



Michael L. Thurmond  
Chief Executive Officer

**DeKalb County Zoning Board of Appeals**  
Department of Planning & Sustainability  
178 Sams Street, Suite A-3600  
Decatur, GA 30030

**Wednesday, November 9, 2022, at 1:00 PM**

**Planning Department Staff Analysis**



Andrew Baker, AICP  
Director

**N3. Case No: A-22-1246131**

**Parcel ID(s): 16-37-01-002**

**Commission District 05 Super District 07**

**Applicant:** Paran Homes, LLC  
20 Mansell Court, East, Suite 100  
Roswell, Georgia 30309

**Owner:** Heritage at Panola SFR Owner, LLC  
10100 Santa Monica Boulevard, Suite 1000  
Los Angeles, California 90067

**Project Name:** 1705 Panola Road - Retaining Wall

**Location:** The property is located approximately 600 feet north of the intersection of Panola Road and Young Road.

**Request:** 1) To request a variance from Chapter 27-5.4.7 of the DeKalb County Zoning Ordinance to increase maximum height of a retaining wall from 6 feet to 14 feet.

**Staff Recommendation:** Denial:

## **STAFF FINDINGS:**

### **Variance Analysis:**

The applicant is requesting a variance from Chapter 27-5.4.7 to increase the maximum height from 6 feet to 14 feet for a proposed retaining wall.

**1. By reason of exceptional narrowness, shallowness or shape of a specific lot, or by reason of exceptional topographic conditions, which were not created by the owner or applicant, the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district:**

The property is located within the RSM zoning district and lies within the of Hidden Hills Overlay District Residential. Based on the submitted site plan, the subject property is a multifamily development of approximately 23.02 acres consisting of 74 single-family detached and 65 townhouse units.

Although there may be exceptional topographic conditions on the site, the strict application of the requirements of this chapter may not deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district. There appear to be design alternatives that would eliminate the need for a variance.

**2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:**

The requested variance may go beyond the minimum necessary to afford relief and may constitute a grant of special privilege in inconsistent with the limitations upon other properties in the zoning district in which the subject property.

The applicant stated that a 6-foot wall would cause undue and unnecessary hardship and would prevent the maximum drainage away from the adjacent residential properties and the flow to the stormwater pond on the development. However, the Ordinance under section 5.4.7 (E)(4) states that the retaining walls over six (6) feet may be tiered, up to twelve (12) feet facing residential or sixteen (16) feet facing non-residential without a variance, provided that the wall design is submitted by a licensed engineer and be approved by the department. Therefore, the walls could be tiered and designed in such a fashion to provide the necessary drainage yet not exceed the maximum height.

**3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:**

The requested variance may be materially detrimental to the public welfare, injurious to the property, or improvements in the zoning district in which the subject property is located. A 14-foot tall wall may present a danger to the public.

**4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:**

Based on the submitted materials, the strict application of the applicable provisions and requirements of this chapter may not cause an undue and unnecessary hardship. It appears the wall could be designed to comply with the zoning code.

**5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:**

Based on the submitted materials, it appears that the requested variance is not consistent with the spirit and purpose of this Chapter. The future land use for the subject property described in the DeKalb County Comprehensive Plan text is Suburban. The plan states: in appropriate locations multi-family residential development is encouraged to conform with suburban development principles. This application appears to undermine this development goal by proposing a retaining wall of potentially dangerous height.

**FINAL STAFF ANALYSIS:**

The requested variance may go beyond the minimum necessary to afford relief and may constitute a grant of special privilege in inconsistent with the limitations upon other properties in the zoning district in which the subject property.

Per the DeKalb County zoning ordinance, states that the retaining walls over six (6) feet may be tiered, up to twelve (12) feet facing residential or sixteen (16) feet facing non-residential without a variance, provided that the wall design is submitted by a licensed engineer and be approved by the department. Therefore, the walls could be tiered and designed in such a fashion to ensure the necessary drainage flows yet meet the maximum height of 12 feet.

Therefore, staff recommends that this request shall be denied.

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING  
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. \_\_\_\_\_

Applicant and/or  
Authorized Representative Paran Homes, LLC

Mailing Address: 20 Mansell Court E. Suite 100

City/State/Zip Code: Roswell, Georgia 30076

Email: wporter@georgiacapital.com

Telephone Home: 504-256-2160 Business: 678-726-9646

**OWNER OF RECORD OF SUBJECT PROPERTY**

Owner: Heritage at Panola SFR Owner, LLC

Address (Mailing): 10100 Santa Monica Blvd., Suite 1000, Los Angeles, CA 90067

Email: abarbakoff@pccpllc.com

Telephone Home: \_\_\_\_\_ Business: 646-308-2114

**ADDRESS/LOCATION OF SUBJECT PROPERTY**

Address: 1705 Panola Road City: Stone Mountain State: GA Zip: 30088

District(s): 16 Land Lot(s): 37 Block: \_\_\_\_\_ Parcel: 16 037 01 002

Zoning Classification: RSM Commission District & Super District: 5 and 7

**CIRCLE TYPE OF HEARING REQUESTED:**

- ☒ **VARIANCE** (From Development Standards causing undue hardship upon owners of property.)
- ☐ **SPECIAL EXCEPTIONS** (To reduce or waive off-street parking or loading space requirements.)
- ☐ **OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.**

**\* PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS. \***

**TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT:**

Date Received: \_\_\_\_\_ Fee Paid: \_\_\_\_\_



## ZONING BOARD OF APPEALS APPLICATION AUTHORIZATION OF THE PROPERTY OWNER

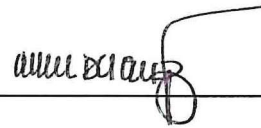
I hereby authorize the staff and members of the Zoning Board of Appeals  
To inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 10/4/22

Applicant: \_\_\_\_\_  
Signature



DATE: \_\_\_\_\_

Applicant: \_\_\_\_\_  
Signature



DeKalb County  
GEORGIA

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals  
to inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the  
ZoningBoard of Appeals for the requests as shown in this application.

DATE: 10/4/22

Applicant/Agent:  
Signature

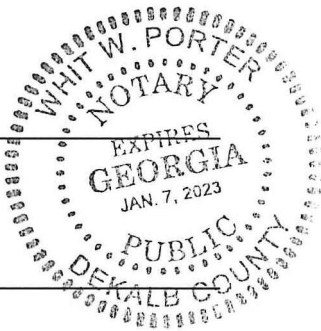
[Signature]

TO WHOM IT MAY CONCERN:

(I)/ (WE) Heritage at Panola SFR Owner, LLC  
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to:

[Signature]  
Notary Public



Notary Public

Notary Public

[Signature]  
Owner

Owner

Owner

November 5, 2022

**Dekalb County Department of Planning & Sustainability**  
*330 W. Ponce de Leon Ave., Suite 500*  
*Decatur, GA 30030*

**RE: The Heritage at Panola Subdivision – Letter of Intent for Variance Request**

To whom it may concern,

We are requesting a variance to Article 5, Section 5.4.7 to propose a wall height up to a maximum of 14'. This variance request is for an 8' increase in wall height from the allowed 6' height.

