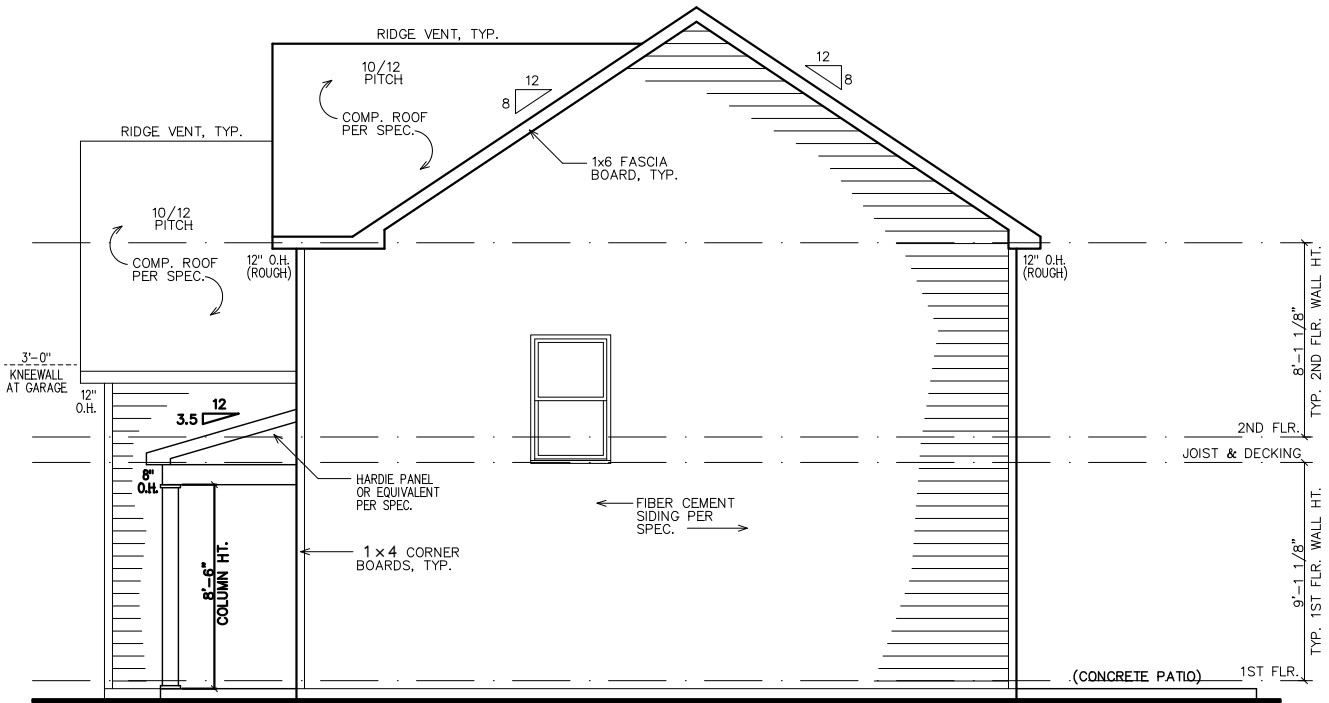
FRONT ELEVATION



REAR ELEVATION

STEPS DN.
TO GRADE
-PER SITE

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.



RIGHT ELEVATION

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.

STEPS DN.
TO GRADE
-PER SITE

SUBDIVISION:

LOT #:

RELEASED:



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CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.
Side & Rear Elev.

DESIGNED BY: C.SAMUDA 07/23/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1045

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SHEET NUMBER:

2

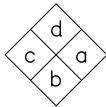
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4

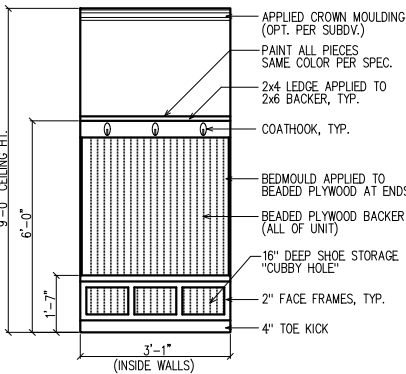
DETAIL NUMBER

9

SHEET NUMBER



INTERIOR
ELEVATION
KEY



ELEVATION VIEW

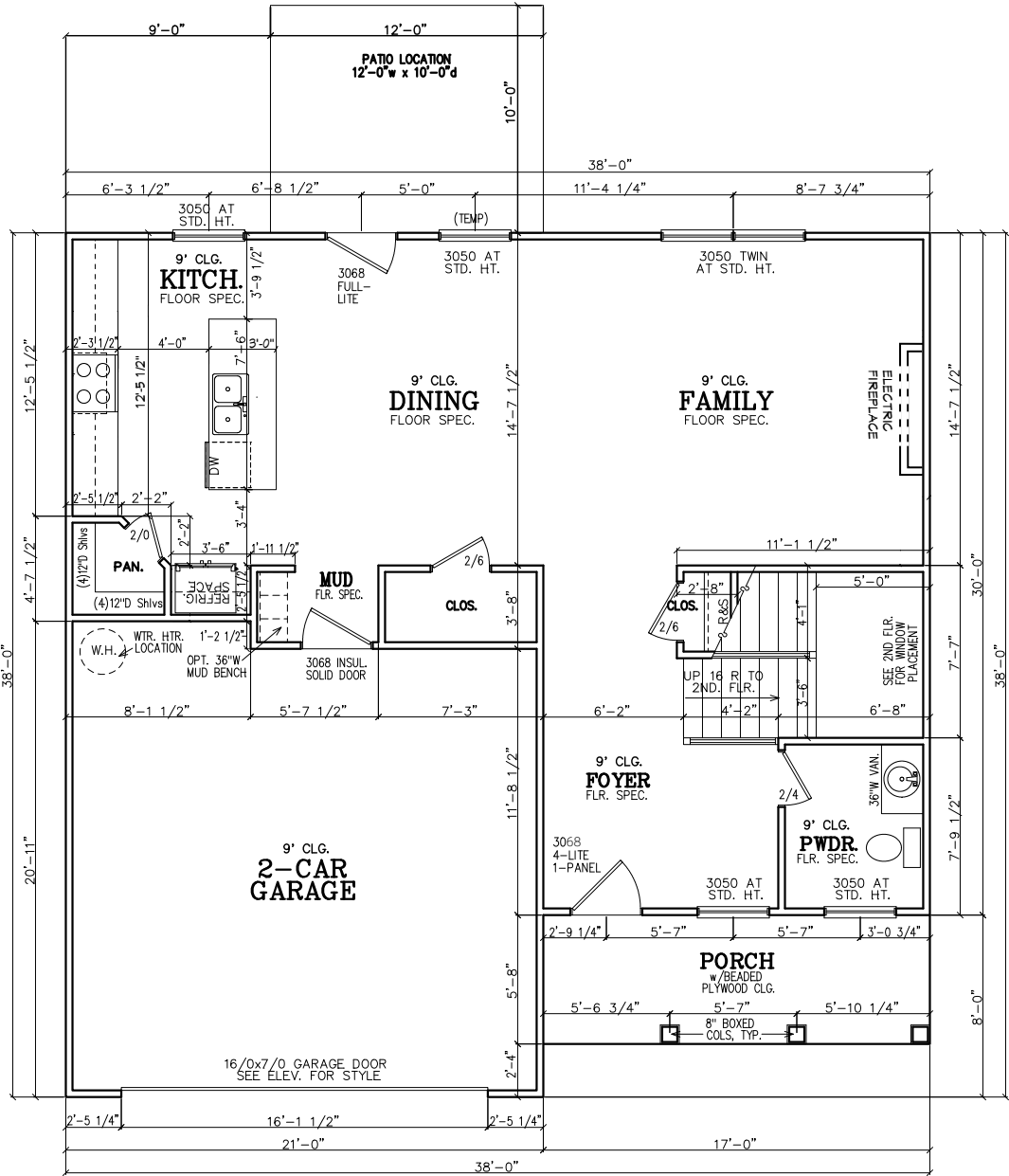
1 OPT. MUD ROOM BUILT-IN
4 SC: N.T.S.

