

DEPARTMENT OF PLANNING & SUSTAINABILITY

MAJOR MODIFICATION APPLICATION

Existing Conditional Zoning No.: 14 - 1243269

APPLICANT NAME: Glenn Wylie c/o Battle Law PC

Daytime Phone#: 404-601-7616 Fax #: _____ E-mail: mlb@battlelawpc.com

Mailing Address: 3562 Habersham at Northlake, Bldg. J Suite 100. Tucker, GA 30084

OWNER NAME: B9 Perimeter East 2 Owner, LLC (If more than
one owner, attach contact information for each owner)

Daytime Phone#: 678-472-2811 Fax #: _____ E-mail: kbill@linklogistics.com

Mailing Address: 3455 Peachtree Road NE, Suite 2000, Atlanta GA 30326

SUBJECT PROPERTY ADDRESS OR LOCATION: 3070 Clifton Springs Road

Decatur, DeKalb County, GA, 30034

District(s): 15 Land Lot(s): 89 Block(s): 01 Parcel(s): 009

Acreage or Square Feet: 11.053 Commission District(s): 3 & 6 Existing Zoning: M - Light Industrial
acres I-20 Overlay District

I hereby authorize the staff of the Planning and Development Department to inspect the property that is the subject of this application.

Have you, the applicant, made a campaign contribution of \$250.00 or more to a DeKalb County government official within the two year period that precedes the date on which you are filing this application?

_____ Yes No If "yes", see page 4. (Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A)

Owner: _____ Agent: _____
(Check One)

Signature of Applicant: _____

Printed Name of Applicant: _____ **Major Modification Application**

MAJOR MODIFICATION APPLICATION CHECKLIST (SUBMIT 4 COMPLETE, COLLATED SETS AND PDF FLASH DRIVE OF APPLICATION DOCUMENTS)

- _____ 1. Mandatory **Pre-Application Conference** with Planning & Sustainability staff. **Pre-Application form** to be completed in pre-application meeting. Please call (404) 371-2155 to schedule pre-app conference.
- _____ 2. Hold a **Community Meeting** with surrounding neighborhood associations and residents. Notify staff in advance of date, time, and location of meeting. **Provide documentation** (e.g., meeting notice, sign-in sheets, letter(s) from homeowners associations).
- _____ 3. **Application Form**. Form must be completely filled out and be the first page of packet.
- _____ 4. Notarized **Authorization Form**, if the applicant is not the owner of the subject property, which
- _____ a. is signed and notarized by all owners of the subject property;
 - _____ b. contains the mailing address and phone number of any applicant or agent who is authorized to represent the owner(s) of the subject property; and
 - _____ c. includes a warranty deed, if ownership is less than 2 consecutive years.
- _____ 5. **Written Legal Description** of subject property, in metes and bounds.
- _____ 6. **Boundary Survey** (showing existing buildings, structures, and improvements), prepared and sealed within the last ten years by a professional engineer, or land surveyor registered in the State of Georgia and is consistent with the plat(s) on Official Tax Record. Applicant shall certify that the Boundary Survey is complete and currently accurate. **Site plans shall be drawn to scale** showing all proposed development or redevelopment projects, proposed buildings, structures, and improvements. Site plans must include the following:
- _____ a. Complete boundaries of subject property including curb cuts, internal vehicular circulation facilities, and sidewalks;
 - _____ b. Location of buildings, structures, setback lines, buffer lines, and parking;
 - _____ c. Location of any 100-year floodplains, streams, and stream buffer lines;
 - _____ d. Notation of the total acreage or square footage of the subject property;
 - _____ e. Landscaping, trees, open space, and undisturbed buffers;
 - _____ f. Notation of building square footages and heights, residential density calculations, existing and proposed lot coverage, required and proposed parking, and open space calculations;
 - _____ g. Four copies of site plans:
 - 1. Full-size site plans (at least 11" x 17"): 4 copies, folded.
 - 2. Site plan reduced to 8 ½" x 11". 4 copies
- _____ 7. **Attached approved Conditions**. Include statement of any additional conditions proposed.
- _____ 8. **Letter of Application** identifying the proposed modification to conditions, the reason for the request, the existing and proposed use of the property, and detailed characteristics of the proposed use (e.g., floor area, height of buildings, number of units, mix of unit types, hours of operation, etc
- _____ 9. Written detailed **Impact Analysis** of the anticipated impact of the proposed use and change in conditions, in response to the standards and factors specified in **Section 27-832** of the DeKalb County Zoning Ordinance.
- _____ 10. Campaign disclosure statement, if applicable, to be filed in compliance with State law.
- _____ 11. **Application fee**. Make payable to "DeKalb County". \$250.00

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

PRE-APPLICATION FORM
REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE
(Required prior to filing application: signed copy of this form must be submitted at filing)

Applicant Name: Link Logistics Phone: 678-472-2811 Email: jbaker@linklogistics.com

Property Address: 3070 Clifton Springs Rd

Tax Parcel ID: 15 089 01 009 Comm. District(s): 3 & 6 Acreage: 11 acres

Existing Use: Distribution

Supplemental Regs: NA Overlay District: DRI: NA

Rezoning: Yes No

Existing Zoning: I-20 Overlay/M zoning with conditions per CZ 14 1243269 Proposed Zoning: NA

Rezoning Request:

Land Use Plan Amendment: Yes No

Existing Land Use: Light Industrial (LIND) Proposed Land Use: NA Consistent
Inconsistent

Special Land Use Permit: Yes No Article Number(s) 27-

Major Modification:

Existing Case Number(s): Y

Condition(s) to be modified:

Major mod to condition #1 requiring substantial compliance to concept plan; adding additional parking and moving closer to front property line requires major modification to zoning conditions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

WHAT TO KNOW BEFORE YOU FILE YOUR APPLICATION

Pre-submittal Community Meeting: Review Calendar Dates: PC: 07/11/23*
BOC: 07/27/23** Letter of Intent: Impact Analysis: Owner Authorization(s):
Campaign Disclosure: Zoning Conditions: Community Council Meeting: 06/14/23
Public Notice, Signs: (Applicant must pick up and post and/or will be done by Staff) Tree
Survey, Conservation: Land Disturbance Permit (LDP): Sketch Plat:
Bldg. Permits: Fire Inspection: Business License: State License:
Lighting Plan: Tent Permit: Submittal Format: NO STAPLES, NO BINDERS
PLEASE

***Filing Deadline for application to be considered for July 2023 zoning cycle is May 4, 2023. Last day to hold community meeting with 15 days notice to be considered for July 2023 cycle is April 26, 2023. If there are more than 20 cases on July 2023 agenda cycle then case would be heard in September 2023.**

Review of Site Plan

Density: Density Bonuses: Mix of Uses: Open Space:
Enhanced Open Space: Setbacks: front sides side corner rear
Lot Size: Frontage: Street Widths: Landscape Strips:
Buffers: Parking Lot Landscaping: Parking - Auto: Parking - Bicycle:
 Screening: Streetscapes: Sidewalks: Fencing/Walls:
Bldg. Height: Bldg. Orientation: Bldg. Separation: Bldg. Materials: Roofs:
 Fenestration: Façade Design: Garages: Pedestrian Plan:
Perimeter Landscape Strip:

Comments: Will need to do major mod to condition requiring substantial compliance to site plan; adding additional parking moving closer to front property line requires a major modification of zoning conditions per Article 7 of the zoning ordinance. Verify proposed plan complies with Tier 2 of I-20 overlay district and underlying M zoning.

DEPARTMENT OF PLANNING & SUSTAINABILITY

This only a preliminary review and is not a complete list of zoning requirements, a final and complete review will be done upon official submission of a rezoning application and concept plan.

Planner: John Reid Date 03/14/23

Filing Fees

REZONING:	RE, RLG, R-100, R-85, R-75, R-60, MHP, RSM, MR-1	\$500.00
	RNC, MR-2, HR-1, HR-2, HR-3, MU-1, MU-2, MU-3, MU-4, MU-5	\$750.00
	OI, OD, OIT, NS, C1, C2, M, M2	\$750.00
LAND USE MAP AMENDMENT		\$500.00
SPECIAL LAND USE PERMIT		\$400.00



Battle Law

3562 Habersham at Northlake, Bldg. J, Ste 100
Tucker, Georgia 30084

Zoom Instructions:

Go to <https://otago.zoom.us/join> and Enter the Meeting ID that you have been provided with in the appropriate field and click "Join" . To join by phone, please dial (646) 558-8656. If you are unable to attend or would like to learn more about the proposed project, please call our office at the number below.

We encourage you to come out and participate!

For More Information Contact
Jordan Battle at:
Phone: 404-601-7616 ext. 8
Fax: 404-745-0045
Email: jnb@battlelawpc.com

COMMUNITY MEETING TO DISCUSS A MAJOR MODIFICATION OF ZONING CONDITIONS APPLICATION

**Project Title: 3070 Clifton Springs
Road**

When: May 18, 2023

Time: 6:00 PM Eastern (US and Canada)

Register in advance for this meeting:

<https://otago.zoom.us/join>

Meeting ID: 891 5289 8336

Password: 516544

PROPOSED LOCATION(S):

Parcel Number - 15 224 09 062



April 3, 2023

Re: Notice of Modification Application Community Meeting

Dear Property Owner:

A Community Meeting has been scheduled for Wednesday, April 19 at 9:30 am to discuss a proposed DeKalb County Zoning Modification for the property located at 3070 Clifton Springs Road, Decatur, GA 30034.

The proposed modification involves a slight shift to the original location of a tractor trailer lot. The shift will accommodate a passenger vehicle driveway from the entrance of the property to the west side of the building.

The Community Meeting will be held in person at 3070 Clifton Springs Road, Decatur, GA 30034. During the meeting we will provide additional details and answer questions.

Sincerely,

Katie Bill
Associate Director
Regional Construction

DEPARTMENT OF PLANNING & SUSTAINABILITY

AUTHORIZATION

The property owner should complete this form or a similar, signed and notarized form if the individual who will file the application with the County is not the property owner.

Date: 5/3/23

TO WHOM IT MAY CONCERN:

(I), (WE), B9 Perimeter East 2 Owner, LLC
Name of Owner(s)

being (owner) (owners) of the subject property described below or attached hereby delegate authority to

Battle Law P.C. and Glenn Wylie
Name of Applicant or Representative

to file an application on (my), (our) behalf.

Amy M Geddes
Notary Public Amy M Geddes

Notary Public

B9 Perimeter East 2 Owner, LLC
By: [Signature]
Owner
Printed Name: Glenn F. Wylie
Title: Vice President

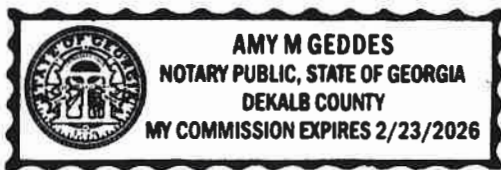
Owner

Notary Public

Owner

Notary Public

Owner



DEPARTMENT OF PLANNING & SUSTAINABILITY

DISCLOSURE OF CAMPAIGN CONTRIBUTION

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

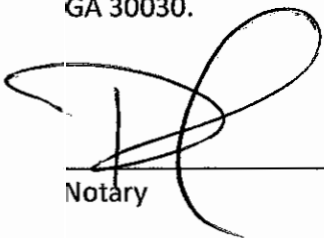
Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filing of this application?

Yes No *

If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

1. The name and official position of the local government official to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and to the Board of Commissioners of DeKalb County, 1300 Commerce Drive, Decatur, GA 30030.



Notary



Signature of Applicant /Date

Check one: Owner Agent

May 04, 2024

Expiration Date/ Seal



*Notary seal not needed if answer is "no".

DEPARTMENT OF PLANNING & SUSTAINABILITY

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Daytime Phone#: 267-620-3021 Fax #: _____ E-mail: gwylie@linklogistics.com

Mailing Address: 3455 Peachtree Road NE, Suite 2000, Atlanta, GA 30326

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acres

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_____ Yes No If "yes", see page 4. (Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A)

Owner: Agent: _____
(Check One)

Signature of Applicant: 

Printed Name of Applicant: Glenn Wylie **Major Modification Application**

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 89 of the 15th District, Dekalb County, Georgia, and being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, commence at a point located at the southeast end of a mitre, formed by the intersection of the North right-of-way of Clifton Springs Road (said road having a 100 foot right-of-way) and the East right-of-way of Panthersville Road (said road having a variable right-of-way) and Thence South 82 degrees 54 minutes 39 seconds East a distance of 260.84 feet to a 1/2" rebar found and the TRUE POINT OF BEGINNING; FROM THE TRUE POINT OF BEGINNING AS THUS ESTABLISHED, THENCE, leaving the North right-of-way of Clifton Springs Road, North 07 degrees 42 minutes 48 seconds East a distance of 182.77 feet to an 1/2" rebar found;

THENCE, North 26 degrees 23 minutes 45 seconds West a distance of 105.89 feet to a 1/2" rebar found;

THENCE, North 82 degrees 51 minutes 24 seconds West a distance of 241.09 feet to a 1/2" rebar found on the East right-of-way line of Panthersville Road ;

THENCE, along the East right-of-way line of Panthersville Road, North 07 degrees 43 minutes 32 seconds East a distance of 464.18 feet to a 1/2" rebar found;

THENCE, leaving the East right-of-way line of Panthersville Road, South 81 degrees 59 minutes 06 seconds East a distance of 765.12 feet to a 1/2" rebar found;