There are extraordinary physical limitations on the lots where the wall heights exceed six feet. The proposed wall is necessary to protect the transitional buffer along the northern property line. This transitional buffer offers a vegetative screen between the proposed development and the existing adjacent owners. In addition, there is an existing drainage easement which channels flows from the existing residential development located on the east side of Panola Road. The wall is necessary to avoid any disturbance to this existing drainageway. The proposed wall also ensures that drainage from the proposed lots flows away from the northern property line and the existing residential development and is captured in the proposed storm system and directed to the stormwater pond. The Land Disturbance Permit (LDP) was approved with the proposed wall height necessary to protect these adjacent areas and ensure the proposed lots provided adequate area for the minimum required house footprints.

The requested variance does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district. The granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located. The literal interpretation and strict application of the provisions requiring a six foot maximum wall height would cause undue and unnecessary hardship to this development and would prevent the maximum redirection of drainage away from the adjacent properties to the north and the subsequent mitigation of said flows within the stormwater pond provided on this development. Furthermore, the requested variance would be consistent with the spirit and purpose of this chapter of the Dekalb County Comprehensive Plan text.

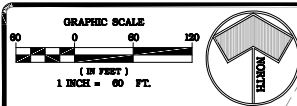
Thanks,

Gina M. Day, P.E.



Post Office Box 848 • Buford, Georgia 30518  
Phone: 770-271-4676 Fax: 678-714-8477  
daydesigngroup@charter.net  
www.daydesigngroup.com





NOTE: THE PURCHASERS OF LOTS 96 AND 97 WILL BE TOLD THAT THEY WILL NEED TO SEE THE ROLL-CARTS FOR HOUSEHOLD WASTE AND RECYCLABLE MATERIAL AT THE SOUTH EDGE OF THEIR PROPERTY TO BE SERVED.

NOTE: THE PURCHASERS OF LOTS 111 AND 112 WILL BE TOLD THAT THEY WILL NEED TO SEE THE ROLL-CARTS FOR HOUSEHOLD WASTE AND RECYCLABLE MATERIAL AT THE NORTH EDGE OF THEIR PROPERTY TO BE SERVED.

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**GEORGIA811**  
www.Georgia811.com  
811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING.

**DAY DESIGN GROUP, Inc.**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
SITE PLANNING  
1705 AMERICAN BLVD. SUITE 100  
DUBLIN, GA 30144  
(770) 271-4476  
P.O. BOX 848  
DUBLIN, GA 30144  
(770) 271-4476

**THE HERITAGE AT PANOLA**  
A RESIDENTIAL SUBDIVISION  
1705 AMERICAN BLVD. SUITE 100  
DUBLIN, GA 30144  
LAND LOT 17, 16TH DISTRICT, DEKALB COUNTY, GEORGIA

**SYMBOL LEGEND**

- JUNCTION BOX
- HEAD OF WALL
- SINGLEWING CATCH BASIN
- DOUBLESIDED CATCH BASIN
- DROP INLET
- WER INLET
- OUTLET CONTROL STRUCTURE
- STORM PIPE
- MANHOLE
- SEWER LATERAL
- SEWER PIPE
- FIRE HYDRANT
- GATE VALVE
- WATER PIPE
- WATER TEE
- WATER LINE

**CONSERVATION AREAS:**  
CONSERVATION AREAS ARE HATCHED ON THIS PLAN AND THOSE DESIGNATED AREAS SHALL BE RECORDED AT THE DEKALB COUNTY COURTHOUSE IN PERPETUITY AT THE TIME OF FINAL PLAT.

**NOTE:**  
DEKALB COUNTY IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS BY ENGINEERS OR OTHER DESIGN PROFESSIONALS ON DESIGN OR COUNTY CODE REQUIREMENTS FOR THIS PROJECT.

**NOTE:**  
DEKALB COUNTY SANITATION DEPARTMENT IS RESPONSIBLE FOR GARBAGE AND RECYCLING PICK-UP.

**DEKALB COUNTY SANITATION DEPARTMENT**  
1. SITE AREA = 33.02 ACRES  
2. THE SUBJECT PROPERTY IS ZONED RSM (SPD & SFA)  
3. BUILDING SETBACKS  
FRONT = 20' SFA SFA 15'  
SIDE = 5' (10' BUILD SEPARATION)  
REAR = 10' SFA 15'  
4. MINIMUM LOT AREA = 5,000 SFD, 1,000 SFA  
5. MINIMUM LOT WIDTH = 50' SFD, 20' SFA  
6. BEDROOMS AND 1,400 SF FLOOR AREA PROPOSED FOR ATTACHED HOUSING  
7. BEDROOMS AND 1,400 SF FLOOR AREA PROPOSED FOR DETACHED HOUSING  
8. MAX BUILDING HEIGHT = 35' SFD 45' SFA  
9. MAX LOT COVERAGE = 50%  
10. TOTAL UNITS = 120  
11. DENSITY = 3.65 UNITS/ACRE  
12. SINGLE FAMILY ATTACHED: 56 LOTS (LOT # 1-74)  
13. SINGLE FAMILY DETACHED: 64 LOTS (LOT # 75-139)  
14. OPEN SPACE = 4.81 AC (20.08%); ALL OPEN SPACE/AMENITY AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS  
15. WATER AND SEWER PROVIDED BY DEKALB COUNTY  
16. ELECTRICAL SERVICE PROVIDED BY GEORGIA POWER  
17. NO KNOWN BURY PITS ARE ON SITE  
18. NO PORTION OF THE PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAPS OF DEKALB COUNTY, GEORGIA FIRM PANEL NO. 13080C0156A, EFFECTIVE DATE MAY 16, 2013.  
19. NATIONAL WETLANDS INVENTORY MAPS HAVE BEEN REVIEWED AND NO WETLANDS ARE SHOWN  
20. THERE ARE NO KNOWN HISTORIC FEATURES ON SITE  
21. THE RECEIVING WATERS IS AN UNIMPAIRED TRIBUTARY TO SHAPPEE CREEK  
22. RECORDED OFF-SITE SEWER EASEMENT REQUIRED FOR ASSURANCE OF DEVELOPMENT PERMIT  
23. A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENHANCEMENT VARIANCE BY DEKALB COUNTY OR GA ESD-3  
24. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERING REQUIREMENTS  
25. POH IS RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER FACILITIES AND STORMWATER CONVEYANCES ON THE PROPERTY  
26. RIGHT OF WAY WIDTH = 55'  
27. INTERIOR SIDEWALK WIDTH = 25'  
28. INTERIOR SIDEWALK WIDTH = 5'  
29. CONSTRUCTION OF ANY UTILITY FACILITIES WITHIN THE RIGHT-OF-WAY OF ANY OF ANY COUNTY MAINTAINED ROADWAY A PERMIT MUST BE OBTAINED FROM THE UTILITY COORDINATOR.  
30. NO PRESSURE MAINS ARE TO BE INSTALLED ON FIRE LINES. ALL FIRE LINES ARE TO BE INSPECTED BY DEKALB FIRE SERVICE PRIOR TO COVERING. CALL 404-234-2348 FOR RESOLUTIONS.  
31. CONTRACT MUST BE SIGNED AND SIGNED PRIOR TO START OF CONSTRUCTION.  
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**DATE:** 06/02/21  
**DRAWN BY:** BHO/JAM  
**JOB NO.:** 19-132

