



Michael L. Thurmond
Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street
Decatur, GA 30030

Wednesday, July 13, 2022, at 1:00 PM

Planning Department Staff Analysis



Andrew Baker, AICP
Director

N4. Case No: A-22-1245839 Parcel ID(s): 15-157-21-001

Commission District 03 Super District 07

Applicant: Create Homes, LLC
275 Washington Avenue, NE
Marietta, GA 30060

Owner: Create Homes, LLC
275 Washington Avenue, NE
Marietta, GA 30060

Project Name: 2084 Easterwood Terrace- Development

Location: The property is located on the east side of Easterwood Terrace, approximately 260 feet south of the intersection with Easterwood Court, at 2084 Easterwood Terrace, Decatur, GA 30032.

Request: Section 2.2.1 to reduce the front yard setback from 30 feet to 19 feet and to reduce the rear setback from 40 feet to 33 feet to construct a new, single-family, detached home within the R-75 (Residential Medium Lot-75) Zoning District.

Staff Recommendation: Denial.

STAFF FINDINGS:

Variances from the provisions or requirements of this chapter other than variances described in [section 7.5.4](#) shall be authorized only upon making all of the following findings in writing:

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The Easterwood Park subdivision plat was approved and recorded in 2007. Although the lot meets the minimum lot requirements (area, width, setbacks) of the R-75 Zoning District, its triangular shape results in a constrained buildable area. While this may be exceptional, the approved, recorded plat illustrates the anticipated buildable area, thus, it is readily apparent that such a lot design would present development challenges.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested variance may go beyond the minimum necessary to afford relief. At a reduced size and with reasonable placement adjustments, the existing buildable area is still extremely limited. However, there may be alternatives such as requesting a greater rear setback encroachment and less in the front and/or a more custom designed home.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

Since Easterwood Terrace is presently undeveloped, placement of the first few homes is central to setting the residential setback consistency of the street. Setback consistency aides in establishing residential harmony and character along the street. One offset home may disturb the continuity of home placement along the street.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Strict application of the provisions and requirements of this chapter may cause an undue and unnecessary hardship. The existing buildable area is extremely limited. Thus, a unique, custom design may be required to work within the narrow buildable area.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The future land use designation of this property is Suburban (SUB). The Suburban character area recognizes single-family, detached homes as a preferred land use. Additionally, guidelines recommend compatible design and conformance to traditional neighborhood development patterns, when appropriate. The proposed home may be consistent with the goals of the *Comprehensive Plan*.

FINAL STAFF ANALYSIS:

The lot shape and rear drainage easement do present exceptional challenges for residential development of the subject property. However, the lot shape is a known hindrance. Additionally, the proposed home size and placement could be adjusted to reduce the minimum relief necessary. Therefore, staff recommends disapproval of this request.

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. _____

Applicant and/or
Authorized Representative Create Homes LLC

Mailing Address: 275 Washington Avenue NE

City/State/Zip Code: Marietta, GA 30060

Email: Zach@createyourhome.com

Telephone Home: 678-978-2568 Business: 678-978-2568

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Create Homes LLC

Address (Mailing): 275 Washington Avenue NE

Email: Zach@createyourhome.com

Telephone Home: 678-978-2568 Business: 678-978-2568

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 2084 Easterwood Terrace City: Decatur State: GA Zip: 30032

District(s): 15 Land Lot(s): 21 Block: _____ Parcel: 001

Zoning Classification: R-75 Commission District & Super District: 3 & 7

CIRCLE TYPE OF HEARING REQUESTED:

- **VARIANCE** (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

*** PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS. ***

TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT:

Date Received: _____ Fee Paid: _____

ZONING BOARD OF APPEALS APPLICATION AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 05/24/2022

Applicant:
Signature



DATE: _____

Applicant:
Signature

Create Homes

A LIMITED LIABILITY COMPANY

5/24/2022

DeKalb County Dept. of Planning and Sustainability
Zoning Boards of Appeals
330 Ponce De Leon Ave Suite #300
Decatur, GA 30030

**RE: Letter of Intent for Zoning Variance
Easterwood Park Subdivision
2084 Easterwood Terrace
Decatur, GA 30032
Parcel ID # 15 157 21 001**

Dear Board Members,

This correspondence is intended to serve as the Letter of Intent for requesting relief by variance under section 7.5.1 of the DeKalb County Zoning Board of Appeals, on behalf of Create Homes LLC (applicant) in regard to the above referenced property. Applicant is requesting a variance from the standards of 27-2.2 – Residential Zoning Districts: Dimensional Requirements; Sec. 2.2.1 – Dimensional Requirements; found in Table 2.2, Residential Zoning Districts Dimension Requirements.

The subject property is zoned R-75 and located in the Easterwood Park subdivision. Easterwood Park was developed and platted in 2007 but no new homes were built, the applicant purchased all lots in the subdivision in 2020. The subject property is currently vacant and owned by the Applicant.

For R-75 zoned lots, the required front setback from collector roads is 30 feet; the required rear setback is 40 feet. The Applicant is requesting 1) a reduction from the required 30 feet front setback to 19 feet; 2) a reduction from the required 40 feet rear setback to 33 feet, to allow for construction of a home that is consistent in size, shape, and character of the other homes in the neighborhood, which have also been constructed by applicant.

- (1) The subject lot has an extraordinary and exceptional physical condition created by the triangular lot shape, which was not created by the Applicant or previous Owner. The lot buildable area of the subject lot is not sufficient for the construction of a home that is consistent with the architectural style in the neighborhood and meets the minimum square footage (2,000 sf) requirements under the R-75 zoning. The strict application of the requirements of this chapter would deprive the Applicant from being able to build a home on the subject lot due to the area within the required setbacks not being sufficient for a house footprint to be of consistent architectural style and meet the minimum square footage requirements.

Create Homes

A LIMITED LIABILITY COMPANY

- (2) The requested variance is the minimum necessary to afford relief and allow for the placement of the proposed home. Applicant is proposing a house plan with the smallest footprint while remaining consistent with the size, shape, and architectural style of other homes in the neighborhood.
- (3) It is the opinion of applicant that granting of the requested variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located. Rather, it will allow for a home to be constructed with similar characteristics of the other homes in the neighborhood.
- (4) The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship by preventing the construction of a home that meets the minimum required square footage under the R-75 zoning and is compatible with other homes in the neighborhood.
- (5) The DeKalb County Comprehensive Plan classifies this property as Suburban, a single-family detached home is a compatible use under this classification. If granted, the variance would allow for the construction of a single-family detached home consistent with the size, shape and character of the neighborhood, and the DeKalb County Comprehensive Plan.

