

#### **DEPARTMENT OF PLANNING & SUSTAINABILITY**

#### MAJOR MODIFICATION APPLICATION

Existing Conditional Zoning No.:14 - 1243269	
APPLICANT NAME: Glenn Wylie c/o Battle Law PC	
Daytime Phone#: 404-601-7616 Fax #: E-mail: mlb@battlelawpc.com	
Mailing Address: 3562 Habersham at Northlake, Bldg. J Suite 100. Tucker, GA 30084	
OWNER NAME: B9 Perimeter East 2 Owner, LLC one owner, attach contact information for each owner)	_ (If more than
Daytime Phone#: 678-472-2811 Fax #: E-mail: kbill@linklogistics.com	
Mailing Address: _3455 Peachtree Road NE, Suite 2000, Atlanta GA 30326	
SUBJECT PROPERTY ADDRESS OR LOCATION: 3070 Clifton Springs Road	_
Decatur , DeKalb County, GA, 30034	_
District(s): 15 Land Lot(s): 89 Block(s): 01 Parcel(s): 009	
Acreage or Square Feet: 11.053	
I hereby authorize the staff of the Planning and Development Department to inspect the property that is the subapplication.	
Have you, the applicant, made a campaign contribution of \$250.00 or more to a DeKalb County government of the two year period that precedes the date on which you are filing this application?  Yes X No If "yes", see page 4. (Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A)	fficial within
Owner: Agent: (Check One)	
Signature of Applicant:	
Printed Name of Applicant: Major Modification App	olication



Chief Executive Officer

#### **DEPARTMENT OF PLANNING & SUSTAINABILITY**

Director

Michael Thurmond Andrew A. Baker, AICP

#### MAJOR MODIFICATION APPLICATION CHECKLIST (SUBMIT 4 COMPLETE, COLLATED SETS AND PDF FLASH DRIVE OF APPLICATION DOCUMENTS)

1. Mandatory <b>Pre-Application Conference</b> with Planning & Sustainability staff. <b>Pre-Application form</b> to be completed in pre-application meeting. Please call (404) 371-2155 to schedule pre-app conference.
2. Hold a <b>Community Meeting</b> with surrounding neighborhood associations and residents. Notify staff in advance of date, time, and location of meeting. <b>Provide documentation</b> (e.g., meeting notice, sign-in sheets, letter(s) from homeowners associations).
3. Application Form. Form must be completely filled out and be the first page of packet.
4. Notarized <b>Authorization Form</b> , if the applicant is not the owner of the subject property, which a. is signed and notarized by all owners of the subject property; b. contains the mailing address and phone number of any applicant or agent who is authorized to represent the owner(s) of the subject property; and c. includes a warranty deed, if ownership is less than 2 consecutive years.
5. Written Legal Description of subject property, in metes and bounds.
6. <b>Boundary Survey</b> (showing existing buildings, structures, and improvements), prepared and sealed within the last ten years by a professional engineer, or land surveyor registered in the State of Georgia and is consistent with the plat(s) on Official Tax Record. Applicant shall certify that the Boundary Survey is complete and currently accurate. <b>Site plans shall be drawn to scale</b> showing all proposed development or redevelopment projects, proposed buildings, structures, and improvements. Site plans must include the following:  a. Complete boundaries of subject property including curb cuts, internal vehicular circulation facilities, and sidewalks;
b. Location of buildings, structures, setback lines, buffer lines, and parking; c. Location of any 100-year floodplains, streams, and stream buffer lines; d. Notation of the total acreage or square footage of the subject property; e. Landscaping, trees, open space, and undisturbed buffers; f. Notation of building square footages and heights, residential density calculations, existing and proposed lot coverage, required and proposed parking, and open space calculations; g. Four copies of site plans: 1. Full-size site plans (at least 11" x 17"): 4 copies, folded. 2. Site plan reduced to 8 ½" x 11". 4 copies
7. Attached approved Conditions. Include statement of any additional conditions proposed.
8. <b>Letter of Application</b> identifying the proposed modification to conditions, the reason for the request, the existing and proposed use of the property, and detailed characteristics of the proposed use (e.g., floor area, height of buildings, number of units, mix of unit types, hours of operation, etc
9. Written detailed <b>Impact Analysis</b> of the anticipated impact of the proposed use and change in conditions, in response to the standards and factors specified in <b>Section 27-832</b> of the DeKalb County Zoning Ordinance.
10.Campaign disclosure statement, if applicable, to be filed in compliance with State law.
11. Application fee. Make payable to "DeKalb County". \$250.00
INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.



Chief Executive Officer
Michael Thurmond

#### **DEPARTMENT OF PLANNING & SUSTAINABILITY**

Director Andrew A. Baker, AICP

## PRE-APPLICATION FORM REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE

(Required prior to filing application: signed copy of this form must be submitted at filing)

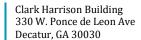
Applicant Name:Link Logistics Phone: _ 678-472-2811 Email: jbaker@linklogistics.com
Property Address: 3070 Clifton Springs Rd
Tax Parcel ID: _15 089 01 009 Comm. District(s): _3 & 6 Acreage: 11 acres
Existing Use: _Distribution
Supplemental Regs: _NA Overlay District: DRI:NA
<b>Rezoning</b> : Yes NoX
Existing Zoning:I-20 Overlay/M zoning with conditions per CZ 14 1243269 Proposed Zoning: _NA
Rezoning Request:
Land Use Plan Amendment: Yes No _X
Existing Land Use: _Light Industrial (LIND) Proposed Land Use:NA Consistent Inconsistent
Special Land Use Permit: Yes No _X Article Number(s) 27
Major Modification:
Existing Case Number(s):Y
Condition(s) to be modified:
Major mod to condition #1 requiring substantial compliance to concept plan; adding additional parking and moving closer to front property line requires major modification to zoning conditions.



#### **DEPARTMENT OF PLANNING & SUSTAINABILITY**

#### WHAT TO KNOW BEFORE YOU FILE YOUR APPLICATION

Pre-submittal Community Meeting:X Review Calendar Dates:X PC: 07/11/23*
BOC: _07/27/23** Letter of Intent:XImpact Analysis: _X Owner Authorization(s):X
Campaign Disclosure:X Zoning Conditions: _X Community Council Meeting: _06/14/23
Public Notice, Signs:X_(Applicant must pick up and post and/or will be done by Staff) Tree
Survey, Conservation: Land Disturbance Permit (LDP):X Sketch Plat:X
Bldg. Permits:X Fire Inspection:X Business License:X State License:
Lighting Plan: Tent Permit: Submittal Format: NO STAPLES, NO BINDERS
PLEASE
*Filing Deadline for application to be considered for July 2023 zoning cycle is May 4, 2023. Last day to
hold community meeting with 15 days notice to be considered for July 2023 cycle is April 26, 2023. If
there are more than 20 cases on July 2023 agenda cycle then case would be heard in September 2023.
Review of Site Plan
Density:X Density Bonuses:X Mix of Uses: Open Space:X
Enhanced Open Space: _X Setbacks: frontX sidesX side corner rearX
Lot Size:X Frontage:X Street Widths:X Landscape Strips:X
Buffers: X Parking Lot Landscaping: X Parking - Auto: X Parking - Bicycle:
X Screening:X Streetscapes:X Sidewalks: _XFencing/Walls:X
Bldg. Height:X Bldg. Orientation: Bldg. Separation: Bldg. Materials: _X Roofs:
_X Fenestration:X Façade Design:X Garages:X Pedestrian Plan:X
Perimeter Landscape Strip:X
Comments: _ Will need to do major mod to condition requiring substantial compliance to site plan; adding
additional parking moving closer to front property line requires a major modification of zoning conditions per
Article 7 of the zoning ordinance. Verify proposed plan complies with Tier 2 of I-20 overlay district and
underlying M zoning.





#### **DEPARTMENT OF PLANNING & SUSTAINABILITY**

This only a <u>preliminary review</u> and is not a complete list of zoning requirements, a final and complete review will be done upon official submission of a rezoning application and concept plan.

Planner:John Reid		Date03/14/23	
		Filing Fees	
REZONING:	RE, RLG, R-100, R-85, R-75, R-60, MH RNC, MR-2, HR-1, HR-2, HR-3, MU-1, OI, OD, OIT, NS, C1, C2, M, M2	, ,	\$500.00 \$750.00 \$750.00
LAND USE MA	AP AMENDMENT		\$500.00
SPECIAL LAND USE PERMIT			\$400.00



3562 Habersham at Northlake, Bldg. J, Ste 100 Tucker, Georgia 30084

#### **Zoom Instructions:**

Go to <a href="https://otago.zoom.us/join">https://otago.zoom.us/join</a> and Enter the Meeting ID that you have been provided with in the appropriate field and click "Join". To join by phone, please dial (646) 558-8656. If you are unable to attend or would like to learn more about the proposed project, please call our office at the number below.

We encourage you to come out and participate!

For More Information Contact Jordan Battle at: Phone: 404-601-7616 ext. 8 Fax: 404-745-0045 Email: inb@battlelawpc.com

# COMMUNITY MEETING TO DISCUSS A MAJOR MODIFICATION OF ZONING CONDITIONS APPLICATION

Project Title: 3070 Clifton Springs
Road

When: May 18, 2023

Time: 6:00 PM Eastern (US and Canada)

Register in advance for this meeting:

https://otago.zoom.us/join

Meeting ID: 891 5289 8336

Password: 516544

PROPOSED LOCATION(S):

Parcel Number - 15 224 09 062



April 3, 2023

Re: Notice of Modification Application Community Meeting

Dear Property Owner:

A Community Meeting has been scheduled for Wednesday, April 19 at 9:30 am to discuss a proposed DeKalb County Zoning Modification for the property located at 3070 Clifton Springs Road, Decatur, GA 30034.

The proposed modification involves a slight shift to the original location of a tractor trailer lot. The shift will accommodate a passenger vehicle driveway from the entrance of the property to the west side of the building.

The Community Meeting will be held in person at 3070 Clifton Springs Road, Decatur, GA 30034. During the meeting we will provide additional details and answer questions.

Sincerely,

Katie Bill Associate Director Regional Construction



#### **ZONING MODIFICATION COMMUNITY MEETING**

DATE/TIME:

APRIL 19, 2023, 9:30 AM

LOCATION:

3070 CLIFTON SPRINGS ROAD

DECATUR, GA 30034

SUBJECT:

TRUCK TRAILER PARKING LOT

**3070 CLIFTON SPRINGS ROAD** 

DECATUR, GA 30034

#### ATTENDEE SIGN-IN:

NAME	COMPANY	ADDRESS REPRESENTING	PHONE NUMBER	EMAIL
Jacob Harmon	GBI	3121 Portlerville Keed	678-668/778-1821	jacob. harmon & gbi, ga, gar
Kerry Phillips	LINK	3070 Clifton Springs	405-245-0983	K-Phillipse linklegistics. Com
Ellist Villiams	Link	3070 Clifton Springs		
JOEY BAKER	LINK			7 JBAKER@LINKLOGISTICS.CO
Katie Bill	Link	3070 Clifton Springs		Kblil@linklogistics.com



404.371.2155 (o) 404.371.4556 (f) DeKalbCountyGa.gov Clark Harrison Building 330 W. Ponce de Leon Ave Decatur, GA 30030

#### DEPARTMENT OF PLANNING & SUSTAINABILITY

#### **AUTHORIZATION**

The property owner should complete this form the application with the County is not the prop	or a similar, signed and notarized form if the individual who will file erty owner.
Date: 5/3/23	
TO WHOM IT MAY CONCERN:	
\ // \ \ //	erimeter East 2 Owner, LLC
Name of Owner(s)	
being (owner) (owners) of the subject property d	lescribed below or attached hereby delegate authority to
Battle I	Law P.C. and Glenn Wylie
Name	e of Applicant or Representative
to file an application on (my), (our) behalf.	
AMAM Geddes Notary Public Amy M Geddes	By Perimeter East 2 Owner, LLC  By Owner  Printed Name: Fint E. Wyle  Title: Tee Trendent
Notary Public	Owner
Notary Public	Owner

Owner



Notary Public





#### DEPARTMENT OF PLANNING & SUSTAINABILITY

#### DISCLOSURE OF CAMPAIGN CONTRIBUTION

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filling of this application?

Yes_	$V_{-}$	No	*

If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

- 1. The name and official position of the local government official to whom the campaign contribution was made.
- The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and to the Board of Commissioners of DeKalb County, 1300 Commerce Drive, Decatur, GA 30030.

Notary

Signature of Applicant /Date

Check one: Owner

\*Notary seal not needed if answer is "no".



#### DEPARTMENT OF PLANNING & SUSTAINABILITY

MAJOR MODIFICATION APPLICATION	
Existing Conditional Zoning No.:14 - 1243269	
APPLICANT NAME: Glenn Wylie	
Daytime Phone#: 267-620-3021 Fax #: E-mail: gwylie@linklogistics.com	
Mailing Address: 3455 Peachtree Road NE, Suite 2000, Atlanta, GA 30326	
OWNER NAME: B9 Perimeter East 2 Owner, LLC one owner, attach contact information for each owner)	(If more than
Daytime Phone#: 678-472-2811 Fax #: E-mail: kbill@linklogistics.com	
Mailing Address: 3455 Peachtree Road NE, Suite 2000, Atlanta GA 30326	
SUBJECT PROPERTY ADDRESS OR LOCATION: 3070 Clifton Springs Road	_
Decatur, DeKalb County, GA, 30034	
District(s): 15 Land Lot(s): 89 Block(s): Parcel(s): 15 089 01 009	
Acreage or Square Feet: 11.053 Commission District(s): 3 & 6 Existing Zoning: M - Light Industri	al
I hereby authorize the staff of the Planning and Development Department to inspect the property that is the subapplication.	ject of this
Have you, the applicant, made a campaign contribution of \$250.00 or more to a DeKalb County government of the two year period that precedes the date on which you are filing this application?  Yes No If "yes", see page 4. (Conflict of Interest in Zoning Act, O.C.G.A., Chapter 36-67A)	ficial within
Owner: Agent: (Check One)	
Signature of Applicant:	
Printed Name of Applicant: Glenn Wylie Major Modification App	lication

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 89 of the 15th District, Dekalb County, Georgia, and being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, commence at a point located at the southeast end of a mitre, formed by the intersection of the North right-of-way of Clifton Springs Road (said road having a 100 foot right-of-way) and the East right-of-way of Panthersville Road (said road having a variable right-of-way) and Thence South 82 degrees 54 minutes 39 seconds East a distance of 260.84 feet to a 1/2" rebar found and the TRUE POINT OF BEGINNING; FROM THE TRUE POINT OF BEGINNING AS THUS ESTABLISHED, THENCE, leaving the North right-of-way of Clifton Springs Road, North 07 degrees 42 minutes 48 seconds East a distance of 182.77 feet to an 1/2" rebar found;

THENCE, North 26 degrees 23 minutes 45 seconds West a distance of 105.89 feet to a 1/2" rebar found;

THENCE, North 82 degrees 51 minutes 24 seconds West a distance of 241.09 feet to a 1/2" rebar found on the East right-of-way line of Panthersville Road;