**SHEET 4 OF 32**





NOTE:  
NO WOODY VEGETATION IS ALLOWED  
WITHIN 15' OF THE/DOWNSTREAM TOE  
OF EARTHEN EMBANKMENT (I.E. STUMPS,  
ETC.)



NOTE:  
REFER TO PLANS PREPARED BY CIVIL  
ENGINEERING CONSULTANTS FOR THE  
DESIGN OF THE PROPOSED SANITARY  
SEWER HOLDING SYSTEM. BOTH ENDS OF  
SANITARY SEWER P-MH A1.1 TO P-MH A2  
TO BE PLUGGED PER THOSE PLANS.

**NOTE:**  
EACH STORAGE HOLDING TANK  
TO HOLD 11,222 GALLONS.

**NOTE:**  
ALL STORM PIPE AND  
STRUCTURES SHALL COMPLY  
WITH GADOT STANDARDS FOR  
DESIGN, CONSTRUCTION &  
INSTALLATION.

SIGHT DISTANCE FOR ALL STREETS IN THIS DEVELOPMENT ARE IN COMPLIANCE WITH AASHTO "POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS."

**RECEIVING WATERS NOTE:**  
THE IMMEDIATE RECEIVING WATERS OF THIS PROJECT IS AN UNNAMED TRIBUTARY TO SNAFFINGER CREEK. THE UNNAMED TRIBUTARY IS +/- 230 LF FROM THE NORTHWEST PROPERTY CORNER. THE PROPERTY IS +/- 7,800 LF FROM THE PROPERTY.

**OWNER**  
PARAN HOMES LLC  
20 MANSELL CT. E.; STE 100  
ROSWELL, GA 30076

**DEVELOPER**  
**PARAN HOMES, LLC**  
**20 MANSELL CT. E.; STE 100**  
**ROSWELL, GA 30076**  
**MR. WHIT PORTER**  
**(504) 256-2160**  
**[wporter@georgiacapital.com](mailto:wporter@georgiacapital.com)**

**SURVEY CONTACT**  
**DUSOUTH**  
**SURVEYING & ENGINEERING, INC**  
**22 BARNETT SHOALS ROAD**  
**WATKINSVILLE, GA 30677**  
**JERRY D. WOOD, RLS**  
**706-310-1961**

**ENGINEER**  
**DAY DESIGN GROUP, INC.**  
**P.O. BOX 848**  
**BUFORD, GA 30515**  
**770-271-4676**

**STORM WATER RUN-OFF ENGINEER'S CERTIFICATE**  
I, GINA M. DAY, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA, HEREBY CERTIFY WITH MY SIGNATURE AND SEAL, THAT THE GRADING AND DRAINAGE PLANS FOR THE PROJECT KNOWN AS THE HERITAGE AT PANOLA DEVELOPMENT/BUILDING PERMIT #1245018, LYING IN LAND LOT 37, OF THE 16TH DISTRICT, DEKALB COUNTY, HAVE BEEN REVIEWED UNDER MY SUPERVISION, AND STATE THAT, IN MY OPINION, THE EXECUTION OF SAID PLANS WILL COMPLY WITH THE DEKALB COUNTY LAND DEVELOPMENT ORDINANCE.

THIS, THE DAY OF OCTOBER 15, 2021.

Ma M. Day  
SIGNATURE

26674  
GEORGIA REGISTRATION NO.

**PROPOSED WATER QUALITY FACILITY ENGINEER'S CERTIFICATE**  
I, GINA M. DAY, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA, HEREBY CERTIFY WITH MY SIGNATURE AND SEAL, THAT THE WATER QUALITY FACILITY (FACILITIES) FOR THE PROJECT KNOWN AS THE HERITAGE AT PANOLA DEVELOPMENT/BUILDING PERMIT #1245018, LYING IN LAND LOT 37, OF THE 36TH DISTRICT, DEKALB COUNTY, HAS (HAVE) BEEN DESIGNED TO COMPLY WITH THE APPROVED PLANS AND SPECIFICATIONS, AND IN ACCORDANCE WITH DEKALB COUNTY REQUIREMENTS.

THIS, THE DAY OF OCTOBER 15, 2021

SIGNATURE Mike M. Day  
26674  
GEORGIA REGISTRATION NO

**NOTE:**  
72 HOURS NOTICE IS  
REQUIRED TO GEORGIA  
811 UTILITY PROTECTION  
CENTER BEFORE ANY  
PLANNED DIGGING

**GEORGIA811**  
www.Georgia811.com  
DeKalb County  
Utilities Protection Center, Inc.  
811 or 1-800-282-7411  
DEVELOPMENT SERVICES



**CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
SITE PLANNING**

O. BOX 848  
JUFORD, GA 30515

(770) 271-4676 ph  
(706) 369-8568 fax

[ddg@daydesigngroup.com](mailto:ddg@daydesigngroup.com)  
[www.daydesigngroup.com](http://www.daydesigngroup.com)

**DAY  
DESIGN  
GROUP, Inc.**

**THE HERITAGE AT PANOLA**  
FOR  
GRADING & DRAINAGE PLAN

**A RESIDENTIAL SUBDIVISION**  
LOCATED IN  
1705 PANOLA ROAD - TAX PARCEL#16 037 01 002  
LAND LOT 37, 16TH DISTRICT, DEKALB COUNTY, GEORGIA

		REVISONS	
NO.	DATE	DESCRIPTION	
1	12/01/21	REVISONS PER COUNTY COMMENTS.	
2	02/24/22	REVISONS PER COUNTY COMMENTS.	