Sincerely,



Zach Brooks

Create Homes LLC
275 Washington Avenue NE
Marietta, GA 30060
Zach@createyourhome.com
(678) 978-2568

THE ASHLEY (B)



BUILDING CODE ANALYSIS

USE GROUP: SMALL ASSEMBLY (GROUP "A")

CONSTRUCTION CLASS: UNPROTECTED

EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOW SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

DESIGN LOADS: FLOOR LIVE LOAD = 40 PSF
DECKS = 40 PSF
FLOOR DEAD LOAD = 10 PSF
BASIC WIND SPEED = 90 MPH
STAIR LOADS = 40 PSF
ROOF LIVE LOAD = 20 PSF
LATERAL SOIL PRESSURE = 20 PCF (ASSUMED)

SQUARE FOOTAGES

1ST FLOOR	890 SQ. FT.
2ND FLOOR	1,205 SQ. FT.
TOTAL HEATED	2,095 SQ. FT.
FRONT PORCH	96 SQ. FT.
GARAGE	425 SQ. FT.
OTHER PORCHES	n/a SQ. FT.
TOTAL UNHEATED	521 SQ. FT.
OVERALL WIDTH	38' - 0"
OVERALL DEPTH	38' - 0"

SUBDIVISION:

LOT #: _____
RELEASED: _____

www.CreateYourHome.com

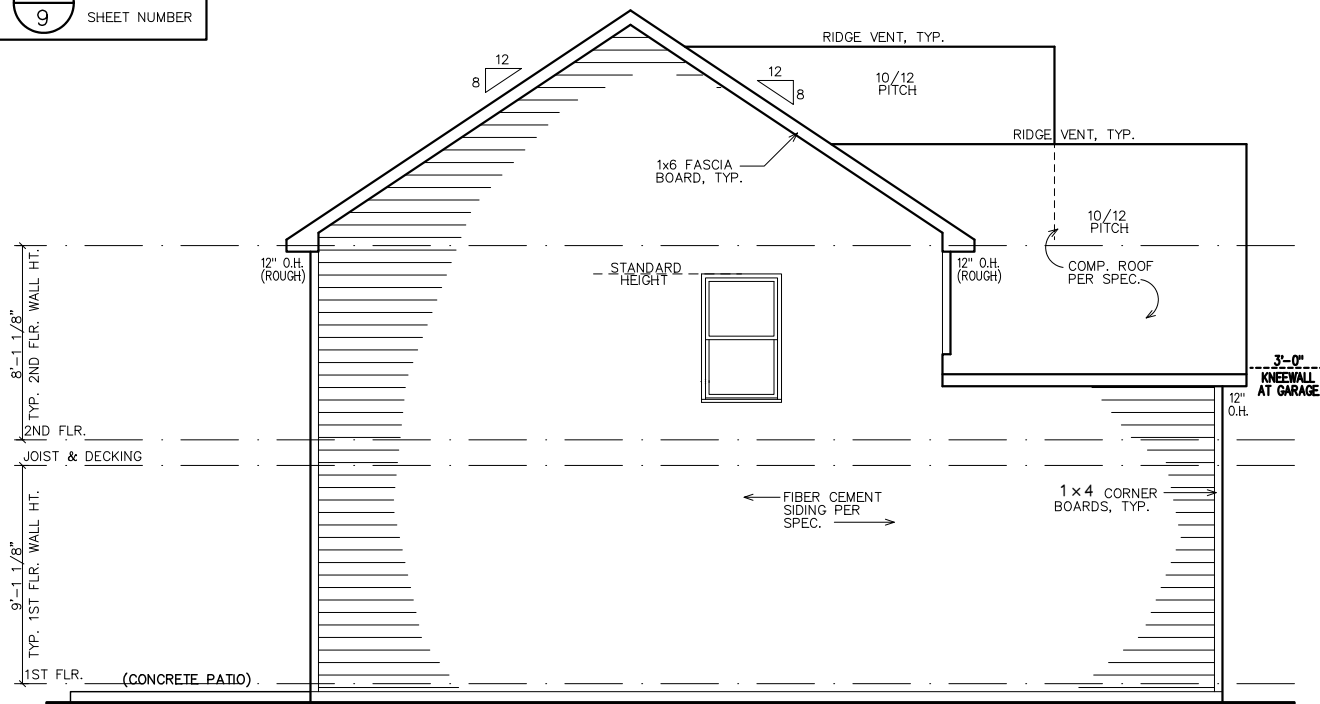
NOTE: THE DESIGNS DEPICTED IN THESE DRAWINGS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE NOT RELEASED TO THIRD PARTIES FOR REPRODUCTION OR ANY DERIVATIVE WORKS OR WORKING DRAWING PRODUCTION.

REVISIONS:	
REV No.	DATE:



COVER SHEET	
THE ASHLEY (B)	
TITLE	
DESIGNER:	DATE:
SHEET NO.	
C1	
SCALE:	
N.T.S	

4
9



STEPS DN.
TO GRADE
-PER SITE

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.

LEFT ELEVATION

SUBDIVISION:

LOT #:

RELEASED:

TABLE OF CONTENTS

SHEET	DESCRIPTION
1	FRONT & SIDE ELEVATIONS
2	SIDE & REAR ELEVATIONS
3	SLAB/FOUNDATION PLAN
4	1st FLOOR PLAN
5	2nd FLOOR PLAN
6	2nd FLOOR FRAMING PLAN
7	CEILING FRAMING PLAN
8	ROOF PLAN
9	1st FLOOR ELECTRICAL PLAN
10	2nd FLOOR ELECTRICAL PLAN
11	MISCELLANEOUS DETAILS

CLIENT INFORMATION:



275 WASHINGTON AVE.
MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.

Front & Side Elev.

DESIGNED BY: C.SAMUDA 07/23/20

SCALE:
 $1/8" = 1'-0"$ < $11" \times 17"$
 $1/4" = 1'-0"$ < $24" \times 36"$

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1045

REVISIONS:

No.	Date	Revisions	App.
1	.	.	.
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SHEET NUMBER:

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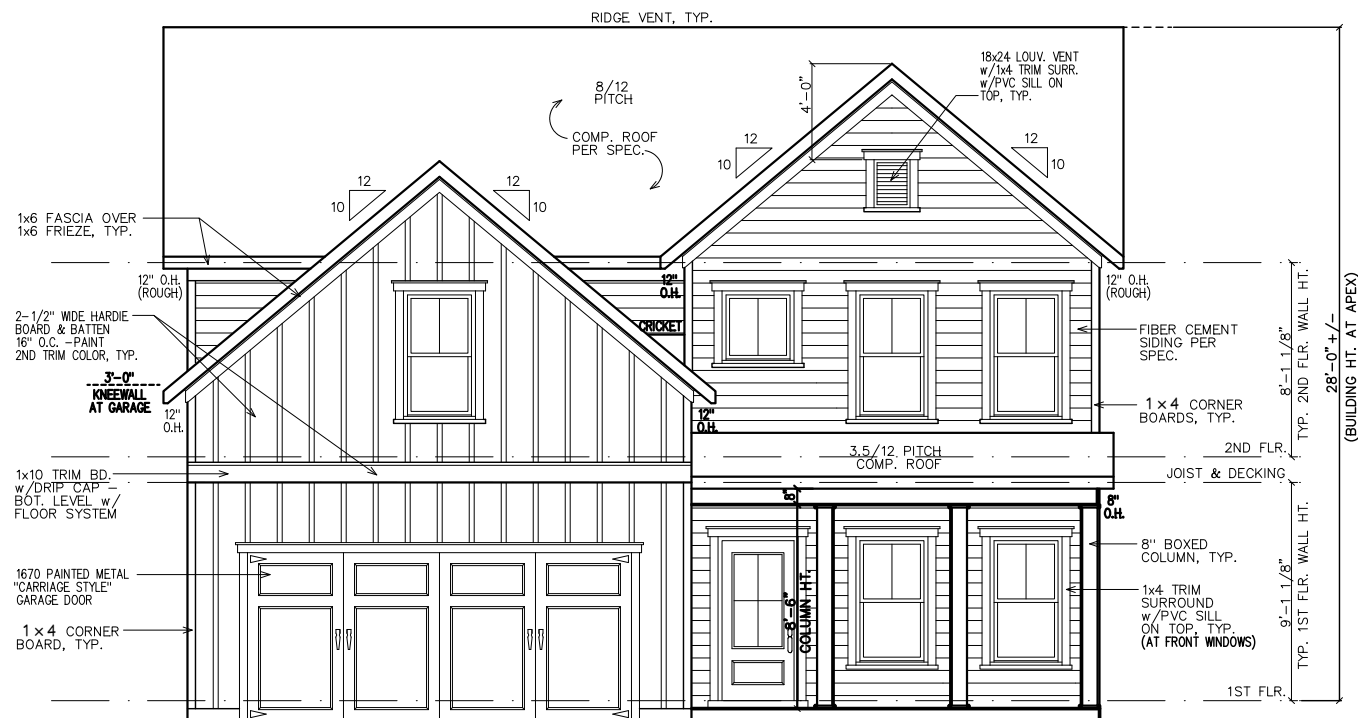
GOVERNING CODES & STANDARDS