FIRST FLOOR NOTES:
ALL 1ST FLR. CEILING HTS. TO BE CONTINUOUS 9'-0" U.N.O. ALL DOORS TO BE "80 HIGH U.N.O. ALL 1ST FLR. WINDOWS TO BE AT STD. (83") OR TRANS.(95") HDR. HT. U.N.O.

INSULATION NOTES:
1. WALL INSULATION SHALL BE A MINIMUM OF R-13.
2. CEILING INSULATION SHALL BE A MINIMUM OF R-38.
3. SLAB INSULATION PER CODE. *ALL UNLESS NOTED OTHERWISE*

NOTE—ALL ANGLES ON THIS PLAN ARE 90deg.OR 45deg U.N.O.

FRAMING NOTE:
REFER TO FLOOR/CLG DRAWINGS TO VERIFY ALL ALL SIZES AND SPACING PRIOR TO CONSTRUCTION.



SUBDIVISION:

LOT #:.
RELEASED:.



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MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.
First Floor Plan

DESIGNED BY: C.SAMUDA 07/23/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1045

REVISIONS:

No.	Date	Revisions	App.
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SHEET NUMBER:

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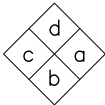
LEGEND

4

9

DETAIL NUMBER

SHEET NUMBER



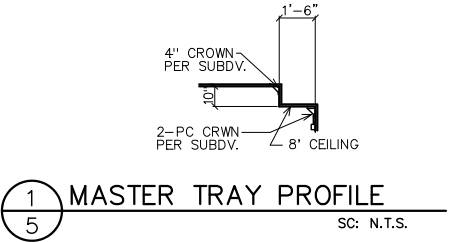
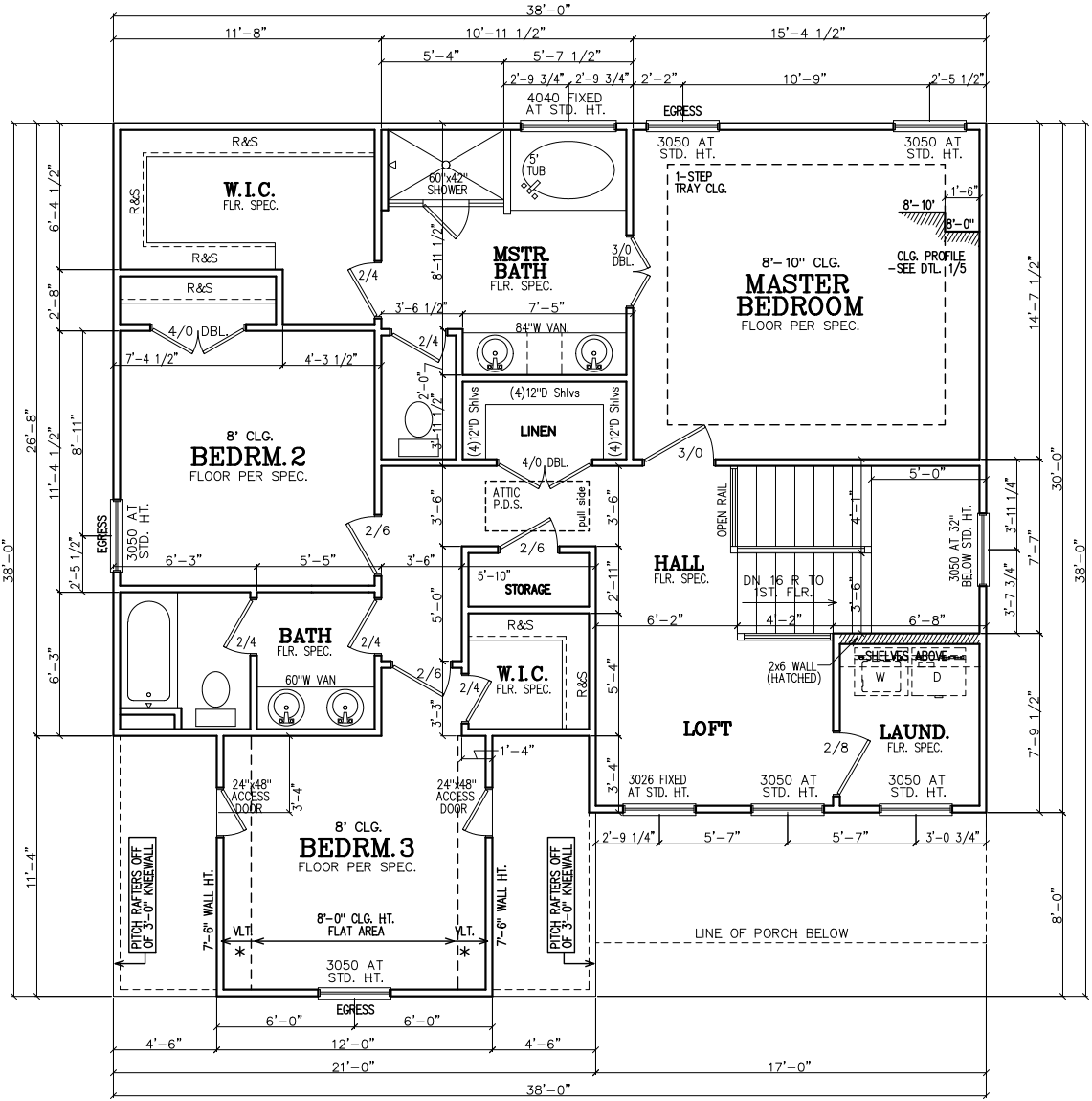
INTERIOR
ELEVATION
KEY

SECOND FLOOR NOTES:
ALL 2ND FLR. CEILING HTS. TO BE CONTINUOUS 8'-0" U.N.O. ALL DOORS TO BE 80" HIGH U.N.O. ALL 2ND FLR. WINDOWS TO BE AT STD.(83") HDR. HT. U.N.O.

