

Dear Neighbor,

My name is Shawn Sohrabi and I am the owner of the house at 957 Briarcliff Road. When working on this property my goal was not to demolish but instead to preserve and restore. I have tried my best, when restoring this property, to preserve its historical charm as well as to contribute to bringing safety to the neighborhood in general. I have taken into account, and observed other houses on the street when making choices regarding the exterior, such as the front door, fence, etc., to bring unity in design in order to compliment surrounding homes. I have also used quality materials to enhance the appearance as well as to make the house last for many, many more years to come.

Best regards,
Shawn Sohrabi

949 BRIARCLIFF RD. *Shawn Sohrabi*

Dear Neighbor,

My name is Shawn Sohrabi and I am the owner of the house at 957 Briarcliff Road. When working on this property my goal was not to demolish but instead to preserve and restore. I have tried my best, when restoring this property, to preserve its historical charm as well as to contribute to bringing safety to the neighborhood in general. I have taken into account, and observed other houses on the street when making choices regarding the exterior, such as the front door, fence, etc., to bring unity in design in order to compliment surrounding homes. I have also used quality materials to enhance the appearance as well as to make the house last for many, many more years to come.

Best regards,
Shawn Sohrabi

967 Briarcliff Rd. N.E.
William W. Lee

EXISTING DEVELOPMENT DATA:

GENERAL:	SINGLE FAMILY RESIDENTIAL
DEVELOPMENT TYPE:	RESIDENTIAL, RSM
ZONING:	RESIDENTIAL, R-A5
ZONING PER PLAT:	
PROJECT DATA:	
TOTAL AREA:	41,586 SF. = 0.945 ACRES
TOTAL DISTURBED AREA:	00000 SF. = 0.00 ACRES
BUILDING DATA:	
EXISTING SINGLE FAMILY RESIDENTIAL	
FIRST FLOOR AREA = 1,701 SF.	
SECOND FLOOR AREA = 1,297 SF.	
BASEMENT FLOOR AREA = 1,701 SF.	
TOTAL HEATED FLOOR AREA = 4,699 SF.	
BUILDING FOOT PRINT AREA = 1,701 SF.	
SANITARY SERVICE:	DeKALB COUNTY PUBLIC SEWER SYSTEM
WATER SERVICE:	DeKALB COUNTY PUBLIC WATER.
BUILDING SETBACKS:	
FRONT BUILDING LINE:	35 FT.
REAR BUILDING LINE:	40 FT.
SIDE BUILDING LINE:	8.5 FT.
LOT COVERAGE CLACULATION:	
BUILDING FIRST FLOOR AREA = 1,701 SF.	
COVERED PORCH, FRONT AREA = 75 SF.	
RVAC UNITS AREA = 60 SF.	
TOTAL BUILDING FOOT PRINT AREA = 1,826 SF.	
TOTAL DRIVEWAY & SIDEWALKS AREA = 5,808 SF.	
TOTAL IMPERVIOUS AREA = 7,634 SF.	
TOTAL LOT AREA = 41,586 SF.	
7,634 SF./41,586 SF. = 0.184 = 18.36%	
MAXIMUM HEIGHT LIMIT:	
MAXIMUM ALLOWABLE HEIGHT LIMIT TO TOP OF ROOF RIDGE = 35 FEET.	
32.8 FEET <, = 35.5 FEET OK	
LOT ADDRESS:	957 BRIARCLIFF ROAD, ATLANTA GA. 30306



REVISIONS	DATE
FDR REVIEW	05/14/2021

957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306
DEKALB COUNTY, GEORGIA

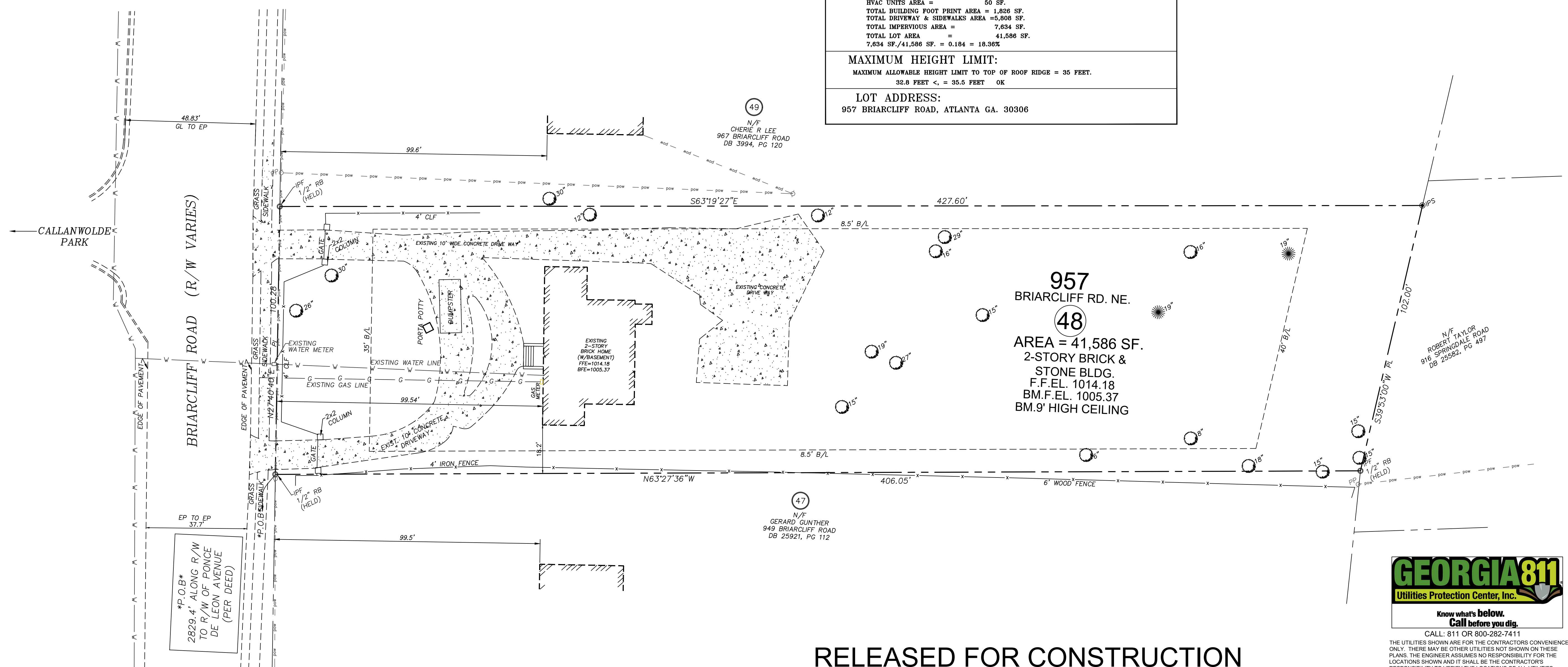
TITLE
EXISTING SITE PLAN

LDP Design Group
 LAND DEVELOPMENT & PLANNING
 ENGINEERS DESIGN GROUP INC.
 ARCHITECTS, PLANNERS, ENGINEERS
 1150 LEA DRIVE
 ROSWELL, GEORGIA 30076
 PHONE: (404) 993-2829
 EMAIL: ldpdesign2000@gmail.com

OWNER/DEVELOPER
SAIED TAKALLOU
 CONTACT:
 SAIED TAKALLOU
 957 BRIARCLIFF ROAD, NE.
 ATLANTA, GA. 30306
 PH. 404-428-7000



DRAWN	K.M.
CHECKED	H.G.
DATE	05/12/2021
SCALE	AS SHOWN
JOB NO.	21-147
FILENAME	
SHEET	C-1.1
OF	SHEETS



RELEASED FOR CONSTRUCTION

100 YEAR FLOOD NOTE:
 THIS SITE IS NOT LOCATED WITHIN A ZONE (A, AE, SHADED ZONE X), AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089 C006 4K, DATED 08/15/2019, FOR INCORPORATED DEKALB COUNTY, GEORGIA.

- SITE DEVELOPMENT NOTES:**
- THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
 - CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.
 - OUTSIDE CONSTRUCTION SHALL BE LIMITED TO THE HOURS OF 7:00 AM. TO 7:00 PM. MONDAY TO FRIDAY; 8:00 AM. TO 6:00 PM. ON SATURDAY; AND THERE WILL BE NO OUTSIDE CONSTRUCTION ON SUNDAY.
 - ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.
 - ALL SIDEWALK (AS APPLICABLE) FOR AND SUB-GRADE SHALL BE INSPECTED PRIOR TO POURING.
 - ALL STORM WATER SHALL REDIRECTED AWAY FROM THE NEW BUILDING AND DOWNSTREAM PROPERTIES. REAR YARD STORM WATER SHALL BE DIVERTED TO THE COMMON DOWNSTREAM SWALE.
 - ALL DRAINAGE SWALES SHALL CONTAIN SOD OR BE SUPPLEMENTED WITH MATTING, (MB).

- EROSION CONTROL NOTES:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.
 - ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
 - ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES.
 - A 50' FOOT UNDISTURBED VEGETATIVE BUFFER ADJACENT TO ALL RUNNING STREAMS AND CREEKS WILL BE LEFT AND MAINTAINED.
 - SITE DOES NOT HAVE STATE WATERS REQUIRING UNDISTURBED BUFFERS.
 - THERE ARE NO CRITICAL EROSION AREAS ON SITE.
 - THERE IS NO VEGETATION ON LIMIT OF CONSTRUCTION.
 - THERE IS NO WETLAND, OR LAKE WITHIN 500' ON PROPERTY.
 - THERE IS NO STREAM BUFFER WITHIN 500' ON PROPERTY.

- EROSION CONTROL NOTE:**
 ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BASED ON THE EXISTING SITE CONDITIONS IF DEEMED NECESSARY BY ON-SITE INSPECTOR.
- CONCRETE TRUCK WASHING-BERMED CONTAINMENT AREAS SHALL BE ESTABLISHED FOR CONCRETE TRUCKS TO WASH DOWN TOOLS, CONCRETE MIXER, CHUTES, HOPPERS AND THE REAR OF THE VEHICLE. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
- GRADING NOTE:**
 THERE ARE NO ON-SITE NEW RETAINING WALLS.
- SURVEY NOTE:**
 1. BOUNDARY INFORMATION PROVIDED BY OWNER.

ENGINEER
 CONTACT PERSON
HAMID GOLPAYEGANI
 PHONE: (404) 993-2829

GSWCC
24-HOUR CONTACT
 SAIED TAKALLOU
 957 BRIAR CLIFF RD.
 ATLANTA, GA.
 SAIED TAKALLOU
 PH. 404-428-7000

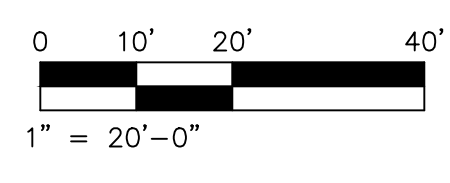
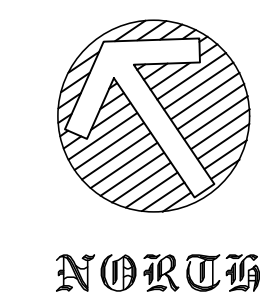


CALL: 811 OR 800-282-7411
 THE UTILITIES SHOWN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



Hamid D Golpayegani
Level II Certified Design Professional

CERTIFICATION NUMBER: **0000019335**
 ISSUED: **10/13/2018** EXPIRES: **10/13/2021**

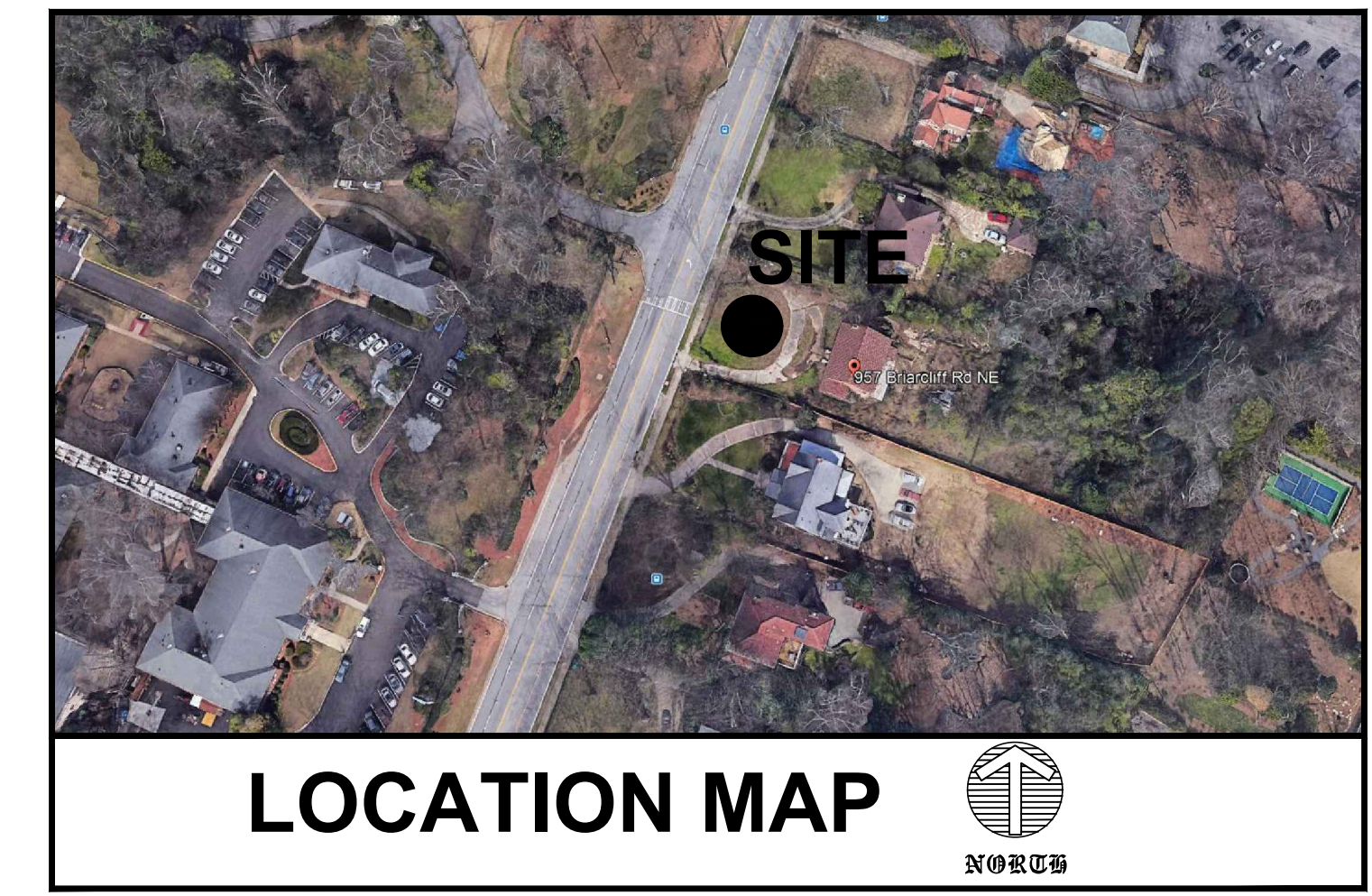


APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION WITH GA. AMENDMENTS 2020
 INT. FIRE CODE 2018 EDITION WITH GA. AMENDMENTS 2020
 INT. PLUMBING CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
 INT. MECHANICAL CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
 INT. FUEL GAS CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
 NATIONAL ELECTRICAL CODE 2018 EDITION WITH NO GA. AMENDMENTS
 INT. ENERGY CODE 2018 EDITION WITH GA. AMENDMENTS 2020
 NAPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS 2020
 INT. SWIMMING POOL & SPA CODE 2018 WITH GA. AMENDMENTS 2020
 GEORGIA ACCESSIBILITY CODE

NEW ADDITION DEVELOPMENT DATA:

GENERAL:	SINGLE FAMILY RESIDENTIAL
DEVELOPMENT TYPE:	RESIDENTIAL, RSM
ZONING:	RESIDENTIAL, R-A5
ZONING PER PLAT:	
PROJECT DATA:	
TOTAL AREA:	41,586 SF. = 0.945 ACRES
TOTAL DISTURBED AREA:	4,468 SF. = 0.10 ACRES
BUILDING DATA:	
EXISTING SINGLE FAMILY RESIDENTIAL	
FIRST FLOOR AREA = 1,701 SF.	
SECOND FLOOR AREA = 1,297 SF.	
BASEMENT FLOOR AREA = 1,701 SF.	
TOTAL HEATED FLOOR AREA = 4,699 SF.	
BUILDING FOOT PRINT AREA = 1,701 SF.	
NEW ADDITION:	
FIRST FLOOR NEW ADDITION AREA = 417 SF.	
GARAGE NEW ADDITION AREA = 528 SF.	
SIDEWALK NEW ADDITION AREA = 60 SF.	
SANITARY SERVICE:	DeKALB COUNTY PUBLIC SEWER SYSTEM
WATER SERVICE:	DeKALB COUNTY PUBLIC WATER.
BUILDING SETBACKS:	
FRONT BUILDING LINE:	35 FT.
REAR BUILDING LINE:	40 FT.
SIDE BUILDING LINE:	8.5 FT.
LOT COVERAGE CALCULATION:	
BUILDING FIRST FLOOR AREA = 1,701 SF.	
COVERED PORCH, FRONT AREA = 75 SF.	
HVAC UNITS AREA = 50 SF.	
TOTAL BUILDING FOOT PRINT AREA = 1,826 SF.	
TOTAL DRIVEWAY & SIDEWALKS AREA = 5,043 SF.	
TOTAL IMPERVIOUS AREA = 6,869 SF.	
FIRST FLOOR NEW ADDITION AREA = 417 SF.	
GARAGE NEW ADDITION AREA = 528 SF.	
SIDEWALK NEW ADDITION AREA = 60 SF.	
TOTAL NEW ADDITION AREA = 1,005 SF.	
TOTAL IMPERVIOUS WITH ADDITIONS AREA = 7,874 SF.	
TOTAL LOT AREA = 41,586 SF.	
7,874 SF./41,586 SF. = 0.189 = 18.93%	
MAXIMUM HEIGHT LIMIT:	
MAXIMUM ALLOWABLE HEIGHT LIMIT TO TOP OF ROOF RIDGE = 35 FEET.	
32.8 FEET < = 35.5 FEET OK	
LOT ADDRESS:	957 BRIARCLIFF ROAD, ATLANTA GA. 30306



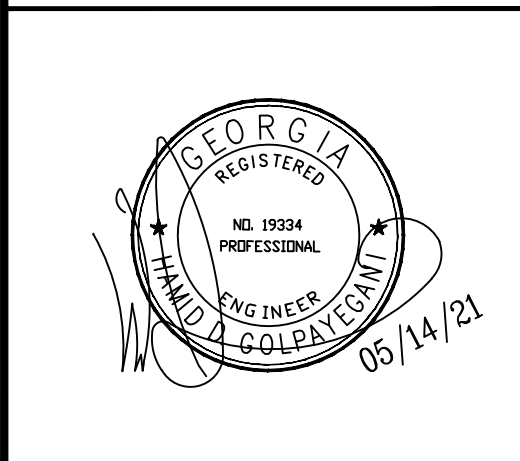
REVISIONS	DATE
FDR REVIEW	05/14/2021

957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306
DEKALB COUNTY, GEORGIA

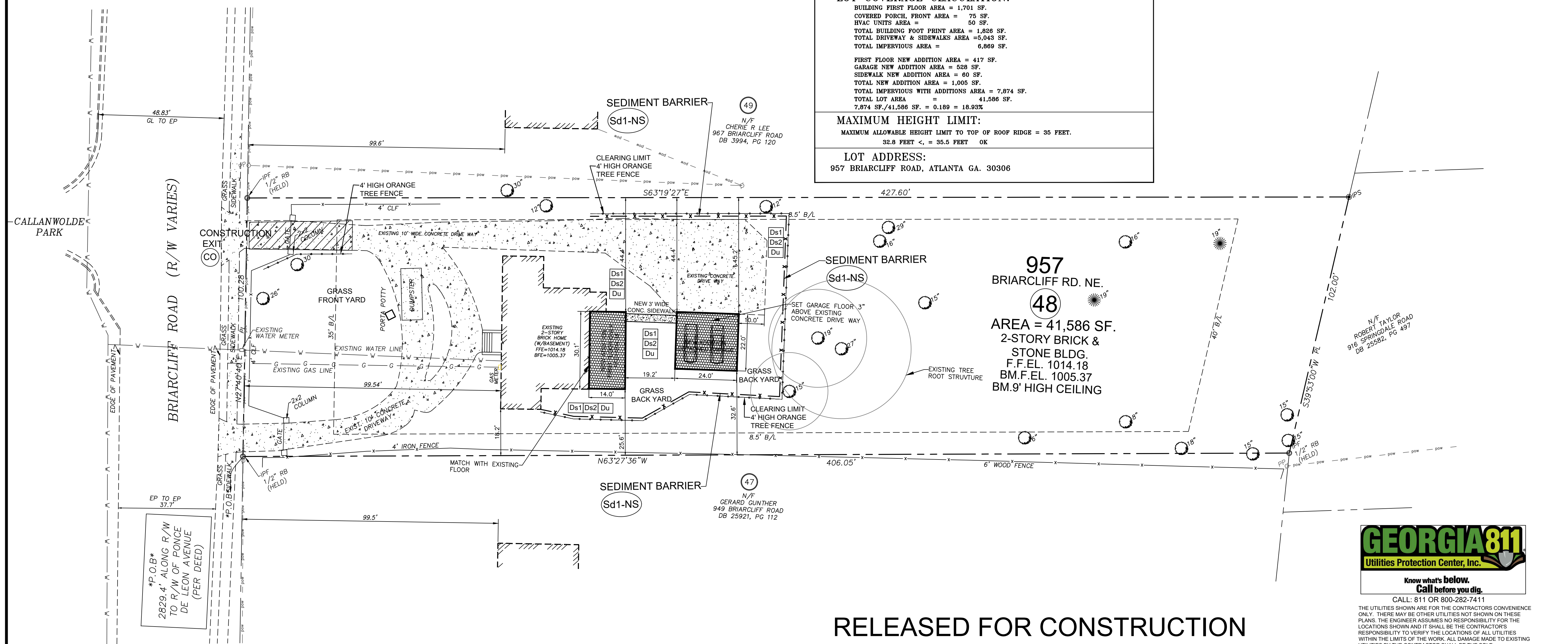
TITLE
NEW ADDITION SITE PLAN

LDP Design Group
 LAND DEVELOPMENT & PLANNING
 ENGINEERS DESIGN GROUP INC.
 ARCHITECTS, PLANNERS, ENGINEERS
 1150 LEA DRIVE
 ROSWELL, GEORGIA 30076
 PHONE: (404) 993-2829
 EMAIL: ldpdesign2000@gmail.com

OWNER/DEVELOPER
SAIED TAKALLOU
 CONTACT:
 SAIED TAKALLOU
 957 BRIARCLIFF ROAD, NE.
 ATLANTA, GA. 30306
 PH. 404-428-7000



DRAWN	K.M.
CHECKED	H.G.
DATE	05/12/2021
SCALE	AS SHOWN
JOB NO.	21-147
FILENAME	
SHEET	C-1.2
OF SHEETS	



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- SURVEY NOTE:**
 1. BOUNDARY INFORMATION PROVIDED BY OWNER.