THENCE, along the East right-of-way line of Panthersville Road, North 07 degrees 43 minutes 32 seconds East a distance of 464.18 feet to a 1/2" rebar found;

THENCE, leaving the East right-of-way line of Panthersville Road, South 81 degrees 59 minutes 06 seconds East a distance of 765.12 feet to a 1/2" rebar found;

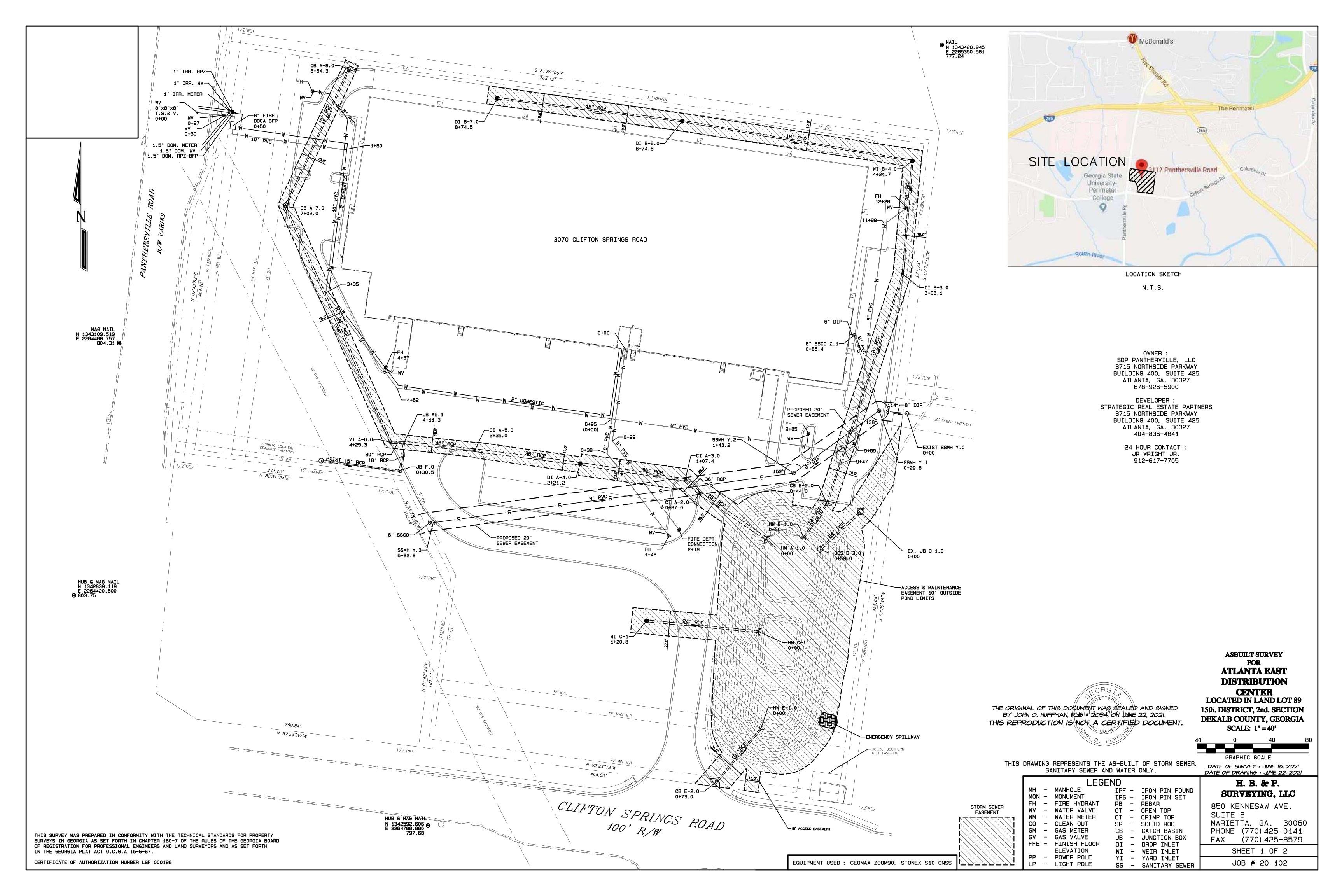
THENCE, South 07 degrees 23 minutes 12 seconds West a distance of 271.74 feet to a 1/2" rebar found;

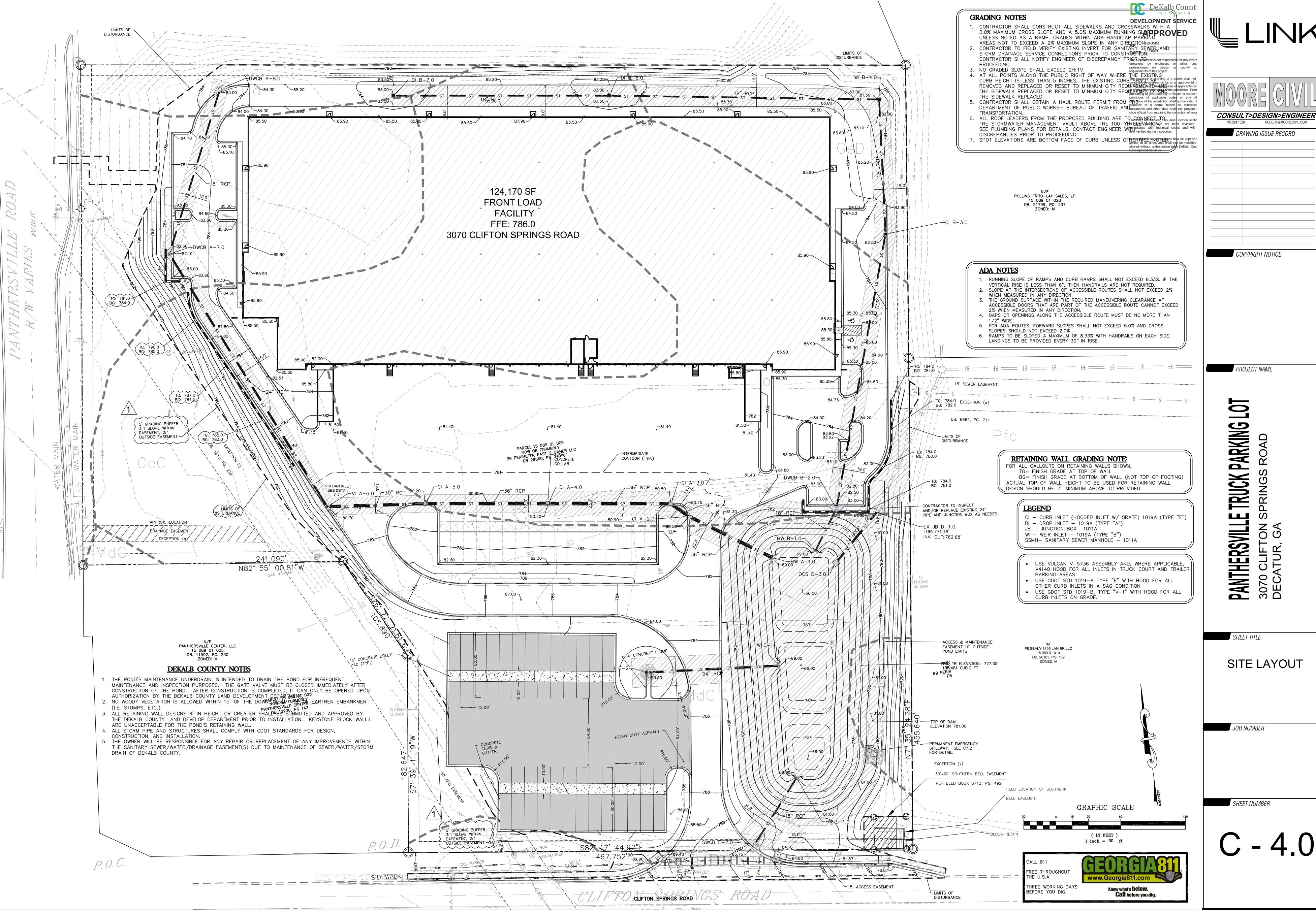
THENCE, South 07 degrees 29 minutes 56 seconds West a distance of 455.64 feet to a 1/2" rebar found on the North right-of-way line of Clifton Springs Road;

THENCE, along the North right-of-way line of Clifton Springs Road, North 82 degrees 23 minutes 13 seconds West a distance of 468.00 feet to a 1/2" rebar found at THE TRUE POINT OF BEGINNING;

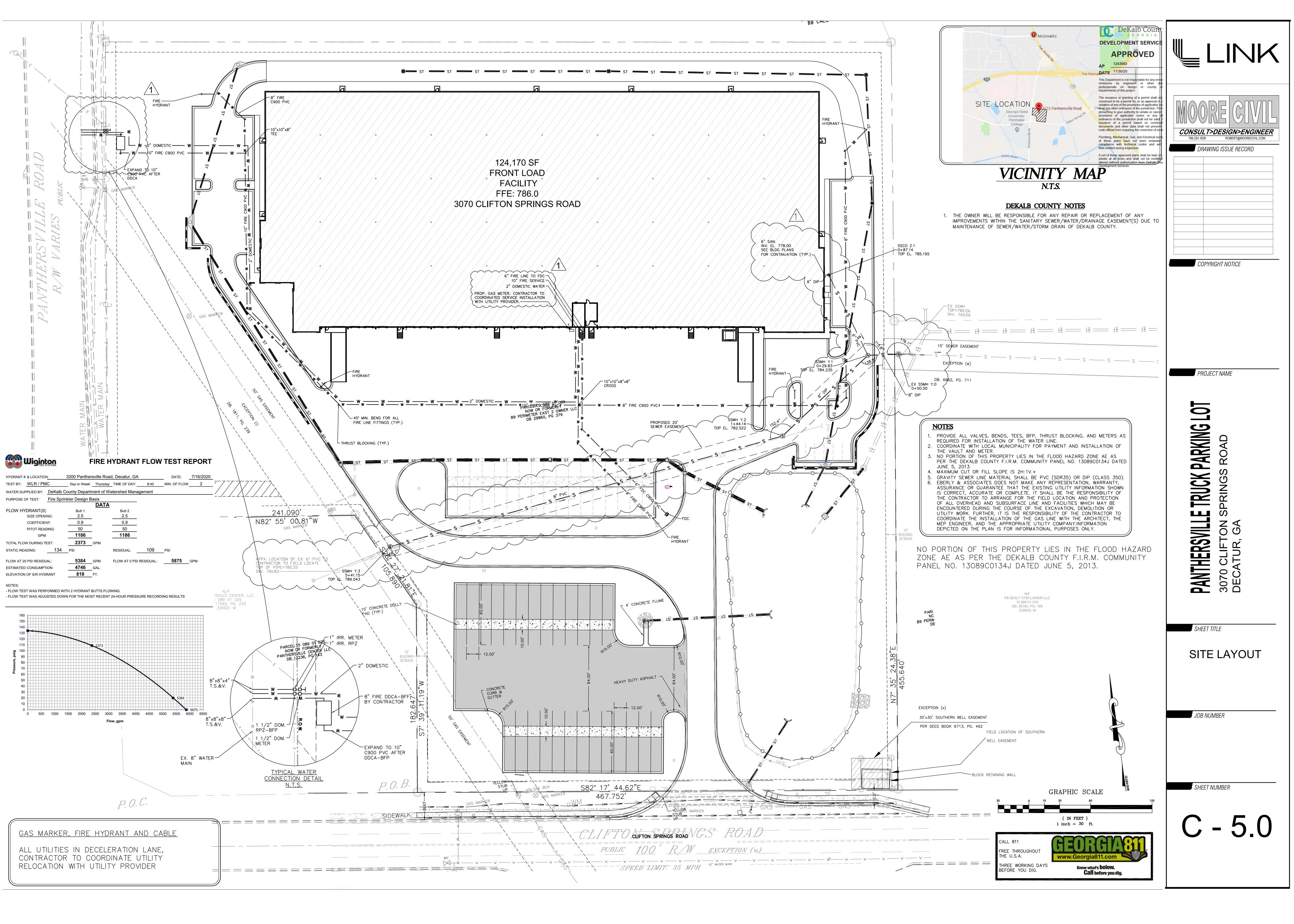
Said tract contains 11.053 acres, according to that certain plat of survey entitled "ALTA/NSPS Land Title Survey for certain plat of survey entitled "ALTA/NSPS Land Title Survey For Stone Mountain Industrial Park, Inc., Strategic Development Partners, LLC, SDP Panthersville, LLC and Chicago Title Insurance Company", dated April 15, 2019, last revised January 74 2020, prepared by Houston Engineering, Inc., bearing the seal and certification of Grant A. Houston, Georgia Registered Land Surveyor No. 3340, designated as Job No. 019¬0024, which plat is incorporated herein by reference.

TOGETHER WITH THOSE EASEMENT RIGHTS ARISING UNDER THAT CERTAIN DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS FOR PERIMETER EAST INDUSTRIAL PARK BY STONE MOUNTAIN INDUSTRIAL PARK, INC., A GEORGIA CORPORATION, DATED OCTOBER 4, 1989, FILED FOR RECORD OCTOBER 9, 1989 AT 8:30 A.M., RECORDED IN DEED BOOK 6544, PAGE 243, RECORDS OF DEKALB COUNTY, GEORGIA; AS AMENDED BY THAT CERTAIN FIRST AMENDMENT TO DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS FOR PERIMETER EAST INDUSTRIAL PARK BY AND BETWEEN STONE MOUNTAIN INDUSTRIAL PARK, INC., A GEORGIA CORPORATION, DEKALB APARTMENTS, INC., A GEORGIA CORPORATION, PANTHERSVILLE L.L.C., AN ALABAMA LIMITED LIABILITY COMPANY, FLAT SHOALS, LLC, AN ALABAMA LIMITED LIABILITY COMPANY, PANTHERSVILLE CENTER LLC, A GEORGIA LIMITED LIABILITY, COMPANY MEDSHARE INTERNATIONAL INC., A GEORGIA CORPORATION, AND SEIBERT & SON, INC., A GEORGIA CORPORATION, DATED APRIL 3, 2009, FILED FOR RECORD APRIL 7, 2009 AT 9:38 A.M., RECORDED IN DEED BOOK 21362, PAGE 224, AFORESAID RECORDS.









