

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: _____

Applicant: _____ E-Mail: _____

Applicant Mailing Address: _____

Applicant Phone: _____ Fax: _____

Applicant's relationship to the owner: Owner ☐ Architect: ☐ Contractor/Builder ☐ Other ☐

Owner(s): _____ Email: _____

Owner(s): _____ Email: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project:

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☐ Moving a building ☐ Other building
changes ☐ New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental
changes ☐ Sign installation or replacement ☐ Other ☐

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant:  _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): /s/ Nic Brunker

Date: _____

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

DEKALB COUNTY HISTORIC PRESERVATION COMMISSION 2023 Calendar

This calendar is subject to change. Please visit the Department of Planning and Sustainability website for the current calendar, agenda, and applications.

<u>Applications Accepted</u>	<u>Filing Deadline</u>	<u>Sign Must Be Posted</u>	<u>HPC Meeting Date</u>	<u>Last Date to File Appeal (approximate)</u>
December 12	December 23	January 07	January 17	February 02
January 17	January 30	February 11	February 21	March 09
February 13	February 24	March 10	March 20	April 04
March 13	March 24	April 07	April 17	May 02
April 10	April 21	May 05	May 15	May 30
May 15	May 26	June 10	June 20	July 05
June 12	June 23	July 07	July 17	August 01
July 17	July 28	August 11	August 21	September 5
August 14	August 25	September 08	September 18	October 03
September 11	September 22	October 06	October 16	October 31
October 16	October 27	November 03	November 13	December 05
November 13	November 24	December 08	December 18	January 02

Tuesday meeting due to holiday

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will send you a sign template. You must coordinate with a sign vendor of your choice to post the sign by the required date (see HPC Calendar).
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations. Your application may still require a variance or other approvals.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail dccullis@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".	Y _____	N _____
I have reviewed the DeKalb County Tree Ordinance.	Y _____	N _____
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.	Y _____	N _____

1. General

- Label all drawings with the address of the site, owners' name, and contact phone number.
- Number all drawings.
- Include a graphic scale on reductions.
- Date all revisions.
- Indicate all unverified numbers with +/- signs
- Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- Topographical plan with significant trees sized and located;
- Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- Distance between houses;
- Façade width to finished face of material;
- Grading and elevations across site;
- Dirt removal or regrading if more than 18";
- Tree protection plan;
- Tree removal and replacement plan

3. Driveways and Walkways

- Location and relationship to house;
- Width;
- Material;
- Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

4. TOTAL SITE AREA: 0.463 ACRES / 20,152 SF
5. TOTAL DISTURBED AREA: 0.10 ACRES / 4,140 SF
6. SITE ADDRESS: 500 SOUTH WESTMINSTER WAY, DEKALB COUNTY, GA 30307
7. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY GEORGIA LAND SURVEYING, CO. DATED 1-28-2019.
8. THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C066K DATED AUGUST 15, 2019 FOR INCORPORATED DEKALB COUNTY, GEORGIA.
9. THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE OWNERS CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
10. ALL FUTURE CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
11. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
12. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
13. CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
14. ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE DEKALB COUNTY AND STATE OF GEORGIA STANDARDS.
15. UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
16. THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
17. ALL APPROPRIATE EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS, AND/OR FLOOD PLAIN BUFFERS THAT APPLY TO THIS PROPERTY ARE SHOWN ON THESE PLANS
18. TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS
19. THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

3. GRADE TO DRAIN AWAY FROM FOUNDATION.
2. ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
3. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
4. ALL CONSTRUCTION MUST CONFORM TO DEKALB COUNTY STANDARDS.
5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS, THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
7. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
8. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
9. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
10. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN-SITE INSPECTOR.
11. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
12. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
13. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
14. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
15. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED
16. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
17. A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
18. WATER QUALITY BMP(s) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
19. ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(s).
20. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

THIS PROPERTY IS NOT LOCATED INSIDE DESIGNATED F.I.A
SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE
RATE MAP #13089C0066K, DATED AUGUST 15, 2019.

24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287

SINGLE FAMILY HOUSE ADDITION CONSTRUCTION DOCUMENTS FOR

600 SOUTH WESTMINISTER WAY

LAND LOT 51, DISTRICT 18

DEKALB COUNTY, GEORGIA



SITE ZONING: R-75 (RESIDENTIAL MEDIUM LOT-75) DISTRICT
MINIMUM LOT SIZE: 10,000 SF
LOT WIDTH: 75 FEET, MIN AT STREET
75 FEET, MIN AT BUILDING LINE
35 FEET, MIN FOR CULDESAC
FRONT SETBACK: 45 FEET MIN (THOROUGHFARES)
35 FEET MIN (ARTERIALS)
30 FEET MIN (COLLECTOR AND ALL OTHERS)
25 FEET MIN (ALLEY ACCESS)
SIDE SETBACK: 7.5 FEET
REAR SETBACK: 40 FEET
LOT COVERAGE: SHALL NOT EXCEED 35%
FLOOR AREA: NO LESS THAN 1600 SQ FEET
OFF-STREET PARKING: 2 SPACES
BUILDING HEIGHT: NO MORE THAN 35 FEET
OPEN SPACE: 20%

THE PROPOSED PLANS CALL FOR AN ADDITION OF A TWO STOREY GARAGE WITH A DECK AND A SWIMMING POOL. CONFORMING TO R-75 ZONING. ALL PHASED EROSION CONTROL BMPs ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

03-15-23
DATE

1. NO ONE SHALL ENCRoACH, PLACE SOLVEMENTS, BUILDING, MACHINERY, BUILDING DEBRIS OR ANY OTHER MATERIAL WITHIN 6' OUTSIDE THE PERIPHERY OF THE CRZ OR WITHIN ANY TREE SAVE AREA, TRANSITIONAL BUFFER ZONE, STREAM BUFFER, OR STATE BUFFER ZONE.
2. ALL TREE FENCE AND OTHER TREE PROTECTION DEVICES MUST REMAIN IN FUNCTIONING CONDITION UNTIL COMPLETION OF THE PROJECT OR UNTIL THE CO IS ISSUED.
3. A TREE THAT IS DESIGNATED TO BE SAVED, BUT IS DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO THE UNIT VALUE OF THE TREE REMOVED. ANY SPECIMEN TREE DAMAGED SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO 1.5 TIMES THE DBH OF THE DAMAGED SPECIMEN.
4. ALL PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
5. ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOTZONE(CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
6. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
7. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS(CRZ).
8. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
9. TREE PROTECTION SIGNS ARE TO BE PLACED AT LEAST EVERY 50' ALONG THE LENGTH OF THE TREE PROTECTION FENCE. THE SIGNS SHOULD BE IN LANGUAGE SO THAT ALL WORKERS ON SITE ARE ABLE TO UNDERSTAND.

PRE-CONSTRUCTION LOT COVERAGE	
AREA	SF
EXISTING HOUSE	2561
EXISTING DECKS	318
EXISTING CONCRETE DRIVEWAY	2276
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
STAIRS	63
TOTAL PRE CONSTRUCTION IMPERVIOUS AREA	5281
LOT COVERAGE %	26.21%

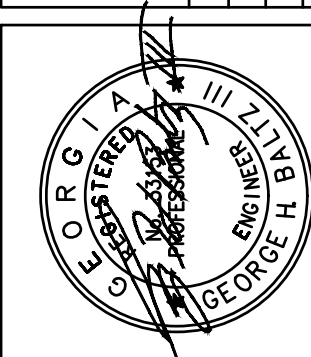
POST-CONSTRUCTION LOT COVERAGE	
SITE LOCATION	SF
EXISTING HOUSE	2561
EXISTING DECKS	317
REMAINING CONCRETE DRIVEWAY	2106
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
EXISTING STAIRS	63
PROPOSED GARAGE	560
PROPOSED DRIVEWAY ADDITION	190
PROPOSED POOL	618
PROPOSED DECK	260
PROPOSED POOL WALKWAY	136
PROPOSED WALL	57
PROPOSED POOL EQUIPMENT	15
PROPOSED TURF DECK WALKWAY	0
TOTAL PROPOSED IMPERVIOUS AREA	1836
TOTAL POST CONSTRUCTION IMPERVIOUS AREA	6946
LOT COVERAGE %	34.47%

**COVER
SURVEY
DEMOLITION PLAN
SITE PLAN
STORMWATER PLAN
ES&PC PLAN
TREE PLAN
CONSTRUCTION DETAILS**

CV
S-1
D-1
C-1
C-2
C-3
C-4
C-5

Prepared For
500 South Westminister
500 South Westminister Way
Atlanta, GA 30307
919-285-1287
nic.obtsolutions@gmail.com

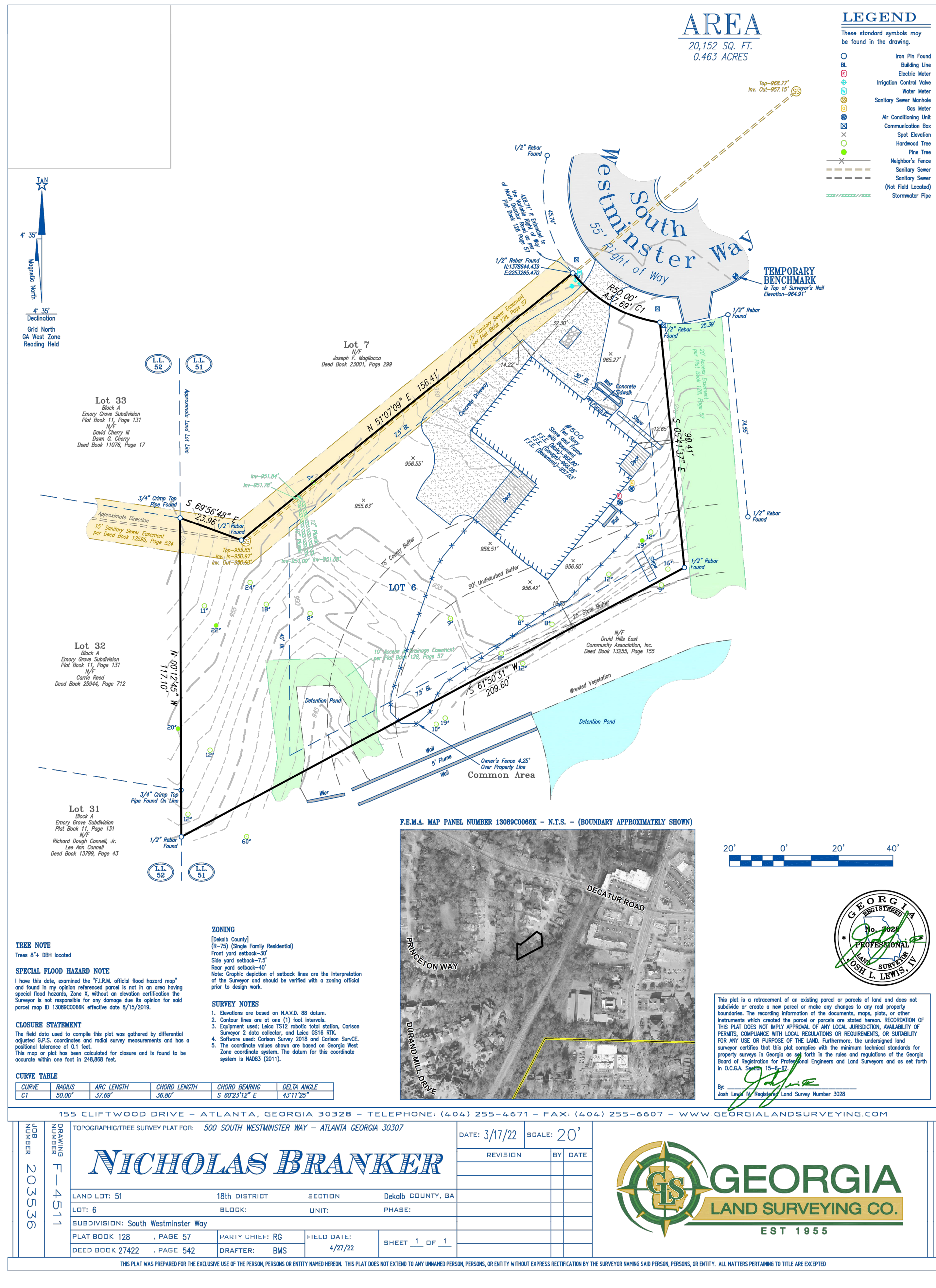
DATE	03-15-23	REVISIONS
SCALE	AS SHOWN	



Construction Plans For 500 South Westminster Way

CVE PI #	22-139
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Sheet No.
CV



DEKALB COUNTY NOTES:

1. GRADE TO DRAIN AWAY FROM FOUNDATION.
2. ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
3. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
4. ALL CONSTRUCTION MUST CONFORM TO DEKALB COUNTY STANDARDS.
5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS, THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
7. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
8. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
9. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
10. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN-SITE INSPECTOR.
11. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
12. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
13. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
14. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
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19. ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(s).
20. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm
21. ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE
22. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.

GENERAL DEMOLITION NOTES:

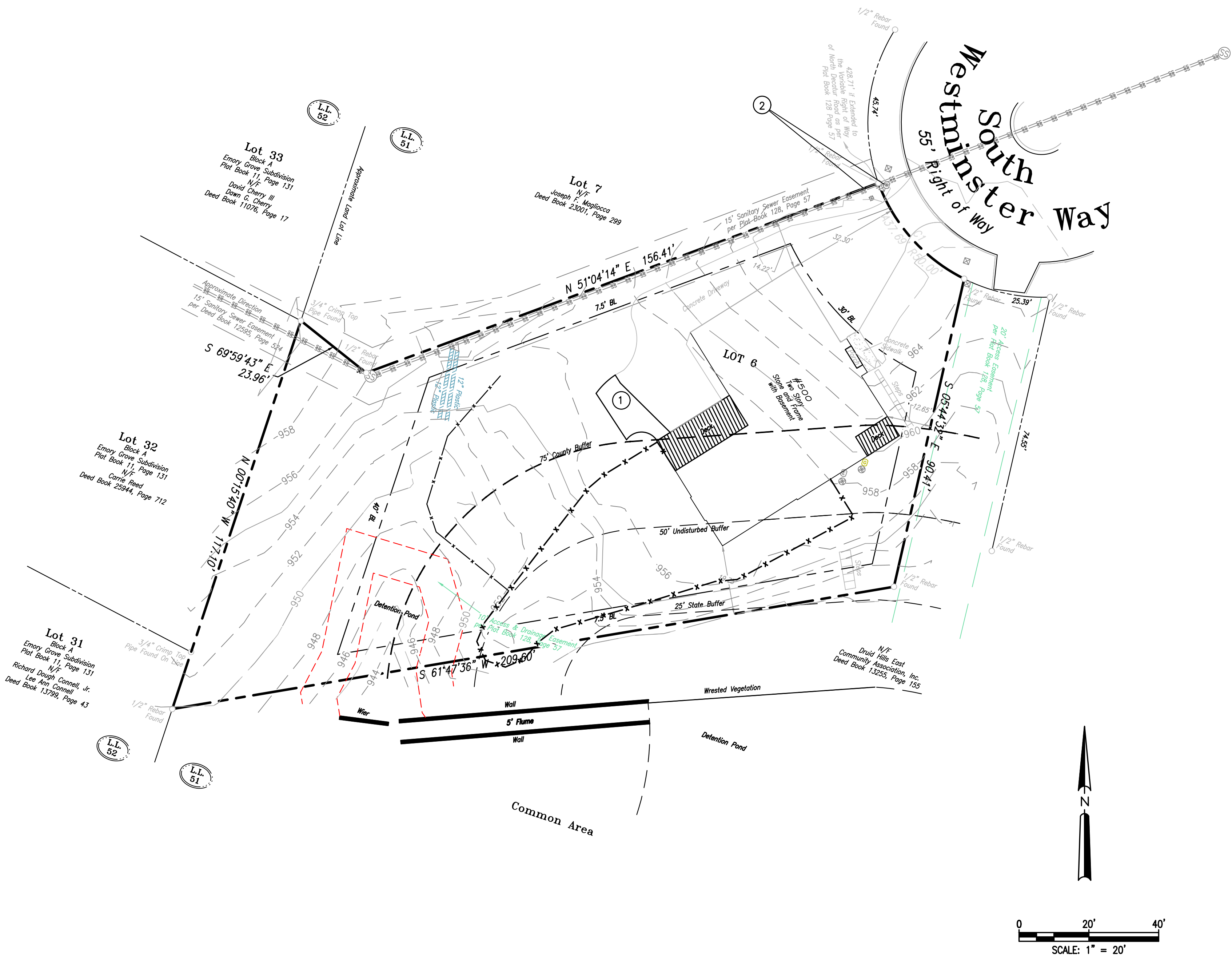
BE ADVISED THIS IS NOT AN EXHAUSTIVE LIST OF DEMOLITION ITEMS. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND THE COMPLETE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. ANY QUESTIONS, CONCERNS, OR IDEAS CONCERNING THE INTENT OR EXECUTION OF THE DESIGN DOCUMENTS MUST BE BROUGHT TO THE OWNER BEFORE PERFORMING ANY CONSTRUCTION ACTIVITY.

- ① REMOVE PORTION OF EXISTING CONCRETE DRIVEWAY
- ② LOCATE AND PROTECT ALL EXISTING UTILITIES

PRE-CONSTRUCTION IMPERVIOUS AREA:

PRE-CONSTRUCTION LOT COVERAGE	
AREA	SF
EXISTING HOUSE	2561
EXISTING DECKS	318
EXISTING CONCRETE DRIVEWAY	2276
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
STAIRS	63
TOTAL PRE CONSTRUCTION IMPERVIOUS AREA	5281
LOT COVERAGE %	26.21%

NO TREES ARE TO BE REMOVED
DURING DEMOLITION



Prepared By
Crescent View
Engineering, LLC
211 Frazer Street
Marietta, GA 30062
678-324-8410
www.crescentvieweng.com

Prepared For
500 South Westminster
500 South Westminster Way
Atlanta, GA 30307
919-285-1287
nic.obstacles@gmail.com

DEMOLITION PLAN

REVISIONS	
DATE	03-15-23
SCALE	AS SHOWN
DRAWN	EF
CHECKED	GHB



Construction Plans For
500 South Westminster Way
Land Lot 51, 18th District
DeKalb County, Georgia

CVE PI # 22-139

Sheet No.

D-1

SITE NOTES:

1. TOTAL SITE AREA: 0.463 ACRES / 20,152 SF
TOTAL DISTURBED AREA: 0.10 ACRES / 4,140 SF
2. SITE ADDRESS: 500 SOUTH WESTMINISTER WAY, DEKALB COUNTY, GA 30307
3. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY GEORGIA LAND SURVEYING, CO, DATED 1-28-19.
4. THIS SITE IS LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C0066K DATED AUGUST 15, 2019 FOR INCORPORATED DEKALB COUNTY, GEORGIA.
5. THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE OWNERS CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
6. ALL FUTURE CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
7. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
9. CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
10. ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE DEKALB COUNTY AND STATE OF GEORGIA STANDARDS.
11. UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
12. THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
13. ALL APPROPRIATE EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS, AND/OR FLOOD PLAIN BUFFERS THAT APPLY TO THIS PROPERTY ARE SHOWN ON THESE PLANS
14. TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS
15. THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

DEKALB COUNTY NOTES:

1. GRADE TO DRAIN AWAY FROM FOUNDATION.
2. ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
3. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
4. ALL CONSTRUCTION MUST CONFORM TO DEKALB COUNTY STANDARDS.
5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
7. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
8. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
9. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
10. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN-SITE INSPECTOR.
11. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
12. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
13. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
14. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
15. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED
16. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
17. A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
18. WATER QUALITY BMP(s) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
19. ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(s).
20. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

POST-CONSTRUCTION IMPERVIOUS AREA:

POST-CONSTRUCTION LOT COVERAGE	
SITE LOCATION	SF
EXISTING HOUSE	2561
EXISTING DECKS	317
REMAINING CONCRETE DRIVEWAY	2106
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
EXISTING STAIRS	63
PROPOSED GARAGE	560
PROPOSED DRIVEWAY ADDITION	190
PROPOSED POOL	618
PROPOSED DECK	260
PROPOSED POOL WALKWAY	136
PROPOSED WALL	57
PROPOSED POOL EQUIPMENT	15
PROPOSED TURF DECK WALKWAY	0
TOTAL PROPOSED IMPERVIOUS AREA	1836
TOTAL POST CONSTRUCTION IMPERVIOUS AREA	6946
LOT COVERAGE %	34.47%

ZONING CONFORMANCE:

SITE ZONING: R-75 (RESIDENTIAL MEDIUM LOT-75) DISTRICT
MINIMUM LOT SIZE: 10,000 SF
LOT WIDTH: 75 FEET, MIN AT STREET
75 FEET, MIN AT BUILDING LINE
35 FEET, MIN FOR CULDESAC
FRONT SETBACK: 45 FEET MIN (THOROUGHFARES)
35 FEET MIN (ARTERIALS)
30 FEET MIN (COLLECTOR AND ALL OTHERS)
25 FEET MIN (ALLEY ACCESS)
SIDE SETBACK: 7.5 FEET
REAR SETBACK: 40 FEET
LOT COVERAGE: SHALL NOT EXCEED 35%
FLOOR AREA: NO LESS THAN 1600 SQ FEET
OFF-STREET PARKING: 2 SPACES
BUILDING HEIGHT: NO MORE THAN 35 FEET
OPEN SPACE: 20%

STATEWATER STATEMENT:

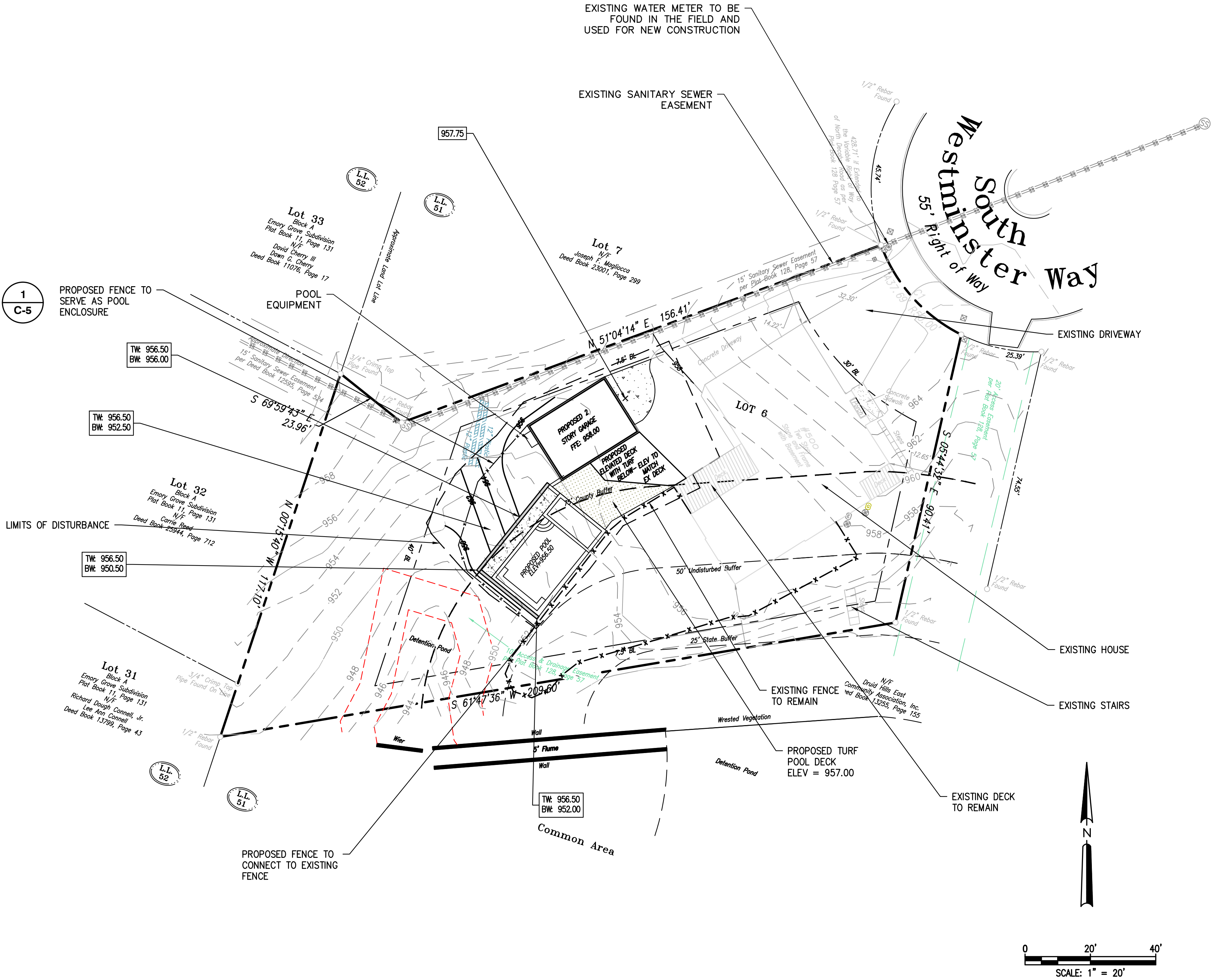
THIS PROPERTY IS NOT LOCATED INSIDE DESIGNATED F.I.A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP #13089C0066K, DATED AUGUST 15, 2019.

THERE ARE WATERS OF THE STATE OF GEORGIA LOCATED ON OR WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS.

STREAM BUFFER CALCULATIONS:

Stream Buffer Encroachment Chart			
Buffer / Impervious Setback	Pre Construction (SF)	Post Construction (SF)	Difference (SF)
State Buffer: 0'-25'	0	0	0
Undisturbed Buffer : 25'-50'	86	86	0
County Buffer: 50'-75'	1144	1728	584

24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287



Prepared By
Crescent View
Engineering, LLC
211 Frazer Street
Marietta, GA 30062
919-285-1287
www.crescentvieweng.com

Prepared For
500 South Westminister
500 South Westminister Way
Atlanta, GA 30307
919-285-1287
nic.obsolescens@gmail.com

SITE PLAN

REVISIONS	
DATE	AS SHOWN
03-15-23	EF
DRAWN	GH
CHECKED	GH



Construction Plans For
500 South Westminister Way
Land Lot 51, 18th District
DeKalb County, Georgia

CVI PI # 22-139

Sheet No.

C-1

WATER QUALITY NOTES:

VEGETATION
THE TRENCH IS NORMALLY COVERED WITH TOPSOIL AND MANAGED TURF OR OTHER HERBACEOUS VEGETATION. AS AN ALTERNATIVE, THE AREA ABOVE THE SURFACE OF A TRENCH MAY BE COVERED WITH PEA GRAVEL (OR LARGER DEPENDING ON THE INFLOW RATES) TO ALLOW FOR INCIDENTAL LATERAL INFLOW ALONG THE EDGE OF GROUND LEVEL IMPERVIOUS SURFACES. THE DOWNSTREAM END OF THE PIPE MUST BE STABILIZED AND CAN BE LANDSCAPED FOR AESTHETICS.

MAINTENANCE

- INSPECT GUTTERS AND DOWNSPOUTS REMOVING ACCUMULATED LEAVES AND DEBRIS, CLEANING LEAF REMOVAL SYSTEM(S).
- IF APPLICABLE, INSPECT PRETREATMENT DEVICES FOR SEDIMENT ACCUMULATION.
- INSPECT THE TRENCH FOLLOWING A LARGE RAINFALL EVENT TO INSURE OVERFLOW IS OPERATING AND FLOW IS NOT CAUSING PROBLEMS.

CONSTRUCTION STEPS

- REVIEW POTENTIAL TRENCH AREAS AND LAYOUT. THE TRENCH SHOULD SLOPE BETWEEN 0.5% AND 6% AWAY FROM THE STRUCTURE AND SHOULD NOT BE LOCATED: (1.) BENEATH AN IMPERVIOUS (PAVED) SURFACE; (2.) ABOVE AN AREA WITH A WATER TABLE OR BEDROCK LESS THAN TWO FEET BELOW THE TRENCH BOTTOM; (3.) OVER OTHER UTILITY LINES; OR (4.) ABOVE A SEPTIC FIELD. INSURE OUTLET DAYLIGHTS AT LEAST TEN FEET FROM PROPERTY LINE.
- IF SOIL IS A CONCERN PERFORM INFILTRATION TEST. IF THE RATE IS LESS THAN 0.25 IN/HR THIS METHOD CANNOT BE USED; IF THE RATE IS MORE THAN 0.50 IN/HR THE LENGTH OF THE DITCH MAY BE DECREASED 10% FOR EVERY 0.50 IN/HR INFILTRATION RATE INCREASE ABOVE 0.50 IN/HR.
- MEASURE ELEVATIONS AND LAY OUT THE TRENCH TO THE REQUIRED DIMENSIONS MARKING THE ROUTE AND REQUIRED EXCAVATION DEPTHS. OFTEN A LEVEL LINE (TORPEDO LEVEL) IS USED.
- PLACE AND TAMP GRAVEL IN DITCH TO PLANNED DEPTH PLACING THE PIPE THREE INCHES DEEP IN THE UPPER PORTION OF THE GRAVEL, THEN PLACE AND GENTLY TAMP GRAVEL UNTIL IT COVERS THE PIPE.
- PLACE DRAINAGE FABRIC OVER TOP OF PIPE AND STONE.
- PLACE TOPSOIL AND SOD OR PEA GRAVEL.
- CUT AND ROUTE DOWNSPOUTS OR OTHER RAINWATER DELIVERY COMPONENTS. ADD STRAP AND SUPPORT AS NEEDED.
- CREATE A SAFE OVERFLOW AT LEAST 10 FEET FROM YOUR PROPERTY EDGE AND INSURE IT IS PROTECTED FROM EROSION.