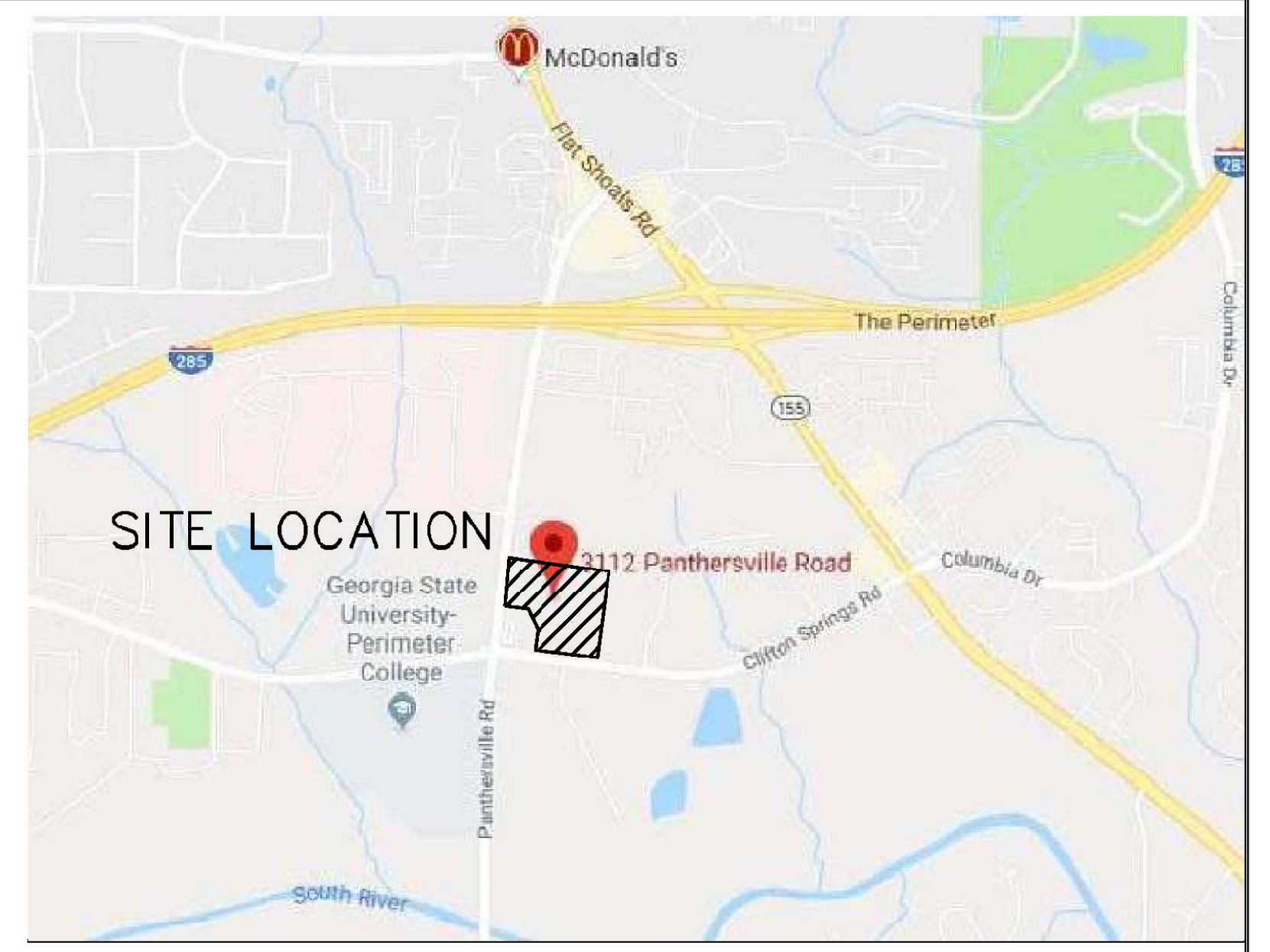
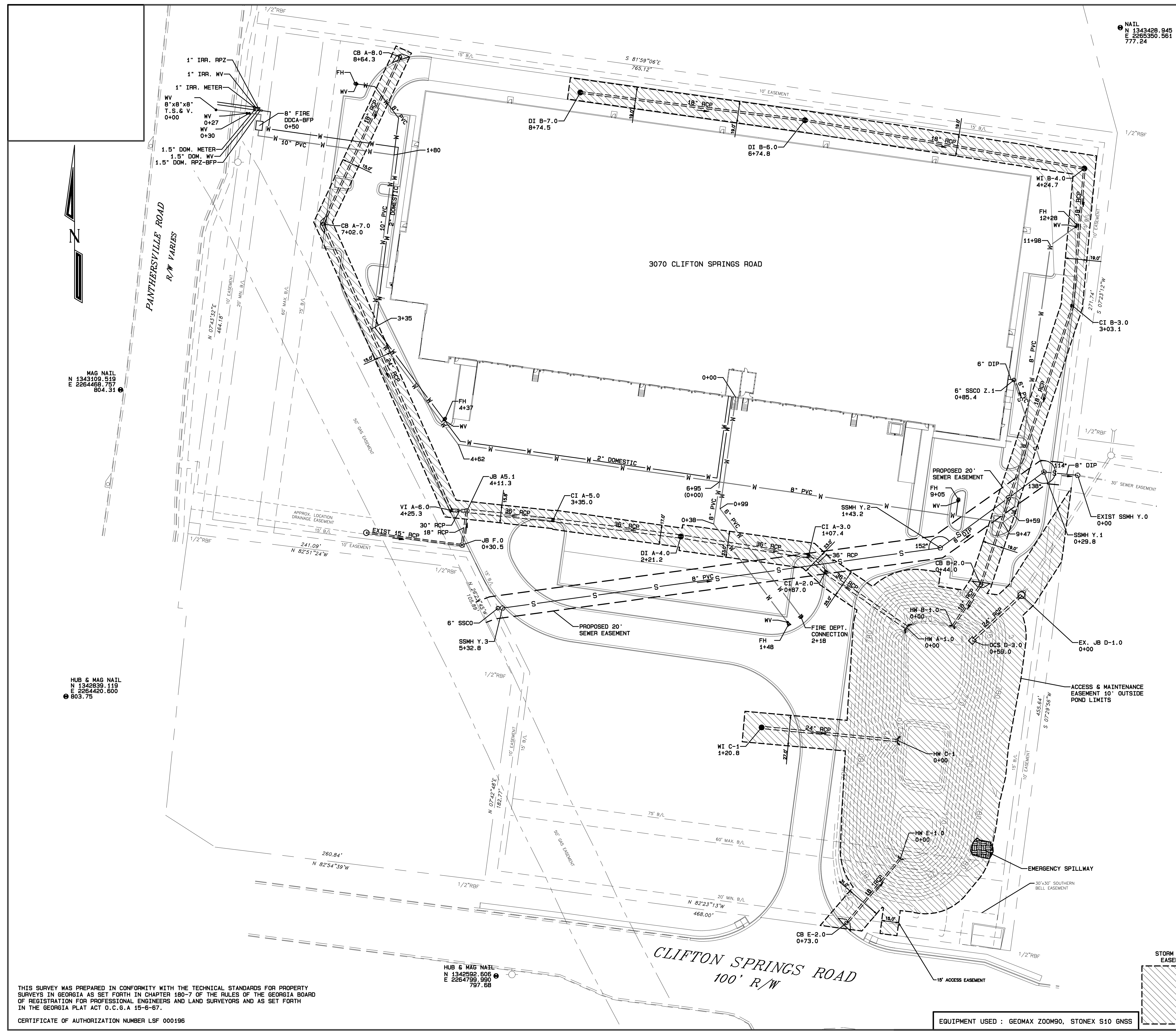
THENCE, South 07 degrees 23 minutes 12 seconds West a distance of 271.74 feet to a 1/2" rebar found;

THENCE, South 07 degrees 29 minutes 56 seconds West a distance of 455.64 feet to a 1/2" rebar found on the North right-of-way line of Clifton Springs Road;

THENCE, along the North right-of-way line of Clifton Springs Road, North 82 degrees 23 minutes 13 seconds West a distance of 468.00 feet to a 1/2" rebar found at THE TRUE POINT OF BEGINNING;

Said tract contains 11.053 acres, according to that certain plat of survey entitled "ALTA/NSPS Land Title Survey for certain plat of survey entitled "ALTA/NSPS Land Title Survey For Stone Mountain Industrial Park, Inc., Strategic Development Partners, LLC, SDP Panthersville, LLC and Chicago Title Insurance Company", dated April 15, 2019, last revised January 74 2020, prepared by Houston Engineering, Inc., bearing the seal and certification of Grant A. Houston, Georgia Registered Land Surveyor No. 3340, designated as Job No. 019-0024, which plat is incorporated herein by reference.

TOGETHER WITH THOSE EASEMENT RIGHTS ARISING UNDER THAT CERTAIN DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS FOR PERIMETER EAST INDUSTRIAL PARK BY STONE MOUNTAIN INDUSTRIAL PARK, INC., A GEORGIA CORPORATION, DATED OCTOBER 4, 1989, FILED FOR RECORD OCTOBER 9, 1989 AT 8:30 A.M., RECORDED IN [DEED BOOK 6544, PAGE 243](#), RECORDS OF DEKALB COUNTY, GEORGIA; AS AMENDED BY THAT CERTAIN FIRST AMENDMENT TO DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS FOR PERIMETER EAST INDUSTRIAL PARK BY AND BETWEEN STONE MOUNTAIN INDUSTRIAL PARK, INC., A GEORGIA CORPORATION, DEKALB APARTMENTS, INC., A GEORGIA CORPORATION, PANTHERSVILLE L.L.C., AN ALABAMA LIMITED LIABILITY COMPANY, FLAT SHOALS, LLC, AN ALABAMA LIMITED LIABILITY COMPANY, PANTHERSVILLE CENTER LLC, A GEORGIA LIMITED LIABILITY, COMPANY MEDSHARE INTERNATIONAL INC., A GEORGIA CORPORATION, AND SEIBERT & SON, INC., A GEORGIA CORPORATION, DATED APRIL 3, 2009, FILED FOR RECORD APRIL 7, 2009 AT 9:38 A.M., RECORDED IN [DEED BOOK 21362, PAGE 224](#), AFORESAID RECORDS.



LOCATION SKETCH
N.T.S.

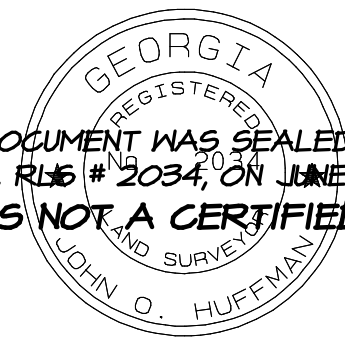
OWNER :
SDP PANTHERVILLE, LLC
3715 NORTHSIDE PARKWAY
BUILDING 400, SUITE 425
ATLANTA, GA. 30327
678-926-5900

DEVELOPER :
STRATEGIC REAL ESTATE PARTNERS
3715 NORTHSIDE PARKWAY
BUILDING 400, SUITE 425
ATLANTA, GA. 30327
404-836-4841

24 HOUR CONTACT :
JR WRIGHT JR.
912-617-7705

ASBUILT SURVEY
FOR
ATLANTA EAST
DISTRIBUTION
CENTER
LOCATED IN LAND LOT 89
15th. DISTRICT, 2nd. SECTION
DEKALB COUNTY, GEORGIA
SCALE: 1" = 40'

THE ORIGINAL OF THIS DOCUMENT WAS SEALED AND SIGNED
BY JOHN O. HUFFMAN, REG # 2034, ON JUNE 22, 2021.
THIS REPRODUCTION IS NOT A CERTIFIED DOCUMENT.



THIS DRAWING REPRESENTS THE AS-BUILT OF STORM SEWER,
SANITARY SEWER AND WATER ONLY.

LEGEND	
MH - MANHOLE	IPF - IRON PIN FOUND
MON - MONUMENT	IPS - IRON PIN SET
FH - FIRE HYDRANT	RB - REBAR
WV - WATER VALVE	OT - OPEN TOP
WM - WATER METER	CT - CRIMP TOP
CO - CLEAN OUT	SR - SOLID ROD
GM - GAS METER	CB - CATCH BASIN
GV - GAS VALVE	JB - JUNCTION BOX
FFE - FINISH FLOOR	DI - DROP INLET
ELEVATION	WI - WEIR INLET
PP - POWER POLE	YI - YARD INLET
LP - LIGHT POLE	SS - SANITARY SEWER

**H. B. & P.
SURVEYING, LLC**
850 KENNESAW AVE.
SUITE 8
MARIETTA, GA. 30060
PHONE (770) 425-0141
FAX (770) 425-8579

SHEET 1 OF 2
JOB # 20-102

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A 15-6-67.
CERTIFICATE OF AUTHORIZATION NUMBER LSF 000196

EQUIPMENT USED : GEOMAX ZOOM90, STONEX S10 GNSS

MAG NAIL
N 1343109.519
E 2264468.757
804.31

HUB & MAG NAIL
N 1342838.119
E 2264420.600
803.75

HUB & MAG NAIL
N 1342592.606
E 2264799.990
797.68

- GRADING NOTES**
- CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
 - CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
 - NO GRADED SLOPE SHALL EXCEED 2H:1V.
 - AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5 INCHES, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM CITY REQUIREMENTS AND THE SIDEWALK REPLACED OR RESET TO MINIMUM CITY REQUIREMENTS AND THE SIDEWALK REPLACED.
 - CONTRACTOR SHALL OBTAIN A HAUL ROUTE PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS— BUREAU OF TRAFFIC AND TRANSPORTATION.
 - ALL ROOF LEADERS FROM THE PROPOSED BUILDING ARE TO BE CONNECTED TO THE STORMWATER MANAGEMENT VAULT ABOVE THE 100-YR FLOOD ELEVATION. SEE PLUMBING PLANS FOR DETAILS. CONTACT ENGINEER WITH DISCREPANCIES PRIOR TO PROCEEDING.
 - SPOT ELEVATIONS ARE BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED.

- ADA NOTES**
- RUNNING SLOPE OF RAMPS AND CURB RAMPS SHALL NOT EXCEED 8.33% IF THE VERTICAL RISE IS LESS THAN 6", THEN HANDRAILS ARE NOT REQUIRED.
 - SLOPE AT THE INTERSECTIONS OF ACCESSIBLE ROUTES SHALL NOT EXCEED 2% WHEN MEASURED IN ANY DIRECTION.
 - THE GROUND SURFACE WITHIN THE REQUIRED MANEUVERING CLEARANCE AT ACCESSIBLE DOORS THAT ARE PART OF THE ACCESSIBLE ROUTE CANNOT EXCEED 2% WHEN MEASURED IN ANY DIRECTION.
 - GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST BE NO MORE THAN 1/2" WIDE.
 - FOR ADA ROUTES, FORWARD SLOPES SHALL NOT EXCEED 5.0% AND CROSS SLOPES SHOULD NOT EXCEED 2.0%.
 - RAMPS TO BE SLOPED A MAXIMUM OF 8.33% WITH HANDRAILS ON EACH SIDE. LANDINGS TO BE PROVIDED EVERY 30' IN RISE.

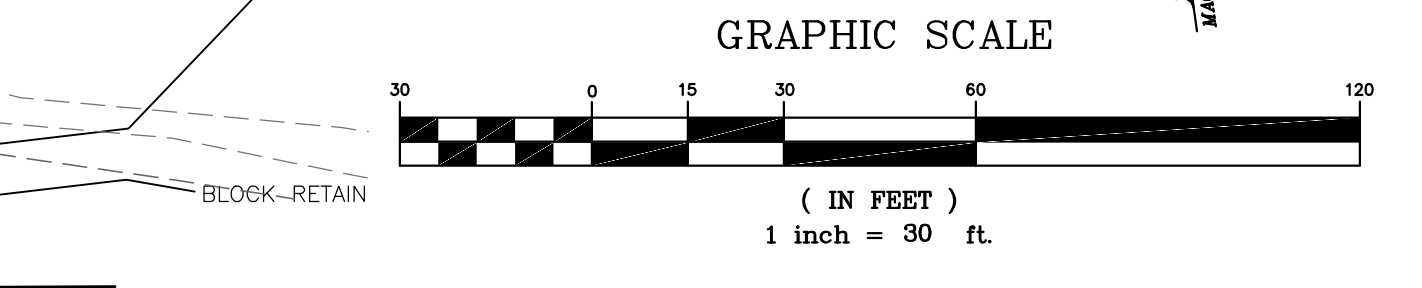
- RETAINING WALL GRADING NOTE:**
- FOR ALL CALLOUTS ON RETAINING WALLS SHOWN,
 TG= FINISH GRADE AT TOP OF WALL
 BG= FINISH GRADE AT BOTTOM OF WALL (NOT TOP OF FOOTING)
 ACTUAL TOP OF WALL HEIGHT TO BE USED FOR RETAINING WALL DESIGN SHOULD BE 3" MINIMUM ABOVE TG PROVIDED.

- LEGEND**
- CI - CURB INLET (HOODED INLET W/ GRATE) 1019A (TYPE "E")
 - DI - DROP INLET - 1019A (TYPE "A")
 - JB - JUNCTION BOX - 1011A
 - W - WEIR INLET - 1019A (TYPE "B")
 - SSMH - SANITARY SEWER MANHOLE - 1011A

- USE VULCAN V-5736 ASSEMBLY AND, WHERE APPLICABLE, V4140 HOOD FOR ALL INLETS IN TRUCK COURT AND TRAILER PARKING AREAS.
- USE GDOT STD 1019-A TYPE "E" WITH HOOD FOR ALL OTHER CURB INLETS IN A SAG CONDITION.
- USE GDOT STD 1019-B, TYPE "V-1" WITH HOOD FOR ALL CURB INLETS ON GRADE.

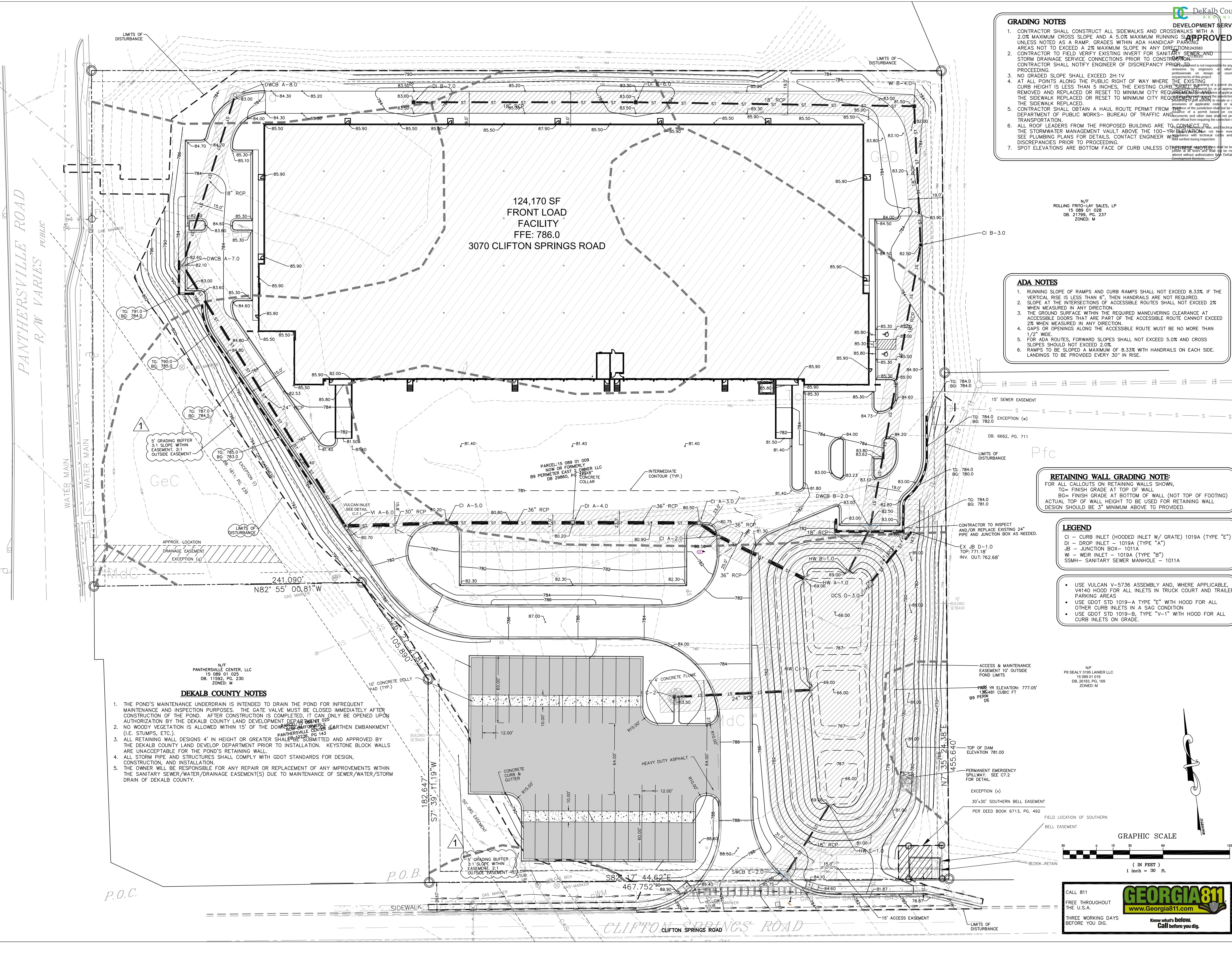
N/F
 P8 SEALY 3195 LANIER LLC
 15 089 01 025
 DB. 26183, PG. 169
 ZONED: M

