



Michael L. Thurmond
Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street
Decatur, GA 30030

Wednesday, July 13, 2022, at 1:00 PM

Planning Department Staff Analysis



Andrew Baker, AICP
Director

N5. Case No: A-22-1245840 Parcel ID(s): 15-157-21-009

Commission District 03 Super District 07

Applicant: Create Homes, LLC
275 Washington Avenue, NE
Marietta, GA 30060

Owner: Create Homes, LLC
275 Washington Avenue, NE
Marietta, GA 30060

Project Name: 2099 Easterwood Terrace- Development

Location: The property is located on the west side of Easterwood Terrace, approximately 430 feet south of the intersection with Easterwood Court, at 2099 Easterwood Terrace, Decatur, GA 30032.

Request: Section 2.2.1 to reduce the rear yard setback from 40 feet to 30 feet to construct a new, single-family, detached home within the R-75 (Residential Medium Lot-75) Zoning District.

Staff Recommendation: Approval with condition

STAFF FINDINGS:

Variances from the provisions or requirements of this chapter other than variances described in [section 7.5.4](#) shall be authorized only upon making all of the following findings in writing:

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The Easterwood Park subdivision plat was approved and recorded in 2007. Although the lot meets the minimum lot requirements (area, width, setbacks) of the R-75 Zoning District, the odd shaped lot does limit the buildable area and may represent an exceptional physical condition.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested variance may go beyond the minimum necessary to afford relief. A smaller or more custom designed home may eliminate the need for encroachment into the rear setback. Alternatively, the applicant has mitigated the need for a front setback variance, which may leave the rear setback encroachment as the minimum relief necessary.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The variance requests for 2072 and 2084 reference a desire for setback consistency along the street, however, that consistency varies when it comes to cul-de-sac lots. Cul-de-sac lots typically fan out from the right-of-way and are frequently known for unique lot configurations. There are three lots on this cul-de-sac with three starkly different configurations. Thus, home placement and setback consistency may not be as important in this context and may not be injurious or detrimental to the public welfare.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

Strict application of the provisions and requirements of this chapter may cause an undue and unnecessary hardship. The existing buildable area is limited. Alternatively, a unique, custom design may be required to work within the buildable area.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The future land use designation of this property is Suburban (SUB). The Suburban character area recognizes single-family, detached homes as a preferred land use. Additionally, guidelines recommend compatible design and conformance to traditional neighborhood development patterns, when appropriate. The proposed home may be consistent with the goals of the *Comprehensive Plan*.

FINAL STAFF ANALYSIS:

The lot shape represents an exceptional condition for residential development of the subject property. Although this lot configuration is a known hindrance, it nonetheless creates an unusual buildable area. Moreover, unlike lots 11 and 13, which are along the linear portion of the right-of-way and subject to greater scrutiny of home placement and setback consistency, this cul-de-sac lot may be worthy of more flexibility as one of the lots in the rear of the subdivision. Relief from the zoning regulations would not be detrimental to the public welfare. Therefore, staff recommends approval with a condition:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.



DeKalb County Department of Planning & Sustainability

Hon. Michael Thurmond
Chief Executive Officer

Andrew Baker, AICP,
Director

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. _____

Applicant and/or
Authorized Representative Create Homes LLC

Mailing Address: 275 Washington Avenue NE

City/State/Zip Code: Marietta, GA 30060

Email: Zach@createyourhome.com

Telephone Home: 678-978-2568 Business: 678-978-2568

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Create Homes LLC

Address (Mailing): 275 Washington Avenue NE

Email: Zach@createyourhome.com

Telephone Home: 678-978-2568 Business: 678-978-2568

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 2099 Easterwood Terrace City: Decatur State: GA Zip: 30032

District(s): 15 Land Lot(s): 20 Block: _____ Parcel: 009

Zoning Classification: R-75 Commission District & Super District: 3 & 7

CIRCLE TYPE OF HEARING REQUESTED:

- **VARIANCE** (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

*** PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS. ***

TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT:

Date Received: _____ Fee Paid: _____

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER


I hereby authorize the staff and members of the Zoning Board of Appeals
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 05/24/2022

Applicant:
Signature



DATE: _____

Applicant:
Signature

Create Homes

A LIMITED LIABILITY COMPANY

5/24/2022

DeKalb County Dept. of Planning and Sustainability
Zoning Boards of Appeals
330 Ponce De Leon Ave Suite #300
Decatur, GA 30030

**RE: Letter of Intent for Zoning Variance
Easterwood Park Subdivision
2099 Easterwood Terrace
Decatur, GA 30032
Parcel ID # 15 157 20 009**

Dear Board Members,

This correspondence is intended to serve as the Letter of Intent for requesting relief by variance under section 7.5.1 of the DeKalb County Zoning Board of Appeals, on behalf of Create Homes LLC (applicant) in regard to the above referenced property. Applicant is requesting a variance from the standards of 27-2.2 – Residential Zoning Districts: Dimensional Requirements; Sec. 2.2.1 – Dimensional Requirements; found in Table 2.2, Residential Zoning Districts Dimension Requirements.

The subject property is zoned R-75 and located in the Easterwood Park subdivision. Easterwood Park was developed and platted in 2007 but no new homes were built, the applicant purchased all lots in the subdivision in 2020. The subject property is currently vacant and owned by the Applicant.

For R-75 zoned lots, the required rear setback is 40 feet. The Applicant is requesting a reduction from the required 40 feet rear setback to 30 feet to allow for construction of a home that is consistent in size, shape and character of the other homes in the neighborhood, which have also been constructed by applicant.

- (1) The subject lot has an extraordinary and exceptional physical condition created by the odd lot shape, which was not created by the Applicant or previous Owner. The lot shape of the subject lot is preventing the placement of a home that is of similar size and shape that is architecturally consistent with the other homes in the neighborhood. The strict application of the requirements of this chapter would deprive the Applicant from being able to build a home on the subject lot due to the area within the required setbacks not being sufficient for a house footprint to be of consistent architectural style and meet the minimum square footage requirements.
- (2) The requested variance is the minimum necessary to afford relief and allow for the placement of the proposed home. Applicant is proposing a house plan with the smallest footprint while remaining consistent with the size, shape, and architectural style of other homes in the neighborhood.

Create Homes

A LIMITED LIABILITY COMPANY

- (3) It is the opinion of applicant that granting of the requested variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located. Rather, it will allow for a home to be constructed with similar characteristics of the other homes in the neighborhood.
- (4) The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship by preventing the construction of a home that is compatible with other homes in the neighborhood.
- (5) The DeKalb County Comprehensive Plan classifies this property as Suburban, a single-family detached home is a compatible use under this classification. If granted, the variance would allow for the construction of a single-family detached home consistent with the size, shape and character of the neighborhood, and the DeKalb County Comprehensive Plan.