WATER QUALITY CALCULATIONS:

POST-CONSTRUCTION LOT COVERAGE			
AREA	SF	NOT/TREATED	BMP LOCATION
EXISTING HOUSE	2561	NOT TREATED	N/A
EXISTING DECKS	317	NOT TREATED	N/A
REMAINING CONCRETE DRIVEWAY	2106	NOT TREATED	N/A
EXISTING CONCRETE SIDEWALK	50	NOT TREATED	N/A
EXISTING FRONT PORCH	13	NOT TREATED	N/A
EXISTING STAIRS	63	NOT TREATED	N/A
PROPOSED GARAGE	560	TREATED	TRENCH
PROPOSED DRIVEWAY ADDITION	190	TREATED	TRENCH
PROPOSED POOL	618	TREATED	TRENCH
PROPOSED DECK	260	TREATED	TRENCH
PROPOSED POOL WALKWAY	136	TREATED	TRENCH
PROPOSED WALL	57	TREATED	TRENCH
PROPOSED POOL EQUIPMENT	15	TREATED	TRENCH
PROPOSED TURF DECK/WALKWAY	0	NOT TREATED	N/A
TREATED IMPERVIOUS AREA	1836	SF	
TOTAL IMPERVIOUS AREA	6946	SF	

Water Quality / Runoff Reduction Calculations	
Per GSWMM Section 2.2.4.1	
Water Quality Volume (WQv)	
Runoff Reduction (RRv)	
Site Area (A) =	20152 SF
Treated Impervious Area =	1836 SF
% impervious (I) =	10 %
RRv = (P.Rv.A)/12	235 CF
Rv = 0.05 + I*(0.009)	0.140
WQv = 1.2*Rv*A/12	282.1 CF

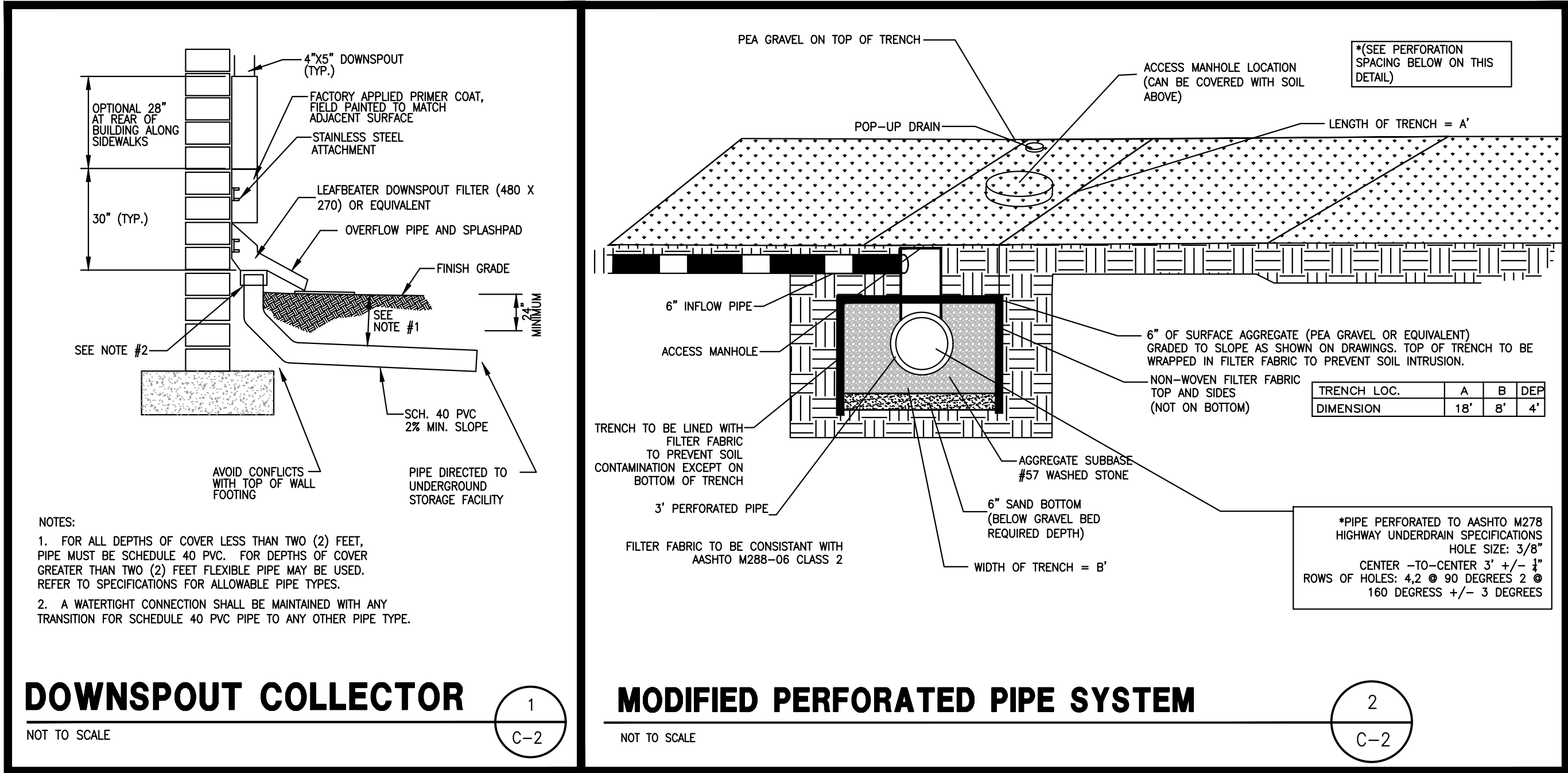
STONE STORAGE INFILTRATION TRENCH W/ PIPE CALCULATIONS		
WQ Calculations		1.2" required for required area impervious
Required Treated Impervious Area =	1836.0	SF
Required WQ Volume =	282.1	CF
Pipe Volume		
Diameter of Pipe	3.0	FT
Length of Pipe	18.0	FT
Volume of Pipe	127.2	CF
Gravel Volume		
All volume to be provided in stone storage infiltration trench with 40% void		
Length of Trench	18.0	FT
Width of Trench	8.0	FT
Depth of Trench	4.0	FT
Volume of Gravel = ((L x W x D) - Pipe Vol) x 0.4 =	179.5	CF
Provided Volume = Gravel Vol + Pipe Vol =	306.7	CF
Required Volume =	282.1	CF
Percent of provided volume over required	109%	

WATER QUALITY DESCRIPTION:

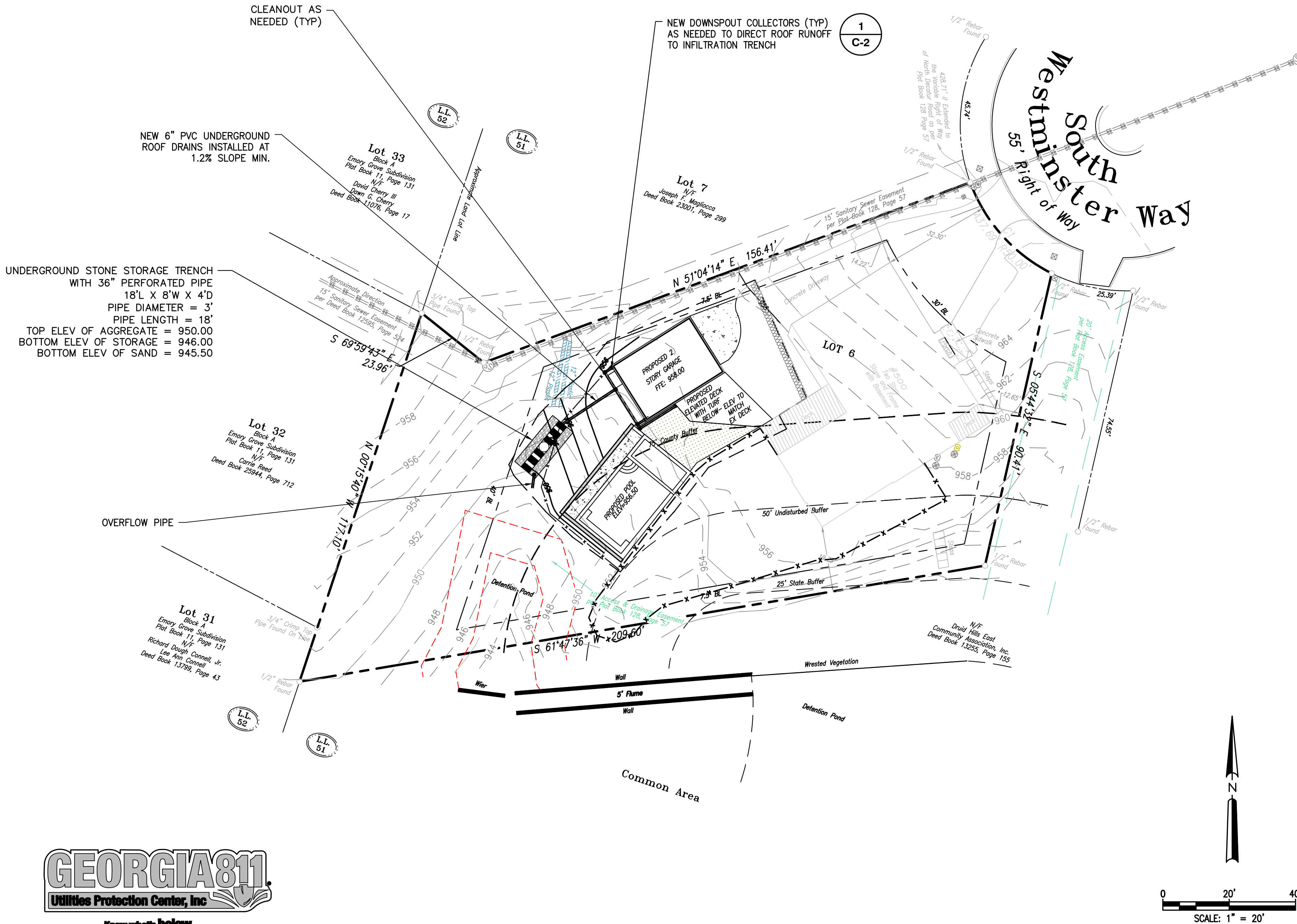
WATER QUALITY IS PROVIDED FOR THE NEW IMPERVIOUS AREA OF 1,836 SF, WHICH INCLUDES THE PROPOSED GARAGE, POOL, AND DECK. SEE LOT COVERAGE CHART ON THIS PAGE.

THE STONE STORAGE TRENCH WILL DETAIN FOR A TOTAL OF 1,836 SF. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO). THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 282.1 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 303.6 CUBIC FEET. THE POSITION OF THE TRENCH IS SUCH THAT IT IS AT LEAST 10 FEET AWAY FROM THE STRUCTURES AND PROPERTY LINES. THE TRENCH IS 18 FT LONG, 8 FT WIDE, AND 4 FT DEEP. THE TRENCH CONTAINS A 3 FT DIAMETER PIPE.

THE WATER QUALITY VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE WQ STORAGE REQUIREMENTS.



24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287



Prepared By
Crescent View
Engineering, LLC
211 Frasier Street
Marietta, GA 30067
678-324-8410
www.crescentvieweng.com

Prepared For
500 South Westminster
500 South Westminster Way
Atlanta, GA 30327
919-285-1287
nic.obtsolutions@gmail.com

STORMWATER PLAN

REVISIONS	
DATE	03-15-23
SCALE	AS SHOWN
DRAWN	EF
CHECKED	GHB

Construction Plans For
500 South Westminster Way
Land Lot 51, 18th District
DeKalb County, Georgia

CVE PI # 22-139

Sheet No.

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GRADING NOTES:

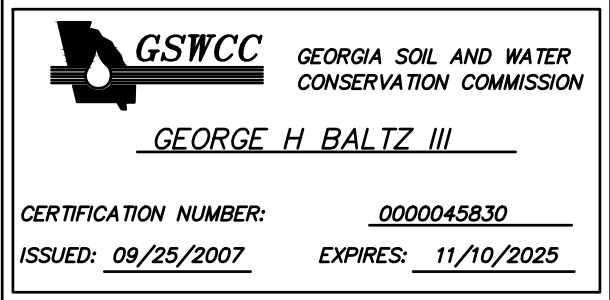
- APPROVED EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY DETENTION BMP INSTALLATION (NOT PART OF THIS PLAN)
- SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY GEORGIA LAND SURVEYING, CO, DATED 1-28-19
- DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE.
- THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES.
- BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

ES&PC NOTES:

- THE CONSTRUCTION STAGING AREA WILL BE THE PROPOSED DRIVEWAY AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT ANY POTENTIAL TRACKING OF MUD ONTO PUBLIC STREETS.
- SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
- SILT FENCE FABRIC SHALL BE COMPRISED OF GA. DOT QUALIFIED PRODUCTS LIST 36, FOR SILT FENCE FABRIC.
- ALL GRASSING SHALL BE IN ACCORDANCE WITH CHAPTER 6, SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- ALL OTHER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS SAME MANUAL.
- THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SILT FENCING AND REMOVE THE FENCING FROM THE SITE ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.
- EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RE-TOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
- ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
- TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN TWO WEEKS.
- ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS. THE EROSION CONTROL MEASURE CAN BE DESIGNED BY A LEVEL 1B (BLUE CARD) GASWCC CERTIFIED CONTRACTOR, UNLESS THE BMP HAS A HYDRAULIC COMPONENT. FOR ALL BMP DESIGN WITH A HYDRAULIC COMPONENT, THE BMP MUST BE DESIGNED BY A LEVEL 2 (COLD CARD) GASWCC CERTIFIED DESIGNER. A CONSTRUCTION EXIT IS NOT PROPOSED DUE TO THE SMALL SIZE OF THE PROJECT AND THE LEVEL 1B CONTRACTOR MUST PROVIDE ALL MEASURES TO PREVENT ANY SILT FROM ENTERING THE STREAM BUFFER.

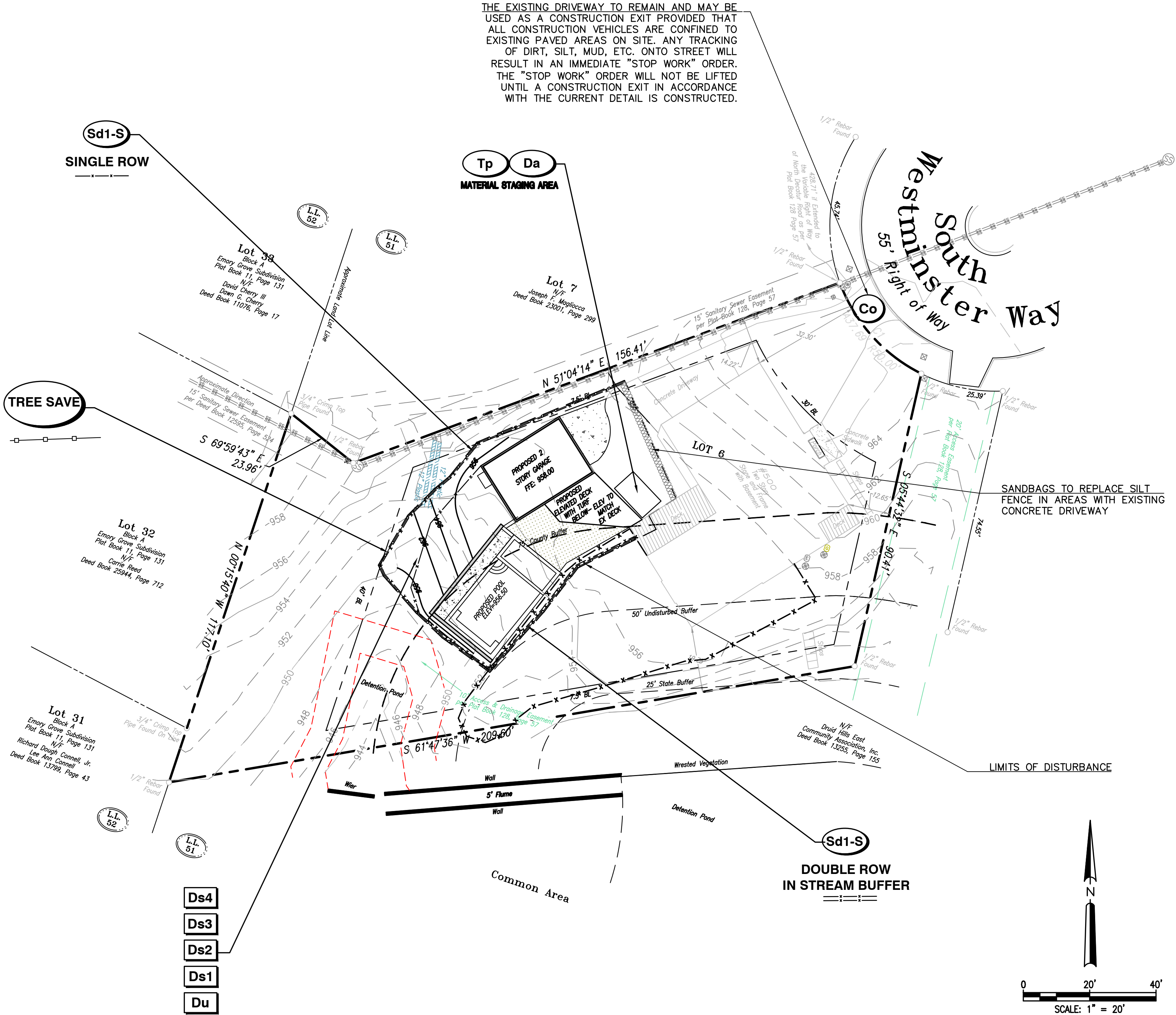
SEDIMENT STORAGE CALCULATIONS:

SILT FENCE PROVIDED = 205 LINEAR FEET OF SILT FENCE
SEDIMENT STORAGE REQUIRED = 0.10 DISTURBED AREA X 67 = 6.37 CY
SEDIMENT STORAGE PROVIDED = 205 FT SILT FENCE X 0.05 = 10.25 CY



SIGNED
NUMBER: 0000045830
EXPIRATION 11-10-25

24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287



Prepared By
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Engineering, LLC
211 Frazier Street
Marietta, GA 30062
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ES&PC PLAN

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ONSITE TREE CALCULATIONS:

ONSITE TREES	
TREE LIST - ONSITE PRIOR TO CONSTRUCTION	
TOTAL TREES	16
TOTAL INCHES	208
TOTAL UNITS	55
ONSITE LOST/DESTROYED TREES	
Size (Inches)	Type
8	HARDWOOD
TOTAL TREES	1
TOTAL INCHES	8
TOTAL UNITS	2.4
ONSITE TREES SAVED WITH LESS THAN 20% IMPACT	
Size (Inches)	Type
9	HARDWOOD
24	HARDWOOD
18	HARDWOOD
TOTAL TREES	3
TOTAL INCHES	51
TOTAL UNITS	13.2
ONSITE TREES SAVED WITH NO IMPACT	
Size (Inches)	Type
12	HARDWOOD
12	HARDWOOD
11	HARDWOOD
8	HARDWOOD
8	HARDWOOD
8	HARDWOOD
12	HARDWOOD
16	HARDWOOD
12	HARDWOOD
9	HARDWOOD
22	PINE
19	PINE
TOTAL TREES	12
TOTAL INCHES	149
TOTAL UNITS	39.4
ONSITE SPECIMENT TREES IMPACT (>20%)	
Size (Inches)	Type
N/A	N/A
TOTAL TREES	0
TOTAL INCHES	0
TOTAL UNITS	0

ONSITE TREE REQUIREMENT CALCULATIONS	
SITE DENSITY REQUIRED = 120" X 0.463 ACRES = 55.6"	
TREES TO REMAIN = 200"	
MINIMUM DENSITY REQUIREMENT MET WITH EXISTING TREES	

BOUNDARY TREE CALCULATIONS:

BOUNDARY TREES	
BOUNDARY TREES SAVED WITH LESS THAN 20% IMPACT	
Size (Inches)	Type
60	HW
19	HW
12	HW
9	HW
20	PINE
TOTAL TREES	5
TOTAL INCHES	120
TOTAL UNITS	43.6
BOUNDARY SPECIMENT TREES SAVED WITH LESS THAN 20% IMPACT	
Size (Inches)	Type
10	HW
TOTAL TREES	1
TOTAL INCHES	10
TOTAL UNITS	3.2
BOUNDARY TREES LOST/DESTROYED	
Size (Inches)	Type
N/A	N/A
TOTAL TREES	0
TOTAL INCHES	0
TOTAL UNITS	0

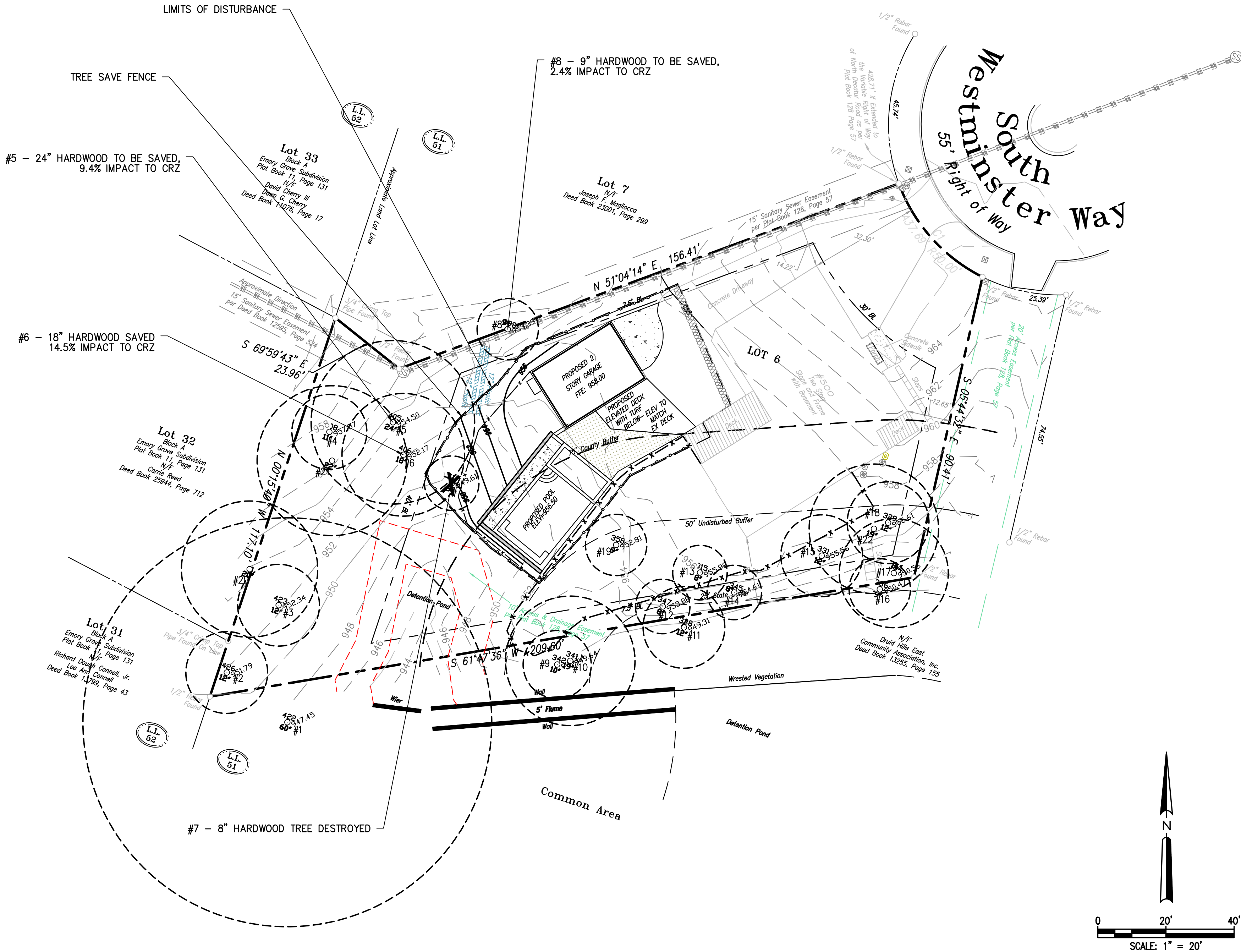
DEKALB COUNTY TREE NOTES:

1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
2. ALL TREE PROTECTION DEVICES TO BE INSTALL PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
3. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
4. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES TO OCCUR WITHIN TREE PROTECTION AREAS OR WITHIN SIX (6) FEET OF THE CRZ.
5. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER DATE OF FINAL INSPECTION.

DEKALB COUNTY NOTES:

1. NO ONE SHALL ENCROACH, PLACE SOLVEMENTS, BUILDING, MACHINERY, BUILDING DEBRIS OR ANY OTHER MATERIAL WITHIN 6' OUTSIDE TREE PERIPHERY OF THE CRZ OR WITHIN ANY TREE SAVE AREA, TRANSITIONAL BUFFER ZONE, STREAM BUFFER, OR STATE BUFFER ZONE.
2. ALL TREE FENCE AND OTHER TREE PROTECTION DEVICES MUST REMAIN IN FUNCTIONING CONDITION UNTIL COMPLETION OF THE PROJECT OR UNTIL THE CO IS ISSUED.
3. A TREE THAT IS DESIGNATED TO BE SAVED, BUT IS DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO THE UNIT VALUE OF THE TREE REMOVED. ANY SPECIMEN TREE DAMAGED SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO 1.5 TIMES THE DBH OF THE DAMAGED SPECIMEN.
4. ALL PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
5. ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOTZONE(CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
6. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
7. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS(CRZ).
8. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
9. THE PROTECTION SIGNS ARE TO BE PLACED AT LEAST EVERY 50' ALONG THE LENGTH OF THE TREE PROTECTION FENCE. THE SIGNS SHOULD BE IN LANGUAGE SO THAT ALL WORKERS ON SITE ARE ABLE TO UNDERSTAND.

24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287



Prepared By
Crescent View
Engineering, LLC
211 Frasier Street
Marietta, GA 30062
678-324-8410
www.crescentvieweng.com

Prepared For
500 South Westminster
500 South Westminster Way
Marietta, GA 30062
919-285-1287
nic.obtsolutions@gmail.com

TREE PLAN

DATE	SCALE	AS SHOWN	REVISIONS
03-15-23	1" = 20'	EF	GH
DRAWN	EF		
CHECKED	GH		



Construction Plans For
500 South Westminster Way
Land Lot 51, 18th District
DeKalb County, Georgia

CVE PI # 22-139

Sheet No.
C-4

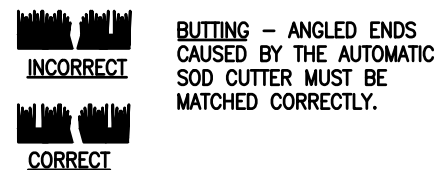
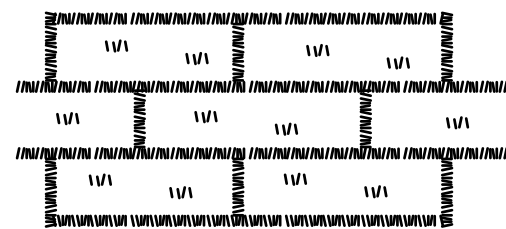
APPLICATION OF MULCH

DRY STRAW OR HAY APPLIED TO DEPTH OF 2 - 4 INCHES
WOOD CHIPS, BARK, SAWDUST APPLIED TO DEPTH OF 2 - 3 INCHES

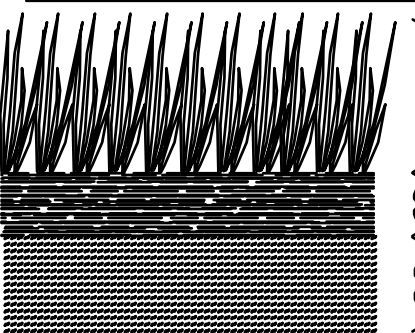
PLANTS, PLANTING RATES, & PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS											
SPECIES	BROADCAST RATES 2'-PLS. 3' PER ACRE	RESOURCE AREA 4' SO. FT.	PLANTING DATES BY RESOURCE AREAS PLANTING DATES	REMARKS	SPECIES	BROADCAST RATES 2'-PLS. 3' PER ACRE	RESOURCE AREA 4' SO. FT.	PLANTING DATES BY RESOURCE AREAS PLANTING DATES	REMARKS	SPECIES	BROADCAST RATES 2'-PLS. 3' PER ACRE
BARLEY (HORDEUM VULGARE)	3 bu. (144 lb.)	3.3 lb.	J F M A M J J A S O N D	14,000 SEED PER POUND. WINTERHARDY. USE ON PRODUCTIVE SOILS.	MILLET, PEARL (PENNESETUM GLAUCUM)	50 lbs. 1.1 lb.	M-L P C	J F M A M J J A S O N D	88,000 SEED PER POUND. QUICK DENSE COVER. MAY REACH 5 FEET IN HEIGHT. NOT RECOMMENDED FOR MIXTURES.	ALONE	50 lbs. 1.1 lb.
IN MIXTURES	1/2 bu. (24 lbs.)	0.6 lb.	J F M A M J J A S O N D		GATS (AVENA SATIVA)	4 bu. (128 lb.)	M-L P C	J F M A M J J A S O N D	13,000 SEED PER POUND. QUICK DENSE COVER. USE ON PRODUCTIVE SOILS. NOT AS WINTERHARDY AS RYE OR BARLEY.	IN MIXTURES	10 lbs. 0.2 lb.
LESPEDEZA, ANNUAL (LESPEDEZA STRATA)	40 lbs. 0.9 lb.	0.9 lb.	J F M A M J J A S O N D	200,000 SEED PER POUND. MAY VOLUNTEER FOR SEVERAL YEARS. USE INOCULANT EL.	RYE (SECALE CEREALE)	1 bu. (32 lbs.)	M-L P C	J F M A M J J A S O N D	18,000 SEED PER POUND. QUICK DENSE COVER. DROUGHT TOLERANT AND WINTERHARDY.	ALONE	40 lbs. 0.9 lb.
IN MIXTURES	10 lbs. 0.2 lb.	0.2 lb.	J F M A M J J A S O N D		IN MIXTURES	3 bu. (128 lb.)	M-L P C	J F M A M J J A S O N D		IN MIXTURES	10 lbs. 0.2 lb.
LOVEGRASS, WEEPING (ERAGROSTIS CURVULA)	4 lbs. 0.1 lb.	0.1 lb.	J F M A M J J A S O N D	1,500,000 SEED PER POUND. MAY LAST FOR SEVERAL YEARS. MIX WITH SERICEA LESPEDEZA.	RYEGRASS, ANNUAL (LOLIUM TEMULENTUM)	40 lbs. 0.9 lb.	M-L P C	J F M A M J J A S O N D	137,000 SEED PER POUND. QUICK DENSE COVER. WILL PROVIDE TOO MUCH COMPETITION IN MIXTURES IF SEED AT HIGH RATES.	ALONE	40 lbs. 0.9 lb.
IN MIXTURES	2 lbs. 0.07 lb.	0.07 lb.	J F M A M J J A S O N D		ALONE	60 lbs. 1.4 lb.	M-L P C	J F M A M J J A S O N D		IN MIXTURES	10 lbs. 0.2 lb.
MILLET, BROWNTOP (Panicum fasciculatum)	40 lbs. 0.9 lb.	0.9 lb.	J F M A M J J A S O N D								
IN MIXTURES	10 lbs. 0.2 lb.	0.2 lb.	J F M A M J J A S O N D								

TEMPORARY GRASSING

NOT TO SCALE



APPEARANCE OF GOOD SOD



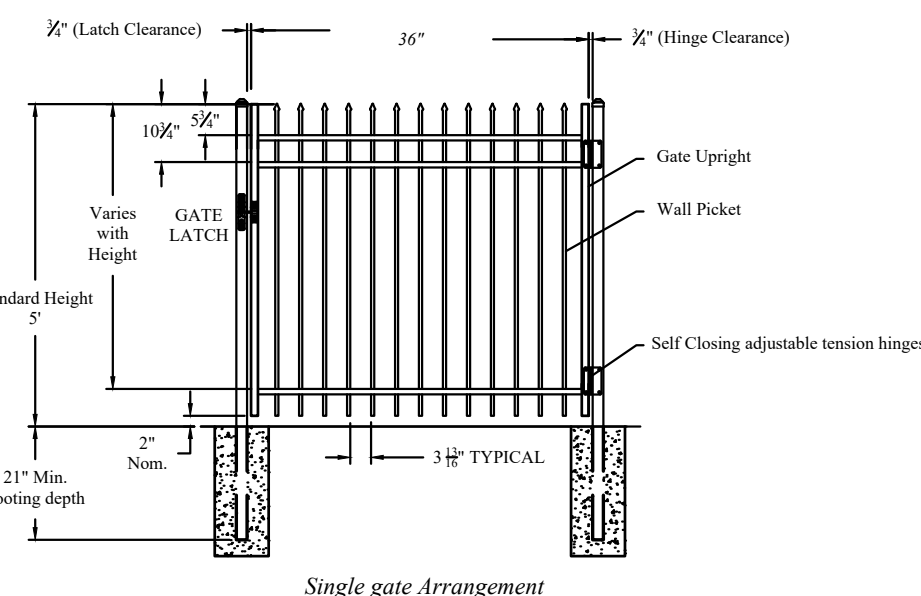
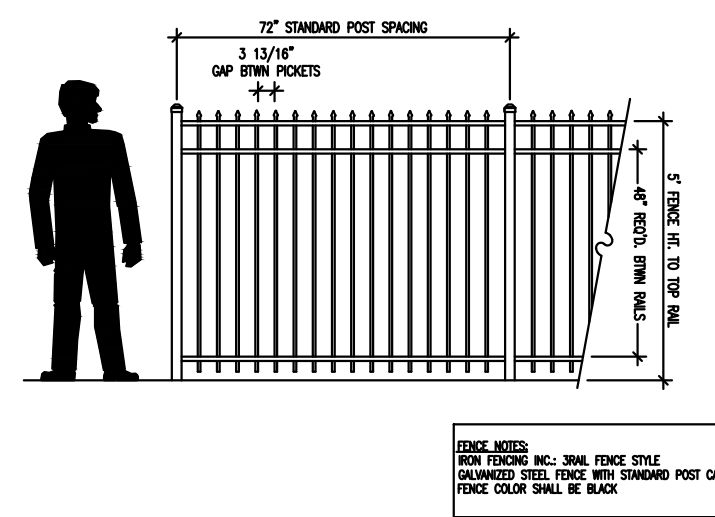
LAY SOD IN A STAGGERED PATTERN, BUT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES.

1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.
2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAID.
3. MOW WHEN THE SOD IS ESTABLISHED - IN 2-3 WEEKS. SET THE MOWER HIGH (2"-3").

SHOOTS OR GRASS BLADES. GRASS SHOULD BE GREEN AND HEALTHY, MOWED AT A 2"-3" CUTTING HEIGHT.
THATCH - GRASS CLIPPINGS AND DEAD LEAVES, UP TO 1/2" THICK.
ROOT ZONE - SOIL AND ROOTS. SHOULD BE 1/2"-3/4" THICK, WITH DENSE ROOT MAT FOR STRENGTH.