- ACCESS & MAINTENANCE EASEMENT 10' OUTSIDE FOND LIMITS
- PARK YR ELEVATION: 777.05'
- PER DEED BOOK 6713, PG. 492
- FIELD LOCATION OF SOUTHERN BELL EASEMENT
- BLOCK-RETAIN

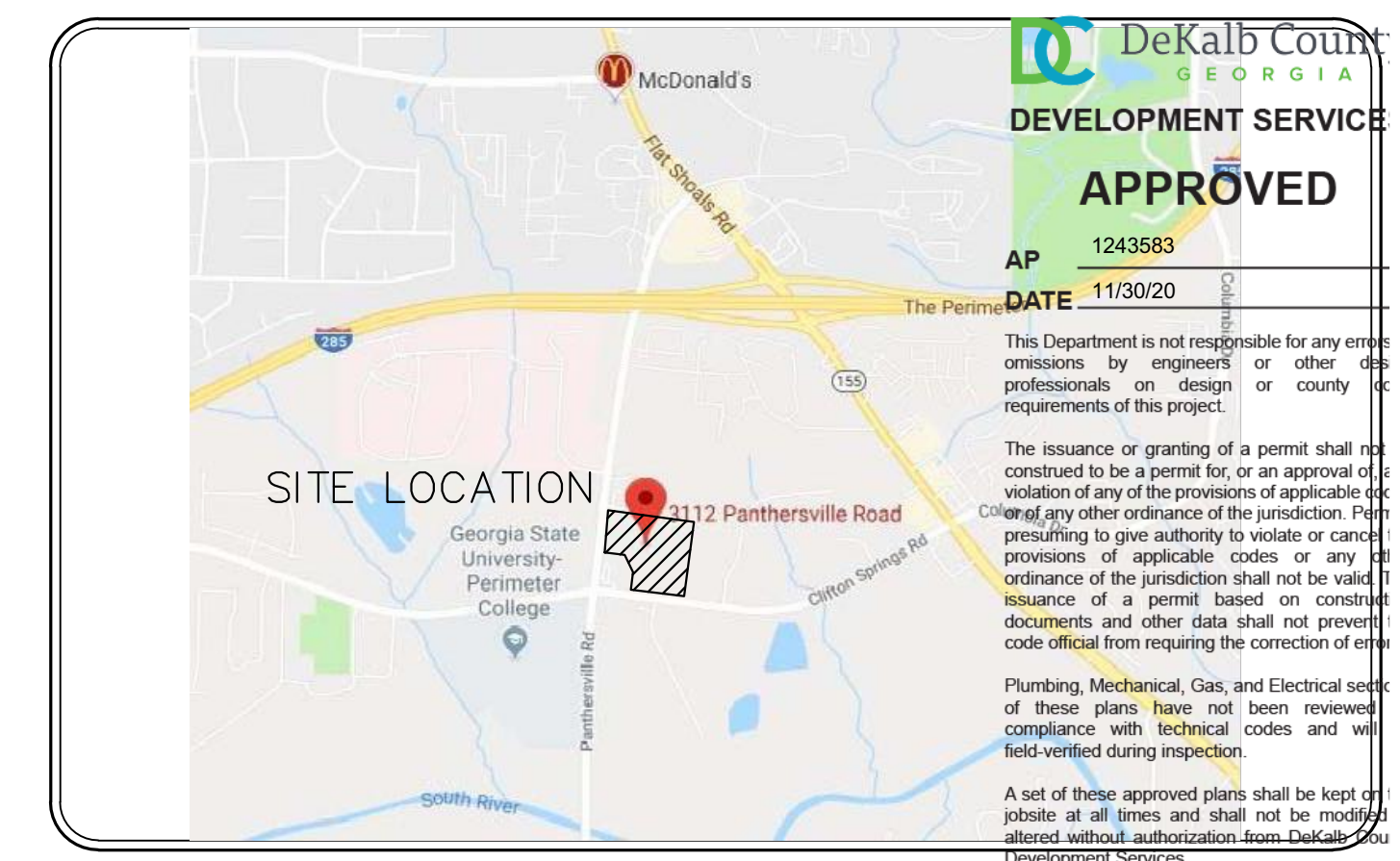


CALL 811
 FREE THROUGHOUT THE U.S.A.
 THREE WORKING DAYS BEFORE YOU DIG.

GEORGIA811
 www.Georgia811.com
 Know what's below. Call before you dig.



NO.	DESCRIPTION	DATE



VICINITY MAP
N.T.S.

DEKALB COUNTY NOTES

1. THE OWNER WILL BE RESPONSIBLE FOR ANY REPAIR OR REPLACEMENT OF ANY IMPROVEMENTS WITHIN THE SANITARY SEWER/WATER/DRAINAGE EASEMENT(S) DUE TO MAINTENANCE OF SEWER/WATER/STORM DRAIN OF DEKALB COUNTY.

COPYRIGHT NOTICE

PROJECT NAME

PANTHERSVILLE TRUCK PARKING LOT
3070 CLIFTON SPRINGS ROAD
DECATUR, GA

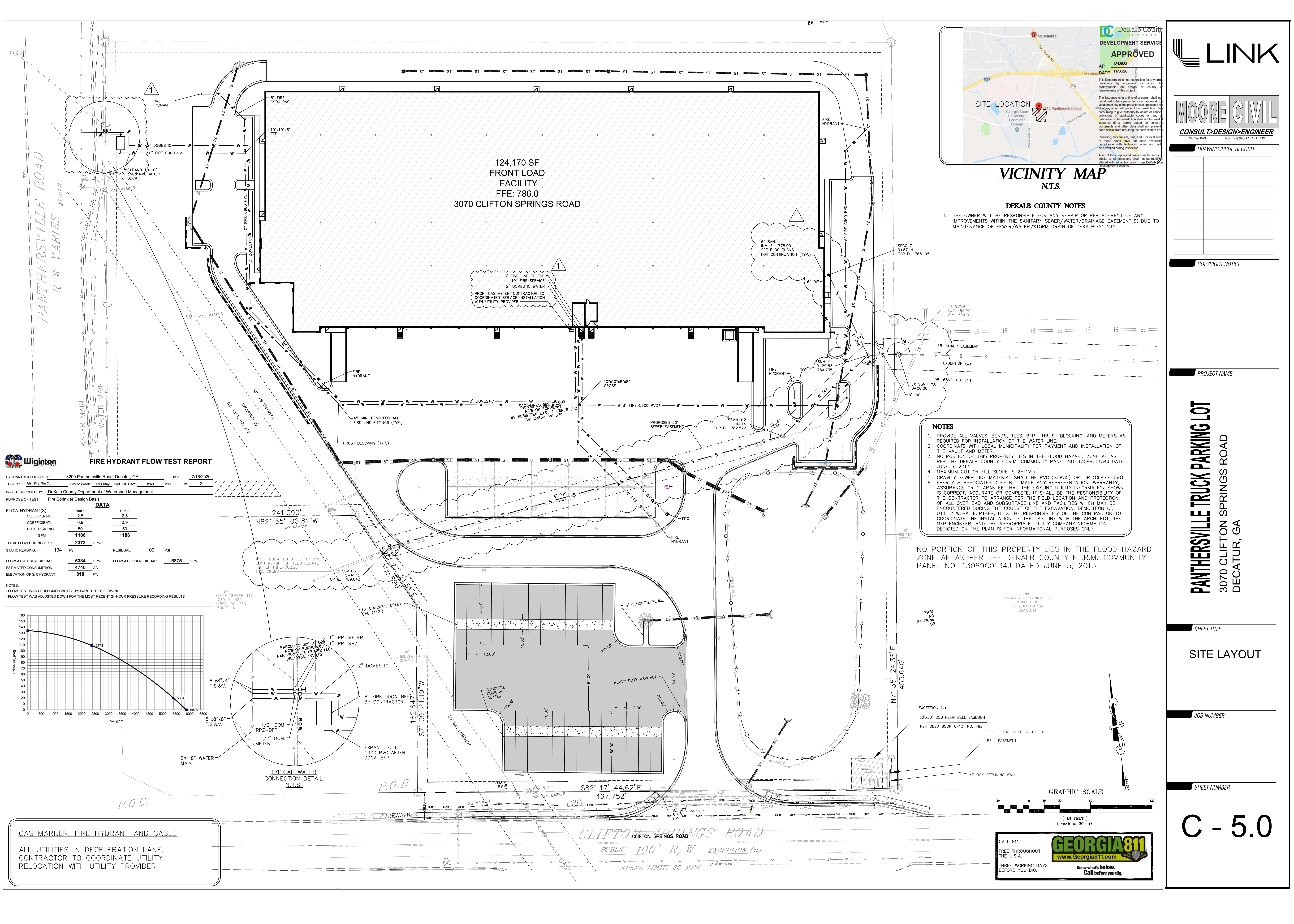
SHEET TITLE

SITE LAYOUT

JOB NUMBER

SHEET NUMBER

C - 5.0



124,170 SF
FRONT LOAD FACILITY
FFE: 786.0
3070 CLIFTON SPRINGS ROAD

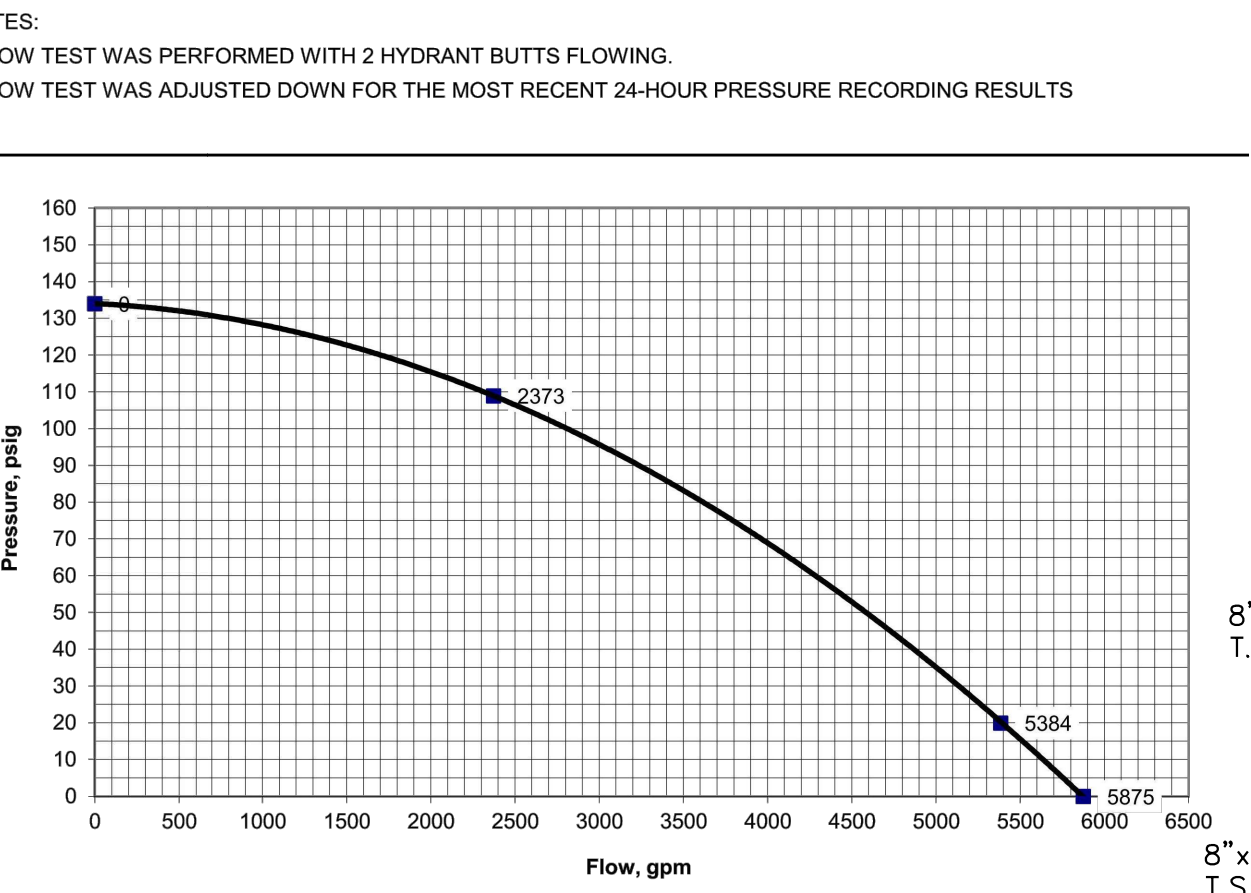
- NOTES**
1. PROVIDE ALL VALVES, BENDS, TEES, BFP, THRUST BLOCKING, AND METERS AS REQUIRED FOR INSTALLATION OF THE WATER LINE.
 2. COORDINATE WITH LOCAL MUNICIPALITY FOR PAYMENT AND INSTALLATION OF THE VAULT AND METER.
 3. NO PORTION OF THIS PROPERTY LIES IN THE FLOOD HAZARD ZONE AE AS PER THE DEKALB COUNTY F.I.R.M. COMMUNITY PANEL NO. 13089C0134J DATED JUNE 5, 2013.
 4. MAXIMUM CUT OR FILL SLOPE IS 2H:1V.+
 5. GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350).
 6. EBERLY & ASSOCIATES DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE EXISTING UTILITY INFORMATION SHOWN IS CORRECT, ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE FIELD LOCATION AND PROTECTION OF ALL OVERHEAD AND SUBSURFACE LINE AND FACILITIES WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE EXCAVATION, DEMOLITION OR UTILITY WORK. FURTHER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INSTALLATION OF THE GAS LINE WITH THE ARCHITECT, THE MEP ENGINEER, AND THE APPROPRIATE UTILITY COMPANY INFORMATION DEPICTED ON THE PLAN IS FOR INFORMATIONAL PURPOSES ONLY.

NO PORTION OF THIS PROPERTY LIES IN THE FLOOD HAZARD ZONE AE AS PER THE DEKALB COUNTY F.I.R.M. COMMUNITY PANEL NO. 13089C0134J DATED JUNE 5, 2013.

Wiginton FIRE HYDRANT FLOW TEST REPORT

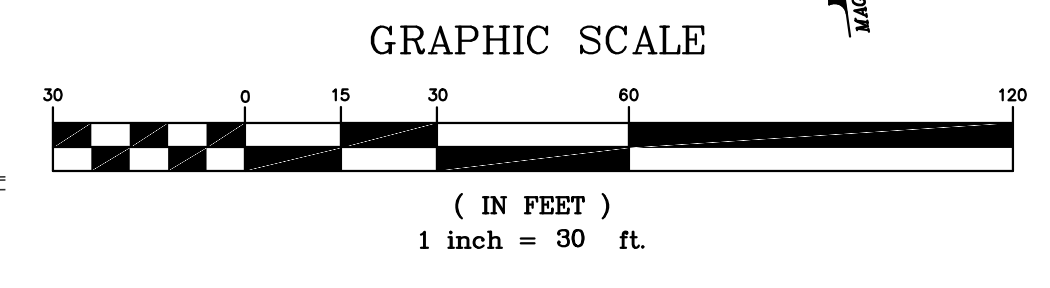
HYDRANT # & LOCATION: 3200 Panthersville Road, Decatur, GA DATE: 7/16/2020
TEST BY: WLR / PMC Day of Week: Thursday TIME OF DAY: 8:40 MIN. OF FLOW: 2
WATER SUPPLIED BY: DeKalb County Department of Watershed Management
PURPOSE OF TEST: Fire Sprinkler Design Basis

DATA	
Build 1	Build 2
2.5	2.5
0.9	0.9
50	50
1186	1186
2373	5875
134	109
5384	5875
4746	818



NOTES:
- FLOW TEST WAS PERFORMED WITH 2 HYDRANT BUTTS FLOWING.
- FLOW TEST WAS ADJUSTED DOWN FOR THE MOST RECENT 24-HOUR PRESSURE RECORDING RESULTS

GAS MARKER, FIRE HYDRANT AND CABLE
ALL UTILITIES IN DECELERATION LANE, CONTRACTOR TO COORDINATE UTILITY RELOCATION WITH UTILITY PROVIDER



CALL 811
FREE THROUGHOUT THE U.S.A.
THREE WORKING DAYS BEFORE YOU DIG.