PROPOSED

REZONING PROJECT

SILVIU TEIUSANU PATTILLO CONSTRCTION CORPORATION 2600 CENTURY PARKWAY NE, ATLANTA, GA 30345 PHONE:770-200-3641 STEIUSANU@PATTILLOCONSTRUCTIO.COM

SITE ENGINEER: MOORE CIVIL CONSULTING, INC 402 COURTNEY HODGES BLVD PERRY, GA 31069 CONTACT: ROBERT E. MOORE, JR. PHONE: 706-224-1629

ROBERT@MOORECIVIL.COM

4 OWNER/PRIMARY PERMITTEE

WELLSTON ASSOCIATES LAND SURVEYORS, LLC 506 OSIGIAN BLVD, SUITE 2 WARNER ROBINS, GA 31088 PHONE: 478-971-3382

24-HOUR CONTACT: DANIEL KEIL PHONE NUMBER: 770-200-3632

CONSTRUCTION PLANS FOR

# PANTHERSVILLE TRUCK PARKING LOT

3070 CLIFTON SPRINGS ROAD DECATUR, GA 30034

National Flood Hazard Layer FIRMette

# SHEET INDEX

**COVER SHEET EXISTING CONDITIONS AND DEMO PLAN** 

SITE LAYOUT **GRADING & DRAINAGE PLAN EROSION CONTROL PHASE I** 

**EROSION CONTROL PHASE II EROSION CONTROL PHASE III** 

NPDES NOTES NPDES NOTES

NPDES NOTES **EROSION CONTROL DETAILS** 

TREE PROTECTION PLAN

1. BOUNDARY & TOPO INFORMATION TAKEN FROM SURVEY BY WELLSTON ASSOCIATES

2. PROPERTY IS LOCATED AT LAND LOT 89, 15TH DISTRICT, DECATUR, DEKALB COUNTY,

4. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR

5. STANDARD AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE

PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA.

8. ALL CUT & FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN

9. ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES ANY DISCREPANCY FOUND

SHALL BE REFERRED TO THE SITE ENGINEER BY THE CONTRACTOR FOR CLARIFICATION

10. ALL CONSTRUCTION SHALL MEET OR EXCEED DEKALB COUNTY MINIMUM STANDARDS.

3. NOTIFY DEKALB COUNTY INSPECTION OFFICE 24 HRS BEFORE BEGINNING OF

PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE

6. ANY DISCREPANCY FOUND SHALL BE REFERRED TO THE SITE ENGINEER BY THE

7. CUT & FILL SLOPES SHALL NOT EXCEED 2:1 EXCEPT WHERE NOTED OTHERWISE

CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK

FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

PLANTING PLAN

**GENERAL NOTES** 

LAND SURVEYORS, LLC.

DAYS OF THEIR CONSTRUCTION

BEFORE PROCEEDING WITH THE WORK.

MOORE CIVIL CONSULTING, IN 402 COURTNEY HODGES BLVD PERRY, GA 31069 706-224-1629

OT RELEASED FOR CONSTRUCTIO

This document, together with the concepts and designs presented erein, as an instrument of service is intended only for the specifi purpose and client for which it wa prepared. Reuse of and improp reliance on this document witho written authorization by Moore Ci Consulting, Inc. shall be without liability to Moore Civil Consulting Inc. Copyright Moore Civil

24 HOUR CONTACT: SILVIU TEIUSANU 770-200-3641

Consulting, Inc. 2019

PATTILLO CONSTRUCTION

CORPORATION 2600 CENTURY PARKWAY NE, SUITE 100

ATLANTA, GA 30345 OWNER INFORMATION: PATTILLO CONSTRUCTION

2600 CENTURY PARKWAY NE, SUITE 100 ATLANTA, GA 30345

**REVISIONS:** 

ARKING

ANTHERSVIL

ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. CONTRACTOR SHALL VERIFY ALL BENCH MARKS BEFORE BEGINNING ANY WORK. CONTRACTOR HAS OPTION TO USE PRECAST STRUCTURES AND HEADWALLS OR CAST IN PLACE.

11. ALL PIPE AND STRUCTURES SHALL BE IN ACCORDANCE WITH DEKALB COUNTY SPECIFICATIONS. DETENTION BASIN AND EROSION CONTROL MEASURES TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

12. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS

13. CONTRACTOR SHALL STAKE ALL BUILDING CORNERS FOR APPROVAL PRIOR TO POURING

14. THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

15. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS

16. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION BY THE ISSUING AUTHORITY.

17. SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY.

18. DO NOT SCALE FROM DRAWINGS.



# Bradmoor Way Gulf American Ir Glen Hollow Dr. PruittHealth - Decatur Clifton Springs Health Center Georgia Bureau 🔄 Columbia of Investigation Decatur, GA 30034 Wings & Seafood on Grubhub University: Perimeter College. Roadrunner Freight

LOCATION MAP (N.T.S.)

#### With BFE or Dopoli Zamura, no serva ser of 1% enricel chance flood with everege depth less than are fact or with drains Area with Reduced Flood Risk due to Levee, See Modes, Arm J. Area with Florid Rich due to tever to GENERAL ---- Cherrel, Outvar, or South Sewa EKALB COUNTY (a) 202 Crass Sections with 1% Annual Charco 17.5 Wester Surface Bevasier \_ - Chesiel Trefsco. AREA OF MINIMAL FLOOD HAZARD Limit of South \_\_\_\_ Jurisaiculan Baumaen, Coessel Trensco, Besiding - Profile Baseline - Hydrographic Feature Digiral Dara Available The pin displayed on the map is an approximate paint addoced by the user and does not represen en exteriorist projety lacedar. This map complies with FEMA's scorooms for the use of dignel flood meps if it is not void as described below. The basemap shown complicated the FEMA's basemap The floor hazard information is derived directly from the evidentiative NFMs web services provided by FEMA. This map west expansed and SVBV 2022 by 9:96 PMI and discs has reflex dienges or ameroments subsequent to this determin Became superseded by new data ever time. This map image is vaid if the one or more of the following map clamens da naceppear: besomep imegen, flaad sanc lebels, legena, scale bar, map creater aan, community lacrollers, FIRM panel number, and FIRM effective date. Map images for unmegado en o unmadar riudo erces central balusco far Basemap: USGS National Map: Ortholmagery: Data refreshed October, 2020

THIS PROPERTY IS NOT LOCATED WITHIN THE BASE FLOOD PLAIN AS PER FIRM MAP PANEL NUMBER 13089C0134J, DATED 05/16/2013

# **NARRATIVE**

THIS PROJECT INVOLVES THE CONSTRUCTION OF A TRUCK PARKING LOT IN PANTHERSVILLE, GEORGIA ON CLIFTON SPRIGNS ROAD. THE EXISTING SITE CONSISTS OF AN INDUSTRIAL BUILDING, ASSOCIATED TRUCK COURTS AND PARKING LOT, THE AREA WHERE WE ARE PROPOSING THE TRUCK PARKING SPACES IS CURRENTLY A GRASSED AREA. THIS SITE DRAINS NORTHEAST VIA SHEET FLOW TO A EXISTING STORM WATER INLET. WITH THE USE OF EROSION CONTROL BMPs FROM THE GEORGIA EROSION CONTROL MANUAL THERE SHOULD BE NO HARMFUL

EFFECTS ON DOWNSTREAM PROPERTIES DUE TO THIS DEVELOPMENT.

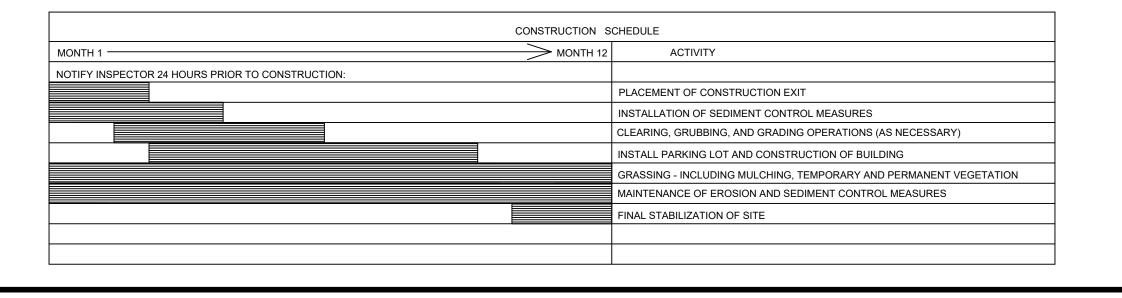
# DO NOT DUPLICATE DRAWINGS

CAUTION

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE SITE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR, FROM HIS/ HER OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS



#### SITE DATA

**DISTURBED ACREAGE:** 

MAX LOT COVERAGE: IMPERVIOUS AREA: IMPERVIOUS PERCENTAGE:

OPEN SPACED REQUIRED:

OPEN SPACED PROVIDED: 34.21% FRONT BUILDING SETBACK: SIDE-CORNER LOCK ON PUBLIC STREET

60FT 60FT 15FT REAR BUILDING SETBACK: 15FT SIDE BUILDING SETBACK:

11.05AC

1.16AC

80%

20%

7.27AC

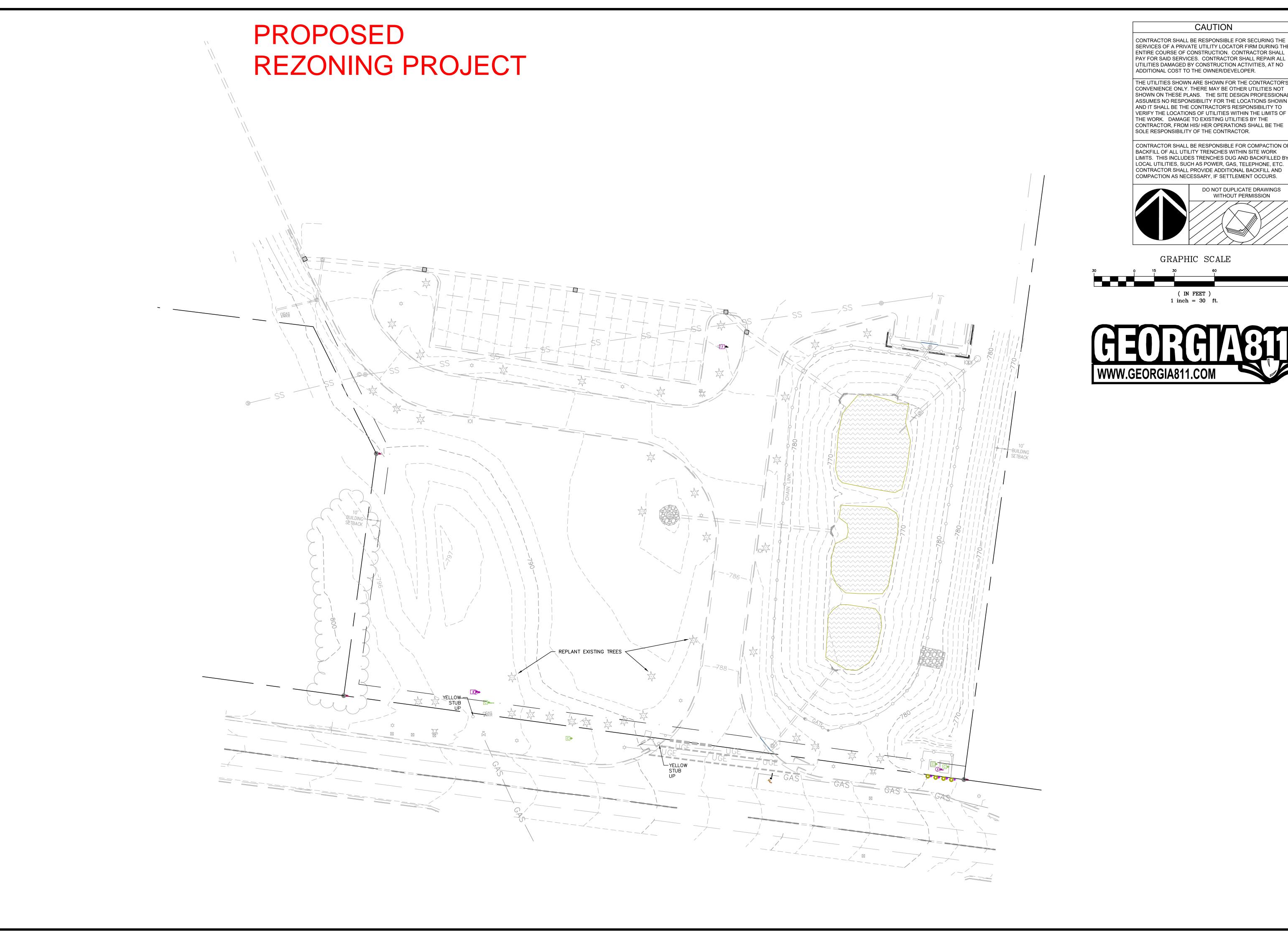
65.80%

EE FE REPORT FOR DICTRILED LOCKING SHIP INDICK MAP FOR FIRM PRINCE LAYOU

SHEET TITLE: **COVER SHEET** 

33

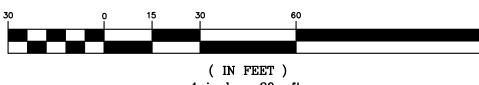
SHEET NUMBER:



SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.

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24 HOUR CONTACT: SILVIU TEIUSANU 770-200-3641

PATTILLO CONSTRUCTION CORPORATION

2600 CENTURY PARKWAY NE, SUITE 100 ATLANTA, GA 30345

OWNER INFORMATION: PATTILLO CONSTRUCTION 2600 CENTURY PARKWAY NE,

ATLANTA, GA 30345

REVISIONS:

SUITE 100

LE TRUCK PARKING LOT PANTHERSVILL |

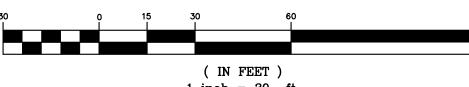
SHEET TITLE:
EXISTING COND
& DEMO PLAN

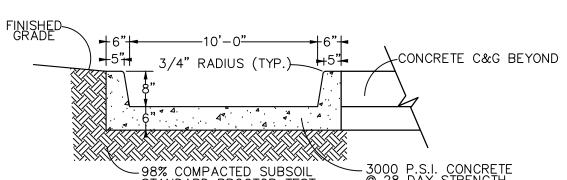
SHEET NUMBER:

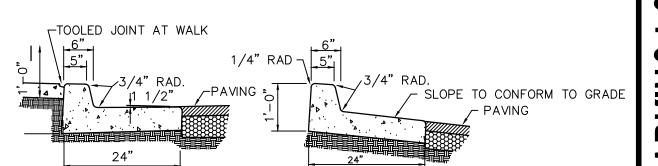
# CAUTION PROPOSED CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE REZONING PROJECT ADDITIONAL COST TO THE OWNER/DEVELOPER. THE WORK. DAMAGE TO EXISTING UTILITIES BY THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS. NOW OR FORMERLY B9 PERIMETER EAST 2 OWNER LLC DB 29860, PG 379 DO NOT DUPLICATE DRAWINGS GRAPHIC SCALE ( IN FEET ) 1 inch = 30 ft.WWW.GEORGIA811.COM 10' CONCRETE DOLLY PAD (TYP.) PARCEL:15 089 01 025 NOW OR FORMERLY PANTHERSVILLE CENTER LLC DB 12236, PG 143 4' CONCRETE FLUME \_ 3/4" RADIUS (TYP.) \_\_\_+5". PARCEL: 15 0 NOW OR FC B9 PERIMETER EA DB 28705, 1<u>82.647'</u> 39' 11.19' CONCRETE CURB & GUTTER CONCRETE FLUME DETAIL HEAVY DUTY ASPHALT NOT TO SCALE TOOLED JOINT AT WALK -6" 3000 PSI CONCRETE CONCRETE PAVING DETAIL 1.5" TYPE "E" ASPHALT 1.5" BINDER 95% COMPACTED SUB-GRADE

SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO

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DETAILS OF 24" CONCRETE CURB AND GUTTER

HEAVY DUTY ASPHALT PAVING DETAIL

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SUITE 100 ATLANTA, GA 30345

OWNER INFORMATION: PATTILLO CONSTRUCTION CORPORATION 2600 CENTURY PARKWAY NE, SUITE 100

REVISIONS:

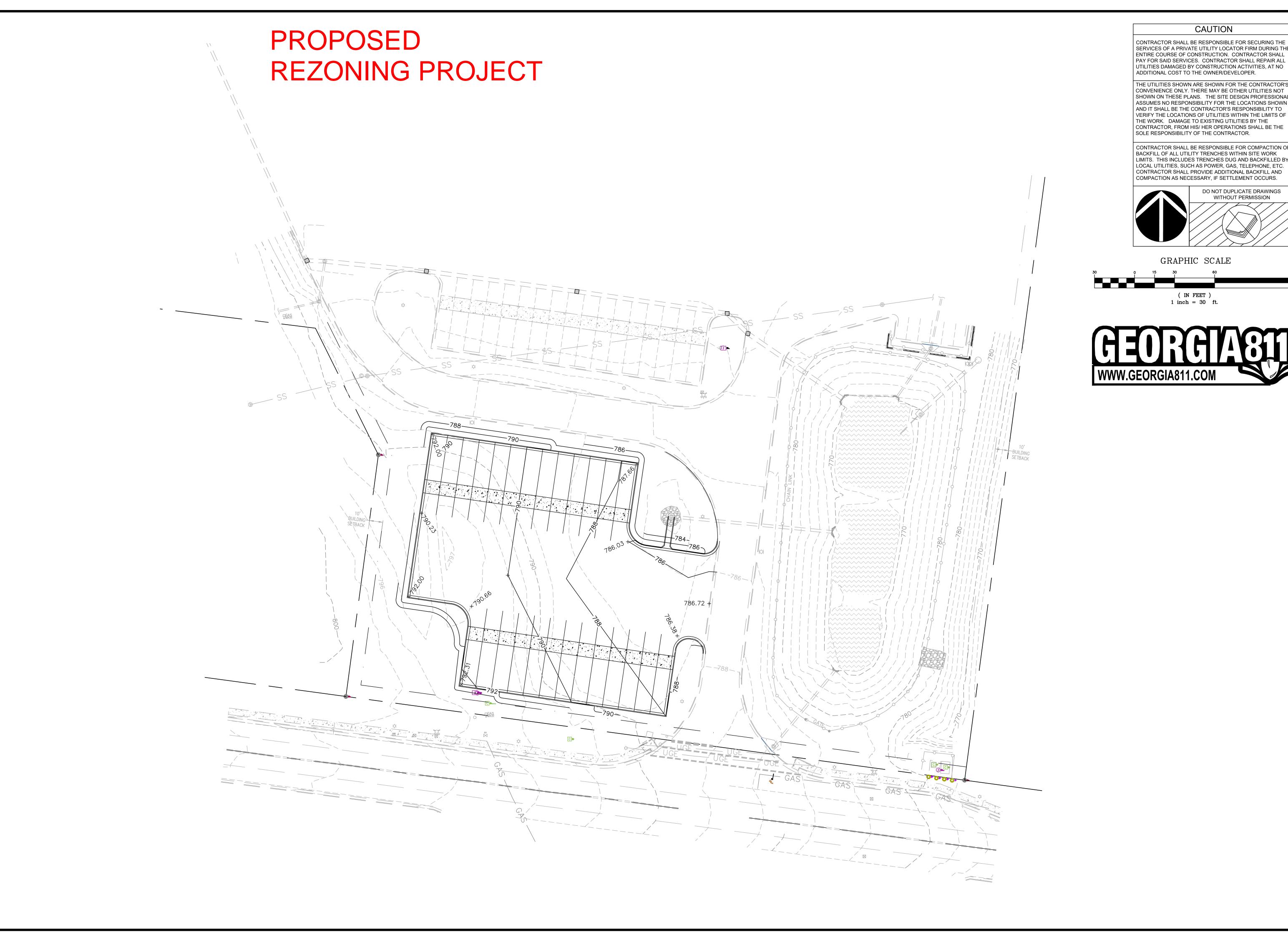
ATLANTA, GA 30345

TRUCK PARKING LOT

PANTHERS///LE | 3070 CLIFTON SP | DECATUR, GA

SHEET TITLE: SITE LAYOUT

SHEET NUMBER: C.200

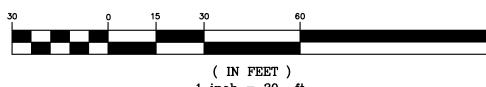


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DO NOT DUPLICATE DRAWINGS





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2600 CENTURY PARKWAY NE, SUITE 100 ATLANTA, GA 30345

OWNER INFORMATION: PATTILLO CONSTRUCTION

SUITE 100 ATLANTA, GA 30345

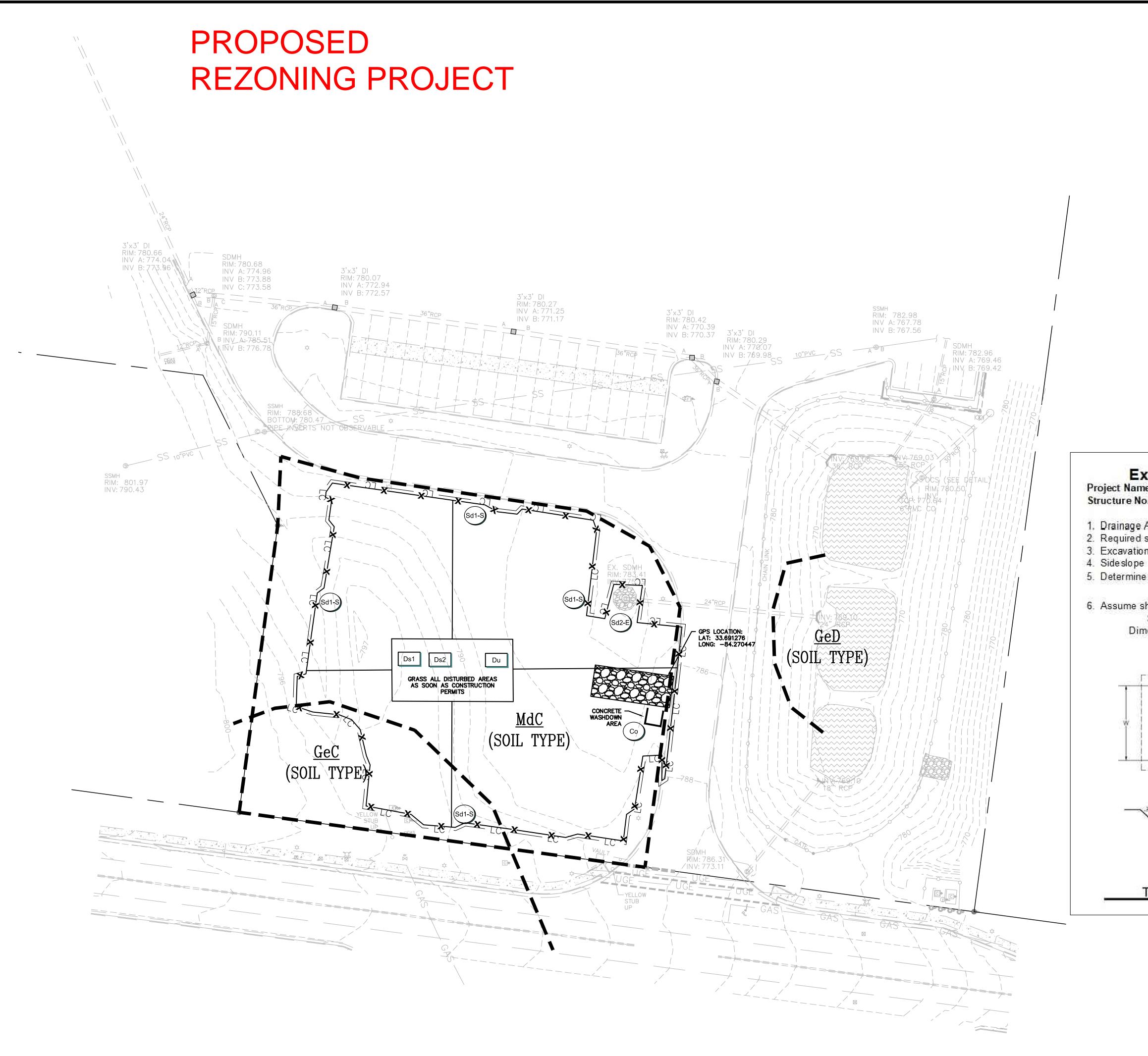
2600 CENTURY PARKWAY NE,

REVISIONS:

PANTHERSVILLE TRUCK PARKING LOT

SHEET TITLE:
GRADING &
DRAINAGE PLAN

SHEET NUMBER:

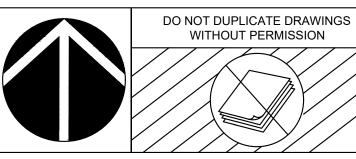


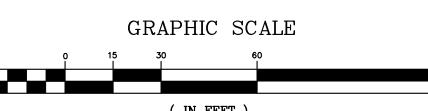
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1 inch = 30 ft.



# Excavated Inlet Sediment Trap Design Sheet Name: PANTHERSVILLE TRUCK PARKING LOT

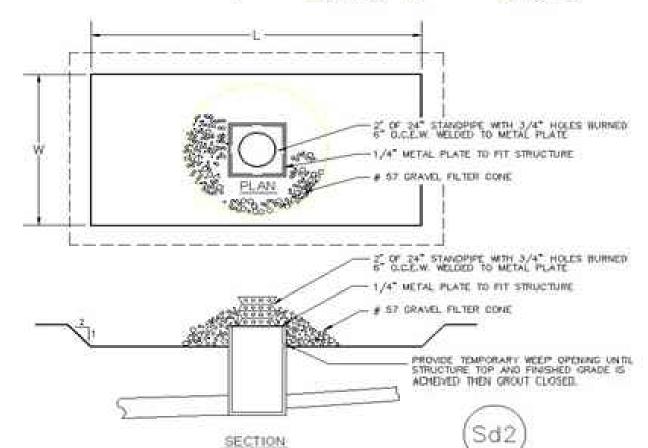
Project Name: Structure No. EXISTING

 Drainage Area 1.16 ac 2. Required sediment storage (67 cy/ac \* Da) 77.72 cy 1.50 ft 3. Excavation depth

2 1 5. Determine required surface area (SA<sub>min</sub> = req'd sediment storage / excavation depth)

 $SA_{min} = 51.81 \text{ sf}$ 6. Assume shape of excavation and determine dimensions

Shape = RECTANGLE I = 51.62382 ft w = 25.81191 ft Dimensions: 51.70 ft W = 25.85 ft



TEMPORARY SEDIMENT TRAP

**ESPC PHASE I NARRATIVE** 

DURING THE FIRST PHASE OF EROSION CONTROL INSTALL ALL PERIMETER BMPs SHOWN ON THIS PLAN - CONSTRUCTION ENTRANCE, SILT FENCE, AND UTILIZED FOR SILT STORAGE. THE TEMPORARY SEDIMENT TRAP WILL BE

THERE ARE 1.16 ACRES OF DISTURBANCE IN THIS PHASE.

SEDIMENT STORAGE REQUIRED: 1.16 ACRES X 67 CY/ACRE = 77.72 CY

951LF OF SILT FENCE X 2.5FT X 4.5FT: 396.25 CY

TOTAL SEDIMENT STORAGE PROVIDED IN PHASE 1: 396.25 CY

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SUITE 100 ATLANTA, GA 30345

OWNER INFORMATION: PATTILLO CONSTRUCTION 2600 CENTURY PARKWAY NE. SUITE 100

ATLANTA, GA 30345

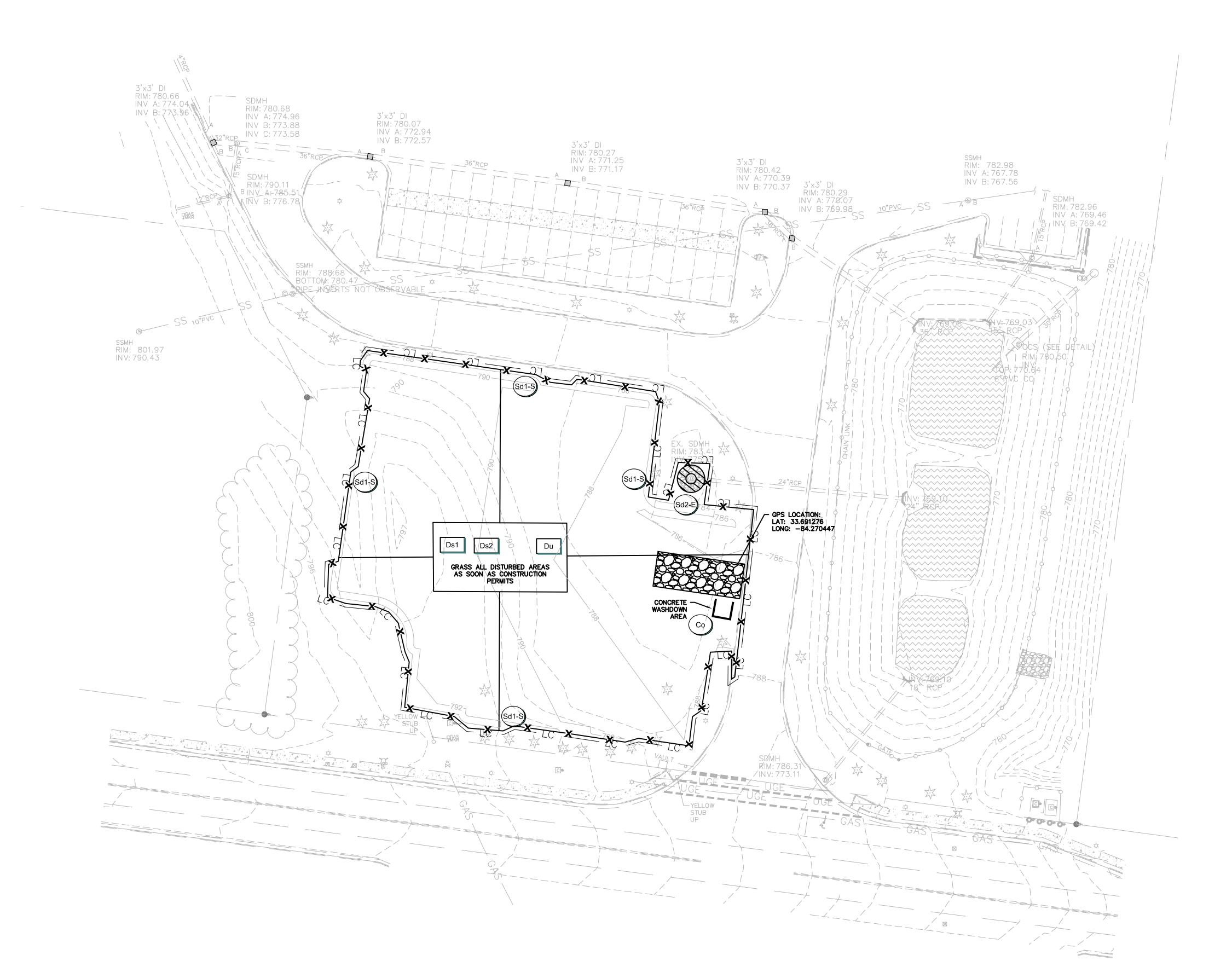
PARKING LOT | PANTHERSVILL

3070 CLIFT DECATUR,

SHEET TITLE: **EROSION** CONTROL PHASE

SHEET NUMBER: C.610

# PROPOSED REZONING PROJECT

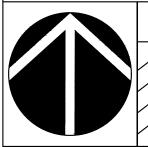


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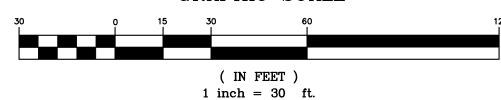
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GRAPHIC SCALE



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OWNER INFORMATION: PATTILLO CONSTRUCTION

SUITE 100 ATLANTA, GA 30345

2600 CENTURY PARKWAY NE,

**REVISIONS:** 

TRUCK PARKING LOT

### (35) ESPC PHASE II NARRATIVE

ENTRANCE, SILT FENCE, SEDIMENT TRAP, ETC. GRADING, STORM & UTILITY INSTALLATION WILL OCCUR IN THIS PHASE.