1. 2018 INTERNATIONAL RESIDENTIAL CODE, WITH GEORGIA AMENDMENTS.
2. 2018 INTERNATIONAL BUILDING CODE, WITH GEORGIA AMENDMENTS.
3. 2018 INTERNATIONAL FIRE CODE, WITH GEORGIA AMENDMENTS.
4. 2018 INTERNATIONAL PLUMBING CODE, WITH GEORGIA AMENDMENTS.
5. 2018 INTERNATIONAL MECHANICAL CODE, WITH GEORGIA AMENDMENTS.
6. 2018 INTERNATIONAL FUEL GAS CODE, WITH GEORGIA AMENDMENTS.
7. 2018 INTERNATIONAL POOL & SPA CODE, WITH GEORGIA AMENDMENTS.
8. 2017 NATIONAL ELECTRICAL CODE, WITH GEORGIA AMENDMENTS.
9. 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/GA AMENDMENTS.
10. 2015 IBC LIFE SAFETY CODE AND T.P.I. SPECIFICATION FOR THE DESIGN, MANUFACTURE AND HANDLING OF WOOD TRUSSES.

DESIGN CRITERIA

ROOF LIVE LOAD: 20 PSF.
FLOOR LIVE LOAD: 40 PSF.
(INCLUDES DECKS, PATIOS, AND PORCHES)
BASIC WIND VELOCITY: 90 MPH
SEISMIC DESIGN CATEGORY: B
BEARING WALLS WITH LIGHT FRAME WALLS
AND WOOD STRUCTURAL PANELS.

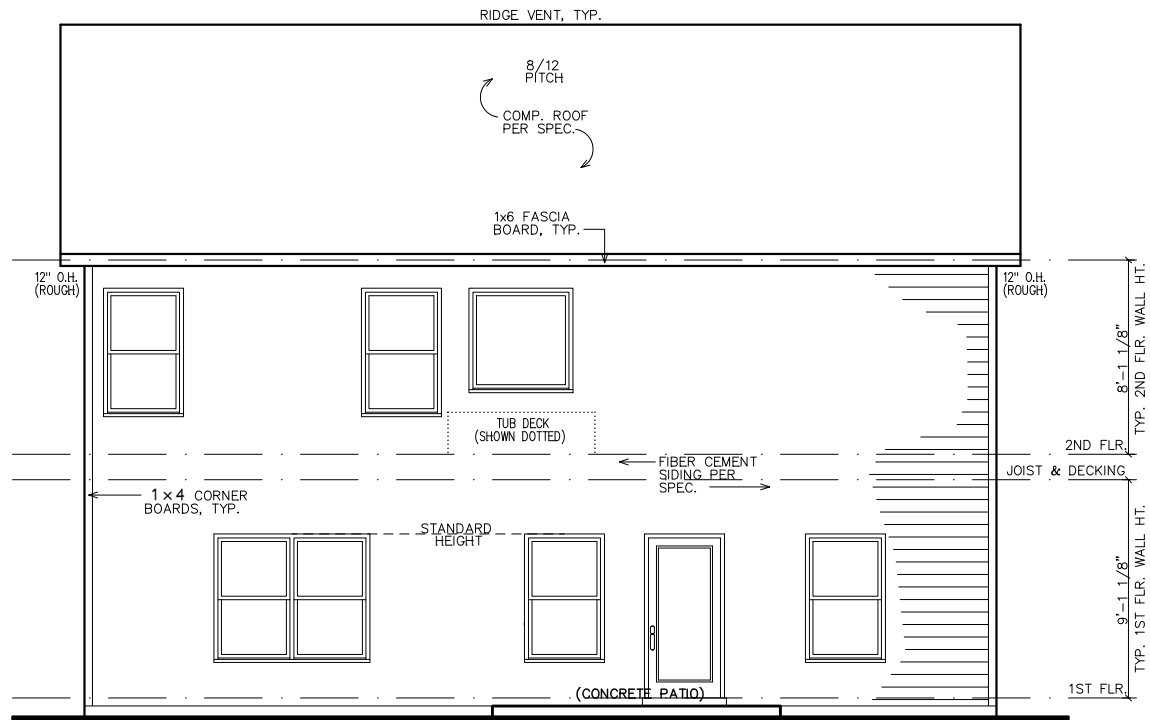
NOTE:
GRADE LEVEL IS SHOWN
APPROXIMATE. ELEVATION
SHOWN MAY VARY SLIGHTLY.



FRONT ELEVATION

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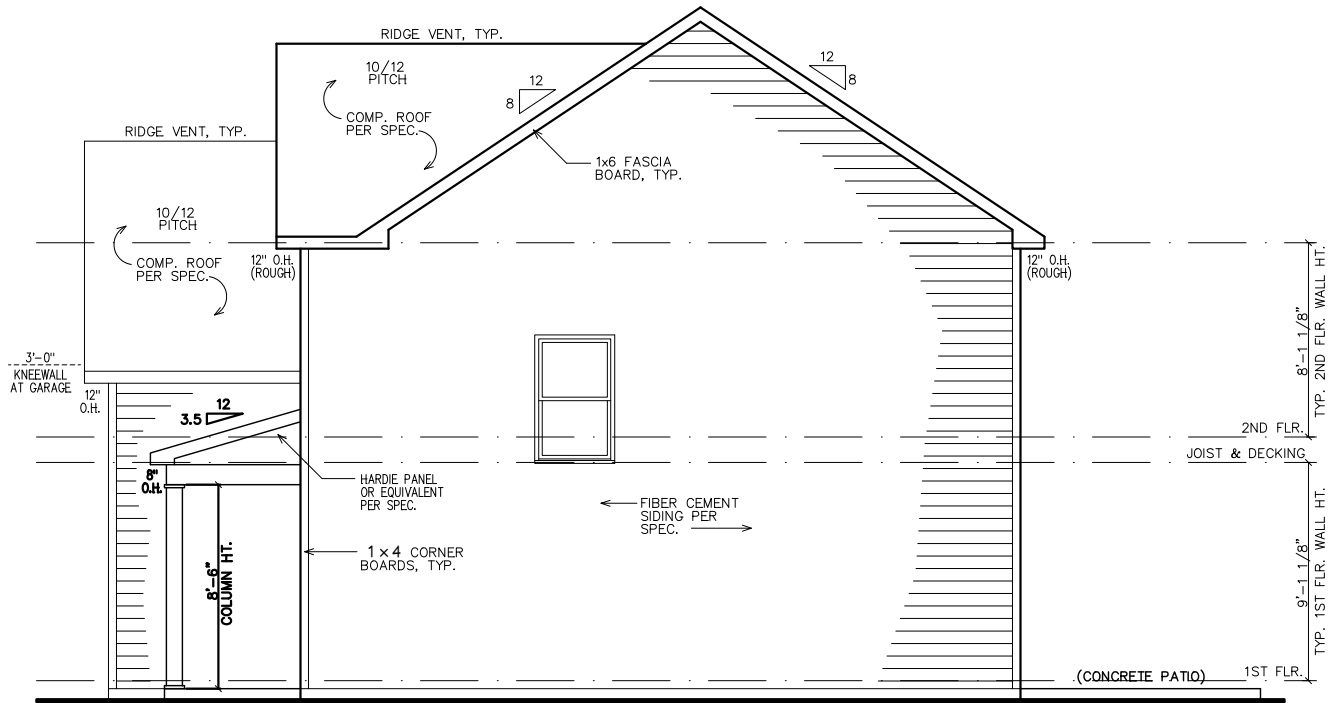
NEW HOME SITE ADDRESS:



REAR ELEVATION

STEPS DN.
TO GRADE
-PER SITE

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.