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PROPOSED REZONING PROJECT

CONSTRUCTION PLANS FOR

PANTHERSVILLE TRUCK PARKING LOT

3070 CLIFTON SPRINGS ROAD
DECATUR, GA 30034

SHEET INDEX

C.100	COVER SHEET
C.110	EXISTING CONDITIONS AND DEMO PLAN
C.200	SITE LAYOUT
C.300	GRADING & DRAINAGE PLAN
C.610	EROSION CONTROL PHASE I
C.620	EROSION CONTROL PHASE II
C.630	EROSION CONTROL PHASE III
C.700	NPDES NOTES
C.710	NPDES NOTES
C.720	NPDES NOTES
C.730	EROSION CONTROL DETAILS
L.100	TREE PROTECTION PLAN
L.200	PLANTING PLAN

OWNER/PRIMARY PERMITTEE:
SILVIU TEIUSANU
PATTILLO CONSTRUCTION CORPORATION
2600 CENTURY PARKWAY NE,
SUITE 100
ATLANTA, GA 30345
PHONE: 770-200-3641
STEIUSANU@PATTILLOCONSTRUCTIO.COM

SITE ENGINEER:
MOORE CIVIL CONSULTING, INC.
402 COURTNEY HODGES BLVD
PERRY, GA 31069
CONTACT: ROBERT E. MOORE, JR.
PHONE: 706-224-1629
ROBERT@MOORECIVIL.COM

SURVEYOR:
WELLSTON ASSOCIATES LAND SURVEYORS, LLC
506 OSIGIAN BLVD, SUITE 2
WARNER ROBINS, GA 31088
PHONE: 478-971-3382

24-HOUR CONTACT: DANIEL KEIL
PHONE NUMBER: 770-200-3632

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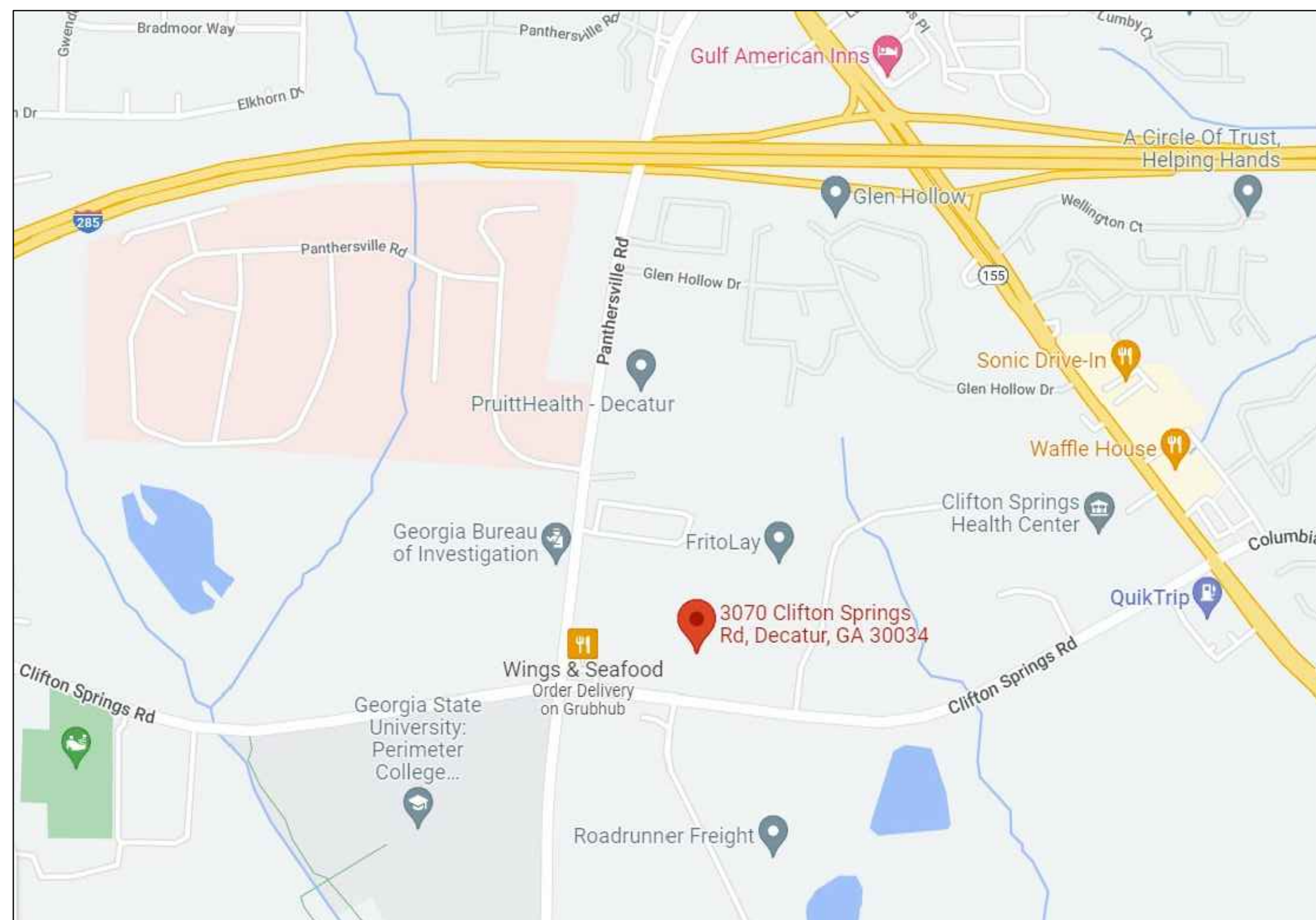
OWNER INFORMATION:
PATTILLO CONSTRUCTION CORPORATION
2600 CENTURY PARKWAY NE,
SUITE 100
ATLANTA, GA 30345

REVISIONS:

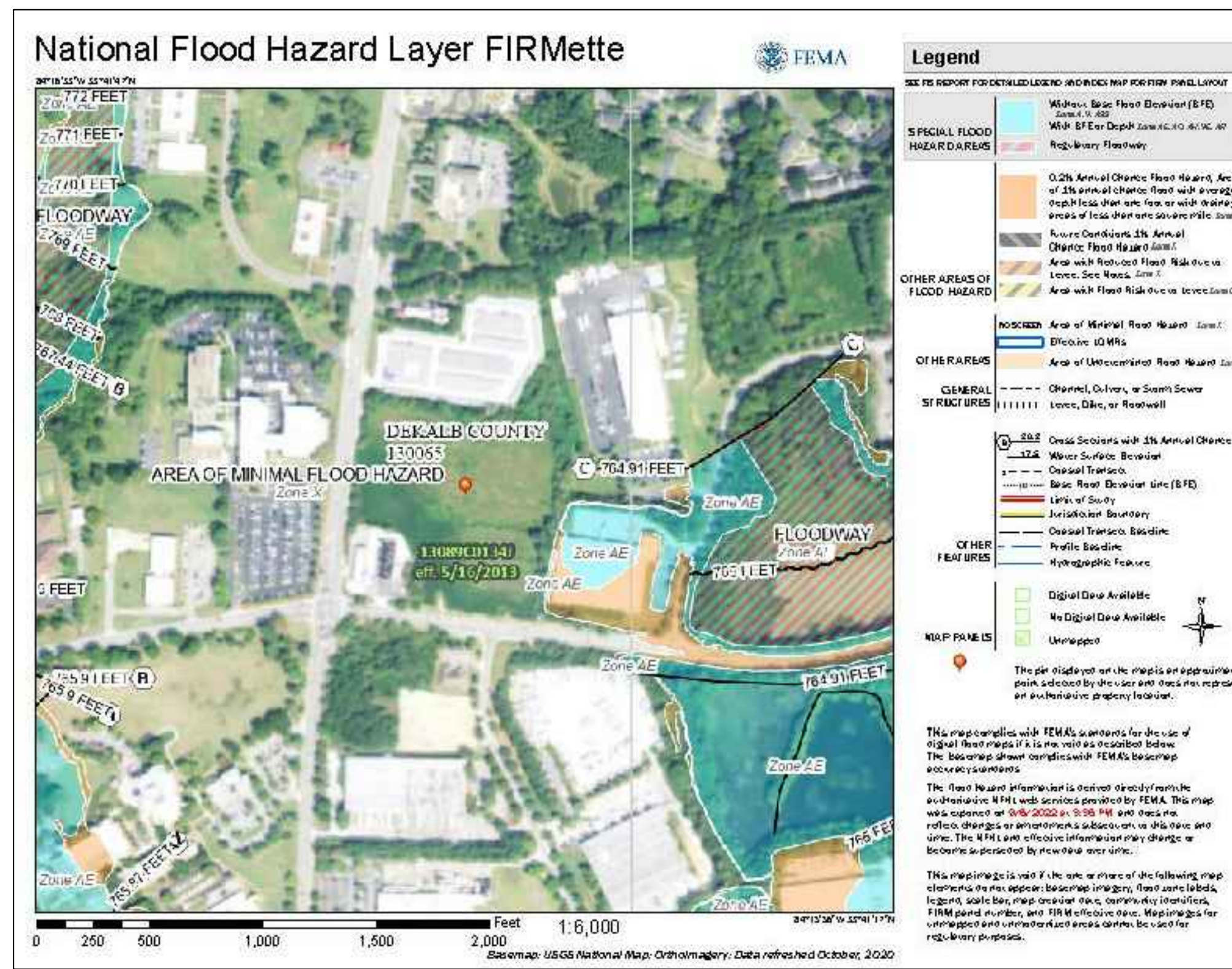
PANTHERSVILLE TRUCK PARKING LOT
3070 CLIFTON SPRINGS ROAD
DECATUR, GA

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C.100



LOCATION MAP (N.T.S.)



THIS PROPERTY IS NOT LOCATED WITHIN THE BASE FLOOD PLAIN AS PER FIRM MAP PANEL NUMBER 13089C0134J, DATED 05/16/2013.

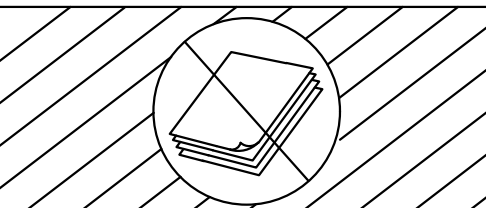
NARRATIVE

THIS PROJECT INVOLVES THE CONSTRUCTION OF A TRUCK PARKING LOT IN PANTHERSVILLE, GEORGIA ON CLIFTON SPRINGS ROAD. THE EXISTING SITE CONSISTS OF AN INDUSTRIAL BUILDING, ASSOCIATED TRUCK COURTS AND PARKING LOT. THE AREA WHERE WE ARE PROPOSING THE TRUCK PARKING SPACES IS CURRENTLY A GRASSED AREA. THIS SITE DRAINS NORTHEAST VIA SHEET FLOW TO AN EXISTING STORM WATER INLET. WITH THE USE OF EROSION CONTROL BMPs FROM THE GEORGIA EROSION CONTROL MANUAL THERE SHOULD BE NO HARMFUL EFFECTS ON DOWNSTREAM PROPERTIES DUE TO THIS DEVELOPMENT.

SITE DATA

TOTAL ACREAGE:	11.05AC
DISTURBED ACREAGE:	1.16AC
MAX LOT COVERAGE:	80%
IMPERVIOUS AREA:	7.27AC
IMPERVIOUS PERCENTAGE:	65.80%
OPEN SPACED REQUIRED:	20%
OPEN SPACED PROVIDED:	34.21%
FRONT BUILDING SETBACK:	60FT
SIDE-CORNER LOCK ON PUBLIC STREET:	60FT
REAR BUILDING SETBACK:	15FT
SIDE BUILDING SETBACK:	15FT

DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION



CAUTION

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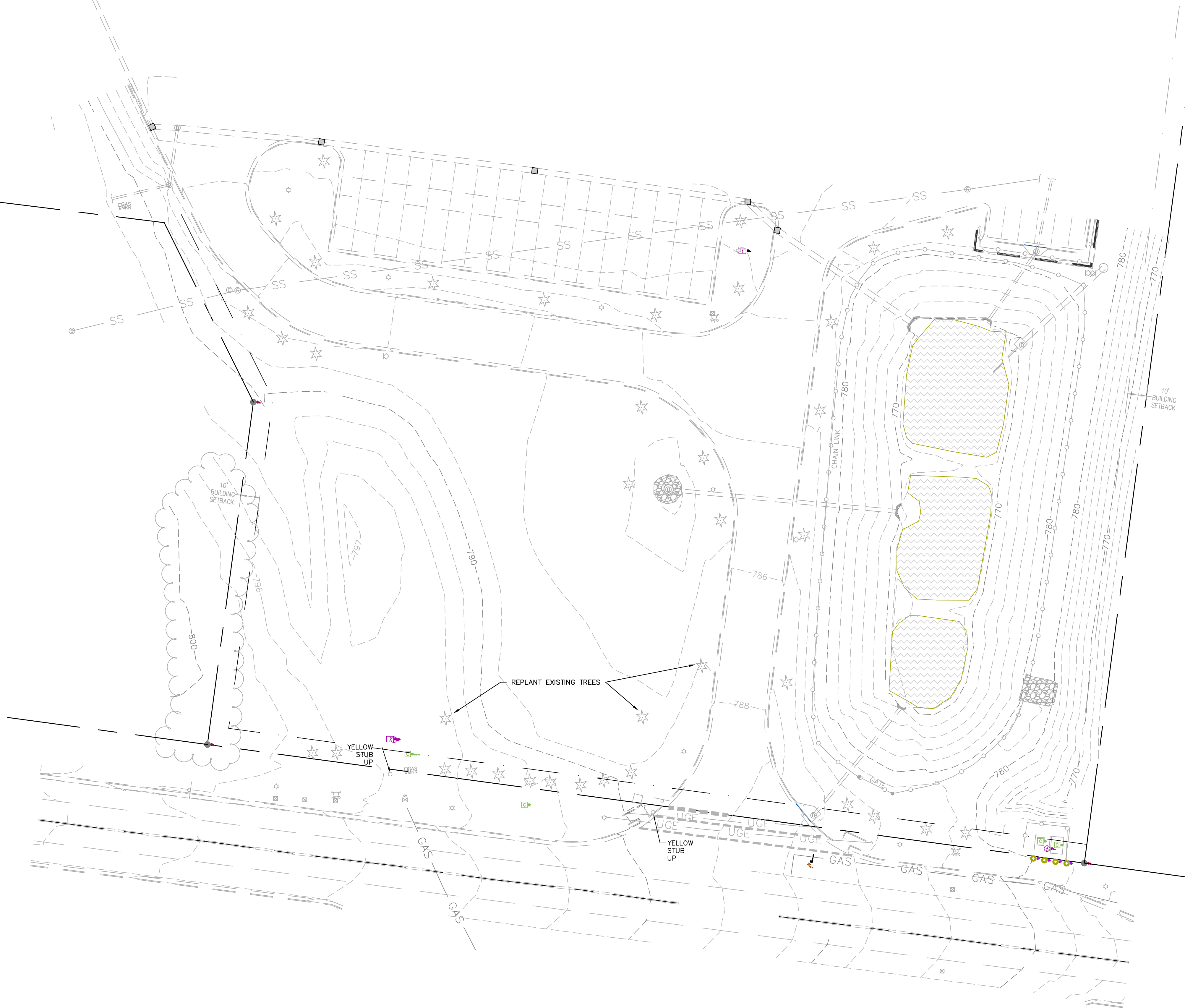
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MONTH 1	CONSTRUCTION SCHEDULE	MONTH 12	ACTIVITY
NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION:			
			PLACEMENT OF CONSTRUCTION EXIT
			INSTALLATION OF SEDIMENT CONTROL MEASURES
			CLEARING, GRUBBING, AND GRADING OPERATIONS (AS NECESSARY)
			INSTALL PARKING LOT AND CONSTRUCTION OF BUILDING
			GRASSING - INCLUDING MULCHING, TEMPORARY AND PERMANENT VEGETATION
			MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES
			FINAL STABILIZATION OF SITE