SEDIMENT STORAGE REQUIRED: 1.16 ACRES X 67 CY/ACRE = 77.72 CY

951LF OF SILT FENCE X 2.5FT X 4.5FT:396.25CY

TOTAL SEDIMENT STORAGE PROVIDED IN PHASE 2: 396.25 CY

# PANTHERSVIL

THERE ARE 1.16 ACRES OF DISTURBANCE IN THIS PHASE

SHEET TITLE: EROSION CONTROL PHASE

3070 CLIFT DECATUR,

SHEET NUMBER: C.620

#### (35) ESPC PHASE III NARRATIVE

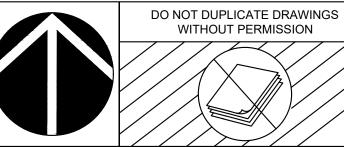
DURING THE THIRD PHASE OF EROSION CONTROL MAINTAIN ALL BMPs

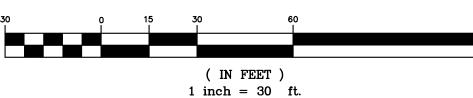
#### CAUTION

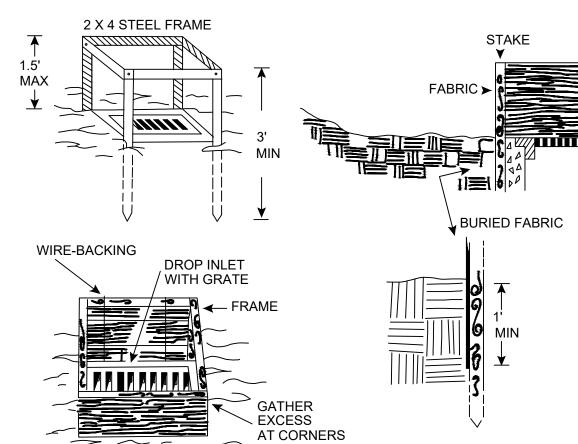
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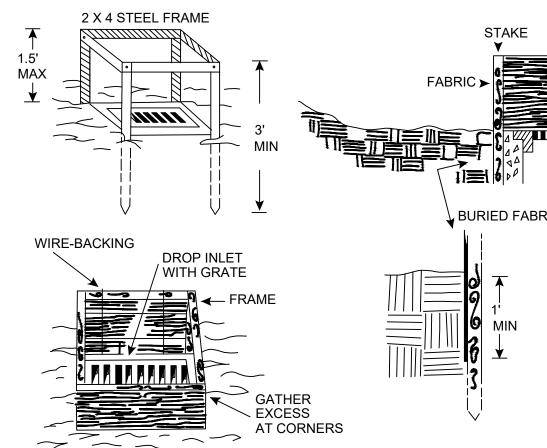
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) AND SUPPORTED BY STEEL POSTS SHALL BE USED. THE STAKES SHALL BE

INCHES DEEP. THE FABRIC SHALL BE ENTRENCHED 12 INCHES AND BACKFILLED WITH WITH CRUSHED STONE OR COMPACTED SOIL. FABRIC AND WIRE SHALL BE SECURELY FASTENED TO THE POSTS, AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUN OF 18 INCHES OR WRAPPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

FILTER FABRIC WITH SUPPORTING FRAME

GRAPHIC SCALE





FILTER FABRIC WITH SUPPORTING FRAME

SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS. AS SHOWN IN DETAIL, TYPE C SILT FENCE SPACED EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART, AND SECURELY DRIVEN IN TO THE GROUND, APPORIMATELY 18

PARKING LOT TRUCK | PANTHERSVIL 3070 CLIFT DECATUR,

MOORE CIVIL CONSULTING, INC

402 COURTNEY HODGES BLVD

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24 HOUR CONTACT: SILVIU TEIUSANU 770-200-3641

PATTILLO CONSTRUCTION

PATTILLO CONSTRUCTION

2600 CENTURY PARKWAY NE,

OWNER INFORMATION:

2600 CENTURY PARKWAY NE,

CORPORATION

SUITE 100 ATLANTA, GA 30345

SUITE 100

ATLANTA, GA 30345

**REVISIONS:** 

PERRY, GA 31069

706-224-1629

SHEET TITLE: **EROSION** CONTROL PHASE I

SHEET NUMBER:



CURRENTLY IN PLACE PER THIS PLAN. CONCRETE AND PAVEMENT SHALL BE POURED DURING THIS PHASE AS THE SITE APPROACHES FINAL GRADE. FINE GRADING SHALL OCCUR DURING THIS PHASE. TEMPORARY BMPs CAN BE REMOVED ONCE FINAL STABILIZATION IS REACHED FOR THE SITE.

PARCEL: 15 089 01 009 RIM: 780.66 NOW OR FORMERLY B9 PERIMETER EAST 2 OWNER LLC INV A: 774.04 DB 29860, PG 379 3'x3' DI RIM: 780.07 INV A: 772.94 INV B: 772.57 RIM: 780.27 RIM: 782.98 RIM: 780.42 INV A: 767.78 INV B: 767.56 RIM: 790.11 SSMH RIM: 801.97 PARCEL: 15 089 01 025 NOW OR FORMERLY DB 12236, PG 143 - GPS LOCATION: LAT: 33.691276 LONG: -84.270447 PARCEL: 15 NOW OR Ds2 Ds3 Du B9 PERIMETER DB 287C GRASS ALL DISTURBED AREAS AS SOON AS CONSTRUCTION PERMITS

Y 28. Description of the practices that will be used to reduce the pollutants in storm water discharges.\*

N/A 30. Provide complete requirements of inspections and record keeping by the primary permittee. \*

N/A 33. Description of analytical methods used to collect and analyze the samples from each location. \*

C610 Y 38. Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:

Map Scale

1 inch = 100 ft or

larger scale

N/A 42. Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.

Y 44. Provide hydrology study and maps of drainage basins for both the pre- and post- developed conditions. \*

Document found at www.gaswcc.georgia.gov.

Y 48. The limits of disturbance for each phase of construction.

C710 Y 47. Soil series for the project site and their delineation.

Sediment Control in Georgia.

would be N/A

Authority. Clearly note and delineate all areas of impact.

Y 43. Delineation and acreage of contributing drainage basins on the project site.

uniform coding symbols from the Manual, Chapter 6, with legend.

N/A 31. Provide complete requirements of sampling frequency and reporting of sampling results. \*

N/A 32. Provide complete details for retention of records as per Part IV.F. of the permit. \*

N/A 34. Appendix B rationale for NTU values at all outfall sampling points where applicable.

ALL Y 37. Graphic scale and North arrow.

Y 29. Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and

sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).

C610 Y 36. A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and

Ground Slope

Flat 0-2%

Rolling 2 - 8%

Steep 8% +

C710 N/A 40. Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia

Y 46. Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water

(C710) Y 49. Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated

C610 Y 50. Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use

C720 Y 52. Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching

C720 Y 51. Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and

inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until

attainable must be included in the Plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual must be included for structural BMPs and all calculations used by

impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw

rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.

\* If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream the \* checklist items

final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not

the storage design professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and

C710 N/A 41. Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing

Y 45. An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.

water from the surface are not feasible, a written justification explaining this decision must be included in the plan.

C710 Y 39. Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design

perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For Construction sites where there will be no mass grading and

Contour Intervals, ft

0.5 or 1

1 or 2

2, 5 or 10

the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the plan may combine all of the BMPs into a

N/A 35. Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged.

#### LOCATION MAP (N.T.S.)

Perimeter

College...

#### The project will be developed and constructed in one phase



"I certify under penalty of law that this Plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my supervision"

Gulf American



13

Professional (unless disapproved by GAEPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance

**Effective January 1, 2022** 

Clifton Springs (

QuikTrip

OWNER/DEVELOPER

PATTILLO CONSTRUCTION

CORPORATION

2600 CENTURY PKWY NE

SUITE 100

ATLANTA, GA 30345

Phone: (770) 200-3611

24 HR CONTACT:

SILVIU TEIUSANU

Phone: (770) 200-3641

FINAL DISTURBANCE AREA = **±0.95**AC.

TOTAL SITE AREA- ±11.05 AC.

(14) 7-DAY VISIT STATEMENT

"The primary permittee and tertiary permittee(s) must retain the design professional who prepared the Erosion, Sedimentation and Pollution Control Plan, or an alternative design professional approved by EPD in writing, to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within seven (7) days after installation. The design professional shall determine if these BMPs have been installed and are being maintained as designed. The design professional shall report the results of the inspection to the permittee within seven (7) days and the permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professional unless weather related site conditions are such that additional time is required. This requirement of this permit is not applicable to tertiary permittes with a Plan(s) for a typical individual lot(s), if the total land disturbance within the construction site is less than five (5) acres and the total land disturbance within each individual lot is less than one (1) acre."

(15) Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits.

(16) No buffer encroachments are part of this project.

#### NPDES NOTES

- Amendments/ revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."
- (18) "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit."\*
- 19 "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."

"Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment 21) source."

"Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."

No construction activities will discharge storm water into an Impaired Stream (22) Segment, or within I linear mile upstream of and within the same watershed as, (23) any portion of an Biota Impaired Stream Segment, therefore there will be no need for an If a TMDL Implementation Plan for sediment

#### CONCRETE WASHOUT

TI IS PROHIBITED TO WASHOUT THE DRUM OF CONCRETE TRUCK ON SITE. SEE DETAILS SHEET FOR BEST MANAGEMENT PRACTICES FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS, AND THE REAR OF THE VEHICLE ONLY

\_ A. Best management practices for prevention of petroleum spills: 25/- All onsite vehicles will be monitored for leaks and receive regular preventive

- maintenance to reduce the chance of leakage. - Petroleum products will be stored in tightly sealed containers that are clearly labeled. - Any petroleum to be stored in tanks will have be surrounded by an earthen berm as a
- secondary protective measure. - Any Asphalt substances used onsite will be applied according to the manufacture's
- Contractors and subcontractors are responsible for inspecting their equipment and providing necessary maintenance to eliminate petroleum spills.

#### BMPs for the remediation of all petroleum spills and leaks.

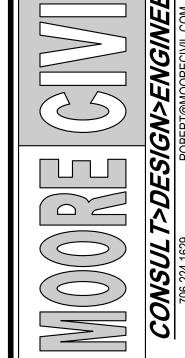
- Local, state and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.
- Materials and equipment necessary for spill cleanup will be kept in the material storage areas. typical materials and equipment includes, but is not limited to brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust, and properly labeled plastic and metal waste containers.
- Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
- All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, state, and federal regulations.
- The contractor shall notify the licensed professional who prepared this plan if more than 1,320 gallons of petroleum is stored onsite (this includes capacities for equipment) or if any one piece of equipment has a countermeasures plan prepared by that licensed professional.
- For spills that impact surface water (leave a sheen on surface water), the National Response Center (NRC) will be contacted within 24 hours at 1-800-424-8802. - For spills of an unknown amount, the National Response Center (NRC) will be contacted within 24 hours at 1-800-424-8802.
- For spills greater than 25 gallons and no surface water impacts, the Georgia Environmental Protection Division (EPD) will be contacted within 24 hours.
- For spills less than 25 gallons and no surface water impacts, the spill will be cleaned up and local agencies will be contacted as required.

#### ackslash THE MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL $\sqrt{26}$ POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED.

After site construction, Storm water runoff from this development will be collected in an onsite storm pipe system where it will be routed to an existing pipe that conveys the storm water runoff to an existing master pond.

#### 27 DESCRIPTION OF PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE.

During site construction, building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste will be COVERED WITH PLASTIC SHEETING to minimize exposure to precipitation and to stormwater.



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> 24 HOUR CONTACT: SILVIU TEIUSANU

770-200-3641 CLIENT:

PATTILLO CONSTRUCTION CORPORATION 2600 CENTURY PARKWAY NE, SUITE 100

ATLANTA, GA 30345

OWNER INFORMATION: PATTILLO CONSTRUCTION CORPORATION 2600 CENTURY PARKWAY NE, SUITE 100 ATLANTA, GA 30345

**REVISIONS:** 

PARKING TRUCK PANTHERS/ILL 3070 CLIFT DECATUR,

SHEET TITLE: NPDES NOTES

3(

SHEET NUMBER:

DESCRIPTION OF THE PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES.

During Site construction all storm water will be routed through the BMP's shown on the phased erosion control plans to reduce pollutant (Suspended Solids and sediment) in the storm water discharge from the site provided all the general measures are taken into account.

- Prior to land-disturbing activities, the contractor shall schedule a pre-construction meeting with the area erosion control inspector.

- Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding; disturbed areas idle 30 days shall be stabilized with permanent vegetation.

- Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as
- Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
- Silt fence shall meet the requirements of section 171 type C temporary silt fence, of the Georgia department of transportation standard specifications (qualified products list #36) and be wire reinforced. -A haul route permit is required when more than 500 cubic yards of hauled volume to or from the site. plans must include a statement indicating whether or not a haul route permit is required.