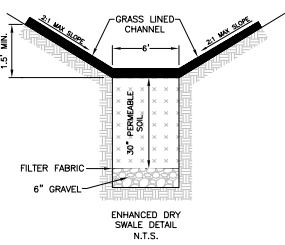
DATE: 06/02/21  
DRAWN BY: BHD/JAM  
JOB NO.: 19-132

SHEET <b>6</b>	OF <b>32</b>
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NOTE:  
NON-EROSIVE FLOWS WILL BE  
PROVIDED FOR LEAVING THE SITE.

CONSERVATION AREAS:  
CONSERVATION AREAS ARE HATCHED  
PLAN AND THOSE DESIGNATED AREA  
RECORDED AT THE DEKALB COUNTY  
IN PERPETUITY AT TIME OF FINAL P

NOTES:  
1) MAX. 2:1 SIDE SLOPES  
2) LONGITUDINAL SLOPE MUST BE <4%  
3) MINIMUM 6" FREEBOARD ABOVE 25-YR STORM WATER SURFACE ELEVATION



**GRADING NOTES:**

1) GRADING SHALL BE DONE IN ACCORDANCE WITH THE LINES AND GRADES DRAWN ON THE APPROVED GRADING PLAN.

2) REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES AND STORMWATER DRAINAGE FACILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AS DEVELOPMENT PROGRESSES.

**WETLANDS PROTECTION NOTE:**  
APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY DEKALB COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. NO WETLAND DISTURBANCES ARE PROPOSED AS A PART OF THIS DEVELOPMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLANDS DISTURBANCE.

SEDIMENT STORAGE:  
DETENTION PONDS & SKIMMER (Sk) WILL BE INSTALLED AND FUNCTIONING BEFORE ANY MAJOR GRADING OR IMPERVIOUS SURFACES ARE CONSTRUCTED.

**GRADING AND DRAINAGE NOTES:**

1. THE CONTRACTOR SHALL LIMIT CONSTRUCTION OPERATIONS TO THE PROJECT SITE AND SHALL PROTECT ADJACENT PROPERTIES AND PROPERTY OWNERS FROM EROSION CAUSED BY SOIL EXPOSURE.
2. MAXIMUM CUT OR FILL SLOPES = 2H: 1V.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL EARTH QUANTITIES, GRADING OPERATIONS AND MISCELLANEOUS HAULING AND/OR DISPOSAL OF EXCESS TO REDUCE THE SITE TO THE FINAL CONTOUR AND GRADE ELEVATIONS SHOWN ON THE PLAN.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL QUANTITIES AND ALL STOCKPILE, EROSION PREVENTION, SEDIMENT, PONDING AND DETAILS SUFFICIENT TO RENDER COMPLETED AND FUNCTIONING DRAINAGE SYSTEMS AS ILLUSTRATED ON THE PLANS.
5. DEVELOPER TO CLEAN OUT ACCUMULATED SILT IN PERMANENT POND AND REMOVE THE EXCESS MATERIAL AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.

**COMPACTION:**  
ALL ROADWAY FILLS AND GRADED AREAS SHALL BE PLACED IN NO GREATER THAN 6" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY TO 1.0' OF SUB-GRADE. THE UPPER 12" OF SUB-GRADE SHALL BE COMPACTED TO 98% MODIFIED PROCTOR DENSITY. ALL AREAS TO RECEIVE PAVEMENT SHALL BE PROOF-ROLLED PRIOR TO INSTALLATION OF BASE MATERIAL. ALL TRENCHES UNDER ROADWAYS AND DRIVEWAYS SHALL BE FULLY COMPACTED TO 95% MODIFIED PROCTOR DENSITY. ALL TRENCHES IN AREAS NOT EXPECTED TO RECEIVE TRAFFIC SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY TO A LEVEL 6" ABOVE THE TOP OF THE TRENCH. ALL TRENCHES SHALL BE PROOF-ROLLED SHALL BE COMPACTED SUBSTANTIALLY TO PREVENT SETTLEMENT. BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS, AND SHALL BE FREE FROM EXCESSIVE MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF ACCEPTANCE (BY THE OWNER) WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

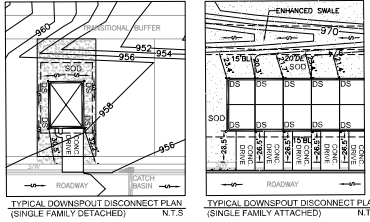
**BEDDING:**

ALL STORM DRAIN PIPES SHALL HAVE A CLASS "C" BEDDING AS A MINIMUM UNLESS NOTED OTHERWISE. EXCAVATE AND SHAPE BOTTOM OF TRENCH TO THE PROPER GRADE, AND TO FIT THE LOWER PART OF THE PIPE EXTERIOR FOR A WIDTH OF AT LEAST 50 PERCENT OF THE OUTSIDE DIAMETER OF THE PIPE. SIDES AND AREA OVER THE PIPE SHALL THEN BE FILLED WITH COMPACTED BACKFILL.

**NOTE:**  
WATER QUALITY IS BEING PROVIDED THROUGH DOWNSPOUT DISCONNECTS, A PROPOSED INFILTRATION BASIN & TWO PROPOSED DRY ENHANCED SWAIFS.