PROPOSED REZONING PROJECT



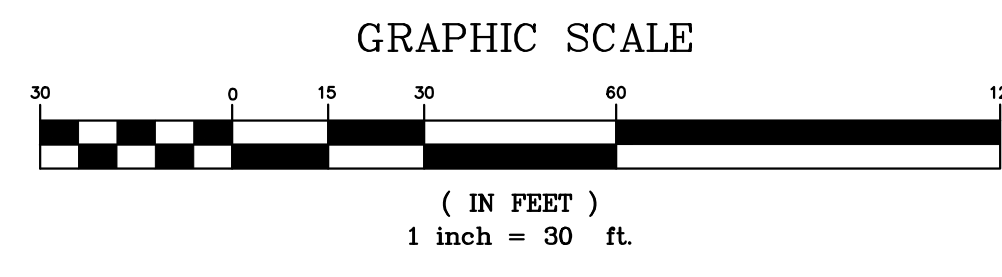
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REVISIONS:

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3070 CLIFTON SPRINGS ROAD
DECATUR, GA

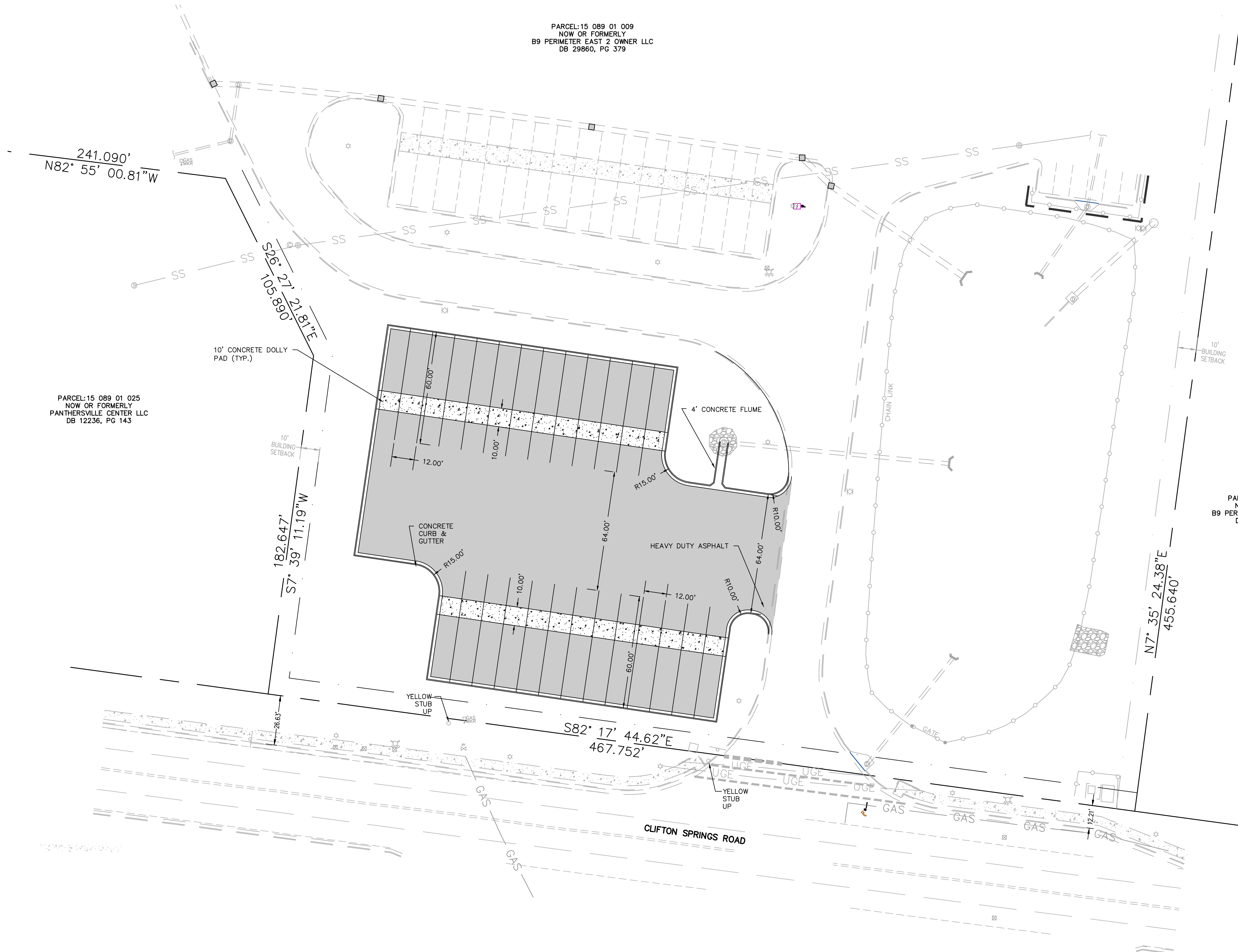
SHEET TITLE:
EXISTING COND & DEMO PLAN
SHEET NUMBER:
C.110

PROPOSED REZONING PROJECT

PARCEL:15 089 01 009
NOW OR FORMERLY
B9 PERIMETER EAST 2 OWNER LLC
DB 29860, PG 379

PARCEL:15 089 01 025
NOW OR FORMERLY
PANTHERSVILLE CENTER LLC
DB 12236, PG 143

PARCEL:15 0
NOW OR FC
B9 PERIMETER EA
DB 28705,



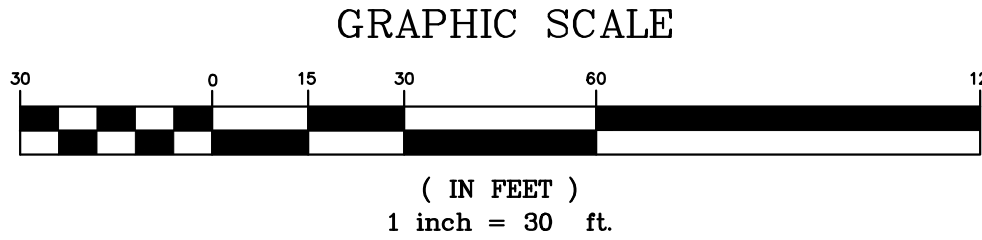
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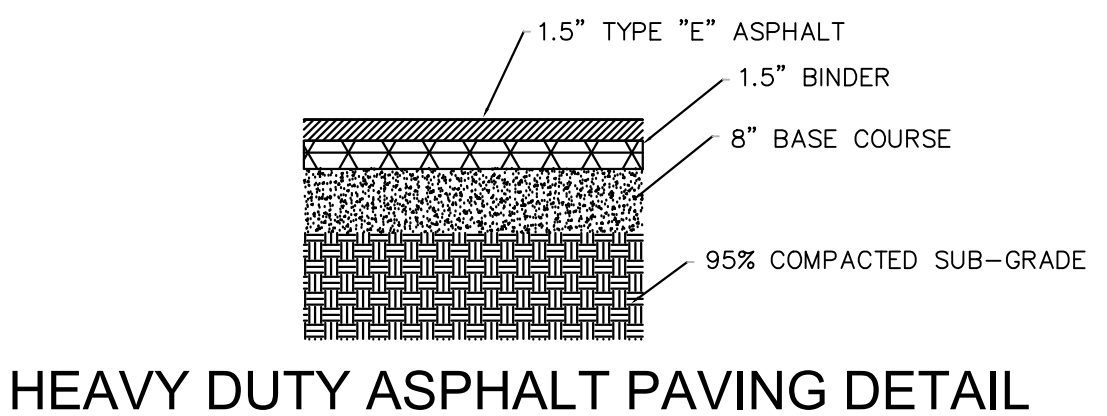
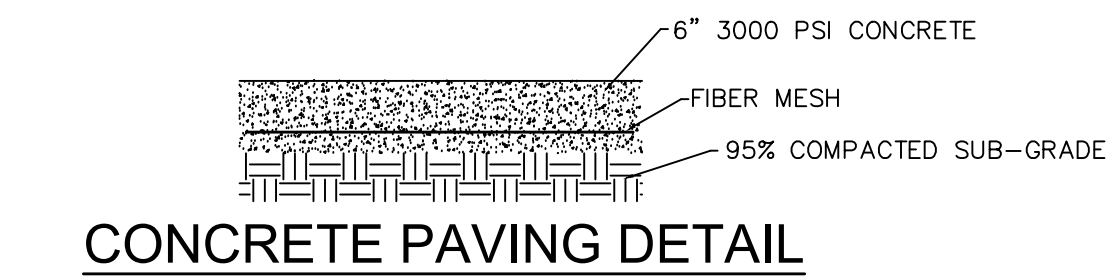
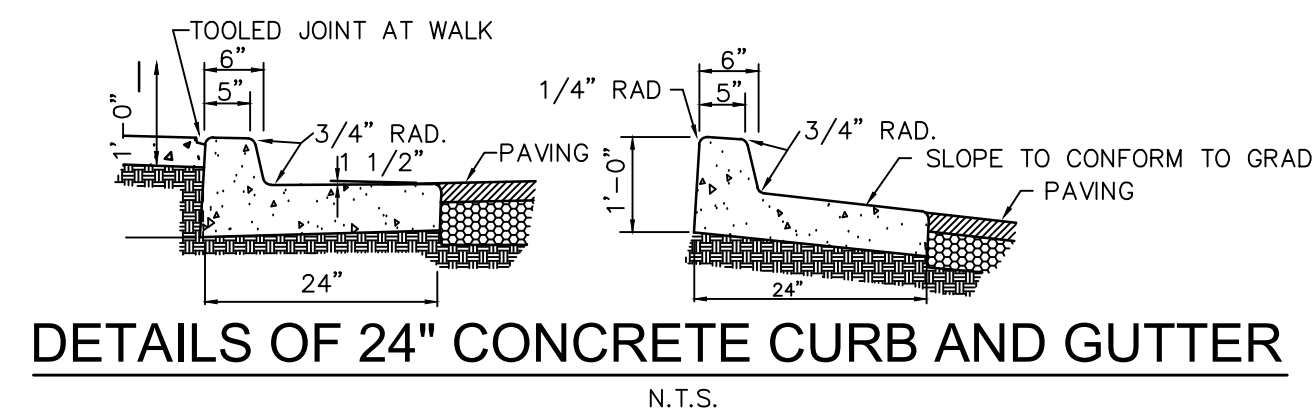
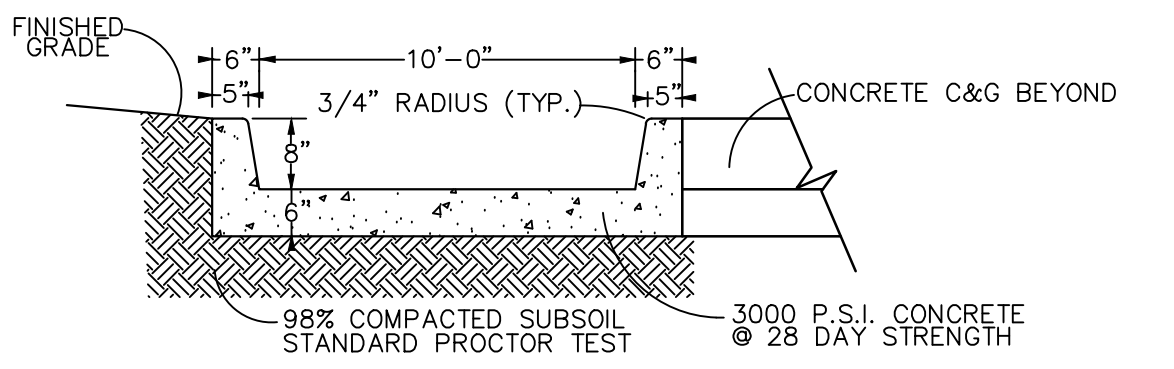
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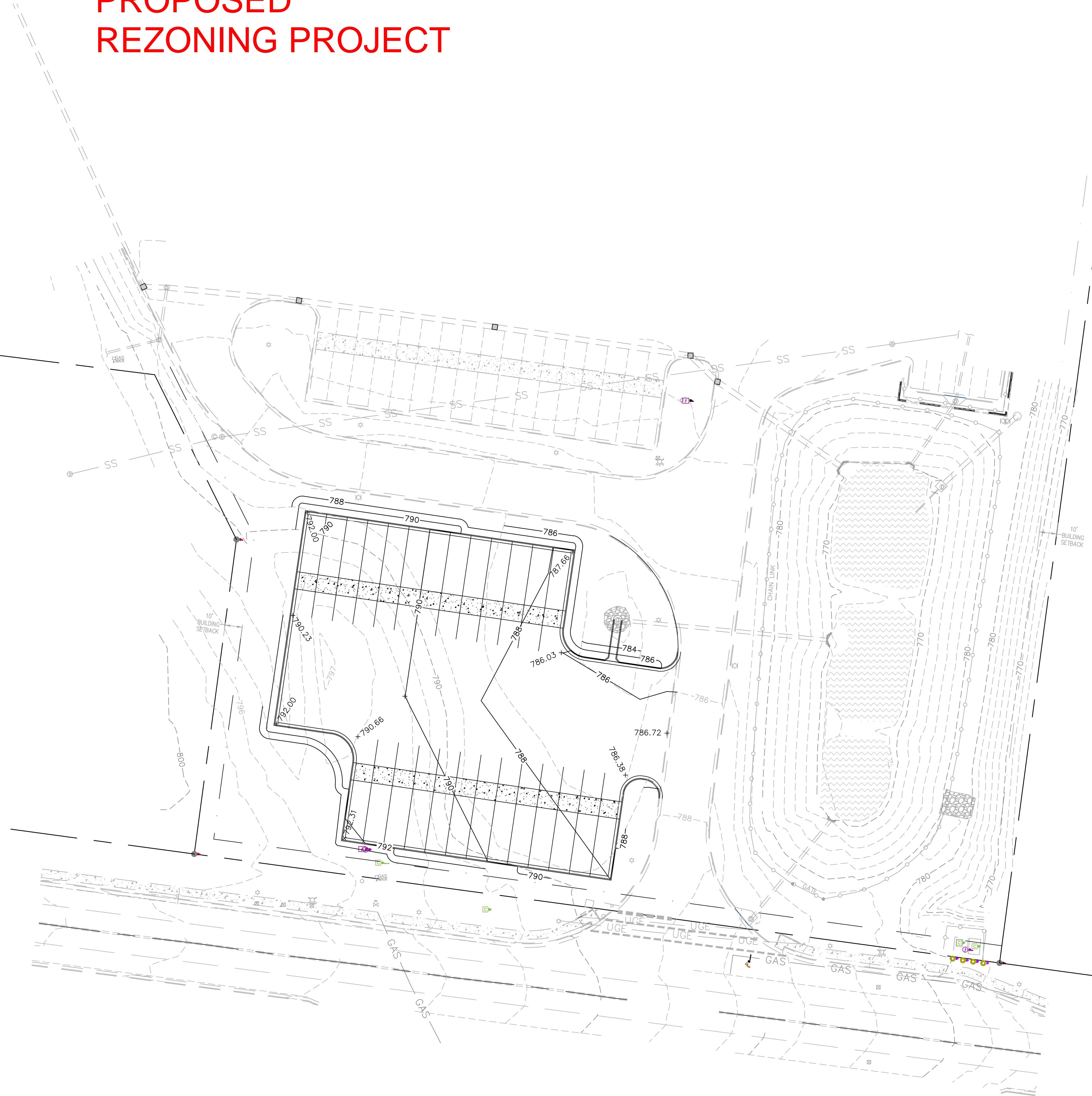
NO.	DESCRIPTION