RELEASED FOR CONSTRUCTION



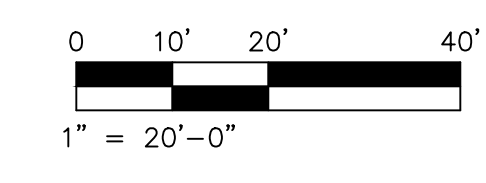
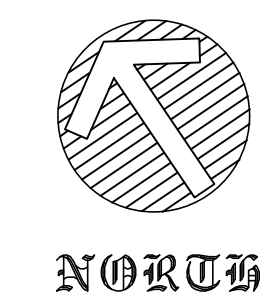
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Hamid D Golpayegani
 Level II Certified Design Professional
 CERTIFICATION NUMBER: 0000019335
 ISSUED: 10/13/2018 EXPIRES: 10/13/2021

ENGINEER
 CONTACT PERSON
HAMID GOLPAYEGANI
 PHONE: (404) 993-2829

GSWCC
24-HOUR CONTACT
 SAIED TAKALLOU
 957 BRIAR CLIFF RD.
 ATLANTA, GA.
 SAIED TAKALLOU
 PH. 404-428-7000



DATE	REVISIONS	BY
10/5/2022	A	A.K.

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

PROPOSED ELEVATIONS

ATLANTIC BUILDING SPECIALTIES

OWNER:
MR. SAEID TAKALLOU

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

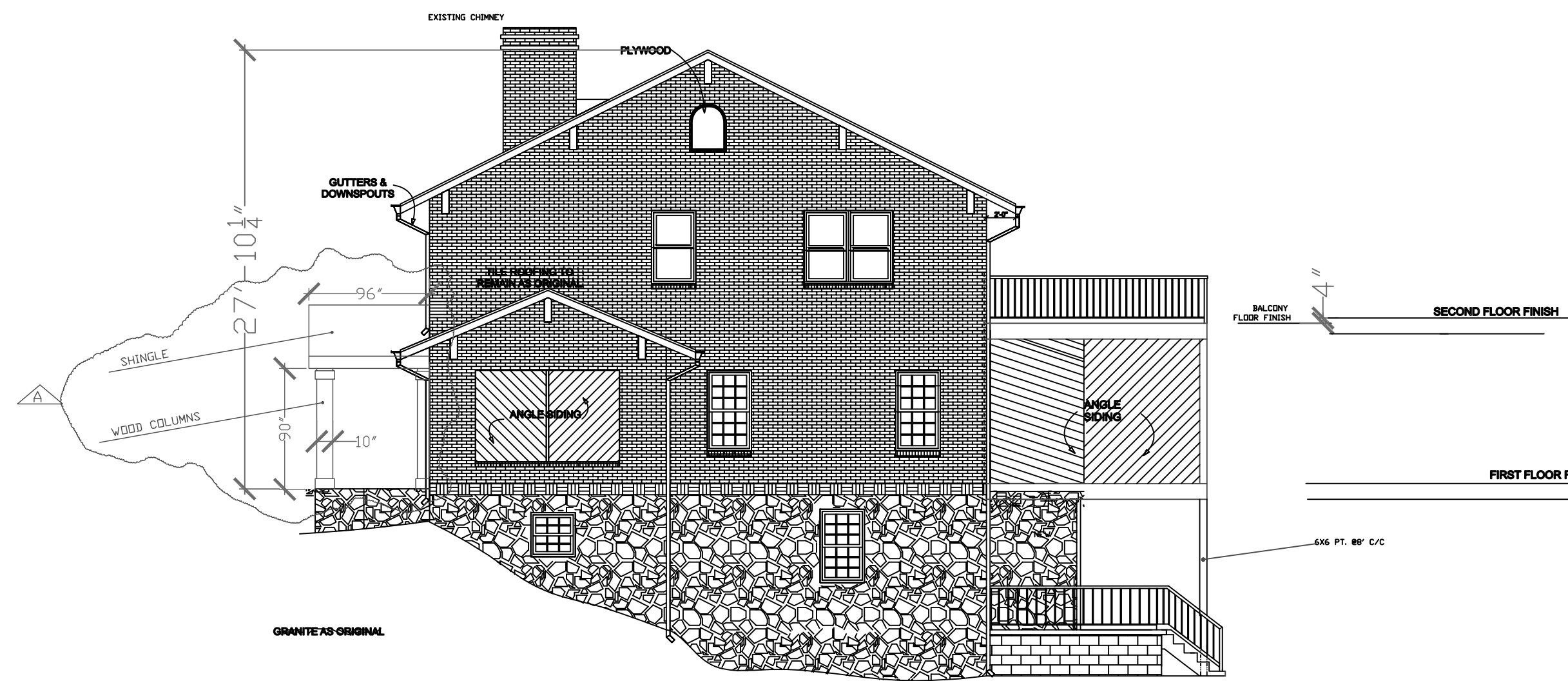
BY: A.K. CK:

DATE 05/11/2021

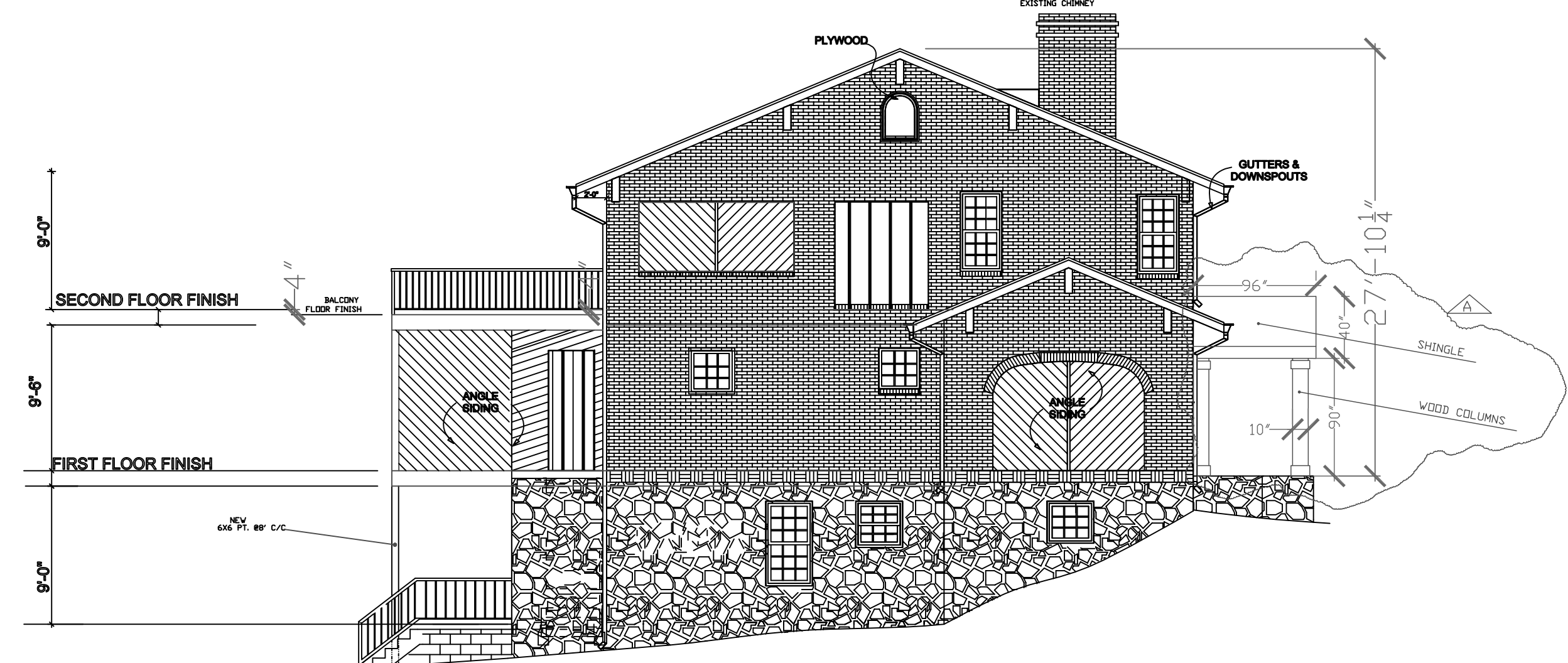
SHEET:

A6R

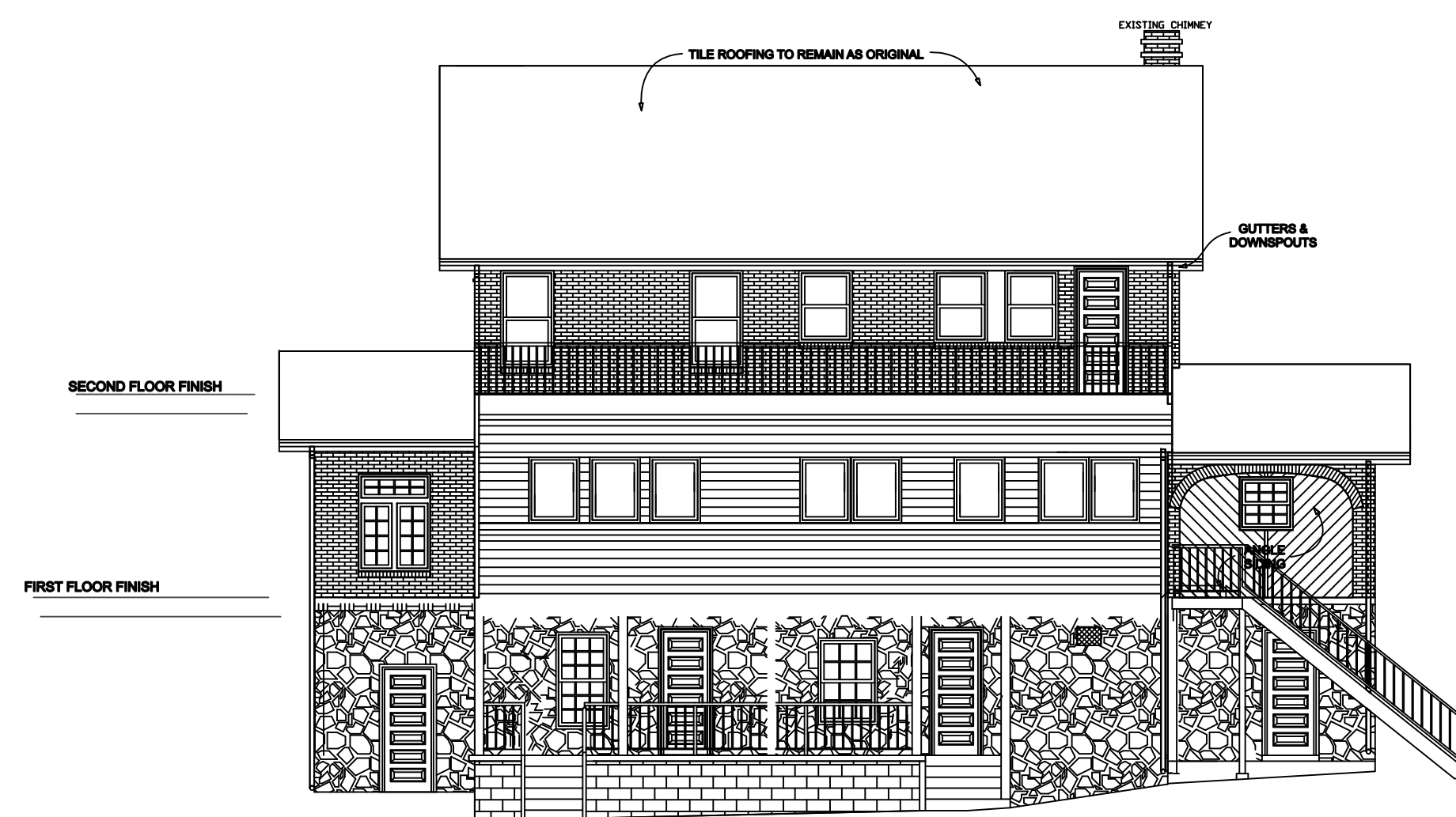
OF:



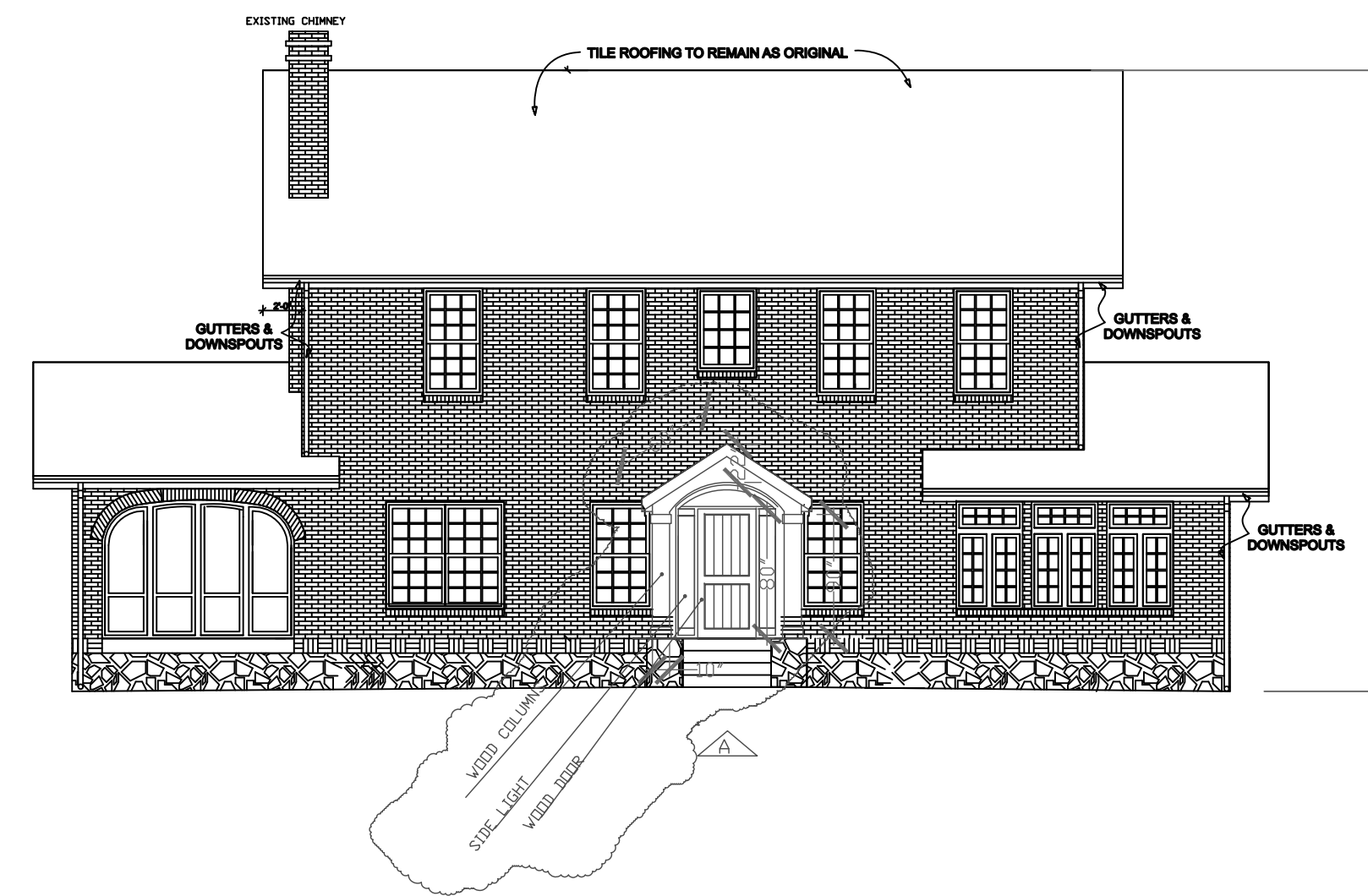
PROPOSED RIGHT ELEVATION
SCALE: 1/8"=1'



PROPOSED LEFT ELEVATION
SCALE: 1/8"=1'



PROPOSED REAR ELEVATION
SCALE: 1/8"=1'



PROPOSED FRONT ELEVATION
SCALE: 1/8"=1'

LVL FLOOR LOAD TABLE (PLF)