INSULATION NOTES:
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2. CEILING INSULATION SHALL BE A MINIMUM OF R-38.
3. SLAB INSULATION PER CODE. *ALL UNLESS NOTED OTHERWISE*

NOTE-ALL ANGLES ON THIS PLAN ARE 90deg.OR 45deg U.N.O.

FRAMING NOTE:
REFER TO FLOOR/CLG DRAWINGS TO VERIFY ALL ALL SIZES AND SPACING PRIOR TO CONSTRUCTION.



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MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.

Second Floor Plan

DESIGNED BY: C.SAMUDA 07/23/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1045

REVISIONS:

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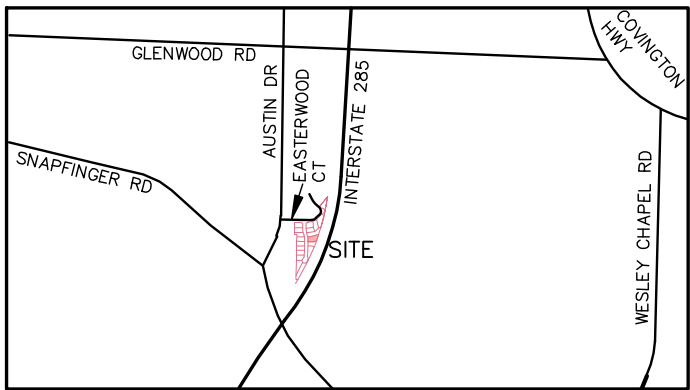
SHEET NUMBER:

5

NOTE:

THE PURPOSE OF THIS MAP IS FOR ACQUIRING BUILDING VARIANCES TO CONSTRUCT A HOUSE ON THE LOT SHOWN.

FOR BOUNDARY REFERENCE EASTERWOOD PLACE FINAL PLAT BY THE NORTHLAND COMPANY, INC. DATED 10-20-05 LAST REVISED 10-19-06 AND RECORDED IN PB. 180, PG. 70. THIS PLAT CURRENTLY HAS BEEN REVISED AND RESUBMITTED TO DEKALB COUNTY FOR APPROVAL. PROPERTY LINES SHOWN HEREON REFLECT PLAT AWAITING APPROVAL.



VICINITY MAP – NOT TO SCALE

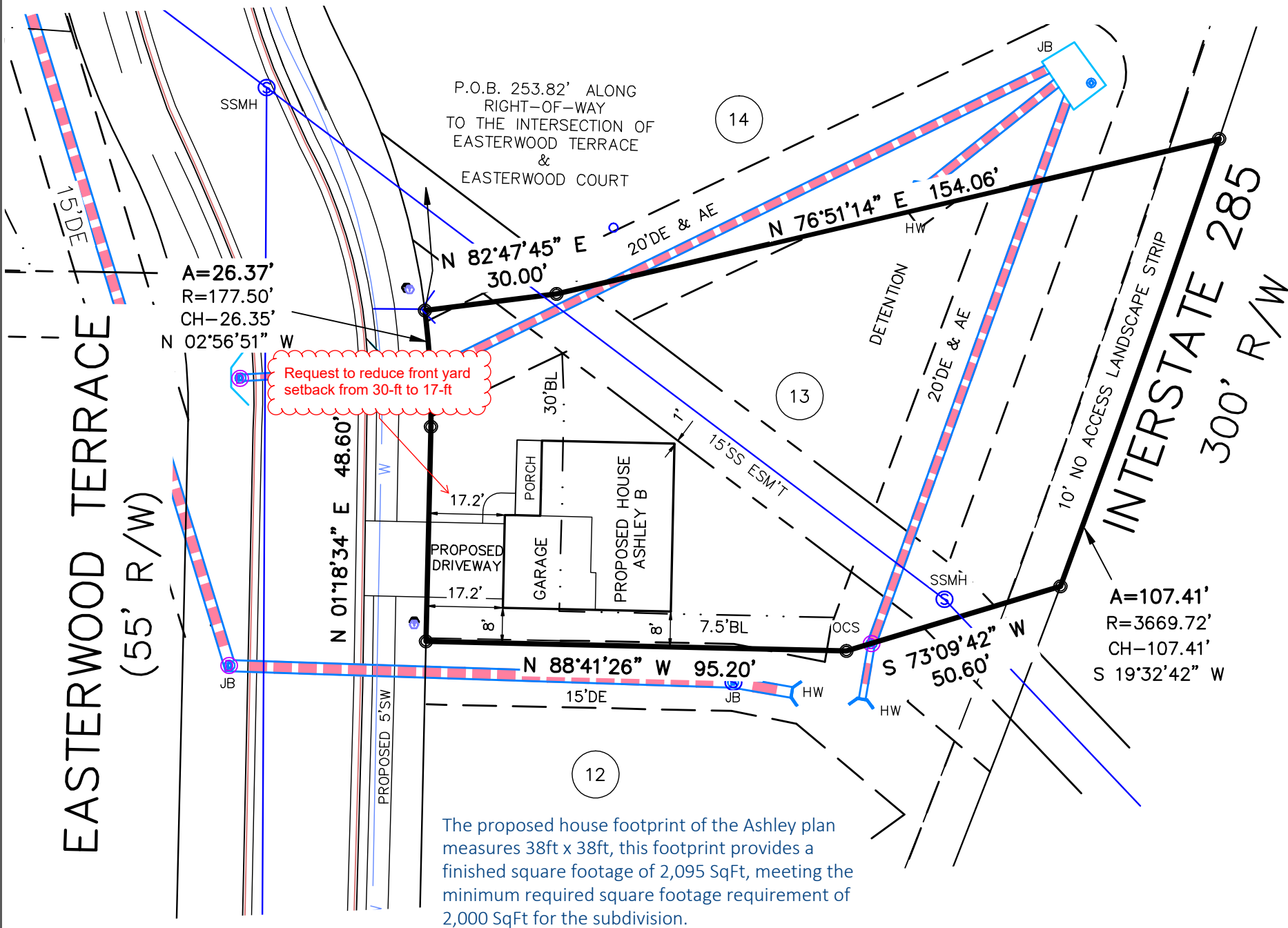
FLOOD STATEMENT:

"FIA OFFICIAL FLOOD HAZARD MAP" COMMUNITY No. 130065, MAP NUMBER 13089C0151J, MAP ZONE 'X', PANEL 0151 J, DATED 05-16-2013, SHOWS THIS PROPERTY NOT TO BE IN A DESIGNATED BASE FLOOD AREA.