Sincerely,



Zach Brooks

Create Homes LLC
275 Washington Avenue NE
Marietta, GA 30060
Zach@createyourhome.com
(678) 978-2568

THE ASHLEY (A)



BUILDING CODE ANALYSIS

USE GROUP: SMALL ASSEMBLY (GROUP "A")

CONSTRUCTION CLASS: UNPROTECTED

EMERGENCY ESCAPE: EGRESS OR RESCUE WINDOW SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

DESIGN LOADS:

FLOOR LIVE LOAD = 40 PSF

DECKS = 40 PSF

FLOOR DEAD LOAD = 10 PSF

BASIC WIND SPEED = 90 MPH

STAIR LOADS = 40 PSF

ROOF LIVE LOAD = 20 PSF

LATERAL SOIL PRESSURE = 20 PCF (ASSUMED)

SQUARE FOOTAGES

1ST FLOOR	890 SQ. FT.
2ND FLOOR	1,205 SQ. FT.
TOTAL HEATED	2,095 SQ. FT.
FRONT PORCH	34 SQ. FT.
GARAGE	425 SQ. FT.
OTHER PORCHES	n/a SQ. FT.
TOTAL UNHEATED	459 SQ. FT.
OVERALL WIDTH	38' - 0"
OVERALL DEPTH	38' - 0"

SUBDIVISION:

LOT #: _____

RELEASED: _____

www.CreateYourHome.com

NOTE: THE DESIGNS DEPICTED IN THESE DRAWINGS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE NOT RELEASED TO THIRD PARTIES FOR REPRODUCTION OR ANY DERIVATIVE WORKS OR WORKING DRAWING PRODUCTION.

REVISIONS:	
REV No.	DATE:



COVER SHEET	
THE ASHLEY (A)	
TITLE	
DESIGNER:	DATE:
SHEET NO.	
C1	
SCALE:	
N.T.S	

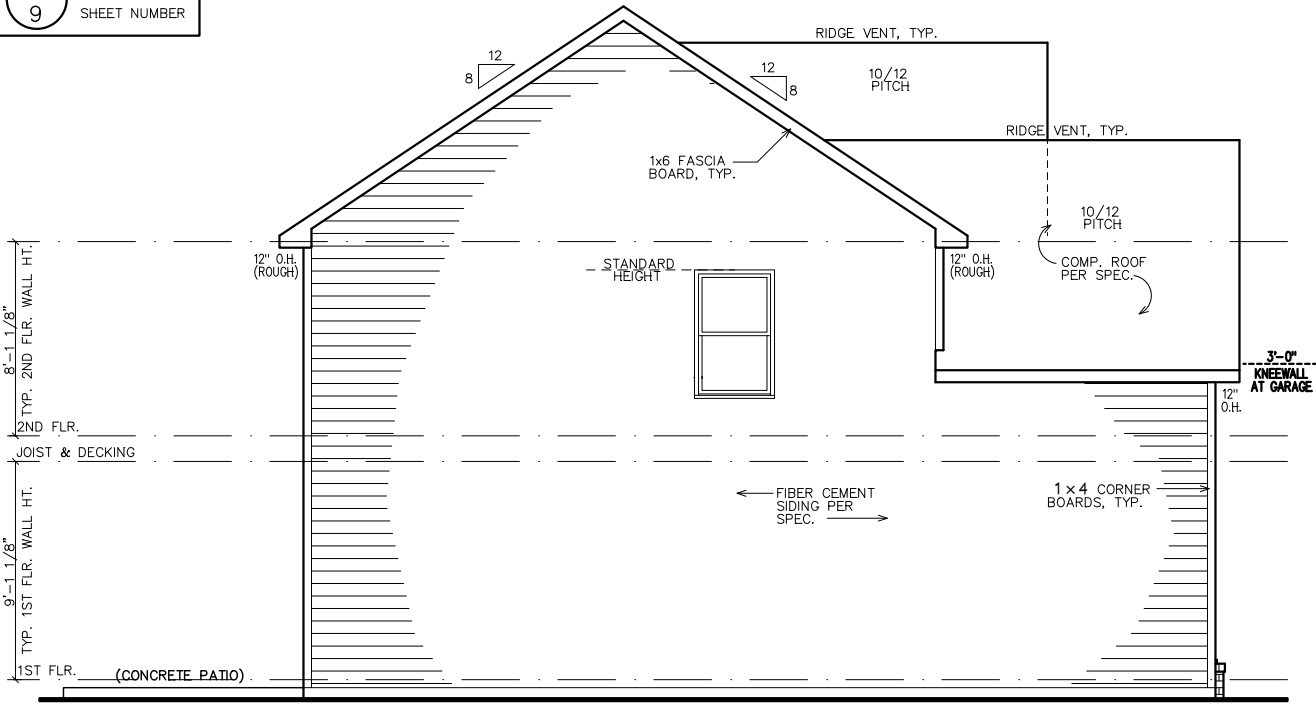
LEGEND

4

DETAIL NUMBER

9

SHEET NUMBER



STEPS DN.
TO GRADE
-PER SITE

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.

LEFT ELEVATION

- GOVERNING CODES & STANDARDS
1. 2018 INTERNATIONAL RESIDENTIAL CODE, WITH GEORGIA AMENDMENTS.

2. 2018 INTERNATIONAL BUILDING CODE, WITH GEORGIA AMENDMENTS.

3. 2018 INTERNATIONAL FIRE CODE, WITH GEORGIA AMENDMENTS.

4. 2018 INTERNATIONAL PLUMBING CODE, WITH GEORGIA AMENDMENTS.

5. 2018 INTERNATIONAL MECHANICAL CODE, WITH GEORGIA AMENDMENTS.

6. 2018 INTERNATIONAL FUEL GAS CODE, WITH GEORGIA AMENDMENTS.

7. 2018 INTERNATIONAL POOL & SPA CODE, WITH GEORGIA AMENDMENTS.

8. 2020 NATIONAL ELECTRICAL CODE, WITH GEORGIA AMENDMENTS.

9. 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/GA AMENDMENTS.

10. NFPA 101 LIFE SAFETY CODE AND T.P.I. SPECIFICATION FOR THE DESIGN, MANUFACTURE AND HANDLING OF WOOD TRUSSES.

DESIGN CRITERIA
ROOF LIVE LOAD: 20 PSF. FLOOR LIVE LOAD: 40 PSF. (INCLUDES DECKS, PATIOS, AND PORCHES) BASIC WIND VELOCITY: 90 MPH SEISMIC DESIGN CATEGORY: B BEARING WALLS WITH LIGHT FRAME WALLS AND WOOD STRUCTURAL PANELS.

SUBDIVISION: _____
LOT #: _____
RELEASED: _____

TABLE OF CONTENTS	
SHEET	DESCRIPTION
1	FRONT & SIDE ELEVATIONS
2	SIDE & REAR ELEVATIONS
3	SLAB/FOUNDATION PLAN
4	1st FLOOR PLAN
5	2nd FLOOR PLAN
6	2nd FLOOR FRAMING PLAN
7	CEILING FRAMING PLAN
8	ROOF PLAN
9	1st FLOOR ELECTRICAL PLAN
10	2nd FLOOR ELECTRICAL PLAN
11	MISCELLANEOUS DETAILS



DESIGN ■ PLANNING ■ PALETTES
4199 IDLEWOOD PARC COURT
TUCKER, GEORGIA 30084
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CLIENT INFORMATION:



275 WASHINGTON AVE.
MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-B LFT.

Front & Side Elev.

