

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: 483 Princeton Way

Applicant: Rosalie Ezekiel / Ezekiel Architects E-Mail: rosalie@ezekielarchitects.com

Applicant Mailing Address: 153 Greenwood Place, Decatur, GA 30030

Applicant Phone(s): 404-788-2135 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other _____

Owner(s): Ward Copeland E-Mail: wardcopeland14@gmail.com

Stacie Copeland E-Mail: roancopeland@gmail.com

Owner(s) Mailing Address: 483 Princeton Way, Atlanta, GA 30307

Owner(s) Telephone Number: 404-931-3455

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project: 1940

Nature of work (check all that apply):

- New construction Demolition Addition Moving a building Other building changes
New accessory building Landscaping Fence/Wall Other environmental changes
Sign installation or replacement Other

Description of Work:

See attached project description. This is a revision for a window change on a previously approved Certificate
of Appropriateness. The additional windows will not be seen from the street as they are located on the side of
the garage that is obscured from view by the main house.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov An incomplete application will not be accepted.

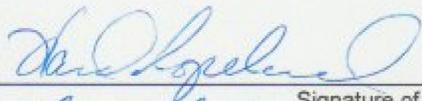
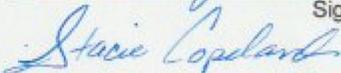
Rosalie Ezekiel 9/22/2023
Signature of Applicant/Date

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We, Ward and Stacie Copeland
being owner(s) of the property at 483 Princeton Way NE Atlanta, GA 30307
hereby delegate authority to Rosalie Ezekiel / Ezekiel Architects
to file an application for a certificate of appropriateness in my/our behalf.


Signature of Owner(s)


5/23/23
Date
5/23/23

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

**Application for Certificate of Appropriateness for
483 Princeton Way**

DeKalb County Historic Preservation Commission

September 22, 2023

Project Description from COA application page 1:

This submittal is a proposed revision to a previously approved Certificate of Appropriateness submitted on May 24, 2023 and approved on July 12, 2023. The changes have been marked with a cloud on sheets A-5 and A-6. They include the addition of four fixed windows to the side of the garage and a slight change in dimension to the two windows on the rear of the garage. The rear windows were in the previously approved application. The proposed side windows face the property (not the lot line) and will not be seen from the street as the side of the garage is obscured from view by the main house. There are no changes to the footprint or layout of the garage from the previously approved application.

Project Description from the previously approved application:

483 Princeton Way is a 1940's house located in the Emory Grove subdivision of Historic Druid Hills. The property consists of a single family 1.5 story house with a driveway and detached garage to the rear of the house. A tree fell on the garage less than a year ago and has left it structurally unsound. The owners request a Certificate of Appropriateness to renovate the garage in the existing location.

The proposed project scope is to rebuild the existing garage in the existing location and add less than 2 feet in each direction in order to accommodate a modern car. The single car garage is scaled to what is needed to minimally house one car. The proposed plan shows additional garage storage to the rear of the garage as well as a covered patio that will not be seen from the street. The portion of the proposed garage that can be seen from the street is in keeping with the original single car garage.

A variance has been granted to allow for a side yard reduction of 5'-8" in order to maintain the existing location of the garage. The lot is narrow and the driveway side of the existing house sits on the edge of the existing narrow driveway which is very close to the side yard property line. The rear of the property consists of many large trees so moving the garage away from its existing location would negatively impact the existing tree canopy.

The portion of the proposed garage that is minimally seen from the street is appropriately scaled to the proportions of the existing single car garage in the existing location. The additional covered patio and garage storage are tucked to the side,

blocked by the main house, or behind the garage itself. The proposed work requests maintaining the garage's existing location for reasons that the lot is exceptionally narrow and barely allows for a car to drive past the main house as it is and due to the fact that there are several large hard wood trees and one pine tree that would be negatively impacted if the existing garage were to change locations.



DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability 178 Sams Street
Decatur, GA 30030



Michael L. Thurmond
Chief Executive

Andrew Baker, AICP
Officer Director

Commission District 02 Super District 06

N4. Case No: A-23-1246440
Parcel ID: 18 052 09 018

Applicant: Rosalie Ezekiel, Ezekiel Architects, P.C.
153 Greenwood Place
Decatur, GA 30030

Owner: Ward and Stacie Copeland
483 Princeton Way
Atlanta, GA 30307

Project Name: 483 Princeton Way – Garage repair

Location: 483 Princeton Way, Atlanta, GA 30307

Request: Variance from Chapter 27-2.2.1 to reduce the side yard setback from 7.5' to 1'10" to repair non-conforming accessory structure (shed) following damage from fallen tree within the R-75 (Residential Medium Lot) zoning district and the Druid Hills Historic District.

THIS IS TO ADVISE YOU THAT THE ZONING BOARD OF APPEALS AT ITS REGULARLY SCHEDULED PUBLIC HEARING ON WEDNESDAY, JULY 12TH, 2023 REACHED THE FOLLOWING DECISION ON THE ABOVE REFERENCED APPLICATION:

ZBOA Action: Approval with conditions

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.
2. Setback encroachment(s) shall only apply to garage as seen in the site plan date 04/26/2023.

MOTION: Mark Goldman moved for approval with conditions. Pamela Speaks seconded. Motion carried 6-0-0.

May 24, 2023

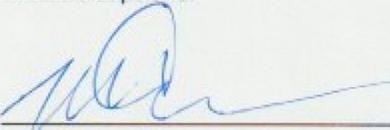
Hi Neighbors,

As you may recall, we had a large branch fall on our garage back in August and it damaged the structure to the extent that it requires a full rebuild. Over these last few months, we have been working with our architect, Rosalie Ezekial, to design a new garage for us (see attached plans for reference). The goal is to build the structure in its current position related to the property line. The structure will be a bit larger than our current garage and will honor the original setback requirements.

We are seeking signatures to acknowledge your review and signify approval of the project plans. We appreciate your support.