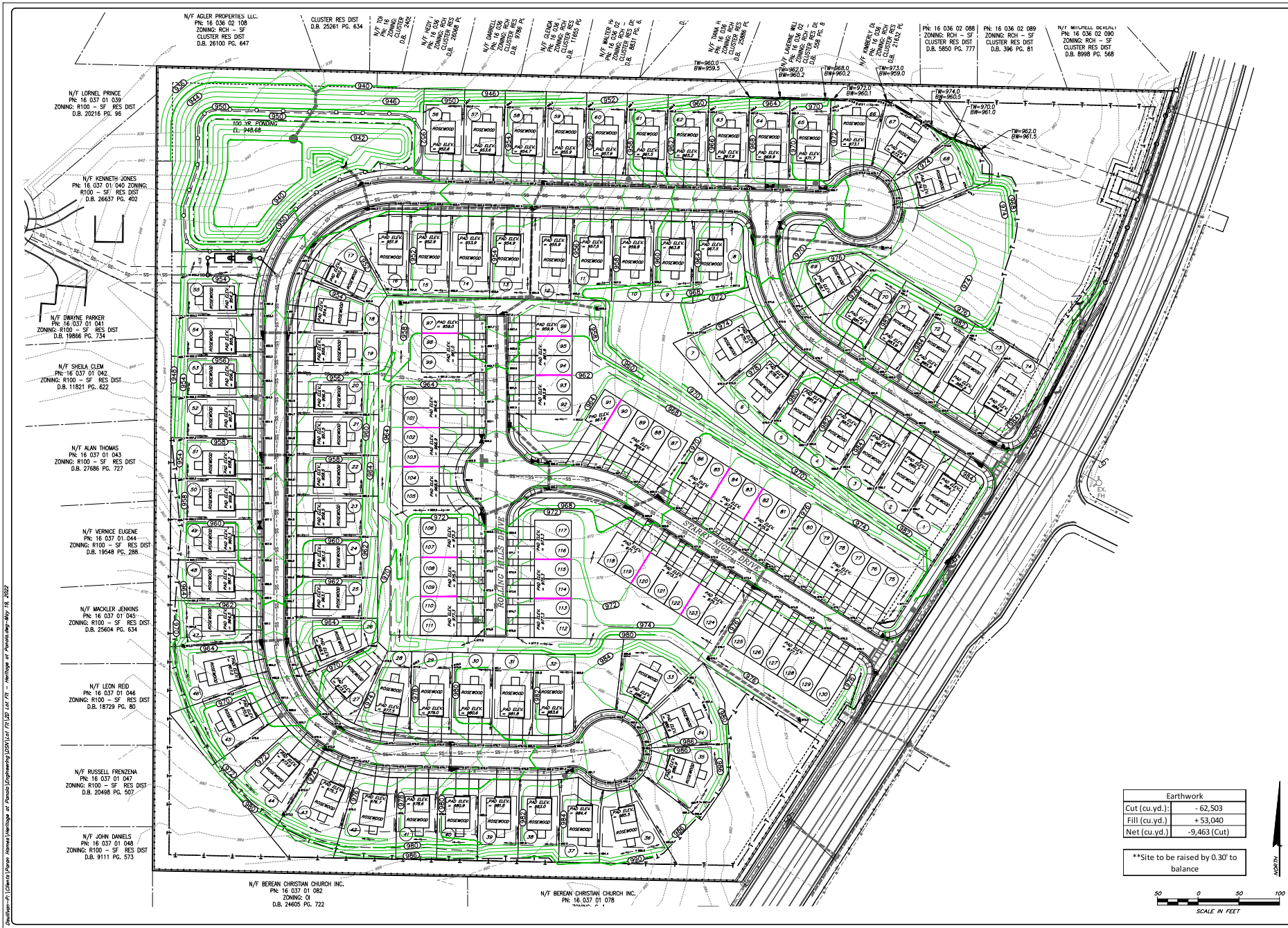
**NOTE:**  
DOWNSPOUT DISCONNECTS  
UTILIZED ON ALL SINGLE  
FAMILY ATTACHED & DETACHED  
UNITS. REFERENCE HYDROLOGIC  
& WATER QUALITY REPORT FOR  
DETAILED INFORMATION.

NOTES:  
1) SPLASH PADS TO BE LOCATED AT ALL DOWNSPOUTS DISCONNECTS.  
2) FLOW PATH BELOW ALL DOWNSPOUTS SHALL CONSIST OF A MINIMUM OF 15 FEET OF PERVIOUS SURFACE AT A MAXIMUM SLOPE OF 5%.  
3) ALL RUNOFF TO BE CONVEYED AS SHEET FLOW AWAY FROM ALL BUILDINGS.



TYPICAL DOWNSPOUT DISCONNECT PLAN (SINGLE FAMILY DETACHED)	N.T.S	TYPICAL DOWNSPOUT DISCONNECT PLAN (SINGLE FAMILY ATTACHED)	N.T.S
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Earthwork	
Cut (cu.yd.)	- 62,503
Fill (cu.yd.)	+ 53,040
Net (cu.yd.)	- 9,463 (Cut)

\*\*Site to be raised by 0.30' to balance



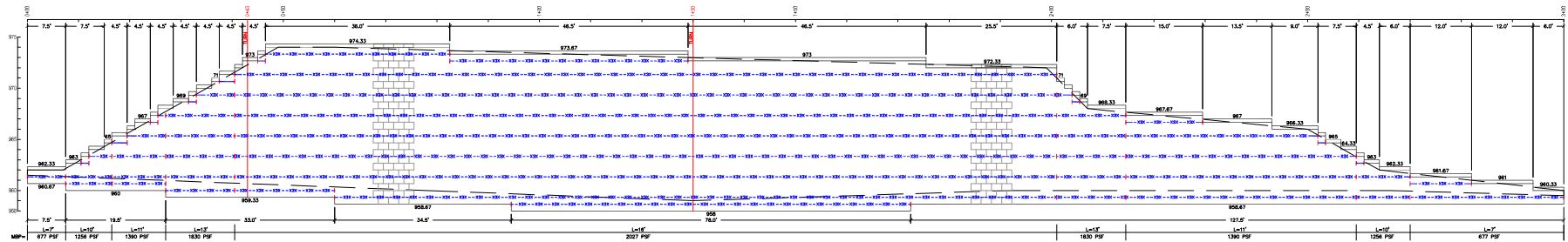
REVISION DESCRIPTION:

DRAWN BY:	DJS
CHECKED BY:	D4H
DATE:	05.19.2022
SHEET TITLE:	LOT FIT - BIGGEST
SCALE:	1"=50'
SHT. NO.	01
REV. NO.	

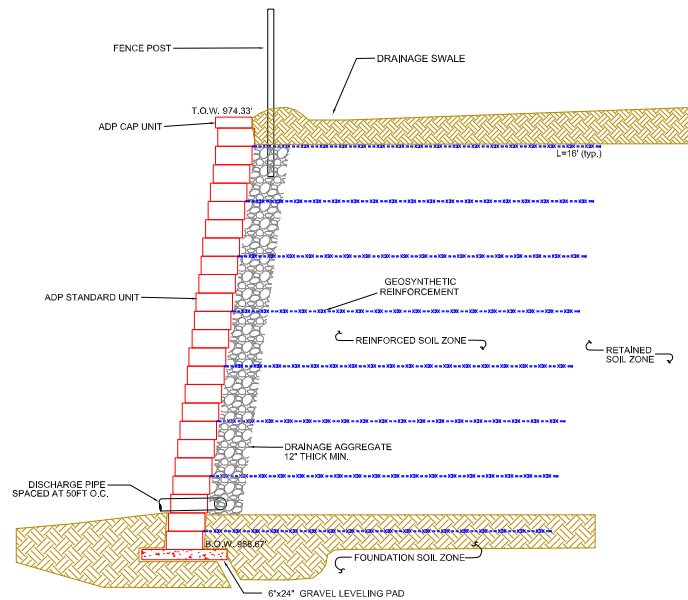
HERITAGE AT PANLOA

LAND LOT 37, 16TH DISTRICT  
DEKALB COUNTY, GEORGIA  
ZONED RSM





FRONT ELEVATION - RETAINING WALL at LOTS 68-64 - STA 0+00 to 3+00  
HORIZ. SCALE: 1"=40' VERT. SCALE: 1"=4'0"



CROSS-SECTION VIEW - RETAINING WALL at LOTS 68-64 at STA 0+72  
NOT TO SCALE

NOTE:  
PIERS SHALL BE USED TO SUPPORT THE BUILDING IN  
AREAS THAT ARE WITHIN 20' OF THE WALL.