PANTHERSVILLE TRUCK PARKING LOT
3070 CLIFTON SPRINGS ROAD
DECATUR, GA

SHEET TITLE:
SITE LAYOUT

SHEET NUMBER:
C.200

PROPOSED REZONING PROJECT



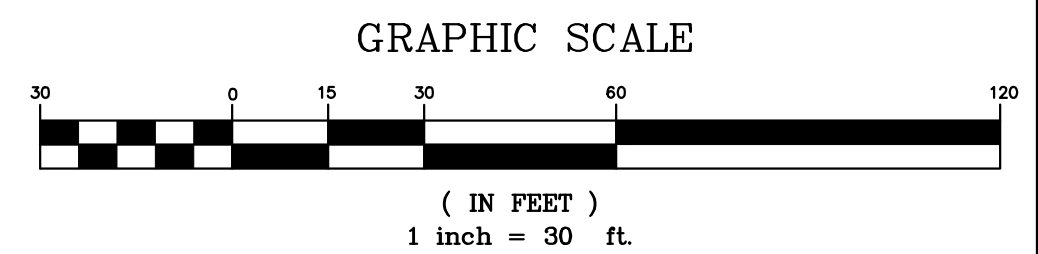
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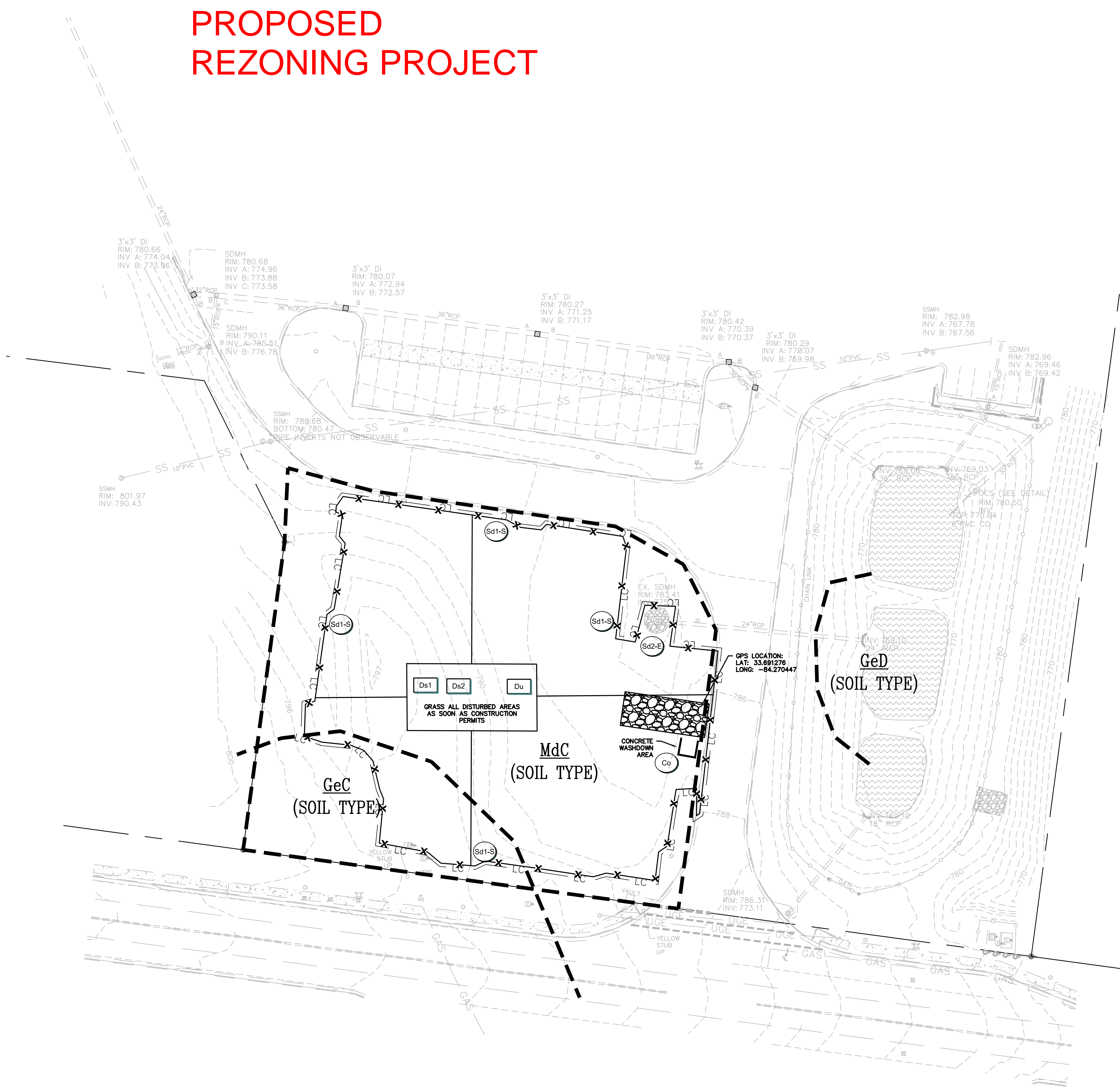
NO.	DESCRIPTION

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3070 CLIFTON SPRINGS ROAD
DECATUR, GA

SHEET TITLE:
GRADING &
DRAINAGE PLAN

SHEET NUMBER:
C.300

PROPOSED REZONING PROJECT



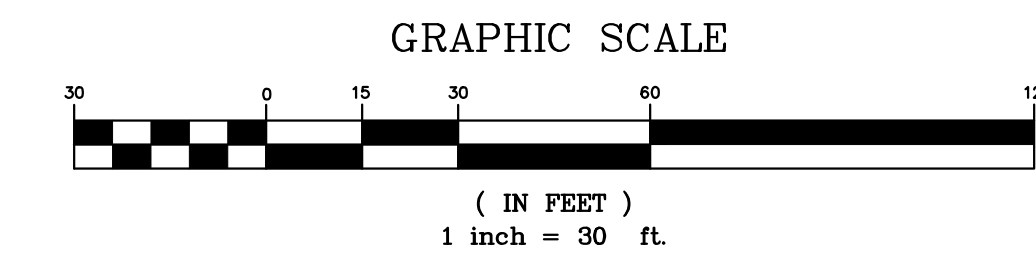
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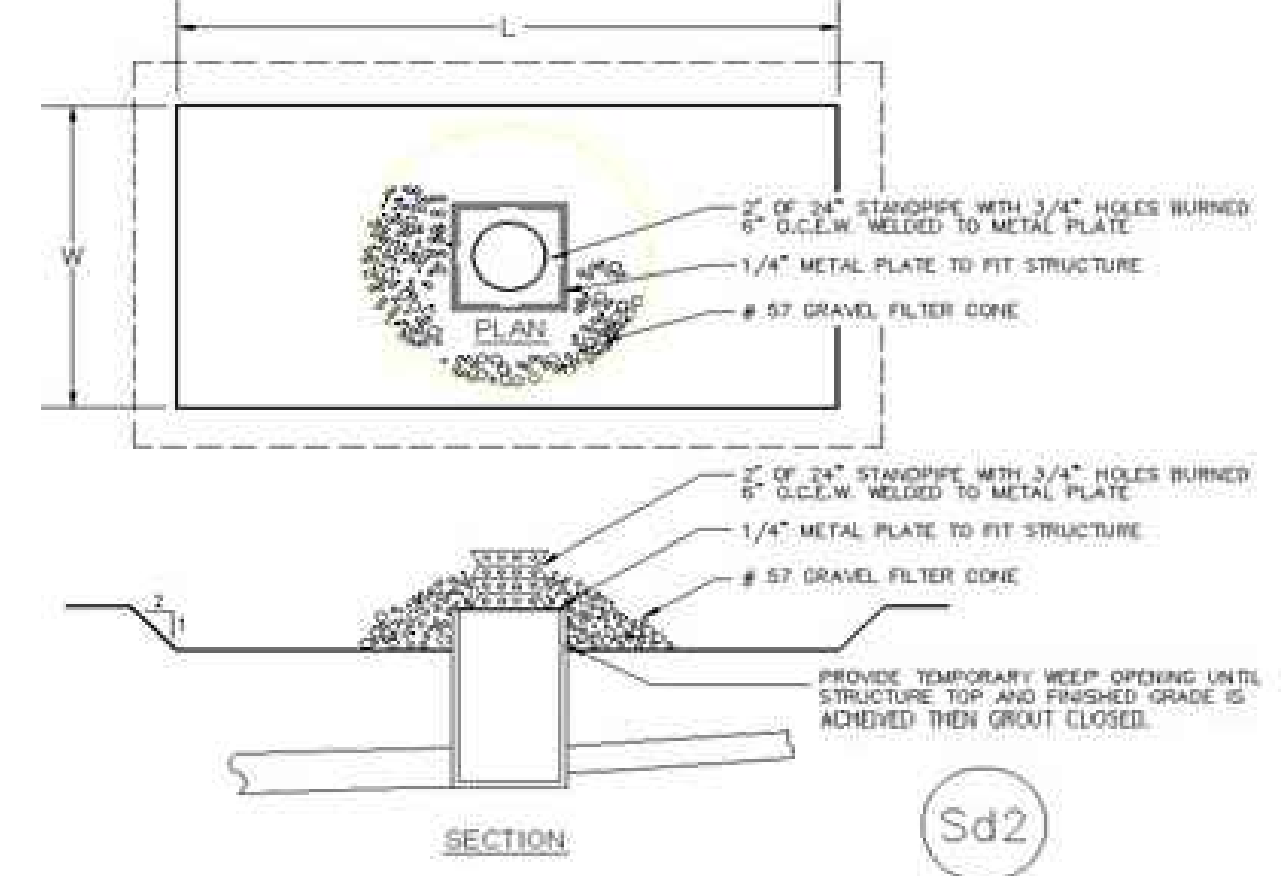
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Excavated Inlet Sediment Trap Design Sheet
Project Name: PANTHERSVILLE TRUCK PARKING LOT
Structure No. EXISTING

- Drainage Area = 1.16 ac
- Required sediment storage (67cy/ac * Da) = 77.72 cy
- Excavation depth = 1.50 ft
- Sideslope = 2 : 1
- Determine required surface area ($SA_{min} = req'd \text{ sediment storage} / \text{excavation depth}$)
 $SA_{min} = 51.81 \text{ sf}$
- Assume shape of excavation and determine dimensions.
 Shape = RECTANGLE
 Dimensions: L = 51.62382 ft w = 25.81191 ft
 L = 51.70 ft W = 25.85 ft



TEMPORARY SEDIMENT TRAP

ESPC PHASE I NARRATIVE
 DURING THE FIRST PHASE OF EROSION CONTROL INSTALL ALL PERIMETER BMPs SHOWN ON THIS PLAN - CONSTRUCTION ENTRANCE, SILT FENCE, SEDIMENT TRAP, ETC. SILT FENCE WILL BE INSTALLED DURING THIS PHASE AND UTILIZED FOR SILT STORAGE. THE TEMPORARY SEDIMENT TRAP WILL BE CONSTRUCTED IN THIS PHASE AND SILT STORAGE WILL BE PROVIDED.

THERE ARE 1.16 ACRES OF DISTURBANCE IN THIS PHASE.

SEDIMENT STORAGE REQUIRED:
 1.16 ACRES X 67 CY/ACRE = 77.72 CY

951LF OF SILT FENCE X 2.5FT X 4.5FT: 396.25 CY

TOTAL SEDIMENT STORAGE PROVIDED IN PHASE 1: 396.25 CY

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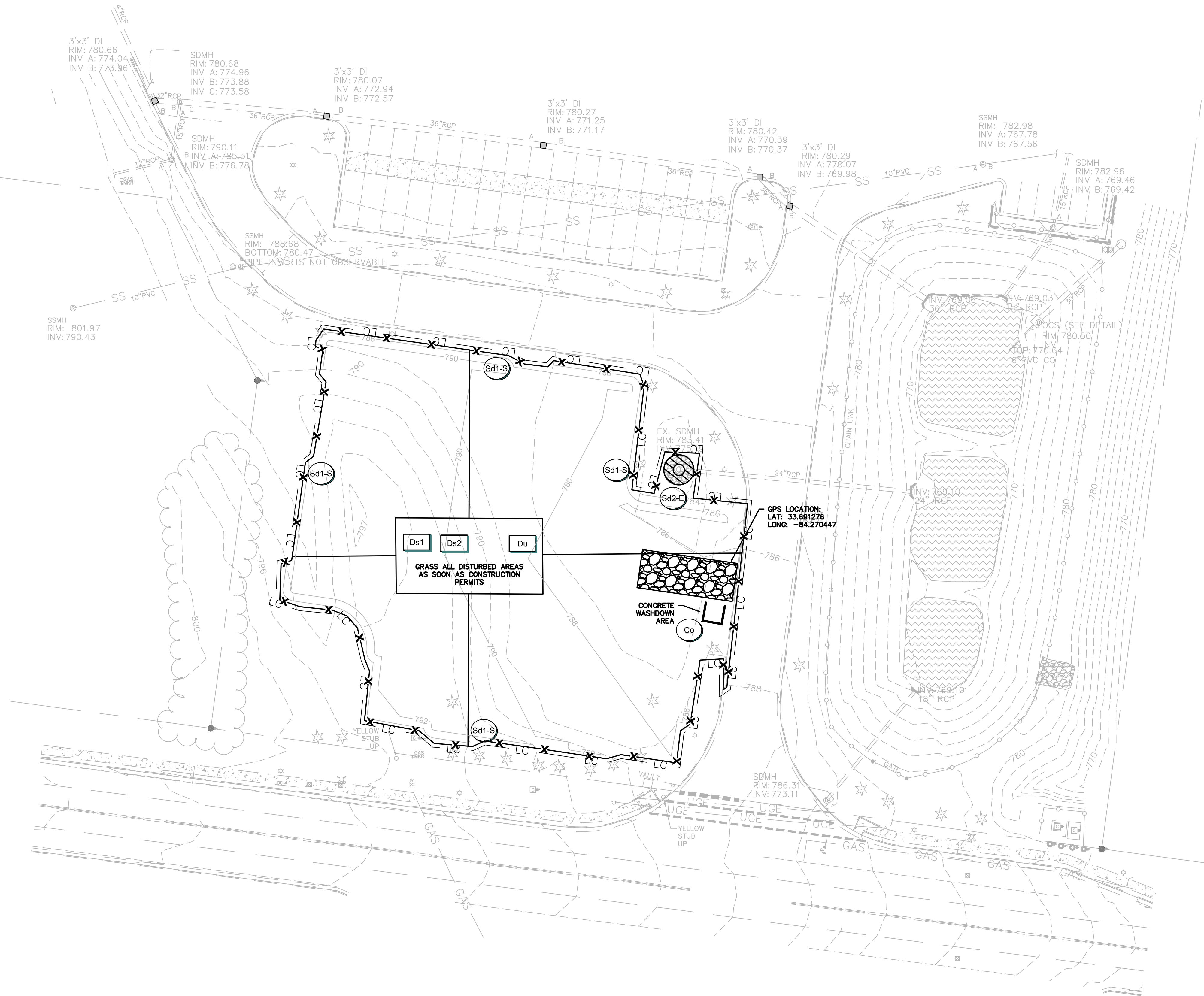
NO.	DESCRIPTION

PANTHERSVILLE TRUCK PARKING LOT
 3070 CLIFTON SPRINGS ROAD
 DECATUR, GA

SHEET TITLE:
 EROSION CONTROL PHASE I

SHEET NUMBER:
C.610

PROPOSED REZONING PROJECT



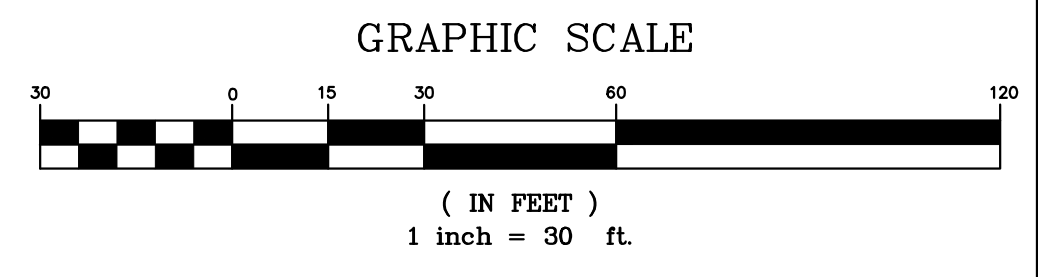
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ATLANTA, GA 30345

REVISIONS:

35 ESPC PHASE II NARRATIVE

DURING THE SECOND PHASE OF EROSION CONTROL MAINTAIN ALL PERIMETER BMPs SHOWN ON THIS PLAN - CONSTRUCTION ENTRANCE, SILT FENCE, SEDIMENT TRAP, ETC. GRADING, STORM & UTILITY INSTALLATION WILL OCCUR IN THIS PHASE. SILT STORAGE WILL BE PROVIDED IN THE SEDIMENT TRAP.

THERE ARE 1.16 ACRES OF DISTURBANCE IN THIS PHASE.

SEDIMENT STORAGE REQUIRED:
1.16 ACRES X 67 CY/ACRE = 77.72 CY

951LF OF SILT FENCE X 2.5FT X 4.5FT=396.25CY

TOTAL SEDIMENT STORAGE PROVIDED IN PHASE 2: 396.25 CY

PANTHERSVILLE TRUCK PARKING LOT
3070 CLIFTON SPRINGS ROAD
DECATUR, GA

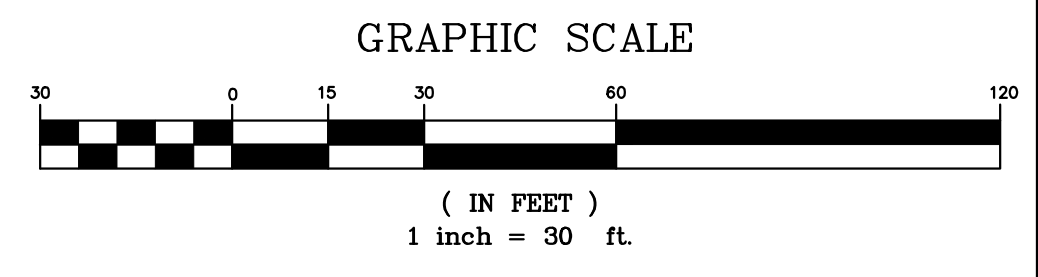
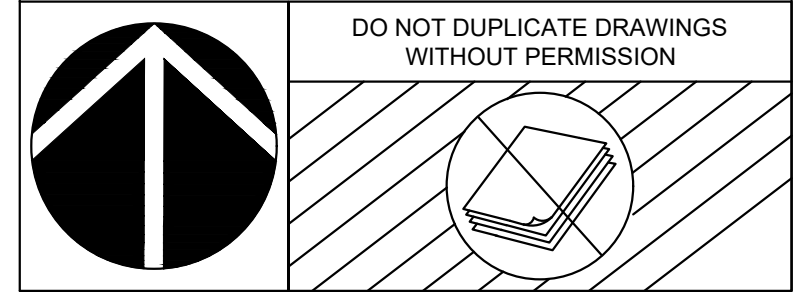
SHEET TITLE:
EROSION CONTROL PHASE II

SHEET NUMBER:
C.620

PROPOSED REZONING PROJECT

35 ESPC PHASE III NARRATIVE
 DURING THE THIRD PHASE OF EROSION CONTROL MAINTAIN ALL BMPs CURRENTLY IN PLACE PER THIS PLAN. CONCRETE AND PAVEMENT SHALL BE POURED DURING THIS PHASE AS THE SITE APPROACHES FINAL GRADE. FINE GRADING SHALL OCCUR DURING THIS PHASE. TEMPORARY BMPs CAN BE REMOVED ONCE FINAL STABILIZATION IS REACHED FOR THE SITE.