Warm Regards,

Ward and Stacie Copeland

Signed  Date 5-24-23

Address. 957 Princeton Way NE
Atlanta GA 30307

Signed  Date 5/24/23

Address. 420 Princeton Way
Atlanta, GA 30307

Signed  Date 5/24/23

Address. 487 Princeton Way NE
Atlanta, GA 30307

FLOOD HAZARD STATEMENT

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING HAVING SPECIAL FLOOD HAZARDS.

PANEL 13089C0066K EFFECTIVE DATE: 08/15/2019

ZONE X



- * L E G E N D ***
 NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
 AKA ALSO KNOWN AS
 APD AS PER DEED
 APP AS PER PLAT
 BSL BUILDING (SETBACK) LINE
 CP COMPUTED POINT
 CTP CRIMP TOP PIPE FOUND
 D DEED (BOOK/PAGE)
 DW DRIVEWAY
 EP EDGE OF PAVEMENT
 FFE FINISH FLOOR ELEVATION
 FKA FORMERLY KNOWN AS
 IPF IRON PIN FOUND
 L ARC LENGTH
 LL LAND LOT
 LLL LAND LOT LINE
 N NEIGHBOR'S
- N/F NOW OR FORMERLY
 NAIL NAIL FOUND
 P PLAT (BOOK/PAGE)
 POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 R RADIUS LENGTH
 R/W RIGHT-OF-WAY
 RBF REINFORCING BAR FOUND
 (1/2" UNO)
 RBS 1/2" REINFORCING BAR SET
 SW SIDEWALK
 SSE SANITARY SEWER EASEMENT
 SSCO SANITARY SEWER CLEANOUT
 -X- FENCE LINE
 WALL
 PVRS PAVERS

ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE. NOTE: PROPERTY LINES SHOWN ON THIS MAP/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.

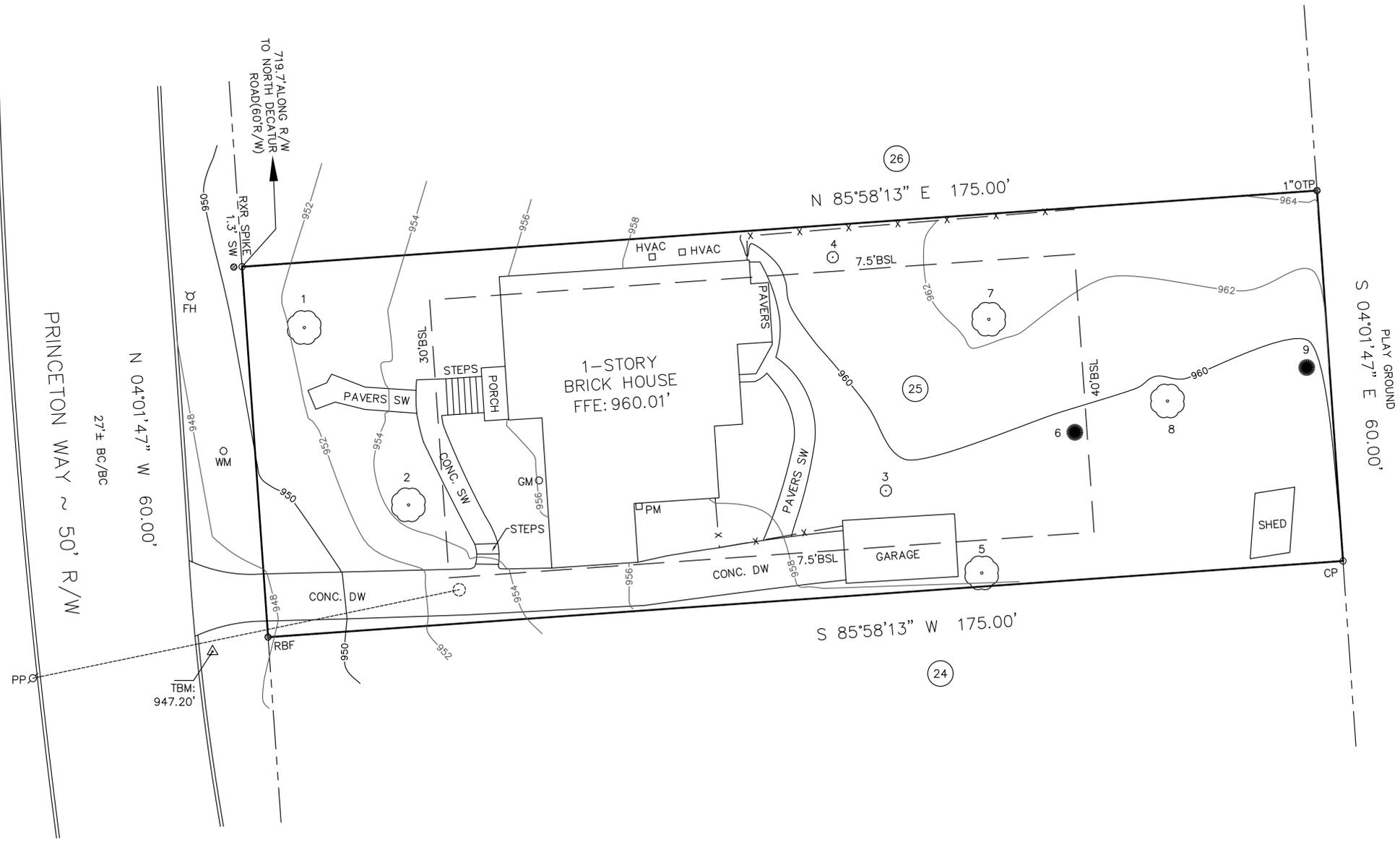
THIS MAP/PLAT WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS MAP/PLAT IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.

BUILDING LINES SHOWN HEREON DERIVED FROM VARIOUS ONLINE SOURCES. THEY MAY BE IN CONTENTION WITH OR DIFFER FROM INTERPRETATIONS OF GOVERNING AUTHORITIES. IT IS THE CLIENT'S OBLIGATION TO CONFIRM WITH PERMITTING AGENCIES BASED ON THEIR SPECIFIC CONSTRUCTION PROJECTS.