SETBACKS: FRONT = 30 FT
SIDE = 7.5 FT
REAR = 40 FT

IMPERVIOUS CALCULATIONS:

HOUSE – 884 SF
GARAGE – 424 SF
PORCH – 96 SF
WALK, DRIVEWAY, AC – 365 SF



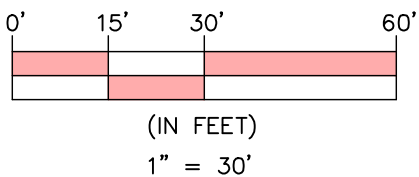
The proposed house footprint of the Ashley plan measures 38ft x 38ft, this footprint provides a finished square footage of 2,095 SqFt, meeting the minimum required square footage requirement of 2,000 SqFt for the subdivision.

LEGEND:

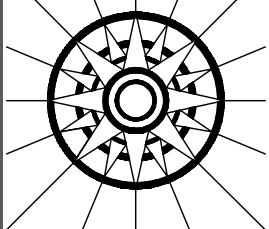
- | | |
|-------------------------------|--------------------------------|
| BOC – BACK OF CURB | #3RB – 3/8" REBAR |
| BL – BUILDING LINE | #4RB – 1/2" REBAR |
| CB – CATCH BASIN | #5RB – 5/8" REBAR |
| CH – CHORD | AI – ANGLE IRON |
| CL – CENTERLINE | CT – CRIMP TOP |
| CMP – CORRUGATED METAL PIPE | OT – OPEN TOP |
| CONC. – CONCRETE | SR – SOLID ROD |
| CONC.MON. – CONCRETE MONUMENT | JB – JUNCTION BOX |
| DE – DRAINAGE EASEMENT | LLL – LAND LOT LINE |
| DS – DOWNSPOUT | A – LENGTH OF ARC |
| DI – DROP INLET | LP – LIGHT POLE |
| EOP – EDGE OF PAVEMENT | N/F – NOW OR FORMERLY |
| EX – EXISTING | PP – POWER POLE |
| FH – FIRE HYDRANT | R – RADIUS |
| FLOW LINES | RCP – REINFORCED CONCRETE PIPE |
| GM – GAS METER | RTW – RETAINING WALL |
| GV – GAS VALVE | R/W – RIGHT-OF-WAY |
| GW – GUY WIRE | C/O – SANITARY SEWER CLEANOUT |
| HW – HEADWALL | SSE – SANITARY SEWER EASEMENT |
| HD – HOUSE DRAIN | SSMH – SANITARY SEWER MANHOLE |
| IPF – IRON PIN FOUND | TBM – TEMPORARY BENCH MARK |
| IPS – IRON PIN SET | TMH – TELEPHONE MANHOLE |
| | WM – WATER METER |
| | WV – WATER VALVE |



GRAPHIC SCALE



TASO & ASSOCIATES, LLC
LAND SURVEYORS



3330 Cobb Parkway
Suite 324 – PMB 355
Acworth, Georgia
30101 678-581-0102
tasosurvey@yahoo.com

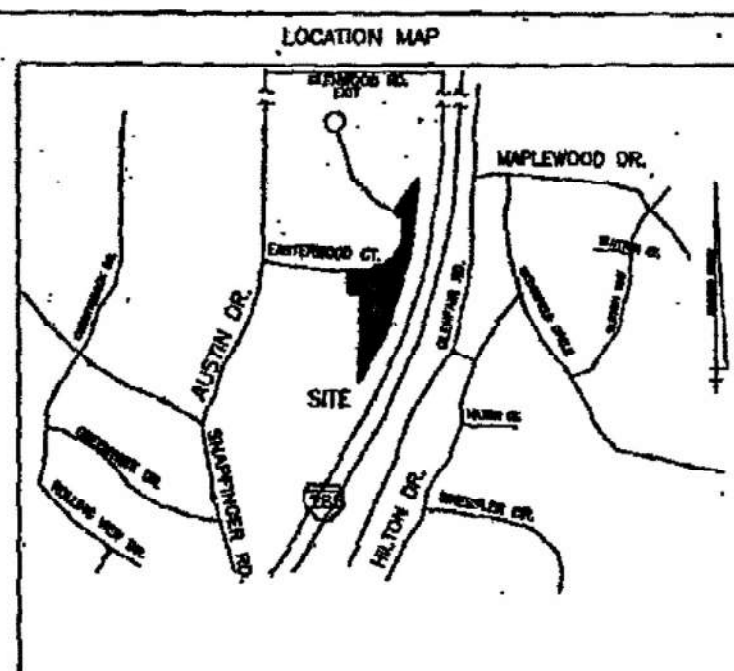
PREPARED FOR:
CREATE HOMES, LLC
PO BOX 758
MARIETTA, GA. 30061

LOT SUMMARY:

ADDRESS: 2072 EASTERWOOD TERRACE
LOT SIZE: 14,265 S.F. – 0.327 ACRE
HOUSE TYPE: ASHLEY B
24HR. CONTACT: ZACH BROOKS 678-978-2568

VARIANCE MAP FOR:

LOT: 13 BLOCK: PHASE: UNIT:
SUBDIVISION: EASTERWOOD PLACE
LAND LOT: 157 DISTRICT: 15th SECTION:
DEKALB COUNTY, GEORGIA
SCALE: 1" = 30'
DATE: 05-09-2022
REVISED:
JOB NO. 20-0059 LOT 13 VA



THIS IS TO CERTIFY THAT THIS FINAL PLAT COMPLIES WITH
ALL COUNTY ZONING, ENVIRONMENTAL, AND SUBDIVISION
ORDINANCES AND REGULATIONS AND ALL APPLICABLE
STATE AND FEDERAL LAWS

DATED THIS 2nd DAY OF May, 2007
Patricia Spivey
 DIRECTOR, DEVELOPMENT DEPARTMENT

THIS IS TO CERTIFY THAT THIS FINAL PLAT COMPLIES WITH
ALL COUNTY ZONING, ENVIRONMENTAL, AND SUBDIVISION
ORDINANCES AND REGULATIONS AND ALL APPLICABLE
STATE AND FEDERAL LAWS