SODDING

Ds4



5' HIGH DECORATIVE ALUMINUM FENCE

NOT TO SCALE

1
C-5

DUST CONTROL ON DISTURBED AREAS

SITE MUST BE CONTROLLED TO PREVENT SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION AREAS.
CONTRACTOR SHALL UTILIZE ADDITIONAL MEASURES TO CONTROL DUST AS REQUIRED -
TEMPORARY METHODS: Ds1-MULCHING, T-JACKPERS AND BINDERS, Ds2-TEMPORARY SEEDING, SPRAY ON ADHESIVES, IRRIGATION
PERMANENT METHODS: Ds3-PERMANENT VEGETATION, Ds4-SODDING

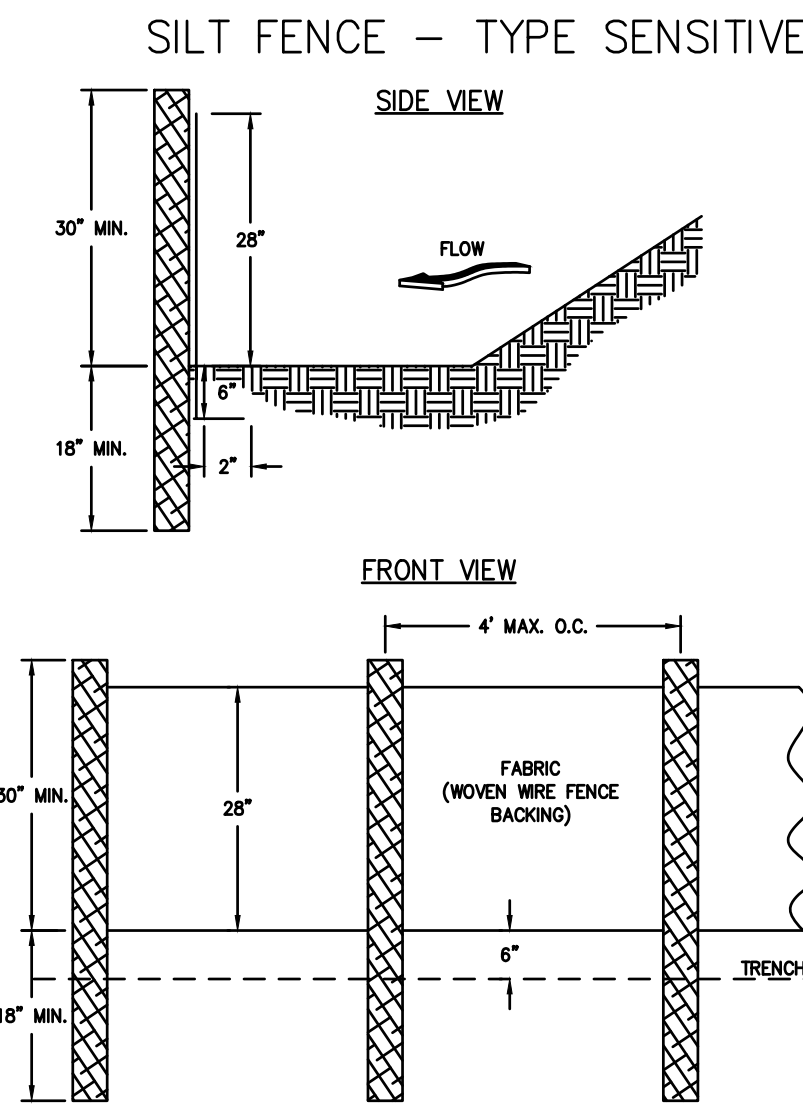
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PLANTS, PLANTING RATES, & PLANTING DATES FOR PERMANENT COVER											
SPECIES	BROADCAST RATES 1'-PLS. 2' PER ACRE	RESOURCE AREA 3' SO. FT.	PLANTING DATES BY RESOURCE AREAS PLANTING DATES	REMARKS	SPECIES	BROADCAST RATES 1'-PLS. 2' PER ACRE	RESOURCE AREA 3' SO. FT.	PLANTING DATES BY RESOURCE AREAS PLANTING DATES	REMARKS	SPECIES	BROADCAST RATES 1'-PLS. 2' PER ACRE
BAHA, PENSACOLA (PASPALLUM NOTATUM)	60 lbs. 1.4 lb.	1.4 lb.	J F M A M J J A S O N D	166,000 SEED PER POUND. LOW GROWING SOD FORMING. SLOW TO ESTABLISH. PLANT W/ A COMPANION CROP. WILL SPREAD INTO BERMUDA PASTURES & LAWNS. MAX. COASTAL, COMMON, W/ SERICEA LESPEDEZA OR TIFT 44.	BERMUDA SPRIGS (CYNDON DACTYLON)	40 cu. ft. 0.9 cu. ft.	M-L P C	J F M A M J J A S O N D	A CUBIC FOOT CONTAINS APPROXIMATELY 650 SPRIGS. A BUSHEL CONTAINS 1.25 CUBIC FEET OR APPROXIMATELY 800 SPRIGS.	ALONE OR WITH TEMPORARY COVER	60 lbs. 1.4 lb.
W/ OTHER PERENNIALS	30 lbs. 0.7 lb.	0.7 lb.	J F M A M J J A S O N D		W/ OTHER PERENNIALS	30 lbs. 0.7 lb.	M-L P C	J F M A M J J A S O N D	SAME AS ABOVE.	IN MIXTURES	10 lbs. 0.2 lb.
BAHA, WILMINGTON (PASPALLUM NOTATUM)	60 lbs. 1.4 lb.	1.4 lb.	J F M A M J J A S O N D	166,000 SEED PER POUND. LOW GROWING SOD FORMING. SLOW TO ESTABLISH. PLANT W/ A COMPANION CROP. WILL SPREAD INTO BERMUDA PASTURES & LAWNS. MAX. COASTAL, COMMON, W/ SERICEA LESPEDEZA OR TIFT 44.	BERMUDA SPRIGS (CYNDON DACTYLON)	40 cu. ft. 0.9 cu. ft.	M-L P C	J F M A M J J A S O N D	A CUBIC FOOT CONTAINS APPROXIMATELY 650 SPRIGS. A BUSHEL CONTAINS 1.25 CUBIC FEET OR APPROXIMATELY 800 SPRIGS.	ALONE OR WITH TEMPORARY COVER	60 lbs. 1.4 lb.
W/ OTHER PERENNIALS	30 lbs. 0.7 lb.	0.7 lb.	J F M A M J J A S O N D		W/ OTHER PERENNIALS	30 lbs. 0.7 lb.	M-L P C	J F M A M J J A S O N D	SAME AS ABOVE.	IN MIXTURES	10 lbs. 0.2 lb.
BERMUDA, COMMON (CYNDON DACTYLON)	10 lbs. 0.2 lb.	0.2 lb.	J F M A M J J A S O N D	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	BERMUDA, COMMON (CYNDON DACTYLON)	10 lbs. 0.2 lb.	M-L P C	J F M A M J J A S O N D	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	ALONE	10 lbs. 0.2 lb.
WITH TEMPORARY COVER	6 lbs. 0.1 lb.	0.1 lb.	J F M A M J J A S O N D		WITH TEMPORARY COVER	6 lbs. 0.1 lb.	M-L P C	J F M A M J J A S O N D		IN MIXTURES	10 lbs. 0.2 lb.
WITH OTHER PERENNIALS	6 lbs. 0.1 lb.	0.1 lb.	J F M A M J J A S O N D		WITH OTHER PERENNIALS	6 lbs. 0.1 lb.	M-L P C	J F M A M J J A S O N D		IN MIXTURES	10 lbs. 0.2 lb.
BERMUDA, COMMON (CYNDON DACTYLON)	10 lbs. 0.2 lb.	0.2 lb.	J F M A M J J A S O N D	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	BERMUDA, COMMON (CYNDON DACTYLON)	10 lbs. 0.2 lb.	M-L P C	J F M A M J J A S O N D	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	ALONE	10 lbs. 0.2 lb.
WITH TEMPORARY COVER	6 lbs. 0.1 lb.	0.1 lb.	J F M A M J J A S O N D		WITH TEMPORARY COVER	6 lbs. 0.1 lb.	M-L P C	J F M A M J J A S O N D		IN MIXTURES	10 lbs. 0.2 lb.
WITH OTHER PERENNIALS	6 lbs. 0.1 lb.	0.1 lb.	J F M A M J J A S O N D		WITH OTHER PERENNIALS	6 lbs. 0.1 lb.	M-L P C	J F M A M J J A S O N D		IN MIXTURES	10 lbs. 0.2 lb.

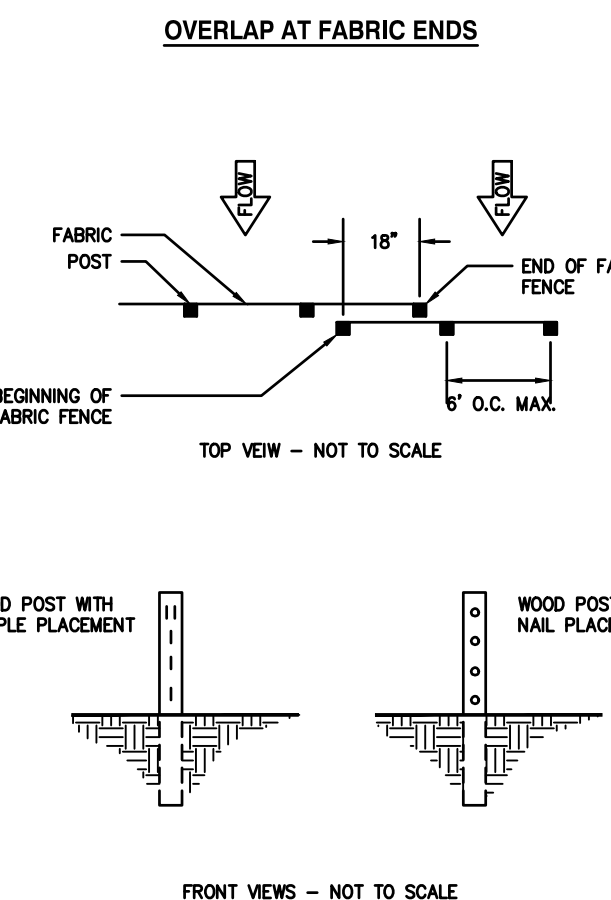
PERMANENT GRASSING

NOT TO SCALE

Ds3



FASTENERS FOR SILT FENCES



- NOTES:
1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

Sd1-S

24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287

FERTILIZER REQUIREMENTS				
TOP OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N DRESSINGS RATE
1. COOL SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	10-100 lbs./ac. 1/2/ 30
2. COOL SEASON GRASSES AND LEGUMES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	0-50 lbs./ac. 1/ -
3. GROUND COVERS	FIRST SECOND MAINTENANCE	10-10-10 10-10-10 10-10-10	1300 lbs./ac. 3/ 1000 lbs./ac. 3/ 1100 lbs./ac.	-
4. PINE SEEDLING	FIRST	20-10-5	ONE 21-GRAM PELLET PER SEEDLING PLACED IN THE CLOSING HOLE	-
5. SHRUB LESPEDEZA	FIRST MAINTENANCE	0-10-10 0-10-10	700 lbs./ac. 700 lbs./ac. 4/	-
6. TEMPORARY COVER CROPS SEEDS ALONE	FIRST	10-10-10	500 lbs./ac.	30 lbs./ac. 5/
7. WARM SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 800 lbs./ac. 400 lbs./ac.	50-100 lbs./ac. 2/6/ 50-100 lbs./ac. 2/ 30 lbs./ac.
8. WARM SEASON GRASSES AND LEGUMES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	50 lbs./ac. 6/

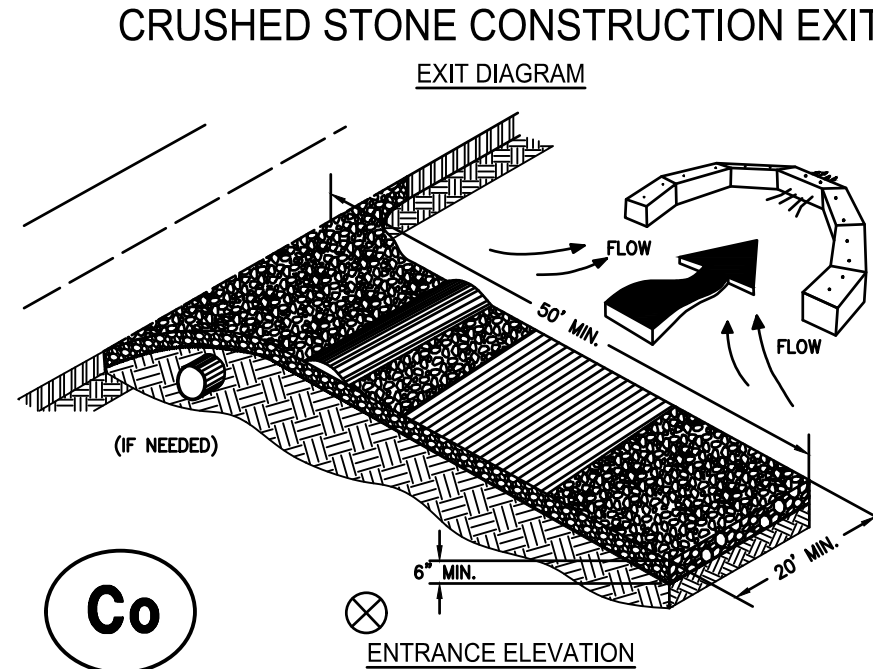
- 1) APPLY IN SPRING FOLLOWING SEEDING.
- 2) APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
- 3) APPLY IN 3 SPLIT APPLICATIONS.
- 4) APPLY WHEN PLANTS ARE PRUNED.
- 5) APPLY TO GRASS SPECIES ONLY.
- 6) APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

LIME APPLICATION REQUIREMENT - 2 TONS/ACRE

80% PASS THROUGH 10 - MESH SIEVE
25% PASS THROUGH 25 - MESH SIEVE

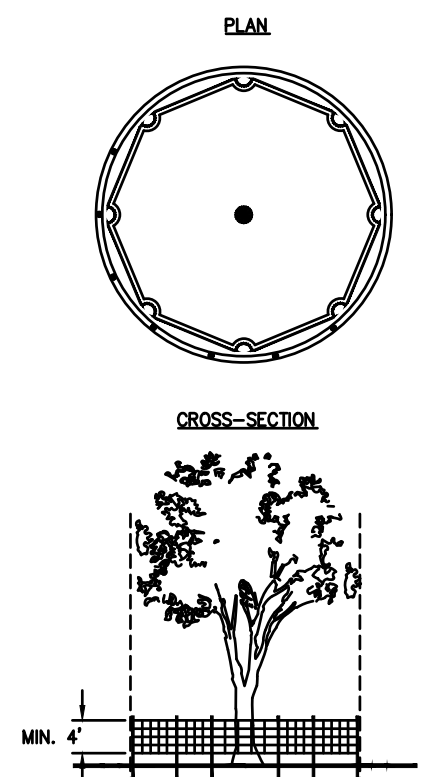
FERTILIZERS

NOT TO SCALE



- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND GROUND FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

TREE PROTECTION FENCE



- NOTES:
1. STAKE ALONG DRIP LINE (LIMIT OF CLEARING) AND LIGHTLY COMPACT.
 2. SPACE STAKES AT INTERVALS SUFFICIENT TO MAINTAIN ALL FENCING OUT OF DRIP LINE OR AS SHOWN BY ENGINEER (SET STAKES NO GREATER THAN 6 FEET ON CENTER-REBAR IS NOT TO BE USED FOR STAKES).
 3. MAINTAIN FENCE BY REPAIRING AND/OR REPLACING DAMAGED FENCE. DO NOT REMOVE FENCING PRIOR TO LANDSCAPING OPERATIONS.
 4. DO NOT STORE OR STACK MATERIALS, EQUIPMENT, OR VEHICLES WITHIN FENCED AREA.
 5. FENCE SHALL BE ORANGE VINYL "TREE PROTECTION" 4" HIGH MINIMUM.

THERE SHALL BE NO TRENCHING IN THE INSTALLATION OF THIS FENCE.

Prepared By
Crescent View
Engineering, LLC
211 Frazier Street
Marietta, GA 30062
919-285-1287
www.crescentvieweng.com

Prepared For
500 South Westminster Way
Atlanta, GA 30307
919-285-1287
nic_obsolutions@gmail.com

CONSTRUCTION DETAILS

DATE	03-15-23	REVISIONS
SCALE	AS SHOWN	
DRAWN	EF	
CHECKED	GHB	



Construction Plans For
500 South Westminster Way
Land Lot 51, 18th District
DeKalb County, Georgia

CVE PI # 22-139

Sheet No.
C-5

CONTACT INFORMATION:
NIC PRANKER

NIC.OTPSOLUTIONS@GMAIL.COM

DRAWN BY:
JASON ALPERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

GENERAL NOTES:

THE INFORMATION SHOWN IN THESE DRAWINGS IS BASED ON ACTUAL FIELD MEASUREMENTS AND OTHER INFORMATION OF RECORD. ALL WORK DESCRIBED IN THESE PLANS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE FOLLOWING CONSTRUCTION CODES.

THE GEORGIA STATE MINIMUM CODES:
INTERNATIONAL BUILDING CODE - 2018 EDITION WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL MECHANICAL CODE - 2018 EDITION WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL PLUMBING CODE - 2018 EDITION WITH GEORGIA STATE AMENDMENTS AND IPC APPENDIX F

INTERNATIONAL FUEL GAS CODE - 2018 EDITION WITH GEORGIA STATE AMENDMENTS

2020 NATIONAL ELECTRICAL CODE (NEC)

INTERNATIONAL ENERGY CONSERVATION CODE - 2015 EDITION WITH GEORGIA STATE AMENDMENTS

INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS, 2018 EDITION WITH GEORGIA STATE AMENDMENTS, AND IRC APPENDIX F

INTERNATIONAL FIRE PREVENTION CODE - 2018 EDITION WITH AMENDMENTS

THE GEORGIA EROSION AND SEDIMENTATION ACT OF 1975, THIRD EDITION 1992

NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 2018 EDITION USED BY GA DCA

COGA TITLE 25 AND 30 AND CHAPTER 120 OF THE FIRE COMMISSIONERS RULES AND REGULATIONS

THIS PLAN HAS BEEN PREPARED TO MEET PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODE REQUIREMENTS VARY WITH LOCATION AND CHANGE FROM TIME TO TIME. BEFORE STARTING CONSTRUCTION, THE CONTRACTOR MUST REVIEW AND BE RESPONSIBLE FOR ALL DIMENSIONS AND OTHER DETAILS AND SHOULD REVIEW PLANS TO INSURE THEY MEET CURRENT REQUIREMENTS. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY TO VERIFY THE CONDITIONS, DIMENSIONS, AND STRUCTURAL DETAILS OF THE BUILDING, AND ASSUMES FULL LIABILITY FOR ANY PROBLEMS THAT MAY ARISE DUE TO POSSIBLE ERRORS ON THESE PLANS. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC., SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME ARE AT VARIANCE. USE OF THESE PLANS CONSTITUTES COMPLIANCE WITH THE ABOVE TERMS.

THESE PLANS HAVE BEEN GENERATED FOR THE CLIENTS LISTED IN THE PROJECT NAME AND ARE NOT TO BE USED, REPRODUCED, COPIED, OR DISTRIBUTED FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM STUDIO TEN DESIGNS.

1. ALL MEANS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CODES, LAWS, AND REGULATIONS OF DEKALB COUNTY, INCLUDING BUT NOT LIMITED TO FLUES, CHIMNEY, FIREPLACE, SMOKE DETECTOR, MASONRY, WOOD CONSTRUCTION, ROOFING, PLUMBING, ELECTRICAL WIRING, EXHAUST FANS, VENTING, MECHANICAL EQUIPMENT, AND DUCTWORK, ETC., AND SUCH CODES, LAWS, AND REGULATIONS SHALL GOVERN OVER ANY CONFLICTING INFORMATION INDICATED ON THE CONSTRUCTION DOCUMENTS.

2. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, FOR ACTS OR OMISSIONS OF THE CONTRACTORS, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND / OR IN ACCORDANCE WITH LOCAL CODES, RESTRICTIONS, AND REQUIREMENTS.

3. EACH NOTE ON ANY PAGE SHALL BE CONSIDERED AS ONE AND CONSISTENT FOR ALL PAGES.

4. ALL PLAN DIMENSIONS ARE TO FACE OF FINISH PARTITIONS UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS GOVERN OVER SCALE.

6. CONTRACTOR TO CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION - NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION

7. EACH BEDROOM SHALL HAVE AT LEAST ONE WINDOW WHOSE CLEAR OPENING IS A MINIMUM OF 5.7 SQ. FT. THE MINIMUM CLEAR WIDTH SHALL BE 20" AND MINIMUM CLEAR HEIGHT SHALL BE 24". GRADE FLOOR BEDROOM WINDOWS MAY HAVE A MINIMUM 5.0 SQ FT CLEAR OPENING

FOUNDATION WALLS:

1. POURED CONCRETE FOUNDATION & OR CMU WALLS SHALL BE MIN. NOMINAL 8" THICK AND STEEL REINFORCED AS NOTED ON DETAIL SECTIONS AND AS REQUIRED BY STATE, COUNTY, AND LOCAL CODES AND RESTRICTIONS.

2. CONCRETE WALLS SHALL BE INSPECTED BY LICENSED ENGINEER OR ARCHITECT PRIOR TO POURING.

3. WATERPROOFING ON CONCG. WALLS MUST CONFORM TO LOCAL CODE REQUIREMENTS.

4. USE 1/2" DIA. MIN. GALV. ANCHOR BOLTS OR STRAPS TO SECURE SILL PLATES 6'-0" O.C. AND A MAX. 12" FROM CORNERS. PROVIDE FOAM SILL SEAL BETWEEN TOP OF FOUNDATION WALL AND SILL PLATE

5. ALL PENETRATIONS THROUGH FOUNDATION WALLS MUST BE SEALED GAS TIGHT.

6. PROVIDE FREE DRAINING GRANULAR BACKFILL WITH A MAX. EQUIV. FLUID PRESSURE OF 30 LBS PER SQ. FT. PER FOOT OF BACKFILL AGAINST FOUNDATION WALLS

ROOFING AND MOISTURE PROTECTION:

1. ALL METAL & SHINGLE ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND ACCORDING TO THE GUIDELINES ESTABLISHED FOR CERTIFIED MFGRS 20 YEAR NO DOLLAR LIMIT (NDL) WARRANTY.

2. PROVIDE METAL DRIP CAP AT STARTER COURSES ABOVE GUTTERS

3. PROVIDE FLASHING AT ALL DOORS, WINDOWS AND OTHER OPENINGS AND AS NECESSARY AND AS PER CODE TO PREVENT MOISTURE PENETRATION

4. METAL FLASHING, COUNTER FLASHING, AND COPING SHALL BE MIN #26 GAUGE NON CORROSIVE METAL AND SHALL BE USED AT ALL STEPS, VALLEYS, AND COUNTERS

5. MECHANICAL/PLUMBING/ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL HORIZONTAL & VERTICAL PENETRATIONS IN THE EXTERIOR WALL CAUSED BY THEIR TRADE

6. GENERAL CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROVIDE NECESSARY STRUCTURAL, MECHANICAL ELECTRICAL AND PLUMBING SLEEVES, ANCHORS, WEIR OPENINGS ETC., THAT MIGHT BE REQUIRED.

FRAMING:

1. ALL WALL PLATES IN CONTACT W/ MASONRY OR CONG. SURFACE SHALL BE PRESSURE TREATED.

2. ALL STUDS TO BE 2X4 OR 2X6 STUD GRADE SPF WITH 1/2" CDX PLYWOOD EXTERIOR SHEATHING OR EQUAL.

3. ALL JOISTS AND RAFTERS TO BE SPRUCE/PINE/FIR #2 AND BETTER. ROOF SHEATHING TO BE 1/2" THK. CDX. ALL FLOOR SHEATHING TO BE 3/4" T & G CDX. EXCEPT AREAS TO RECEIVE HARDWOOD FLOORING TO BE 1/2" CDX. PLYWOOD SUBFLOOR. ALL PLYWOOD SUBFLOOR TO BE GLED TO JOISTS WITH APPROVED CONSTRUCTION ADHESIVE AND NAILED PER BLDG CODE.

4. MANUFACTURED TRUSS JOIST SHALL BE INSTALLED IN ACCORDANCE WITH ALL MANUFACTURERS SPECS. TRUSS JOIST SHALL BE TRUSS JOIST MACMILLAN TJ-PRO 250 OR TJ-PRO 350 OR EQUAL WITH RIM JOIST AS PER MFGR. SPECS. PROVIDE APPROVED CRUSH BLOCKS AT ALL POINT LOADS AND ALL BEARING POINTS AS RECOMMENDED BY MANUFACTURER

5. PRECAST CONCG. & LAMINATED WD BEAMS AND COLUMNS TO BE BUILT AND INSTALLED IN ACCORDANCE W/ ALL MANUFACTURERS SPECIFICATIONS AND AS REQUIRED BY LOCAL CODES, RESTRICTIONS, AND REGULATIONS.

6. PROVIDE APPROVED JOIST HANGERS AT ALL FLUSH JOIST-TO-JOIST AND JOIST-TO-BEAM CONNECTIONS

7. HEADERS IN ALL BEARING PARTITIONS AND BEARING WALLS TO BE SOLID DIMENSIONAL LUMBER SIZED AS INDICATED ON FRAMING PLANS. W/ 1/2" SOLID PLYWOOD BETWEEN UNLESS OTHERWISE NOTED. LAMINATED HEADERS AND BEAMS SHALL BE NAILED AS PER MANUFACTURERS SPECIFICATIONS.

8. ALL HEADERS IN EXCESS OF 4'-0" SHALL HAVE MIN. (2) TRIMMER JACKS ON EACH SIDE

9. PROVIDE ADDITIONAL JOIST OR TRUSS UNDER INTERIOR PARTITIONS RUNNING PARALLEL TO FLOOR JOIST AND HAVING A LENGTH GREATER THAN 6'-0". DOUBLE JOIST UNDER BATHTUBS OR SPACE JOIST AT 12" O.C.

10. ALL BEARING PARTITIONS SHALL HAVE 2 TOP PLATES - STAGGER SPLICES 4'-0" MIN. SPLICES SHALL BE CENTERED OVER TOP OF STUDS. STUDS SHALL ALIGN WITH JOISTS AND RAFTERS ABOVE AND BELOW

11. PROVIDE 2X FIRESTOP BLOCKING AS REQUIRED BY CODE THROUGHOUT.

12. HOLES BORED OR CUT INTO JOISTS SHALL NOT OCCUR WITHIN 2" OF TOP OR BOTTOM OF JOISTS NOR IN CENTER ONE THIRD OF JOIST SPAN AND THE DIAMETER OF HOLES SHALL NOT EXCEED ONE THIRD OF THE DEPTH OF THE JOIST. NOTCHES SHALL NOT OCCUR IN TENSION SIDE OF JOIST. NOTCHES IN COMPRESSION SIDE OF JOISTS SHALL NOT OCCUR IN THE CENTER ONE THIRD OF THE SPAN AND SHALL NOT EXCEED ONE SIXTH OF THE DEPTH OF THE JOIST.

13. WHERE THE INSTALLATION OF PLUMBING, HEATING, OR OTHER PIPES NECESSITATES THE CUTTING OF TOP PLATES MORE THAN ONE HALF THEIR WIDTH A METAL TIE NOT LESS THAN 18 GAUGE AND 1 1/2" IN WIDTH SHALL BE FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN (4) 16 PENNY NAILS

14. THE DIAMETER OF HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE THIRD THE WIDTH OF THE STUD. WHERE STUDS ARE CUT OR BORED IN EXCESS OF ONE THIRD THE WIDTH OF THE STUD IT SHALL BE REINFORCED TO BE EQUAL IN LOAD CARRYING CAPACITY TO A STUD NOTCHED NOT MORE THAN ONE THIRD ITS DEPTH.

STEEL LINTELS: (FOR EACH 4" THICKNESS OF MASONRY WALL)			
OPENING WIDTH	ANGLE SIZE	BEARING LENGTH	
UP TO 3'-11"	L3# X 3/4" X 5/16"	5'	
4'-0" TO 5'-11"	L4" X 3/4" X 5/16"	5'	
6'-0" TO 7'-11"	L5" X 3/4" X 5/16"	5'	
8'-0" TO 10'-0"	W8X15 W/ SUSPENDED PLATE	5'	

WOOD LINTEL HEADER TABLE		
OPENING WIDTH	WOOD SIZE	BEARING
0 TO 3'-0"	2-2X8	6"
3'-1" TO 5'-0"	2-2X8	8"
5'-1" TO 6'-0"	2-2X10	10"
6'-1" TO 7'-0"	2-2X12	12"

REINFORCED CMU LINTELS: PROVIDE A MINIMUM OF 8" BEARING AT EACH END

OPENING WIDTH	LINTEL SIZE AND REINFORCING
UP TO 4'-0"	WALL THICKNESS X 8" DEEP, REINFORCED W/ 2#4 BOTTOM UP TO 6" THICK, REINFORCED W/3#4 BOTTOM OVER 6" THICK
4'-1" TO 8'-0"	WALL THICKNESS X 16" DEEP, REINFORCED BOTTOM UP TO 8" THICK, REINFORCED W/ 3#5 BOTTOM OVER 8" THICK & #3 STIRRUPS @ 6" o.c.

PRECAST CONCRETE LINTELS: PROVIDE A MINIMUM OF 8" BEARING AT EACH END

OPENING WIDTH	LINTEL SIZE AND REINFORCING
UP TO 4'-0"	WALL THICKNESS X 8" DEEP, REINFORCED W/2#4 BOTTOM
4'-1" TO 8'-0"	WALL THICKNESS X 16" DEEP, REINFORCED W/ 2#5 BOTTOM

16. THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE ADEQUATE TO ACCEPT DOOR FRAMES, LOUVERS ETC. ARE SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS. NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO LINTEL INSTALLATION.

17. NO OPENINGS SHALL BE PLACED ABOVE ANY LINTEL WITHIN A HEIGHT LESS THAN OR EQUAL TO THE WIDTH OF THE CLEAR OPENING BELOW THE LINTEL, UNLESS SPECIFICALLY SHOWN OR APPROVED BY THE STRUCTURAL ENGINEER.

FINISHES:

- ALL EXTERIOR WOOD CORNICE AND TRIM SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION
- ALL INTERIOR WALLS AND CEILINGS TO BE 1/2" THICK GYPSUM WALLBOARD EXCEPT AS OTHERWISE NOTED.
- SHOWER AND TUB WALLS ARE TO BE CERAMIC TILE ON CEMENTINOUS TILE BACKER BOARD.
- INTERIOR TRIM AND MOULDINGS INCLUDING BASE, CASINGS, CROWN, CHAIRRAIL, ETC. SHALL BE AS DETAILED AND/OR AS SELECTED BY OWNER

INSULATION:

- INSULATION IN EXTERIOR WALLS, FLOORS, OR CEILINGS SHALL BE PAPER BACKED BLANKET OR ROLL TYPE FIBERGLASS WITH VAPOR BARRIER.
- INSULATION IN EXT. WOOD FRAME WALLS TO BE R-13 NOM. 1/2" AT 2X4 WALLS AND R-19 5 1/2" AT 2X6 WALLS
- INSULATION IN FLAT CEILINGS ADJACENT TO ATTIC SPACES TO BE NOM. 10" (R-30)
- PROVIDE R-13 INSULATION W/ FOIL VAPOR BARRIER AT CONG. FOUNDATION WALLS
- NEW DOORS AND WINDOWS ARE REQD TO HAVE AN R-2.8 RATING MIN.

DRAINAGE OF FOOTINGS:

- UNLESS OTHERWISE NOTED, PROVIDE PERIMETER BASEMENT WALLS WITH 4" OR 6"G, DIAMETER PERFORATED, CORRUGATED PLASTIC DRAIN LAID ON 2" GRAVEL BASE W/ 6" -8" GRAVEL COVER WITH JOINTS COVERED WITH FILTER CLOTH FOR PERFORATED TILE.
- SLOPE DRAIN TILE AS REQUIRED TO DRAIN TO STORM SEWER OR OUTFALL.
- PUT 18" OF GRAVEL ALL AROUND FOUNDATION.

DAMP PROOFING FOR CONCRETE AND MASONRY FOUNDATIONS:

- EXTERIOR FOUNDATION WALLS OF CONSTRUCTION ENCLOSING BASEMENTS SHALL BE PORTLAND CEMENT PARGING TO THE WALL FROM FOOTING TO FINISH GRADE.
- THE PARGING SHALL BE COVERED WITH A COAT OF APPROVED BITUMINOUS MATERIAL APPLIED AT THE RECOMMENDED RATE.

REINFORCING:

- REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET STEEL CONFORMING TO ASTM A615 -95C, GRADE 60 (60000 PSI).
- WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A - 185.
- ALL REINFORCING SHALL BE DETAILED FABRICATED AND PLACED IN ACCORDANCE WITH THE ACIS " MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (ACI - 315).
- DETAILS OF REINFORCEMENT SHALL CONFIRM TO ACI 318 - 95, ACI 315 - 74 AND CRSI STANDARDS.
- ALL REINFORCING STEEL MARKED " CONTINUOUS " SHALL BE LAPPED 36 BAR DIAMETERS ST SPLICED AND AROUND CORNER OR INTERSECTION WITH A STANDARD 90 DEGREE BEND ON CORNER BARS.
- LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.
- SLABS ON GRADE SHALL BE 4" THK. CONCRETE AND REINFORCED WITH 6X6" W1.4XW1.4 WWF LAP MESH 8" IN EACH DIRECTION. PLACE CONCRETE OVER 4 MIL. POLYETHYLENE VAPOR BARRIER AND 4" MINIMUM OF COARSE AGGREGATE. OR AS RECOMMENDED BY SOILS ENGINEER. THE AGGREGATE LAYER SHALL BE PLACED OVER FIRM NATURAL SUB GRADE OR ON COMPACTED OR AND CONTROLLED FILL. FILL UNDER SLABS SHALL BE COMPACTED IN 8" LAYERS TO 95% MAXIMUM DENSITY. USE AIR ENTRAINED CONCRETE AT ALL EXTERIOR SLABS. POUR SLABS IN ALTERNATE PANELS WITH MAXIMUM OF 600 SQUARE FEET AND PROVIDE CONTROL & CONSTRUCTION JOINTS AT 30'-0" MAXIMUM OR AS REQUIRED TO PREVENT UNCONTROLLED CRACKING.