~ THIS MAP/PLAT HAS BEEN FIELD RUN WITH ASSUMED ELEVATIONS, THEN ADJUSTED TO NAVD 88 BASED ON MULTIPLE OBSERVATIONS FROM GOOGLE EARTH SATELLITE IMAGERY OR OTHER ONLINE SOURCES. THE ELEVATIONS SHOWN HEREON ARE +/- 1' (± ONE FOOT).

TREE SYMBOLS ARE NOT TO SCALE. TREE SYMBOLS REPRESENT POSITION OF TREE & ARE NOT THE CRITICAL ROOT ZONE (NOT DRIPLINE).

NOTE: ANY & ALL UNDERGROUND UTILITIES, I.E. SEWER, STORM, GAS, WATER, ETC., HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEY METHODS.



PROPERTY ADDRESS:
483 PRINCETON WAY NE,
ATLANTA, GA 30307

LAND AREA:
10,500 SF
0.24AC

IMPERVIOUS AREA:
EXIST= 2890 SF= 27.5%

ZONING: R-75

PLAT PREPARED FOR:
483 PRINCETON WAY NE

LOT 25 BLOCK B SUBDIVISION EMORY GROVE
 LAND LOT 52 18th DISTRICT PARCEL ID: 18 052 09 018 BY:
 DeKALB COUNTY, GEORGIA FIELD DATE: 03-28-2023 PTW
 DRAWN DATE: 03-29-2023 AE

REFERENCE: PLAT BOOK 11, PAGE 131
 REFERENCE: DEED BOOK 10652, PAGE 381
 EXCEPTED, NOT TO BE RECORDED
 NOR USED TO CONVEY PROPERTY.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000+ FEET, AN ANGULAR ERROR OF +/-1 SECOND PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 30,000+ FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

SURVEY SYSTEMS ATLANTA
 660 LAKE DR, SW, SNELLVILLE, GA 30039
 COA #LS7000867, JOBORDERS@SURVEYSATLANTA.COM
 CELL 678-591-6064 OFFICE 404-760-0010

0 10
 SCALE 1" = 10'

IMPERVIOUS (IN SQUARE FEET)	
HOUSE	1477
SHED	67
GARAGE	185
CONC. DW	717
CONC. SW	114
PEVERS	229
STEPS	67
PORCH	34
TOTAL IMPERVIOUS	2890

TREE TABLE		
TR.NO.	DIAMETER	TYPE
1	26"	HW
2	24"	HW
3	8"	HW
4	8"	HW
5	36"	HW
6	24"	PN
7	80"	HW
8	36"	HW
9	24"	PN

LOT COVERAGE

EXISTING		PROPOSED	
HOUSE :	1,477sf	HOUSE :	1,477sf
SHED	67sf	SHED	67sf
GARAGE	185sf	GARAGE	240sf
DRIVEWAY	717sf	DRIVEWAY	747sf
SIDEWALK	114sf	SIDEWALK	114sf
PAVERS	229sf	PAVERS	229sf
STEPS	67sf	STEPS	67sf
PORCH	34sf	PORCH	34sf
TOTAL:	2,890 sf	COVERED PATIO	200sf
		STORAGE SHED	96sf
		TOTAL:	3,271sf