RIGHT ELEVATION

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.

STEPS DN.
TO GRADE
-PER SITE

SUBDIVISION:

LOT #:

RELEASED:



DESIGN ■ PLANNING ■ PALETTES
4199 IDLEWOOD PARC COURT
TUCKER, GEORGIA 30084
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CLIENT INFORMATION:



275 WASHINGTON AVE.
MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.
Side & Rear Elev.

DESIGNED BY: C.SAMUDA 07/23/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1045

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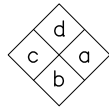
LEGEND

4

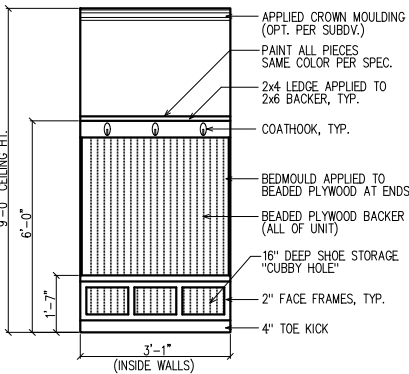
DETAIL NUMBER

9

SHEET NUMBER



INTERIOR
ELEVATION
KEY



ELEVATION VIEW

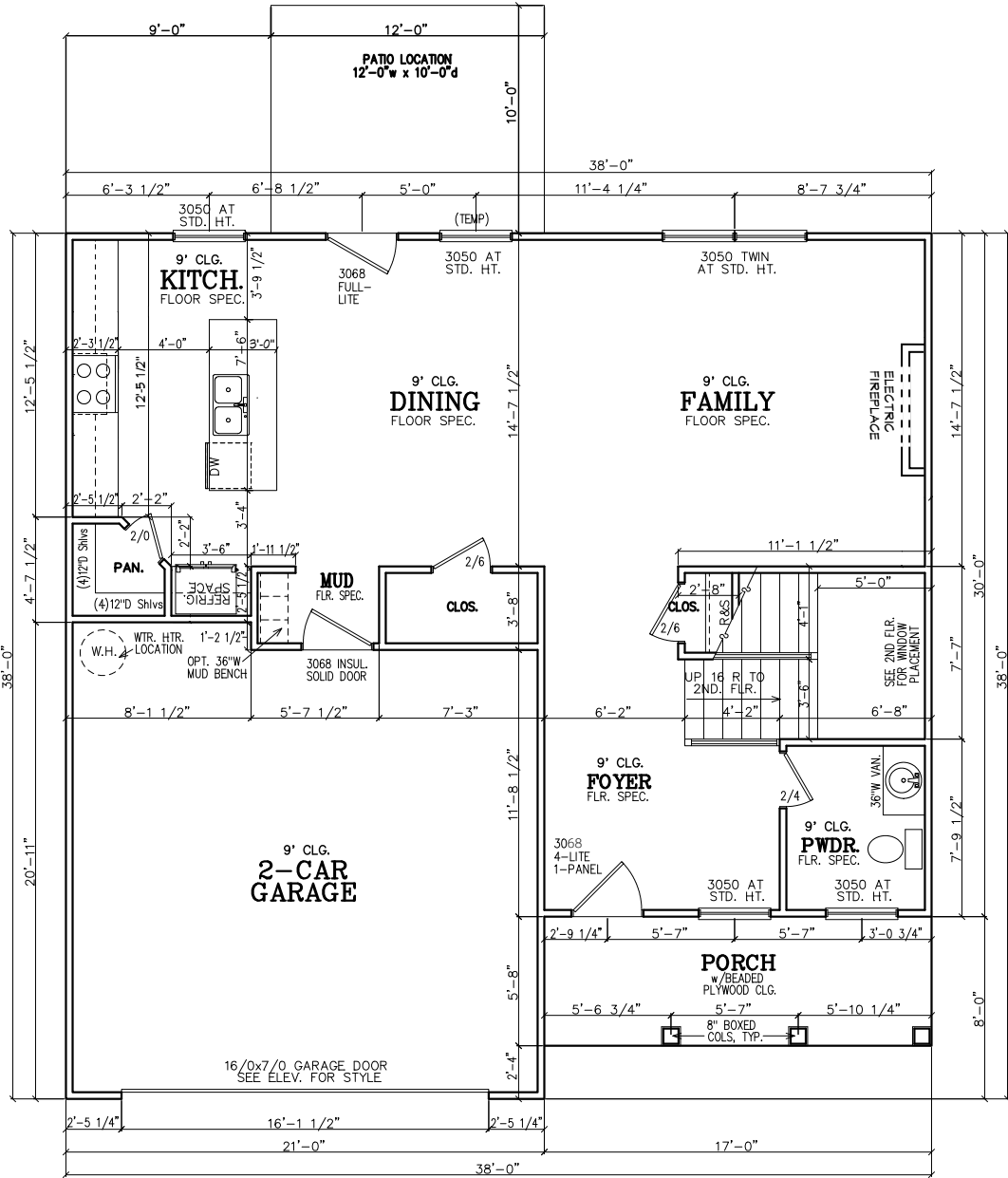
1 OPT. MUD ROOM BUILT-IN
4 SC: N.T.S.

FIRST FLOOR NOTES:
ALL 1ST FLR. CEILING HTS. TO BE CONTINUOUS 9'-0" U.N.O. ALL DOORS TO BE "80 HIGH U.N.O. ALL 1ST FLR. WINDOWS TO BE AT STD. (83") OR TRANS.(95") HDR. HT. U.N.O.

INSULATION NOTES:
1. WALL INSULATION SHALL BE A MINIMUM OF R-13.
2. CEILING INSULATION SHALL BE A MINIMUM OF R-38.
3. SLAB INSULATION PER CODE. *ALL UNLESS NOTED OTHERWISE*

NOTE-ALL ANGLES ON THIS PLAN ARE 90deg.OR 45deg U.N.O.

FRAMING NOTE:
REFER TO FLOOR/CLG DRAWINGS TO VERIFY ALL ALL SIZES AND SPACING PRIOR TO CONSTRUCTION.