GEN	GENERAL CONSTRUCTION SCHEDULE										
BEGI	N CONSTRUCTION MARCH 2020		MON	TH 1	_			>	MONT	"H 12	,
1	INSTALL SEDIMENT CONTROL DEVICES										
2	CLEARING, DEMO AND GRADING										
3	TEMPORARY GRASSING										
4	MAINTAIN EROSION CONTROL DEVICES										
5	GRADING										
6	ASPHALT — BUILDING										
7	FINAL AND PERMANENT GRASSING						 				
8	CLEAN UP										

Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional

N/A for this site, however if any BMPs have proven not to function properly and the need for an alternative BMP is arisen, the following procedures documented below should be followed by the Design Professional

Jse of alternative BMPs whose performance has been documented to be equivalent or superior to conventional BMPs as certified by a Design rofessional may be allowed (unless disapproved by EPD or the Georgia soil and Water Conservation Commission).

Required documentation for alternative BMPs:

- One page summary detailing why the alternative BMP is equivalent or superior to the conventional BMPs found in the "Manual for Erosion and Bedimentation Control in Georgia" (manual).
- Documented side by side testing (alternative BMP vs. conventional BMP) using the appropriate design requirements and specifications contained
- Proof that the alternative BMP was previously installed and worked under conditions comparable to the environmental conditions of the proposed
- . All specifications including the design requirements and the procedures for proper installation and maintenance.

All forms of documentation must be signed and certified by the Design Professional who is preparing the ES&PC Plan and must include the Design rofessional's seal and GSWCC design Professional certification.

Use of alternative BMPs for application to the Equivalent BMP List, Please refer to Appendix A-2 of the Manual for Erds on & Sediment Control in Georg a 2016 Edition.

N/A for this site, however for a BMP to be considered for inclusion on the Equivalent BMP List, the Design Professional must compete the current process for Alternative BMPs as otuliend by GSWCC Guidnace on at least theree completed projects where EPD's Notice of Termination Form has been filed.

he following steps are required

- Provide pre-notice to EPD and GSWCC of the intent to apply for an Alternative BMP to be included on the Equivalent BMP List as follows: A. Specify on the required checklist that accompanies the Notice of Intent Form that the project includes an Alternative BMP that will be cluded on an Application for the Equivalent BMP List
- B. Inform GSWCC of the intent to apply by sending a digital copy of the approved ES\$PC Plan and a copy of the above to GSWCC when the

. Once the project involving the Alternative BMP has been completed and a Notice of Termination Form for the project has been filed, submit to

SWCC the following: A. An Application to be on the Equivalent BMP List and a sample of the BMP. B. Three sets-- one for each time the Alternative BMP was used in three separate projects-- of the required documentation to use the

C. Three sets-- one for each time the Alternative BMP was used in three separate projects-- of the Notice of Termination form for each project

Alternative BMP, based on the current approval process as outlined by GSWCC Guidance. Evidence of repeatable bench and filed testing must be

cluded as part of this documentation. Only approved ASTM standards will be accepted for repeatable bench testing; working test methods will not

D. A certification Form signed by two individuals -- a level II certified Design Professional and a level IA or Level IB Certified Personnel-- who evaluated the BMPs performance in the field stating that the Alternative BMP performed as expected throughout the life of each of the three

E. Three sets of installation photos -- one for each time the Alternative BMP was used-- of the Alternative BMP utilized in the three projects. F. Three sets of after-storm event photos-- one for each time the Alternative BMP was used-- of the Alternative BMP utilized in the three

G. Any post-storm event inspection records as well as inspection and enforcemnt records made by any fedral, state, or local regulatory agency

The above materials should be submitted to GSWCC both electrnoically and with hard copies to P.O. Box 8024, Athens, Georgia 30603. GSWCC will provide copies of the materials submitted to EPD and GDOT upon receipt. GSWCC will receive and review the information submitted above. GSWCC has the discretion to approve the application, deny the application, request a resubmittal, or request additional information, with consultation

Applicants will be informed of GSWCC's determination in writing. Applicants receiving approval for inclusion on the Equivalent BMP List will be notified within 90 days. Applicants with BMPs denied from inclusion on the Equivalent BMP List may seek review of the GSWCC's determination from the

Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to State waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.

N/A for this site.

Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.

There are no on-site wetlands located on and within 200 feet of the project site. There are no State waters located on and within 200 feet of the project site.

Delineation and acreage of contributing drainage basins on the project site.

An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.

RUNOFF COEFFICIENT

WEIGHTED PRE-CONSTRUCTION CURVE NUMBER (CN): 55

WEIGHTED POST-CONSTRUCTION CURVE NUMBER (CN): 74

Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.

Soil series for the project site and their delineation.

Refer to sheet C610 "Initial ES&PC Plan for Soil series delineation and classification

(48) The limits of disturbance for each phase of construction.

Total area = 11.05 AC. Disturbance area = **0.95 AC** 

Sediment basin requirement and Justification to use equivalent controls when a sediment basin is not attainable for this project

Sediment Storage will be provided with silt fences

Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.

## **GEORGIA** UNIFORM CODING SYSTEM

FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES

A crushed stone pad located at the construction site exit to provide a place for

emoving mud from tires thereby protecting

nstruction plan including access roads,

temporary channel constructed to conve

flow around a construction site while a permanent structure is being constructe

An earth channel or dike located above, b

or across a slope to divert runoff. This may be a temporary or permanent structure.

A temporary stone barrier constructed a

Rock filter baskets which are hand-place

channels or waterways where otherwise the slope would be sufficient for the running water to form gullies.

A structure to convert concentrated flow a water into less erosive sheet flow. This

A permanent or temporary stone filter dan

A device or structure placed in front of a

structure to serve as a temporary sediment

A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles

An impounding grea created by excavatir around a storm drain drop inlet. The excavated area will be filled and stabilized

A basin created by excavation or a dam across a waterway. The surface water rund is temporarily stored allowing the bulk of t

disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment basin is the lack of a pipe or rise

A buoyant device that releases/drains wate rom the surface of sediment ponds, traps, pasins at a controlled rate of flow.

diversion perpendicular to the direction of runoff to enhance dissipation and infiltration while creating multiple sedimentation chambe with the employment of intermediate dikes.

A flexible conduit of fleavy—acty factors of ther material designed to safely conduct surface runoff down a slope. This is tempo and inexpensive.

CODE PRACTICE DETAIL

ROCK FILTER DAM

RETRO FITTING

STRUCTURAL PRACTICES

TEMPORARY STREAM CROSSING A rough soil surface with horizontal TURBIDITY CURTAIN the water (it may also be referred to as a floating boom, silt barrier, or silt curtain). soil, storing it, then spreading it over the disturbed area after completion of To protect desirable trees from injury durin

**VEGETATIVE PRACTICES** 

CODE PRACTICE DETAIL MAP

CODE	TINACTICE	DLIAIL	SYMBOL	DESCRIPTION
Bf	BUFFER ZONE	4000		Strip of undisturbed original vegetation, enhanced or restored existing vegetation o the reestablishment of vegetation surround an area of disturbance or bordering stream
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	marrande	Cs	Planting vegetation on dunes that are deni artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not ha suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	W. W	Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods of highly erodable or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
FI-Co	FLOCCULANTS AND COAGULANTS		FI-Co	Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING PERM VEGETATION)		Sb	The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION		Ss	A protective covering used to prevent eros and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKIFIERS AND BINDERS		Tac	Substance used to anchor straw or hay mulch by causing the organic material to bind together.

GaSWCC (Amended - 2016)

Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.

Refer to Sheets C720 " STRUCTURAL EROSION DETAILS " for detailed drawings for all structural practices that meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.

Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.

Refer to Sheet C720, "VEGETATIVE EROSION DETAILS" for all vegetative plan noting all temporary and permanent vegetative practice including species, planting dates and seeding, fertilize, lime and mulching rates

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24 HOUR CONTACT: SILVIU TEIUSANU 770-200-3641

PATTILLO CONSTRUCTION CORPORATION

2600 CENTURY PARKWAY NE, SUITE 100 ATLANTA, GA 30345

OWNER INFORMATION: PATTILLO CONSTRUCTION CORPORATION 2600 CENTURY PARKWAY NE, SUITE 100

ATLANTA, GA 30345

**REVISIONS:** 

PARKING LOT **PANTHERSVILL** 70 CLIFT CATUR,

33 SHEET TITLE:

NPDES NOTES

SHEET NUMBER:

MATERIAL	QUANTITY
DRY STRAW OR HAY	2" - 4" DEPTH
WOOD WASTE (SAWDUST, BARK, CHIPS)	2" - 3" DEPTH
CUTBACK ASPHALT (SLOW CURING)	1200 GAL. PER ACRE (1/4 GAL PER SQ. YD.)
POLYETHYLENE FILM	COMPLETELY COVERING EXPOSED AREA. TRENCHED IN AT OUTER EDGES.

STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. MULCH MAY BE ANCHORED BY MECHANICALLY PRESSING INTO SURFACE. IF SPREAD WITH BLOWER EQIPMENT, MULCH SHALL BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1)--100 GAL. ASPHALT + 100 GAL. WATER PER TON OF MULCH. NETTING SHALL BE USED TO ANCHOR WOOD WASTE AND CHIPS. POLYETHYLENE SHALL BE TRENCHED IN AT EDGES.

#### | Ds1 | MULCHING

	Broa	dcast	Resource	Pla	nting D	ates b	y Resc	ource A	Preas							
Species	Rates 2/- Per <u>Acre</u>	PLS 3/ Per 1000 sq. ft	Area 4/	dott	lid line: ed line margin	s indic	ate pe				ting	Date	S	umma		Remarks
	Ì		ĺ	J	F	М	Α	М	J	J		Δ.	s o	N		
BARLEY (Horduem vulgare)			Р									-				14,000 seed per pound.
alone	3 bu. (144 lbs.)	3.3 lb.														Winterhardy. Use on productive soils.
n mixture	1/2 bu. (24 lbs.)	0.6 lb.		J	F	М	A	м	J	J		A	s o	N		
LESPEDEZA, ANNUAL				1									1		t	
(Lespedeza striata)			P			-	+									
alone	40 lbs.	0.9 lb.														200,000 seed per pound. May volunteer for several years. Use inoculant EL.
in mixtures	10 lbs.	0.2 lb.		J	F	м	A	м	J	J		Δ	s o	N		Sac     Sac     Sac     Sac     Sac     Sac     Sac     Sac   Sac     Sac
LOVEGRASS, WEEPING																
(Eragrostis curvula)			P			_		١.								4 500 000
alone	4 lbs.	0.1 lb.														1 ,500,000 seed per pound .  May last for several years. Mix with Sericea lespedeza.
n mixtures	2lbs.	0.05 lb.		J	F	М	А	М	J	J		A	s o	l N		·
MILLET, BROWNTOP																
(Panicum fasciculatum)		С	P				-									137,000 seed per pound . Quick dense cover. Will provide
alone in mixtures	40 lbs.	0.9 lb. 0.2 lb.														too much competition in mixtures if seeded at high rates.

	Broad	dcast	Resource	Plar	ting C	ates b	yReso	ource	Area	as						
Species	Rates 2/	- PLS 3/	Area 4/							Plan	ting C	ates				Remarks
	Per Acre	Per 1000 sq. ft.		dott	ed line		ate op cate pe es.)									
				J	F	м	А	м	J	J	А	s	0	N	D	
MILLET, PEARL Pennesetum glaucum)	50 lbs.	4.4.15	P													88,000 seed per pound. Quict dense cover. May reach 5 feet in height. Not recommended for mixtures.
alone	SUIDS.	1.1 lb.		J	F	м	А	м	ј	J	А	s	0	N	D	for mixtures.
DATS																
(Avena sativa)			P									-				13,000 seed per pound. Use on productive soils. Not as
alone	4 bu. (128 lbs.)	2.9 lb.														winterhardyas rye or barley
in mixtures	1 bu. (32 lbs.)	0.7lb.		J	F	М	А	м	J	J	А	s	0	N	D	
RYE (Secale cereale)			Р									_				18,000 seed per pound. Quic
alone	3 bu. (168 lbs.)	3.9 lb.														winterhardy.
n mixture	1/2 bu. (28 lbs.)	0.6 lb.		J	F	м	А	м	J	J	А	s	0	N	D	
RYEGRASS, ANNUAL (Lolium temulentum)			P	·			١.								-	227,000 seed per pound. Dense cover. Very competitive
alone	40 lbs.	0.9 lb.		J	F	м	А	м	J	J	А	s	0	N	D	and is <u>not</u> to be used in
SUDANGRASS Sorghum Sudanese)			Р													55,000 seed per pound. Good on droughty sites. <u>Not</u>
alone	60 lbs.	1.4lb			İ											recommended for mixtures.

	Broad	lcast	Resource	Plai	nting [	ates	by Re	sourc	e Are	as						
Species	Rates 2/- Per <u>Acre</u>	PLS 3/ Per 1000 sq.ft	Area 4/	(Sol	do	es indi etted lii margii	nes in	dicat	ım da			ates				Remarks
				J	F	М	Α	М	J	J	Α	s	0	N	D	
WHEAT			_													45.000
(Triticum Aestivum)			P													15,000 seed per pound .
alone	3 bu. (180 lbs.)	4.1 lb.														
in mixtures	1/2 bu.	0.7 lb.													1	
	(30 lbs.)								l							

1/ Temporary cover crops are very competitive and will crown out perennials if seeded too heavily 2/ Reduce seeding rates by 50% when drilled.

3/ PLS is an abbreviation for Pure Live Seed 4/ Prepresents the Southern Piedmont MLRA

#### STABILIZATION WITH TEMPORARY SEEDING

		Fertilizer Requirem	ents		plants
TYPE OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE	LOVEGRA (Eragrosti alone
1. Cool season	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 1/2/	w ith other
grasses	Second	6-12-12	1000 lbs./ac.	•	
	Maintenance	10-10-10	400 lbs./ac.	30	
2. Cool season	First	6-12-12	1500 lbs./ac.	0-50 lbs./ac. 1/	
grasses and	Second	0-10-10	1000 lbs./ac.		Spe
legumes	Maintenance	0-10-10	400 lbs./ac.		
3. Ground covers	First	10-10-10	1300 lbs./ac. 3/		MAIDENC
	Second	10-10-10	1300 lbs./ac. 3/		(Panicum
	Maintenance	10-10-10	1100 lbs./ac.		sprigs
4. Pine seedlings	First	20-10-5	one 21-gram pellet		PANICGR
			per seedling placed		COASTAI (Panicum
			in the closing hole		var. amar
5. Shrub Lespedeza	First	0-10-10	700 lbs./ac.		REED CAI
	Maintenance	0-10-10	700 lbs./ac. 4/		(Phalaris
6. Temporary	First	10-10-10	500 lbs./ac.	30 lbs./ac. 5/	alone
cover crops seeded alone					w ith othe
					SUNFLOW
7. Warm season	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 2/6/	(Helianthu
grasses	Second	6-12-12	800 lbs./ac.	50-100 lbs./ac. 2/	
	Maintenance	10-10-10	400 lbs./ac.	30lbs./ac.	
8. Warm season	First	6-12-12	1500 lbs./ac.	50 lbs./ac./6/	
grasses and	Second	0-10-10	1000 lbs./ac.		
legumes	Maintenance	0-10-10	400 lbs./ac.		De?