LOT COVERAGE EXISTING:
27.5%
35% MAX. LOT COVERAGE ALLOWABLE

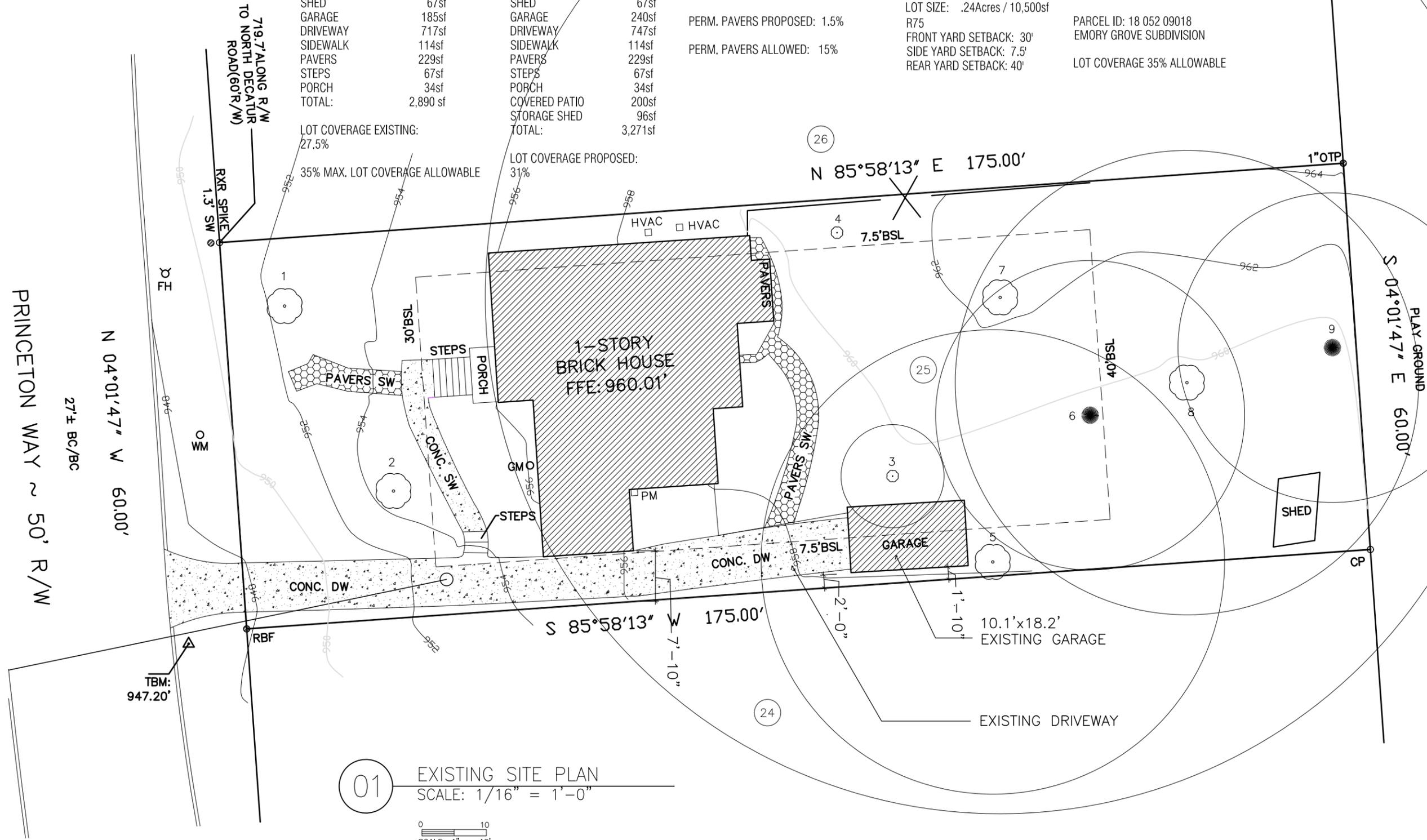
LOT COVERAGE PROPOSED:
31%

ZONING INFORMATION

DISTRICT: 2, SUPER DISTRICT: 6
COUNTY: DEKALB
LOT SIZE: .24Acres / 10,500sf
R75
FRONT YARD SETBACK: 30'
SIDE YARD SETBACK: 7.5'
REAR YARD SETBACK: 40'

LANDLOT: 52
BLOCK: 3, LOT 25 and
PARCEL ID: 18 052 09018
EMORY GROVE SUBDIVISION
LOT COVERAGE 35% ALLOWABLE

PROPOSED PERMEABLE
PAVERS: 160sf
PERM. PAVERS PROPOSED: 1.5%
PERM. PAVERS ALLOWED: 15%

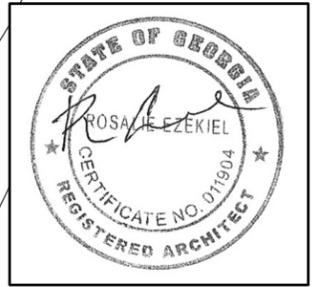


01 EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"
SCALE 1" = 10'

EZEKIEL ARCHITECTS, PC
Rosalie Ezekiel, AIA
153 Greenwood Place
Decatur, GA 30030

T: 404.788.2135
rosalie@ezekielarchitects.com

Date	Revision
05/24/23	Issue for Certificate of Appropriateness
05/24/23	Issue for Variance Application



Copeland Residence

483 Princeton Way
Atlanta, GA 30307

Date 04/26/23

Scale As Noted

Existing Site Plan

A-1



LOT COVERAGE

EXISTING		PROPOSED	
HOUSE :	1,477sf	HOUSE :	1,477sf
SHED	67sf	SHED	67sf
GARAGE	185sf	GARAGE	240sf
DRIVEWAY	717sf	DRIVEWAY	747sf
SIDEWALK	114sf	SIDEWALK	114sf
PAVERS	229sf	PAVERS	229sf
STEPS	67sf	STEPS	67sf
PORCH	34sf	PORCH	34sf
TOTAL:	2,890 sf	COVERED PATIO	200sf
		STORAGE SHED	96sf
		TOTAL:	3,271sf

LOT COVERAGE EXISTING:
27.5%

35% MAX. LOT COVERAGE ALLOWABLE

LOT COVERAGE PROPOSED:
31%

ZONING INFORMATION

DISTRICT: 2, SUPER DISTRICT: 6 LANDLOT: 52
 COUNTY: DEKALB BLOCK: 3, LOT 25 and
 LOT SIZE: .24Acres / 10,500sf
 R75 PARCEL ID: 18 052 09018
 EMORY GROVE SUBDIVISION
 REAR YARD SETBACK: 40' LOT COVERAGE 35% ALLOWABLE

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 rosalie@ezekielarchitects.com