GENERAL NOTES:

TYPE: NEW CONSTRUCTION

NO. OF STORIES: 2

THIS BUILDING WAS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR SINGLE-FAMILY DWELLINGS - 2018 EDITION WITH 2020 GEORGIA STATE AMENDMENTS

SCOPE OF WORK:

- NEW CONSTRUCTION OF DETACHED GARAGE WITH APARTMENT LIVING ABOVE
- NEW DECK CONNECTING EXISTING DECK AND NEW DETACHED GARAGE



MATERIAL SCHEDULE:



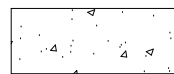
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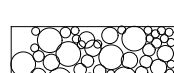
CONCRETE BLOCK



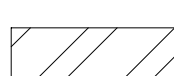
SOLID CONCRETE BLOCK OR FILLED BLOCK



CONCRETE



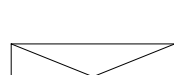
GRAVEL or CRUSHED STONE



STEEL



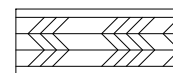
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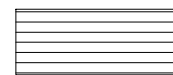
ROUGH WOOD CONTINUOUS



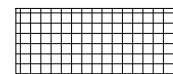
FINISHED WOOD



PLYWOOD or PARTICLE BOARD



GLASS



EXPANSION JOINT MATERIAL



BATT INSULATION



RIGID INSULATION or ROOF PLANK



GYPSUM BOARD or GYPSUM DECK



EARTH

ABBREVIATIONS:

A.C. AIR CONDITIONING
ADD. ADDITION
A.F.F. ABOVE FINISHED FLOOR
ALT. ALTERNATE
ALUM. ALUMINUM
& AND
ANG. ANGLE
APPROX. APPROXIMATELY
ARCH. ARCHITECTURAL/ARCHITECT
@ AT
A.T. ACOUSTICAL TILE
BD. BOARD
BLDG. BUILDING
BLK. BLOCK
BLKG. BLOCKING
BOT. BOTTOM
BRG. BEARING
BSMT. BASEMENT
B.U. BUILT UP
CB. CHALKBOARD
CEM. CEMENT

C.I. CAST IRON
C.J. CONTROL JOINT
C. CENTERLINE
CLOS. CLOSET
CLG. CEILING
CLOS. CLOSET
CMU. CONCRETE MASONRY UNIT
C.O. CLEAN OUT
COL. COLUMN
CONC. CONCRETE
CONSTR. CONSTRUCTION
COORD. COORDINATION
CORR. CORRUGATED or CORRIDOR
CONT. CONTINUOUS
C.T. CERAMIC TILE
C.W.G. COUNTERSUNK
DBL. DOUBLE
DET. DETAIL
D.F. DRINKING FOUNTAIN
DIA. OR 1/2" DIAMETER
DIM. DIMENSION
DN. DOWN
DWG(S) DRAWING(S)
EA. EACH
E.F. EXHAUST FAN

E.I.F.S. EXTERIOR INSULATION & FINISH SYSTEM
Eg. FOR EXAMPLE
E.J. EXPANSION JOINT
ELEC. ELECTRICAL
ELEV. ELEVATION or ELEVATOR
EQ. EQUAL
EQUIP. EQUIPMENT
EXH. EXHAUST
EXIST. EXISTING
EXP. EXPANSION or EXPOSED
F.D. FLOOR DRAIN
FDN. FOUNDATION
F.H. FIRE HYDRANT
FIN. FINISH
FIXT. FIXTURE
FL. FLOOR
FLUOR. FLUORESCENT
FEET or FOOT
FTG. FOOTING
GA. GAUGE
GALV. GALVANIZED
GL. GLASS
GR. GRADE
G.W.B. GYPSUM WALL BOARD

GYP. GYPSUM
H.B. HOSE BIBB
HD. HEAD
HT. HEIGHT
HM. HOLLOW METAL
HORIZ. HORIZONTAL
HR. HOUR
H.P. HIGH POINT
I.D. INSIDE DIAMETER
IN. INCH
INSUL. INSULATION
JAN. or J.C. JANITOR CLOSET
JT. JOINT
LAM. LAMINATE
L.P. LOW POINT
MAX. MAXIMUM
MATL. MATERIAL
M.C. MEDICINE CABINET
MECH. MECHANICAL
MEMB. MEMBRANE
MET. or MTL. METAL
MEZZ. MEZZANINE
MFG(R) MANUFACTURE(R)
MH. MANHOLE

MIN. MINIMUM
MISC. MISCELLANEOUS
M.O. MASONRY OPENING
M.T. METAL THRESHOLD
N.I.C. NOT IN CONTRACT
NO. NUMBER
N.T.S. NOT TO SCALE
O.C. ON CENTER
O.D. OUTSIDE DIAMETER
OFF. OFFICE
OVHD. OVERHEAD
OPNG. OPENING
PART. PARTITION
PLYWD. PLYWOOD
PREFAB. PREFABRICATE
PREFIN. PREFINISHED
P.T.D. PAPER TOWEL DISPENSER
Q.T. QUARTY TILE
R. RISER or RADIUS
R.D. ROOF DRAIN
REINF. REINFORCE(MENT) or REINFORCING
REQD. REQUIRED

RAIL. RAILING
RM. ROOM
RND. ROUND
R.O. ROUGH OPENING
S.C. SOLID CORE
SCH. SCHEDULE
SEAL. SEALANT
SECT. SECTION
SHT. SHEET
SIM. SIMILAR
SOH. SIMILAR OPPOSITE HAND SIDE
SPECS. SPECIFICATIONS
SQ. or 1/2" SQUARE
STL. STANDARD
STD. STANDARD
STOR. STORAGE
STRUCT. STRUCTURE or STRUCTURAL
TEL. TELEPHONE
T.P.H. TOILET PAPER HOLDER
T&G. TONGUE & GROOVE
THK. THICK
TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE

VERT. VERTICAL
V.C.T. VINYL COMPOSITION TILE
V.F. VERIFY IN FIELD
W. WIDTH
W/O. WITHOUT
WD. WOOD
WIND. WINDOW
W.M.A.S. WALL MOUNTED ADJUSTABLE SHELVES
W.P. WEATHERPROOF or WATERPROOF
W.W.M. WELDED WIRE MESH
YD. YARD
Y.C. WATER CLOSET or WALL COVERING



STUDIO TEN DESIGNS
1400 MARKET PL BLVD #114
CUMMING GA 30041

PHONE: 678.390.4655
EMAIL: JASON@STUDIOTENDESIGNS.COM

NO.	REVISIONS DESCRIPTION	DATE	PROJECT #
△			DATE: 3.21.23
△			PERMIT/ISSUE:
△			DRAWN: JA
△			SHEET #
△			CS
△			
△			
△			
△			

ENGINEER STAMP & SEAL:



DRAWINGS BY:
STUDIO TEN DESIGNS



REMODEL @
500 S WESTMINISTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

DOCUMENT PHASE:

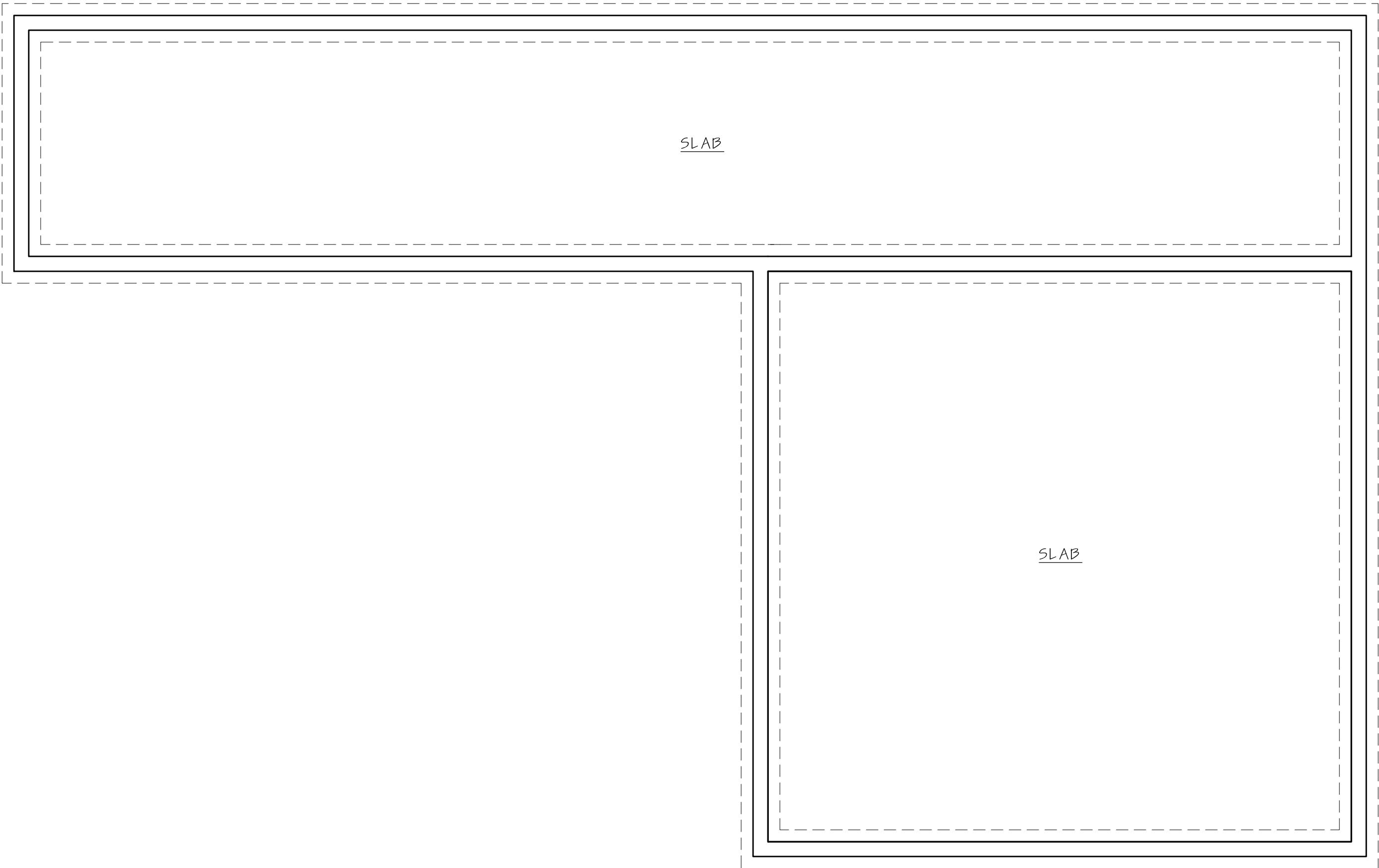
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CONSTRUCTION

SEPTEMBER 15, 2022

SHEET TITLE:

EXISTING
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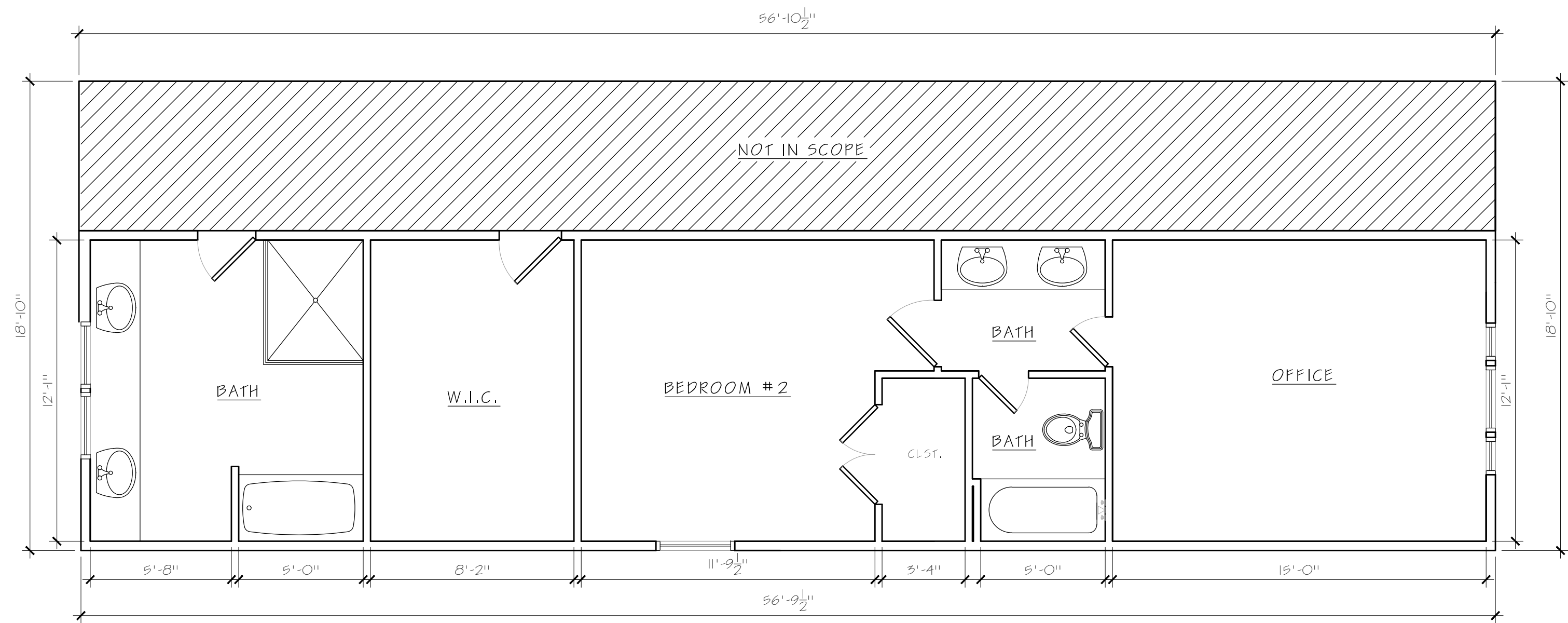
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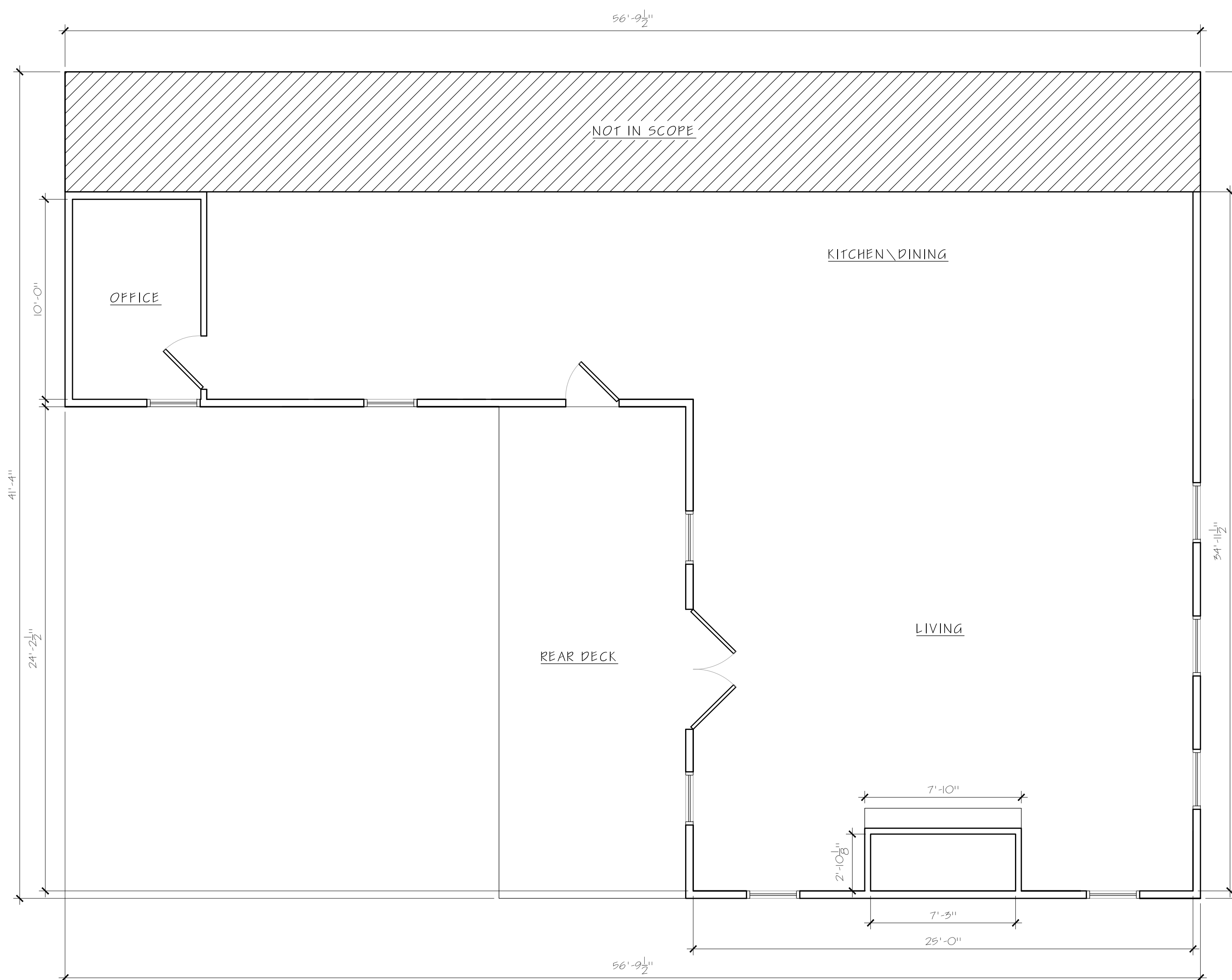
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EXISTING PARTIAL FOUNDATION

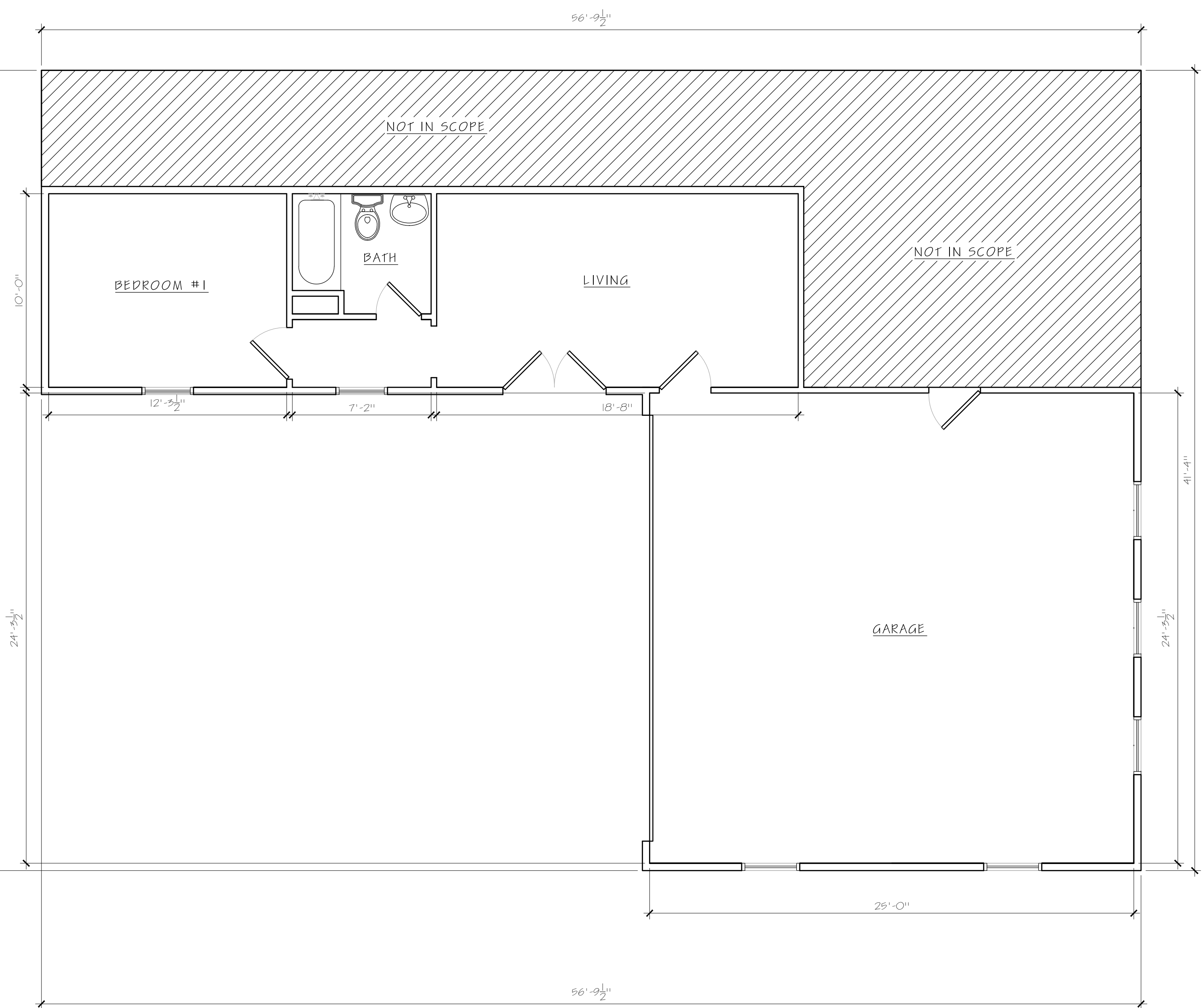
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1 EXISTING PARTIAL UPPER FLOOR PLAN
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1 EXISTING PARTIAL MAIN FLOOR PLAN
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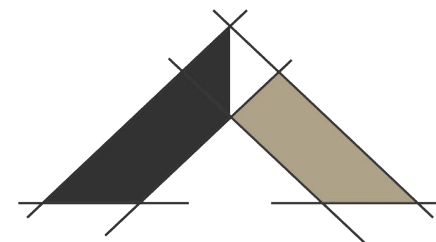


1 EXISTING PARTIAL LOWER FLOOR PLAN
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ENGINEER STAMP & SEAL:



DRAWINGS BY:
STUDIO TEN DESIGNS



Studio Ten
ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS.COM

REMODEL @
500 S WESTMINSTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

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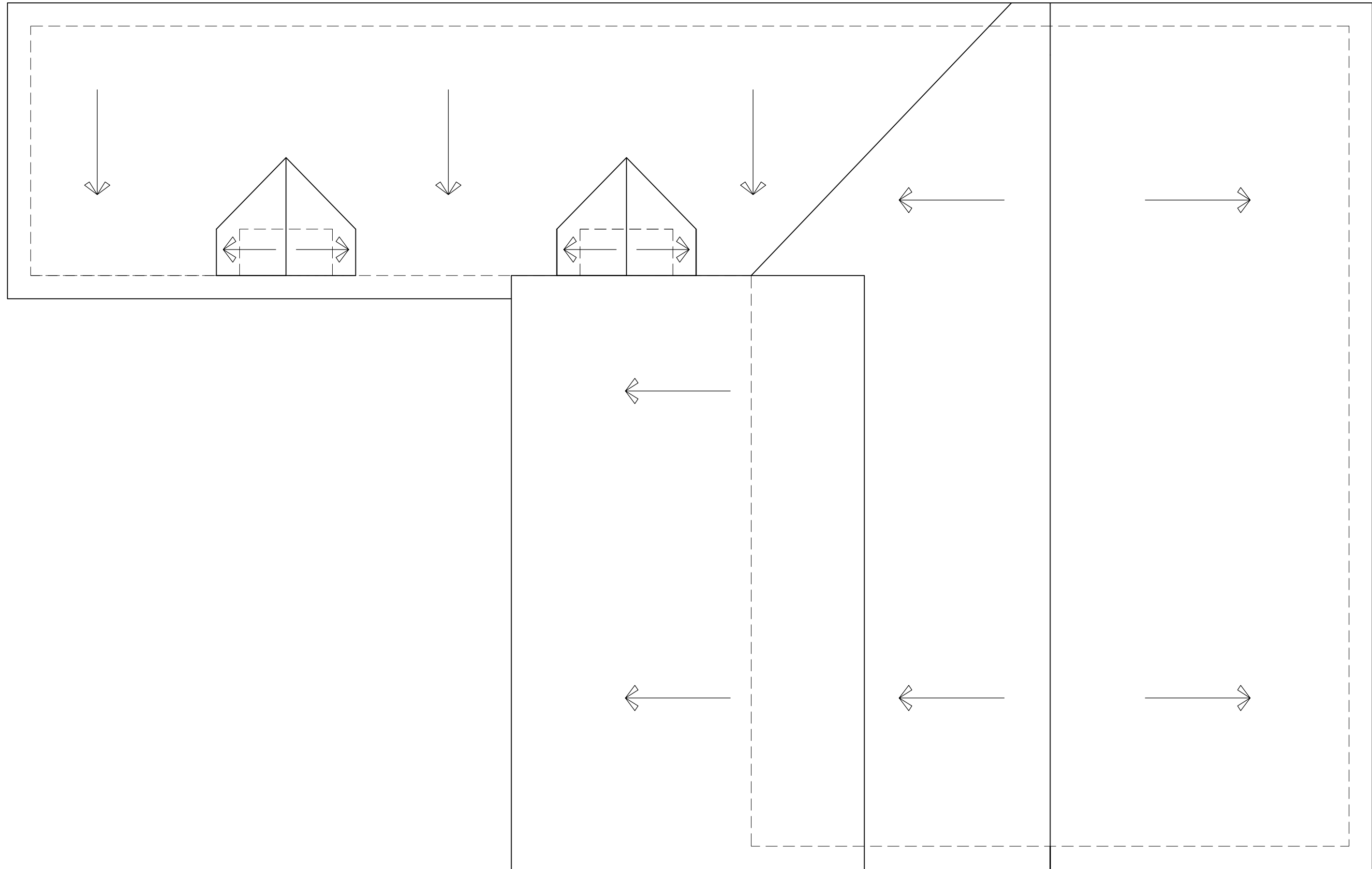
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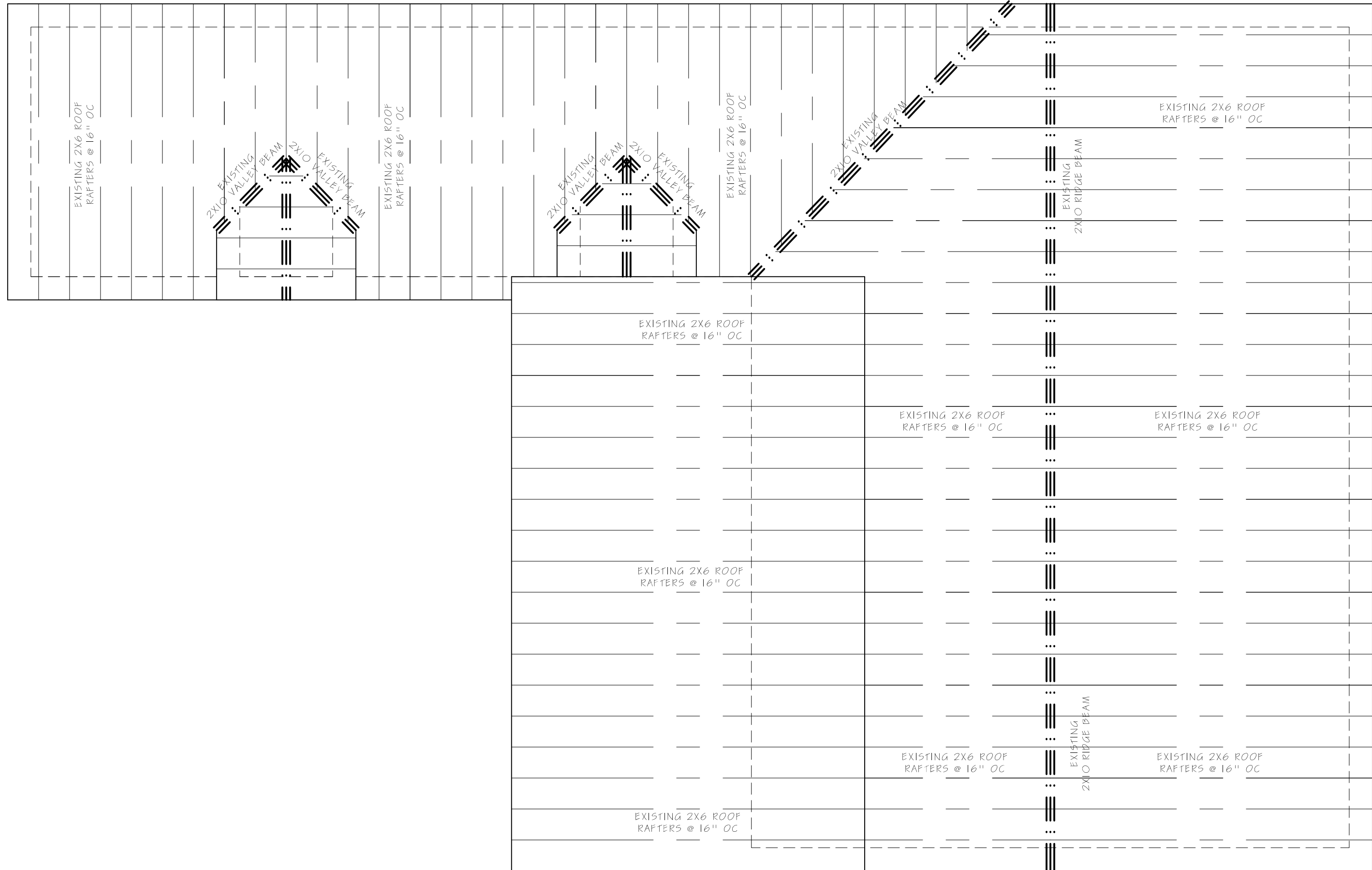
SHEET TITLE:

EXISTING
FLOOR PLANS

A.2



1 EXISTING PARTIAL ROOF PLAN
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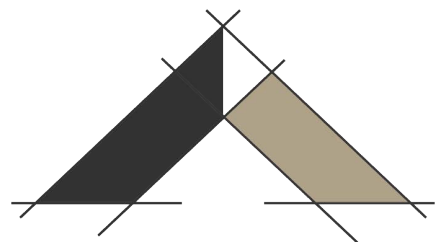


1 EXISTING PARTIAL ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"

ENGINEER STAMP & SEAL:



DRAWINGS BY:
STUDIO TEN DESIGNS



Studio Ten
ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
500 S WESTMINISTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

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SEPTEMBER 15, 2022

SHEET TITLE:

EXISTING
ROOF & ROOF
FRAMING PLAN

A.3



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STUDIO TEN DESIGNS



JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
500 S WESTMINSTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

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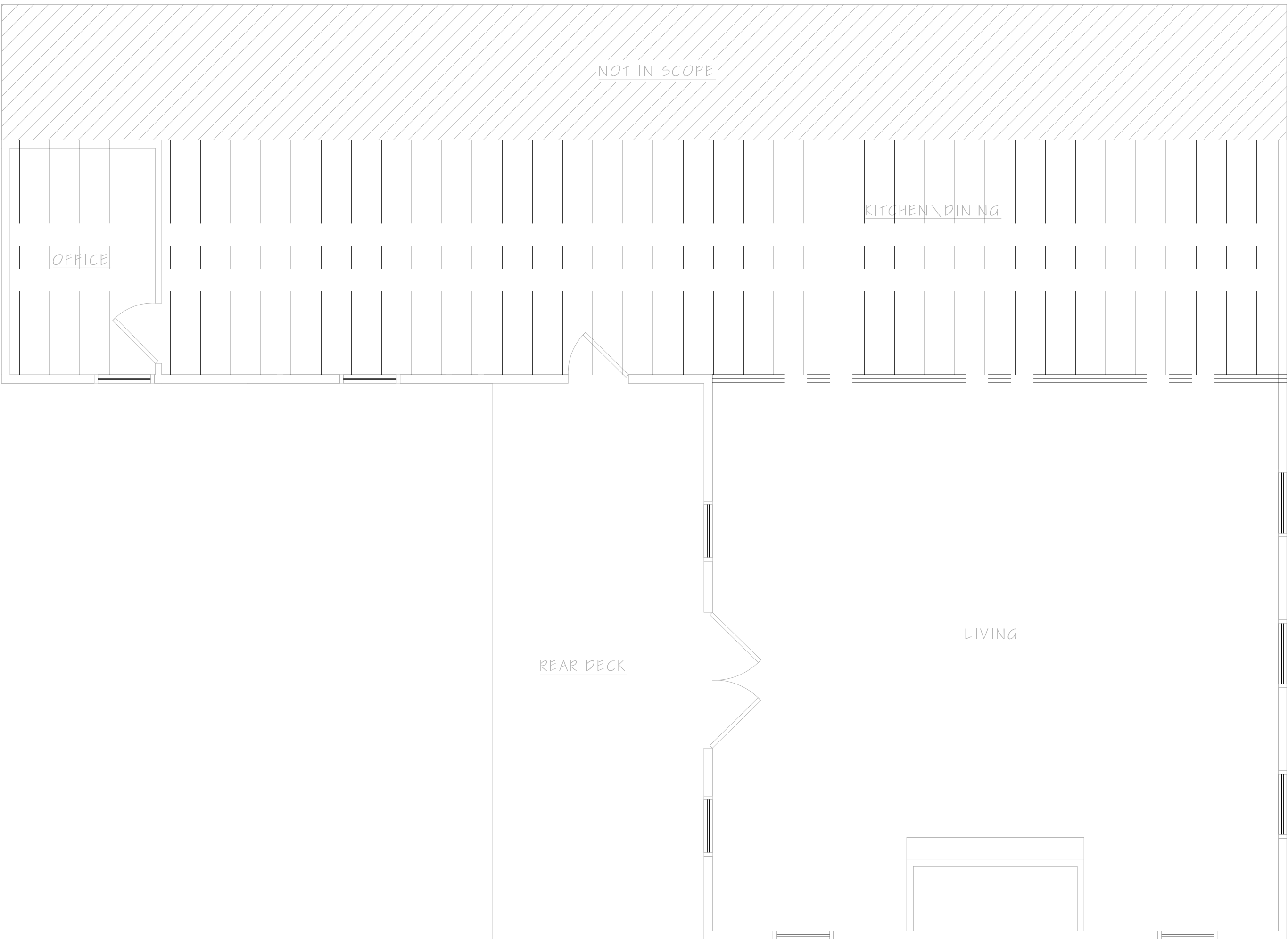
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EXISTING
CEILING
FRAMING PLANS

A.4



1 EXISTING PARTIAL UPPER FLOOR CEILING FRAMING PLAN
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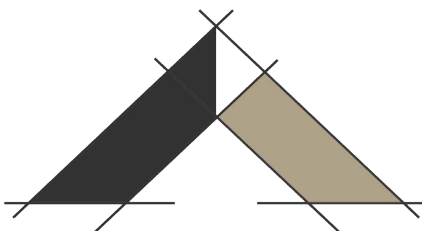
1 EXISTING PARTIAL MAIN FLOOR CEILING FRAMING PLAN
SCALE: 1/4" = 1' - 0"



1 EXISTING PARTIAL LOWER FLOOR CEILING FRAMING PLAN
SCALE: 1/4" = 1' - 0"



DRAWINGS BY:
STUDIO TEN DESIGNS



Studio Ten
ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
500 S WESTMINISTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

DOCUMENT PHASE:

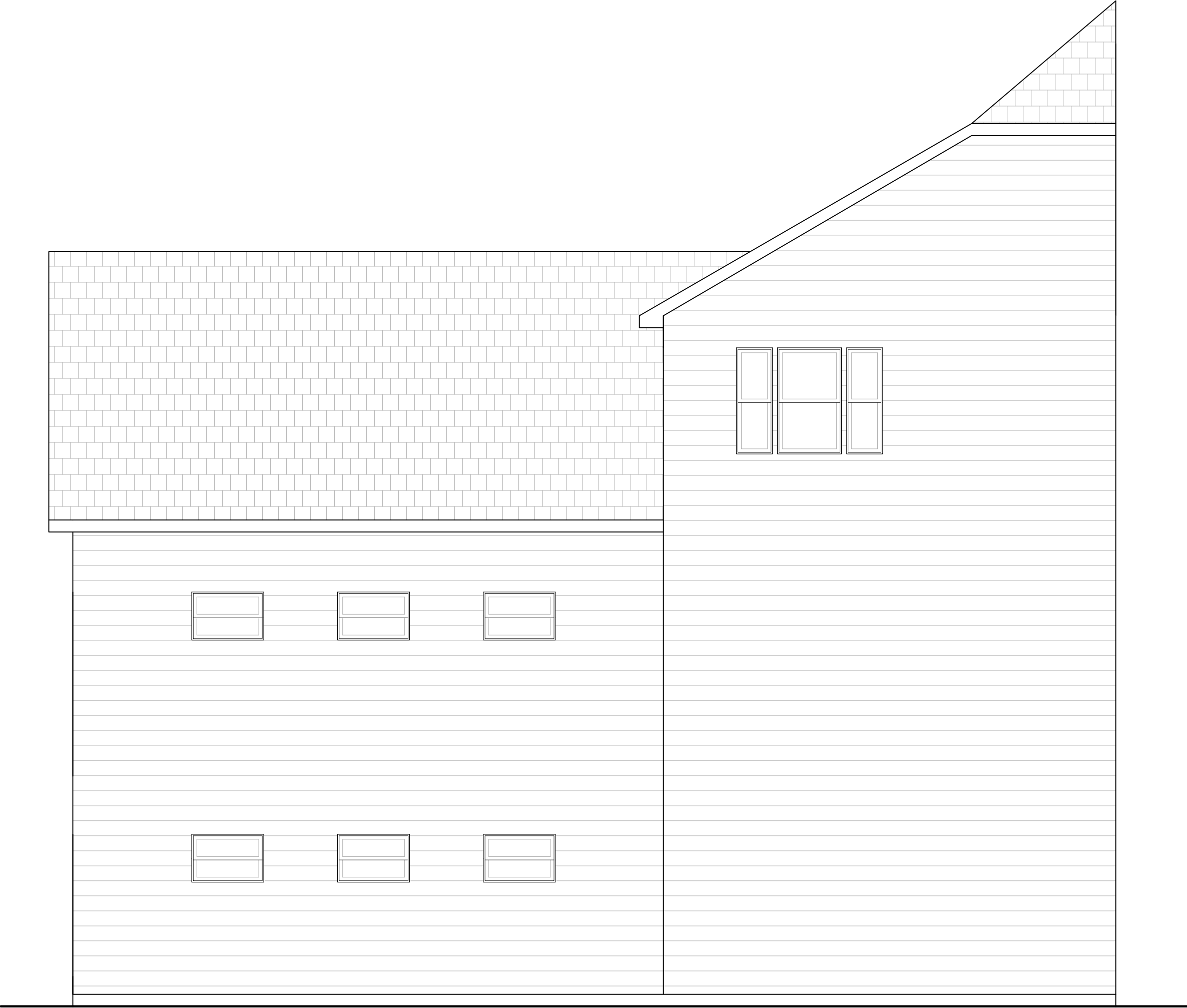
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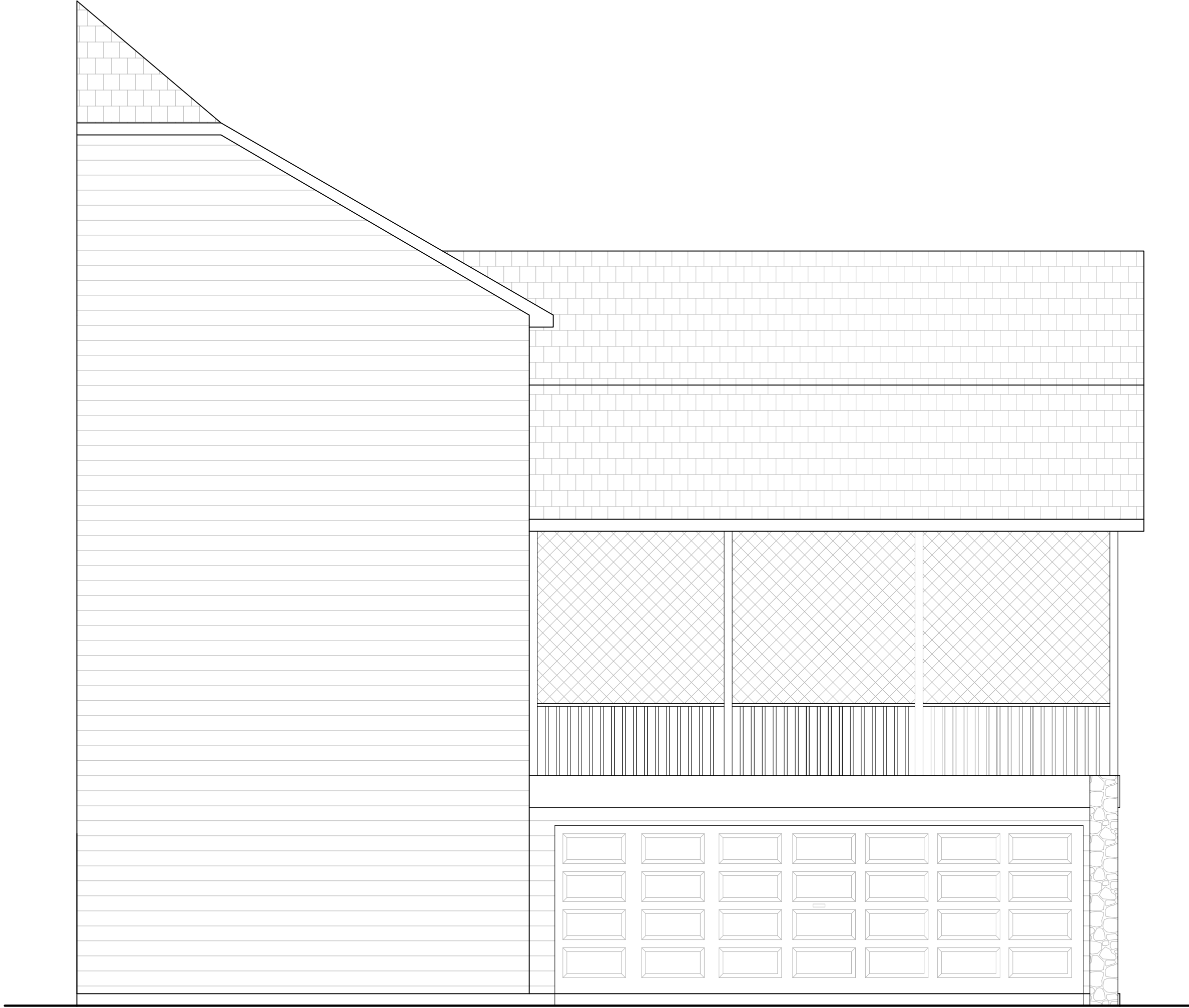
SHEET TITLE:

EXISTING
EXTERIOR
ELEVATIONS

A.5



1 EXISTING PARTIAL LEFT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



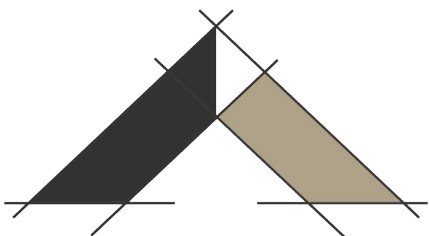
1 EXISTING PARTIAL RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1' - 0"



DRAWINGS BY:
STUDIO TEN DESIGNS



Studio Ten
ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
500 S WESTMINSTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

DOCUMENT PHASE:

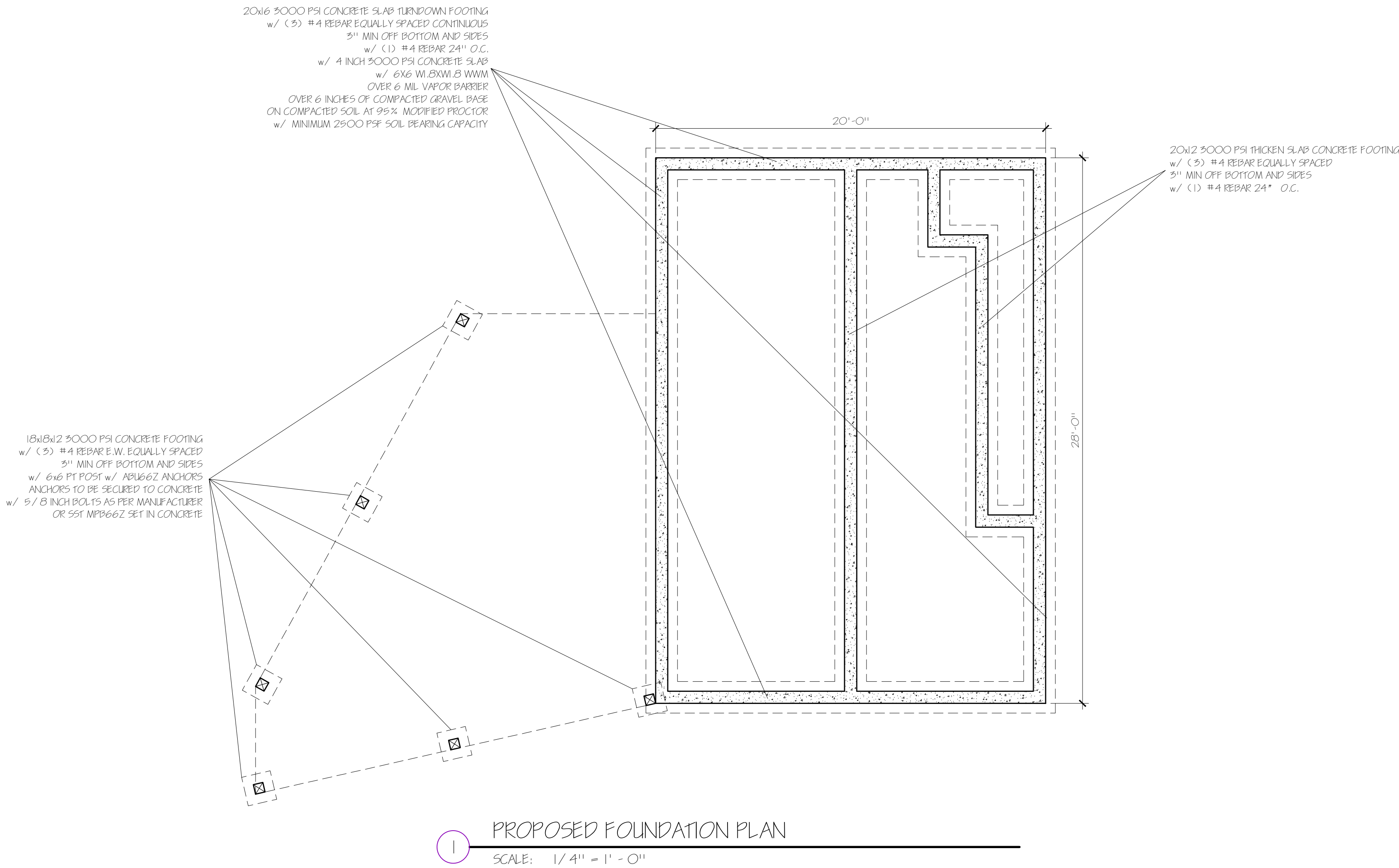
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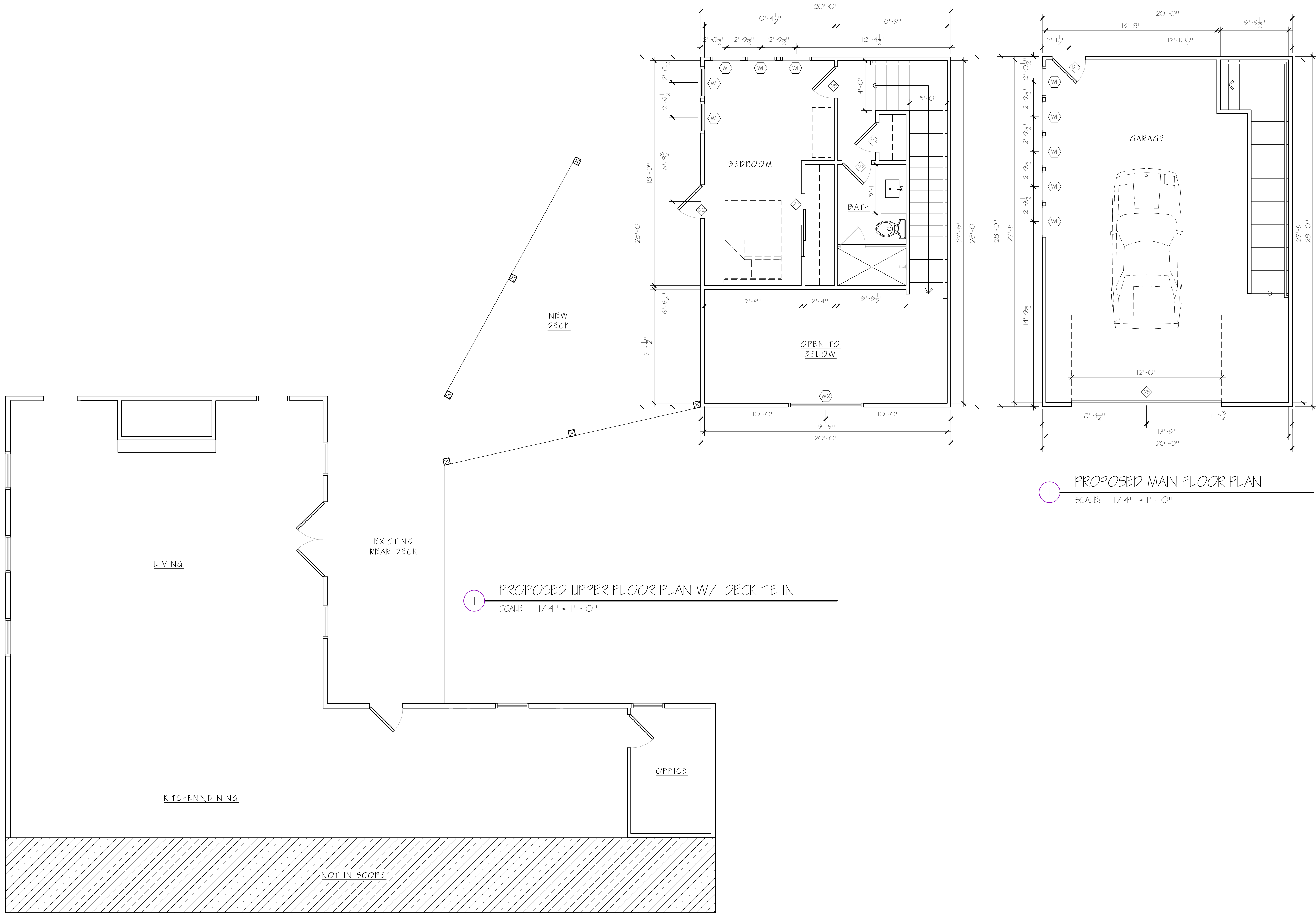
SEPTEMBER 15, 2022

SHEET TITLE:

PROPOSED
FOUNDATION PLAN

A.6

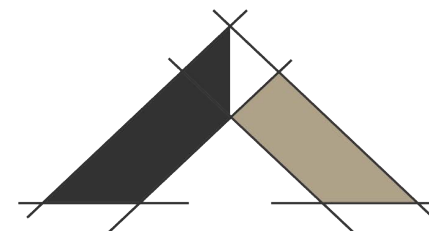




ENGINEER STAMP & SEAL:



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Studio Ten
ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDSIGNS.COM

REMODEL @
500 S WESTMINISTER WAY
ATLANTA, GA 30307

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DRAWN BY:
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678.390.4655
JASON@STUDIOTENDSIGNS.COM

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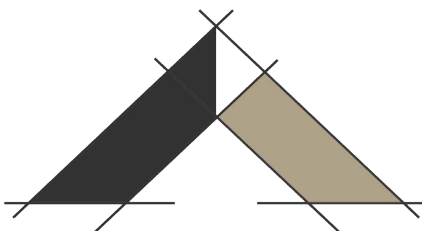
SHEET TITLE:

PROPOSED
FLOOR PLANS

A.7



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ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDIGNS.COM

REMODEL @
500 S WESTMINSTER WAY
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678.390.4655
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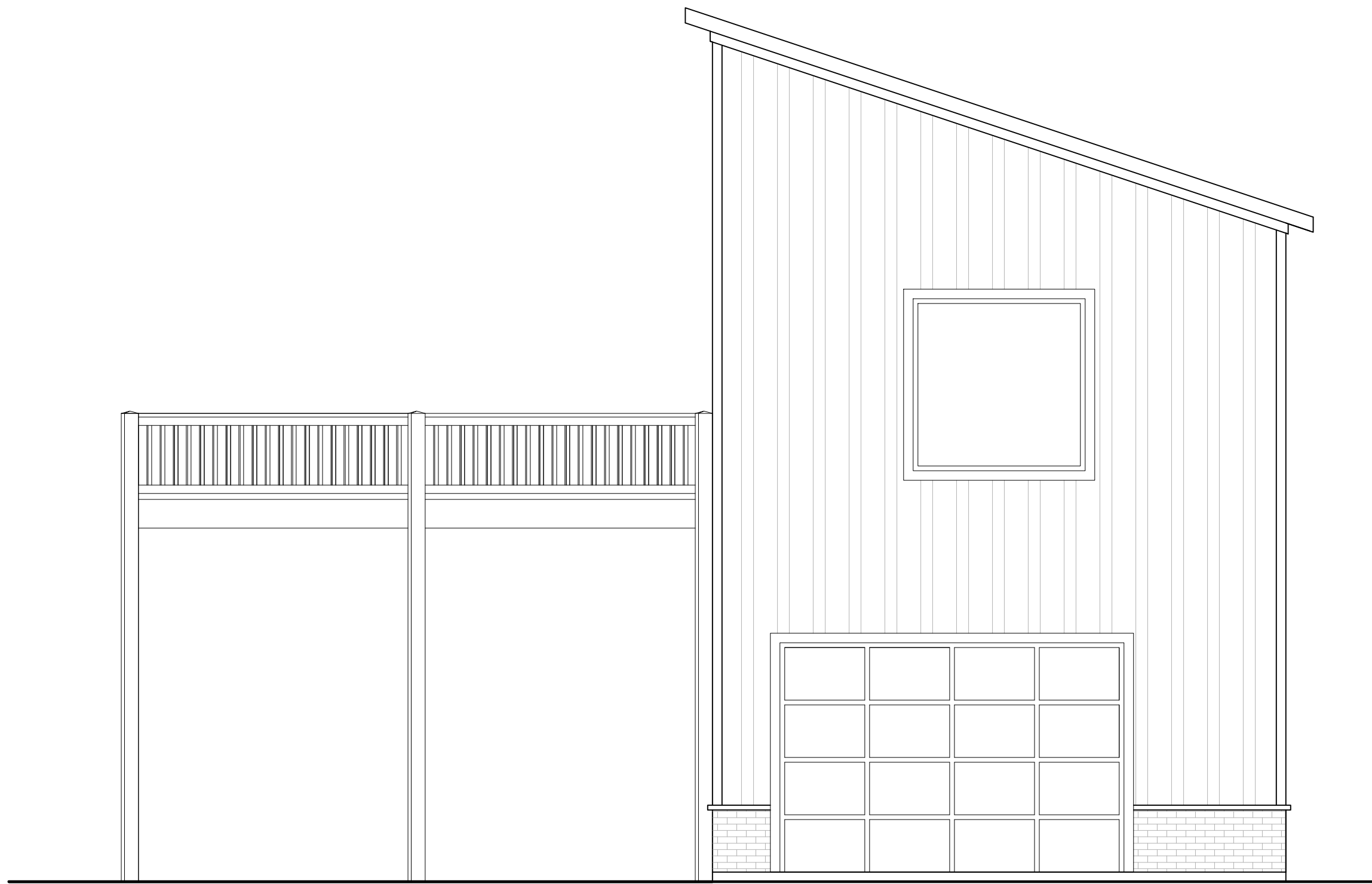
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SEPTEMBER 15, 2022

SHEET TITLE:

PROPOSED
EXTERIOR ELEVATIONS

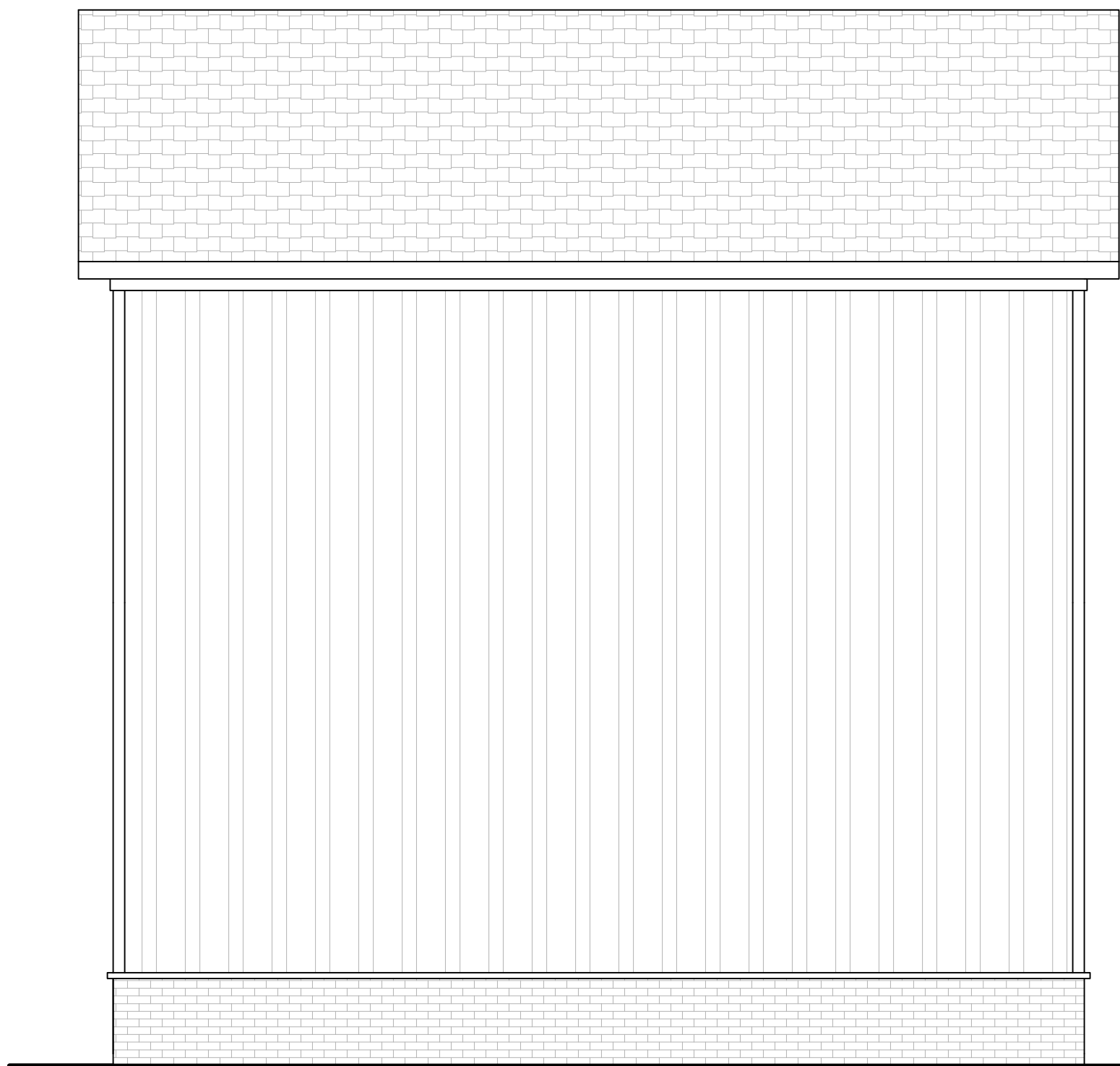
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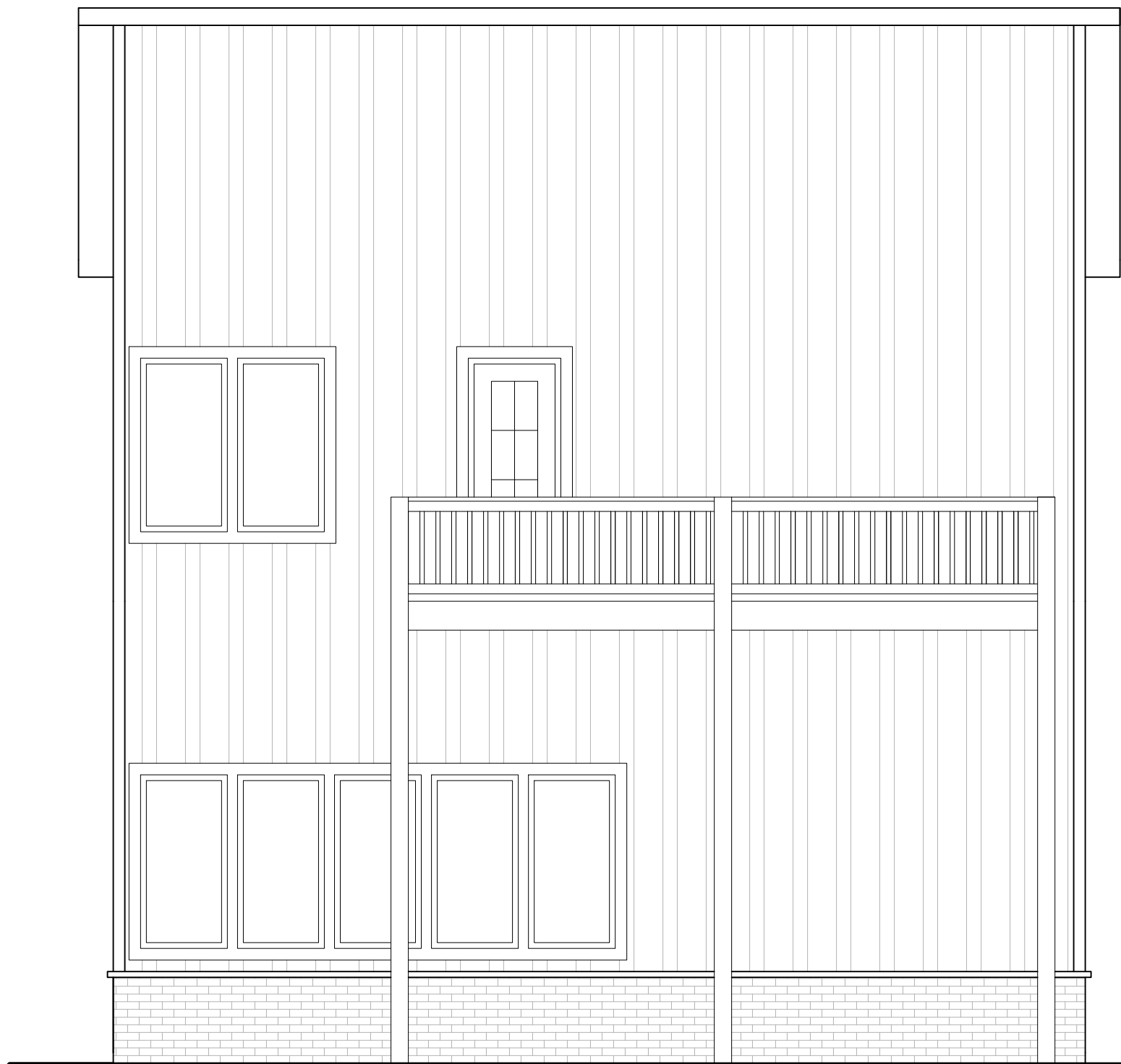
1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1' - 0"



1 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



1 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



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STUDIO TEN DESIGNS



REMODEL @
500 S WESTMINSTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

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SEPTEMBER 15, 2022

SHEET TITLE:

PROPOSED
ROOF PLAN

A.9

WIND DESIGN:

BASIC WIND SPEED, ULTIMATE	115 MPH
BASIC WIND SPEED, SERVICE	90 MPH
ENCLOSURE CLASSIFICATION	ENCLOSED BUILDING
EXPOSURE	C
RISK CATEGORY	II
INTERNAL PRESSURE COEFFICIENT	+ 0.18

COMPONENTS & CLADDING

AREA	ROOF (GROSS, PSF)			
SQ.FT	ZONE 1	ZONE 2	ZONE 3	ZONE 1, 2 & 3
10.00	- 28.8	-48.4	-72.8	+16.0
20.00	-28.1	-43.2	-60.3	+16.0
50.00	-27.1	-36.4	-43.8	+16.0
100.00	-26.4	-31.3	-31.3	+16.0

AREA	WALLS (GROSS, PSF)		
SQ.FT	ZONE 4	ZONE 5	ZONE 4&5
10.00	-28.6	-35.2	+26.4
20.00	-27.4	-32.8	+25.2
50.00	-25.9	-29.7	+23.7
100.00	-24.7	-27.4	+22.5

EDGE DISTANCE, a = 3.2 FT.

SEISMIC DESIGN	
RISK CATEGORY	II
SITE CLASS	C
IMPORTANCE FACTOR	1.00
SPECIAL RESPONSE ACCELERATION	Ss = 0.1798
	SI = 0.0898
SPECTRAL RESPONSE COEFFICIENTS	SDs = 0.1918
	SD1 = 0.1428
SEISMIC DESIGN CATEGORY	B
RESPONSE MODIFICATION FACTOR (R)	(INTERMEDIATE
REINFORCED MASONRY SHEAR WALLS)	6.5 (LIGHT

FRAME WOOD WALLS WITH STRUCTURAL WOOD
SHEAR

PANELS)

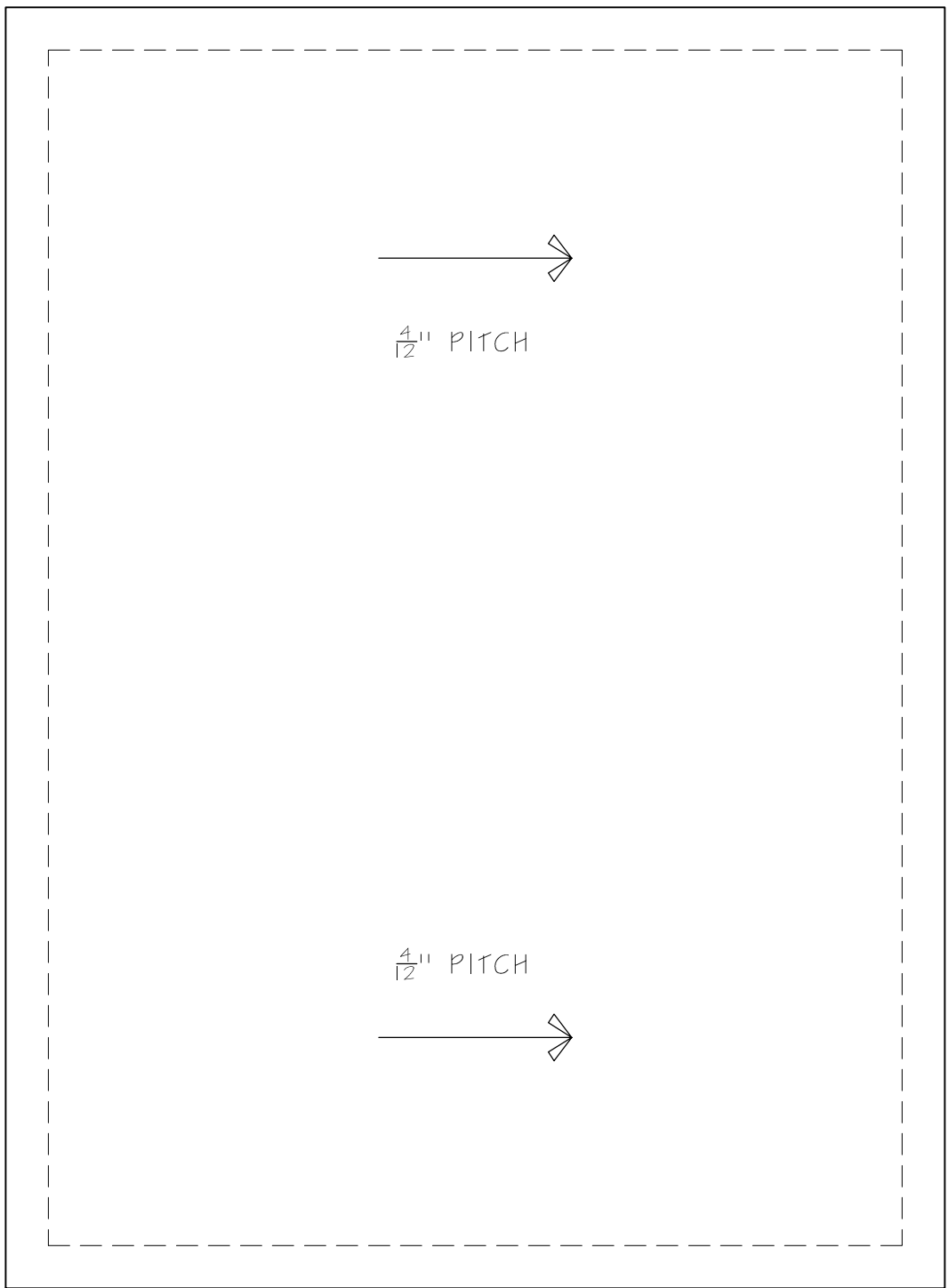
SOIL	
SOIL BEARING CAPACITY	1500 PSF (ASSUME)

LIVE LOADS	
ROOF	20 PSF (WITH
TRIBUTARY REDUCTIONS PER CODE)	
STAIRS AND LANDINGS	100 PSF
HANDRAIL / GUARD RAIL	CONTROLLING OF 50
PLF OR 200 LB. POINT LOAD	
	LOCATED TO CAUSE

MAXIMUM STRESS

MATERIALS	
POST-INSTALLED ANCHOR RODS	ASTM A 193 GRADE B7
W/ COATING AS SPECIFIED IN ESR-2262	OR
	ESR-2322

CONCRETE (28 DAYS)	
FOOTINGS	3000 PSI
WEAR SLAB / SLAB-ON-GRADE	3000 PSI
ALL OTHER CONCRETE	3000 PSI
REINFORCING STEEL	A615 GRADE 60
HEADED STUDS	A108
WELDED WIRE FABRIC	A185
ADHESIVE ANCHORING	HILTI HIT-RE 500-V3
ADHESIVE ANCHOR SYSTEM (ICC ESR-3814)	
	HILTI HIT-HY 70
ADHESIVE ANCHOR SYSTEM FOR CMU (ICC ESR 2682)	



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1' - 0"



DRAWINGS BY:
STUDIO TEN DESIGNS



JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
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ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