DATED THIS 2nd DAY OF May, 2007
Patrick Byrne
 DIRECTOR, PLANNING DEPARTMENT

STORM PIPE DATA						
STAKE	PIPE	INVERT	SIZE	TYPE	LENGTH	SLOPE
D5	JB	894.90	30"	CMP	178'	1.1%
D4	DI	892.99	30"	CMP	151'	1.1%
D3	JB	891.38	30"	CMP	111'	1.3%
B2	JB	889.91	36"	CMP	11'	6.5%
D1	HW	889.20				
D27	DVCB	892.49	18"	CMP	27'	1.5%
D26	DVCB	892.08	24"	CMP	8'	11.4%
D26A	JB	891.17	48"	RCP	151'	0.5%
D23	JB	888.99	48"	RCP	128'	0.6%
D22	DCS	888.22	18"	CMP	11'	8.0%
D21	HW	888.37				
D17	SVCB	894.66	18"	RCP	27'	3.2%
D16	SVCB	893.80	18"	RCP	8'	4.1%
D16A	JB	893.47	48"	RCP	50'	0.6%
D13	DI	889.46	48"	RCP	146'	0.8%
D12	DCS	888.29	18"	RCP	10'	1.1%
D11	HW	888.18				
D24	HW	890.13	18"	CMP	35'	2.5%
D23	DI	889.25				
D4A	HW	894.46	18"	CMP	75'	2%

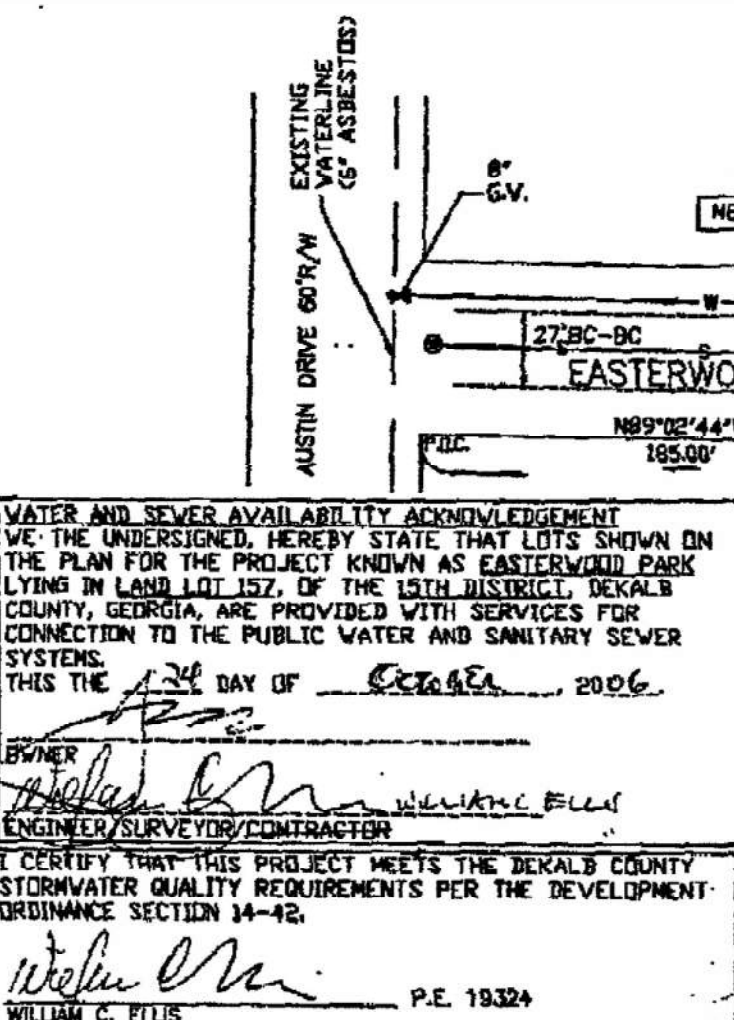
SANITARY SEWER DATA				
MANHOLE	STATION	TOP	INVERT IN	INVERT OUT
32	4+33	694.19	692.23	692.13
31	0+00	696.76	693.96	697.66
PI	CL STATION			
1	0+00 CL BROWNS MILL ROAD			
2	1+38.02 EASTERWOOD TERRACE		0+00	
3	2+88.36 EASTERWOOD TERRACE		0+00	
RP	CL STATION			
1	2+13.12 EASTERWOOD TERRACE			
2	2+13.12 EASTERWOOD TERRACE			

LOT LINE DATA		
LINE	LENGTH	BEARING
L1	32.30	S00°57'16"E
L2	73.00	S00°56'16"E
L3	90.00	S00°57'16"E
L4	39.41	S01°00'00"E
L5	75.16	N01°00'00"E
L6	75.00	N01°00'00"E
L7	75.00	N01°00'00"E
L8	75.00	N01°00'00"E
L9	93.44	N01°00'00"E
L10	257.27	N01°00'00"E
L11	54.73	N01°00'00"E
L12	108.94	S89°02'44"E
L13	50.76	N45°05'44"E
L14	217.36	N08°41'16"E
L15	31.00	N89°36'00"E
L16	36.25	N89°36'00"E
L17	3.86	N89°05'24"E
L18	29.53	N61°59'26"E
L19	62.38	S88°03'00"E
L20	30.44	N72°52'22"E
L21	70.56	M88°58'00"E
L22	123.34	S88°55'00"E
L23	123.24	S89°03'00"E
L24	503.17	N62°54'36"E
L25	31.02	N00°57'16"E
L26	48.63	S01°00'00"E
L27	31.27	S00°57'16"E
L28	49.66	N01°00'00"E
L29	73.00	S01°00'00"E
L30	30.59	S01°00'00"E
L31	73.00	N00°57'16"E
L32	123.34	S89°06'44"E
L33	106.67	S89°02'44"E
L34	136.70	S89°05'00"E
L35	73.00	N01°00'00"E
L36	133.34	N88°55'00"E
L37	75.00	N01°00'00"E
L38	123.34	S88°55'00"E
L39	92.39	N88°06'44"E
L40	62.44	S01°00'00"E
L41	30.00	S01°00'00"E
L42	58.73	S89°02'44"E
L43	74.73	N01°57'16"E
L44	106.94	N00°59'47"E
L45	73.73	N15°39'01"E
L46	84.10	N50°41'46"E
L47	26.34	N01°00'00"E
L48	58.42	N66°09'33"E
L49	114.85	N11°36'40"E
L50	154.06	N76°37'41"E
L51	30.00	N86°34'11"E
L52	30.00	S88°03'00"E
L53	75.00	S01°00'00"E
L54	30.00	S89°54'15"E
L55	62.98	S88°55'00"E
L56	41.76	N39°56'00"E
L57	181.90	N01°00'00"E
L58	31.99	N89°11'42"E
L59		S89°03'00"E