1/ Apply in spring following seeding.

2/ Apply in split applications when high rates are used. 3/ Apply in 3 split applications.

4/ Apply when plants are pruned.

5/ Apply to grass species only. 6/ Apply when plants grow to a height of 2 to 4 inches.

# PROPOSED Species | Coades | S.2 | S.2 | Planting Da 5 by Res | rec | reas | F nting Dates | Planting 
	cre	er 000 SQ. Tc.	V	dotte		dicate dicate dates.	optimu e permi )	m ate	·S ,				1	U		L	
		941.12	1	J	F	М	Α	М	J	J	Α	S	0	N	D	1_	
BAHA, PENSACOLA			P														
(Paspalum notatum)				•							'						166,000 seed per pound. Low growing, Sod forming, Slow to
raspaannotaany																	establish. Plant with a
alone or with	60 lbs.	1.4 lb.															companion crop. Will spread
emporary cover																	into bermuda pastures and
																	lawns. Mox with Sericea
with other perennials	30 lbs.	0.7 lb.								l							lespedeza or weeping lovegrass
			1	J	F	М	Α	М	J	J	Α	S	0	Ν	D	1_	
BAHA, WILMINGTON																	
(Paspalum notatum)			P	1.				_	t	ĺ							
alone or with	60 lbs.	1.4 lb.								1							Same as above.
emporary cover																	
with other perennials	30 lbs.	0.7 lb.		J	F	м	Α	м	J	J	A	s	0	N	D	i	
BERMUDA, COMMON			P	1	<u> </u>	·	^	IVI	1		, A	3	U	114	ע	-	
Cynodon dactyl on)			P				_		Γ	ľ							
-tulled seed				1													1,787,000 seed per pound.
idiled seed																	
																	Quick cover. Low growing
lone	10 lbs.	0.2 lb.								1							and sod forming. Full sun.
																	Good for athletic fields.
with other perennials	6 lbs.	0.1 lb.	I		l	l		l	ı		l						

		Broadcast	Resource	Plan	ting Da	ates by	Resour	ce Are	as							
S <u>p</u> ecies	Per <u>Acre</u>		<u>Area 3/</u>	dott	ed line:	indicat s indica al dates	te perm			Pk	anting	Dates				Remarks
				J	F	М	А	М	J	J	А	s	0	N	D	
BERMUDA, COMMON																
(Cynodon dactylon)			Р	-		t							$\vdash$		$\vdash$	
Unhulled seed																
with temporary cover	10 lbs.	0.2 lb.														Plant with winter annuals.
with other perennials	6 lbs.	0.1 lb.														Plant with tall fescue.
				J	F	М	A	М	J	J	A	s	0	N	D	
BERMUDA SPRIGS	40 cu. ft.	0.9 cu. ft.		-						Ĺ						A cubic foot contains
(Cynodon dactylon)	or															approximately 650 sprigs.
		sod plugs 3' x 3'														A bushel contains 1.25
Coastal, Common, Midland, or Tift 44																cubic feet or approximately
																800 sprigs.
Coastal, Common,			Р			•	_		1							Same as above.
				J	F	М	Α	М	J	J	А	S	0	N	D	
CENTIPEDE		Block sod only	Р	-											H	Drought tolerant. Full sun or
(Eremochloa ophiuroides)																partial shade. Effective adjacent
																to concrete and in concentrated
																flow areas. Irrigation is needed
																until fully established. Do not plant near pastures. Winterhardy
																as far north as Athens and
																Atlanta.
		1														

Species	Br	oadcast Rates 1/- PLS 2/	Resource	P	anting	Dates I	y Res	ource /	Areas		Plantir	na Dat				Remarks
perennials				J	F	М	A	М	J	J	А	S	0	N	D	areas or athletic fields.
with other	30 lbs.	0.7 lb.	Р								-					crow nvetch. Apply topdressin in spring follow ing fall plantings. Not for heavy use
alone	50 lbs.	1.1 lbs.														alone only on better sites. Not for droughty soils. Mix with perenniallespedezas or
(Festuca arundinacea)																227,000 seed per pound. Use
FESCUE. TALL				J	F	М	Α	М	J	J	Α	S	0	N	D	
																inoculant. Use from North Atlanta and Northward.
season grasses																of Tall fescue or 15 pounds of rye, inoculate seed with M
with winter annuals or cool	15 lbs.	0.3 lb.	P													pink, and white blossoms spri to late fall. Mix with 30 pounds
,	45.0															fire resistant. Attractive rose,
OROWNVETECH (Coronilla varia)																100,000 seed per pound. Den growth. Drought tolerant and
				J	F	М	Α	М	J	J	A	S	0	N	D	
	_	sq. ft		but n	nargina	I dates.	)									
	Per Acre	Per 1000				indicate indicate			5,							
Species	Rates 1/-	PLS 2/	Area 3/							PI	lanting	Dates				Remarks
		The state of the s			-											
	Broadca	st	Resource	Plant	ing Dat	es by R	esourc	e Area	S							

				J	F	м	А	М	J	J	A	s	0	N	D	
LESPEDEZA, SERICEA																350,000 seed per pound.
(Lespedeza cuneata)																Widely adapted. Low
scarified	60 lbs.	1.4 lbs.														maintenance. Mix with
			P			_	-									w eeping lovegrass, common
																bermuda, bahia, or tall fescue.
																Takes 2 to 3 years to become
																fully established. Excellent on roadbanks. Inoculate seed with
																EL inoculant.
unscarified	75 lbs.	1.7 lb.	P	_											$\vdash$	Mix with Tall fescue or winter
																annuals.
																Cut when seed is mature, but
seed-bearing hay	3 tons	138 lb.	P	П											П	before it shatters. Add Tall
																fescue or winter annuals.
				<u> </u>			1									rescue or writer arriuals.
		Broadcast	Resource	Plan	tina D	ates by	/ Resou	rce Area	ıs							
						,										
Species		Rates 1/ - PLS	2/ Area 3/	-						F	lanting	Dates				Remarks
	Per	Per		(Sol	id line:			num date					-			
	Acre	1000					tted line: rginal da	s indicati	perm	issible						
		sq.ft.								-	Τ.		1 -	1	1	- 1
LESPEDEZA				J	-	IV.	1 A	M	J	J	A	S	0	И	D	
Ambro virgeta																300,000 seed per pound.
(Lespedeza virgata DC)																Height of growth is 18 to 24
or Appalow																inches. Advantageous in urba
(Lespedeza cuneata																areas. Spreading-type growth has bronze coloration. Mx wi
[Dumont] G. Don)																Weeping lovegrass, Common
	60 lbs.	1.4 lb.	P													bermuda, bahia, tall fes winter annuals. Do not mix wi
scarified	OU IDS.	1.4 ID.	P			1	$\neg$		1 .							Sericea lespedaza. Slow to
																develop solid stands, inoculat
																seed with BL inoculate.
unscarified	75 lbs.	1.7 b.	P	-	+	-							$\vdash$	+-	1	-
				J	F	N	1 A	M	J	J	Α	S	0	N	D	
LESPEDEZA, SHRUB													ļ			
(Lespedeza bicolor)			P													
(Lespedeza thumbergii)																Provide wildlife food and cove
plants		3'x3'														
			1	J	F	M	1 A	M	J	J	А	S	0	N	D	
LOVEGRASS, WEEPING	Vacana de la companya del companya de la companya del companya de la companya de															-
(Eragrostis curvula)																1,500,000 seed per pound.
alone	4 lbs	0.1 lb.	P						١.							Quick cover. Drought tolerant. Grows well with Sericea
	1	V. 1 W.				1			] .						1	lespedeza on roadbanks.
w ith other perennials	2 lbs.	0.05 lb.	1	İ			1		Ì	İ	Ì	Ì	İ	İ	ĺ	
** in router perentials	2 105.	0.03 ID.							_		_		<u> </u>			
	I															
		Broadcast	Resource	Planti	na Da	tes bv	Resou	rce Area	ıs							

		Broadcast	Resource	Plan	ting Da	ites by I	Resour	ce Are	as							
Species		Rates 1/- PLS 2/	Area 3/							Pi	anting	Dates				Remarks
	Per <u>Acre</u>	Per 1000 sq. ft.		(Sol		indicat dotted it margir	lines in	idic <i>a</i> te		sible	•					
				J	F	М	Α	М	J	J	Α	s	0	N	D	
MAIDENCA NE Panicum hemitomon)																For very wet sites. May clog channels. Dig sprigs from local sources. Use along river banks
sprigs	2'	x 3' spacing	ALL	J	F	М	A	M	J	J	Α	s	0	N	D	and shorelines.
PANICGRASS, ATLANTIC	20 lbs.	0.5 lb.	Р	1	·		,	101	J	J		J	Ü	- 14	D	Grows well on coastal sand dunes, borrow areas, and grave
Panicum amarum ⁄ar. amarulum)																pils. Provides winter cover for wildlife. Mx with Sericea
																lespedeza except on sand dunes
REED CANARY GRASS				J	F	М	А	М	J	J	Α	S	0	N	D	+
Phalaris arundinacea)																
alone	50 lbs.	1.1 lb.														Grows similar to tall fescue.
			Р									-	-			
vith other perennials	30 lbs.	0.7 lb.														
SUNFLOWER 'AZTEC	10 lbs.	0.2 lb.	P	J	F	М	Α	М	J	J	Α	S	0	N	D	227 000 and new nound 15:
AXIMILLIAM Helianthus maximiliani)	TU IDS.	0.2 lb.	۲													227,000 seed per pound. Mix with weeping lovegrass or other low-growing grasses or legumes.

Ds3 | STABILIZATION WITH PERMANENT VEGETATION

#### APPROPRIATE SOD VARIETIES FOR MACON

GRASS	VARIETY	GROWING SEASON
BERMUDA	COMMON TIFWAY TIFGREEEN, TIFLAWN	WARM WEATHER
BAHIA	PENSACOLA	WARM WEATHER
CENTIPEDE		WARM WEATHER
ZOYSIA	EMERALD MEYERW	/ARM WEATHER
TALL FESCUE	KENTUCKY (	OOL WEATHER

#### SOIL PREPARATION

BRING SOIL SURFACE TO FINAL GRADE. CLEAR SURFACE OF TRASH WOODY DEBRIS, STONES AND CLODS LARGER THAN 1". APPLY SOD TO SOIL SURFACES ONLY AND NOT FROZEN SURFACES, OR GRAVEL TYPE

MIX FERTILIZER INTO SOIL SURFACE. FERTILIZE BASED ON SOIL TESTS OR GENERAL APPLICATION OF 10-10-10 @ 1000 LBS PER ACRE (1 LB /40 SQ. FT.) AGRICULTURAL LIME SHOULD BE APPLIED BASED ON SOIL TESTS OR AT A RATE OF 1 TO 2 TONS / ACRE.

GRASS TYPE	PLANTING YEAR	FERTILIZER (NPK)	RATE (LBS/ ACRE)	NITROGEN TOP DRESSING (LBS/ ACRE)
COOL SEASON GRASSES	1ST 2ND MAINTENACE	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100  30
WARM SEASON GRASSES	1ST 2ND MAINTENACE	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 50-100 30

#### STABILIZATION WITH SODDING

# Du DUST DUST CONTROL CONTROL **TEMPORARY METHODS**

MULCHES. SEE STANDARD DS1 - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO STANDARD TB-TACKIFIERS AND BINDERS. RESINS SUCH AS CURASOL OR TERRATACK SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

VEGETATIVE COVER. SEE STANDARD DS2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING).

SPRAY-ON ADHESIVES. THESE ARE USED ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO STANDARD TB-TACKIFIERS AND

TILLAGE. THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS.

IRRIGATION. THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.

BARRIERS. SOLID BOARD FENCES, SNOWFENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.

CALCIUM CHLORIDE. APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED

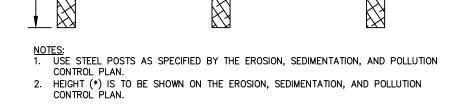
#### **PERMANENT METHODS**

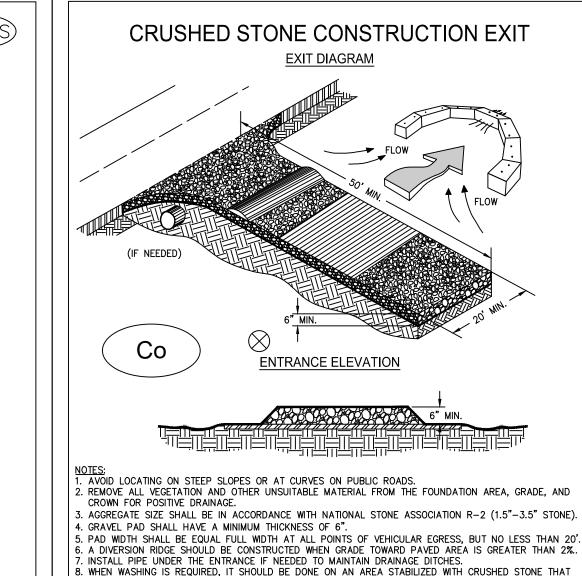
PERMANENT VEGETATION. SEE STANDARD DS3 -DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING. THIS ENTAILS COVERING THE SURFACE WITH LESS EROSIVE SOIL MATERIAL. SEE STANDARD TP - TOPSOILING.

STONE. COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE STANDARD CR-CONSTRUCTION ROAD STABILIZATION.

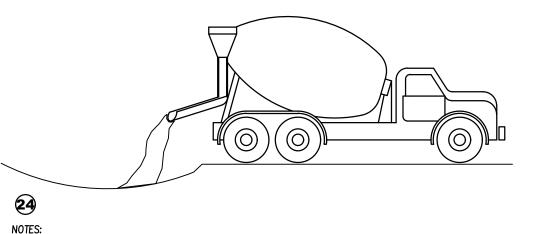
# SILT FENCE - TYPE SENSITIVE (\$d1-\$) - 4' MAX. O.C. --(WOVEN WIRE FENCE





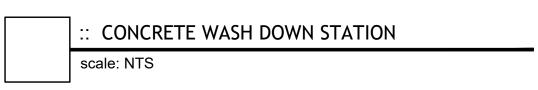
DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE). ). WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT O.MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES

USED TO TRAP SEDIMENT.



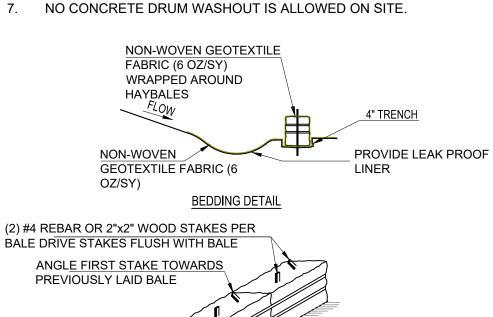
I. DESIGNATE WASHDOWN AREA AND EXCAVATE PIT LARGE ENOUGH TO CONTAIN WASHDOWN WATER. THIS MUST BE AWAY FROM STORM DRAINS AND WATERWAYS.