DESIGNED BY: C.SAMUDA 09/08/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

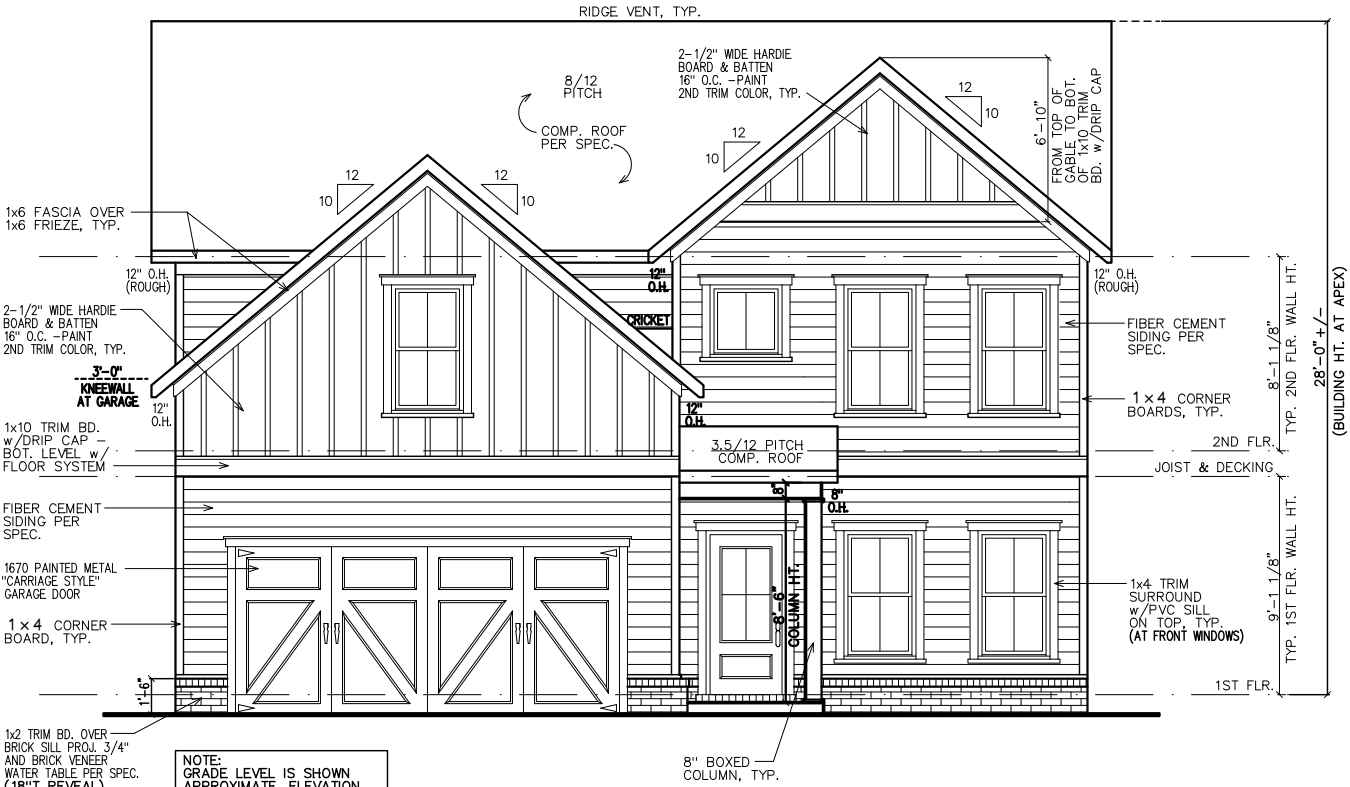
SQUARE FOOTAGE:	
1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:
20-1075

REVISIONS:			
No.	Date	Revisions	App.
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2	.	.	.
3	.	.	.
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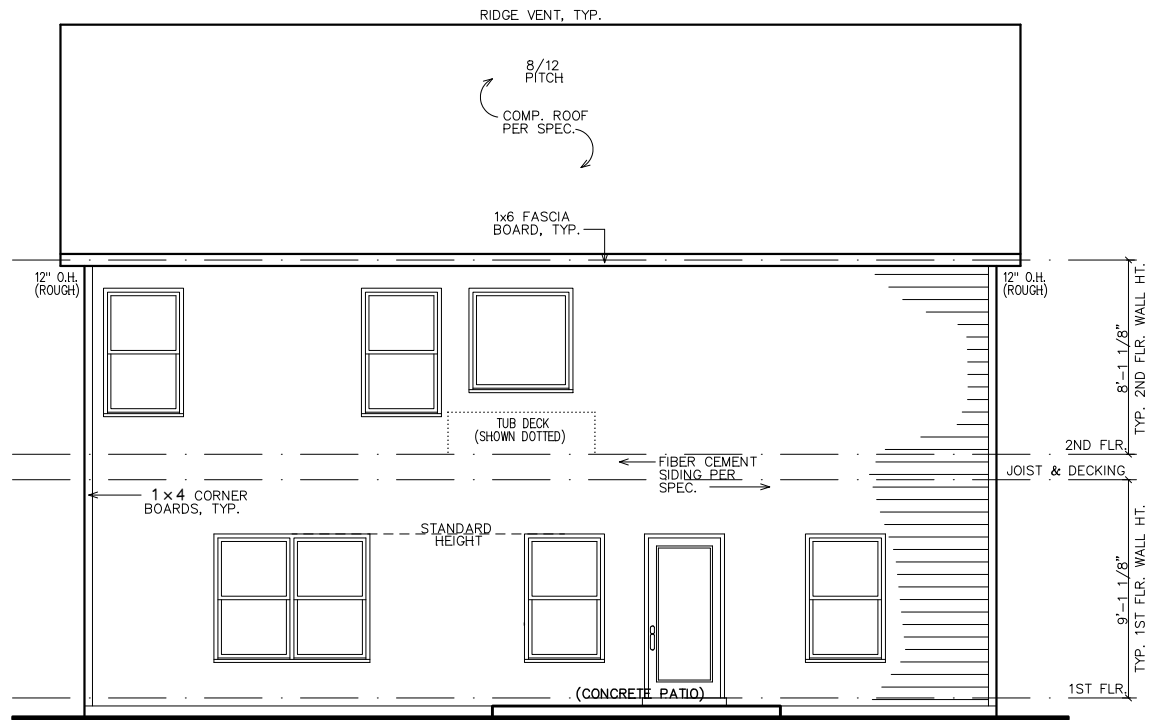
SHEET NUMBER:

1



NOTE:
GRADE LEVEL IS SHOWN
APPROXIMATE. ELEVATION
SHOWN MAY VARY SLIGHTLY.