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DATA ANGLE
C1	15.00	23.56	21.21	S 44°05'12" E	90°00'00"
C2	172.62	44.44	44.81758	N 44°11'58" E	142°02'41"
C3	177.50	44.43	44.32	N 20°34'42" W	14°20'33"
C4	122.50	36.12	35.89	S 18°17'08" E	168°47'47"
C5	122.50	25.49	25.44	S 04°35'36" E	178°50'12"
C6	15.00	17.83	16.48	N 75°00'00" E	68°00'00"
C7	50.00	38.31	35.05	N 35°30'12" E	64°58'55"
C8	50.00	45.59	43.98	N 27°58'00" E	57°08'43"
C9	50.00	30.59	28.70	S 28°01'45" W	103°10'35"
C10	353.81	13.05	53.00	N 01°24'24" E	98°35'25"
C11	50.00	30.58	28.70	S 28°01'45" W	103°10'35"
C12	50.00	28.37	26.38	S 03°10'24" E	98°30'49"
C13	122.50	46.30	46.48	S 28°28'40" E	22°48'28"
C14	15.00	23.56	21.21	N 48°47'40" E	89°00'00"
C15	293.38	30.59	30.56	S 87°18'00" E	130°02'14"
C16	281.38	108.04	108.04	N 89°59'59" E	2°14'54"
C17	15.00	14.15	15.63	N 62°01'30" E	54°02'15"
C18	50.00	66.28	61.90	S 50°46'03" E	78°28'16"
C19	50.00	62.44	74.52	S 34°48'41" E	84°28'17"
C20	15.00	15.00	9.5713	N 89°59'59" E	2°14'54"
C21	3688.72	307.81	207.12	N 10°46'02" E	104°48'21"
C22	3688.72	213.63	213.80	S 14°44'36" E	03°20'07"
C23	3688.72	132.53	132.53	S 17°25'46" W	02°40'08"
C24	3688.72	107.41	107.61	S 19°19'08" E	07°40'37"
C25	3688.72	81.63	81.63	N 89°59'59" E	03°20'07"
C26	3568.72	230.34	230.27	S 23°33'30" E	04°28'28"
C27	177.50	82.80	82.57	S 17°35'45" E	20°18'10"
C28	3688.72	338.43	338.31	S 28°45'50" W	09°17'02"
C29	281.38	75.22	75.00	S 64°58'28" W	15°19'03"

CL CURVE TABLE							
C32	150.00'	75.10'	74.32'	N 13°23'21" W	28°41'15"		
C33	150.00'	75.44'	74.65'	S 13°19'28" E	28°48'59"		
C34	237.28'	85.00'	84.53'	N 05°13'45" W	31°15'58"		

CL LINE TABLE		
LINE	LENGTH	BEARING
L60	138.02	S00°57'16" E
L61	25.00	S 77°48'04" E
L62	205.40	N07°05'50" W



EASEMENT "1"

RECORDED IN DB 20020 PG 22

DATE 6/7/07

I CERTIFY THAT THIS PLAN HAS BEEN APPROVED BY ALL AFFECTED DEPARTMENTS
AND COMPLIES WITH ALL ZONING, ENVIRONMENTAL AND SUBDIVISION
REQUIREMENTS.

THIS 1st DAY OF May 2007.

[Signature]
DIRECTOR OF PUBLIC WORKS
CITY OF CHICAGO

THIS PLAT HAS BEEN SUBMITTED TO AND ACCEPTED BY THE CHIEF EXECUTIVE OFFICER OF DEKALB COUNTY, GEORGIA AND HAS BEEN APPROVED AS REQUIRED BY STATE LAW AND COUNTY CODES AS MEETING ALL CONDITIONS PRECEDENT TO THE FILING OF THE SUPERIOR COURT OF THIS CIRCUIT.

DATED THIS 30 DAY OF MAY
BY DIRECTOR: D. J. S. S.
VERNON JONES
CHIEF EXECUTIVE OFFICER
DEKALB COUNTY, GEORGIA

I CERTIFY THAT THE DEVELOPER HAS COMPLIED WITH THE POTABLE WATER REQUIREMENTS AND THE SANITARY SEWER REQUIREMENTS OF THE COUNTY.
THIS 26th DAY OF AUGIL, 2007

SURVEYORS AND OWNERS ACKNOWLEDGEMENTS
(1) Surveyor's acknowledgment

In my opinion, this plot, drawn by me or under my supervision, was made from aerial survey, and is a correct representation of the land plotted and has been prepared in conformity with the minimum standards and requirements of law.

(2) Owner's acknowledgment.

[illegible][illegible]

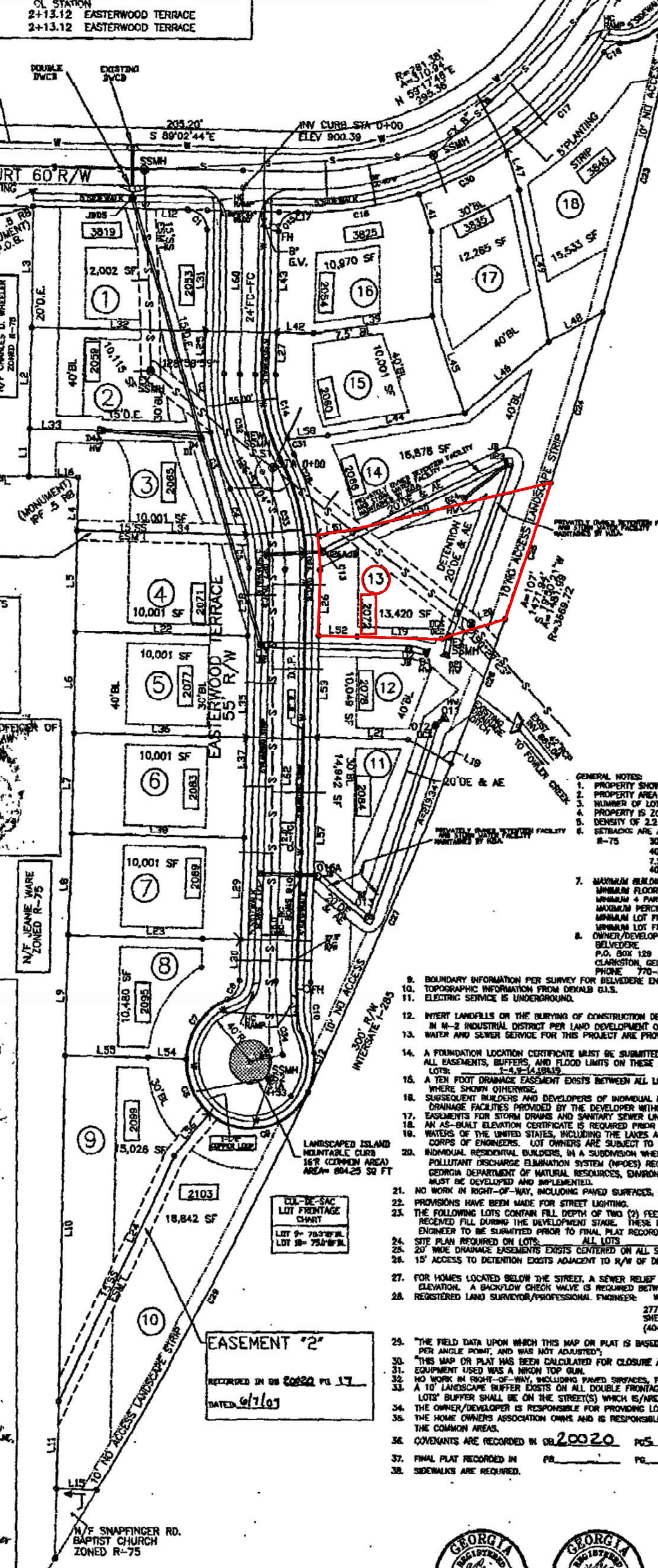
In witness whereof, I have hereunto set my hand this 24 day of October 2006

WFO BERNARD B. ROSE
Franklin D. Smith

D. Z. BONNER, PRES.
 ...

SECRETARY, BRANCH L

[Faint circular stamps are visible at the bottom of the page.]