- 2. ADVISE CONCRETE TRUCK DRIVERS OF THE DESIGNATED WASH-OUT AREAS BEFORE THEY START THE JOB.
- 3. WASHDOWN CHUTE, HOPPER, AND REAR OF VEHICLE ONLY. DO NOT WASH OUT DRUM.
- 4. ENSURE THAT ALL WASHDOWN WATER STAYS IN PIT.
- 5. DISPOSE OF SETTLED, HARDENED CONCRETE IN GARBAGE WITH OTHER CONSTRUCTION DEBRIS.
- 6. NEVER DISPOSE OF WASHDOWN WATER IN STREETS, STORM DRAINS, OR STREAMS.
- 7. PROVIDE A LEAK PROOF LINER IN WASH OUT AREA



#### BALES SHALL BE PLACED ON THE CONTOUR PER PLANS AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT

- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBAR DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARDS THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE
- INSPECTION SHALL BE FREQUENT AND REPAIR AND/OR
- REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR
- PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE. CONTRACTOR SHALL PROVIDE CLEARLY POSTED SIGNAGE
- INDICATING WASHDOWN AREA.



GEOTEXTILE FABRIC (6 OZ/SY) **CONCRETE WASHDOWN AREA** 

## NOT TO SCALE #24

**BOUND BALES WRAPPED** 

IN NON-WOVEN

#### **VEGETATION NOTES**

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. TEMPORARY GRASSING, INSTEAD OF MULCH, CAN BE APPLIED TO ROUGH GRADED AREAS THAT WILL BE EXPOSED FOR LESS THAN SIX MONTHS. IF AN AREA IS EXPECTED TO BE UNDISTURBED FOR LONGER THAN SIX MONTHS, PERMANENT PERENNIAL VEGETATION SHALL BE USED. IF OPTIMUM PLANTING CONDITIONS FOR TEMPORARY GRASSING IS LACKING, MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. REFER TO SPECIFICATION DS1-DISTURBED AREA STABILIZATION (WITH MULCHING ONLY).

WHEN A HYDRAULIC SEEDER IS USED, SEEDBED PREPARATION IS NOT REQUIRED. WHEN USING CONVENTIONAL OR HANDSEEDING, SEEDBED PREPARATION IS NOT REQUIRED IF THE SOIL MATERIAL IS LOOSE AND NOT SEALED BY RAINFALL. WHEN SOIL HAS BEEN SEALED BY RAINFALL OR CONSISTS OF SMOOTH CUT SLOPES, THE SOIL SHALL BE PITTED, TRENCHED OR OTHERWISE SCARIFIED TO PROVIDE A PLACE FOR SEED TO LODGE AND GERMINATE.

#### LIME AND FERTILIZER (TEMPORARY VEGETATION, DS-2)

AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. GRADED AREAS REQUIRE LIME APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF FERTILIZER IS NEEDED. ON REASONABLY FERTILE SOILS OR SOIL MATERIAL, FERTILIZER IS NOT REQUIRED. FOR SOILS WITH VERY LOW FERTILITY, 500 TO 700 POUNDS OF 10-10-10 FERTILIZER OR THE EQUIVALENT PER ACRE (12-16 LBS./1,000 SQ. FT.) SHALL BE APPLIED. FERTILIZER SHOULD BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER OR CHISEL.

#### LIME AND FERTILIZER RATES AND ANALYSIS (PERMANENT VEGETATION, DS-3)

AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF AGRICULTURE. INITIAL FERTILIZATION, NITROGEN, TOPDRESSING, AND MAINTENANCE FERTILIZER REQUIREMENTS FOR EACH SPECIES OR COMBINATION OF SPECIES ARE LISTED IN TABLE 6-5.1.

MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDED AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED: 1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2 1/2 TONS PER ACRE. 2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER SHALL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRY STRAW OR DRY HAY SHALL BE APPLIED (AT THE RATE INDICATED ABOVE) AFTER

HYDRAULIC SEEDING

3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER, WHICH INCLUDES A TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER.

4. SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE.

5. PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3 INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDED AREAS. 6. WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLOCK SOD, MULCH IS NOT REQUIRED.

7. BITUMINOUS TREATED ROVING MAY BE APPLIED ON PLANTED AREAS ON SLOPES, IN DITCHES OR DRY WATERWAYS TO PREVENT EROSION. BITUMINOUS TREATED ROVING SHALL BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

00 07 E(  $\Omega$ SHEET TITLE: EROSION

CONTROL DETAILS SHEET NUMBER:

MOORE CIVIL CONSULTING, INC

PERRY, GA 31069

706-224-1629

402 COURTNEY HODGES BLVD

IOT RELEASED FOR CONSTRUCTION

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PATTILLO CONSTRUCTION

24 HOUR CONTACT:

SILVIU TEIUSANU

CORPORATION

ATLANTA, GA 30345

2600 CENTURY PARKWAY NE,

OWNER INFORMATION:

2600 CENTURY PARKWAY NE,

CORPORATION

ATLANTA, GA 30345

**REVISIONS:** 

ARKING

M

PATTILLO CONSTRUCTION

770-200-3641

CLIENT:

SUITE 100

SUITE 100



#### STATEMENT OF INTENT

and

Other Material Required by
DeKalb County Zoning Ordinance
For
A Major Modification of Zoning Conditions Pursuant to
DeKalb County Zoning Ordinance

of

LINK LOGISTICS c/o Battle Law, P.C.

for

+/-11.053 Acres of Land
Being 3070 Clifton Springs Road, Decatur
DeKalb County, Georgia and
Parcel No. 15-089-01-009

Submitted for Applicant by:

Michèle L. Battle, Esq.
Battle Law, P.C.
Habersham at Northlake, Building J, Suite 100
Tucker, Georgia 300384
(404) 601-7616 Phone
(404) 745-0045 Facsimile
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#### I. LETTER OF INTENT

Link Logistics (the "Applicant") is seeking a Major Modification to an approved site plan on +/-11.053 acres of land being Tax Parcel No. 15-089-01-009 and 3070 Clifton Springs Road, Decatur, GA, 30034 (the "Subject Property") to redesign the parking lot of an approved site plan. The Site Plan was approved with conditions on July 23<sup>rd</sup>, 2019, as agenda item 2019-3843 (a copy of the approval and the conditions are attached here as Exhibit A and Exhibit B). The Applicant is seeking a Major Modification of condition #1. The proposed redesign of the parking lot has identical capacity to the original site plan, 25 truck trailer parking spots, but features an additional passenger vehicle driveway that promotes separation of truck and car traffic. The driveway moves the parking lot 10 feet closer to the public right of way on Clifton Springs Road. The proposed redesign also includes an enhanced landscaping plan for additional plantings on Clifton Springs Road to provide visual screening between the lot and the public street.

This document serves as a statement of intent and contains notice of constitutional allegations as a reservation of the Applicant's rights.

#### II. <u>DEKALB COUNTY CRITERIA FOR</u> MAJOR MODIFICATIONS OF ZONING CONDITIONS

1. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property;

The zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property. The modification to allow the parking lot to be 10 ft closer to the road will allow the property to efficiently continue its current use as light industrial. In consideration of any visual impacts of moving the lot, the owner has prepared a landscaping plan and rendering of additional plant material that will be installed to provide a visual screening between the proposed trailer lot and the sidewalk on Clifton Springs Road. The enhanced landscaping will benefit the community by contributing to the beautification of Clifton Springs Road, in line with the beautification goals of the I-20 Overlay District.

2. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;

The zoning proposal will not adversely affect the exiting use or usability of adjacent or nearby property. The proposal will enhance the usability of nearby property by improving traffic flow at the property, preventing trucks from waiting in the public right of way on Clifton Springs Road.

3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;

The property to be affected by the zoning proposal does not have a reasonable economic use as currently zoned.

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4. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools;

The zoning proposal will not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The vehicle volume served by this modified site plan is equivalent to the original site plan. Having adequate parking available at this facility is important to ensure that existing streets will not be burdened by waiting trucks. Additionally, the proposal in no way affects historic buildings or heritage sites.

5. Whether the zoning proposal is in conformity with the policy and intent of the land use plan; and

The zoning proposal is in conformity with the policy and intent of the land use plan. The property is zoned M1 and the future land use plan characterizes this area as light industrial. The future land use map imagines distribution facilities like this one being located here. Having the approved amount of parking available on this site will promote economic development in the area by supporting approximately 50 new jobs for area residents at the industrial warehouse on the property, currently occupied by Ross Dress For Less.

6. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.

The new site plan's vehicle access road separate car and heavy truck traffic on the site, which will improve safety for all drivers through the property while maintaining the same amount of parking approved in the original site plan. Returning to the original site plan would reintroduce a hazard to the property.

Besides the safety benefits, the Applicant is not aware of other existing or changing conditions affecting the use and development of the property which give grounds for either approval or disapproval of the zoning proposal.

#### III. CONCLUSION

The Applicant respectfully requests the Major Modification Application be approved. The Applicant welcomes any questions and feedback from the planning staff so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 4<sup>th</sup> day of May, 2023



#### IV. NOTICE OF CONSTITUTIONAL ALLEGATIONS AND PRESERVATION OF CONTITUTIONAL RIGHTS

The portions of the DeKalb County Zoning Ordinance, facially and as applied to the Subject Property, which restrict or classify or may restrict or classify the Subject Property so as to prohibit its development as proposed by the Applicant are or would be unconstitutional in that they would destroy the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States and Article I, Section I, Paragraph I of the Constitution of the State of Georgia of 1983, Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and would be in violation of the Commerce Clause, Article I, Section 8, Clause 3 of the Constitution of the United States.

The application of the DeKalb County Zoning Ordinance to the Subject Property which restricts its use to any classification other than that proposed by the Applicant is unconstitutional, illegal, null and void, constituting a taking of Applicant's Property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and the Equal Protection and Due Process Clauses of the Fourteenth Amendment to the Constitution of the United States denying the Applicant an economically viable use of its land while not substantially advancing legitimate state interests.

A denial of this Application would constitute an arbitrary irrational abuse of discretion and unreasonable use of the zoning power because they bear no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Applicant in violation of the due process and equal protection rights guaranteed by the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph 1 of the Constitution of the State of Georgia.

A refusal by the DeKalb County Commission to amend the land use and/or rezone the Subject Property to the classification as requested by the Applicant would be unconstitutional and discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and owners of similarly situated property in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Any Rezoning of the Property subject to conditions which are different from the conditions requested by the Applicant, to the extent such different conditions would have the effect of further restricting Applicant's utilization of the property, would also constitute an arbitrary, capricious and discriminatory act in zoning the Subject Property to an unconstitutional classification and would likewise violate each of the provisions of the State and Federal Constitutions set forth hereinabove.

A refusal to allow the Major Modification of Zoning Conditions in question would be unjustified from a fact-based standpoint and instead would result only from constituent opposition, which would be an unlawful delegation of authority in violation of Article IX, Section II, Paragraph IV of the Georgia Constitution.



A refusal to allow the Major Modification of Zoning Conditions in question would be invalid inasmuch as it would be denied pursuant to an ordinance which is not in compliance with the Zoning Procedures Law, O.C.G.A Section 36-66/1 et seq., due to the manner in which the Ordinance as a whole and its map(s) have been adopted.

The existing zoning classification on the Subject Property is unconstitutional as it applies to the Subject Property. This notice is being given to comply with the provisions of O.C.G.A. Section 36-11-1 to afford the County an opportunity to revise the Property to a constitutional classification. If action is not taken by the County to rectify this unconstitutional land use designation and/or zoning classification within a reasonable time, the Applicant is hereby placing the County on notice that it may elect to file a claim in the DeKalb County Georgia Superior Court demanding just and adequate compensation under Georgia law for the taking of the Subject Property, diminution of value of the Subject Property, attorney's fees and other damages arising out of the unlawful deprivation of the Applicant's property rights.

MLB

Michele L. Battle, Esq. Attorney for the Applicant

#### **DeKalb County Government**

Manuel J. Maloof Center 1300 Commerce Drive Decatur, Georgia 30030



#### **Meeting Minutes**

Tuesday, July 23, 2019 6:30 PM

Manuel J. Maloof Auditorium

#### **Board of Commissioners - Zoning Meeting**

Commissioner Jeff Rader, Presiding Officer, District 2 Commissioner Steve Bradshaw, Deputy Presiding Officer, District 4

Commissioner Nancy Jester, District 1
Commissioner Jeff Rader, District 2
Commissioner Larry Johnson, District 3
Commissioner Steve Bradshaw, District 4
Commissioner Mereda Davis Johnson, District 5
Commissioner Kathie Gannon, Super District 6
Commissioner Lorraine Cochran-Johnson, Super District 7



**N4** 2019-3843 COMMISSION DISTRICT(S): 3 & 6

Application of Strategic Development Partners to rezone from C-1 (Local Commercial District) to M (Light Industrial) to allow development of a 125,000 square foot industrial building, at 3112 Panthersville Road.

JR Wright, 3715 Northside Pkwy, Bldg 400, Ste. 425 Atlanta, GA 30327, Stephen Bridges, 1303 Peachtree View NW Atlanta, GA 30319, spoke in favor

Will Barnes, 1470 Flat Shoals Atlanta, GA 30316, Dorcas Henegan, 3619 Panthersville Road Decatur, GA 30034, spoke in opposition

MOTION was made by Larry Johnson, seconded by Kathie Gannon, that this agenda item be approved with 4 staff conditions. Commissioner Nancy Jester was absent from the meeting. The motion carried by the following vote:

Yes:

6 - Commissioner Rader, Commissioner Johnson,
 Commissioner Gannon, Commissioner Bradshaw,
 Commissioner Davis Johnson, and Commissioner
 Cochran-Johnson

**Absent:** 1 - Commissioner Jester

#### ADJOURNMENT:

There being no further official business, MOTION was made by Commissioner Mereda Davis Johnson and seconded by Commissioner Kathie Gannon to adjourn the July 23, 2019 Board of Commissioners Zoning meeting at 7:50 p.m. Commissioner Nancy Jester was absent from the meeting. The motion carried by the following vote:

Yes:

6 - Commissioner Rader, Commissioner Johnson,
 Commissioner Gannon, Commissioner Bradshaw,
 Commissioner Davis Johnson, and Commissioner
 Cochran-Johnson

Absent: 1 - Commissioner Jester

Jeff Rader Presiding Officer

Michael Thurmond
Chief Executive Officer

Barbara Sanders-Norwood County Clerk

#### Exhibit B

#### Z-19-1243269

#### **Recommended Conditions**

- This site shall be developed in substantial conformity to the site plan and renderings entitled 3112 Pathersville Road and 3112 Panthersville Distribution Center stamped received by DeKalb County Planning and Sustainability Department on April 29, 2019.
- 2. A 15 foot landscape strip and 5 foot sidewalks shall be placed along Panthersville Road and Clifton Roads with 15% of tree species selected to screen activities on subject property subject to the approval of the County Arborist.
- 3. Access points are subject to approval by the Transportation Division of the Department of Public Works.
- 4. The approval of this rezoning application by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by such entity.