SUBDIVISION:

LOT #:
RELEASED:



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CLIENT INFORMATION:



275 WASHINGTON AVE.
MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.

First Floor Plan

DESIGNED BY: C.SAMUDA 07/23/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1045

REVISIONS:

No.	Date	Revisions	App.
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SHEET NUMBER:

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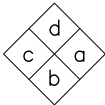
LEGEND

4

DETAIL NUMBER

9

SHEET NUMBER



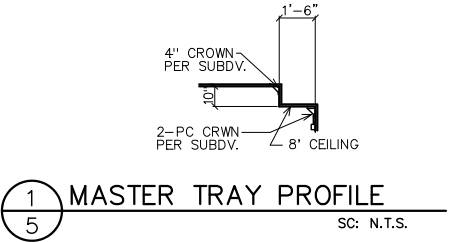
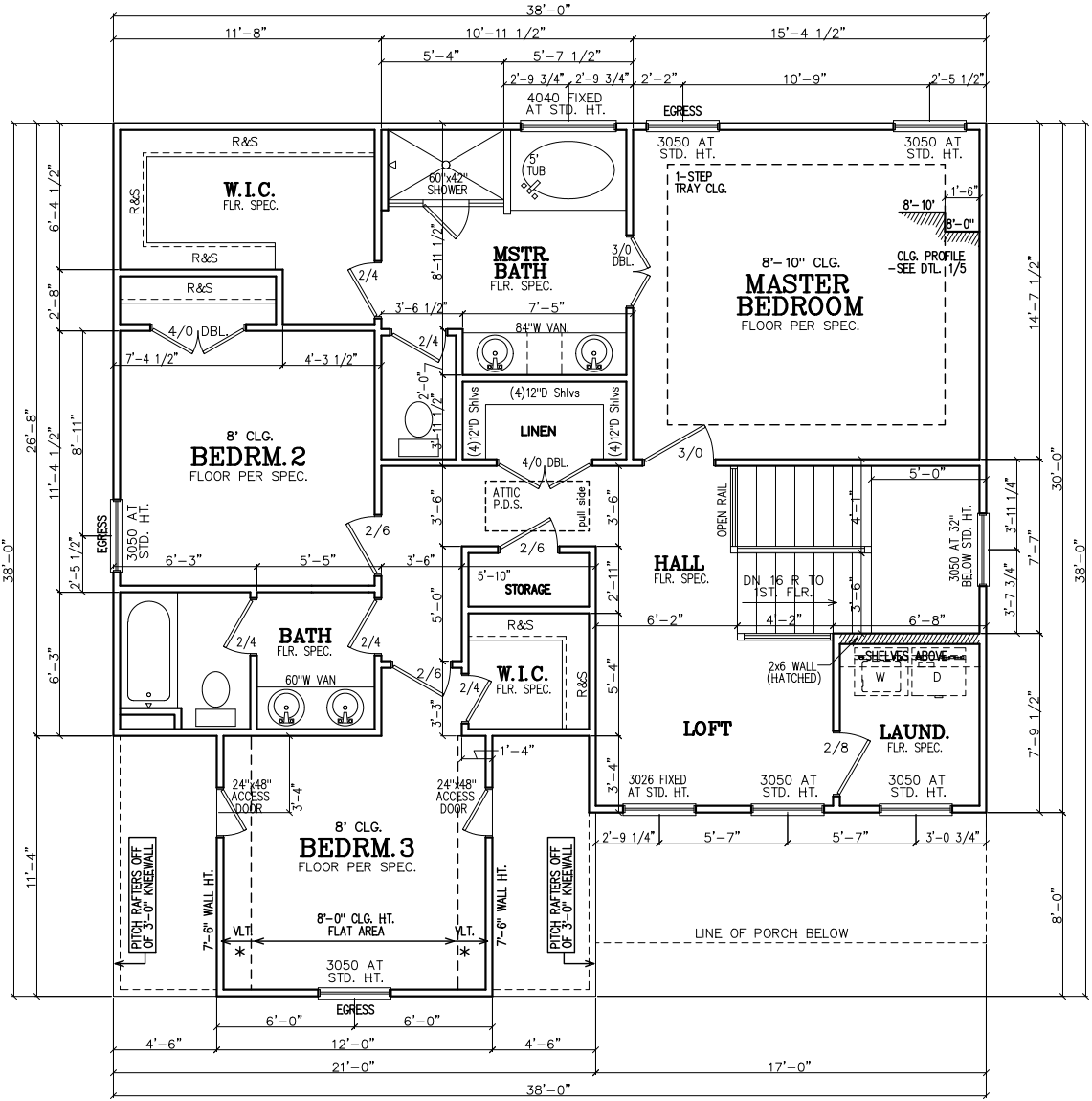
INTERIOR
ELEVATION
KEY

SECOND FLOOR NOTES:
ALL 2ND FLR. CEILING HTS. TO BE CONTINUOUS 8'-0" U.N.O. ALL DOORS TO BE 80" HIGH U.N.O. ALL 2ND FLR. WINDOWS TO BE AT STD.(83") HDR. HT. U.N.O.

INSULATION NOTES:
1. WALL INSULATION SHALL BE A MINIMUM OF R-13.
2. CEILING INSULATION SHALL BE A MINIMUM OF R-38.
3. SLAB INSULATION PER CODE. *ALL UNLESS NOTED OTHERWISE*

NOTE-ALL ANGLES ON THIS PLAN ARE 90deg.OR 45deg U.N.O.

FRAMING NOTE:
REFER TO FLOOR/CLG DRAWINGS TO VERIFY ALL ALL SIZES AND SPACING PRIOR TO CONSTRUCTION.



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CLIENT INFORMATION:

275 WASHINGTON AVE.
MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-A LFT.
Second Floor Plan

DESIGNED BY: C.SAMUDA 07/23/20
SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:
20-1045

REVISIONS:

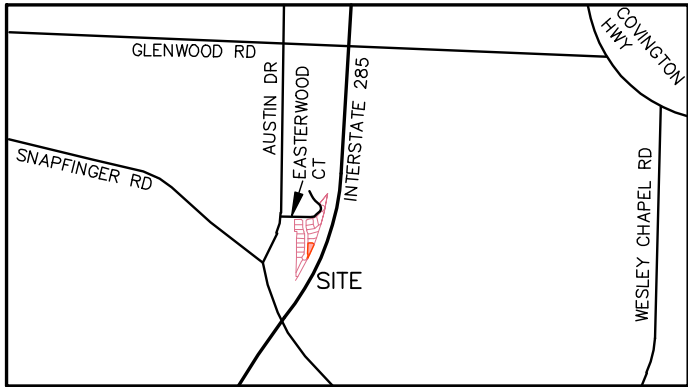
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SHEET NUMBER:
5

NOTE:

THE PURPOSE OF THIS MAP IS FOR ACQUIRING BUILDING VARIANCES TO CONSTRUCT A HOUSE ON THE LOT SHOWN.

FOR BOUNDARY REFERENCE EASTERWOOD PLACE FINAL PLAT BY THE NORTHLAND COMPANY, INC. DATED 10-20-05 LAST REVISED 10-19-06 AND RECORDED IN PB. 180, PG. 70. THIS PLAT CURRENTLY HAS BEEN REVISED AND RESUBMITTED TO DEKALB COUNTY FOR APPROVAL. PROPERTY LINES SHOWN HEREON REFLECT PLAT AWAITING APPROVAL.



VICINITY MAP – NOT TO SCALE

FLOOD STATEMENT:

"FIA OFFICIAL FLOOD HAZARD MAP" COMMUNITY No. 130065, MAP NUMBER 13089C0151J, MAP ZONE 'X', PANEL 0151 J, DATED 05-16-2013, SHOWS THIS PROPERTY NOT TO BE IN A DESIGNATED BASE FLOOD AREA.