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Copeland Residence

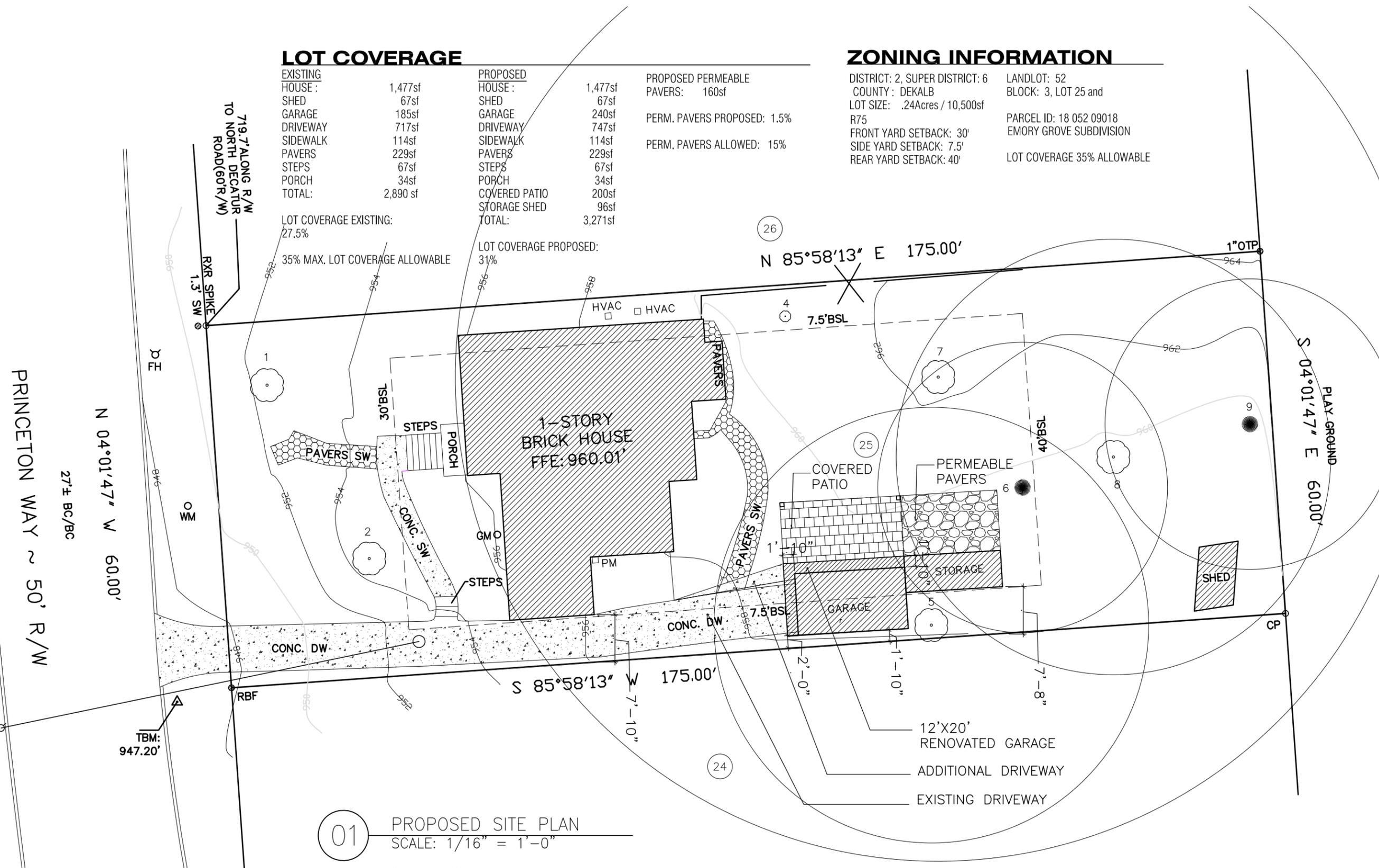
483 Princeton Way
 Atlanta, GA 30307

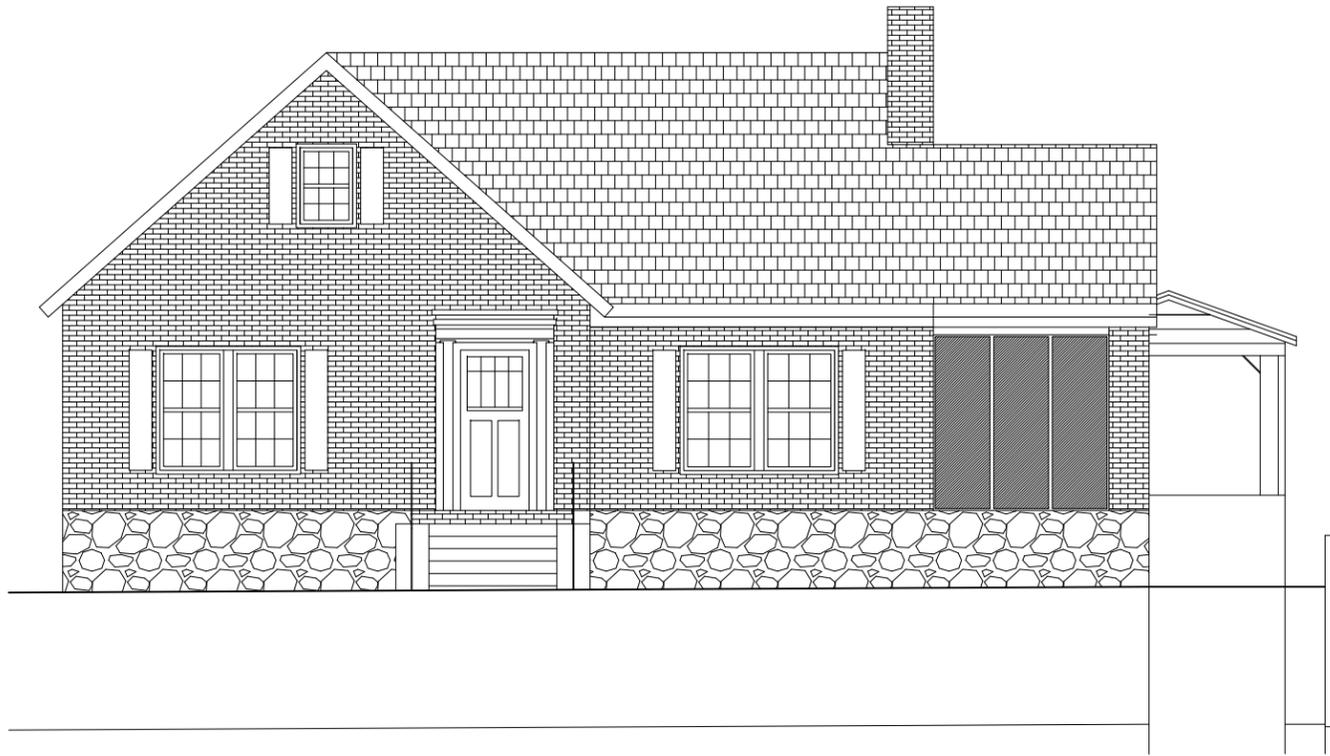
Date 04/26/23

Scale As Noted

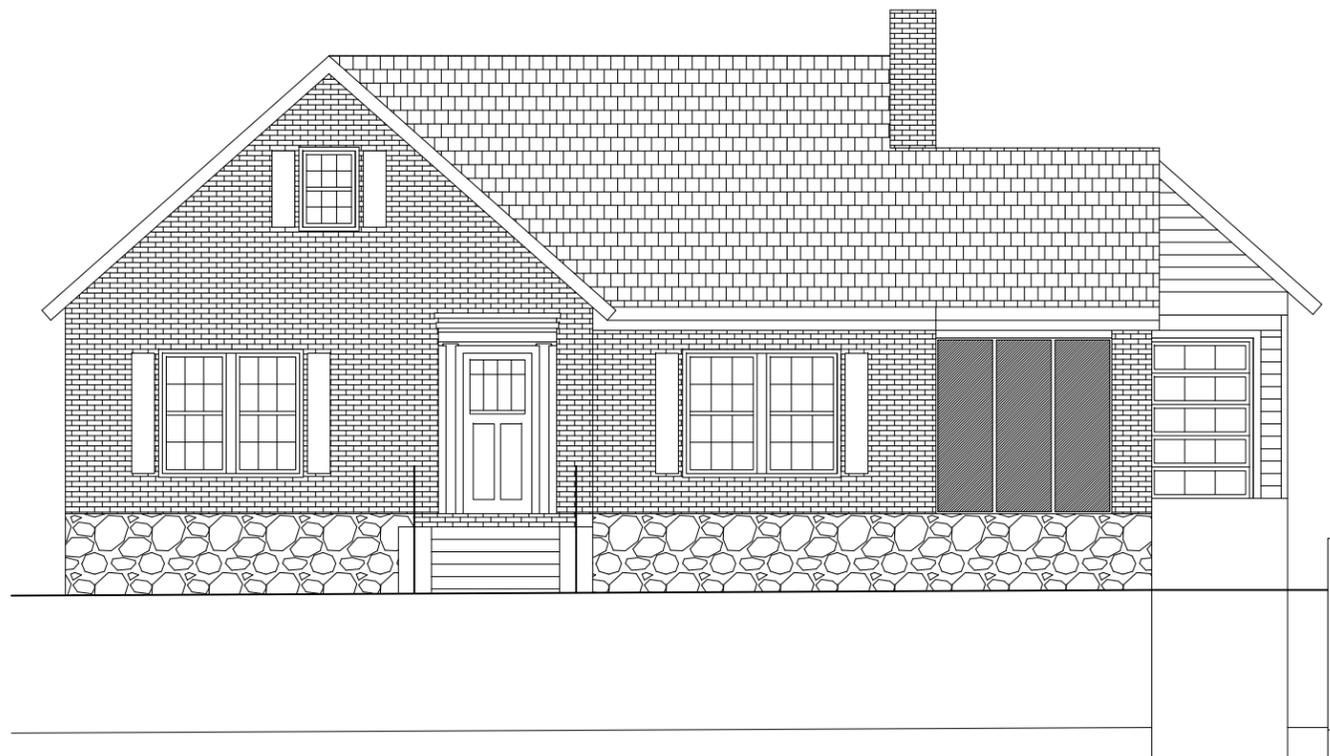
Proposed Site Plan

A-2





01 Elevation from Street, Existing
SCALE: 1/8" = 1'-0"

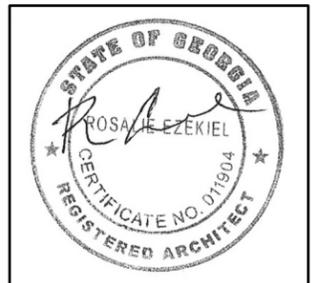


02 Elevation from Street, Proposed
SCALE: 1/8" = 1'-0"