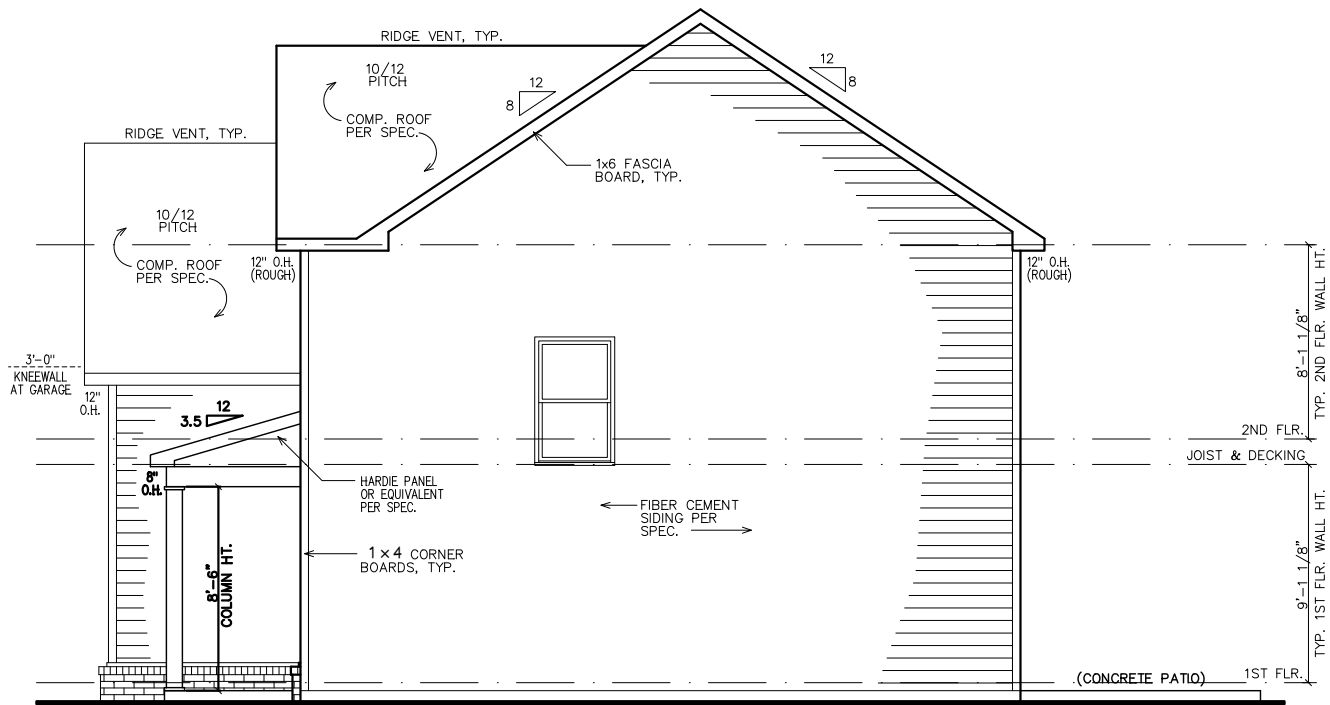
FRONT ELEVATION



REAR ELEVATION

STEPS DN.
TO GRADE
-PER SITE

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.



RIGHT ELEVATION

NOTE:
GRADE LEVEL IS SHOWN
APPROX. FIELD VERIFY
PRIOR TO CONSTRUCTION.

STEPS DN.
TO GRADE
-PER SITE

SUBDIVISION:

LOT #:

RELEASED:



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(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-B LFT.
Side & Rear Elev.

DESIGNED BY: C.SAMUDA 09/08/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1075

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SHEET NUMBER:

2

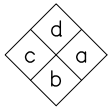
LEGEND

4

DETAIL NUMBER

9

SHEET NUMBER

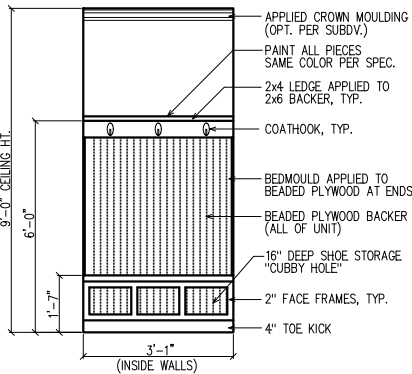


INTERIOR
ELEVATION
KEY

FIRST FLOOR NOTES:
ALL 1ST FLR. CEILING HTS. TO BE CONTINUOUS 9'-0" U.N.O. ALL DOORS TO BE "80 HIGH U.N.O. ALL 1ST FLR. WINDOWS TO BE AT STD. (83") OR TRANS.(95") HDR. HT. U.N.O.

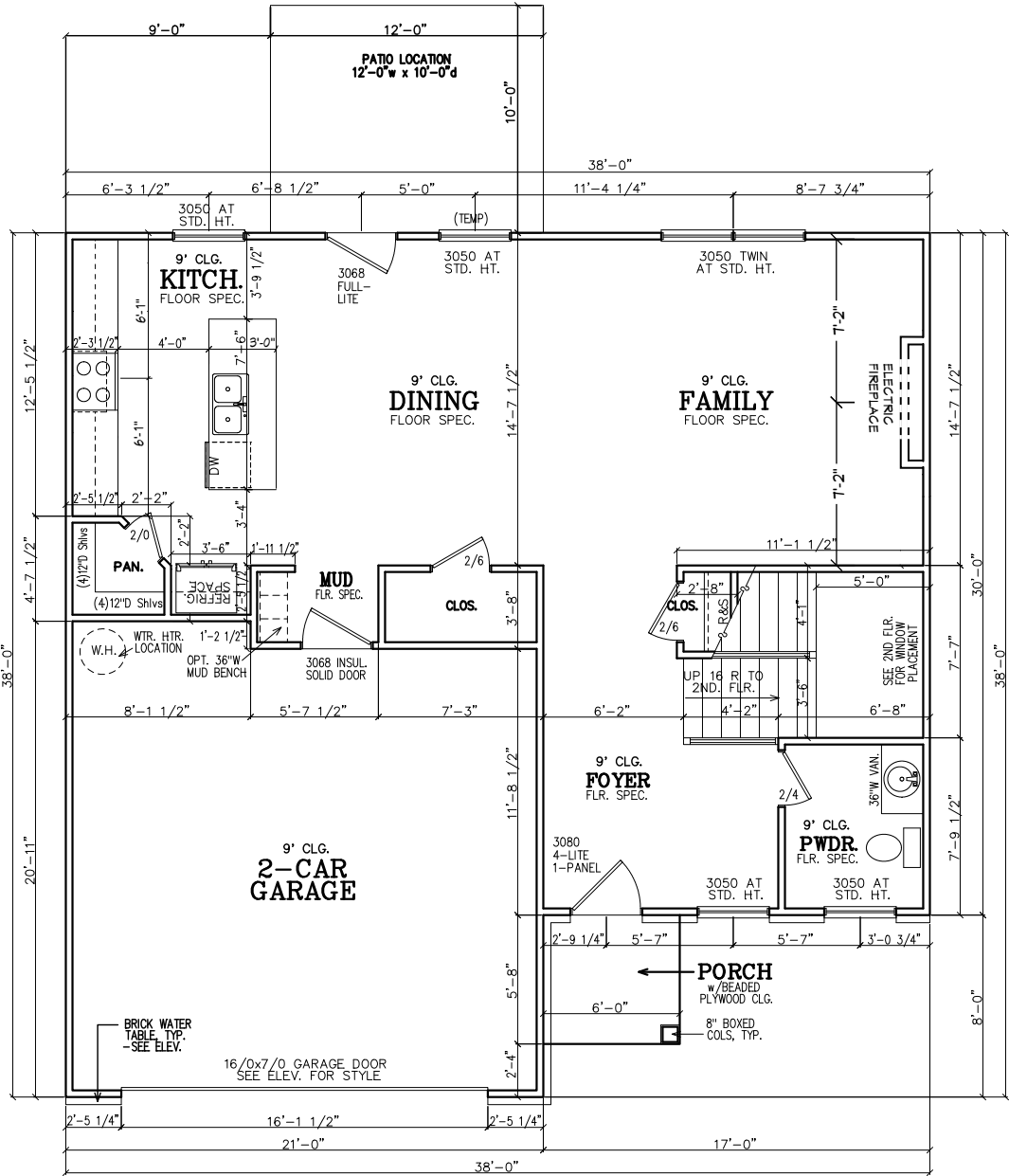
INSULATION NOTES:
1. WALL INSULATION SHALL BE A MINIMUM OF R-13.
2. CEILING INSULATION SHALL BE A MINIMUM OF R-38.
3. SLAB INSULATION PER CODE. *ALL UNLESS NOTED OTHERWISE*

NOTE—ALL ANGLES ON THIS PLAN ARE 90deg.OR 45deg U.N.O.