SETBACKS: FRONT = 30 FT
SIDE = 7.5 FT
REAR = 40 FT

IMPERVIOUS CALCULATIONS:

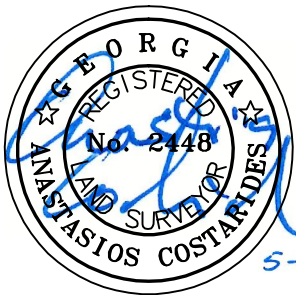
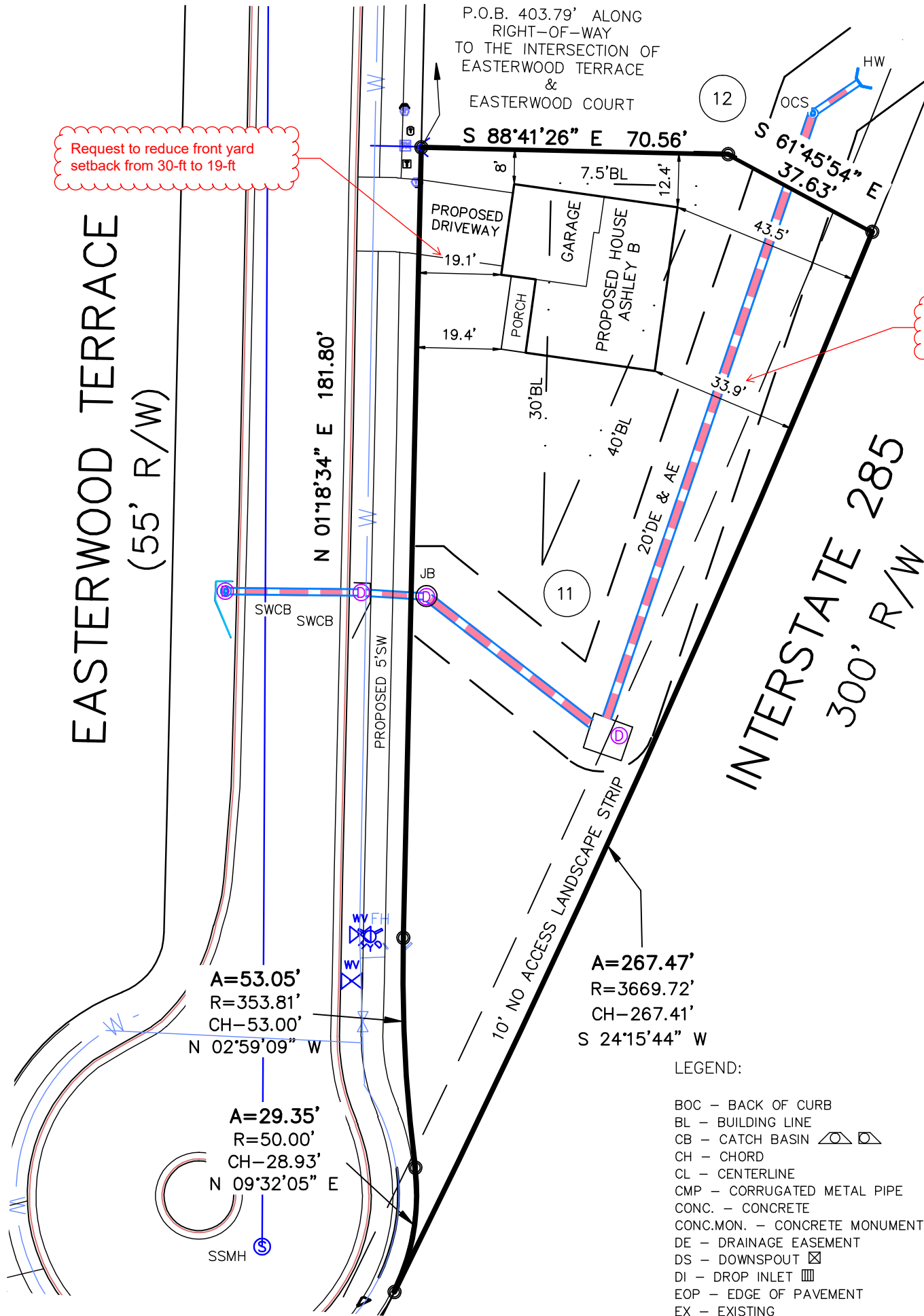
HOUSE – 884 SF
GARAGE – 424 SF
PORCH – 96 SF
WALK, DRIVEWAY, AC – 404 SF

The proposed house footprint of the Ashley plan measures 38ft x 38ft, this footprint provides a finished square footage of 2,095 SqFt, meeting the minimum required square footage requirement of 2,000 SqFt for the subdivision.

EASTERWOOD TERRACE
(55' R/W)

Request to reduce front yard setback from 30-ft to 19-ft

Request to reduce rear yard setback from 40-ft to 33-ft



LEGEND:

- | | |
|-------------------------------|--------------------------------|
| BOC – BACK OF CURB | #3RB – 3/8" REBAR |
| BL – BUILDING LINE | #4RB – 1/2" REBAR |
| CB – CATCH BASIN | #5RB – 5/8" REBAR |
| CH – CHORD | AI – ANGLE IRON |
| CL – CENTERLINE | CT – CRIMP TOP |
| CMP – CORRUGATED METAL PIPE | OT – OPEN TOP |
| CONC. – CONCRETE | SR – SOLID ROD |
| CONC.MON. – CONCRETE MONUMENT | JB – JUNCTION BOX |
| DE – DRAINAGE EASEMENT | LLL – LAND LOT LINE |
| DS – DOWNSPOUT | A – LENGTH OF ARC |
| DI – DROP INLET | LP – LIGHT POLE |
| EOP – EDGE OF PAVEMENT | N/F – NOW OR FORMERLY |
| EX – EXISTING | PP – POWER POLE |
| FH – FIRE HYDRANT | R – RADIUS |
| FLOW LINES | RCP – REINFORCED CONCRETE PIPE |
| GM – GAS METER | RTW – RETAINING WALL |
| GV – GAS VALVE | R/W – RIGHT-OF-WAY |
| GW – GUY WIRE | C/O – SANITARY SEWER CLEANOUT |
| HW – HEADWALL | SSE – SANITARY SEWER EASEMENT |
| HD – HOUSE DRAIN | SSMH – SANITARY SEWER MANHOLE |
| IPF – IRON PIN FOUND | TBM – TEMPORARY BENCH MARK |
| IPS – IRON PIN SET | TMH – TELEPHONE MANHOLE |
| | WM – WATER METER |
| | WV – WATER VALVE |

TASO & ASSOCIATES, LLC
LAND SURVEYORS



3330 Cobb Parkway
Suite 324 – PMB 355
Acworth, Georgia
30101 678-581-0102
tasosurvey@yahoo.com

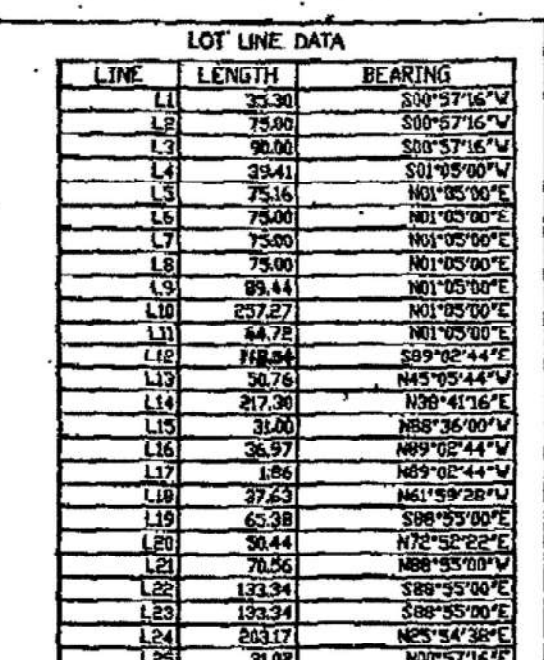
PREPARED FOR:
CREATE HOMES, LLC
PO BOX 758
MARIETTA, GA. 30061

LOT SUMMARY:

ADDRESS: 2084 EASTERWOOD TERRACE
LOT SIZE: 14,555 S.F. – 0.334 ACRE
HOUSE TYPE: ANSLEY B
24HR. CONTACT: ZACH BROOKS 678-978-2568

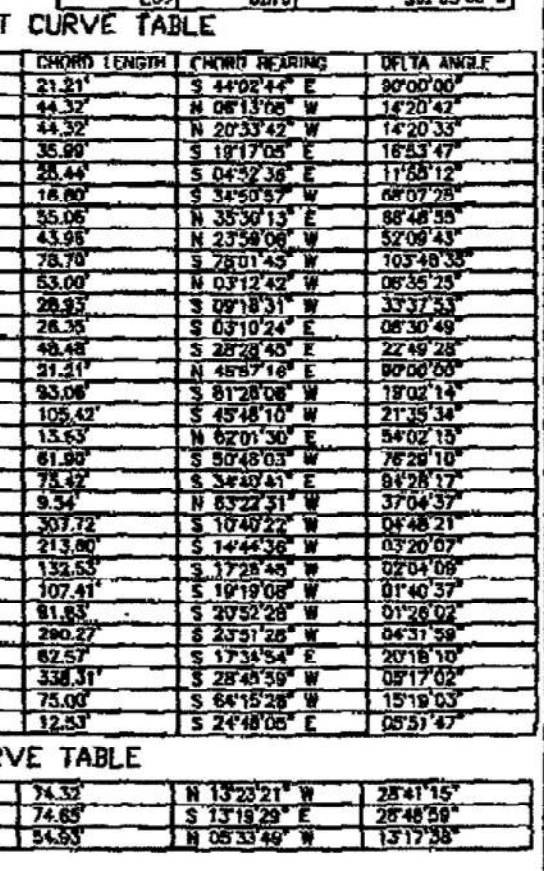
VARIANCE MAP FOR:


LOT: 11 BLOCK: PHASE: UNIT:
SUBDIVISION: EASTERWOOD PLACE
LAND LOT: 157 DISTRICT: 15th SECTION:
DEKALB COUNTY, GEORGIA
SCALE: 1" = 30'
DATE: 05-09-2022
REVISED:
JOB NO. 20-0059 LOT 11 VA



DATED THIS 2nd DAY OF May, 2007
Forrest G. Lee
 DIRECTOR, PLANNING DEPARTMENT

SANITARY SEWER DATA			
MANHOLE	STATION	TOP	INVERT IN
82	4+33	899.13	892.24
81	0+00	896.76	887.96
PI CL STATION			
1	0+00	CL BROWNS MILL ROAD	
2	1+38.02	EASTERNWOOD TERRACE	0+00
3	2+48.58	EASTERNWOOD TERRACE	0+00
RP CL STATION			
1	2+13.12	EASTERNWOOD TERRACE	
2	2+13.12	EASTERNWOOD TERRACE	



THIS 26th DAY OF APRIL, 2007

 DIRECTOR,
 WATER & SEWER

GENERAL NOTES:
1. PROPERTY SHOWN IS NOT LOCATED IN A FLOOD HAZARD PER FIRM PANEL, 13098C0151H DATED 8-7-01.
2. PROPERTY AREA IS 10.0 ACRES.
3. NUMBER OF LOTS IS 18.
4. PROPERTY IS ZONED R-75.
5. DENSITY OF 2.5 UNITS PER ACRE.
6. SETBACKS ARE AS FOLLOWS:
8-75 30' FRONT BUILDING SETBACK
40' BUILDING SETBACK ALONG MINOR THOROUGHFARE
7.5' SIDE FOR SINGLE FAMILY DETACHED DWELLINGS
40' REAR YARD
7. MAXIMUM BUILDING HEIGHT 35'
MINIMUM FLOOR AREA 2000 SQ. FT.
MINIMUM 4 PARKING SPACES FOR LOT
MAXIMUM PERCENTAGE OF LOT COVERAGE IS 35
MINIMUM LOT FRONTAGE ON CUL-DE-SAC LOTS IS 75' AT THE FRONT BUILDING SETBACK
MINIMUM LOT FRONTAGE ON CUL-DE-SAC LOTS IS 75' AT THE FRONT BUILDING SETBACK
8. OWNER/DEVELOPER:
BELVEDERE
P.O. BOX 129
CLARKSTON, GEORGIA 30021
PHONE: 770-878-1228

9. BOUNDARY INFORMATION PER SURVEY FOR BELVEDERE ENTERPRISES, INC. BY THE NORTHLAND CO., INC. DATED 8/20/02
10. TOPOGRAPHIC INFORMATION FROM DEKALB G.I.S.
11. ELECTRIC SERVICE IS UNDERGROUND.
12. INTERI LANDFILLS OR THE BURNING OF CONSTRUCTION DEBRIS, TREE STUMPS AND TOPS OR ANY OTHER REFUSE IS PROHIBITED EXCEPT IN M-2 INDUSTRIAL DISTRICT PER LAND DEVELOPMENT ORDINANCE CHAPTER 14, ARTICLE 8, SECTION 14-37 (b) (6).
13. WATER AND SEWER SERVICE FOR THIS PROJECT ARE PROVIDED BY DEKALB COUNTY.
14. A FLOODING LOCATION CERTIFICATE MUST BE SUBMITTED TO DEKALB COUNTY PRIOR TO THE FOOTING INSPECTION FOR THE FOLLOWING LOTS:
1-2-3-4-5-6-7-8-9-10-11-12-13-14-15-16-17-18
15. A TEN FOOT DRAINAGE EASEMENT EXISTS BETWEEN ALL LOTS AND ALONG THE PERIMETER BOUNDARY LINES OF THE SUBDIVISION EXCEPT WHERE SHOWN OTHERWISE.
16. SUBSEQUENT BUILDERS AND DEVELOPERS OF INDIVIDUAL LOTS SHALL MAKE PROVISIONS TO CONDUCT LOT GENERATED SURFACE WATERS TO THE DRAINAGE FACILITIES PROVIDED BY THE DEVELOPER WITHOUT UNAUTHORIZED DISCHARGE ONTO ADJACENT PROPERTIES.
17. EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE COVERED ON THE P.L.S.
18. AN AS-BUILT ELEVATION CERTIFICATE IS REQUIRED PRIOR TO FINISHING ON LOTS.
19. WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THE PLAN ARE UNDER THE JURISDICTION OF THE ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR OBSTRUCTION TO THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
20. INDIVIDUAL RESIDENTIAL BUILDERS, IN A SUBDIVISION WHERE A STORM WATER (SW) IS REQUIRED TO COMPLY WITH FEDERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS, MUST ALSO FILE A (ND) AND A NOTICE OF TERMINATION (NOT) WITH THE GEORGIA DEPARTMENT OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION (EPD). A STORM WATER POLLUTION PREVENTION PLAN MUST BE DEVELOPED AND IMPLEMENTED.
21. NO WORK IN RIGHT-OF-WAY, INCLUDING PAVED SURFACES, PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE DEKALB COUNTY PUBLIC WORKS DEPARTMENT.
22. PROVISIONS HAVE BEEN MADE FOR STREET LIGHTING.
23. THE FOLLOWING LOTS CONTAIN FILL DEPTH OF TWO (2) FEET OR GREATER BETWEEN THE ROAD RIGHT-OF-WAY AND REAR BUILDING LINE AND HAVE RECEIVED FILL DURING THE DEVELOPMENT STAGE. THESE LOTS REQUIRE COMPACTION CERTIFICATION SEALED BY A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER TO BE SUBMITTED TO FINAL PLAT RECORDING. LOTS: 1-2-3-4-5-6-7-8-9-10-11-12-13-14-15-16-17-18
24. SITE PLAN REQUIRED ON LOTS: ALL LOTS
25. 20' WIDE DRAINAGE EASEMENTS EXISTS CENTERED ON ALL SWALES, DITCHES, AND STREAMS.
26. 15' ACCESS TO DETENTION EXISTS ADJACENT TO R/W OF DEDICATED ROAD.
27. FOR HOMES LOCATED BEHIND THE STREET, A SEWER RELIEF VALVE IS REQUIRED ON GLEAM-OUT OUTSIDE EACH BUILDING AND BELOW THE LOWEST FLOOR ELEVATION. A BACKFLOW PREVENTER VALVE IS REQUIRED BETWEEN GLEAM-OUT AND THE STRUCTURE.
28. REGISTERED LAND SURVEYOR/PROFESSIONAL ENGINEER:
2772 AMSCOT COURT
SHELLEVILLE, GA. 30078
(404) 298-5186

29. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 1000 FEET AND AN ANGULAR ERROR OF 2 SECS.
PER ANGLE POINT, AND WAS NOT ADJUSTED.
30. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 1000 FEET.
31. EQUIPMENT USED WAS A NIKON TOP GUN.
32. NO WORK IN RIGHT-OF-WAY, INCLUDING PAVED SURFACES, PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM DEKALB COUNTY PUBLIC WORKS DEPARTMENT.
33. A 10' LANDSCAPE BUFFER EXISTS ON ALL DOUBLE FRONTAGE LOTS. EXTERNAL LOTS SHALL HAVE THE BUFFER ON THE EXTERNAL STREET FRONTAGE. INTERNAL LOTS BUFFER SHALL BE ON THE STREET(S) WHICH IS/ARE NOT THE PRIMARY ACCESS STREET(S) OR THE STREET TO THE REAR OF THE HOUSE.
34. THE OWNER/DEVELOPER IS RESPONSIBLE FOR PROVIDING LONG SIDE AND SHORT SIDE WATER SERVICE LINES EXTENDED PAST OR OUTSIDE THE SIDEWALK.
35. THE HOMEOWNERS ASSOCIATION ORS IS RESPONSIBLE FOR MAINTENANCE OF THE PRIMATELY OWNED DETENTION FACILITY & STORM WATER FACILITY, AND THE COMMON AREAS.
36. COVENANTS ARE RECORDED IN 20020 PGS 27-51, DATED 6/11/07
37. FINAL PLAT RECORDED IN PR. 20020 PGS 315 DATED 6/11/07
38. SIDEWALKS ARE REQUIRED.

FINAL PLAT FOR:
EASTERWOOD PARK
BELVEDERE ENTERPRISES, INC.
LAND LOT 157 DIST 15
DEKALB COUNTY GA.
P. O. BOX 825
DECATUR, GEORGIA 30031
TELEPHONE (404) 298-5445
FINAL REVISION
10/19/08
REVISIONS
SHEET 1 OF 1



2084 Easterwood Terrace

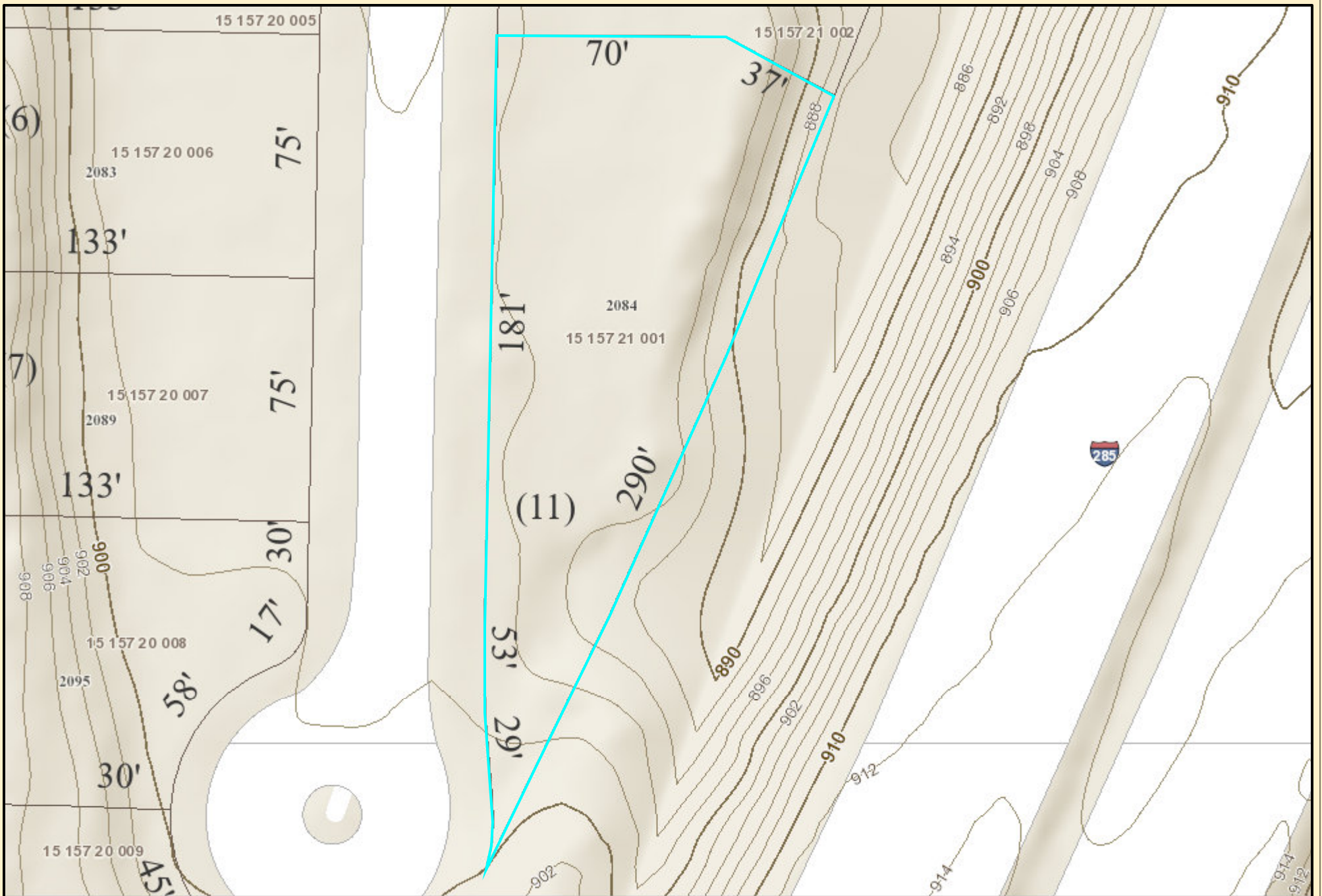
0 0.00225 0.0045 0.009 0.0135 0.018 mi

Date Printed: 5/24/2022



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2084 Easterwood Terrace

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A horizontal scale bar with tick marks at 0, 0.0075, 0.015, 0.03, 0.045, and 0.06 miles. The bar is divided into segments corresponding to these distances.

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