LEGEND	
	ANCHOR DIAMOND PRO CAP UNIT
	ANCHOR DIAMOND PRO STONE CUT UNIT
	PROPOSED GRADE AT WALL
	PROPOSED WALL OUTLINE WITH TOP AND BOTTOM WALL ELEVATIONS
	PRIMARY REINFORCEMENT - GEOSTAR HP300
	PRIMARY REINFORCEMENT - GEOSTAR HP500
	TERMINATION OF REINFORCEMENT OR CHANGE IN EMBEDMENT LENGTH
	REINFORCEMENT EMBEDMENT LENGTH
	MAXIMUM BEARING PRESSURE

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REVISION / ISSUE	
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# DESIGN and CONSTRUCTION NOTES

## 1.0 MATERIALS

- 1.1 FILL MATERIAL USED TO CONSTRUCT THE REINFORCED AND RETAINED ZONES OF THE MSE WALLS SHALL CONSIST OF ONE OF THE FOLLOWING INORGANIC SOIL TYPES ACCORDING TO THEIR USES DESIGNATIONS (GP, GW, SW, SP, SM). NON-PLASTIC SILTS SHALL BE LESS THAN 40 PERCENT AND ALSO ACCEPTABLE. THE FILL MATERIAL MUST ALSO MEET THE STRENGTH REQUIREMENTS NOTED IN THE SECTION 5.3. THE MAXIMUM ALLOWABLE PARTICLE SIZE WITHIN THE GEOSYNTHETIC REINFORCED ZONE SHALL BE LIMITED TO 3 INCHES (IN THE LONGEST DIMENSION), AND SHALL NOT COMPRISE MORE THAN 10 PERCENT OF THE FILL (BY VOLUME).
- 1.2 THE pH OF THE BACKFILL MATERIAL SHALL BE BETWEEN 5 AND 8 WHEN TESTED IN ACCORDANCE WITH ASTM 9 51.
- 1.3 FILL CONTAINING BRUSH, SOO, PEAT, ROOTS, OR OTHER ORGANIC, PERISHABLE, OR DELETERIOUS MATTER INCLUDING, BUT NOT LIMITED TO SNOW, ICE, OR FROZEN SOILS, SHALL BE CONSIDERED UNSUITABLE MATERIAL AND SHALL BE REMOVED.
- 1.4 BEFORE CONSTRUCTION OF THE MSE WALL, THE CONSTRUCTION AREA SHALL BE CLEARED OF TOPSOIL, BRUSH, SOO, ORGANICS, OR OTHER DELETERIOUS MATERIALS. ANY UNSUITABLE SOILS SHALL BE OVER-EXCAVATED AND REPLACED BEFORE PLACING ADDITIONAL FILL SOILS AS REQUIRED BY THE ON-SITE TESTING AGENCY.
- 1.5 FILL SOILS USED TO CONSTRUCT THE MSE WALL SHALL BE PLACED IN HORIZONTAL LAYERS AND COMPACTED IN MAXIMUM 8-INCH LIFTS TO A DENSITY OF 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR (ASTM D698) WITHIN 2 PERCENT OF ITS OPTIMUM MOISTURE CONTENT.
- 1.6 THE MSE WALL, INCLUDING REINFORCED MASS, SHALL BE CONSTRUCTED ON FOUNDATION SOILS HAVING A MINIMUM INTERNAL FRICTION AND COHESION INDICATED IN SECTION 5.3 TO A MINIMUM DEPTH OF ONE THIRD (1/3) THE WALL HEIGHT OR A NET ALLOWABLE BEARING PRESSURE AS STATED IN SECTION 5.7.
- 1.7 TESTING METHODS AND FREQUENCY, AND VERIFICATION OF MATERIAL SPECIFICATIONS AND FIELD COMPACTION INSPECTION SHALL BE THE RESPONSIBILITY OF OTHERS.
- 1.8 FOUNDATION BEARING CAPACITY SHALL BE INSPECTED BY OTHERS AND SHALL MEET THE REQUIREMENTS PROVIDED IN SECTION 5.7.
- 1.9 FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 6-INCHES IN UNCOMPACTED THICKNESS FOR ZONES WHERE COMPACTION IS ACCOMPLISHED WITH HAND-OPERATED EQUIPMENT OR ONLY HAND-OPERATED OR LIGHT COMPACTION EQUIPMENT SHALL BE ALLOWED WITHIN 3- FEET OF THE WALL FACE. NO COMPACTION TESTING REQUIRED WITHIN 3- FEET OF THE WALL FACE.
- 1.10 FILL MATERIALS SHOULD BE PLACED IN SUCH A MANNER THAT MAINTAINS TENSION IN THE REINFORCEMENT.

## 2.0 WALL AND REINFORCEMENT DETAILS

- 2.1 DRAINAGE COLLECTION PIPE SHALL BE 4-INCH PERFORATED/SLOTTED SCHEDULE 40 PVC OR CORRUGATED HDPE PIPE, MANUFACTURED IN ACCORDANCE WITH ASTM D3034 OR ASTM D1248. THE DRAIN SHALL BE CONSTRUCTED USING DRAINAGE AGGREGATE WRAPPED IN A GEOTEXTILE FILTER FABRIC. THE MINIMUM DIMENSION SHALL BE 3.0- FEET WIDE BY 1.0- FEET HIGH.
- 2.2 GEOSYNTHETIC REINFORCEMENT SHALL BE MANUFACTURED BY GEOSTAR CORPORATION.
- 2.3 GEOTEXTILE FILTER SHALL BE LINO 125EX, LINO 125EX, Mifrafi 160N, SI Geotex 601 or THIS E060.
- 2.4 ANCHOR DIAMOND PRO STANDARD UNITS SHALL BE BATTERED A MINIMUM OF 7.0'.
- 2.5 CAP UNITS SHALL BE PERMANENTLY SECURED TO THE MASONRY BLOCK UNITS USING AN APPROVED CONSTRUCTION ADHESIVE WHICH CONFORMS TO ASTM 2339.
- 2.6 BLOCK UNITS SHALL BE PLACED NOT MORE THAN 2 COURSES ABOVE LEVEL BACKFILL.
- 2.7 GEOSYNTHETIC REINFORCEMENT SHALL BE PLACED AT THE LOCATIONS, ELEVATIONS AND WITH THE PROPER LENGTH AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 2.8 REINFORCED FILL ZONE LENGTH IS MEASURED FROM THE WALL FACE OF THE BLOCK UNITS.
- 2.9 BEFORE PLACING FILL, THE GEOSYNTHETIC REINFORCEMENT MATERIALS SHALL BE PLACED TO LAY FLAT, OR SLIGHTLY SLOPING DOWNWARD AWAY FROM THE WALL FACE, AND PULLED TAUT TO REMOVE ANY SLACK IN THE MATERIALS.
- 2.10 TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY ON THE GEOSYNTHETIC REINFORCEMENT. A MINIMUM FILL THICKNESS OF 6-INCHES IS REQUIRED FOR OPERATION OF TRACKED VEHICLES OVER THE GEOSYNTHETIC REINFORCEMENT. TURNING OF TRACKED VEHICLES SHOULD BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM REPLACING THE FILL AND THE GEOSYNTHETIC REINFORCEMENT.
- 2.11 RUBBER-TIRED VEHICLES MAY PASS OVER THE GEOSYNTHETIC REINFORCEMENT AT A SLOW SPEED OF LESS THAN 10-MPH. SUDDEN BRAKING AND SHARP TURNING SHOULD BE AVOIDED.
- 2.12 GEOSYNTHETIC REINFORCEMENT SHALL BE ROLLED OUT WITH THE MACHINE DIRECTION PERPENDICULAR TO THE WALL FACE.
- 2.13 GEOSYNTHETIC REINFORCEMENT SHALL BE CONTINUOUS THROUGHOUT THEIR EMBEDMENT LENGTHS.