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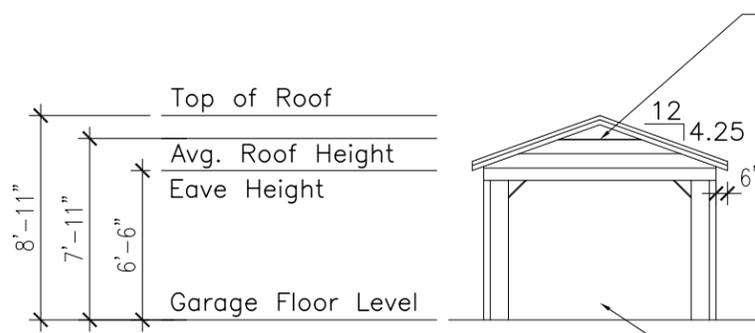


Copeland Residence
483 Princeton Way
Atlanta, GA 30307

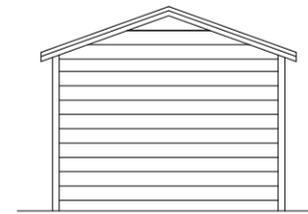
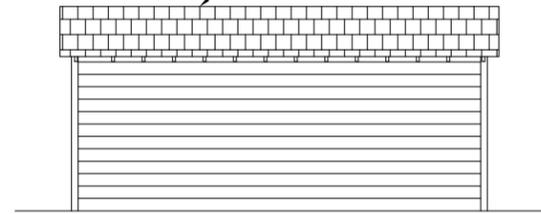
Date	04/26/23
Scale	As Noted

Street Elevation

A-3



PTD. WOOD SIDING
ASPHALT SHINGLE ROOF

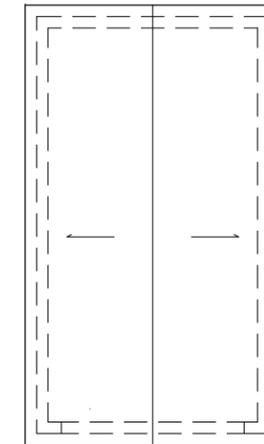
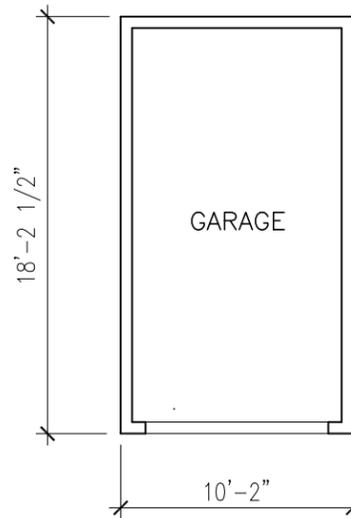
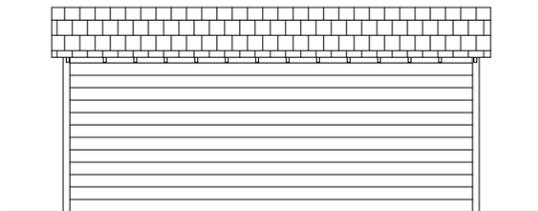