CAUTION
 CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.
 THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE SITE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR, FROM HIS/HER OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.



MOORE CIVIL CONSULTING, INC.
 402 COURTNEY HODGES BLVD
 FERRY, GA 31069
 706-224-1629

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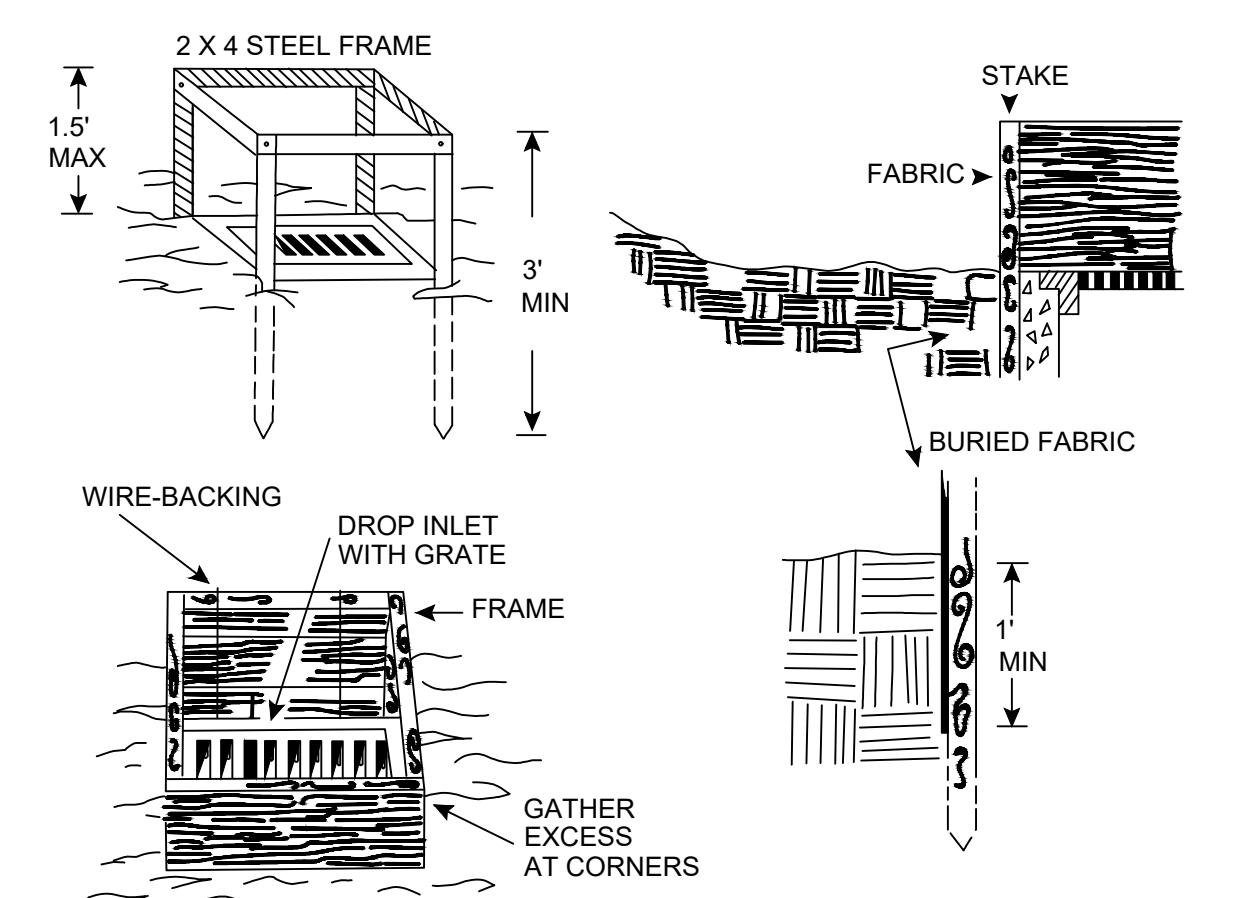
24 HOUR CONTACT:
 SILVIU TEIUSANU
 770-200-3641

CLIENT:
 PATTILLO CONSTRUCTION CORPORATION
 2600 CENTURY PARKWAY NE,
 SUITE 100
 ATLANTA, GA 30345

OWNER INFORMATION:
 PATTILLO CONSTRUCTION CORPORATION
 2600 CENTURY PARKWAY NE,
 SUITE 100
 ATLANTA, GA 30345

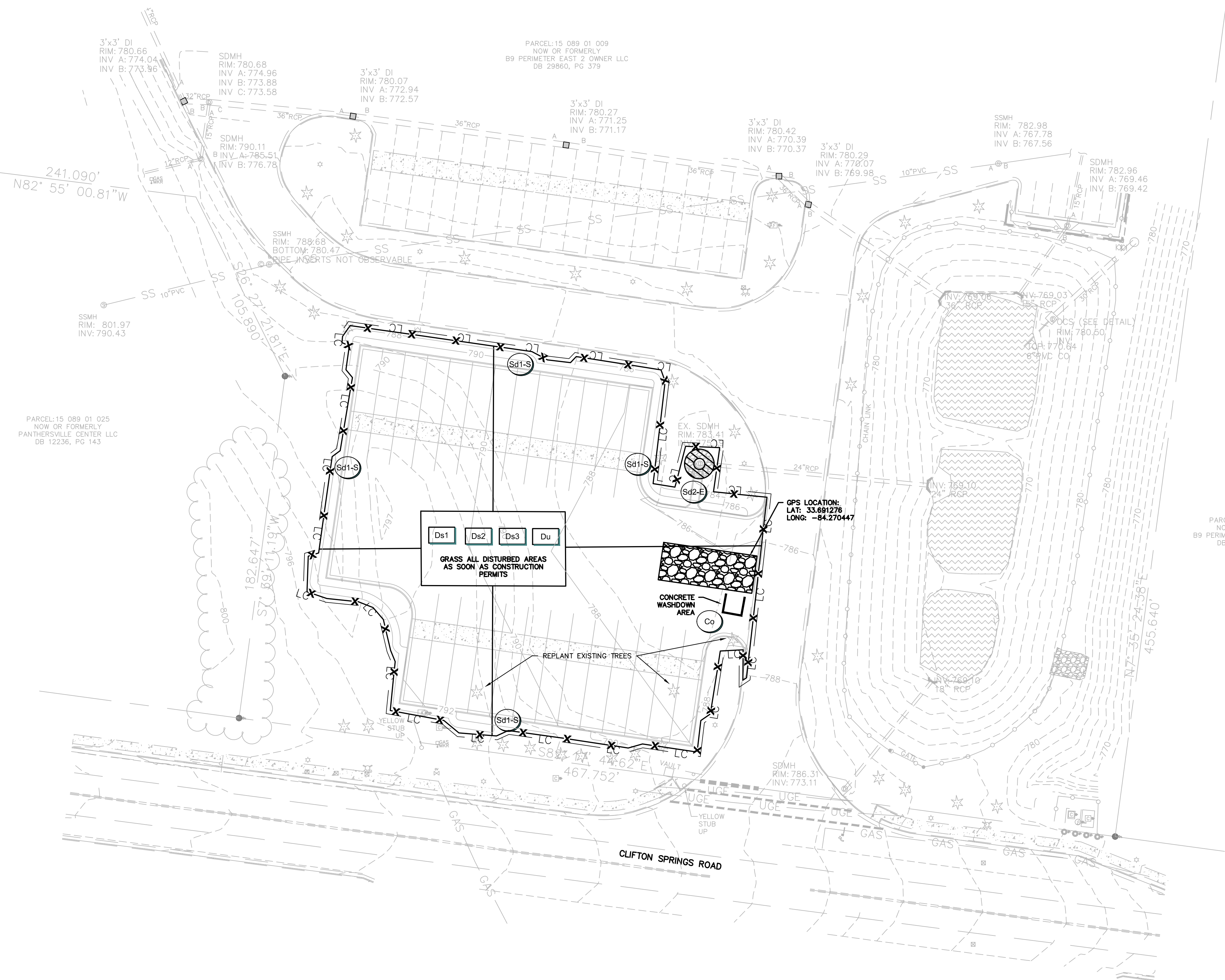
REVISIONS:

NO.	DESCRIPTION



SD2-F FILTER FABRIC WITH SUPPORTING FRAME
 THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) AND SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS. AS SHOWN IN DETAIL, TYPE C SILT FENCE SUPPORTED BY STEEL POSTS SHALL BE USED. THE STAKES SHALL BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART, AND SECURELY DRIVEN IN TO THE GROUND, APPORIMATELY 18 INCHES DEEP. THE FABRIC SHALL BE ENTRENCHED 12 INCHES AND BACKFILLED WITH WITH CRUSHED STONE OR COMPACTED SOIL. FABRIC AND WIRE SHALL BE SECURELY FASTENED TO THE POSTS, AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18 INCHES OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

SD2-F FILTER FABRIC WITH SUPPORTING FRAME



PANTHERSVILLE TRUCK PARKING LOT
 3070 CLIFTON SPRINGS ROAD
 DECATUR, GA

SHEET TITLE:
 EROSION CONTROL PHASE III
SHEET NUMBER:
 C.630

1 EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST
STAND ALONE CONSTRUCTION PROJECTS

Project Name: PANTHERVILLE TRUCK PARKING LOT Address: 3070 CLIFTON SPRINGS RD DECATUR, GA 30034
City/County: DEKALB COUNTY Date on Plans: 09/13/2022
Name & Email of person filling out checklist: ROBERT MOORE robert@moorecivil.com

- Plan Page # Included Y/N
C700 Y 1. The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.
ALL Y 2. Level II certification number issued by the Commission, signature and seal of the certified design professional.
C610 N/A 3. Limit of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the GAEPD District Office.
C700 Y 4. The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.
C100 Y 5. Provide the name, address, email address and phone number of primary permittee.
C700 Y 6. Note total and disturbed acreage of the project or phase under construction.
C610 Y 7. Provide the GPS of the construction exit for the site.
ALL Y 8. Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
C100 Y 9. Description of the nature of construction activity and existing site conditions.
C700 Y 10. Provide vicinity map showing site's relation to surrounding areas.
C700 Y 11. Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc.
C700 Y 12. Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit.
N/A Y 13. Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 19 of the permit.
C700 Y 14. Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
C700 Y 15. Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."
C700 N/A 16. Provide a description of any buffer encroachments and indicate whether a buffer variance is required.
C700 Y 17. Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."
C700 Y 18. Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit."
C700 Y 19. Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
C700 Y 20. Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
C700 Y 21. Clearly note the statement that "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."
C700 N 22. Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biotra Impaired Stream Segment must comply with Part III. C. of the Permit.
C700 Y 23. If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan.
C700 Y 24. BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles.
C700 Y 25. Provide BMPs for the remediation of all petroleum spills and leaks.
C700 Y 26. Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed.
C700 Y 27. Description of practices to provide cover for building materials and building products on site.
C710 Y 28. Description of the practices that will be used to reduce the pollutants in storm water discharges.
C710 Y 29. Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site.
C710 N/A 30. Provide complete requirements of inspections and record keeping by the primary permittee.
C710 N/A 31. Provide complete requirements of sampling frequency and reporting of sampling results.
C710 N/A 32. Provide complete details for retention of records as per Part IV.F. of the permit.
C710 N/A 33. Description of analytical methods used to collect and analyze the samples from each location.
C710 N/A 34. Appendix B rationale for NTU values at all outfall sampling points where applicable.
C710 N/A 35. Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged.
C610 Y 36. A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs.
ALL Y 37. Graphic scale and North arrow.
C610 Y 38. Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:
Map Scale Ground Slope Contour Intervals, ft.
1 inch = 100 ft or larger scale Flat 0-2% 0.5 or 1
Rolling 2 - 8% 1 or 2
Steep 8% + 2, 5 or 10
C710 Y 39. Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional.
C710 N/A 40. Use of alternative BMP for application to the Equivalent BMP List.
C710 N/A 41. Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority.
C710 N/A 42. Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.
C710 Y 43. Delineation and acreage of contributing drainage basins on the project site.
C710 Y 44. Provide hydrology study and maps of drainage basins for both the pre- and post- developed conditions.
C710 Y 45. An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.
C710 Y 46. Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion.
C710 Y 47. Soil series for the project site and their delineation.
C710 Y 48. The limits of disturbance for each phase of construction.
C710 Y 49. Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location.
C610 Y 50. Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia.
C720 Y 51. Provide detailed drawings for all structural practices.
C720 Y 52. Provide vegetative plan, noting all temporary and permanent vegetative practices.

Table with 3 columns: Map Scale, Ground Slope, Contour Intervals, ft.
1 inch = 100 ft or larger scale
Flat 0-2% 0.5 or 1
Rolling 2 - 8% 1 or 2
Steep 8% + 2, 5 or 10

PROPOSED REZONING PROJECT

2 GSWCC
ROBERT E. MOORE, JR.
0000064080
L.I.V.I.I.I. CERTIFIED DESIGN PROFESSIONAL
EXPIRATION: 05/31/23

OWNER/DEVELOPER
PATTILLO CONSTRUCTION CORPORATION
2600 CENTURY PKWY NE SUITE 100
ATLANTA, GA 30345
Phone: (770) 200-3641
24 HR CONTACT: SILVIU TEIUSANU
Phone: (770) 200-3641

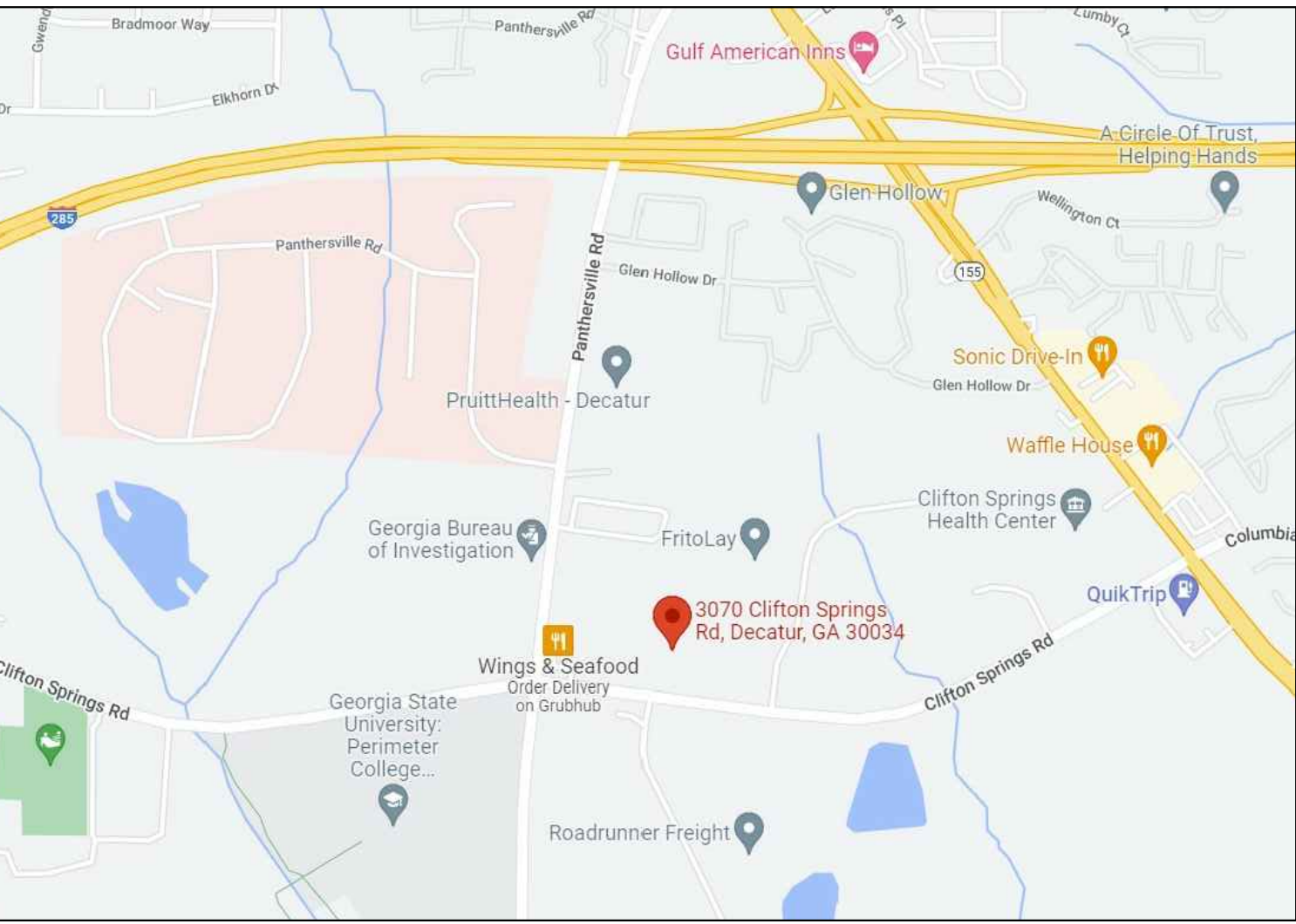
5 OWNER/PRIMARY PERMITTEE:
PATTILLO CONSTRUCTION CORPORATION
SILVIU TEIUSANU
2600 CENTURY PARKWAY NE, SUITE 100
ATLANTA, GA 30345
STEIUSANU@PATTILLOCONSTRUCTION.COM

8 SITE DESCRIPTION AND LOCATION:
LOCATION: LAND LOT 89, 15TH DISTRICT
DEKALB COUNTY, GEORGIA

CRITICAL AREAS:
THIS PROJECT INVOLVES THE CONSTRUCTION OF A TRUCK PARKING LOT IN PANTHERSVILLE, GEORGIA ON CLIFTON SPRINGS ROAD. THE EXISTING SITE CONSISTS A GRASSED AREA. THIS SITE DRAINS NORTHEAST VIA SHEET FLOW TO A EXISTING STORM WATER INLET.