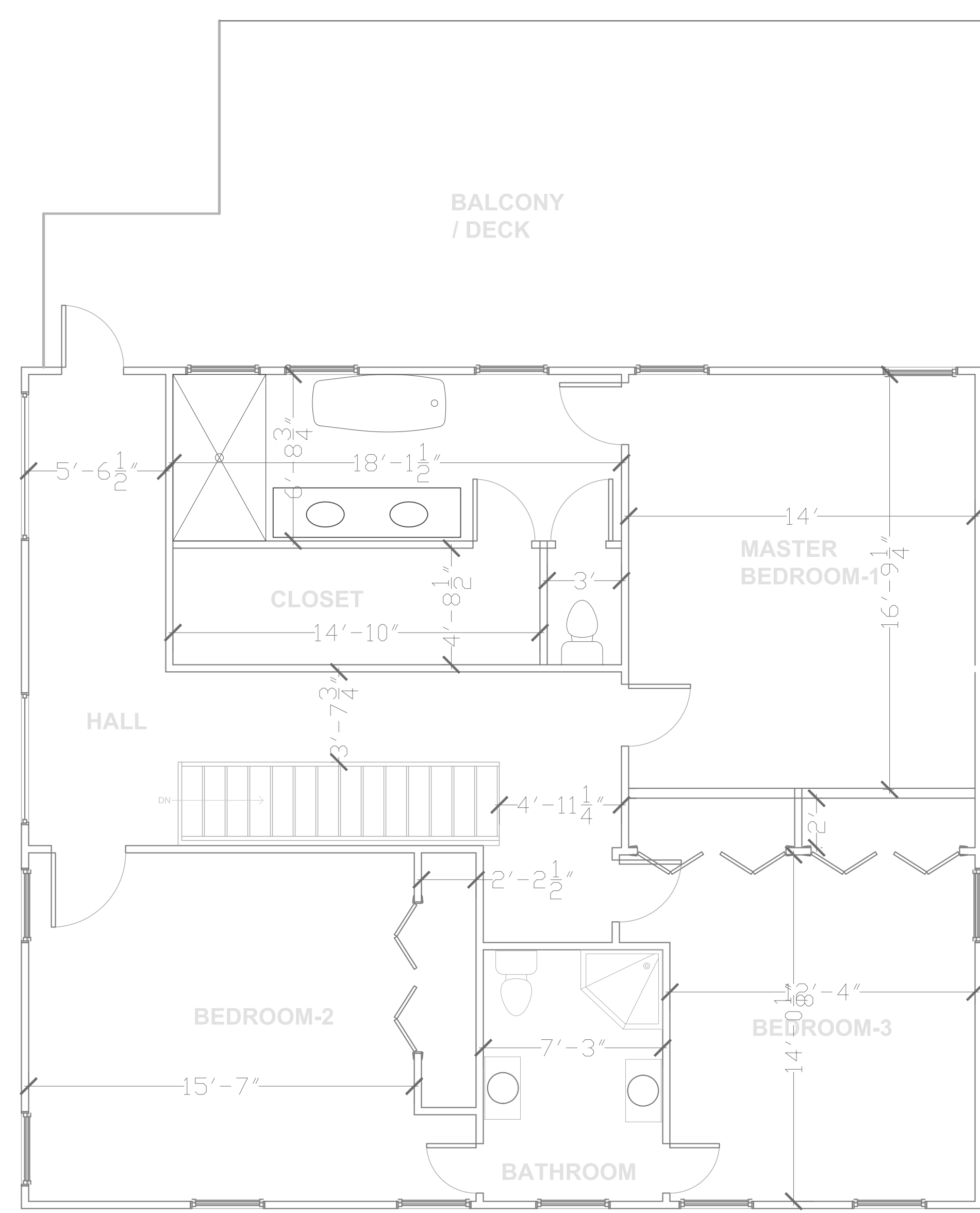
SPAN	LOAD	3 1/2"													
		7 1/4'	9 1/4'	9 1/2'	11 1/4'	11 3/8'	14'	16'	18'	18 3/4'	20'				
6'	TL/LF														
8'	TL/LF	686													
9'-6"	TL/LF	349	1077	1162											
10'	TL/LF	285	931	1004											
12'	TL/LF	136	549	593	965	1125									
14'	TL/LF	71	348	376	618	723									
16'-6"	TL/LF	33	212	229	380	446	721								
18'-6"	TL/LF	19	148	161	269	316	515	760							
20'	TL/LF	12	116	126	212	249	408	605	851						
24'	TL/LF		64	69	119	141	234	350	498	561	678				
28'	TL/LF			37	40	71	85	144	217	311	352	482			

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

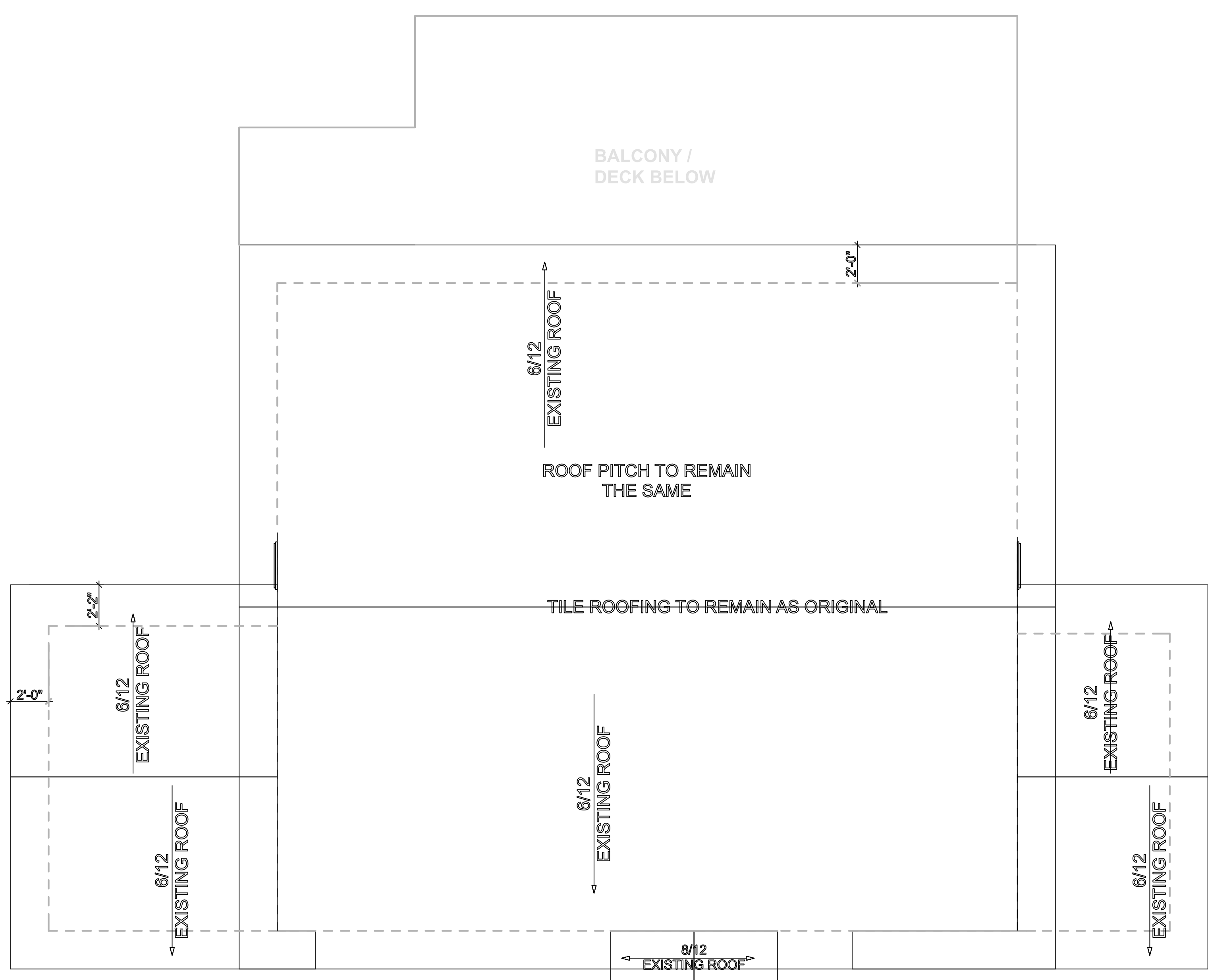
INT. RESIDENTIAL CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. FIRE CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. PLUMBING CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. FUEL GAS CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
NATIONAL ELECTRICAL CODE 2018 EDITION:
WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION:
WITH GA. AMENDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

RELEASED FOR CONSTRUCTION



PROPOSED 2ND FLOOR

SCALE: 1/4"=1'



PROPOSED ROOF

SCALE: 1/4"=1'

LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	3 1/2"																		
		7 1/4'	9 1/4'	9 1/2'	11 1/4'	11 1/8'	14'	16'	18'	18 3/4'	20'									
6'	TL/LF																			
8'	TL/LF	686																		
9'-6"	TL/LF	349	1077	1162																
10'	TL/LF	285	931	1004																
12'	TL/LF	136	549	593	965	1125														
14'	TL/LF	71	348	376	618	723														
16'-6"	TL/LF	33	212	229	380	446	721													
18'-6"	TL/LF	19	148	161	269	316	515	760												
20'	TL/LF	12	116	126	212	249	408	605	851											
24'	TL/LF		64	69	119	141	234	350	498	561	678									
28'	TL/LF		37	40	71	85	144	217	311	352	482									

MIN. SPANS AND WOOD HEADER SCHEDULE

SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
 WITH GA. AMENDMENTS 2020
 INT. FIRE CODE 2018 EDITION
 WITH GA. AMENDMENTS 2020
 INT. PLUMBING CODE 2018 EDITION:
 WITH GA. AMENDMENTS 2014, 2020
 INT. MECHANICAL CODE 2018 EDITION:
 WITH GA. AMENDMENTS 2014, 2020
 INT. FUEL GAS CODE 2018 EDITION:
 WITH GA. AMENDMENTS 2014, 2020
 NATIONAL ELECTRICAL CODE 2018 EDITION:
 WITH NO GA. AMENDMENTS
 INT. ENERGY CODE 2018 EDITION:
 WITH GA. AMENDMENTS 2020
 NAPA 101 LIFE SAFETY CODE 2018
 WITH STATE AMENDMENTS 2020
 INT. SWIMMING POOL & SPA CODE 2018
 WITH GA. AMENDMENTS 2020
 GEORGIA ACCESSIBILITY CODE

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
 ATLANTA, GA. 30306

PROJECT NAME:
 BRIARCLIFF

OWNER:
 MR. SAEID TAKALLOU

PROPOSED 2ND FLOOR
 & ROOF PLANS

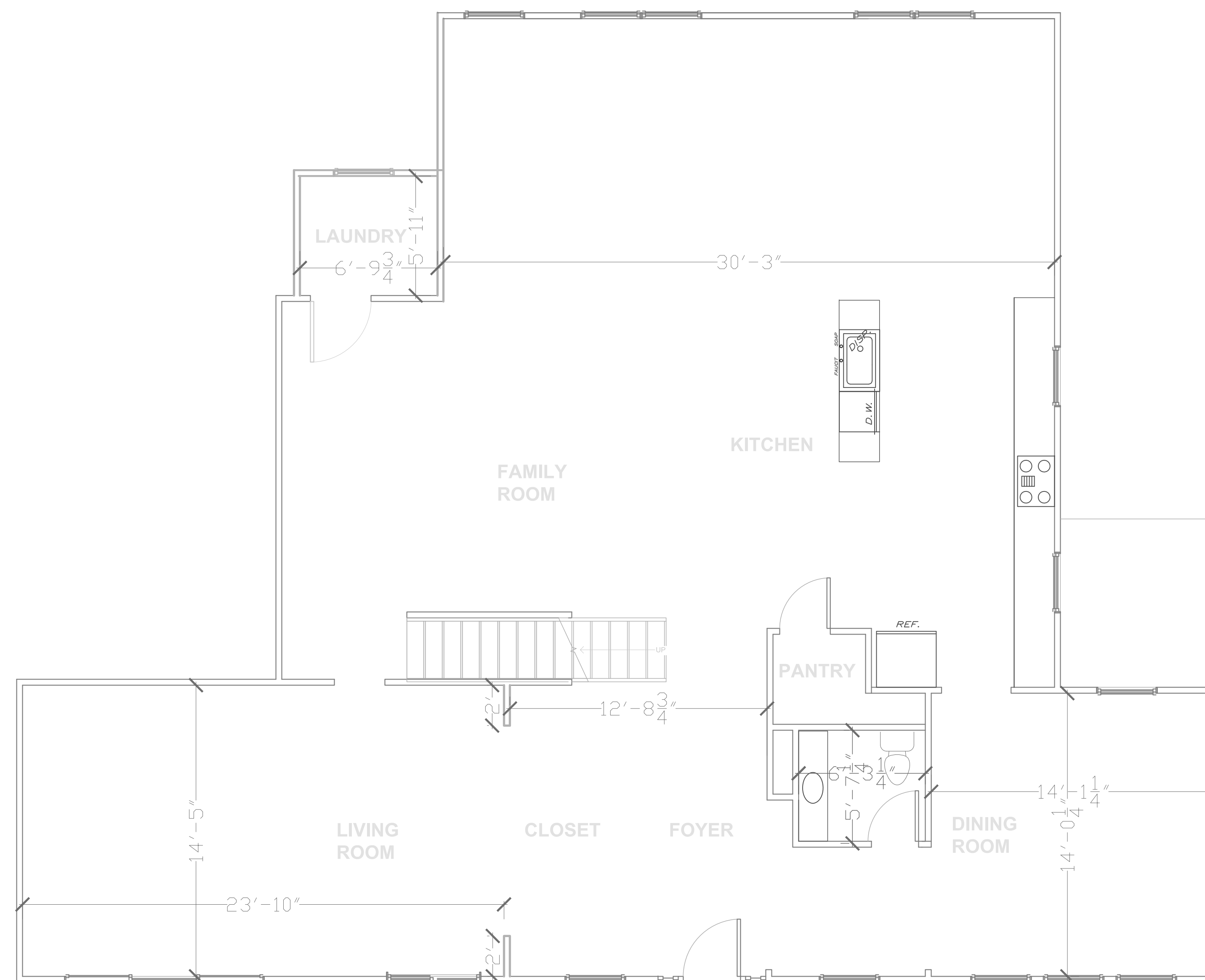
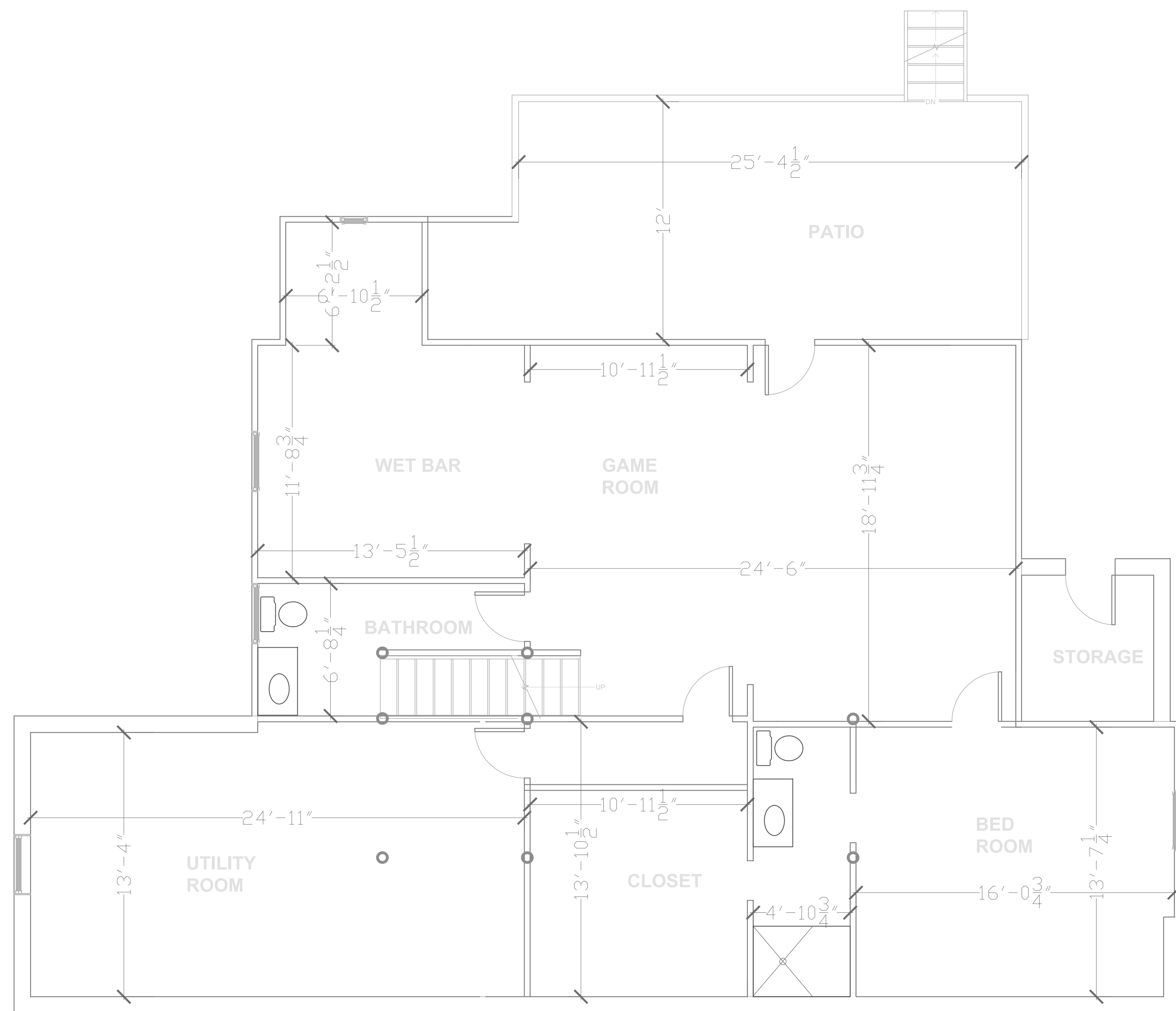
ATLANTIC BUILDING SPECIALTIES
 4455 LOWER ROSWELL RD.
 SUITE 684173
 MARIETTA, GA. 30068
 404-579-3400
 ABSINCO@GMAIL.COM

BY: A.K. CK:

DATE 05/11/2021

SHEET:
 A1

OF:



LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	7 1/4'	9 1/4'	9 1/2'	11 1/4'	11 3/8'	14'	16'	18'	18 3/4'	20'
6'	TL/LF										
8'	TL/LF	686									
9'-6"	TL/LF	349	1077	1162							
10'	TL/LF	285	931	1004							
12'	TL/LF	136	549	593	965	1125					
14'	TL/LF	71	348	376	618	723					
16'-6"	TL/LF	33	212	229	380	446	721				
18'-6"	TL/LF	19	148	161	269	316	515	760			
20'	TL/LF	12	116	126	212	249	408	605	851		
24'	TL/LF		64	69	119	141	234	350	498	561	678
28'	TL/LF		37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
 WITH GA. AMENDMENTS 2020
 INT. FIRE CODE 2018 EDITION
 WITH GA. AMENDMENTS 2020
 INT. PLUMBING CODE 2018 EDITION
 WITH GA. AMENDMENTS 2014, 2020
 INT. MECHANICAL CODE 2018 EDITION
 WITH GA. AMENDMENTS 2014, 2020
 INT. FUEL GAS CODE 2018 EDITION
 WITH GA. AMENDMENTS 2014, 2020
 NATIONAL ELECTRICAL CODE 2018 EDITION
 WITH NO GA. AMENDMENTS
 INT. ENERGY CODE 2018 EDITION
 WITH GA. AMENDMENTS 2020
 NAPA 101 LIFE SAFETY CODE 2018
 WITH STATE AMENDMENTS 2020
 INT. SWIMMING POOL & SPA CODE 2018
 WITH GA. AMENDMENTS 2020
 GEORGIA ACCESSIBILITY CODE

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
 ATLANTA, GA. 30306

PROJECT NAME:
 BRIARCLIFF

OWNER:
 MR. SAEID TAKALLOU

PROPOSED BASEMENT AND
 1ST FLOOR PLAN

ATLANTIC BUILDING SPECIALTIES

4455 LOWER ROSWELL RD.
 SUITE 684173
 MARIETTA, GA. 30068
 404-579-3400
 ABSINCO@GMAIL.COM

BY: A.K. CK:

DATE 05/11/2021

SHEET:
 A2

OF:

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

EXISTING ELEVATIONS

ATLANTIC BUILDING SPECIALTIES

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

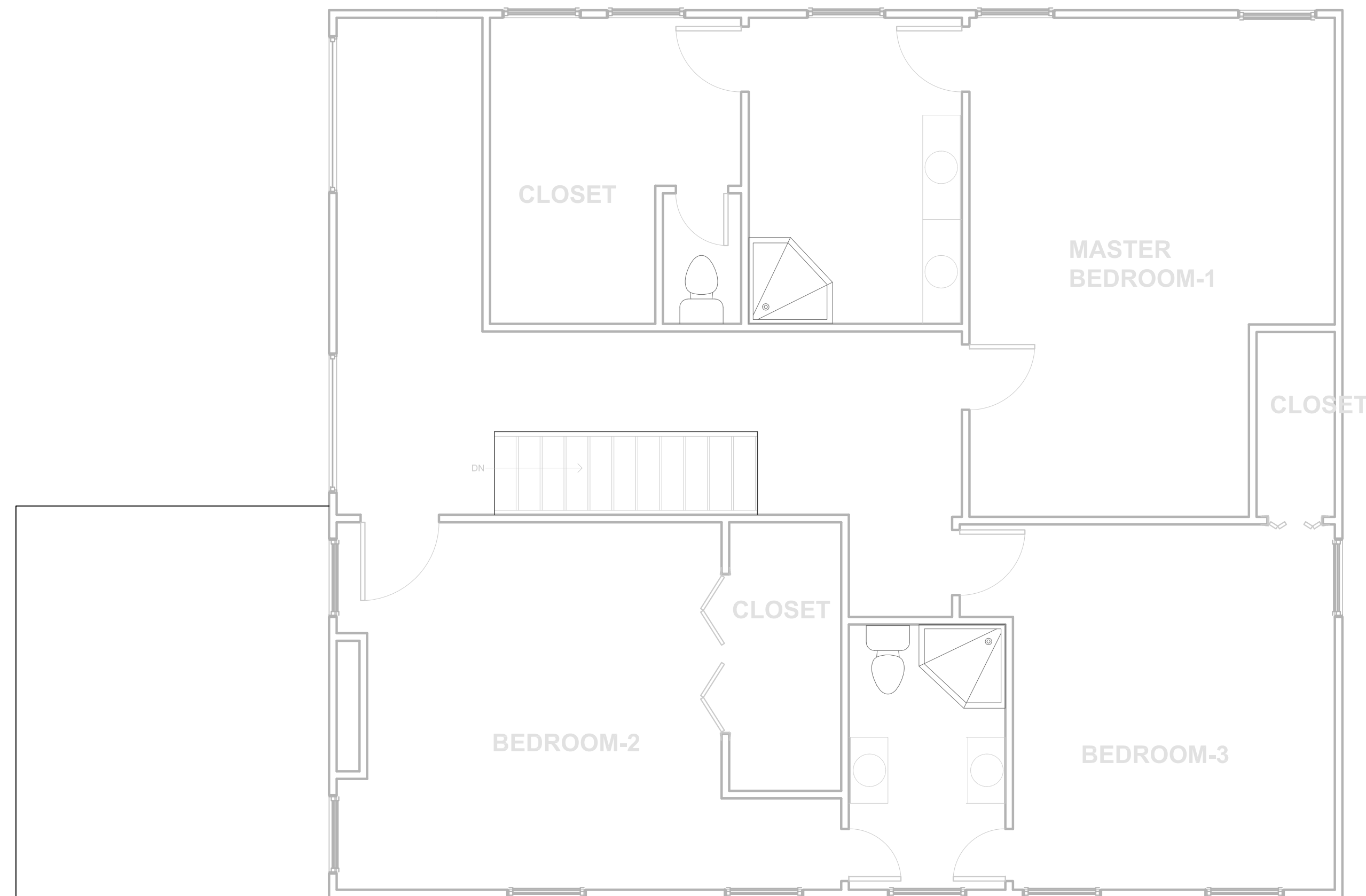
OWNER:
MR. SAEID TAKALLOU

BY: A.K. CK:

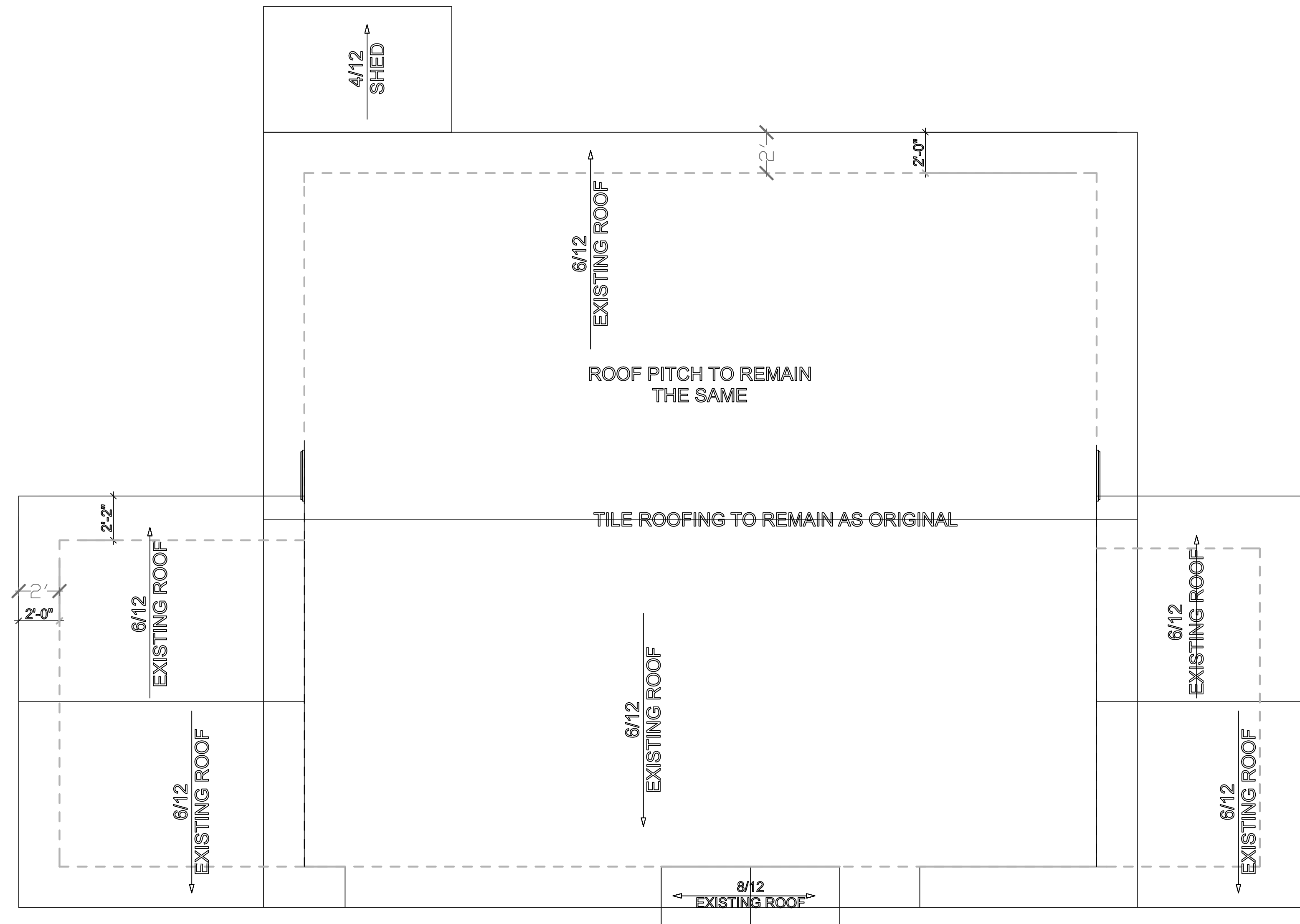
DATE 05/11/2021

SHEET:

A3
OF:



EXISTING 2ND FLOOR
SCALE: 1/4"=1'



EXISTING ROOF
SCALE: 1/4"=1'

LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	7 1/4'	9 1/4'	9 1/2'	11 1/4'	11 3/8'	14'	16'	18'	18 3/4'	20'
6'	TL/LF										
8'	TL/LF	686									
9'-6"	TL/LF	349	1077	1162							
10'	TL/LF	285	931	1004							
12'	TL/LF	136	549	593	965	1125					
14'	TL/LF	71	348	376	618	723					
16'-6"	TL/LF	33	212	229	380	446	721				
18'-6"	TL/LF	19	148	161	269	316	515	760			
20'	TL/LF	12	116	126	212	249	408	605	851		
24'	TL/LF		64	69	119	141	234	350	498	561	678
28'	TL/LF		37	40	71	85	144	217	311	352	482

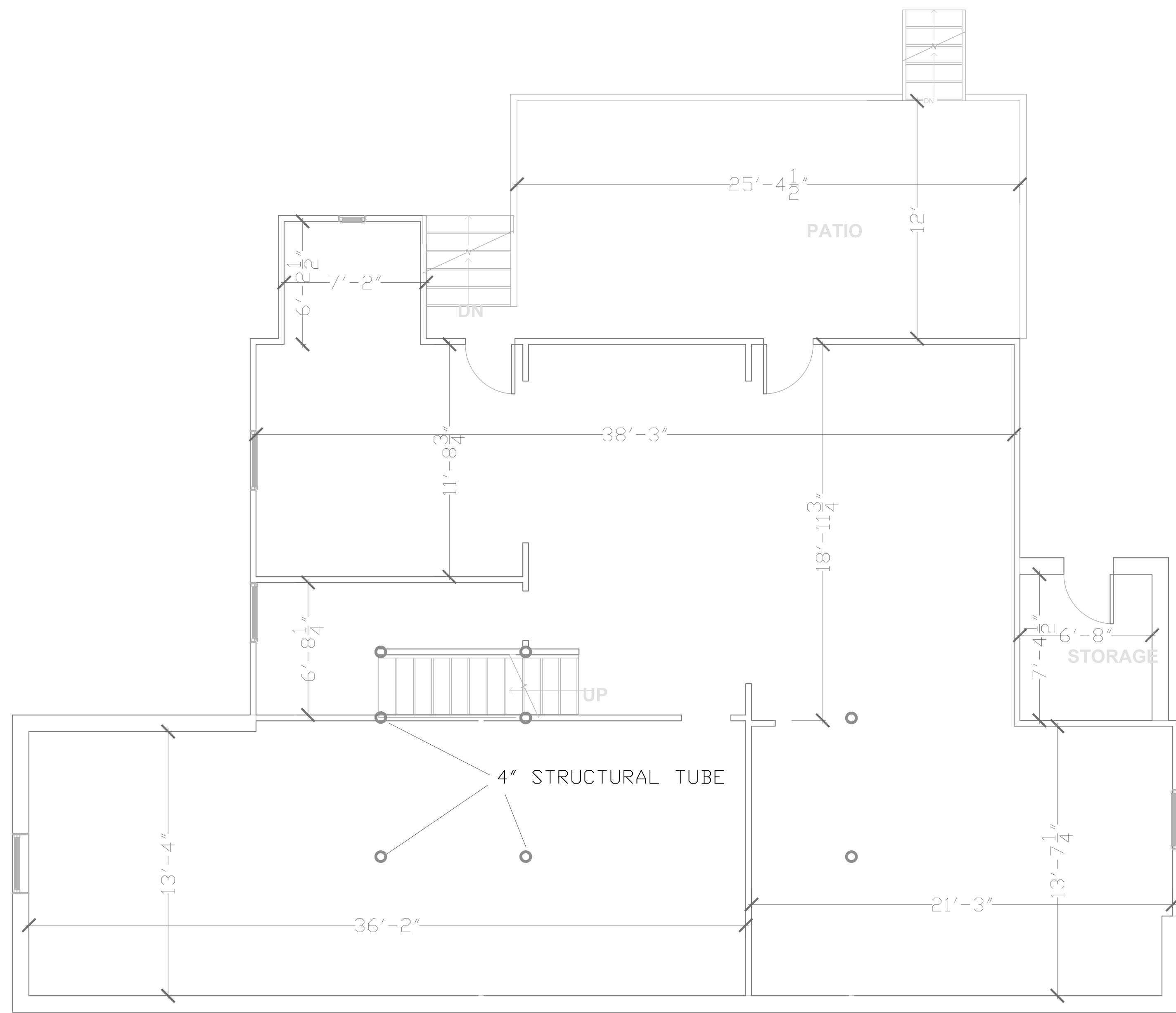
MIN. SPANS AND WOOD HEADER SCHEDULE

SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

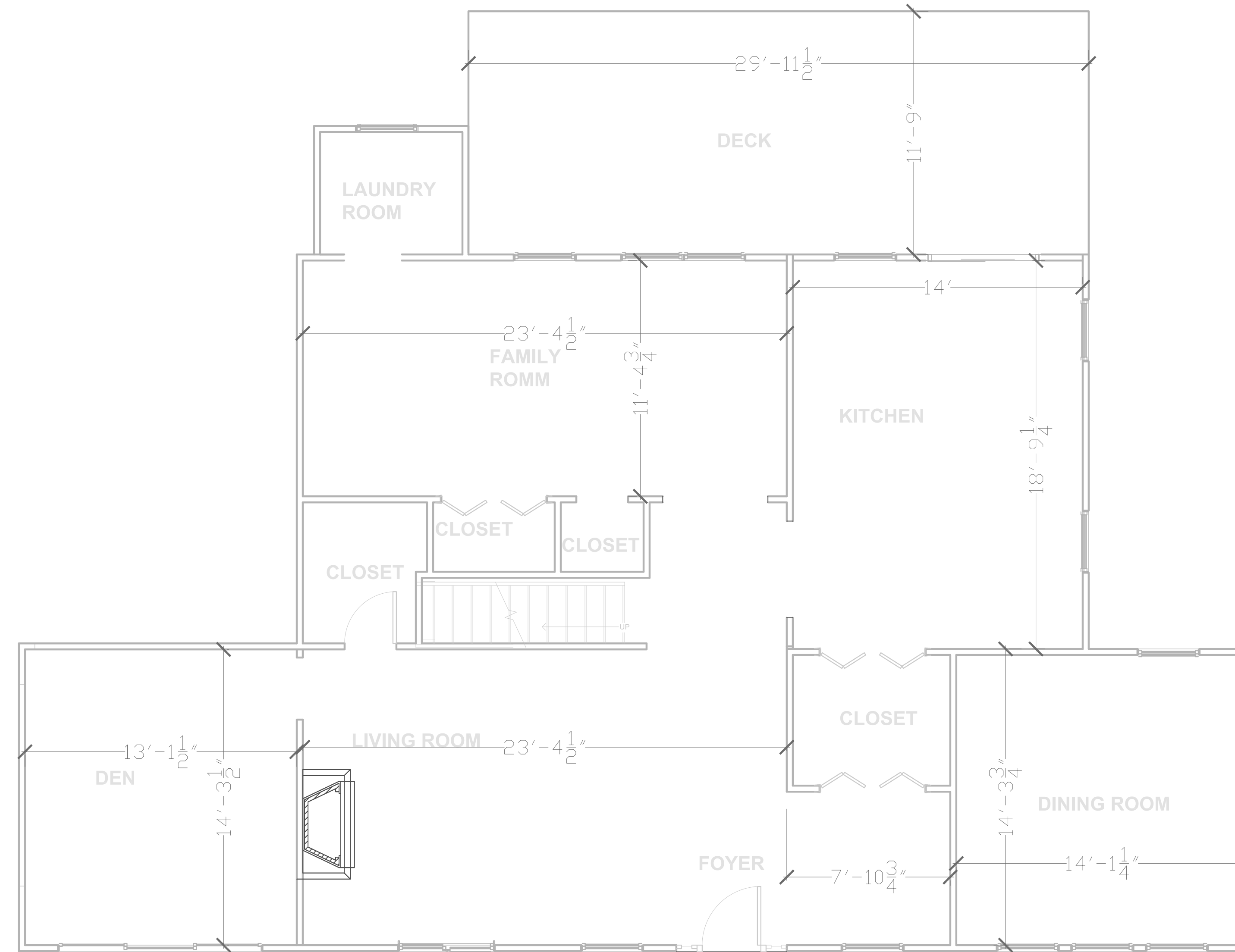
APPLICABLE CODES:

- INT. RESIDENTIAL CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- INT. FIRE CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- INT. PLUMBING CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- INT. MECHANICAL CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- INT. FUEL GAS CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- NATIONAL ELECTRICAL CODE 2018 EDITION WITH NO GA. AMENDMENTS
- INT. ENERGY CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- NAPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS 2020
- INT. SWIMMING POOL & SPA CODE 2018 WITH GA. AMENDMENTS 2020
- GEORGIA ACCESSIBILITY CODE

RELEASED FOR CONSTRUCTION



EXISTING UNFINISHED BASEMENT
SCALE: 1/4"=1'



EXISTING 1ST FLOOR
SCALE: 1/4"=1'

LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	7 1/4'	9 1/4'	9 1/2'	11 1/4'	11 3/8'	14'	16'	18'	18 3/4'	20'
6'	TL/LF										
8'	TL/LF	686									
9'-6"	TL/LF	349	1077	1162							
10'	TL/LF	285	931	1004							
12'	TL/LF	136	549	593	965	1125					
14'	TL/LF	71	348	376	618	723					
16'-6"	TL/LF	33	212	229	380	446	721				
18'-6"	TL/LF	19	148	161	269	316	515	760			
20'	TL/LF	12	116	126	212	249	408	605	851		
24'	TL/LF		64	69	119	141	234	350	498	561	678
28'	TL/LF		37	40	71	85	144	217	311	352	482

MIN. SPANS AND WOOD HEADER SCHEDULE

SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACERS IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X4 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION WITH GA. AMENDMENTS 2020
 INT. FIRE CODE 2018 EDITION WITH GA. AMENDMENTS 2020
 INT. PLUMBING CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
 INT. MECHANICAL CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
 INT. FUEL GAS CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
 NATIONAL ELECTRICAL CODE 2018 EDITION WITH NO GA. AMENDMENTS
 INT. ENERGY CODE 2018 EDITION WITH GA. AMENDMENTS 2020
 NAPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS 2020
 INT. SWIMMING POOL & SPA CODE 2018 WITH GA. AMENDMENTS 2020
 GEORGIA ACCESSIBILITY CODE

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

OWNER:
MR. SAEID TAKALLOU

EXISTING ELEVATIONS

ATLANTIC BUILDING SPECIALTIES

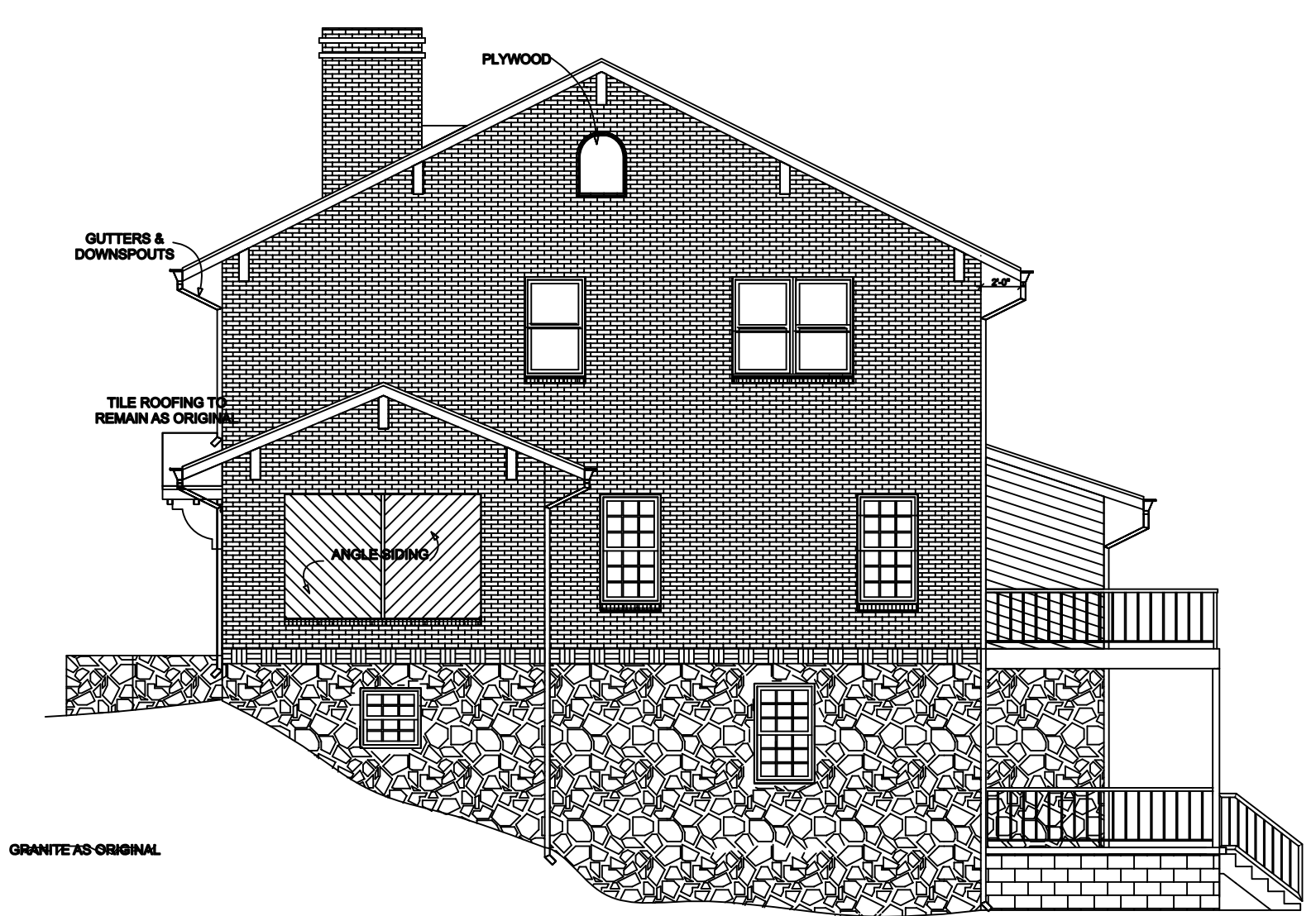
4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