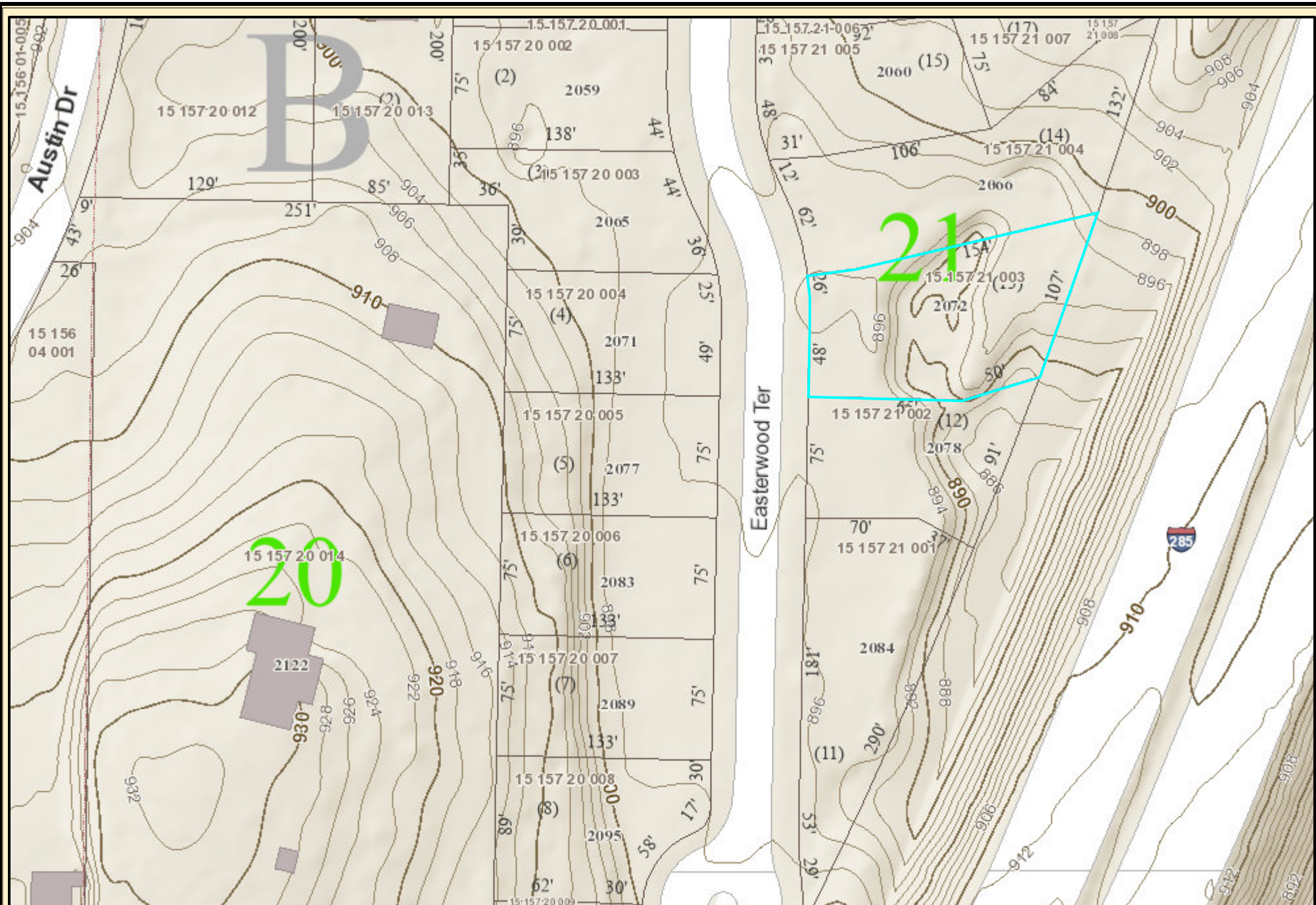
NOT LOCATED IN A FLOOD HAZARD PER FIRM PANEL, 13069SD151H DATED 5-7-01.
5 10.0 ACRES.
IS 10.
CD R-70
13069S PER ACRE.
FOLLOWS:
FRONT BUILDING SETBACK
BUILDING SETBACK ALONG MINOR THOROUGHFARE
SIDE FOR SINGLE FAMILY DETACHED DWELLINGS
REAR YARD
HEIGHT 35'
AREA 20000 SF.
NO SPRINKLER FOR LOT
COVERAGE OF LOT COVERAGE IS 35
ADVANTAGE ON NON CUL-DE-SAC LOTS IS 75' AT THE FRONT BUILDING SETBACK
ADVANTAGE ON CUL-DE-SAC LOTS IS 75' AT THE FRONT BUILDING SETBACK
05/04/2002
13-1228
PROPOSES, INC. BY THE NORTHLAND CO., INC. DATED 6/20/02
THE TREE STUMPS AND TOPS OR ANY OTHER REFUSE IS PROHIBITED EXCEPT
AS PROVIDED CHAPTER 14, ARTICLE 8, SECTION 14-37 (b) (8).
ISSUED BY DEKALB COUNTY.
IS AND AROUND THE PERMETER BOUNDARY LINES OF THE SUBDIVISION EXCEPT
THEY SHALL MAKE PROVISIONS TO CONDUCT LOT GENERATED SURFACE WATERS TO THE
OR UNAUTHORIZED DISCHARGE INTO ADJACENT PROPERTIES.
SHALL BE CENTERED ON THE PIPES
FRAMING ON LOTS. (UNCLD)
IN THE WETLANDS, SHOWING ON THE PLAT ARE UNDER THE JURISDICTION OF THE ARMY
QUALITY BY LAW FOR RESTORATION TO THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
A NOTICE OF INTENT (NOI) IS REQUIRED TO COMPLY WITH FEDERAL NATIONAL
MENTALS, MUST ALSO FILE A (NOI) AND A NOTICE OF TERMINATION (NOT) WITH THE
NATIONAL PROTECTION DIVISION (NPD). A STORM WATER POLLUTION PREVENTION PLAN
SUBMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE DEKALB COUNTY PUBLIC WORKS DEPARTMENT
OR GREATER THAN THE ROAD RIGHT-OF-WAY AND REAR BUILDING LINE AND HAVE
COMPARISON CERTIFICATION SEALED BY A REGISTERED PROFESSIONAL GEOTECHNICAL
G. LOTS: 13069S
DITCHES, AND STREAMS.
LOCATED ROAD.
VALVE IS REQUIRED ON CLEAN-OUT OUTSIDE EACH BUILDING AND BELOW THE LOWEST FLOOR
IS CLEAN-OUT AND THE STRUCTURE.
AMANDA C. ELIAS
AMSCOT COURT
MABLE, GA. 30078
298-5456
HAS A CLOSURE PERCENTAGE OF ONE FOOT IN MIN FEET AND AN ANGULAR ERROR OF 0.35
IS A FLOOD TO ACCURATE WITHIN ONE FOOT IN MIN FEET).
NOTED WITHOUT WRITTEN AUTHORIZATION FROM DEKALB COUNTY PUBLIC WORKS DEPARTMENT.
LOTS. EXTERNAL LOTS SHALL HAVE THE BUFFER ON THE EXTERNAL STREET FRONTAGE. INTERNAL
NOT THE PRIMARY ACCESS STREET(S) OR THE STREET TO THE REAR OF THE HOUSE.
SIDE AND SHORT SIDE WATER SERVICE LINES EXTENDED PAST OR OUTSIDE THE SIDEWALK
FOR MAINTENANCE OF THE PRIMATELY OWNED DETENTION FACILITY & STORM WATER FACILITY, AND
27-51 DATED 6/17/07 AMENDMENT RECORDED IN DB2002
PG 375 DATED 6/11/07