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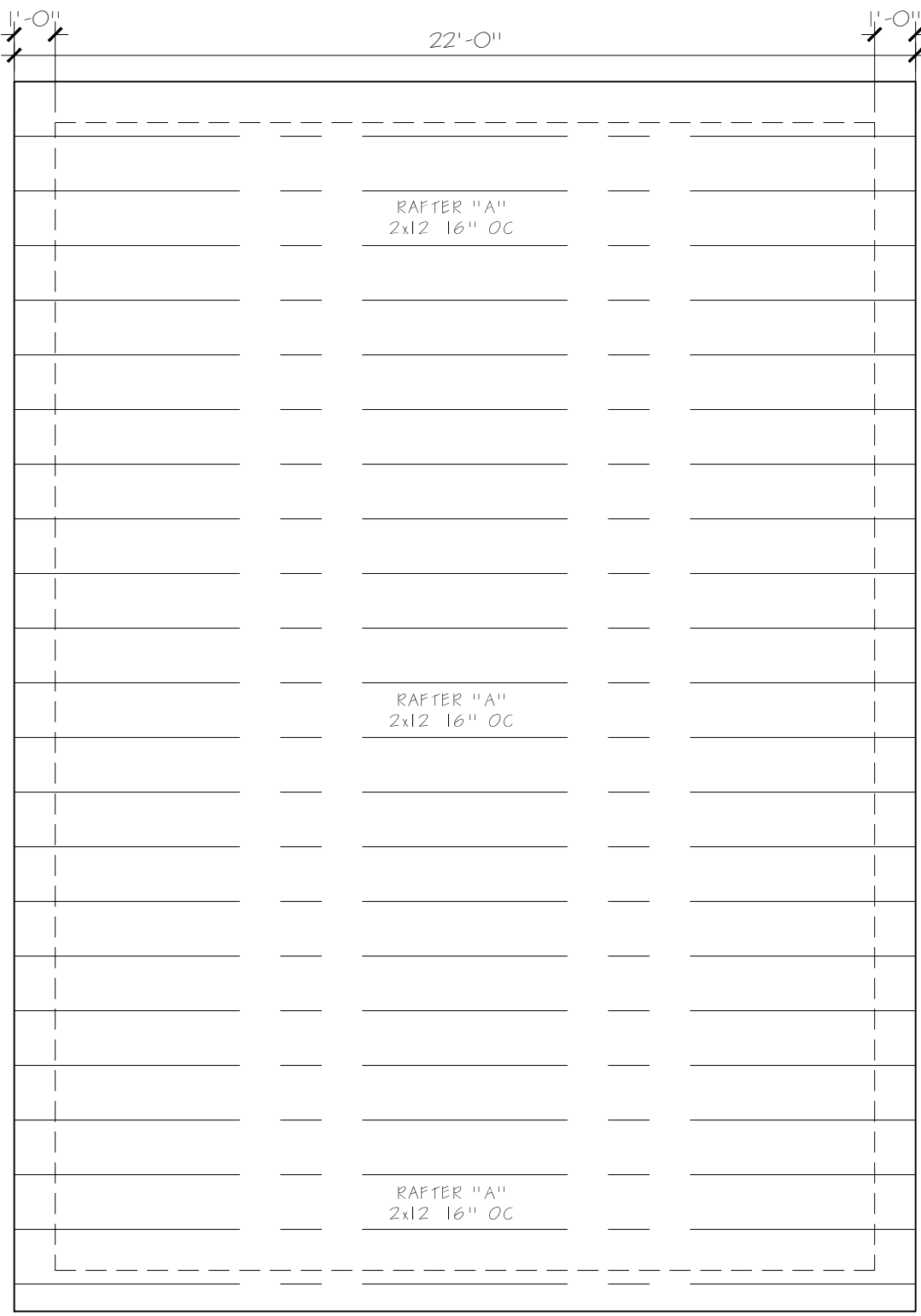
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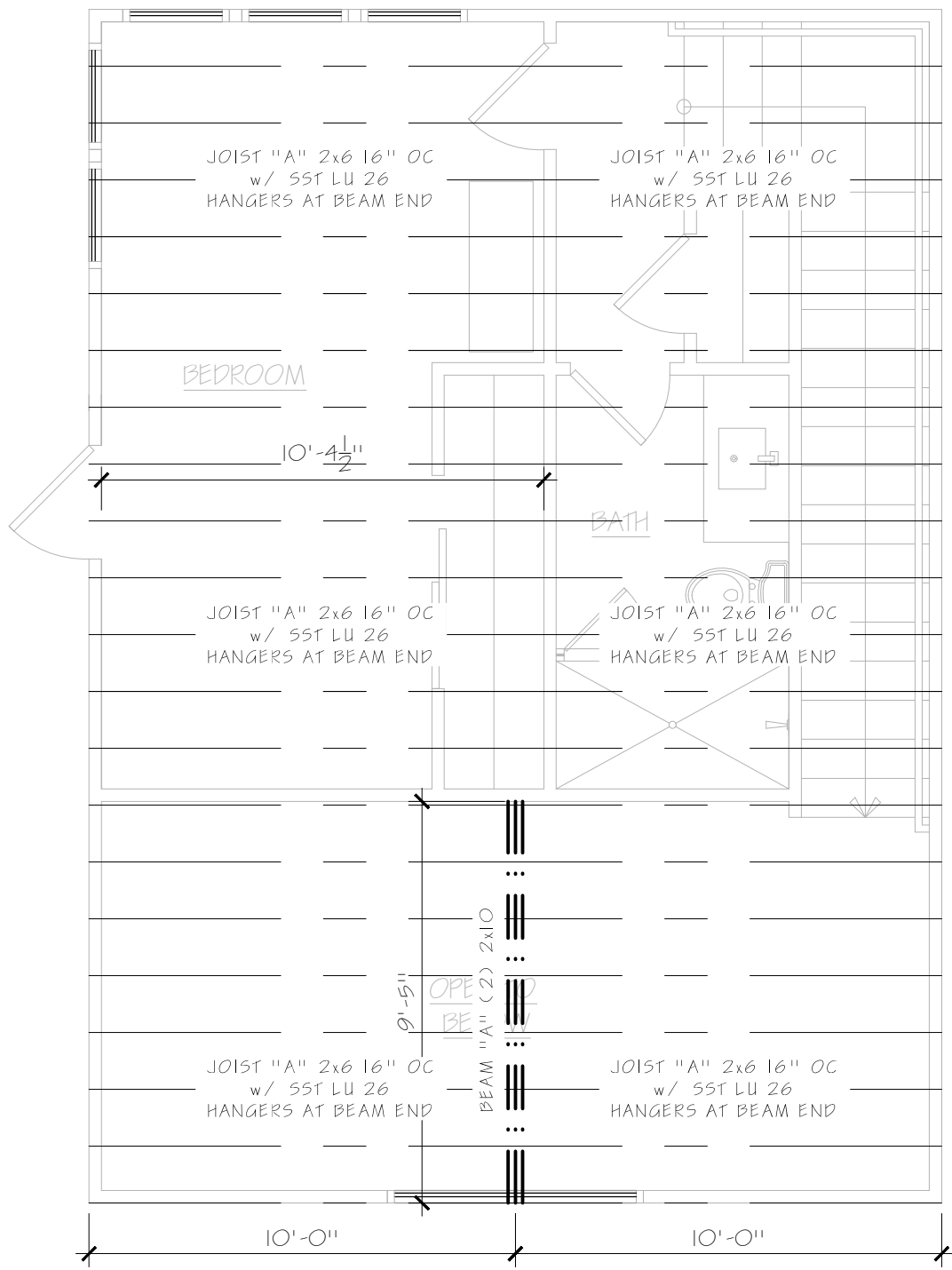
SHEET TITLE:

PROPOSED
FRAMING PLANS

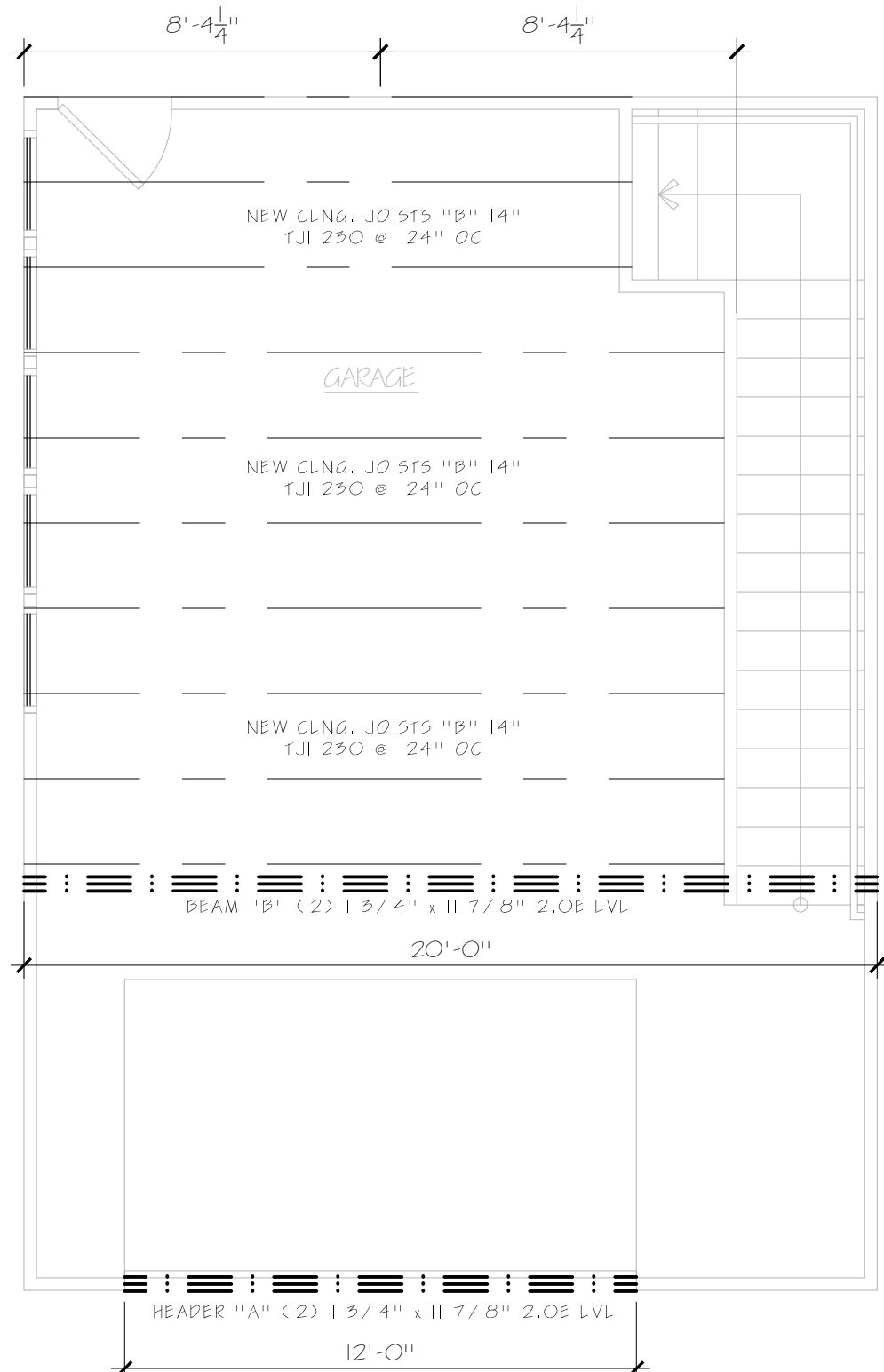
A.I.O



1 PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"



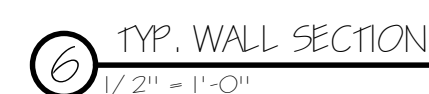
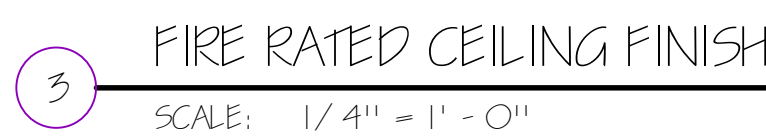
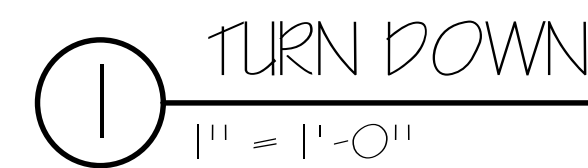
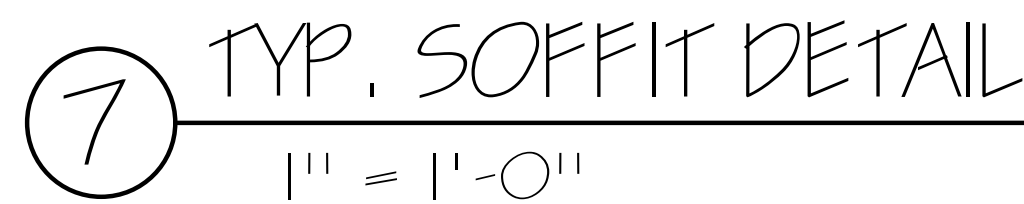
1 PROPOSED UPPER CLNG. FRAMING PLAN
SCALE: 1/4" = 1' - 0"



1 PROPOSED MAIN CLNG. FRAMING PLAN
SCALE: 1/4" = 1' - 0"

ENGINEER DATA					SEISMIC DESIGN:				
WIND DESIGN: BASIC WIND SPEED, ULTIMATE BASIC WIND SPEED, SERVICE ENCLOSURE CLASSIFICATION EXPOSURE RISK CATEGORY INTERNAL PRESSURE COEFFICIENT					RISK CATEGORY II SITE CLASS C IMPORTANCE FACTOR 1.00 SPECIAL RESPONSE ACCELERATION $S_s = 0.179g$ $S_l = 0.089g$ SPECTRAL RESPONSE COEFFICIENTS $S_{DS} = 0.191g$ $S_{D1} = 0.142g$ R				
					SEISMIC DESIGN CATEGORY (C) RESPONSE MODIFICATION FACTOR (R) (INTERMEDIATE REINFORCED MASONRY SHEAR WALLS) 6.5 (LIGHT FRAME WOOD WALLS WITH STRUCTURAL WOOD SHEAR PANELS)				
					SOIL SOIL BEARING CAPACITY 1500 PSF (ASSUME)				
					LIVE LOADS 20 PSF (WITH TRIBUTARY REDUCTIONS PER CODE) ROOF STAIRS AND LANDINGS 100 PSF HANDRAIL / GUARD RAIL CONTROLLING OF 50 PLF OR 200 LB. POINT LOAD LOCATED TO CAUSE MAXIMUM STRESS				
					MATERIALS POST-INSTALLED ANCHOR RODS ASTM A193 GRADE B7 W/ COATING AS SPECIFIED IN ESR-2262 OR ESR-2522				
COMPONENTS & CLADDING					CONCRETE (28 DAYS) FOOTINGS 5000 PSI WEAR SLAB / SLAB-ON-GRADE 5000 PSI ALL OTHER CONCRETE 5000 PSI REINFORCING STEEL A615 GRADE 60 HEADED STUDS A603 WELDED WIRE FABRIC A655 ADHESIVE ANCHORING EPOXY-100 ADHESIVE ANCHOR SYSTEM (ICC ESR-3614) EPOXY-100 ADHESIVE ANCHOR SYSTEM FOR CMU (ICC ESR 2682)				
AREA	ROOF (GROSS, PSF)								
50. FT	ZONE 1	ZONE 2	ZONE 3	ZONE 1,2 & 3					
10.00	-28.8	-48.4	-72.8	+16.0					
20.00	-28.1	-49.2	-60.5	+16.0					
30.00	-27.1	-56.4	-45.8	+16.0					
100.00	-26.4	-91.3	-31.3	+16.0					
AREA	WALLS (GROSS, PSF)								
50. FT	ZONE 4	ZONE 5	ZONE 4&5						
10.00	-28.6	-55.2	+26.4						
20.00	-27.4	-92.8	+25.2						
30.00	-25.9	-29.7	+23.7						
100.00	-24.7	-27.4	+22.5						
EDGE DISTANCE, a = 3.2 FT.									

WINDOW SCHEDULE			
FIELD VERIFY ALL OPENINGS BEFORE ORDERING WINDOWS OR DOORS			
	QTY.	NO.	TYPE
			NOTES
W1	10	2'-6" x 5'-0"	CASEMENT
W2	1	6'-0" x 6'-0"	FIXED GLASS



JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
500 S WESTMINSTER WAY
ATLANTA, GA 30307

1000 1000 1000
 1000 1000 1000
 1000 1000 1000

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

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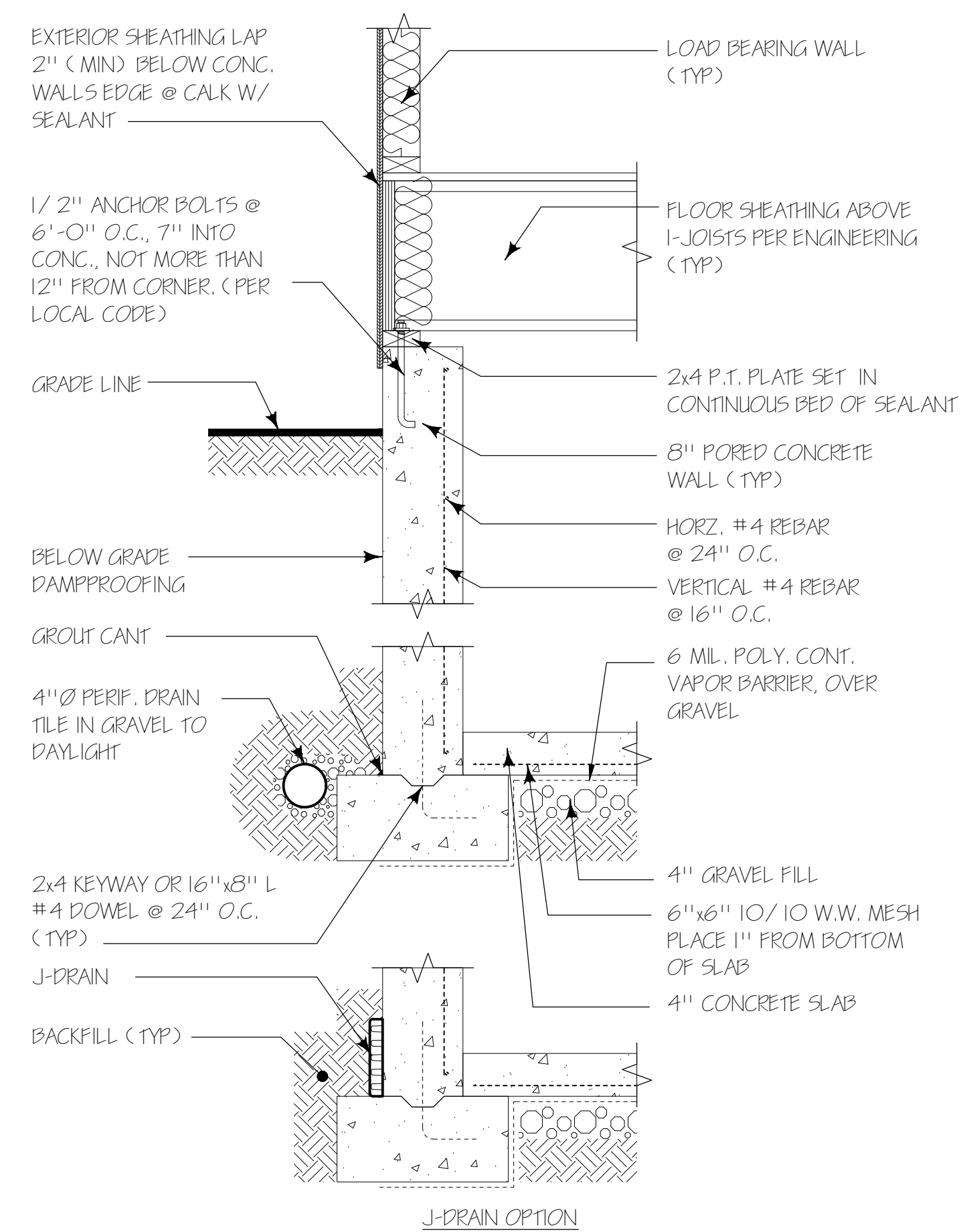
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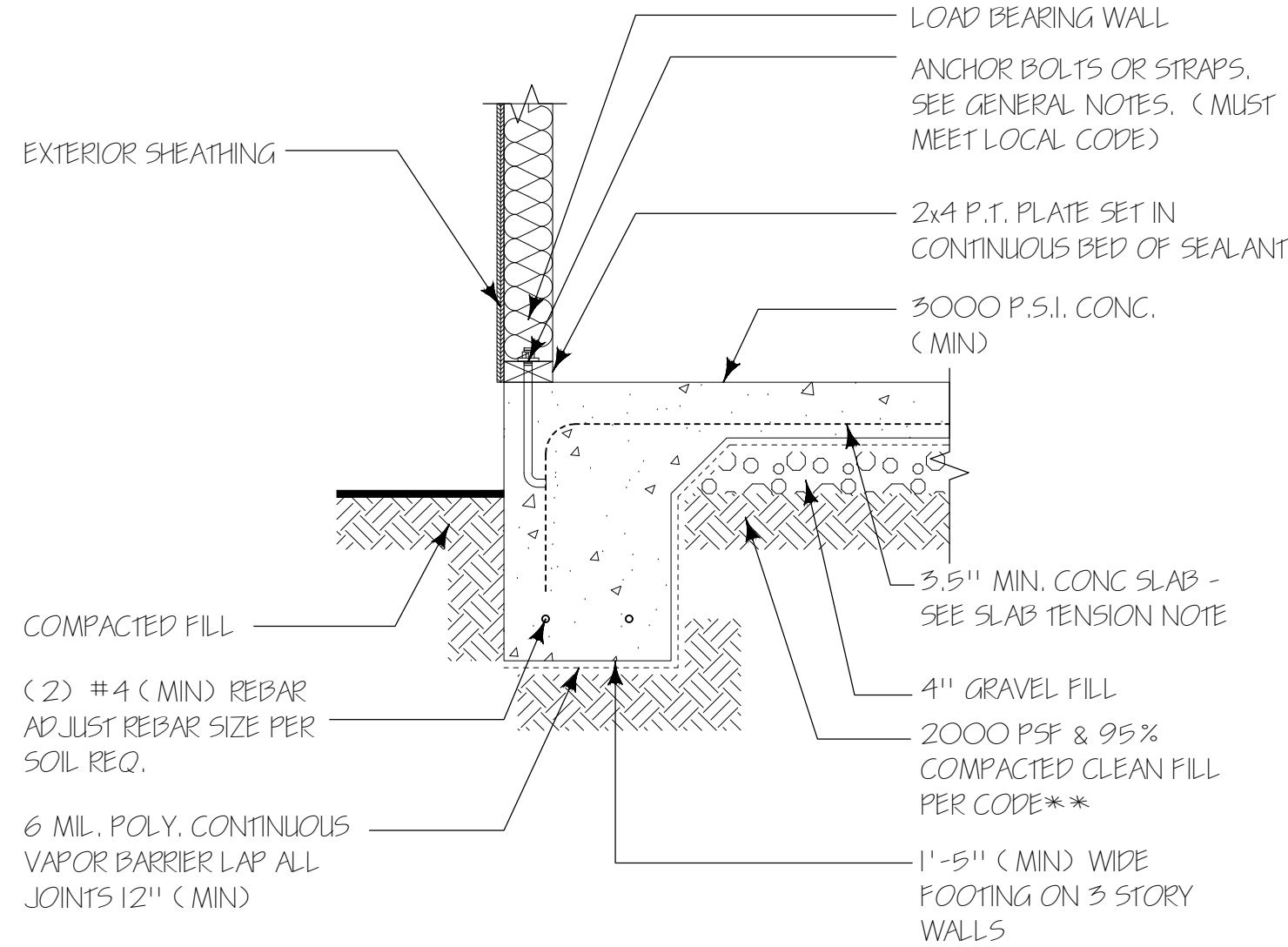
PROPOSED SECTIONS & DETAILS

— — —

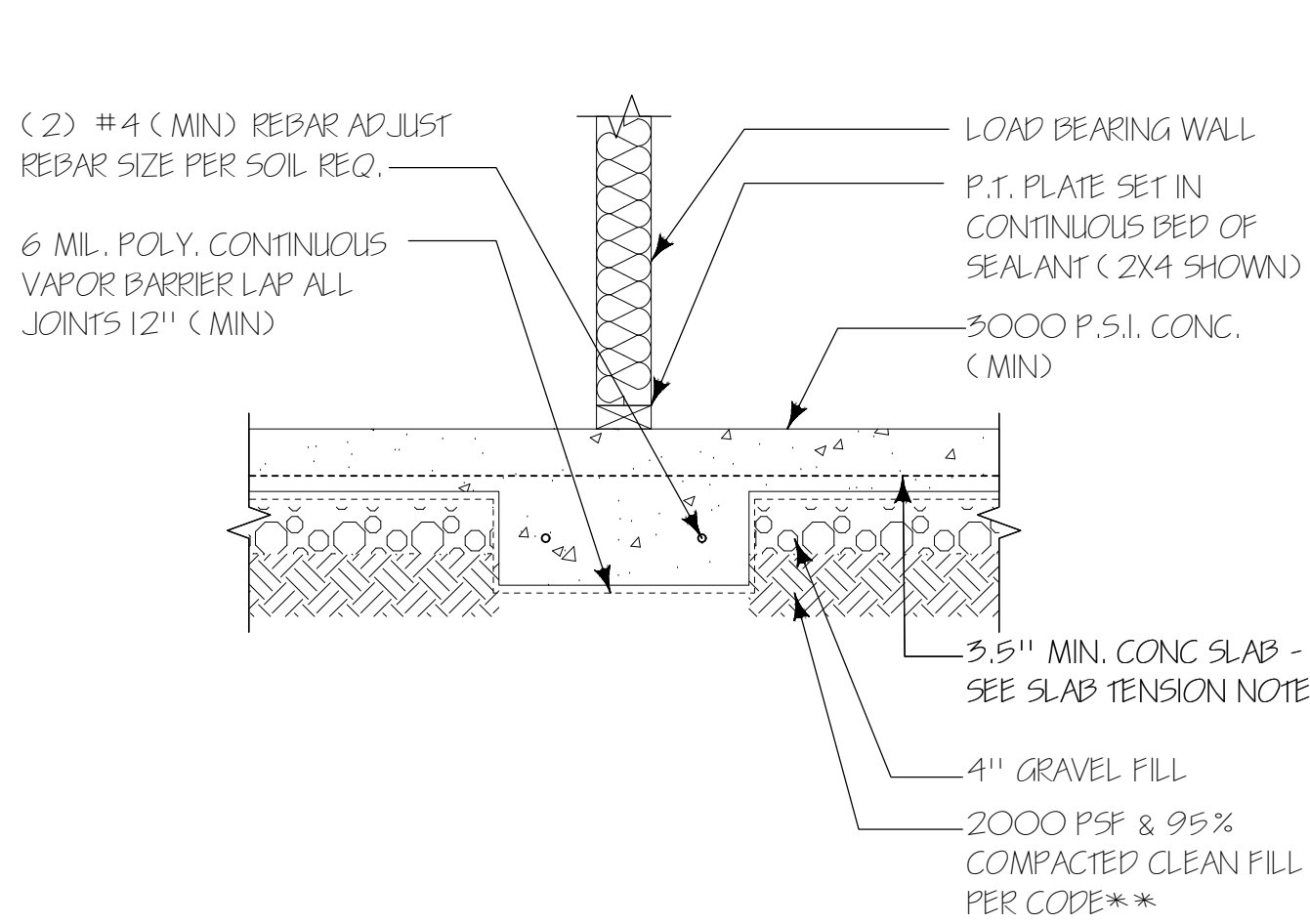
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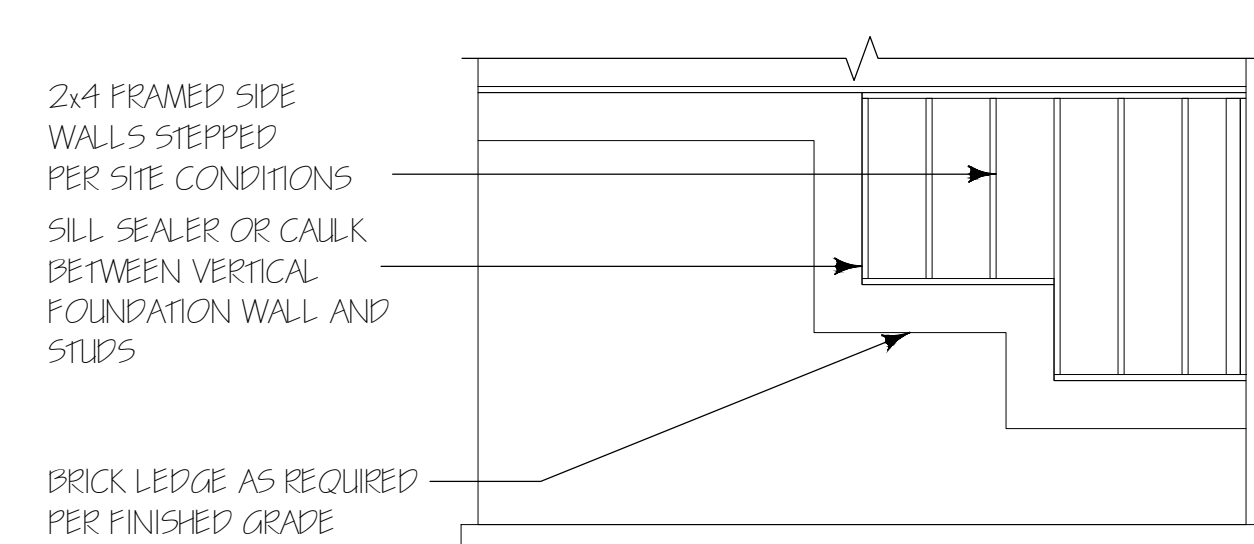
① TYP. FOUNDATION WALL (12" WALL)
1" = 1'-0"



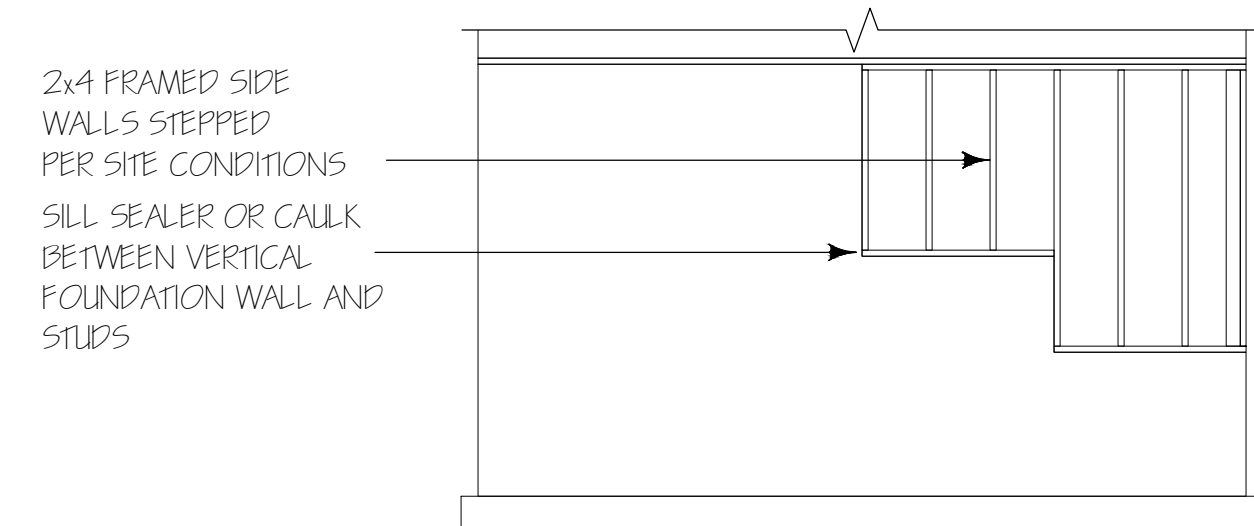
② TYP. TURN DOWN
1" = 1'-0"



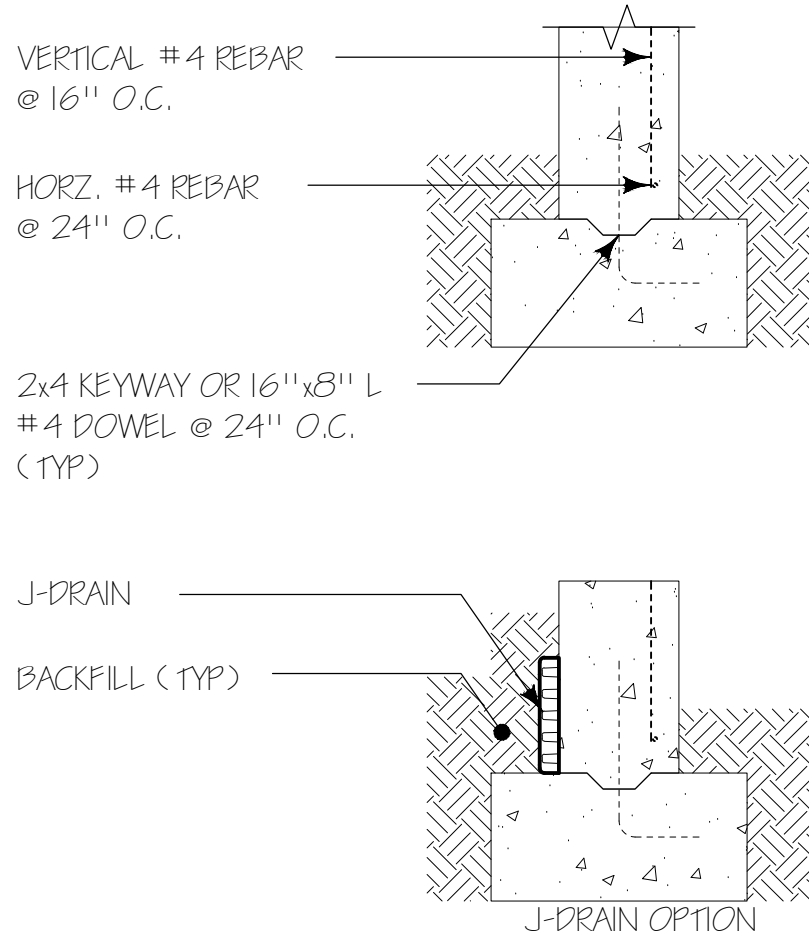
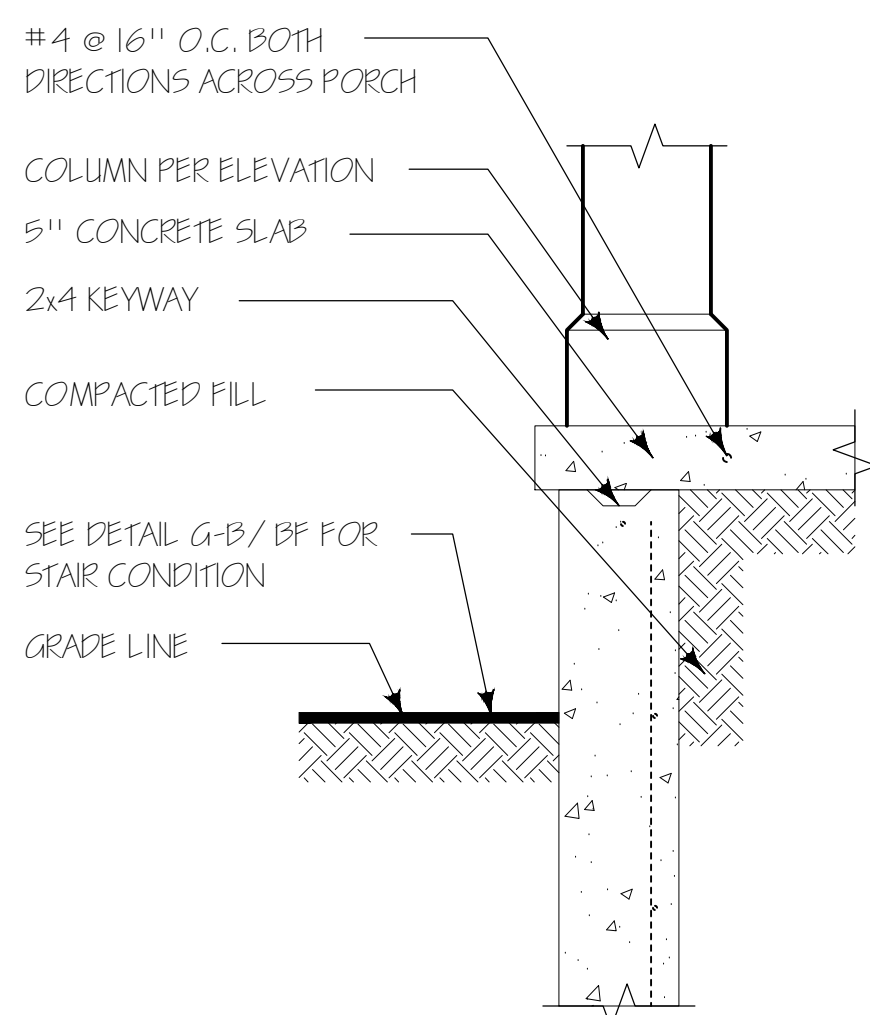
③ TYP. BR'G WALL (THICKENED SLAB)
1" = 1'-0"