NO GARAGE DOOR

01 FRONT ELEVATION, EXISTING
SCALE: 1/8" = 1'-0"

02 SIDE ELEV. SOUTH, EXISTING
SCALE: 1/8" = 1'-0"

03 REAR ELEVATION, EXISTING
SCALE: 1/8" = 1'-0"



04 SIDE ELEV. NORTH, EXISTING
SCALE: 1/8" = 1'-0"

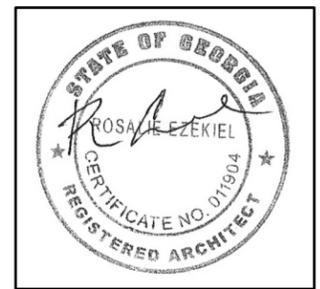
05 GARAGE PLAN, EXISTING
SCALE: 1/8" = 1'-0"

06 ROOF PLAN, EXISTING
SCALE: 1/8" = 1'-0"

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Copeland Residence

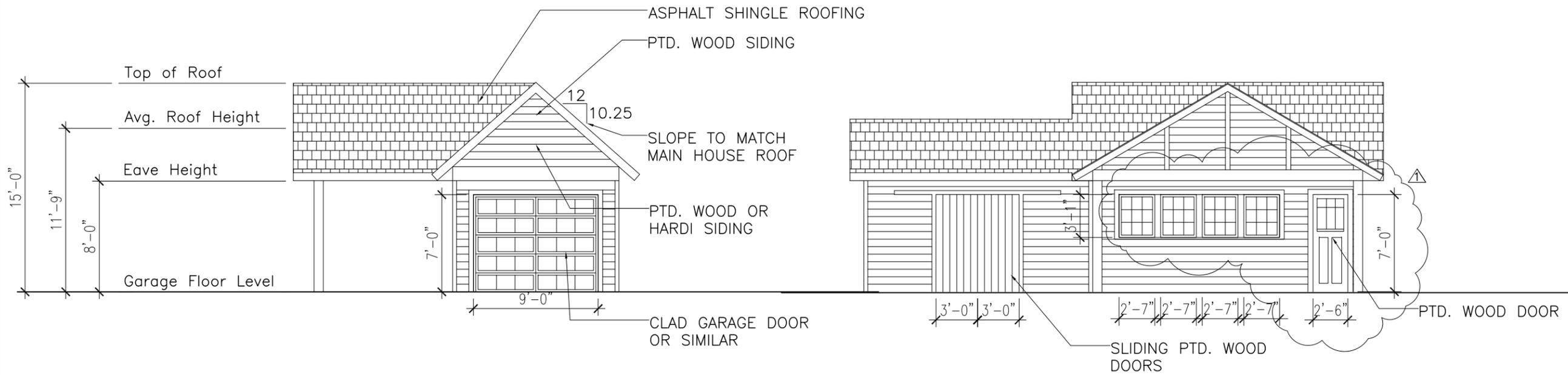
483 Princeton Way
Atlanta, GA 30307

Date 04/26/23

Scale As Noted

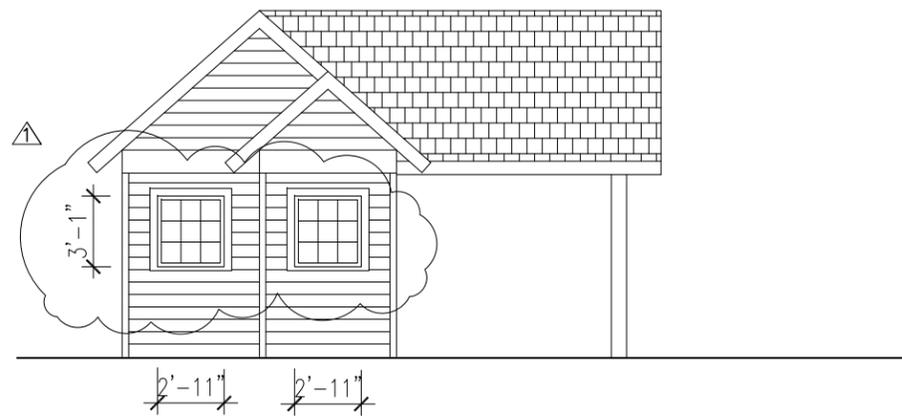
Existing Garage

A-4

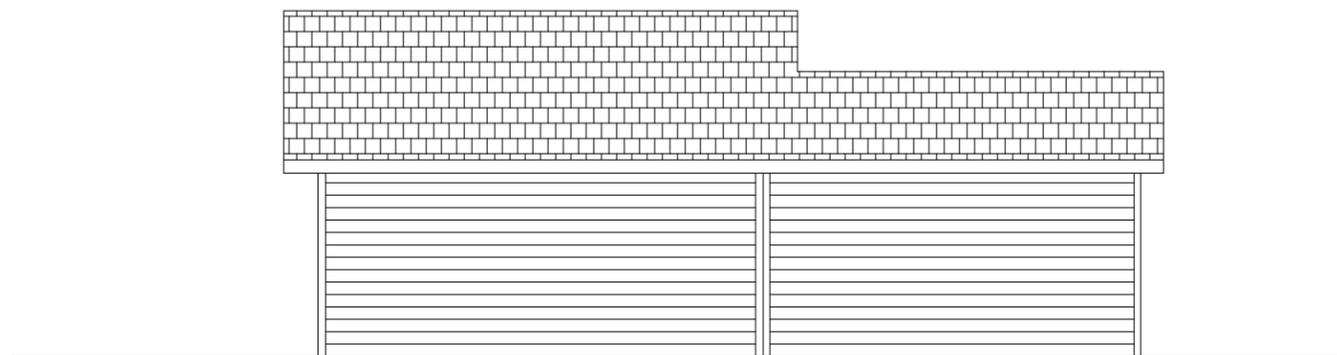


01 FRONT ELEVATION, PROPOSED
SCALE: 1/8" = 1'-0"

02 SIDE ELEVATION, PROPOSED
SCALE: 1/8" = 1'-0"



03 REAR ELEVATION, PROPOSED
SCALE: 1/8" = 1'-0"

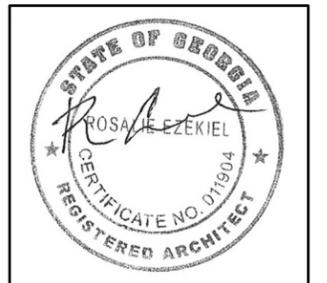


04 SIDE ELEVATION, PROPOSED
SCALE: 1/8" = 1'-0"

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Date	Revision
05/24/23	Issue for Certificate of Appropriateness
09/21/23	Revised for CofA