BY: A.K. CK:

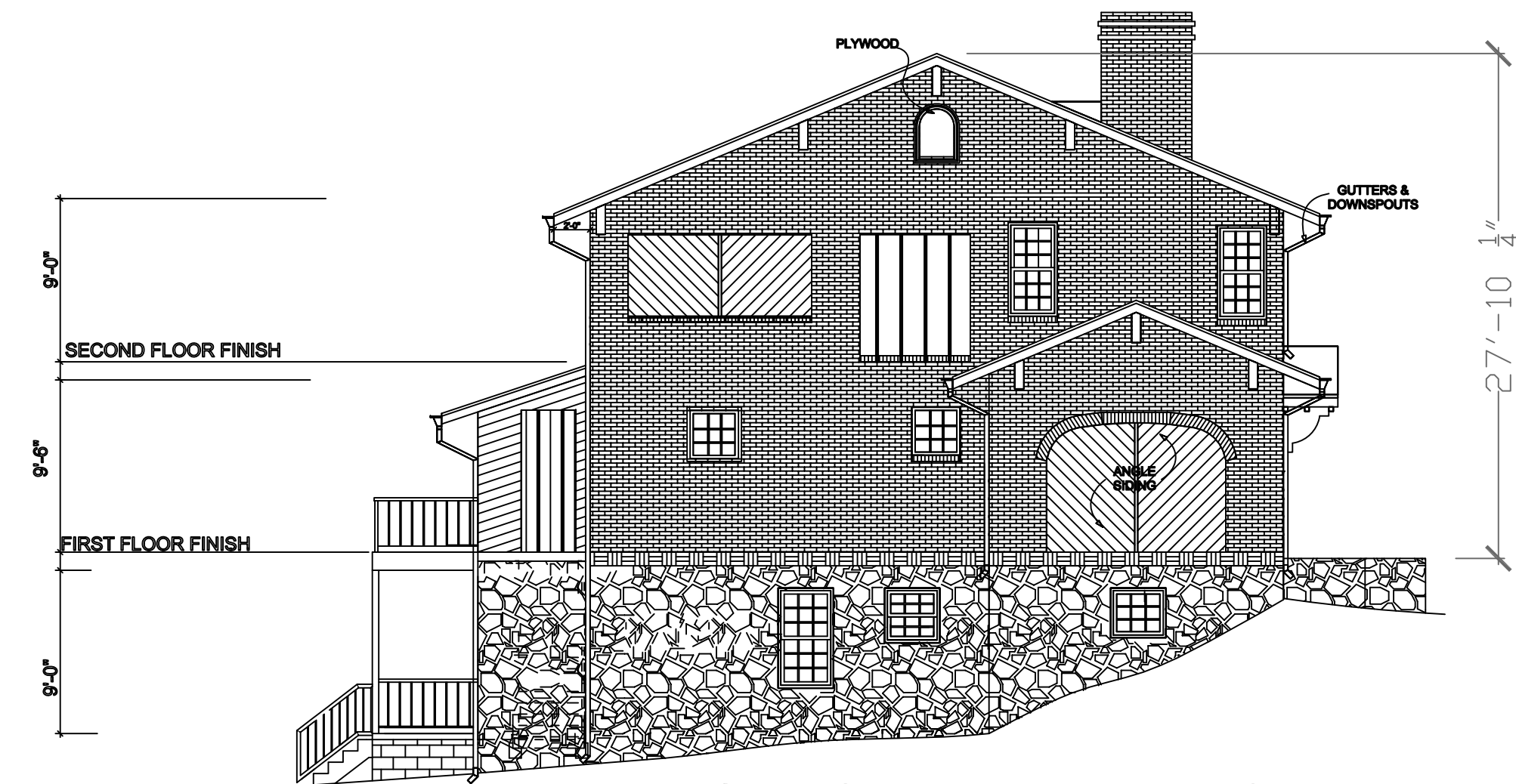
DATE 05/11/2021

SHEET:
A4

OF:



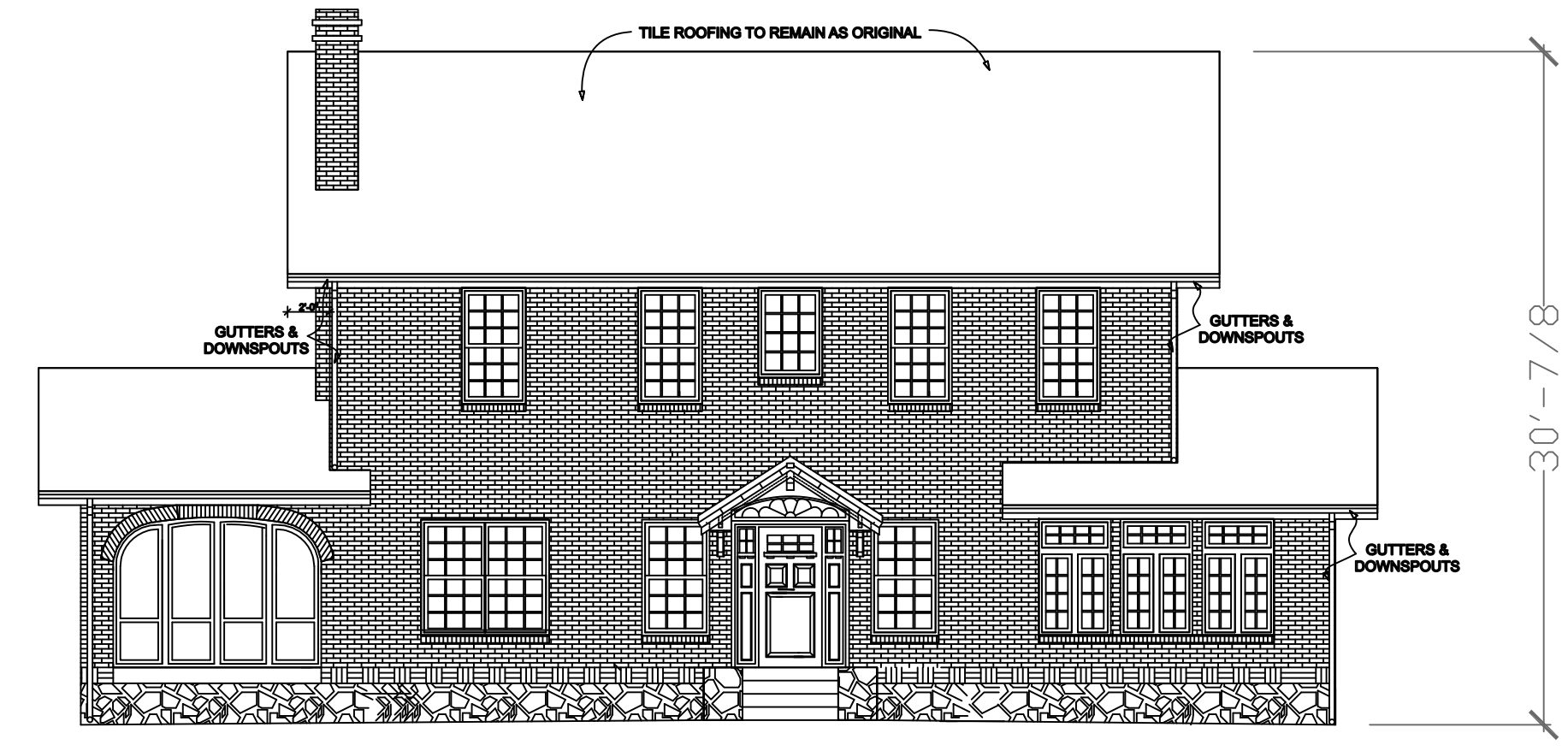
EXISTING RIGHT ELEVATION
SCALE: 1/8"=1'



EXISTING LEFT ELEVATION
SCALE: 1/8"=1'



EXISTING REAR ELEVATION
SCALE: 1/8"=1'



EXISTING FRONT ELEVATION
SCALE: 1/8"=1'

LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	3 1/2'																		
		7 1/2'	9 1/2'	9 1/2'	11 1/2'	11 3/8'	14'	16'	18'	18 3/4'	20'									
6'	TL/LF																			
8'	TL/LF	686																		
9'-6"	TL/LF	349	1077	1162																
10'	TL/LF	285	931	1004																
12'	TL/LF	136	549	593	965	1125														
14'	TL/LF	71	348	376	618	723														
16'-6"	TL/LF	33	212	229	380	446	721													
18'-6"	TL/LF	19	148	161	269	316	515	760												
20'	TL/LF	12	116	126	212	249	408	605	851											
24'	TL/LF		64	69	119	141	234	350	498	561	678									
28'	TL/LF		37	40	71	85	144	217	311	352	482									

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE 1/2" PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO 1/2" PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

RELEASED FOR CONSTRUCTION

APPLICABLE CODES:

- INT. RESIDENTIAL CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- INT. FIRE CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- INT. PLUMBING CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- INT. MECHANICAL CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- INT. FUEL GAS CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- NATIONAL ELECTRICAL CODE 2018 EDITION WITH NO GA. AMENDMENTS
- INT. ENERGY CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- NAPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS 2020
- INT. SWIMMING POOL & SPA CODE 2018 WITH GA. AMENDMENTS 2020
- GEORGIA ACCESSIBILITY CODE

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

OWNER:
MR. SAEID TAKALLOU

EXISTING ELEVATIONS

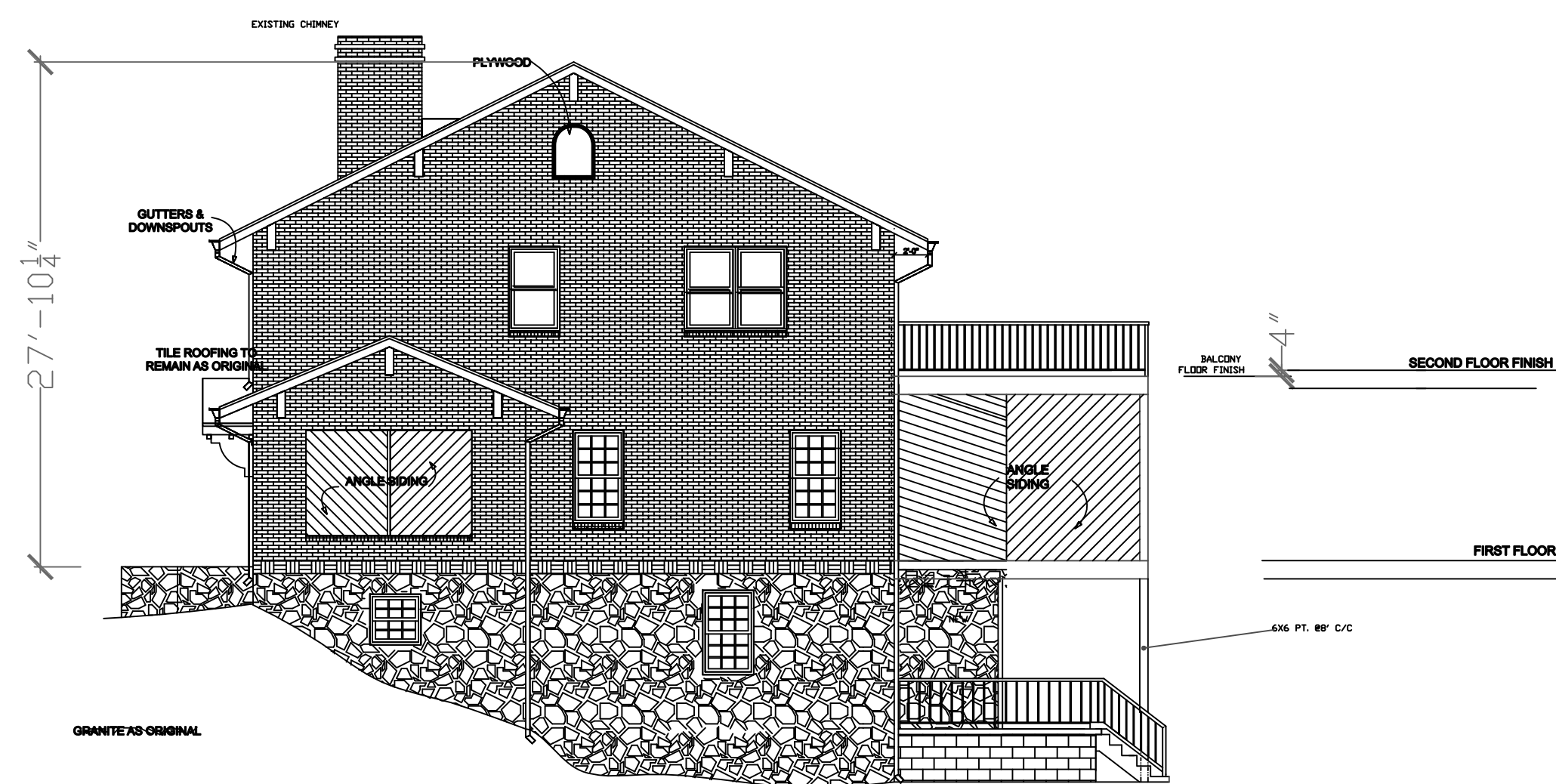
ATLANTIC BUILDING SPECIALTIES
4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

BY: A.K. CK:

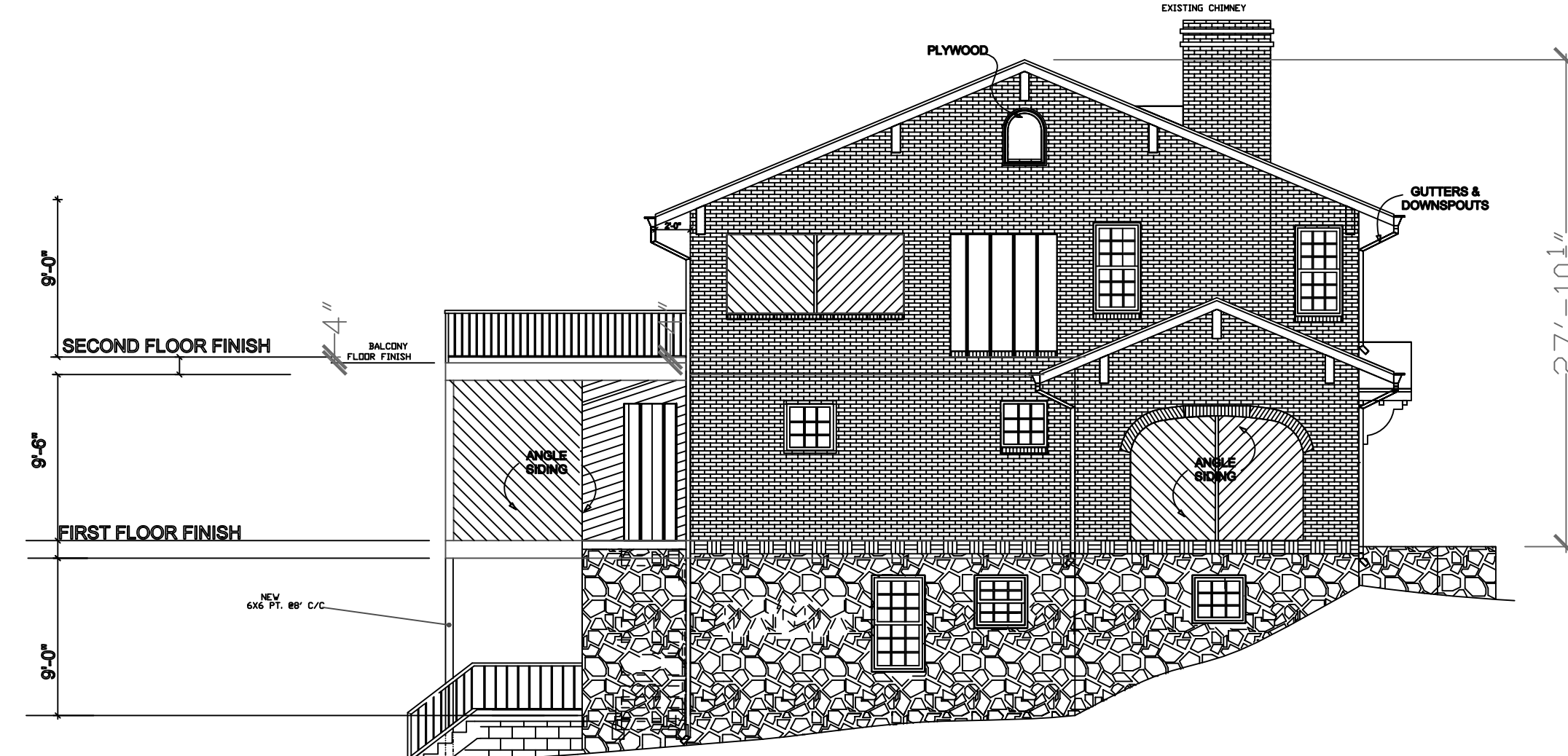
DATE 05/11/2021

SHEET:
A5

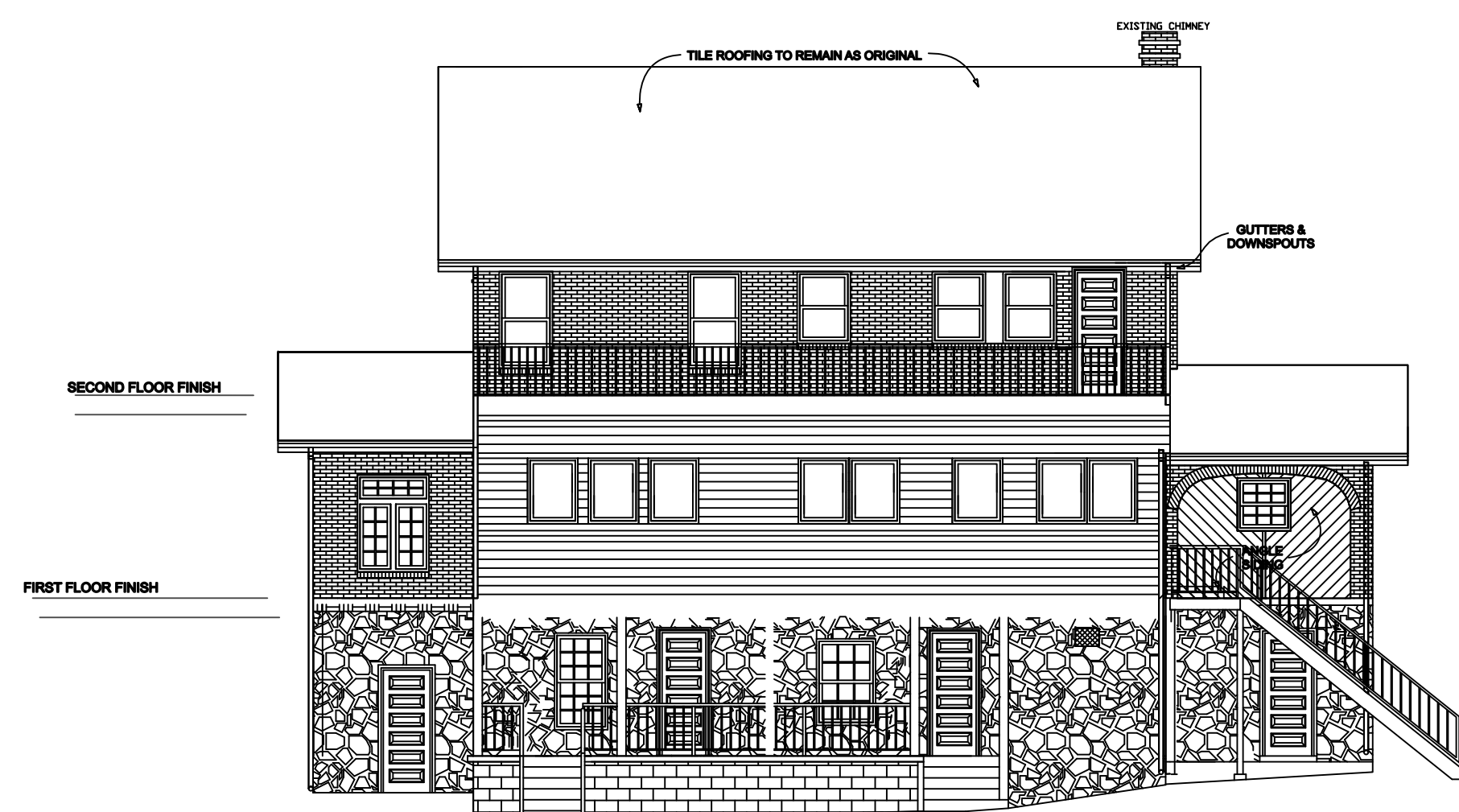
OF:



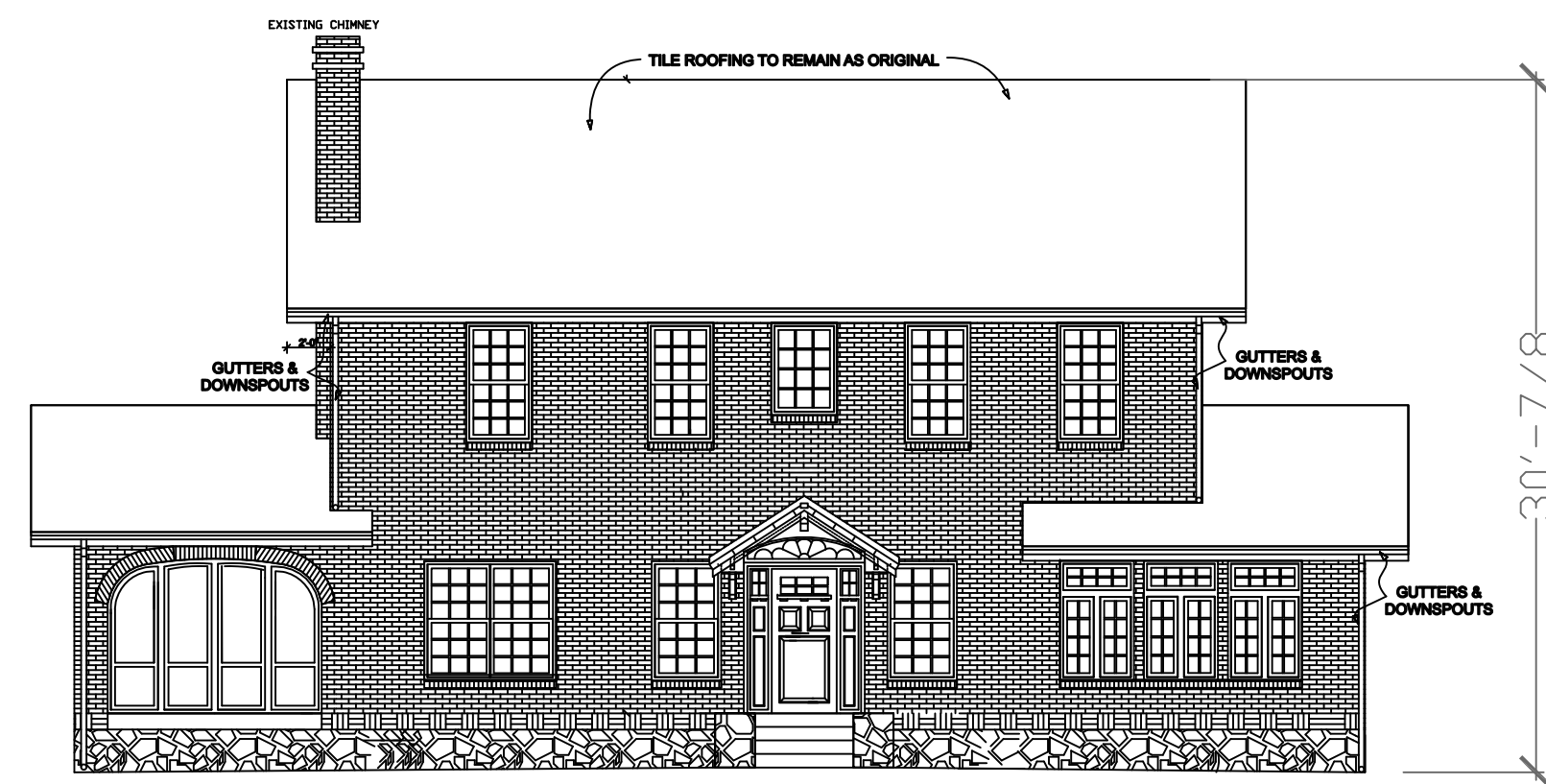
PROPOSED RIGHT ELEVATION
SCALE: 1/8"=1'



PROPOSED LEFT ELEVATION
SCALE: 1/8"=1'



PROPOSED REAR ELEVATION
SCALE: 1/8"=1'



PROPOSED FRONT ELEVATION
SCALE: 1/8"=1'

LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	3 1/2"																		
		7 1/2'	9 1/2'	9 1/2'	11 1/2'	11 1/2'	14'	16'	18'	18 3/4'	20'									
6'	TL/LF																			
8'	TL/LF	686																		
9'-6"	TL/LF	349	1077	1162																
10'	TL/LF	285	931	1004																
12'	TL/LF	136	549	593	965	1125														
14'	TL/LF	71	348	376	618	723														
16'-6"	TL/LF	33	212	229	380	446	721													
18'-6"	TL/LF	19	148	161	269	316	515	760												
20'	TL/LF	12	116	126	212	249	408	605	851											
24'	TL/LF		64	69	119	141	234	350	498	561	678									
28'	TL/LF		37	40	71	85	144	217	311	352	482									

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. FIRE CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. PLUMBING CODE 2018 EDITION
WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION
WITH GA. AMENDMENTS 2014, 2020
INT. FUEL GAS CODE 2018 EDITION
WITH GA. AMENDMENTS 2014, 2020
NATIONAL ELECTRICAL CODE 2018 EDITION
WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

OWNER:
MR. SAEID TAKALLOU

PROPOSED ELEVATIONS

ATLANTIC BUILDING SPECIALTIES

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

BY: A.K. CK:

DATE 05/11/2021

SHEET:
A6

OF:

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

OWNER:
MR. SAEID TAKALLOU

PROPOSED DETACHED
GARAGE FLOOR PLAN

ATLANTIC BUILDING SPECIALTIES

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

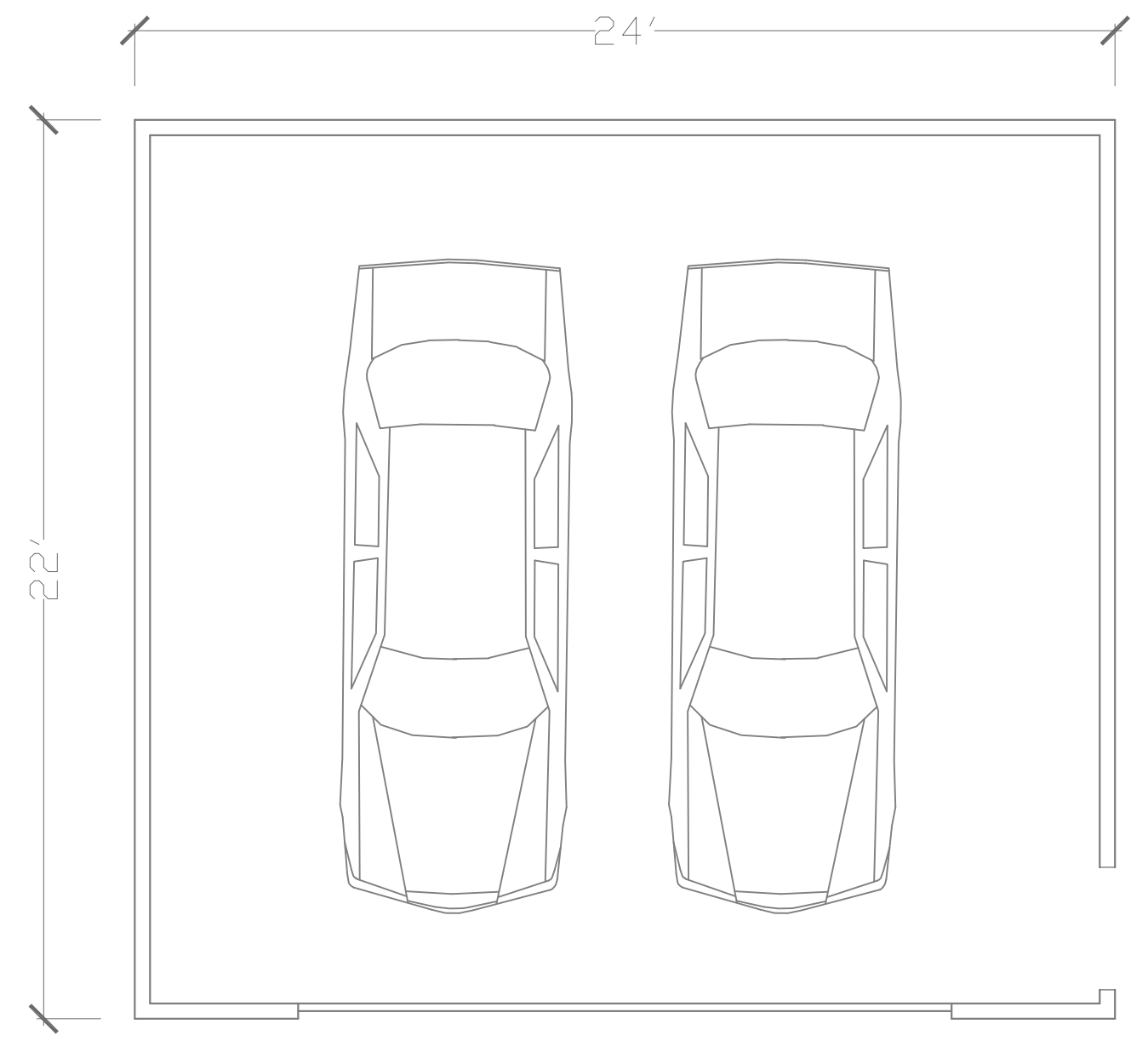
BY: A.K. CK:

DATE 05/11/2021

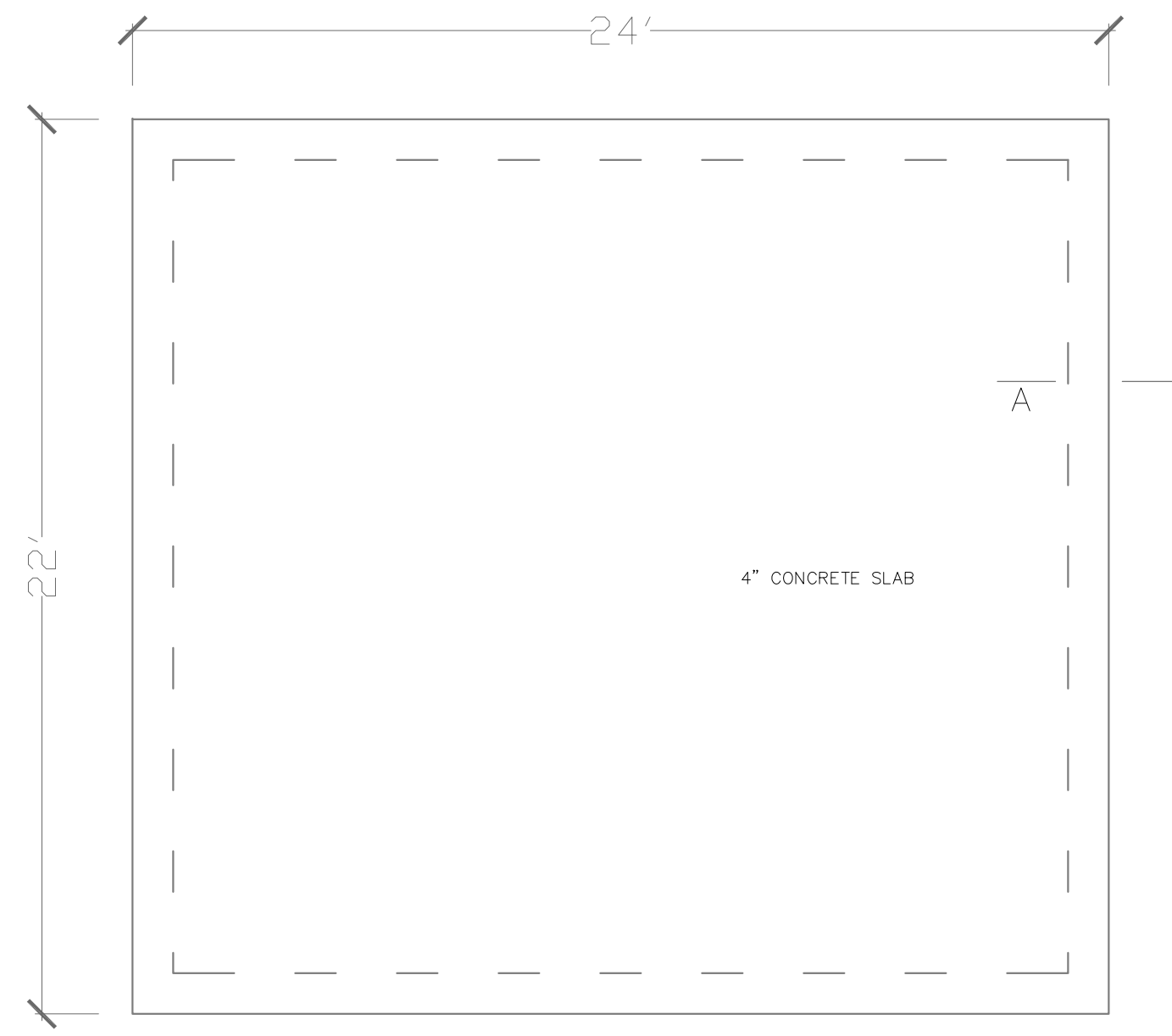
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A7

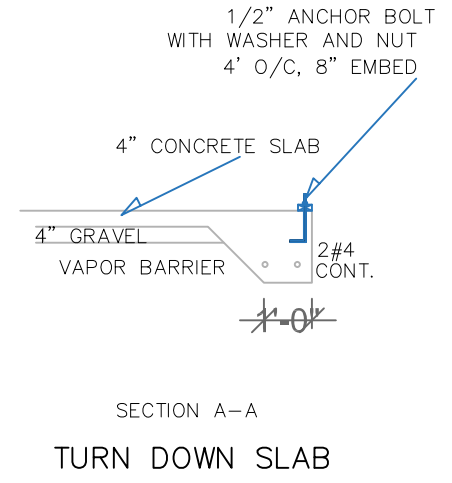
OF:



GARAGE FLOOR PLAN
SCALE: 1/4"=1'



GARAGE FOUNDATION & SLAB
SCALE: 1/4"=1'



SECTION A-A
TURN DOWN SLAB

APPLICABLE CODES:

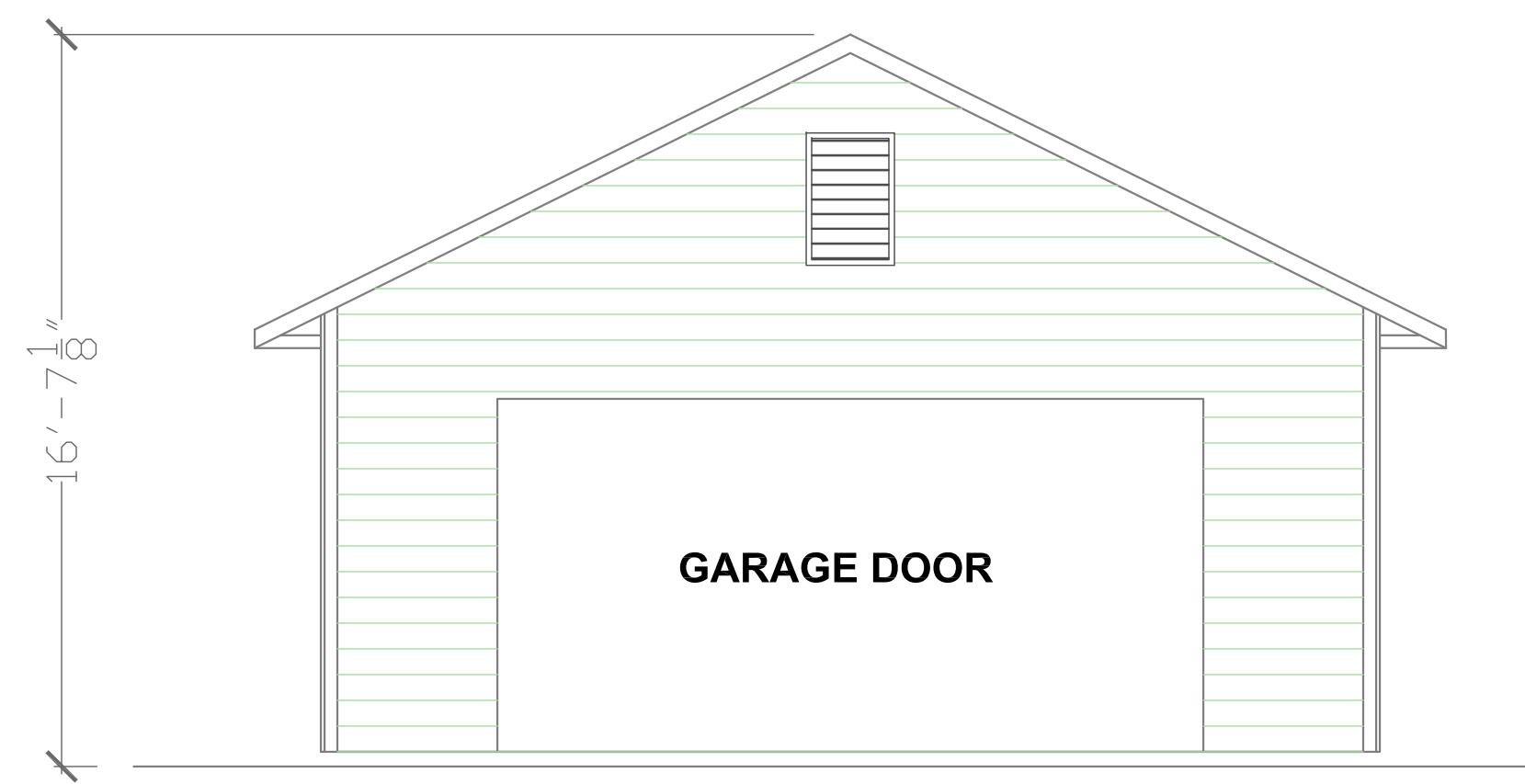
- INT. RESIDENTIAL CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- INT. FIRE CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- INT. PLUMBING CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- INT. MECHANICAL CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- INT. FUEL GAS CODE 2018 EDITION WITH GA. AMENDMENTS 2014, 2020
- NATIONAL ELECTRICAL CODE 2018 EDITION WITH NO GA. AMENDMENTS
- INT. ENERGY CODE 2018 EDITION WITH GA. AMENDMENTS 2020
- NAPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS 2020
- INT. SWIMMING POOL & SPA CODE 2018 WITH GA. AMENDMENTS 2020
- GEORGIA ACCESSIBILITY CODE

LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	3 1/2"																		
		7'	9'	9 1/2'	11'	11 1/2'	14'	16'	18'	18 3/4'	20'									
6'	TL/LF	686																		
8'	TL/LF	349	1077	1162																
9'-6"	TL/LF	285	931	1004																
12'	TL/LF	136	549	593	965	1125														
14'	TL/LF	71	348	376	618	723														
16'-6"	TL/LF	33	212	229	380	446	721													
18'-6"	TL/LF	19	148	161	269	316	515	760												
20'	TL/LF	12	116	126	212	249	408	605	851											
24'	TL/LF		64	69	119	141	234	350	498	561	678									
28'	TL/LF		37	40	71	85	144	217	311	352	482									

SIZE OF HEADER	MIN. SPANS AND WOOD HEADER SCHEDULE			
	LOAD BEARING WALL SUPPORTING ROOF ONLY	LOAD BEARING WALL ONE STORY ABOVE	LOAD BEARING WALL TWO STORY ABOVE	NON LOAD BEARING WALL
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