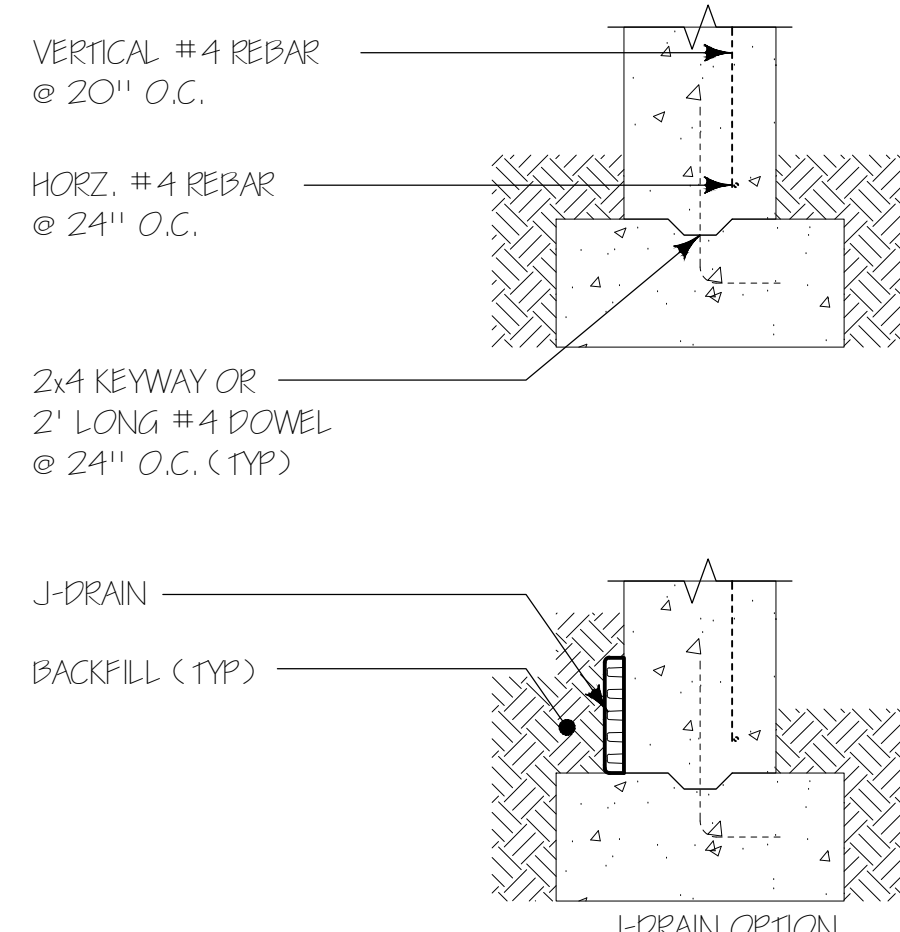
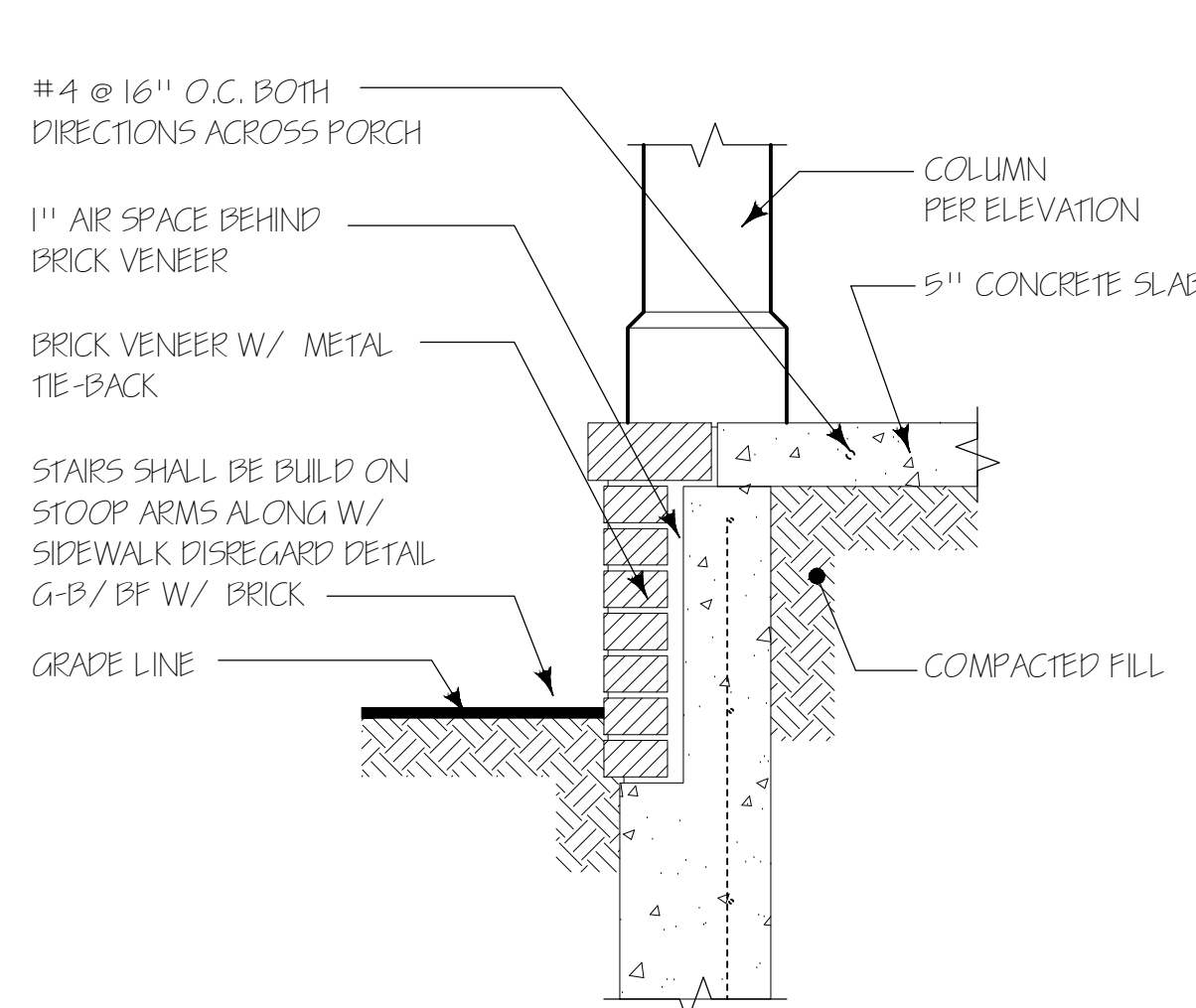
4.A STEPPED WALL ELEV. W/ BRICK LEDGE
1" = 1'-0"



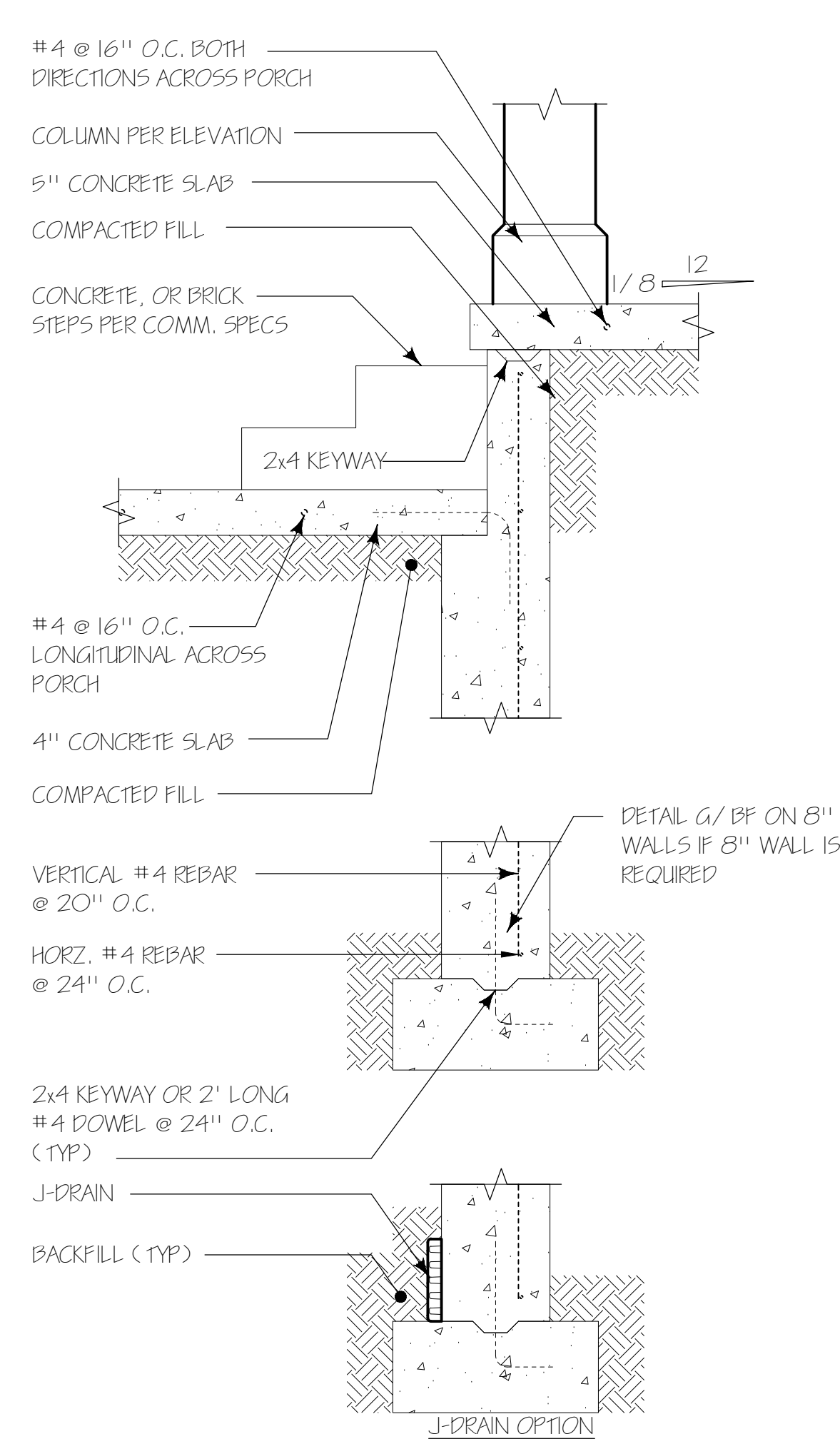
4.B STEPPED WALL ELEV.
1" = 1'-0"



5.A WITH OUT BRICK
1" = 1'-0"



5.B WITH BRICK
1" = 1'-0"



5.C @ STEPS
1" = 1'-0"

STRUCTURAL NOTES

GENERAL:

ALL FLASHING THAT WILL BE IN CONTACT W/ MASONRY, CEMENTICIOUS MATERIALS AND PRESSURE TREATED WOOD SHALL BE CORROSIVE RESISTANT

4" GRAVEL FILL OR COMPACTED FILL:

**4" GRAVEL FILL UNDER MONO-SLAB MAYBE OMITTED WHEN SLAB IS PLACED ON WELL DRAINED SOIL CLASSIFIED GROUP 1 PER IRC R405.1 (CLASSIFICATIONS GW, SW, GM, OR SM)

SLAB TENSION

1.5LB/YD FIBERMESH OR 6"x6" 10/10 W.W. MESH PLACE 1" FROM BOTTOM OF SLAB AS SHOWN IN DETAILS (NOTE THAT THIS IS A NON-STRUCTURAL ELEMENT)

ANCHOR BOLTS OR STRAPS

1/2" DIA @ 6'-0" O.C., 7" INTO CONC., NOT MORE THAN 12" FROM CORNERS, AND WITHIN 12" OF PLATE ENDS OR STRAPS MAY BE USED IN PLACE OF BOLTS PER MANUF. SPECIFICATIONS (SIMPSON MAB15 @ 2'-9" O.C.) OR EQUIVALENT

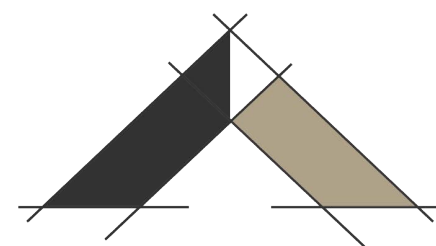
BRICK NOTES

** PROVIDE MIN 1" AIR SPACE BETWEEN BRICK AND SHEATHING
** PROVIDE REQUIRED WEEP HOLES @ MIN 3/32" O.C. PER R703.2
** PROVIDE REQUIRED WATER-RESISTIVE BARRIER OVER SHEATHING PER R703.2

ENGINEER STAMP & SEAL:



DRAWINGS BY:
STUDIO TEN DESIGNS



Studio Ten
ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
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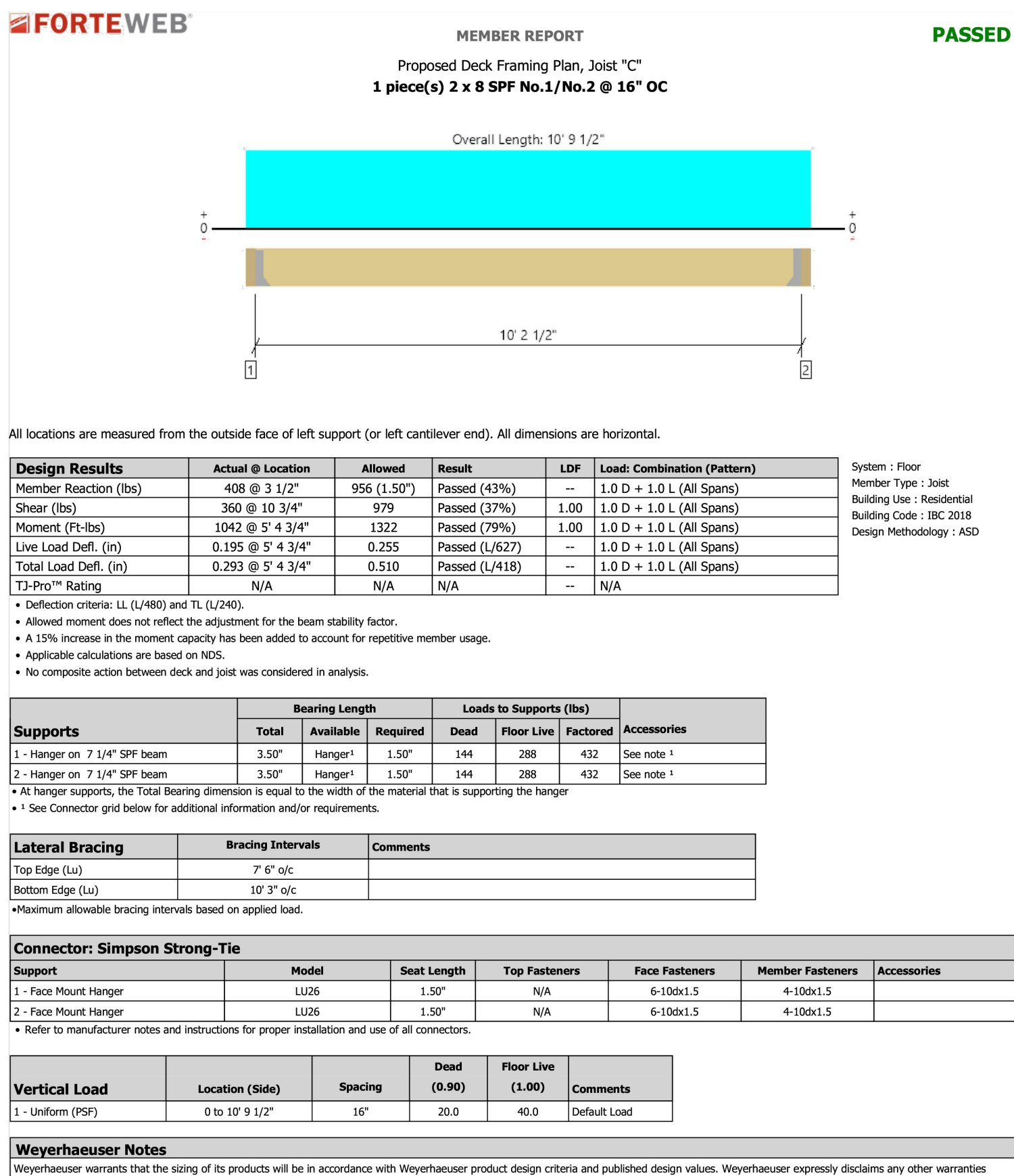
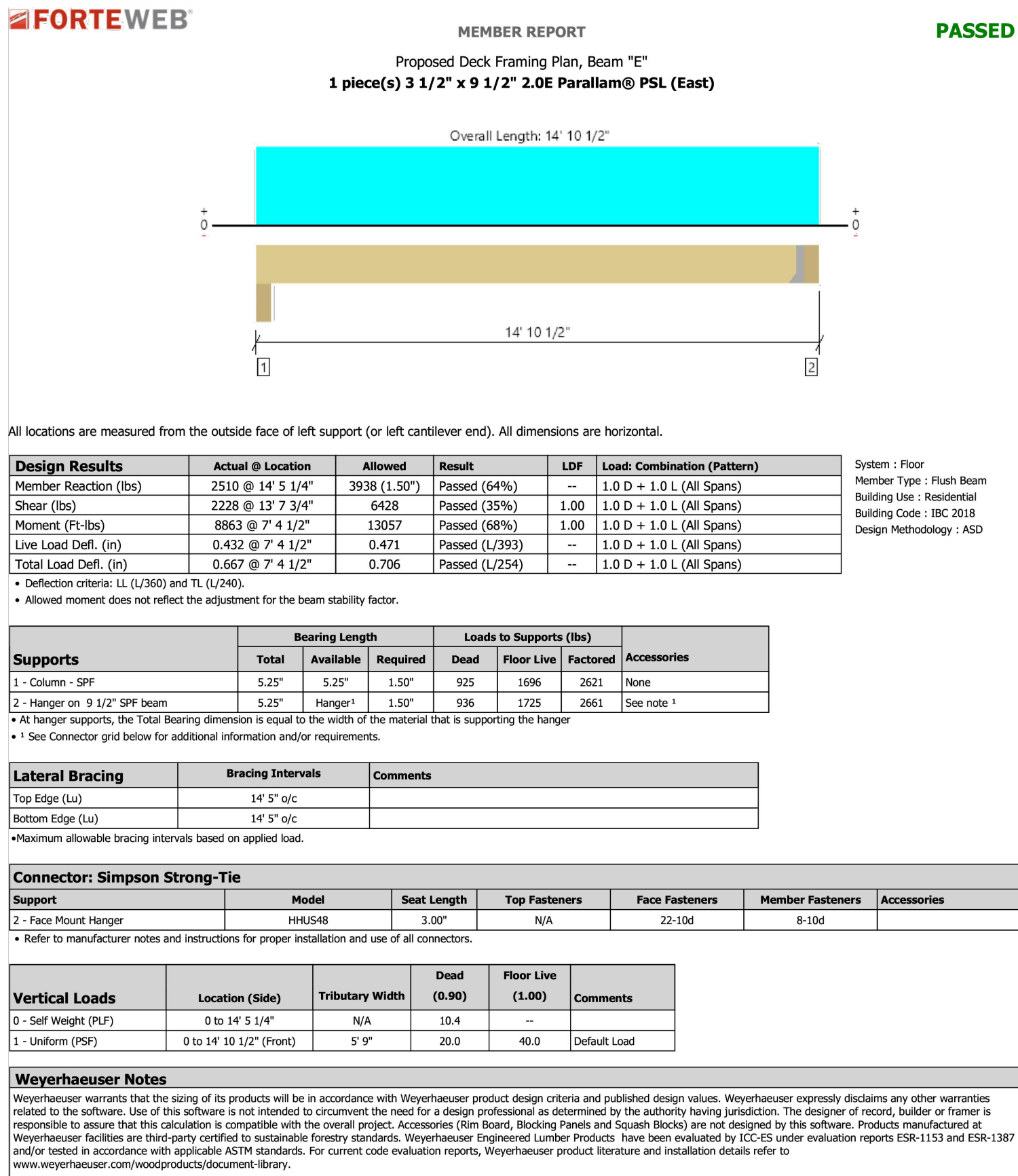
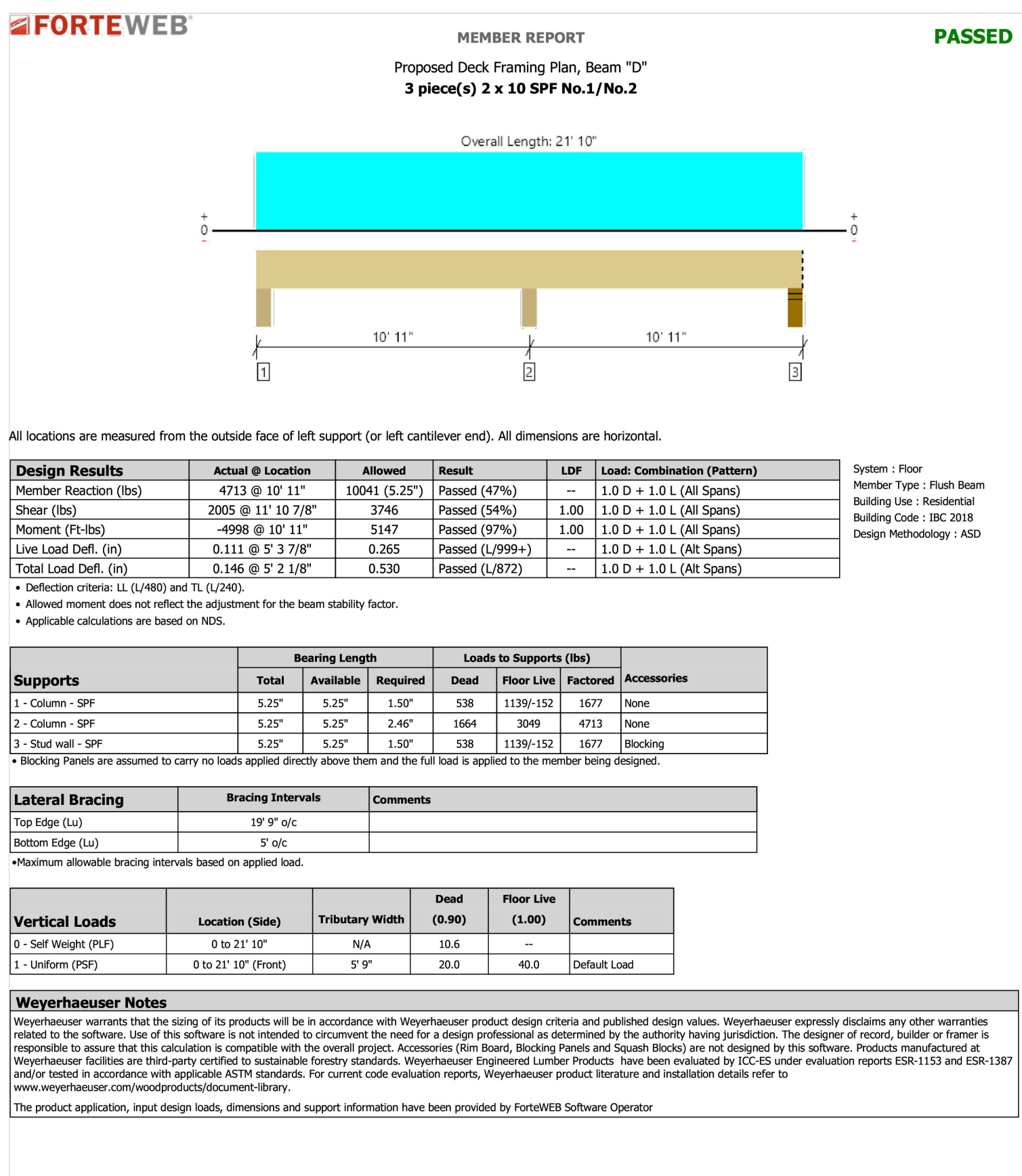
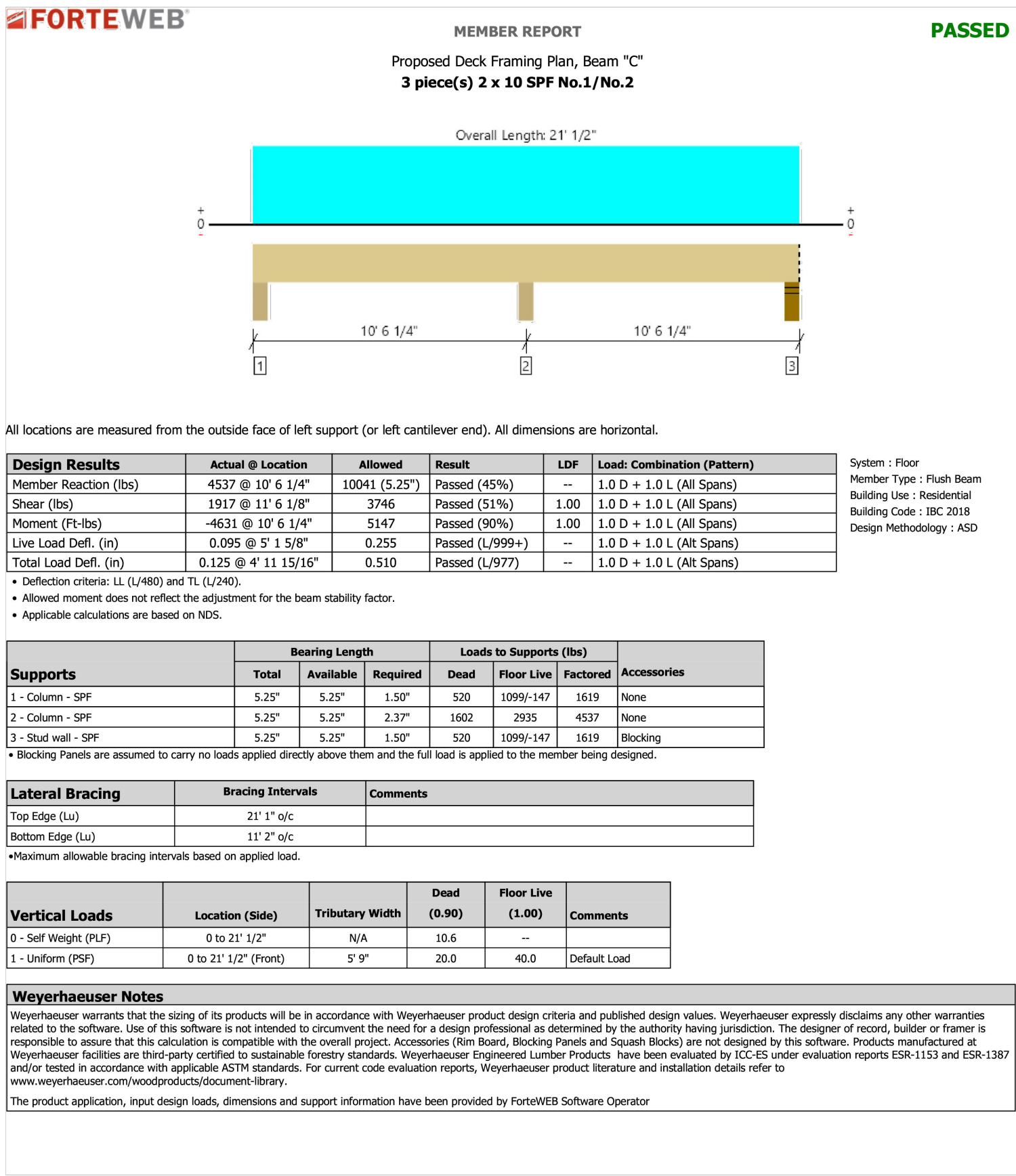
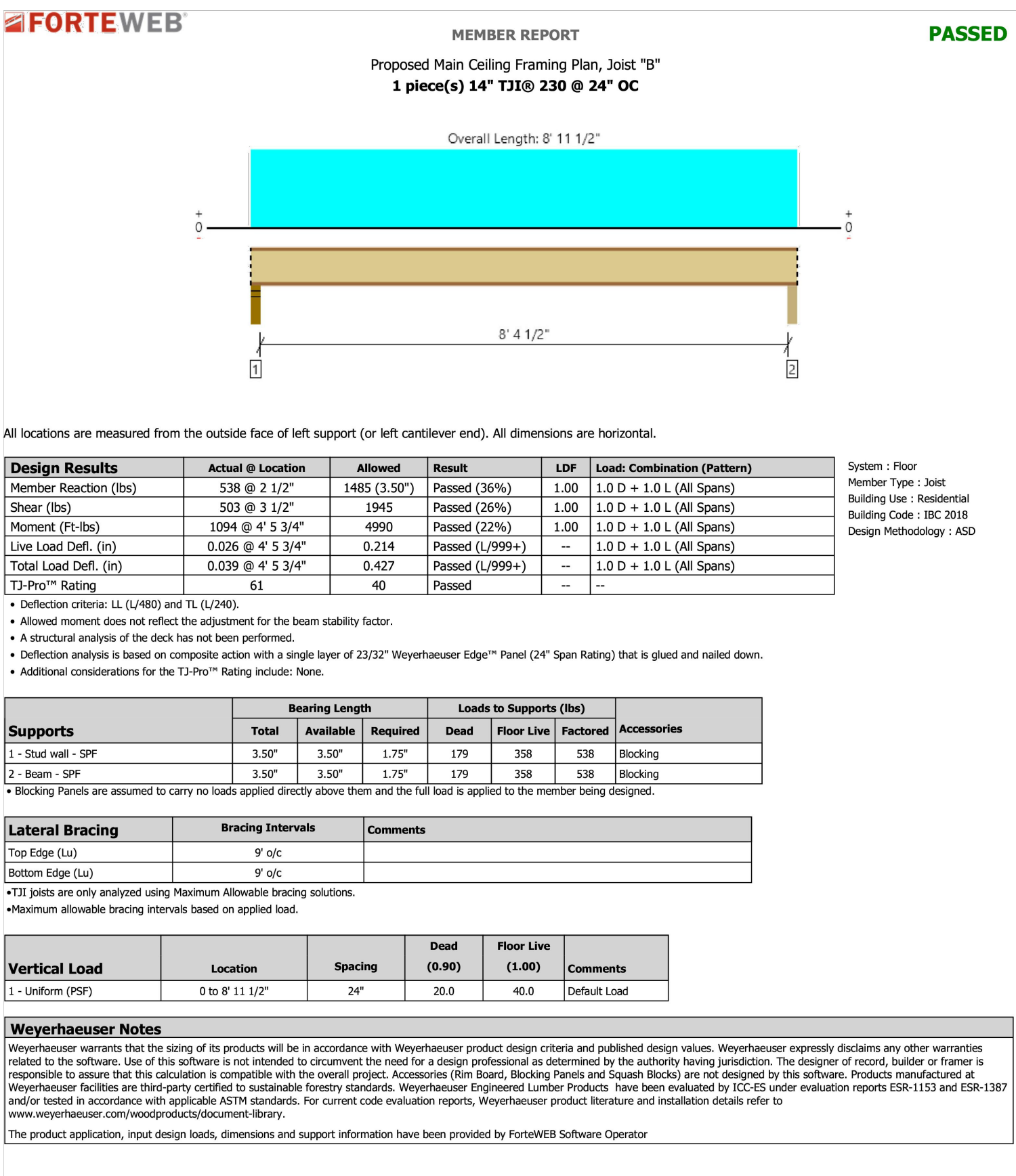
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SHEET TITLE:

PROPOSED
SECTIONS & DETAILS

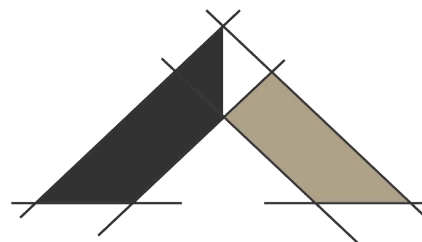
A.13



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STUDIO TEN DESIGNS



Studio Ten
ARCHITECTURAL DESIGNS

JASON ALBERT - 678.390.4655
JASON@STUDIOTENDESIGNS

REMODEL @
500 S WESTMINISTER WAY
ATLANTA, GA 30307

PROJECT MANAGER

DRAWN BY:
JASON ALBERT
678.390.4655
JASON@STUDIOTENDESIGNS.COM

DOCUMENT PHASE:

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SEPTEMBER 15, 2022

SHEET TITLE:

PROPOSED
FRAMING CALCS

A.15

SITE NOTES:

- TOTAL SITE AREA: 0.463 ACRES / 20,152 SF
TOTAL DISTURBED AREA: 0.10 ACRES / 4,140 SF
- SITE ADDRESS: 500 SOUTH WESTMINSTER WAY, DEKALB COUNTY, GA 30307
- SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY GEORGIA LAND SURVEYING, CO. DATED 1–28–2019.
- THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C0066K DATED AUGUST 15, 2019 FOR INCORPORATED DEKALB COUNTY, GEORGIA.
- THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE OWNERS CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
- ALL FUTURE CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
- CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
- CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
- ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE DEKALB COUNTY AND STATE OF GEORGIA STANDARDS.
- UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1–800–282–7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
- THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
- ALL APPROPRIATE EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS, AND/OR FLOOD PLAIN BUFFERS THAT APPLY TO THIS PROPERTY ARE SHOWN ON THESE PLANS
- TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

DEKALB COUNTY NOTES:

- GRADE TO DRAIN AWAY FROM FOUNDATION.
- ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404–371–4913.
- ALL CONSTRUCTION MUST CONFORM TO DEKALB COUNTY STANDARDS.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS, THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- FINAL ON–SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS–BUILTS WILL ALSO BE REQUIRED.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN–SITE INSPECTOR.
- ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED
- A FINAL AS–BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- A FINAL AS–BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- WATER QUALITY BMP(s) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(s).
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY–FRIDAY 7:00am–7:00pm
SATURDAY 8:00am–5:00pm

STATEWATER STATEMENT:

THIS PROPERTY IS NOT LOCATED INSIDE DESIGNATED F.I.A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP #13089C0066K, DATED AUGUST 15, 2019.