ELEVATION VIEW

1 OPT. MUD ROOM BUILT-IN
4 SC: N.T.S.



SUBDIVISION:

LOT #:.
RELEASED:.



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CLIENT INFORMATION:



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MARIETTA, GA 30060
(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-B LFT.

First Floor Plan

DESIGNED BY: C.SAMUDA 09/08/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1075

REVISIONS:

No.	Date	Revisions	App.
1	.	.	.
2	.	.	.
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SHEET NUMBER:

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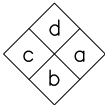
LEGEND

4

DETAIL NUMBER

9

SHEET NUMBER

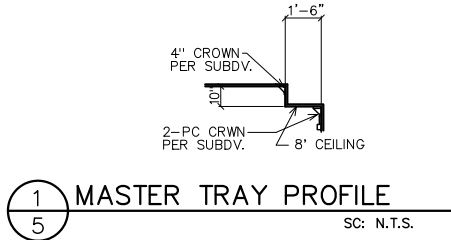
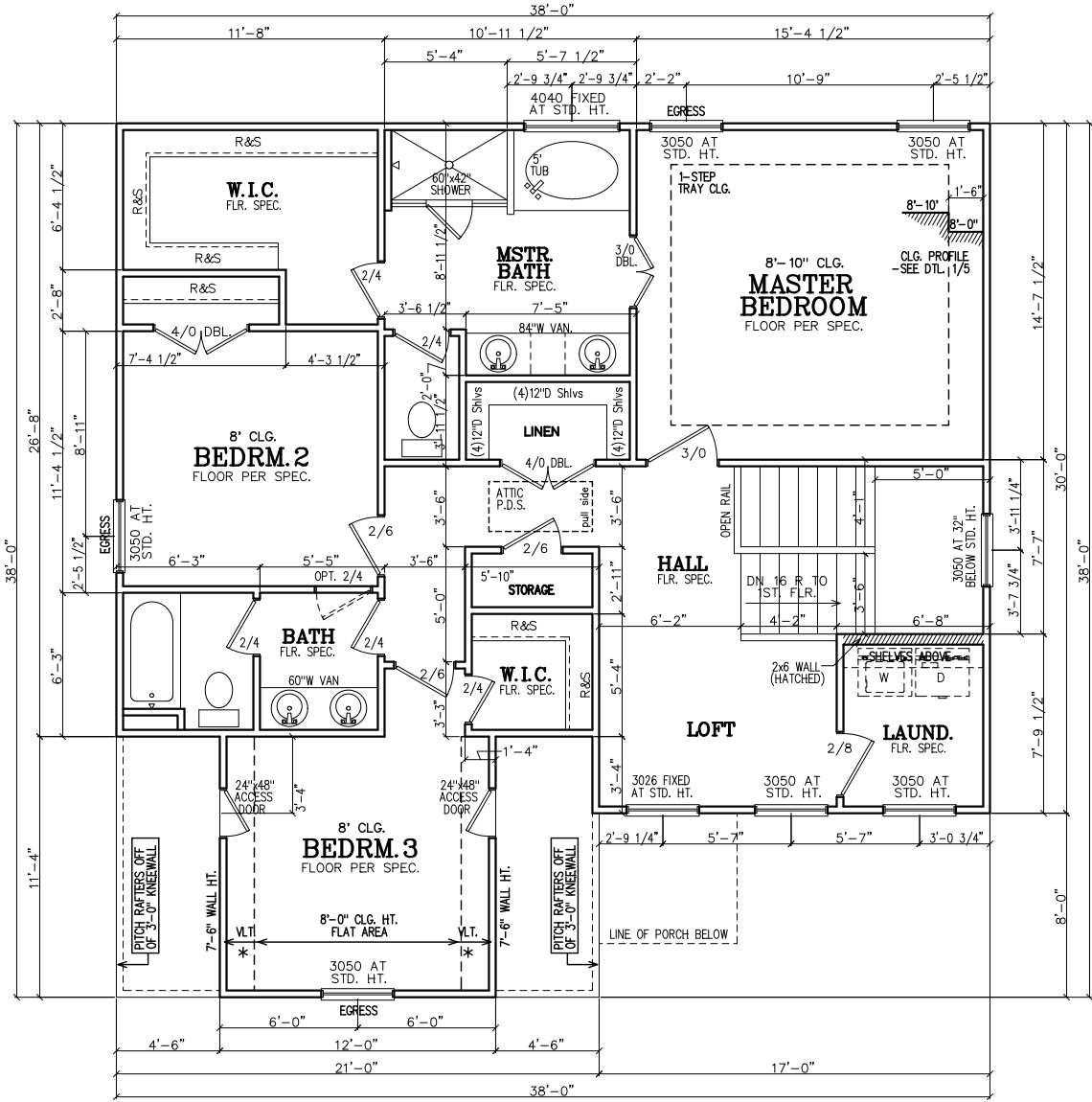


INTERIOR
ELEVATION
KEY

SECOND FLOOR NOTES:
ALL 2ND FLR. CEILING HTS. TO BE CONTINUOUS 8'-0" U.N.O. ALL DOORS TO BE 80" HIGH U.N.O. ALL 2ND FLR. WINDOWS TO BE AT STD.(83") HDR. HT. U.N.O.

INSULATION NOTES:
1. WALL INSULATION SHALL BE A MINIMUM OF R-13.
2. CEILING INSULATION SHALL BE A MINIMUM OF R-38.
3. SLAB INSULATION PER CODE. *ALL UNLESS NOTED OTHERWISE*

NOTE-ALL ANGLES ON THIS PLAN ARE 90deg.OR 45deg U.N.O.



SUBDIVISION:

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(678) 978-2568
CONTACT: ZACH BROOKS

PROJECT INFORMATION:

THE ANSLEY-B LFT.