FINAL PLAT FOR:		
EASTERWOOD PARK		
BELVEDERE ENTERPRISES, INC.		
SCALE: 1"=50'	LAND LOT 157 DIST 15	FINAL VERSION
DATE: 10/20/05	DEKALB COUNTY GA.	10/19/06
THE NORTHLAND COMPANY, INC.		
P. O. BOX 825		
DECATUR, GEORGIA 30031		
TELEPHONE (404) 298-5445		
		REVISIONS
		SHEET 1 OF 1

Plat Book 188 Pg 70
Filed and Recorded Jun-12-2007 12:06pm
2007-0112890
Linda Carter
Clerk of Superior Court
DeKalb County, Georgia



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2072 Easterwood Terrace

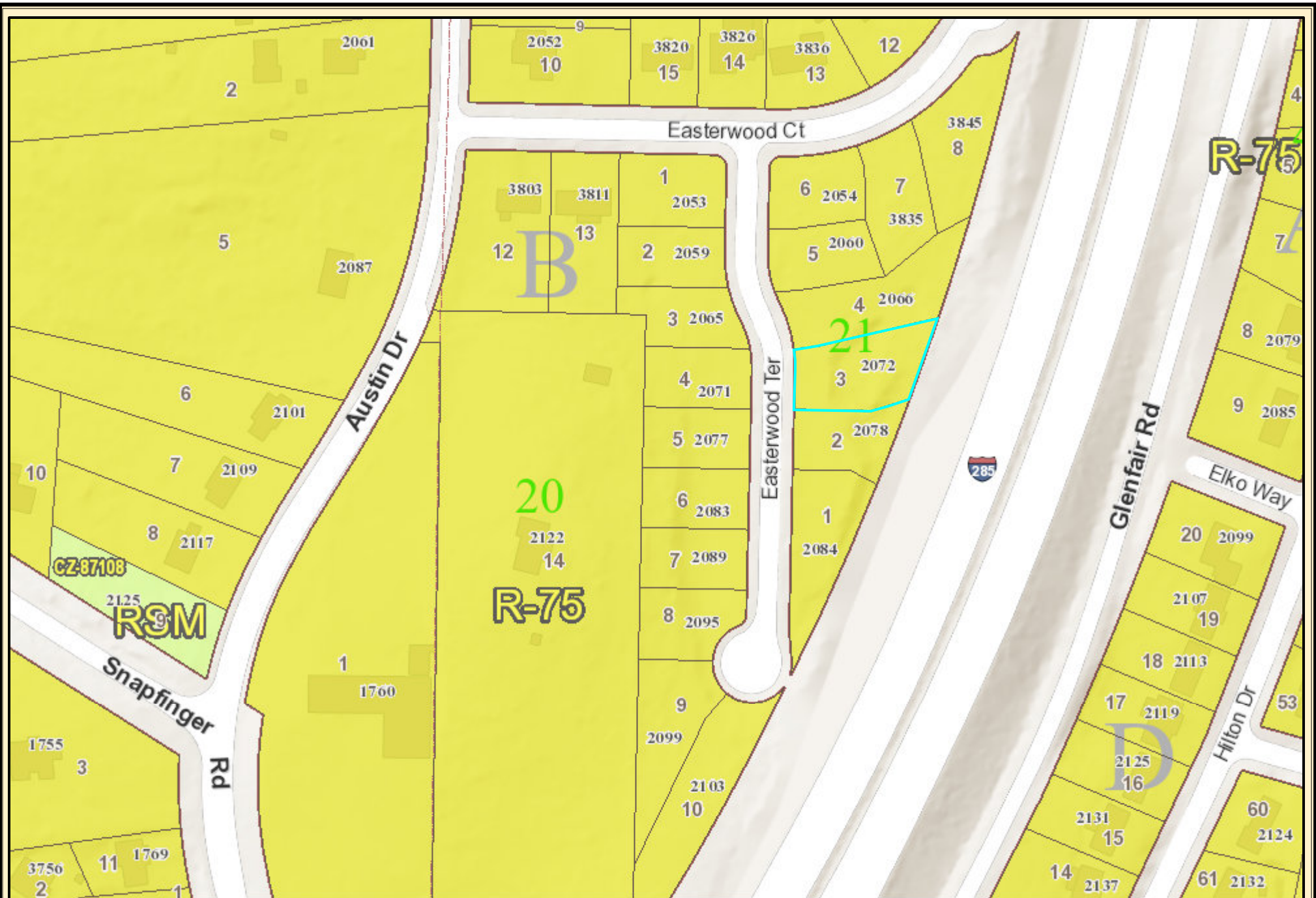
0 0.005 0.01 0.02 0.03 0.04 mi

Date Printed: 5/24/2022



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2072 Easterwood Terrace

0 0.0075 0.015 0.03 0.045 0.06
mi

Date Printed: 5/24/2022



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