Copeland Residence

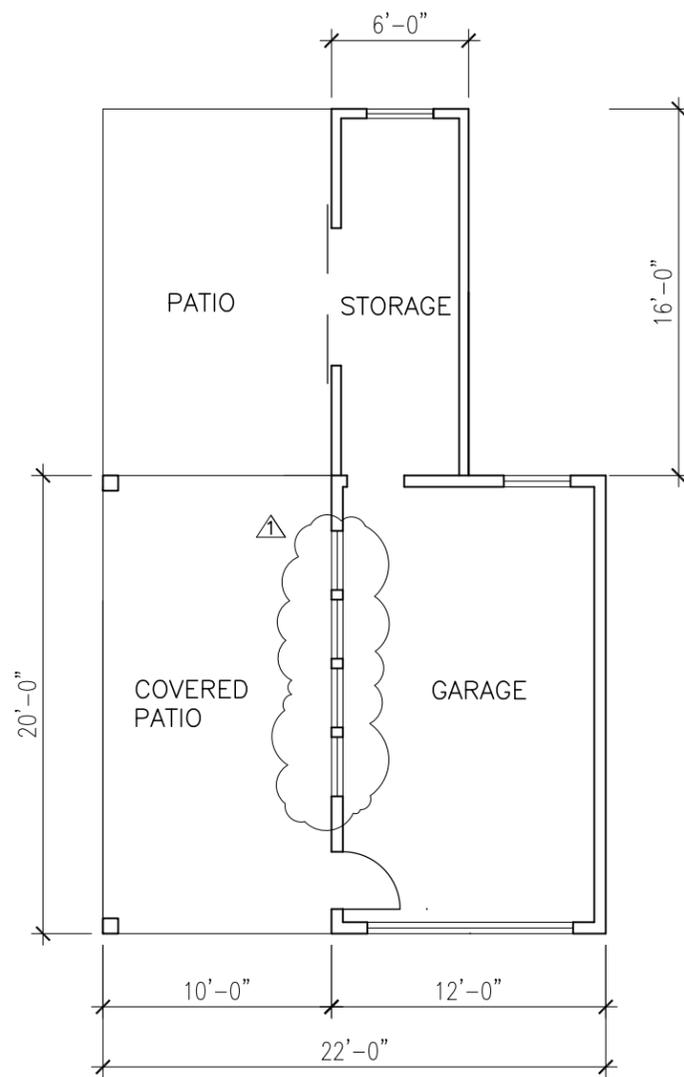
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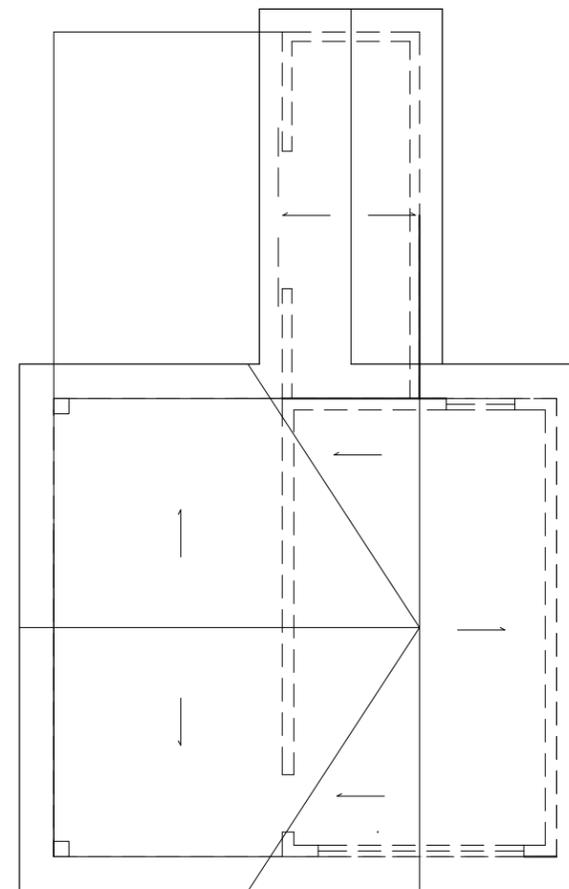
Scale As Noted

Proposed Garage

A-5



01 GARAGE PLAN, PROPOSED
SCALE: 1/8" = 1'-0"

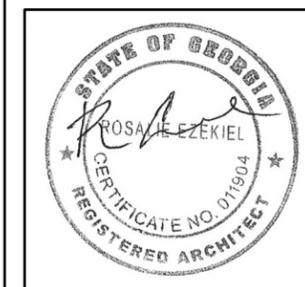


02 ROOF PLAN, PROPOSED
SCALE: 1/8" = 1'-0"

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09/21/23	Revised for CofA



Copeland Residence

483 Princeton Way
Atlanta, GA 30307

Date 04/26/23
Scale As Noted

Proposed Garage

A-6

Application for Certificate of Appropriateness

483 Princeton Way

Photos

May 24, 2023



Front Elevation From Street



Driveway Showing Existing Garage



North Side of House at Neighbor's Driveway



South Side of House at Owner's Driveway



Driveway at Rear of House, Existing Garage at South Property Line



Side of Existing Garage



Rear of Existing Garage



Side of Existing Garage: Proximity to the Rear of Existing House.



Existing Rear Yard Trees