Second Floor Plan

DESIGNED BY: C.SAMUDA 09/08/20

SCALE:
1/8"=1'-0" < 11"x17"
1/4"=1'-0" < 24"x36"

SQUARE FOOTAGE:

1ST FLR.	890
2ND FLR.	1205
TOTAL	2095
GARAGE	425
BSMT. (UNFIN.)	N/A

JOB NUMBER:

20-1075

REVISIONS:

No.	Date	Revisions	App.
1	.	.	.
2	.	.	.
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SHEET NUMBER:

5

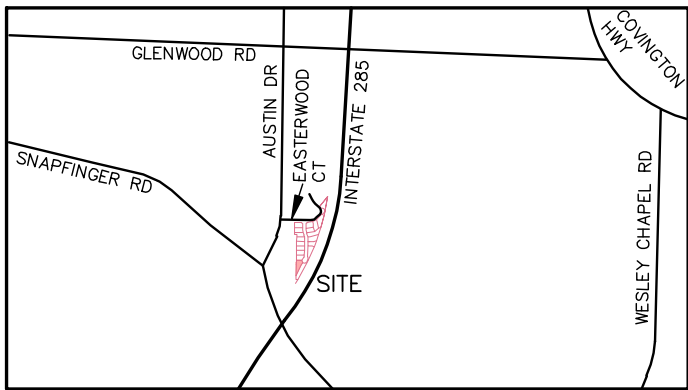
NOTE:

THE PURPOSE OF THIS MAP IS FOR ACQUIRING BUILDING VARIANCES TO CONSTRUCT A HOUSE ON THE LOT SHOWN.

FOR BOUNDARY REFERENCE EASTERWOOD PLACE FINAL PLAT BY THE NORTHLAND COMPANY, INC. DATED 10-20-05 LAST REVISED 10-19-06 AND RECORDED IN PB. 180, PG. 70. THIS PLAT CURRENTLY HAS BEEN REVISED AND RESUBMITTED TO DEKALB COUNTY FOR APPROVAL. REVISED FINAL PLAT AP#1245352. PROPERTY LINES SHOWN HEREON REFLECT PLAT AWAITING APPROVAL.

IMPERVIOUS CALCULATIONS:

HOUSE - 884 SF
GARAGE - 424 SF
STOOP - 34 SF
WALK, DRIVEWAY, AC - 690 SF



VICINITY MAP - NOT TO SCALE

FLOOD STATEMENT:

"FIA OFFICIAL FLOOD HAZARD MAP"
COMMUNITY No. 130065, MAP NUMBER 13089C0151J, MAP ZONE 'X', PANEL 0151 J, DATED 05-16-2013, SHOWS THIS PROPERTY NOT TO BE IN A DESIGNATED BASE FLOOD AREA.

SETBACKS: FRONT = 30 FT
SIDE = 7.5 FT
REAR = 40 FT

Request to reduce rear yard setback from 40-ft to 30-ft

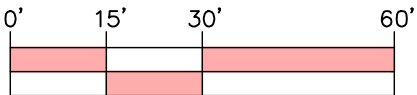
The proposed house footprint of the Ashley plan measures 38ft x 38ft, this footprint provides a finished square footage of 2,095 SqFt, meeting the minimum required square footage requirement of 2,000 SqFt for the subdivision.

NOW OR FORMERLY
JEANIE WARE
DB. 8303, PG. 40
ZONED R-75



4-12-22

GRAPHIC SCALE

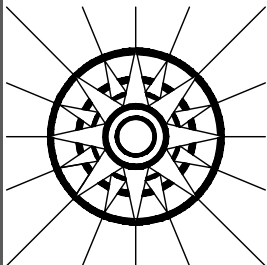


(IN FEET)
1" = 30'

LEGEND:

- | | |
|-------------------------------|--------------------------------|
| BOC - BACK OF CURB | #3RB - 3/8" REBAR |
| BL - BUILDING LINE | #4RB - 1/2" REBAR |
| CB - CATCH BASIN | #5RB - 5/8" REBAR |
| CH - CHORD | AI - ANGLE IRON |
| CL - CENTERLINE | CT - CRIMP TOP |
| CMP - CORRUGATED METAL PIPE | OT - OPEN TOP |
| CONC. - CONCRETE | SR - SOLID ROD |
| CONC.MON. - CONCRETE MONUMENT | JB - JUNCTION BOX |
| DE - DRAINAGE EASEMENT | LLL - LAND LOT LINE |
| DS - DOWNSPOUT | A - LENGTH OF ARC |
| DI - DROP INLET | LP - LIGHT POLE |
| EOP - EDGE OF PAVEMENT | N/F - NOW OR FORMERLY |
| EX - EXISTING | PP - POWER POLE |
| FH - FIRE HYDRANT | R - RADIUS |
| FLOW LINES | RCP - REINFORCED CONCRETE PIPE |
| GM - GAS METER | RTW - RETAINING WALL |
| GV - GAS VALVE | R/W - RIGHT-OF-WAY |
| GW - GUY WIRE | C/O - SANITARY SEWER CLEANOUT |
| HW - HEADWALL | SSE - SANITARY SEWER EASEMENT |
| HD - HOUSE DRAIN | SSMH - SANITARY SEWER MANHOLE |
| IPF - IRON PIN FOUND | TBM - TEMPORARY BENCH MARK |
| IPS - IRON PIN SET | TMH - TELEPHONE MANHOLE |
| | WM - WATER METER |
| | WV - WATER VALVE |

TASO & ASSOCIATES, LLC
LAND SURVEYORS



3330 Cobb Parkway
Suite 324 - PMB 355
Acworth, Georgia
30101 678-581-0102
tasosurvey@yahoo.com

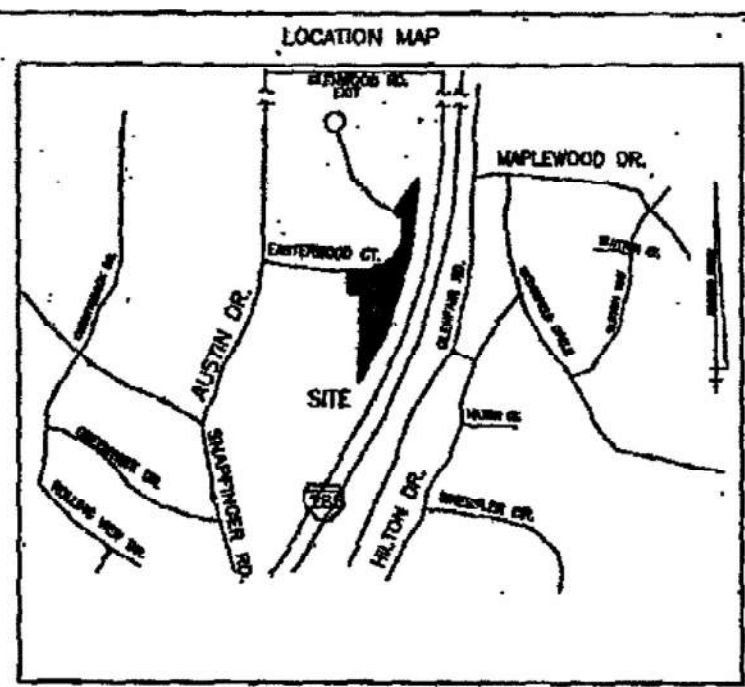
PREPARED FOR:
CREATE HOMES, LLC
PO BOX 758
MARIETTA, GA. 30061

LOT SUMMARY:

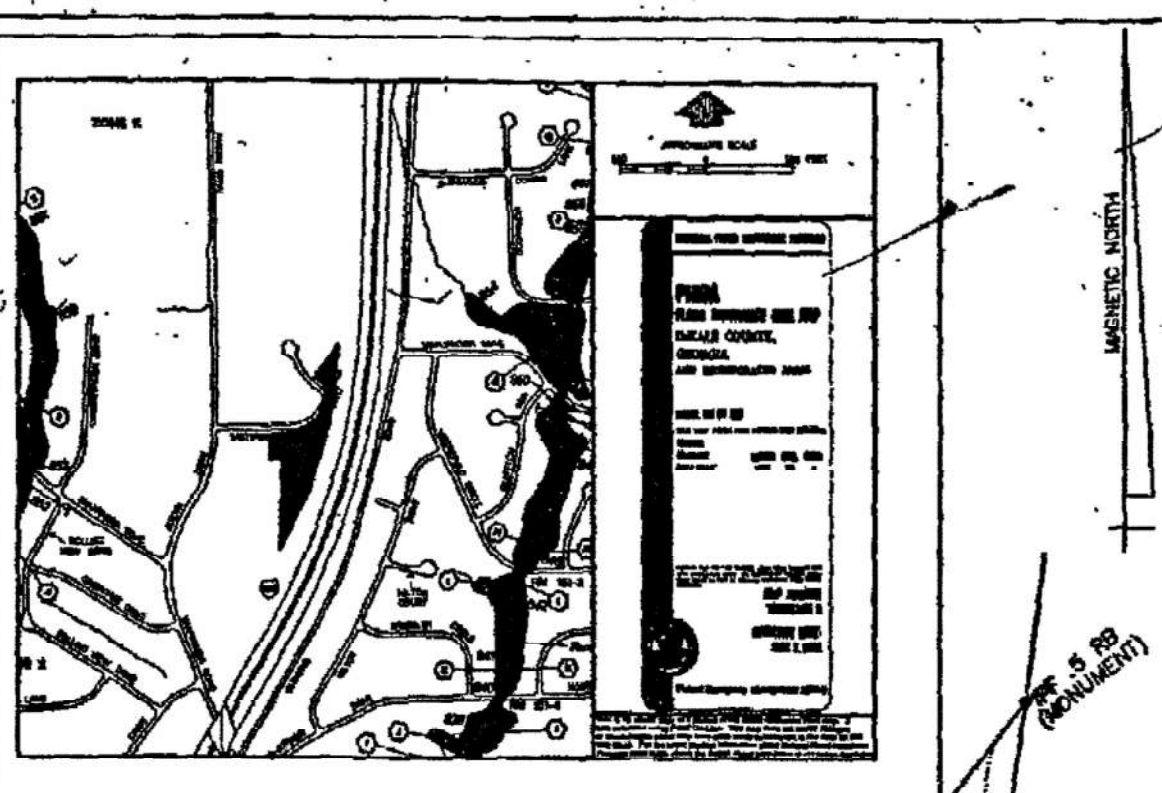
ADDRESS: 2099 EASTERWOOD TERRACE
LOT SIZE: 13,503 S.F. - 0.310 ACRE
HOUSE TYPE: ANSLEY A
24HR. CONTACT: ZACH BROOKS 678-978-2568

VARIANCE MAP FOR:

LOT: 9 BLOCK: PHASE: UNIT:
SUBDIVISION: EASTERWOOD PLACE
LAND LOT: 157 DISTRICT: 15th SECTION:
DEKALB COUNTY, GEORGIA
SCALE: 1" = 30'
DATE: 03-20-2022
REVISED:
JOB NO. 20-0059 LOT 09 VA



STATION	INVERT	PIPE	TYPE	DIAMETER	SLOPE
D5 JB 894.90	30'	CMP	178'	1.1X	
D4 DI 892.99	30'	CMP	151'	1.1X	
D3 JB 891.38	30'	CMP	111'	1.3X	
D2 JB 889.91	36'	CMP	11'	6.5X	
D1 HW 889.20					
D27 DVCB 892.49	18'	CMP	27'	1.5X	
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D24 HW 890.13	18'	CMP	35'	2.5X	
D23 DI 889.25	18'	CMP	75'	2X	
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D4 DI 892.99					



LINE	LENGTH	BEARING
L1	35.30	S 30° 57' 16" W
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THIS IS TO CERTIFY THAT THIS FINAL PLAT COMPLIES WITH ALL COUNTY ZONING, ENVIRONMENTAL, AND SUBDIVISION ORDINANCES AND REGULATIONS AND ALL APPLICABLE STATE AND FEDERAL LAWS.

DATED THIS 2nd DAY OF May 2007

Patricia E. Jones

DIRECTOR, DEVELOPMENT DEPARTMENT

THIS IS TO CERTIFY THAT THIS FINAL PLAT COMPLIES WITH ALL COUNTY ZONING, ENVIRONMENTAL, AND SUBDIVISION ORDINANCES AND REGULATIONS AND ALL APPLICABLE STATE AND FEDERAL LAWS.

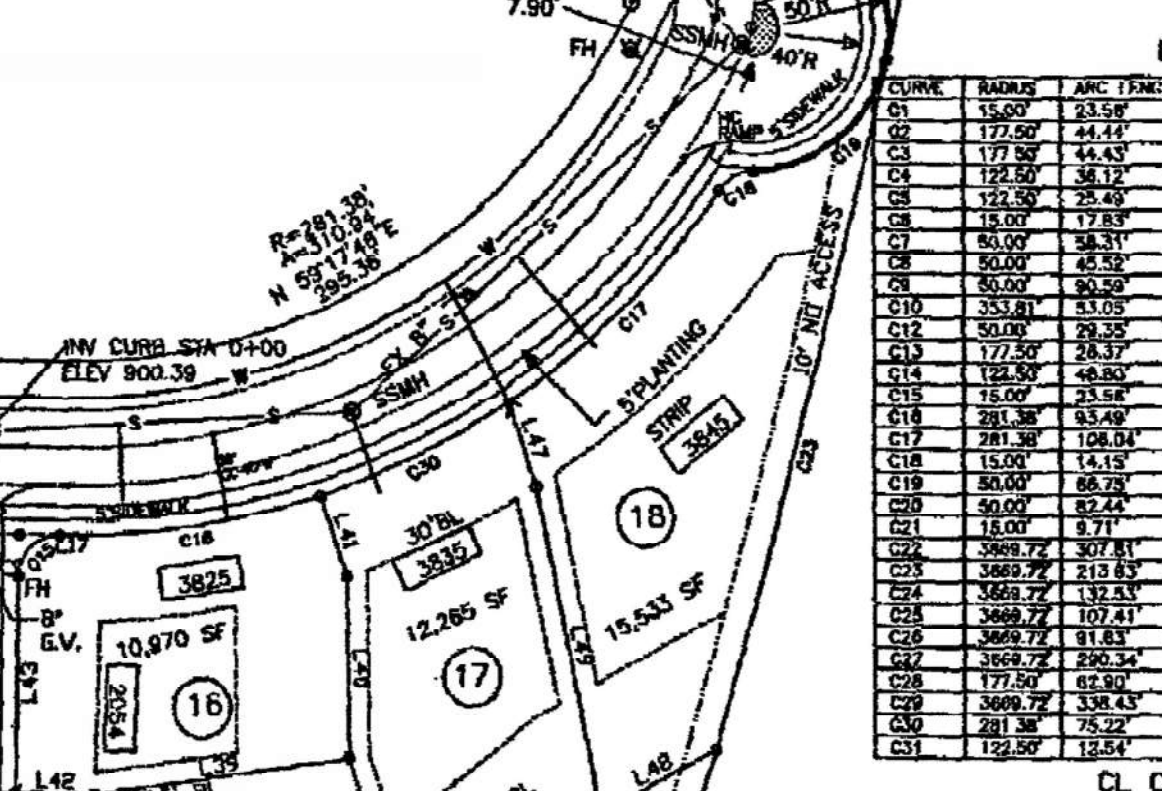
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Patricia E. Jones