RELEASED FOR CONSTRUCTION



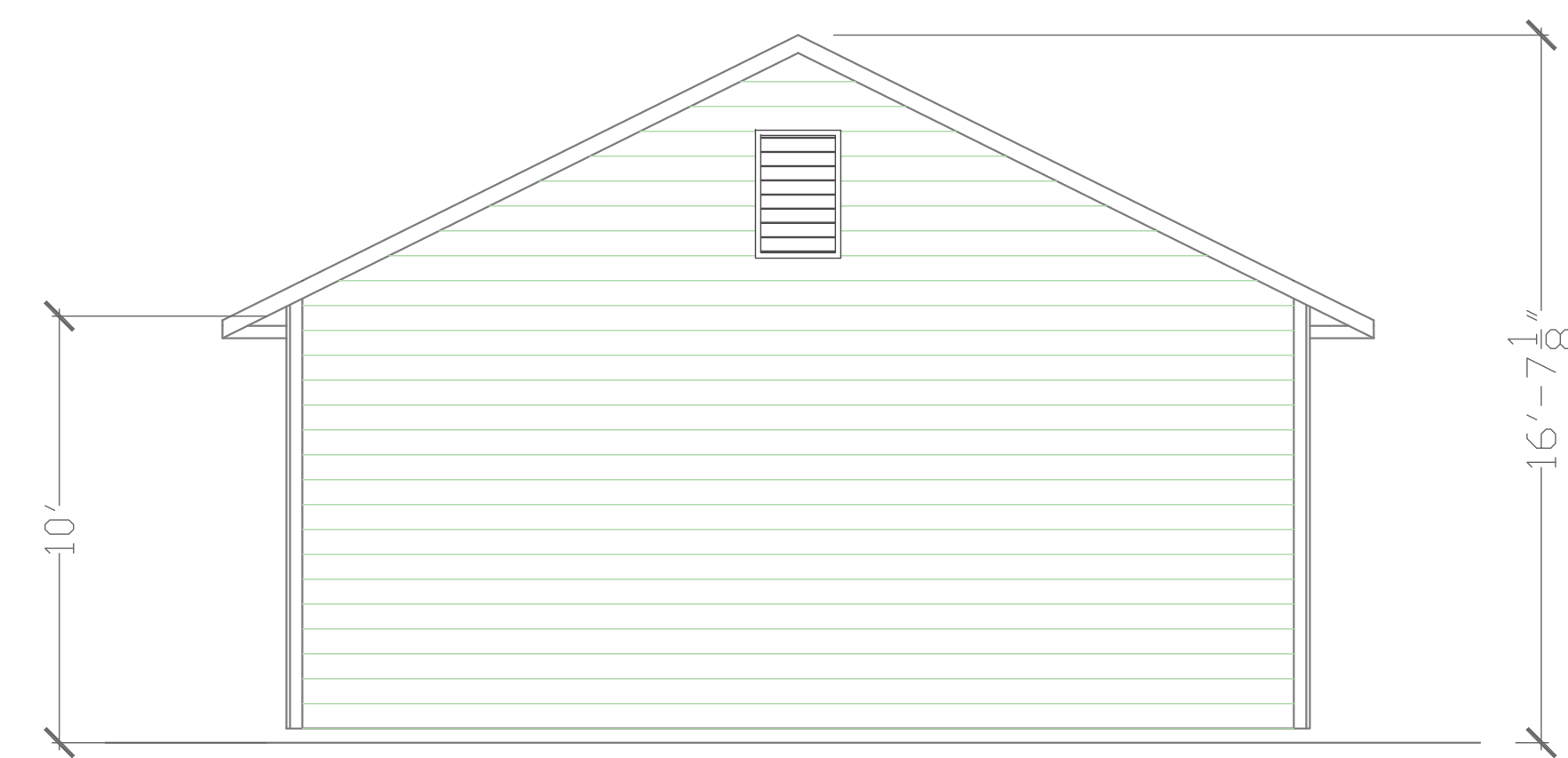
FRONT ELEVATION
SCALE: 1/4"=1'



RIGHT ELEVATION
SCALE: 1/4"=1'



LEFT ELEVATION
SCALE: 1/4"=1'



REAR ELEVATION
SCALE: 1/4"=1'

LVL FLOOR LOAD TABLE (PLF)

SPAN	LOAD	3 1/2"													
		7 1/2'	9'	9 1/2'	11 1/2'	11 3/4'	14'	16'	18'	18 3/4'	20'				
6'	TL/LF														
8'	TL/LF	686													
9'-6"	TL/LF	349	1077	1162											
10'	TL/LF	285	931	1004											
12'	TL/LF	136	549	593	965	1125									
14'	TL/LF	71	348	376	618	723									
16'-6"	TL/LF	33	212	229	380	446	721								
18'-6"	TL/LF	19	148	161	269	316	515	760							
20'	TL/LF	12	116	126	212	249	408	605	851						
24'	TL/LF		64	69	119	141	234	350	498	561	678				
28'	TL/LF		37	40	71	85	144	217	311	352	482				

MIN. SPANS AND WOOD HEADER SCHEDULE				
SIZE OF HEADER	LOAD BEARING WALL	LOAD BEARING WALL	LOAD BEARING WALL	NON LOAD BEARING WALL
	SUPPORTING ROOF ONLY	ONE STORY ABOVE	TWO STORY ABOVE	
2-2X6 WITH ONE PLYWOOD SPACER IN 2X4 WALL	6	4	-	-
3-2X6 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	6	4	-	-
2-2X8 WITH ONE PLYWOOD SPACER IN 2X4 WALL	8	6	4	8
3-2X8 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	8	6	4	8
2-2X10 WITH ONE PLYWOOD SPACER IN 2X4 WALL	10	8	6	10
3-2X10 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	10	8	6	10
2-2X12 WITH ONE PLYWOOD SPACER IN 2X4 WALL	12	10	8	12
3-2X12 WITH TWO PLYWOOD SPACERS IN 2X6 WALL	12	10	8	12

APPLICABLE CODES:

INT. RESIDENTIAL CODE 2018 EDITION
WITH GA. AMENDMENTS 2020
INT. FIRE CODE 2018 EDITION
WITH GA. AMEDMENTS 2020
INT. PLUMBING CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. MECHANICAL CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
INT. FUEL GAS CODE 2018 EDITION:
WITH GA. AMENDMENTS 2014, 2020
NATIONAL ELECTRICAL CODE 2018 EDITION:
WITH NO GA. AMENDMENTS
INT. ENERGY CODE 2018 EDITION:
WITH GA. AMEDMENTS 2020
NAPA 101 LIFE SAFETY CODE 2018
WITH STATE AMENDMENTS 2020
INT. SWIMMING POOL & SPA CODE 2018
WITH GA. AMENDMENTS 2020
GEORGIA ACCESSIBILITY CODE

RELEASED FOR CONSTRUCTION

DATE	REVISIONS	BY

ADDRESS: 957 BRIARCLIFF RD. NE.
ATLANTA, GA. 30306

PROJECT NAME:
BRIARCLIFF

OWNER:
MR. SAEID TAKALLOU

PROPOSED DETACHED
GARAGE ELEVATIONS

ATLANTIC BUILDING SPECIALTIES

4455 LOWER ROSWELL RD.
SUITE 684173
MARIETTA, GA. 30068
404-579-3400
ABSINCO@GMAIL.COM

BY: A.K. CK:

DATE 05/11/2021

SHEET:

A8

OF:

MOORE ENGINEERING INCORPORATED

STRUCTURAL AND GEOTECHNICAL SERVICES

2157 Mount Vernon Road
Dunwoody, GA 30338

770-366-6258 (cell)
MarilynMooreEngineering@gmail.com

October 17, 2022

Shawn Sohrabi
957 Briarcliff Road
Atlanta, GA

RE: Engineering Consultation – Renovation and Addition Repairs
Residence at 957 Briarcliff Road, Decatur, GA

Shawn,

Moore Engineering, Inc. (MEI) was retained to assist in the renovation and structural engineering for this ninety-year-old house which was in a very damaged and poor condition.

- The building had water intrusion for a long period which caused rotting and settling on several parts of the house.
- There were leaking roof issues at crickets and valleys.
- Multiple broken and missing windowpanes existed.
- Window and door frame casing and sashes were damaged.

There were two significantly damaged areas which we provided design repair and oversight of work being completed.

House Settlement

The basement level of the house is constructed of multiple layers of chiseled granite stone and finished with a raised pointing. The upper levels are brick façade. Over the past decades of neglect, the water has been allowed to flow and pool toward the structure (rather than away from the structure). The clay soils beneath the granite walls footings softened so significantly that the structure moved and broke parts of the granite stone's mortar joints.

MEI specified and site managed the installation of helical piers at five points to re-support and stabilize the structure.

1. Helical piers with adjustable base plates were installed to move the structure back into place.
2. The helical piers provided support while the granite was re-mortared and re-pointed.
3. Wet soils were removed, and dry clay was compacted into place for additional support.

4. Grades around the house were changed to slope away from the structure and soils around the structure were compacted circumferentially.
5. New drainpipes were specified as well.

Front Window Repairs

The right front elevation of the house has a large three-window unit to the right of the front door. The header above the windows rotted to the point that the weight of the structure had pushed down on the window frames and the leaking roof allowed water to rot the window casings and sashes. They were not salvageable.

MEI specified and site managed repairs to the window units, headers, and sagging brick.

1. New headers were specified and installed to support the already cracked brick joints.
2. The brick is no longer made, and we were unable to find any brick the same texture and colors. We elected to add a 5 ½" x 3" steel lintel above the windows to support the entire brick load above the windows.
3. We also specified installing 2" x 4"-thick wall steel tubing as the spacers between the window elements and blind welding the tubing to the lintel to better support the weight on the lintel.
4. The units are now square and no longer bowed due to all the rotten wood.
5. Adhesive and mortar were used to reinstall the items.

If you have any questions regarding this report, please feel free to call.

Very truly yours,

MOORE ENGINEERING, Inc.




Marilyn J. Moore, P.E.
GA P.E. Number 018777
ICC Certification Number 5190903-R5

MOORE ENGINEERING INCORPORATED

STRUCTURAL AND GEOTECHNICAL SERVICES

2157 Mount Vernon Road
Dunwoody, GA 30338

770-366-6258 (cell)
MarilynMooreEngineering@gmail.com

December 3, 2022

Shawn Sohrabi
957 Briarcliff Road
Atlanta, GA

RE: Engineering Consultation – Front Porch Overhang
Residence at 957 Briarcliff Road

Dear Mr. Sohrabi:

Overview of Brick Issues

As a brief overview, this house is essentially 100 years old. The circumferential water problems over the decades damaged this house in numerous ways. The most pervasive problem was the undermining of the foundation. With the soft soils allowing the foundation to move downward, the brick veneer began to break at the mortar joints and pull loose from the metal ties. Both sides of the front, as well as side corners, were impacted.

Existing Front Porch Overhang and Brick Damage

1. The front porch overhang, attached to the brick, was falling away from the house. Both the overhang framing and the wooden support knees were rotted. The owner tried to use heavy caulk to repair the overhang (See Figure 1).
2. The heavy caulk did not work and was insufficient to support the overhang. The owner removed the original overhang.
3. Once removed, the broken joints and stairstep cracking in the underlying brick were revealed (See Figure 2). The arched area and the soldier courses of brick had separated from the veneer beside and above the front entrance door. The rotted wood wall was also exposed.

Front Porch Overhang Repair

The owner asked MEI how to best attach an overhang without having to remove all the brick and add reinforcements in the wall. The answer was that overhang could not be attached to the wall without removing brick and reinforcing the wall.

The owner asked for other solutions. MEI gave an alternative solution. The recommendation was to make the overhang self-supporting by adding columns at the house and under the front of the overhang. The weight of the structure would be

transferred to the concrete porch and steps, which are well supported. Additionally, the brickwork would not have to be removed. The owner's solution is shown in Figure 3.

This overhang is adequately built and will last for decades.

Very truly yours,

MOORE ENGINEERING, Inc.




Marilyn J. Moore, P.E.
GA P.E. Number 018777
ICC Certification Number 5190903-R5





To Whom it May Concern,

I sold the replacement entry door unit for 957 briarcliff. It was my professional opinion that the existing entry unit of the home was beyond salvaging due to age and the amount of rot and patch work that had been done to it over the years. Restoring the unit would have resulted in an exorbitant expense and was not a realistic option.

Thanks,
Adrian

--

Adrian Rhetts

770-616-1874

Big Dog Drilling & Auger

P.O. Box 1366
Cumming, GA 30028

Helical Invoice

Date	Invoice #
8/19/2021	H-9308

Bill To:
Sp Star Investment, LLC 1547 Cave Rd Atlanta, GA 30327

Job Location:
957 Briarcliff Rd NE 08/18/2021 Lift Up Ordered By: Shawn (404-428-7000) Operator: Dustin

P.O. No.	Due Date	Lot #	
	8/19/2021		
Description	# of Feet	Cost Per Foot	Amount
Helix Piers with Underpinning Heavy Duty Brackets / Installed to Engineer spec's /	4	1,400.00	5,600.00

We will charge a \$30 fee for returned checks.

Total	\$5,600.00		
Payments/Credits	\$0.00		
Balance Due	\$5,600.00		
Phone #	Fax #	E-mail	Web Site
770-274-9106	706-429-0020	info@bigdogpiers.com	www.bigdogpiers.com

Atlanta
 875 Pickens Industrial Drive Northeast
 Marietta, GA 30062
 (770) 709-6960



CONTRACT




Licensed Contractor	Date 8/10/2022
Customer Shawn Sohrabi	Phone (Work or Home) Mobile: (214) 680-6861
Project Location 957 Briarcliff Road Northeast Atlanta, GA 30306	E-mail

PROPOSED PRODUCTS

	QTY
AquaStop WallSeal	38.0
AquaStop BasementGutter	94.0
AquaStop Basement Single	1.0
Utilities Protection	1.0
Drywall Removal - Half Wall	38.0

Subtotal	\$11,912.93
Discount	\$2,011.93
Fuel Surcharge	\$99.00
Contract Price	\$10,000.00

This Contract, along with the Terms and Conditions, the Warranties, the Notice of Cancellation, and the Payment Terms form the contract (the "Contract") between the Customer and Groundworks Georgia, LLC (the "Contractor").

- | | |
|---|--|
| <p>X _____ Customer is responsible for removing all personal items from the work area.</p> <p>X _____ Customer assumes responsibility for damages to hidden or unmarked utility lines.</p> <p>X _____ Stabilization is warranted. Contractor can attempt to lift at Customer's request.</p> | <p>X  A full perimeter drainage system with sump pump was recommended.</p> <p>X  Customer is aware of warranty and all addenda.</p> <p>X  Customer is responsible for providing all necessary electrical outlets.</p> |
|---|--|

Acceptance of Contract - The above prices, specifications, conditions, and separate warranty are satisfactory and hereby accepted. You are authorized to do work as specified. Payment will be made as outlined above or in accordance with the attached addendum. Subject to the Terms and Conditions, Contractor shall endeavor to start work within one hundred fifty (150) days of the date of the Contract and shall endeavor to complete the work within an estimated one hundred twenty (120) days of the start date of the work..


Customer

X  _____
Saied Takallou (Aug 10, 2022 13:39 EDT)

X _____

Date 8/10/2022

Contractor

X  _____

Date 8/10/2022

Product Specifications

AquaStop WallSeal

Install WallSeal on basement walls designated in contract to help prevent water vapor and moisture intrusion as well as direct wall leakage to the waterproofing system. WallSeal alone is not a waterproofing product. Walls or window wells and other protrusions require a waterproofing system to remedy the problem of leaking water.

AquaStop BasementGutter

Install Basement Gutter as indicated on job drawing. This includes removing concrete as needed, drilling weep holes as necessary in the interior cores of the CMU's, installation of our non-clogging waterproofing drainage system, clean drainage rock and replacement of concrete. Customer understands the concrete will not be an exact match due to aging and different mixes of concrete. Customer responsible for removing and replacing finished walls unless otherwise specified in this contract. Customer will remove all personal items at least 4 feet away from the work area. AquaStop wall system is highly recommended to direct any water seepage from the walls into the drainage system. If wall system is not installed on the walls up to the height of the outside grade, contractor cannot be held responsible in the event that water pushes through the walls and bypasses the drainage system. Contractor highly recommends that all basement gutter systems be installed with a AquaStop SafeDri triple sump pump system.

AquaStop Basement Single

Install 1/3 HP Sump pump system with liner, cast iron pump, pump stand, and water alarm system. Will require installation of a dedicated outlet at CUSTOMER'S EXPENSE unless otherwise specified in this contract. Customer is responsible for any electrical sub panel or panel upgrade if required. Unless otherwise noted on this contract, buried discharge will be an additional cost. A battery backup system is highly recommended.

Utilities Protection

Utilities protection will cover repairs to private utilities damaged during installation (cable, sprinklers, private water lines, private electric lines etc). Repairs limited to damaged area and do not include full line replacement.

Drywall Removal - Half Wall

Remove lower section of drywall as needed to install the system. Customer is responsible for replacing the drywall and restoring any wall framing.

Contractor Agrees to

- o Remove and replace concrete as necessary in the work area. Customer understands concrete patch will not match existing concrete.
- o Remove finished walls as necessary. Not responsible for replacement.

Customer agrees to

- o Customer to be present to meet the crew foreman before work commences, to go over the project and at the completion of the project, for inspection, to allow the crew to explain the system or results and finalize payment.
- o Provide dedicated electrical for any sump pumps or dehumidifiers.