## 3.0 SITE DRAINAGE

- 3.1 BACKFILL SHALL BE GRADED A MINIMUM OF 2 PERCENT AWAY FROM THE WALL FACE AND ROLLED AT THE END OF EACH WORK DAY TO PREVENT PONDING OF WATER ON THE SURFACE OF THE REINFORCED SOIL MASS. A BERM AT THE CREST OF THE WALL SHALL BE CONSTRUCTED AT THE END OF EACH WORKDAY TO PREVENT RAINWATER RUNOFF FROM OVERTOPPING THE WALL.
- 3.2 CARE SHALL BE TAKEN NOT TO CONTAMINATE THE FILTER FABRIC AND/OR THE COLLECTOR DRAIN SYSTEM WITH CLAY OR OTHER POOR DRAINAGE MATERIAL.
- 3.3 TEMPORARY AND LONG-TERM SURFACE DRAINAGE, SITE GRADING AND PERMANENT SURFACE WATER DIVERSION SHALL BE AS REQUIRED BY SITE GRADING CONTRACTOR.
- 3.4 THE MSE WALL HAS BEEN DESIGNED ON THE ASSUMPTION THAT THE REINFORCED BACKFILL MATERIAL SHALL BE FREE OF SUBSURFACE DRAINAGE WATER (SEEPAGE). PERMANENT SUBSURFACE WATER (SEEPAGE) THE ELEVATION & COLLECTION OF SUBSURFACE WATER OR "GROUNDWATER" SHALL BE THE RESPONSIBILITY OF OTHERS.

## 4.0 SITE & DESIGN INFORMATION

- 4.1 THE DESIGN GEOMETRIES AND SURFACE LOADING CONDITIONS ARE BASED ON THE GRADING PLAN BY DAY DESIGN GROUP, REVISION #1, DATED 12-10-21.
- 4.2 PROJECT LOCATION: DEKALB COUNTY, GEORGIA
- 4.3 STRUCTURAL LOADS USED IN THE DESIGN:  
BUILDING FOUNDATION FOOTING LOAD:  
BUILDING CONCRETE SLAB LOAD:  
  
1.5 K/FT PSF  
150 PSF
- 4.4 PROJECT DESCRIPTION: THE PROJECT CONSISTS OF ONE (1) RETAINING WALL LOCATED AT A RESIDENTIAL DEVELOPMENT.

## 5.0 GEOTECHNICAL INFORMATION

- 5.1 PROJECT GEOTECHNICAL ENGINEER: FAIRBANKS ENGINEERING
- 5.2 CONSTRUCTION TESTING COMPANY: TO BE HIRED BY OWNER
- 5.3 DESIGN OF THE MSE WALL IS BASED ON THE FOLLOWING ASSUMED SHEAR STRENGTH AND UNIT WEIGHT PARAMETERS:

	EFFECTIVE INTERNAL FRICTION ANGLE, °	EFFECTIVE COHESION, 's'	MOIST UNIT WEIGHT, TYP
REINFORCED SOIL	30°	0 paf	120 pcf
RETAINED SOIL	30°	0 paf	120 pcf
FOUNDATION SOIL	30°	100 paf	120 pcf

## 6.0 GROUNDWATER OR FLOODING CONDITIONS: NONE

- 5.4 GROUNDWATER OR FLOODING CONDITIONS: NONE
- 5.5 WATER SURFACE IS ASSUMED TO BE SUFFICIENTLY BELOW BOTTOM OF WALL AS NOT TO INFLUENCE EXTERNAL OR INTERNAL STABILITY.
- 5.6 PERMEABILITY OF THE REINFORCED SOIL SHALL BE GREATER THAN OR EQUAL TO THE RETAINED SOIL.
- 5.7 MAXIMUM BEARING PRESSURE: 2027 PSF
- 5.8 BEARING CAPACITY SHALL BE INSPECTED BY OTHERS. "FOUNDATION" INCLUDING THE SOIL BELOW THE REINFORCED ZONE SHALL BE PROOF ROLLED PRIOR TO BEGINNING THE CONSTRUCTION OF THE MSE WALL.
- 5.9 SEISMIC LOADING: 0.1 G

## 6.0 GEOSYNTHETIC DESIGN INFORMATION:

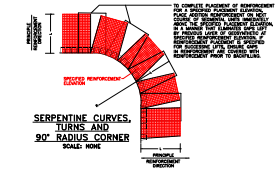
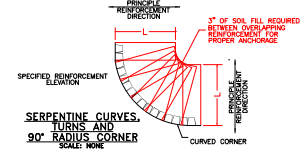
CREEP LIMITED STRENGTH, LBS/FT:	3000
REDUCTION FACTOR R <sub>FA</sub> /R <sub>FD</sub> :	1.05/1.1
WORKING STRENGTH, LBS/FT:	2897
SOIL-GEOSGRID INTERACTION COEFFICIENT:	0.8
PERCENT COVERAGE OF GEOTEXTILE:	100%