DIRECTOR, PLANNING DEPARTMENT

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WATER AND SEWER AVAILABILITY ACKNOWLEDGEMENT

WE, THE UNDERSIGNED, HEREBY STATE THAT LOTS SHOWN ON THE PLAN FOR THE PROJECT KNOWN AS EASTWOOD PARK LIVING IN LAND LOT 157, OF THE 15TH DISTRICT, DEKALB COUNTY, GEORGIA, ARE PROVIDED WITH SERVICES FOR CONNECTION TO THE PUBLIC WATER AND SANITARY SEWER SYSTEMS.

THIS THE 23rd DAY OF October 2006

William C. Ellis

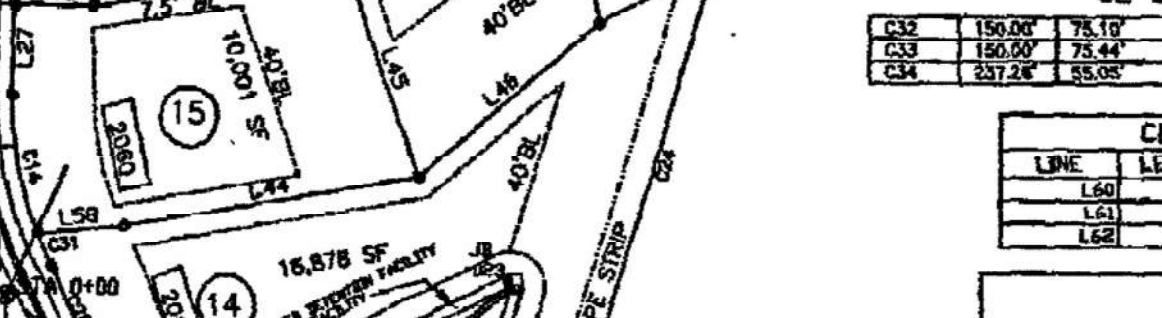
ENGINEER/SURVEYOR/CONTRACTOR

I CERTIFY THAT THIS PROJECT MEETS THE DEKALB COUNTY STORMWATER QUALITY REQUIREMENTS PER THE DEVELOPMENT ORDINANCE SECTION 14-42.

William C. Ellis

P.E. 19324

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EASEMENT '1'

RECORDED IN DEKALB COUNTY, GEORGIA, BOOK 2002 PG. 22

DATED 6/7/07



2099 Easterwood Terrace

0 0.00225 0.0045 0.009 0.0135 0.018 mi

Date Printed: 5/24/2022

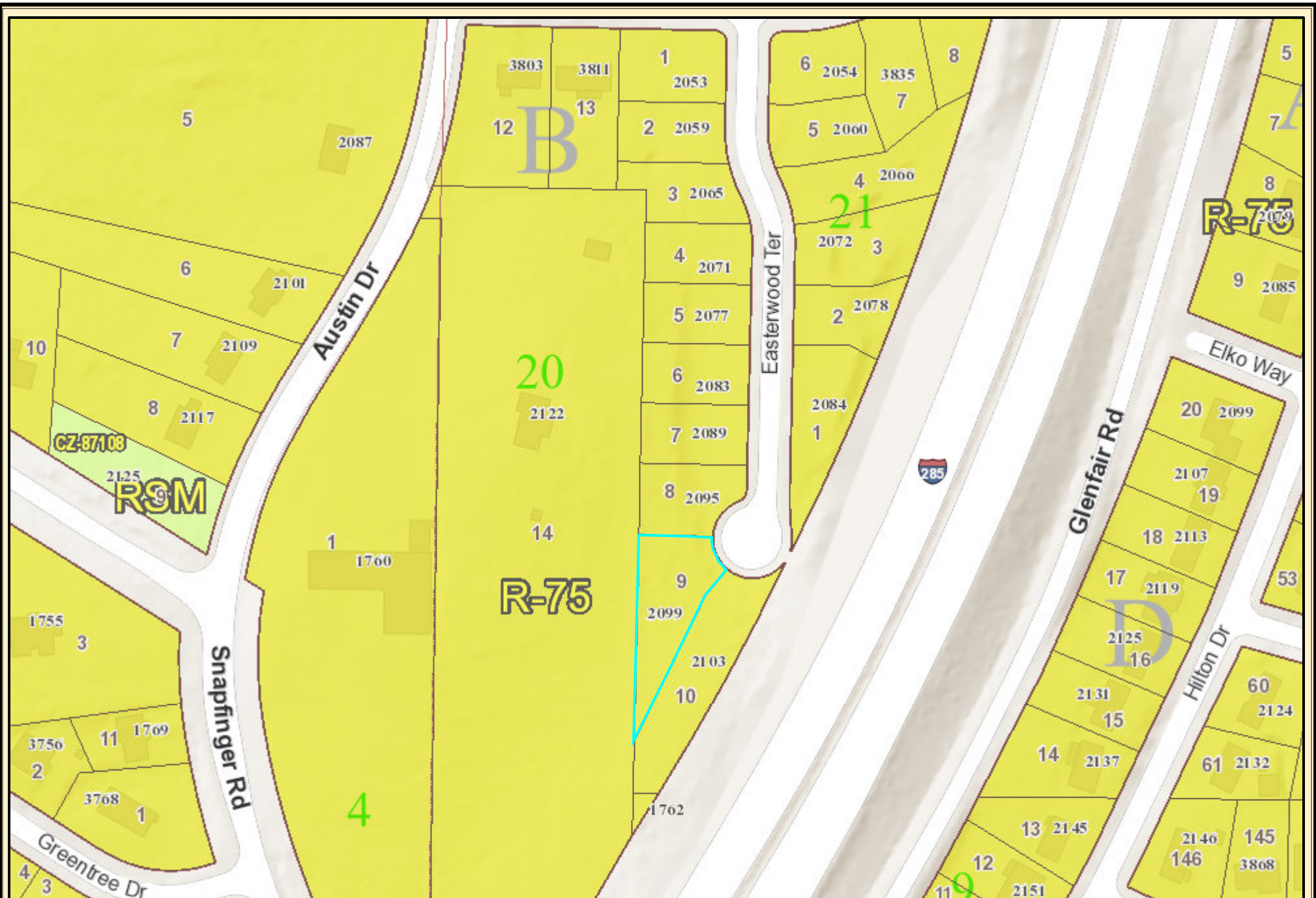


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2099 Easterwood Terrace

0 0.0075 0.015 0.03 0.045 0.06
mi

Date Printed: 5/24/2022



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