Terms and Conditions

1. **Services.** Groundworks Georgia, LLC d/b/a AquaGuard Foundation Solutions, is licensed by the Georgia State Licensing Board for Residential and General Contractors. This Contract for the services requested by Customer (the "Work") is based primarily upon Customer's description of the project and/or the related problem(s) and is intended to remediate those problem(s). Contractor assumes existing construction generally complies with the relevant building codes. Any drawing(s) attached to the Contract are intended solely for illustration purposes, are not to scale, and do not create any additional representation, warranty, or commitment on the part of Contractor in connection with the Work. Contractor is not responsible for products, services, or conditions not expressly reflected herein, not expressly included in the Contract, and not purchased and paid for by Customer. Start dates and completion deadlines for the Work are approximate and may be affected by events beyond Contractor's control, such as weather, permitting issues, access to the property, etc. Any delay caused by events beyond the control of Contractor shall not constitute abandonment and shall not be included in calculating timeframes for payment and performance. Contractor reserves the right to amend the scope of the Work in order to best address the project and/or problems. Any changes to the scope of Work which change the cost, materials, work to be performed, or estimated completion date must be made in writing, signed by both parties, and paid for before the Work can be performed. Any deviation from the scope of Work set forth in the Contract that results in additional costs, including but not limited to unforeseen site conditions, unusual building construction, changes needed after Contractor's engineering/ management review of the signed Contract, and/or special requirements from the county/city/agency, will become an extra charge over and above the contract amount set forth in the Contract. If Customer and Contractor cannot agree on the amount of such additional costs and sign an amendment to the Contract, then Contractor has the option, at its sole discretion, of not proceeding with the Work and canceling the Contract for its convenience. Contractor reserves the right to substitute a product with an equivalent or superior product. The Work will be completed in a workmanlike manner according to the standard practices of the industry, and Contractor will comply with local permitting, inspection, and zoning requirements.
2. **Acceptance of Contract.** By signing the Contract, Customer acknowledges that he/she understands and accepts all terms, the Terms and Conditions and the Warranties, and desires to enter into a contract with Contractor for the completion of the Work. Customer's signature authorizes Contractor to perform the Work as specified in the Contract. The Contract may be withdrawn by Contractor if it is not accepted within thirty (30) days from the date of delivery.
3. **Compensation.** Customer agrees to pay Contractor compensation as set forth in the Contract. Payment must be made in full upon completion of the Work. Failure by Customer to make payments when due shall constitute a breach of the Contract. A service fee of \$25 will be charged for each returned check, and interest at a rate of 1% per month shall be applied to any amounts owed by Customer to Contractor if Customer fails to pay the amounts owed for the Work as agreed.
4. **Insurance.** Contractor represents and warrants that it maintains insurance as set forth in the Contractor's Certificate of Liability Insurance, which can be made available upon request.
5. **Dispute Resolution.** Dispute Resolution. The Contract shall be governed by the law of the place where the project is located, excluding that jurisdiction's choice of law rules. Except for instances of failure to pay the full amount of the Contract, any claim, dispute, or other matter in controversy arising out of or related to this Contract or breach thereof shall be settled by arbitration administered by the American Arbitration Association ("AAA") in accordance with its Construction Industry Arbitration Rules in the place where the project is located, unless another location is mutually agreed upon, and judgment on the award rendered by the single arbitrator appointed to decide such proceeding may be entered in accordance with applicable law in any court having jurisdiction thereof. The fee schedule is listed on the AAA website at <http://info.adr.org/constructionfeeschedule/>. The arbitrator has the discretion and authority to award such remedies as may be available under applicable law. Each party shall be responsible for its own attorneys' fees for the arbitration.
If payment in full is not made when due, Contractor is entitled to proceed with litigation and may recover all expenses of collection, including attorneys' fees, court costs, court reporter fees, and expert witness fees, in such amount as the court may adjudge reasonable. Contractor is also entitled to recover interest on the unpaid amount from the date due until paid at the rate of 1% per month.
6. **Customer's Responsibility.**
 - a. **Cosmetic Repairs.** Unless specifically noted in the Contract, Contractor is not responsible for any cosmetic repairs. Rather, Customer is responsible for any finished carpentry, painting, repointing, electrical work, extending discharge lines, replacement of floor tiles, carpeting, paneling, etc. that may be necessary after Contractor has completed the Work, unless such repairs are specifically identified in the Contract. When trenching or excavation is required, Contractor will backfill and compact soil to the best of its ability; however, Customer may need to add more topsoil at a later date if the excavated area settles. Customer is also responsible for any landscaping, reseeding, and resodding that may be necessary after Contractor has completed the Work.
 - b. **Utilities.** Contractor will call the appropriate utility protection service or damage prevention authority (i.e., 811 or "Miss Utility") to have all public underground utilities located. If Customer lives at a rural address, public lines will only be located to the pole or Customer's property line. Customer is responsible for marking any private lines such as satellite dish cables, propane lines, low voltage lighting wires, sprinkler system lines, security system wires, services to outbuildings and swimming pools, etc. Customer assumes all responsibility for damage caused to hidden, buried, or unmarked fuel/utility/service/private lines. Unless otherwise noted, electrical work is not included in this Contract and problems with electrical connections are the responsibility of Customer.
 - c. **Water Seepage.** Customer agrees to maintain positive drainage away from any wall(s) repaired by wall anchors, foundation piers, and/or carbon fiber strips/reinforcers. In the event of a wall anchor installation, a Water Management System is recommended to reduce hydrostatic pressure (which increases at greater depths) on the wall(s) and reduce the chance of water seepage into the basement. Water seepage into any area of the basement is NOT covered by the attached Warranties.
 - d. **Access and Personal Property.** Customer shall provide access to the areas where the Work is to be performed and shall furnish utilities of electric and water at no cost to Contractor. Customer shall prepare such areas so that Contractor can begin work, including moving all items at least 10 feet away from areas where Work is to be performed and adequately sealing off living space from work areas. Customer shall remove or protect personal property, inside and outside of the residence, including but not limited to carpets, rugs, shrubs and plants, and Contractor shall not be responsible for said items. In the event that the removals have not been completed by the scheduled start date for Work, Customer shall be assessed a trip fee of \$250. Contractor may offer, but is not required, to assist (i) in the preparation of the Work areas and/or (ii) in the removal and replacement of drywall, paneling, flooring, finish carpentry, wall coverings, or landscaping at a rate of \$40 per man hour.
 - e. **Representations.** Customer warrants that except as described in the request for service, all electrical, plumbing, HVAC, restoration, and handyman services located on the property are in good repair and condition and agrees to indemnify Contractor for any defective conditions that exist prior to or that occur after performance of the Work through no fault of Contractor. Customer is responsible for protecting the components that Contractor provides from future damage and shall follow all instructions provided in maintaining and protecting such components.
7. **On-Site Meetings.** Customer shall meet with Contractor on-site before the Work begins and shall meet with Contractor on-site when the Work is completed and ready for inspection such that Contractor can explain the Work and finalize payment by Customer. Customer shall be responsible for being present on-site during any attempts to lift any part of the structure and/or concrete pavement.
8. **Notice and Contractor's Right to Cure.** Customer shall promptly report, in writing, any problems with the Work to Contractor. If the problem with the Work is attributable to Contractor, Contractor will begin to repair/correct the problem within fourteen (14) days of receipt of written notice and shall complete the repair/correction in a reasonable time.
9. **Assignment.** This Contract will be binding upon the parties hereto and their respective successors and assigns. This Contract is not assignable without the written consent of both parties.
10. **Miscellaneous.** This Contract constitutes the entire agreement of the parties. All prior agreements, whether written or oral, are merged herein and shall be of no force or effect. This Contract shall not be modified except in writing signed by both parties. The waiver by any party of a breach or the failure to enforce any provision of this Contract shall not operate as a continued waiver or agreement or be construed as any other waiver or agreement. The validity, performance, and construction of this Contract shall be governed and interpreted in accordance with the law of the place where the project is located. If any term, condition, or provision of this Contract is found unenforceable by a court of law or equity, this Contract shall be construed as though that term, condition, or provision did not exist, and its unenforceability shall have no effect whatsoever on the rest of this Contract.
11. **Signatures.** This Contract may be executed in any number of counterparts, each of which shall, when executed, be deemed to be an original and all of which shall be deemed to be one and the same instrument. This Contract may be executed by facsimile or electronic signature pages which shall have the same force and effect as original executed signature pages. The person signing below for Customer represents that he/she has authority to act on behalf of the owner(s) of the property described in the Contract.
12. **Limitation of Liability.** IN NO EVENT SHALL CONTRACTOR BE RESPONSIBLE FOR INDIRECT, SPECIAL, PUNITIVE, INCIDENTAL, OR CONSEQUENTIAL DAMAGES, INCLUDING BUT NOT LIMITED TO, LOSS OF USE OF THE SUBJECT PROPERTY, DAMAGE TO ANY PROPERTY NOT FURNISHED BY CONTRACTOR, ATTORNEYS' FEES, EXPERT FEES AND/OR COSTS.
13. **Notice to Buyer**

Do not sign this before you read it or if it contains any blank spaces. You are entitled to an exact copy of the paper you sign. You have the right to pay in advance the full amount due.

IN WITNESS WHEREOF, Customer and Contractor have caused their duly authorized representatives to execute this Contract as of the date first written above.

Customer

Contractor Groundworks Georgia, LLC

Name: X  _____
Saied Takallou (Aug 10, 2022 13:39 EDT)

Name: X *William Eustace* _____

By: Shawn Sohrabi

By: Will Eustace

Warranties

These Warranties are in effect only after the Work is completed and Customer has paid in full. If payment is not received, these Warranties are null and void. These Warranties are made in lieu of all other warranties, express or implied, and of all other obligations on the part of Contractor to Customer. There are no other oral or written warranties. There are no warranties which extend beyond the descriptions that appear below, including no warranties of express or implied merchantability and no warranties of express or implied fitness for a particular purpose. These Warranties are transferable to future owners of the structure on which the Work is completed. Contractor shall charge a fee of \$200 to complete a system inspection and new owner orientation. All warranty claims must be brought prior to the expiration of the applicable warranty period in order to be valid. Contractor does not warrant products not mentioned herein. Some products may be covered by a separate manufacturer's warranty, and Customer is responsible for compliance with any notice and claim procedure included in such warranties.

1. Definitions. The term "stabilize," as used in these Warranties, shall mean to make unlikely to give way or fail. The term "horizontal movement," as used in these Warranties shall mean bowing. The term "vertical movement," as used in these Warranties shall mean settlement.
2. Wall Support Systems. Contractor hereby warrants that wall support systems, including wall anchors, carbon fiber strips, and steel I-beam systems, will stop further inward horizontal movement of the wall(s) in the areas where they are installed for the lifetime of the structure from the date of installation. Wall support systems are warranted only to stabilize repaired walls(s), not straighten. Walls that do not have wall support systems installed by Contractor entirely from corner to corner are not warranted. Contractor recommends annual maintenance for wall support systems. The cost of maintenance is not included in this contract, but maintenance is available from Contractor at an additional charge. For Carbon Fiber Strips, contractor does not warrant against: (1) any tipping or leaning at the top of the wall(s) repaired; (2) shearing or sliding at the bottom of the wall(s) repaired. In the rare instance that the repaired wall(s) experience leaning or shearing, steel brackets or other methods can be installed by Contractor at an additional charge.
3. Foundation Push Piers and Foundation Helical Piers. Contractor warrants that the foundation push piers and foundation helical piers will stabilize the affected area(s) against further vertical movement for the lifetime of the structure from the date of installation. Contractor DOES NOT WARRANT TO LIFT ANY STRUCTURE, to close cracks, to render doors and windows operational, or to move walls back to their original position, but will do its best to achieve positive results in this regard, if lift is requested by Customer. Contractor is not responsible for any damages caused by a lifting operation on Customer's foundation. Foundation push piers and foundation helical piers are sold and installed without the benefit of detailed knowledge of the existing foundation construction or subsurface conditions at the site. Contractor reserves the right to conduct a more thorough subsurface investigation, if necessary. Such an investigation may result in additional charges and delays.
4. Steel Columns/Adjustable Screw Jacks/IntelliJack Support. Contractor warrants that the IntelliJacks will stabilize the affected area(s) against further vertical movement for a period of life of the structure from the date of installation. This life of the structure warranty against further vertical movement is separate and apart from the manufacturer's warranty of twenty-five (25) years on the product(s). Contractor DOES NOT WARRANT TO LIFT ANY STRUCTURE, to close cracks, to render doors and windows operational, or to move walls back to their original position, but will do its best to achieve positive results in this regard, if lift is requested by Customer. Contractor is not responsible for any damages caused by a lifting operation on Customer's framing. The condition of wood located in crawl spaces can be highly variable and can rapidly deteriorate or move as a result of changes in environmental conditions and/or changes in the building envelope conditions. Contractor is not responsible for wood repair (i.e., joist sistering, beam replacement, sill plate repair, cracking/movement in hardwood flooring or tiles) incidental to changes in environmental conditions and/or changes in the building envelope conditions, unless specifically noted in this Contract. Contractor warrants carpentry work for a period of one (1) year. Steel columns/adjustable screw jacks are sold and installed without the benefit of detailed knowledge of the existing foundation construction or subsurface conditions at the site. Contractor reserves the right to conduct a more thorough subsurface investigation, if necessary. Such an investigation may result in additional charges and delays.
5. Slab Piers. Contractor warrants that the slab piers will stabilize the affected area(s) against further vertical movement for a period of life of the structure from the date of installation. Contractor DOES NOT WARRANT TO LIFT the slab back to its original position.
6. Water Management. Contractor warrants that if water from the walls or floor wall joint passes through the perimeter of the water management system and into the basement floor, Contractor will provide the additional labor and materials to fix the leak at no additional charge to the Customer. This warranty applies to water management systems along the specific areas where the system is installed. This warranty will be in effect for the lifetime of the structure and may be transferred to future homeowners provided Contractor is notified within thirty (30) days of the real estate transfer. Annual maintenance is strongly recommended for all water management systems, but is not required for the warranty to be in effect. The water management system shall not rust, rot, or corrode for the life of the structure. If the entire perimeter of the basement was not treated, then additional work at an additional charge may be necessary to extend the system or treat other areas or other problems not addressed by this Work. In addition, a pump or power failure is possible; therefore, this warranty is not a guarantee of a dry basement. This warranty shall not apply to condensation, or any system that has been altered in any way, water vapor transmission, concrete discoloration from capillary action, water squirting out of the walls over the system, window well flooding, plumbing leaks, surface water flooding, leaks from chimneys or garages, wall dampness, or efflorescence (white powder) on concrete, masonry or bricks. Contractor is not responsible for frozen discharge lines or water once it is pumped from the structure. Installation of a water management system does not include extending discharge lines more than five (5) feet from the foundation or electrical work, unless specified. Floor cracks are warranted against leakage only with full perimeter water management systems. Primary AC operated sump pumps and DC back-up pumps may be covered under a separate manufacturer's warranty. Systems that drain to daylight cannot be warranted by Contractor if such system does not drain enough water, does not drain water from under the floor, clogs, or freezes. While drainage systems clogging or malfunctioning from iron ochre, iron get, or iron bacteria from the soil are rare, Contractor cannot be responsible for these situations, or for a system that requires cleaning, flushing, or other service as necessary to keep it functioning.
7. Crawl Space Encapsulation. A crawl space encapsulation system will isolate the home from the earth. The humidity level in the air will be lowered, reducing moisture; however, the encapsulation system does not claim to be a mold mitigation system and a dehumidification/air purification system is highly recommended to further reduce mold growth. CrawlSeal has a transferable life of the structure warranty—there will be no charge for service calls on any tears or holes in the CrawlSeal liner (not caused by abuse or misuse), in the unlikely event this occurs. Wet crawl spaces require a drainage system and a sump pump system to remedy any problems with water below the liner. There will be no charge for Contractor to repair tears or holes in the crawl space encapsulation liner, unless Contractor determines that the tear/hole was caused by abuse or misuse. Sump pumps and crawl space encapsulation systems may be covered under a separate manufacturer's warranty. Installation of a crawl space encapsulation system does not include extending discharge lines more than five (5) feet from the foundation or electrical work, unless specified. Contractor is not responsible for frozen discharge lines, water once it is pumped from the structure, or condensation. The condition of wood located in crawl spaces can be highly variable and can rapidly deteriorate or move as a result of changes in environmental conditions and/or changes in the building envelope conditions. Contractor is not responsible for the repair of pre-existing wood damage unless specifically noted in this Contract.
8. PolyRenewal and Expanding Polyurethane Structural Foam. Contractor represents that expanding polyurethane structural foam will fill voids, but will not necessarily lift Customer's slab to meet any criteria of levelness. Contractor recommends sealing all cracks and joints, and Contractor can do so for an additional charge. Contractor warrants that the area where the slab of concrete was stabilized will not settle more than ¼ inch for a period of five (5) years from the date of installation. If it does, Contractor will provide the labor and materials to re-inject the area at no additional charge to Customer. This Warranty does not include patching or caulking between slabs. Customer is aware that the concrete may not be perfectly level or may not lift at all. Contractor guarantees stabilization, NOT LIFT. Any personal items in the work area are to be removed by the Customer prior to the arrival of the Contractor's crew. This warranty is void if Customer does not maintain grade around slabs and seal joints between slabs.
9. Exclusions. THIS WARRANTY DOES NOT COVER, AND CONTRACTOR SPECIFICALLY DISCLAIMS LIABILITY FOR: (a) any product or system that is altered in any way; (b) exterior waterproofing; (c) system damage caused by Customer's negligence, misuse, abuse, or alteration; (d) damage, issues, and conditions incidental to installation, including dust and dirt; (e) changes to wood framing system; (f) damage to personal property of any type; (g) unmarked utility line breakage; (h) private utilities and lines (e.g., sprinkler, plumbing, discharge lines, etc.); (i) damage caused by unforeseen conditions such as mold, asbestos, or lead based paint; (j) removal and/or disposal of any hazardous materials; (k) failure or delay in performance or damage caused by acts of God (flood, fire, storm, earthquake, methane gas, etc.), acts of civil or military authority, or any other cause outside of Contractor's control; (l) damage beyond Contractor's control caused by dry rot, corrosion, termite infestation, and substandard construction; (m) damage done during a lifting operation; (n) basement water seepage, unless a full perimeter drainage system has been installed; (o) heave or any damage caused by it; and (p) damage caused by lateral movements and forces of hillside creep, land sliding or slumping of fill soils of deep embankments. EXCEPT AS EXPRESSLY SET FORTH, ALL SERVICES, MATERIALS, PARTS AND COMPONENTS PROVIDED BY CONTRACTOR ARE PROVIDED "AS IS" WITHOUT WARRANTY OF ANY KIND, AND CONTRACTOR EXPRESSLY DISCLAIMS ALL WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.

NOTICE OF CANCELLATION

Date of Transaction: X 8/10/22

You may CANCEL this transaction, without any penalty or obligation, within THREE BUSINESS DAYS from the above date.

If you cancel, any property traded in, any payments made by you under the Contract or sale, and any negotiable instrument executed by you will be returned within 10 BUSINESS DAYS following receipt by Contractor of your cancellation notice, and any security interest arising out of the transaction will be canceled.

If you cancel, you must make available to Contractor at your residence, in substantially as good condition as when received, any goods delivered to you under this Contract or sale; or you may, if you wish, comply with the instructions of Contractor regarding the return shipment of the goods at Contractor's expense and risk.

If you do make the goods available to Contractor and Contractor does not pick them up within 20 days of the date of your notice of cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to Contractor, or if you agree to return the goods to Contractor and fail to do so, then you remain liable for performance of all obligations under the Contract.

To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice or any other written notice, or send a telegram, to:

Groundworks Georgia, LLC at 875 Pickens Industrial Drive Northeast, Marietta, GA 30062

NOT LATER THAN MIDNIGHT OF X 8/12/22.

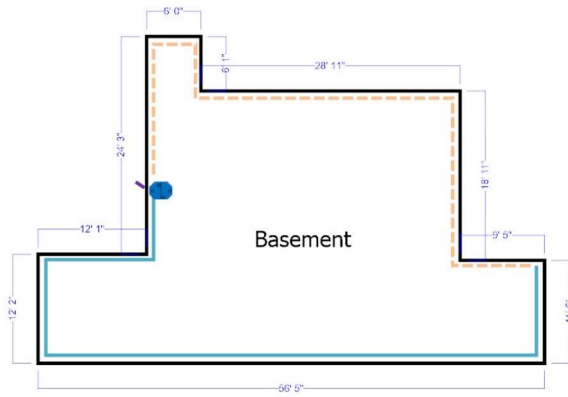
I HEREBY CANCEL THIS TRANSACTION.

(Date) _____

(Customer's signature) _____

If after three business days the transaction has not been canceled, then the deposit will be non-refundable.

DRAWINGS



Front



-Remove studs as necessary. Install subfloor basement waterproofing drain system to catch and channel any water coming through the footing/wall joint to the gravity exit drain. Repour concrete and seal.

-Install sealed pump system including 1/3 Hp pump, pump stand to keep device out of sediment, and 1.5 inch PVC discharge line.



-Install 1.5 inch PVC discharge line through foundation on to driveway.



-Warranty applies only to where the system is installed. No warranty for unserviced area.

Site:	Drawing: 801506	Project: 0000416	Drawn: Will Estace	Notes:	Groundworks 1741 Corp Landing Virginia Beach, VA 23454
Title:	Scale: 3/8"=1'-0"	Date: 8/9/22	Rev: A		

PAYMENT TERMS


We propose hereby to complete the services indicated in this Contract for the sum of:

Contract Amount	\$10,000.00
Deposit	\$3,000.00
Due Upon Completion	\$7,000.00

Is the project financed? YES _____ NO _____ (Financing must be set up at the time of the signed contract.)

Approval/Account # _____

X  (initial) - Customer must be present on final day of install and final walk-through is to be performed with the job foreman.

X  (initial) - Balance to be paid in full to foreman on last day of install. (Unless financed)

BUYER'S RIGHT TO CANCEL. If this Contract was solicited at Customer's residence, and Customer does not want the goods or services, Customer has the right to cancel the Contract by mailing or delivering a notice to Contractor. The notice of cancellation need not take any particular form and, however expressed, is effective if it indicates the intention of Customer not to be bound by the home solicitation sale. The notice of cancellation shall be given to Contractor at the place of business set forth in the Contract by certified mail or statutory overnight delivery, return receipt requested, which must be posted no later than midnight of the third business day following execution of the Contract. The notice must be mailed or delivered to: Groundworks Georgia, LLC at 875 Pickens Industrial Drive Northeast, Marietta, GA 30062. If Customer cancels a home solicitation sale during the cancellation period listed in this paragraph of the Contract, Contractor must return any payments made by Customer. If Customer does not cancel the transaction during the cancellation period listed in this paragraph of the Contract, the deposit will be non-refundable. See the attached Notice of Cancellation form for further explanation of this cancellation right.

Customer

X 
 X Saied Takallou (Aug 10, 2022 13:39 EDT)

X _____

Date 8/10/2022

Contractor

X 
 X William Eustace

Date 8/10/2022







Aquaguard agreement - Takallou / Sohrabi_8_10_2022_11_14

Final Audit Report

2022-08-10

Created:	2022-08-10
By:	William Eustace (weustace@aquaguard.net)
Status:	Signed
Transaction ID:	CBJCHBCAABAAI3K9lgrWpkvZ-9K28ej6aT7dm4Ujd3vU

"Aquaguard agreement - Takallou / Sohrabi_8_10_2022_11_14" History

-  Document created by William Eustace (weustace@aquaguard.net)
2022-08-10 - 3:23:05 PM GMT- IP address: 174.249.180.97
-  Document emailed to stakallou@yahoo.com for signature
2022-08-10 - 3:25:01 PM GMT
-  Email viewed by stakallou@yahoo.com
2022-08-10 - 3:35:45 PM GMT- IP address: 174.209.109.61
-  Signer stakallou@yahoo.com entered name at signing as Saied Takallou
2022-08-10 - 5:39:51 PM GMT- IP address: 174.209.109.61
-  Document e-signed by Saied Takallou (stakallou@yahoo.com)
Signature Date: 2022-08-10 - 5:39:53 PM GMT - Time Source: server- IP address: 174.209.109.61
-  Agreement completed.
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