## 7.0 WALL DESIGN - MINIMUM FACTORS OF SAFETY

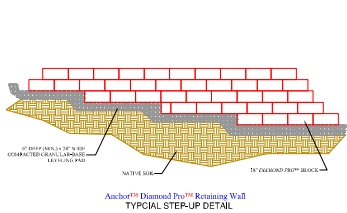
- EXTERNAL BASE SLIDING 1.50
- OVERTURNING 2.00
- BEARING CAPACITY 2.00
- INTERNAL SLIDING ALONG GEOSYNTHETIC REINFORCEMENT LAYERS 1.50
- GEOSYNTHETIC REINFORCEMENT PULLOUT 1.50
- GEOSYNTHETIC REINFORCEMENT TENSILE OVER STRESS 1.50
- FACING CONNECTION (PULLOUT & BREAK) 1.50
- PERCENT COVERAGE OF GEOSYNTHETIC REINFORCEMENT 100%
- MATERIAL UNCERTAINTIES 1.50
- GLOBAL DEEP SEATED STABILITY (BISHOP) 1.30
- COMPOUND INTERNAL STABILITY (BISHOP) 1.30
- TRANSITIONAL 2-PART WEDGE STABILITY (SPENCER) 1.30
- EXTERNAL 3-PART WEDGE (SPENCER) 1.30

## 8.0 SPECIAL CONSIDERATIONS

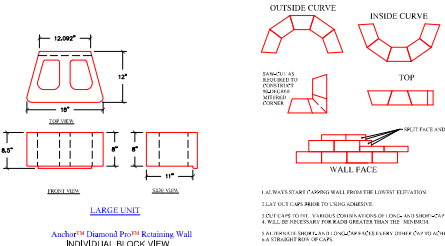
- 8.1 THE DESIGN PRESENTED HEREIN IS BASED ON SOIL PARAMETERS, FOUNDATION CONDITIONS, GROUNDWATER CONDITIONS AND LOADING CONDITIONS STATED IN SECTIONS 4.0 AND 5.0. THE SOIL SHEAR STRENGTH PARAMETERS WERE ASSUMED DUE TO NO LABORATORY SHEAR STRENGTH INFORMATION. VERIFICATION OF THESE ASSUMPTIONS IS THE RESPONSIBILITY OF OTHERS, AND OUTSIDE OF OUR CURRENT SCOPE OF WORK.
- 8.2 WALL TECHNOLOGIES COMPANY, INC. ASSUMES NO LIABILITY FOR INTERPRETATION OR VERIFICATION OF SUBSURFACE CONDITIONS, SUITABILITY OF SOIL DESIGN PARAMETERS AND INTERPRETATION OF SUBSURFACE GROUNDWATER CONDITIONS.
- 8.3 ANY REVISIONS TO DESIGN PARAMETERS STATED IN THIS DESIGN SHALL REQUIRE DESIGN MODIFICATIONS BEFORE COMMENCING WITH CONSTRUCTION.
- 8.4 DIFFERENTIAL AND TOTAL SETTLEMENT AND ITS EFFECTS ON THE MECHANICALLY STABILIZED EARTH WALL SYSTEM SHALL BE THE RESPONSIBILITY OF THE OTHERS. WALL TECHNOLOGIES COMPANY, INC. SHALL NOT BE RESPONSIBLE FOR EVALUATION OF SETTLEMENT.
- 8.5 THE MSE WALLS WERE DESIGNED FOR ACTIVE EARTH PRESSURE CONDITIONS, THUS LATERAL MOVEMENT MAY OCCUR TO MOBILIZE THE SOIL SHEAR STRENGTH AND TENSION THE REINFORCEMENT.
- 8.6 FILL SOILS USED TO CONSTRUCT THE REINFORCED AND RETAINED ZONES OF THE MSE WALL MAY EXPERIENCE CONSOLIDATION SETTLEMENT DURING AND SHORTLY AFTER CONSTRUCTION. CONSTRUCTION OF STRUCTURES ABOVE THE WALLS (PAVEMENT, SLOPES, BUILDING FOOTINGS, SLABS, ETC.) SHOULD NOT BEGIN UNTIL THE PROJECT ENGINEER HAS MONITORED POTENTIAL SETTLEMENT OF THE FILL MATERIALS.
- 8.7 IT IS THE SOLE RESPONSIBILITY OF THE CURRENT AND FUTURE PROPERTY OWNER(S) TO ENSURE THAT FUTURE CONSTRUCTION ACTIVITIES ON THE SITE DO NOT RESULT IN EXCAVATIONS WITHIN THE REINFORCED ZONES OR IN FRONT OF THE RETAINING WALLS. SUCH EXCAVATIONS COULD INDUCE WALL FAILURE. WALL TECHNOLOGIES COMPANY, INC. SHALL APPROVE ALL EXCAVATIONS AROUND THE WALLS PRIOR TO BEGINNING WORK. MOREOVER, THESE PLANS SHOULD BE PROVIDED TO FUTURE PROPERTY OWNERS AS PART OF ALL PROPERTY OWNERSHIP TRANSFER DOCUMENTS.
- 8.8 THIS DESIGN IS VALID ONLY FOR THE PROPOSED MSE WALLS, LOCATED AT THE HERITAGE IN PANOLA, IN DEKALB COUNTY, GEORGIA USING THE SPECIFIED BLOCK AND THE SPECIFIED REINFORCEMENT, AND CONSTRUCTED BY WALL TECHNOLOGIES COMPANY, INC.



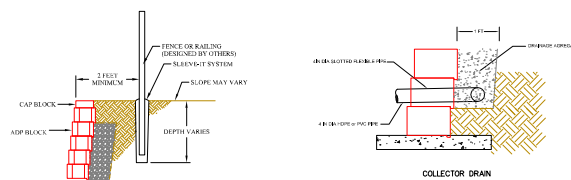
NOTE:  
PIERS SHALL BE USED TO SUPPORT THE BUILDING IN AREAS THAT ARE WITHIN 20' OF THE WALL.



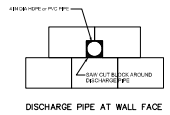
Anchor™ Diamond Pro™ Retaining Wall  
TYPICAL STEP-UP DETAIL



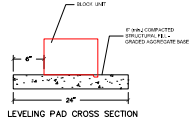
Anchor™ Diamond Pro™ Retaining Wall  
LARGE LINE  
INDIVIDUAL BLOCK VIEW



Anchor™ Diamond Pro™ Retaining Wall  
FENCE POST DETAIL



DISCHARGE PIPE AT WALL FACE



LEVELING PAD CROSS SECTION

LEVELING PAD DETAIL

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REVISION / ISSUE	
NO.	DESCRIPTION
1	AS NOTED FOR CONSTRUCTION
DATE	
BY	
CHECKED BY	



**Wall Technologies Company, Inc.**  
Retaining Walls and Earth Retention Systems  
115 Buckhead Circle, Suite 100 • Atlanta, Georgia 30305  
Office: 678-442-7500 • Fax: 678-442-7700



THE HERITAGE at PANOLA DEKALB COUNTY, GA	W.E.S.
FOR: FAIRBANKS ENGINEERING	DATE: 12-10-21
ANCHOR DIAMOND PRO RETAINING WALL SYSTEM	SCALE: AS SHOWN
SPECIFICATIONS and CONSTRUCTION DETAILS	SHEET NO. 2 OF 2

RW-2