11 RECEIVING WATERS
RUNOFF DRAINS TO THE NORTHEAST OF THE SITE INTO AN EXISTING STORMWATER SYSTEM THAT EVENTUALLY DRAINS TO A TRIBUTARY OF SOUTH RIVER

THERE ARE NO STATE WATERS LOCATED WITHIN 200 FEET OF THE PROJECT SITE.



LOCATION MAP (N.T.S.)
The project will be developed and constructed in one phase

12 "I certify under penalty of law that this Plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my supervision"

13 Signature of Robert Eugene Moore, Jr. dated 09/13/2022

14 7-DAY VISIT STATEMENT

"The primary permittee and tertiary permittee(s) must retain the design professional who prepared the Erosion, Sedimentation and Pollution Control Plan, or an alternative design professional approved by EPD in writing, to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within seven (7) days after installation."
"The primary permittee and tertiary permittee(s) must retain the design professional who prepared the Erosion, Sedimentation and Pollution Control Plan, or an alternative design professional approved by EPD in writing, to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within seven (7) days after installation. The design professional shall determine if these BMPs have been installed and are being maintained as designed. The design professional shall report the results of the inspection to the permittee within seven (7) days and the permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professional unless weather related site conditions are such that additional time is required. This requirement of this permit is not applicable to tertiary permittees with a Plan(s) for a typical individual lot(s), if the total land disturbance within the construction site is less than five (5) acres and the total land disturbance within each individual lot is less than one (1) acre."

4 FINAL DISTURBANCE AREA = ±0.95AC.
TOTAL SITE AREA- ±11.05 AC.

15 Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits.

16 No buffer encroachments are part of this project.

NPDES NOTES

- 17 Amendments/ revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional.
18 "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit."
19 "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
20 "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
21 "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."

22 No construction activities will discharge storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biotra Impaired Stream Segment, therefore there will be no need for an If a TMDL Implementation Plan for sediment

24 CONCRETE WASHOUT

IT IS PROHIBITED TO WASHOUT THE DRUM OF CONCRETE TRUCK ON SITE. SEE DETAILS SHEET FOR BEST MANAGEMENT PRACTICES FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS, AND THE REAR OF THE VEHICLE ONLY.

- A. Best management practices for prevention of petroleum spills:
25 - All onsite vehicles will be monitored for leaks and receive regular preventive maintenance to reduce the chance of leakage.
- Petroleum products will be stored in tightly sealed containers that are clearly labeled.
- Any petroleum to be stored in tanks will have be surrounded by an earthen berm as a secondary protective measure.
- Any Asphalt substances used onsite will be applied according to the manufacture's recommendations.
- Contractors and subcontractors are responsible for inspecting their equipment and providing necessary maintenance to eliminate petroleum spills.

BMPs for the remediation of all petroleum spills and leaks.

- Local, state and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.
- Materials and equipment necessary for spill cleanup will be kept in the material storage areas. typical materials and equipment includes, but is not limited to brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust, and properly labeled plastic and metal waste containers.
- Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
- All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, state, and federal regulations.
- The contractor shall notify the licensed professional who prepared this plan if more than 1,320 gallons of petroleum is stored onsite (this includes capacities for equipment) or if any one piece of equipment has a countermeasures plan prepared by that licensed professional.
- For spills that impact surface water (leave a sheen on surface water), the National Response Center (NRC) will be contacted within 24 hours at 1-800-424-8802.
- For spills of an unknown amount, the National Response Center (NRC) will be contacted within 24 hours at 1-800-424-8802.
- For spills greater than 25 gallons and no surface water impacts, the Georgia Environmental Protection Division (EPD) will be contacted within 24 hours.
- For spills less than 25 gallons and no surface water impacts, the spill will be cleaned up and local agencies will be contacted as required.

26 THE MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED.

After site construction, Storm water runoff from this development will be collected in an onsite storm pipe system where it will be routed to an existing pipe that conveys the storm water runoff to an existing master pond.

27 DESCRIPTION OF PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE.

During site construction, building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste will be COVERED WITH PLASTIC SHEETING to minimize exposure to precipitation and to stormwater.

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24 HOUR CONTACT:
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770-200-3641

CLIENT:
PATTILLO CONSTRUCTION CORPORATION
2600 CENTURY PARKWAY NE, SUITE 100
ATLANTA, GA 30345

OWNER INFORMATION:
PATTILLO CONSTRUCTION CORPORATION
2600 CENTURY PARKWAY NE, SUITE 100
ATLANTA, GA 30345

Table with 2 columns: REVISIONS, Description of revision.

PANTHERSVILLE TRUCK PARKING LOT
3070 CLIFTON SPRINGS ROAD
DECATUR, GA

SHEET TITLE:
NPDES NOTES

SHEET NUMBER:
C.700



Battle Law

STATEMENT OF INTENT

and

Other Material Required by
DeKalb County Zoning Ordinance
For
A Major Modification of Zoning Conditions Pursuant to
DeKalb County Zoning Ordinance

of

LINK LOGISTICS
c/o Battle Law, P.C.

for

+/-11.053 Acres of Land
Being 3070 Clifton Springs Road, Decatur
DeKalb County, Georgia and
Parcel No. 15-089-01-009

Submitted for Applicant by:

Michèle L. Battle, Esq.
Battle Law, P.C.
Habersham at Northlake, Building J, Suite 100
Tucker, Georgia 300384
(404) 601-7616 Phone
(404) 745-0045 Facsimile
mlb@battlelawpc.com



Battle Law

I. LETTER OF INTENT

Link Logistics (the “Applicant”) is seeking a Major Modification to an approved site plan on +/- 11.053 acres of land being Tax Parcel No. 15-089-01-009 and 3070 Clifton Springs Road, Decatur, GA, 30034 (the “Subject Property”) to redesign the parking lot of an approved site plan. The Site Plan was approved with conditions on July 23rd, 2019, as agenda item 2019-3843 (a copy of the approval and the conditions are attached here as Exhibit A and Exhibit B). The Applicant is seeking a Major Modification of condition #1. The proposed redesign of the parking lot has identical capacity to the original site plan, 25 truck trailer parking spots, but features an additional passenger vehicle driveway that promotes separation of truck and car traffic. The driveway moves the parking lot 10 feet closer to the public right of way on Clifton Springs Road. The proposed redesign also includes an enhanced landscaping plan for additional plantings on Clifton Springs Road to provide visual screening between the lot and the public street.

This document serves as a statement of intent and contains notice of constitutional allegations as a reservation of the Applicant’s rights.

II. DEKALB COUNTY CRITERIA FOR MAJOR MODIFICATIONS OF ZONING CONDITIONS

- 1. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property;*

The zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property. The modification to allow the parking lot to be 10 ft closer to the road will allow the property to efficiently continue its current use as light industrial. In consideration of any visual impacts of moving the lot, the owner has prepared a landscaping plan and rendering of additional plant material that will be installed to provide a visual screening between the proposed trailer lot and the sidewalk on Clifton Springs Road. The enhanced landscaping will benefit the community by contributing to the beautification of Clifton Springs Road, in line with the beautification goals of the I-20 Overlay District.

- 2. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;*

The zoning proposal will not adversely affect the existing use or usability of adjacent or nearby property. The proposal will enhance the usability of nearby property by improving traffic flow at the property, preventing trucks from waiting in the public right of way on Clifton Springs Road.

- 3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;*

The property to be affected by the zoning proposal does not have a reasonable economic use as currently zoned.



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4. *Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools;*

The zoning proposal will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The vehicle volume served by this modified site plan is equivalent to the original site plan. Having adequate parking available at this facility is important to ensure that existing streets will not be burdened by waiting trucks. Additionally, the proposal in no way affects historic buildings or heritage sites.

5. *Whether the zoning proposal is in conformity with the policy and intent of the land use plan; and*

The zoning proposal is in conformity with the policy and intent of the land use plan. The property is zoned M1 and the future land use plan characterizes this area as light industrial. The future land use map imagines distribution facilities like this one being located here. Having the approved amount of parking available on this site will promote economic development in the area by supporting approximately 50 new jobs for area residents at the industrial warehouse on the property, currently occupied by Ross Dress For Less.

6. *Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.*

The new site plan's vehicle access road separate car and heavy truck traffic on the site, which will improve safety for all drivers through the property while maintaining the same amount of parking approved in the original site plan. Returning to the original site plan would reintroduce a hazard to the property.

Besides the safety benefits, the Applicant is not aware of other existing or changing conditions affecting the use and development of the property which give grounds for either approval or disapproval of the zoning proposal.

III. CONCLUSION

The Applicant respectfully requests the Major Modification Application be approved. The Applicant welcomes any questions and feedback from the planning staff so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 4th day of May, 2023



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IV. NOTICE OF CONSTITUTIONAL ALLEGATIONS AND PRESERVATION OF CONSTITUTIONAL RIGHTS

The portions of the DeKalb County Zoning Ordinance, facially and as applied to the Subject Property, which restrict or classify or may restrict or classify the Subject Property so as to prohibit its development as proposed by the Applicant are or would be unconstitutional in that they would destroy the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States and Article I, Section I, Paragraph I of the Constitution of the State of Georgia of 1983, Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and would be in violation of the Commerce Clause, Article I, Section 8, Clause 3 of the Constitution of the United States.

The application of the DeKalb County Zoning Ordinance to the Subject Property which restricts its use to any classification other than that proposed by the Applicant is unconstitutional, illegal, null and void, constituting a taking of Applicant's Property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and the Equal Protection and Due Process Clauses of the Fourteenth Amendment to the Constitution of the United States denying the Applicant an economically viable use of its land while not substantially advancing legitimate state interests.

A denial of this Application would constitute an arbitrary irrational abuse of discretion and unreasonable use of the zoning power because they bear no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Applicant in violation of the due process and equal protection rights guaranteed by the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph 1 of the Constitution of the State of Georgia.

A refusal by the DeKalb County Commission to amend the land use and/or rezone the Subject Property to the classification as requested by the Applicant would be unconstitutional and discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and owners of similarly situated property in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Any Rezoning of the Property subject to conditions which are different from the conditions requested by the Applicant, to the extent such different conditions would have the effect of further restricting Applicant's utilization of the property, would also constitute an arbitrary, capricious and discriminatory act in zoning the Subject Property to an unconstitutional classification and would likewise violate each of the provisions of the State and Federal Constitutions set forth hereinabove.

A refusal to allow the Major Modification of Zoning Conditions in question would be unjustified from a fact-based standpoint and instead would result only from constituent opposition, which would be an unlawful delegation of authority in violation of Article IX, Section II, Paragraph IV of the Georgia Constitution.



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A refusal to allow the Major Modification of Zoning Conditions in question would be invalid inasmuch as it would be denied pursuant to an ordinance which is not in compliance with the Zoning Procedures Law, O.C.G.A Section 36-66/1 et seq., due to the manner in which the Ordinance as a whole and its map(s) have been adopted.

The existing zoning classification on the Subject Property is unconstitutional as it applies to the Subject Property. This notice is being given to comply with the provisions of O.C.G.A. Section 36-11-1 to afford the County an opportunity to revise the Property to a constitutional classification. If action is not taken by the County to rectify this unconstitutional land use designation and/or zoning classification within a reasonable time, the Applicant is hereby placing the County on notice that it may elect to file a claim in the DeKalb County Georgia Superior Court demanding just and adequate compensation under Georgia law for the taking of the Subject Property, diminution of value of the Subject Property, attorney's fees and other damages arising out of the unlawful deprivation of the Applicant's property rights.

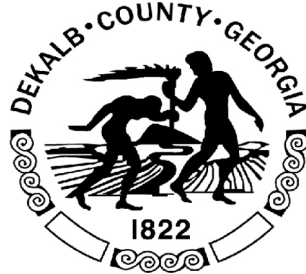
MLB

Michele L. Battle, Esq.
Attorney for the Applicant

Exhibit A

DeKalb County Government

*Manuel J. Maloof Center
1300 Commerce Drive
Decatur, Georgia 30030*



Meeting Minutes

Tuesday, July 23, 2019

6:30 PM

Manuel J. Maloof Auditorium

Board of Commissioners - Zoning Meeting

*Commissioner Jeff Rader, Presiding Officer, District 2
Commissioner Steve Bradshaw, Deputy Presiding Officer, District 4*

*Commissioner Nancy Jester, District 1
Commissioner Jeff Rader, District 2
Commissioner Larry Johnson, District 3
Commissioner Steve Bradshaw, District 4
Commissioner Mereda Davis Johnson, District 5
Commissioner Kathie Gannon, Super District 6
Commissioner Lorraine Cochran-Johnson, Super District 7*

[REDACTED]

N4 [2019-3843](#) COMMISSION DISTRICT(S): 3 & 6
Application of Strategic Development Partners to rezone from C-1
(Local Commercial District) to M (Light Industrial) to allow
development of a 125,000 square foot industrial building, at 3112
Panthersville Road.

*JR Wright, 3715 Northside Pkwy, Bldg 400, Ste. 425 Atlanta, GA 30327, Stephen
Bridges, 1303 Peachtree View NW Atlanta, GA 30319, spoke in favor*

*Will Barnes, 1470 Flat Shoals Atlanta, GA 30316, Dorcas Henegan, 3619
Panthersville Road Decatur, GA 30034, spoke in opposition*

**MOTION was made by Larry Johnson, seconded by Kathie
Gannon, that this agenda item be approved with 4 staff
conditions. Commissioner Nancy Jester was absent from the
meeting. The motion carried by the following vote:**

Yes: 6 - Commissioner Rader, Commissioner Johnson,
Commissioner Gannon, Commissioner Bradshaw,
Commissioner Davis Johnson, and Commissioner
Cochran-Johnson

Absent: 1 - Commissioner Jester

ADJOURNMENT:

There being no further official business, MOTION was made by Commissioner Mereda Davis Johnson and seconded by Commissioner Kathie Gannon to adjourn the July 23, 2019 Board of Commissioners Zoning meeting at 7:50 p.m. Commissioner Nancy Jester was absent from the meeting. The motion carried by the following vote:

Yes: 6 - Commissioner Rader, Commissioner Johnson, Commissioner Gannon, Commissioner Bradshaw, Commissioner Davis Johnson, and Commissioner Cochran-Johnson

Absent: 1 - Commissioner Jester



Jeff Rader
Presiding Officer



Michael Thurmond
Chief Executive Officer



Barbara Sanders-Norwood
County Clerk

Exhibit B

Z-19-1243269

Recommended Conditions

1. This site shall be developed in substantial conformity to the site plan and renderings entitled 3112 Pathersville Road and 3112 Panthersville Distribution Center stamped received by DeKalb County Planning and Sustainability Department on April 29, 2019.
2. A 15 foot landscape strip and 5 foot sidewalks shall be placed along Panthersville Road and Clifton Roads with 15% of tree species selected to screen activities on subject property subject to the approval of the County Arborist.
3. Access points are subject to approval by the Transportation Division of the Department of Public Works.
4. The approval of this rezoning application by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by such entity.