THERE ARE WATERS OF THE STATE OF GEORGIA LOCATED ON OR WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS.

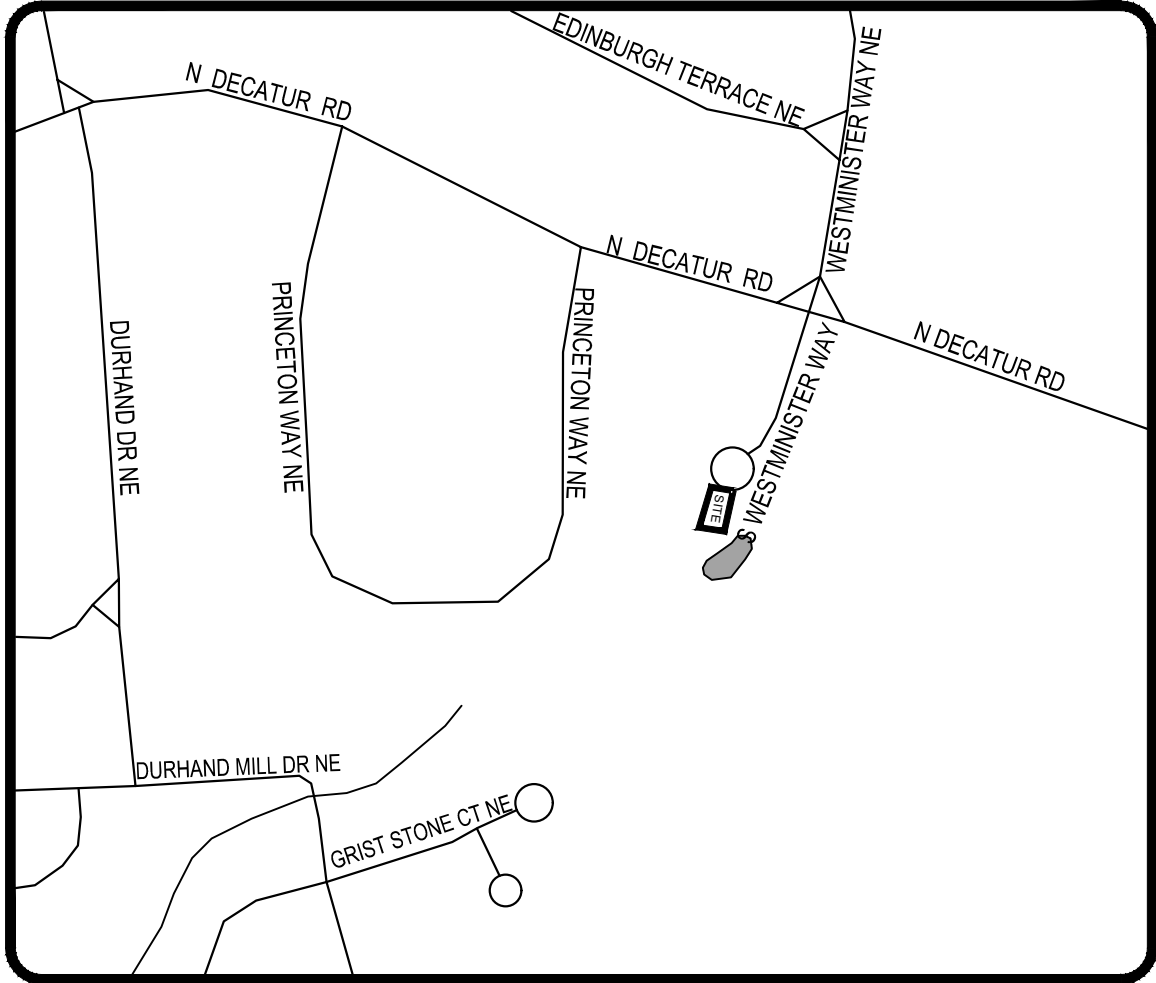
24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287

SINGLE FAMILY HOUSE ADDITION CONSTRUCTION DOCUMENTS FOR

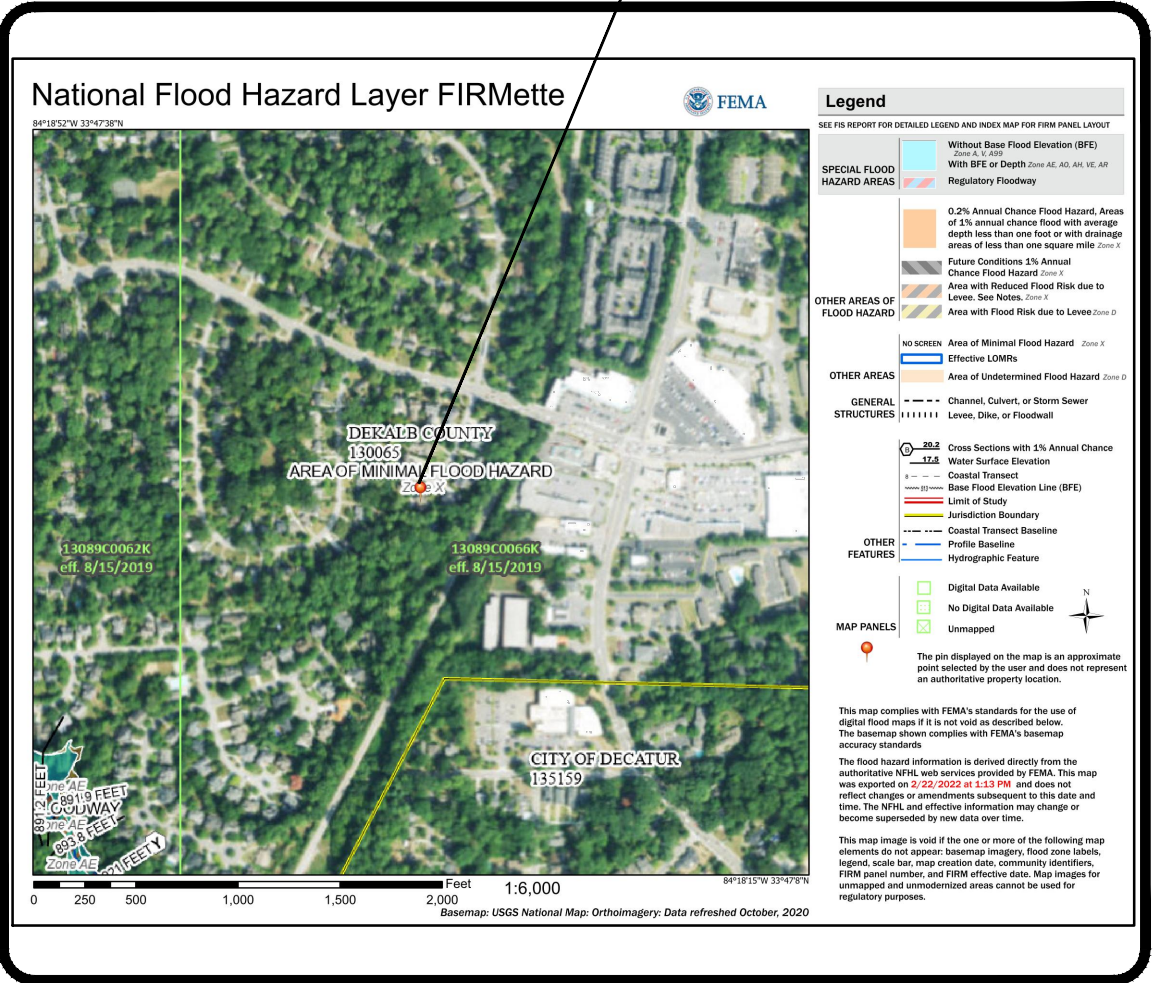
500 SOUTH WESTMINISTER WAY

LAND LOT 51, DISTRICT 18

DEKALB COUNTY, GEORGIA



Location Map
N.T.S.



FEMA Map
N.T.S.

THIS SITE IS NOT LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C0066K DATED AUGUST 15, 2019 FOR INCORPORATED DEKALB COUNTY, GEORGIA.

ZONING CONFORMANCE:

SITE ZONING: R–75 (RESIDENTIAL MEDIUM LOT–75) DISTRICT
MINIMUM LOT SIZE: 10,000 SF
LOT WIDTH: 75 FEET, MIN AT STREET
75 FEET, MIN AT BUILDING LINE
35 FEET, MIN FOR CULDESAC
FRONT SETBACK: 45 FEET MIN (THOROUGHFARES)
35 FEET MIN (ARTERIALS)
30 FEET MIN (COLLECTOR AND ALL OTHERS)
25 FEET MIN (ALLEY ACCESS)
SIDE SETBACK: 7.5 FEET
REAR SETBACK: 40 FEET
LOT COVERAGE: SHALL NOT EXCEED 35%
FLOOR AREA: NO LESS THAN 1600 SQ FEET
OFF–STREET PARKING: 2 SPACES
BUILDING HEIGHT: NO MORE THAN 35 FEET
OPEN SPACE: 20%

ADDRESSING:

500 SOUTH WESTMINSTER WAY
DEKALB COUNTY, GEORGIA 30307

OWNER INFORMATION:

NIC BRANKER
500 SOUTH WESTMINSTER WAY,
DEKALB COUNTY, GEORGIA 30312

CONSTRUCTION NARRATIVE:

THE PROPOSED PLANS CALL FOR AN ADDITION OF A TWO STOREY GARAGE WITH A DECK AND A SWIMMING POOL. CONFORMING TO R–75 ZONING. ALL PHASED EROSION CONTROL BMPS ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

DEKALB COUNTY TREE NOTES:

- NO ONE SHALL ENCROACH, PLACE SOLVEMENTS, BUILDING, MACHINERY, BUILDING DEBRIS OR ANY OTHER MATERIAL WITHIN 6" OUTSIDE THE PERIPHERY OF THE CRZ OR WITHIN ANY TREE SAVE AREA, TRANSITIONAL BUFFER ZONE, STREAM BUFFER, OR STATE BUFFER ZONE.
- ALL TREE FENCE AND OTHER TREE PROTECTION DEVICES MUST REMAIN IN FUNCTIONING CONDITION UNTIL COMPLETION OF THE PROJECT OR UNTIL THE CO IS ISSUED.
- A TREE THAT IS DESIGNATED TO BE SAVED, BUT IS DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO THE UNIT VALUE OF THE TREE REMOVED. ANY SPECIMEN TREE DAMAGED SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO 1.5 TIMES THE DBH OF THE DAMAGED SPECIMEN.
- ALL PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOTZONE(CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS(CRZ).
- ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
- TREE PROTECTION SIGNS ARE TO BE PLACED AT LEAST EVERY 50' ALONG THE LENGTH OF THE TREE PROTECTION FENCE. THE SIGNS SHOULD BE IN LANGUAGE SO THAT ALL WORKERS ON SITE ARE ABLE TO UNDERSTAND.

PRE-CONSTRUCTION IMPERVIOUS AREA:

PRE-CONSTRUCTION LOT COVERAGE	
AREA	SF
EXISTING HOUSE	2561
EXISTING DECKS	318
EXISTING CONCRETE DRIVEWAY	2276
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
STAIRS	63
TOTAL PRE CONSTRUCTION IMPERVIOUS AREA	
LOT COVERAGE %	26.21%

POST-CONSTRUCTION IMPERVIOUS AREA:

POST-CONSTRUCTION LOT COVERAGE	
SITE LOCATION	SF
EXISTING HOUSE	2561
EXISTING DECKS	317
REMAINING CONCRETE DRIVEWAY	2106
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
EXISTING STAIRS	63
PROPOSED GARAGE	560
PROPOSED DRIVEWAY ADDITION	190
PROPOSED POOL	760
PROPOSED DECK	260
PROPOSED TURF DECK/WALKWAY	0
PROPOSED WALL	45
PROPOSED POOL EQUIPMENT	15
TOTAL PROPOSED IMPERVIOUS AREA	
LOT COVERAGE %	34.44%

LEGEND

COVER
SURVEY
DEMOLITION PLAN
SITE PLAN
STORMWATER PLAN
ES&PC PLAN
TREE PLAN
CONSTRUCTION DETAILS

SHEET #

CV
S-1
D-1
C-1
C-2
C-3
C-4
C-6

Prepared By
Crescent View
Engineering, LLC
211 Frasier Street
Marietta, GA 30062
978-324-9410
www.crescentvieweng.com

Prepared For
500 South Westminister
500 South Westminister Way
Atlanta, GA 30307
919-285-1287
nic.obtsolutions@gmail.com

COVER



Construction Plans For
500 South Westminister Way
Land Lot 51, 18th District
DeKalb County, Georgia

















CVE PI # 22-139

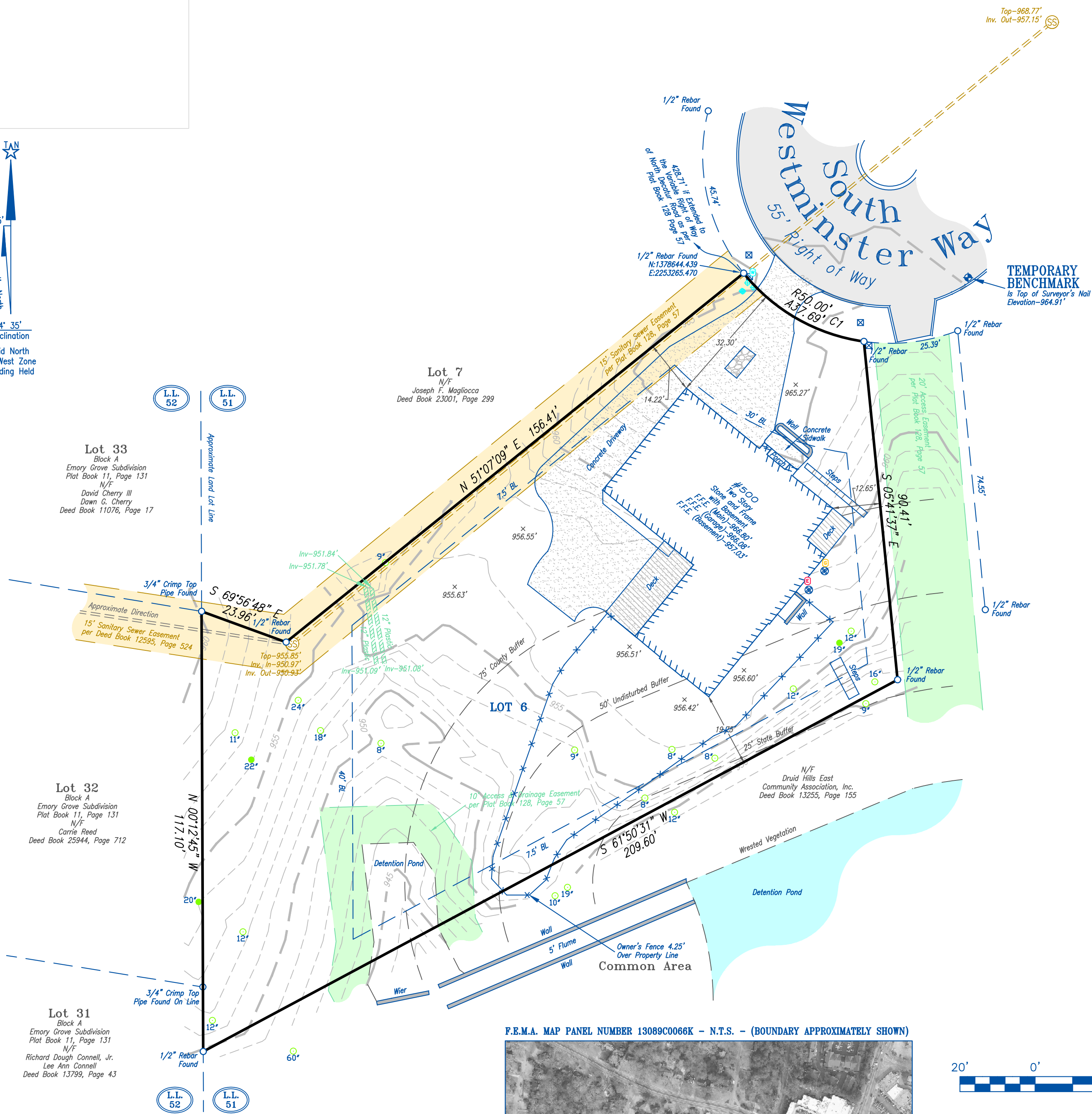
Sheet No.

CV

20,152 SQ. FT.
0.463 ACRES

These standard symbols may be found in the drawing.

- | | |
|---|---------------------------------------|
|  | Iron Pin Found |
|  | Building Line |
|  | Electric Meter |
|  | Irrigation Control Valve |
|  | Water Meter |
|  | Sanitary Sewer Manhole |
|  | Gas Meter |
|  | Air Conditioning Unit |
|  | Communication Box |
|  | Spot Elevation |
|  | Hardwood Tree |
|  | Pine Tree |
|  | Neighbor's Fence |
|  | Sanitary Sewer |
|  | Sanitary Sewer
(Not Field Located) |
|  | Stormwater Pipe |



Trees 8"+ DBH located

SPECIAL FLOOD HAZARD NOTE

I have this date, examined the "F.I.R.M. official flood hazard map" and found in my opinion referenced parcel is not in an area having special flood hazards, Zone X, without an elevation certification the Surveyor is not responsible for any damage due its opinion for said parcel map ID 13089C0066K effective date 8/15/2019.

CLOSURE STATEMENT

The field data used to compile this plat was gathered by differential adjusted G.P.S. coordinates and radial survey measurements and has a positional tolerance of 0.1 feet. This map or plat has been calculated for closure and is found to be accurate within one foot in 248,868 feet.

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	37.69'	36.80'	S 60°23'12" E	43°11'25"

ZONING

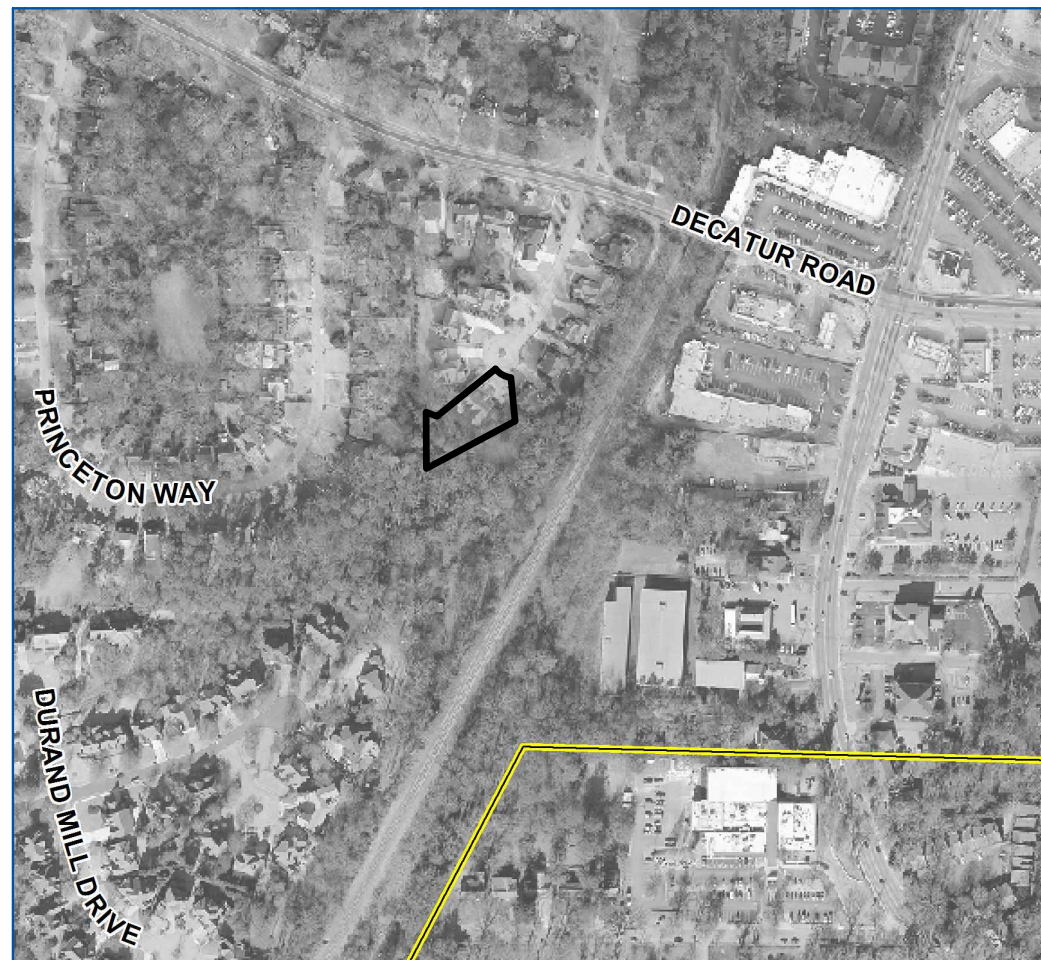
[DeKalb County]
(R-75) (Single Family Residential)
Front yard setback-30'
Side yard setback-7.5'
Rear yard setback-40'

Note: Graphic depiction of setback lines are the interpretation of the Surveyor and should be verified with a zoning official prior to design work.

SURVEY NOTES

1. Elevations are based on N.A.V.D. 88 datum.
2. Contour lines are at one (1) foot intervals.
3. Equipment used: Leica TS12 robotic total station, Carlson Surveyor 2 data collector, and Leica GS16 RTK.
4. Software used: Carlson Survey 2018 and Carlson SurvCE.
5. The coordinate values shown are based on Georgia West Zone coordinate system. The datum for this coordinate system is NAD83 (2011).

F.E.M.A. MAP PANEL NUMBER 13089C0066K - N.T.S. - (BOUNDARY APPROXIMATELY SHOWN)



This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

By: Josh Lewis IV
Josh Lewis IV, Registered Land Survey Number 3028

155 CLIFTWOOD DRIVE - ATLANTA, GEORGIA 30328 - TELEPHONE: (404) 255-4671 - FAX: (404) 255-6607 - WWW.GEORGIALANDSURVEYING.COM

TOPOGRAPHIC/TREE SURVEY PLAT FOR: 500 SOUTH WESTMINSTER WAY - ATLANTA GEORGIA 30307

DATE: 3/17/22 SCALE: 20'

REVISION	BY	DATE
----------	----	------

NICHOLAS BRANKER

LAND LOT: 51	18th DISTRICT	SECTION	Dekalb COUNTY, GA
--------------	---------------	---------	-------------------

LOT: 6 BLOCK: UNIT: PHASE:

SUBDIVISION: South Westminster Way

PLAT BOOK 128 . PAGE 57

PARTY CHIEF: RG

FIELD DATE:

DEED BOOK 27422 PAGE 542

DRAFTER: RMS

4/27/22

SHEET 1 OF 1

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.

DEKALB COUNTY NOTES:

1. GRADE TO DRAIN AWAY FROM FOUNDATION.
2. ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
3. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
4. ALL CONSTRUCTION MUST CONFORM TO DEKALB COUNTY STANDARDS.
5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS, THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
7. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
8. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
9. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
10. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE IN-SITE INSPECTOR.
11. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR OR A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.
12. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
13. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
14. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
15. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
16. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
17. A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
18. WATER QUALITY BMP(s) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
19. ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(s).
20. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm
21. ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
22. DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.

GENERAL DEMOLITION NOTES:

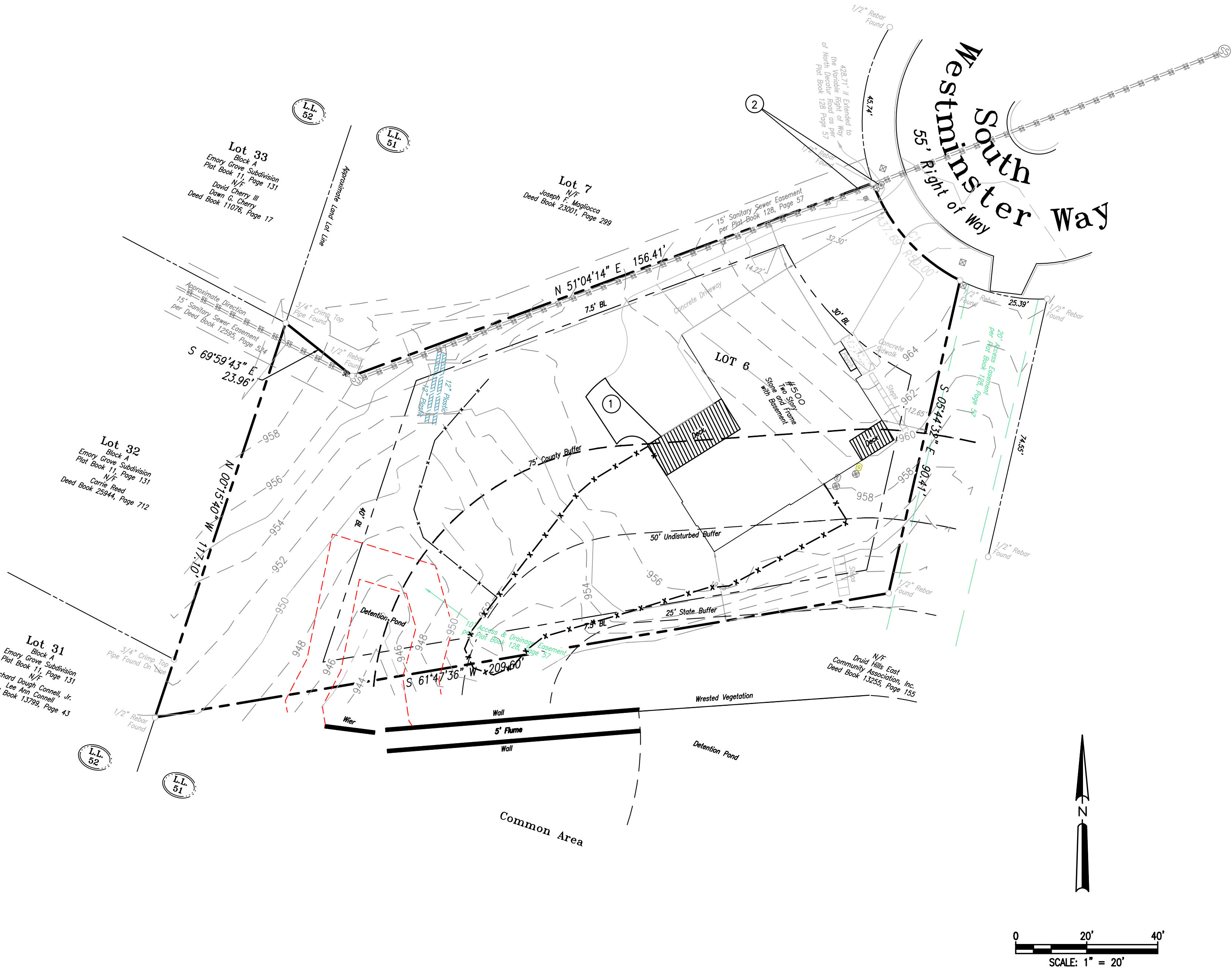
BE ADVISED THIS IS NOT AN EXHAUSTIVE LIST OF DEMOLITION ITEMS. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND THE COMPLETE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. ANY QUESTIONS, CONCERNS, OR IDEAS CONCERNING THE INTENT OR EXECUTION OF THE DESIGN DOCUMENTS MUST BE BROUGHT TO THE OWNER BEFORE PERFORMING ANY CONSTRUCTION ACTIVITY.

- 1 REMOVE PORTION OF EXISTING CONCRETE DRIVEWAY
- 2 LOCATE AND PROTECT ALL EXISTING UTILITIES

PRE-CONSTRUCTION IMPERVIOUS AREA:

PRE-CONSTRUCTION LOT COVERAGE	
AREA	SF
EXISTING HOUSE	2561
EXISTING DECKS	318
EXISTING CONCRETE DRIVEWAY	2276
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
STAIRS	63
TOTAL PRE CONSTRUCTION IMPERVIOUS AREA	5281
LOT COVERAGE %	26.21%

NO TREES ARE TO BE REMOVED
DURING DEMOLITION

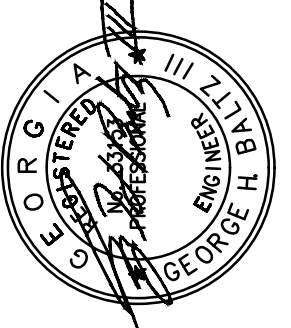


Prepared By
Crescent View
Engineering, LLC
211 Frazier Street
Marietta, GA 30062
678-324-9410
www.crescentvieweng.com

Prepared For
500 South Westminster
500 South Westminster Way
Atlanta, GA 30307
919-285-1287
nic.obtsolutions@gmail.com

DEMOLITION PLAN

REVISIONS	
DATE	03-15-23
SCALE	AS SHOWN
DRAWN	EF
CHECKED	GHB



Construction Plans For
500 South Westminster Way
Land Lot 51, 18th District
DeKalb County, Georgia

CVE PI # 22-139

Sheet No.
D-1

SITE NOTES:

1. TOTAL SITE AREA: 0.463 ACRES / 20,152 SF
TOTAL DISTURBED AREA: 0.10 ACRES / 4,140 SF
2. SITE ADDRESS: 500 SOUTH WESTMINISTER WAY, DEKALB COUNTY, GA 30307
3. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY GEORGIA LAND SURVEYING, CO, DATED 1-28-19.
4. THIS SITE IS LOCATED WITHIN A ZONE [A, AE, SHADED ZONE X] AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 13089C0066K DATED AUGUST 15, 2019 FOR INCORPORATED DEKALB COUNTY, GEORGIA.
5. THE EXISTING UTILITIES SHOWN ON THE PLANS ARE SHOWN FOR THE OWNERS CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS, SIZES, MATERIALS, OR DEPTH FOR THE UTILITIES SHOWN OR THE UTILITIES WHICH MAY EXIST ON THE SITE BUT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD. THE CONTRACTOR SHALL ALSO HAVE THE RESPONSIBILITY BEFORE STARTING ANY WORK TO MAKE SUCH EXPLORATIONS AND PROBES NECESSARY TO ASCERTAIN ANY SEWER LINES, WATER SUPPLY LINES, GAS LINES, ELECTRICAL LINES, CABLE LINES, TELEPHONE LINES, OR OTHER UTILITY LINE.
6. ALL FUTURE CONSTRUCTION MUST CONFORM TO THE APPROPRIATE CITY, COUNTY, AND STATE STANDARDS.
7. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.
9. CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.
10. ALL CONSTRUCTION MUST CONFORM TO THE APPROPRIATE DEKALB COUNTY AND STATE OF GEORGIA STANDARDS.
11. UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. CRESCENT VIEW ENGINEERING IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY BY THE UTILITY PROTECTION CENTER AT 1-800-282-7411 FOR RIGHT OF WAY AREA AND BY A PRIVATE UTILITY LOCATOR FOR UTILITIES NOT LOCATED WITHIN THE RIGHT OF WAY.
12. THE CONTRACTOR MUST OBTAIN ADDITIONAL "RIGHT OF WAY" PERMIT FOR ALL NECESSARY WORK DONE IN THE RIGHT OF WAY.
13. ALL APPROPRIATE EASEMENTS, STATE WATER BUFFERS, STREAM BUFFERS, AND/OR FLOOD PLAIN BUFFERS THAT APPLY TO THIS PROPERTY ARE SHOWN ON THESE PLANS
14. TO THE BEST OF OUR KNOWLEDGE, THERE NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS
15. THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON STAKING BY A REGISTERED LAND SURVEYOR. THE FOOTPRINT IS BASED ON AN ARCHITECTURAL PLAN BY OTHERS. THE ARCHITECTURAL PLAN SHOULD BE USED FOR HOUSE POSITIONING AND LOCATION.

DEKALB COUNTY NOTES:

1. GRADE TO DRAIN AWAY FROM FOUNDATION.
2. ALL GRADED SLOPES TO BE AT A 3:1 SLOPE OR GREATER.
3. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION. ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE. CALL FOR FINAL INSPECTION AT 404-371-4913.
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6. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
7. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
8. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, CERTIFIED AS-BUILTS WILL ALSO BE REQUIRED.
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20. WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

POST-CONSTRUCTION IMPERVIOUS AREA:

POST-CONSTRUCTION LOT COVERAGE	
SITE LOCATION	SF
EXISTING HOUSE	2561
EXISTING DECKS	317
REMAINING CONCRETE DRIVEWAY	2106
EXISTING CONCRETE SIDEWALK	50
EXISTING FRONT PORCH	13
EXISTING STAIRS	63
PROPOSED GARAGE	560
PROPOSED DRIVEWAY ADDITION	190
PROPOSED POOL	760
PROPOSED DECK	260
PROPOSED TURF DECK/WALKWAY	0
PROPOSED WALL	45
PROPOSED POOL EQUIPMENT	15
TOTAL PROPOSED IMPERVIOUS AREA	1830
TOTAL POST CONSTRUCTION IMPERVIOUS AREA	6940
LOT COVERAGE %	34.44%

ZONING CONFORMANCE:

SITE ZONING: R-75 (RESIDENTIAL MEDIUM LOT-75) DISTRICT
MINIMUM LOT SIZE: 10,000 SF
LOT WIDTH: 75 FEET, MIN AT STREET
75 FEET, MIN AT BUILDING LINE
35 FEET, MIN FOR CULDESAC
FRONT SETBACK: 45 FEET MIN (THOROUGHFARES)
35 FEET MIN (ARTERIALS)
30 FEET MIN (COLLECTOR AND ALL OTHERS)
25 FEET MIN (ALLEY ACCESS)
SIDE SETBACK: 7.5 FEET
REAR SETBACK: 40 FEET
LOT COVERAGE: SHALL NOT EXCEED 35%
FLOOR AREA: NO LESS THAN 1600 SQ FEET
OFF-STREET PARKING: 2 SPACES
BUILDING HEIGHT: NO MORE THAN 35 FEET
OPEN SPACE: 20%

STATEWATER STATEMENT:

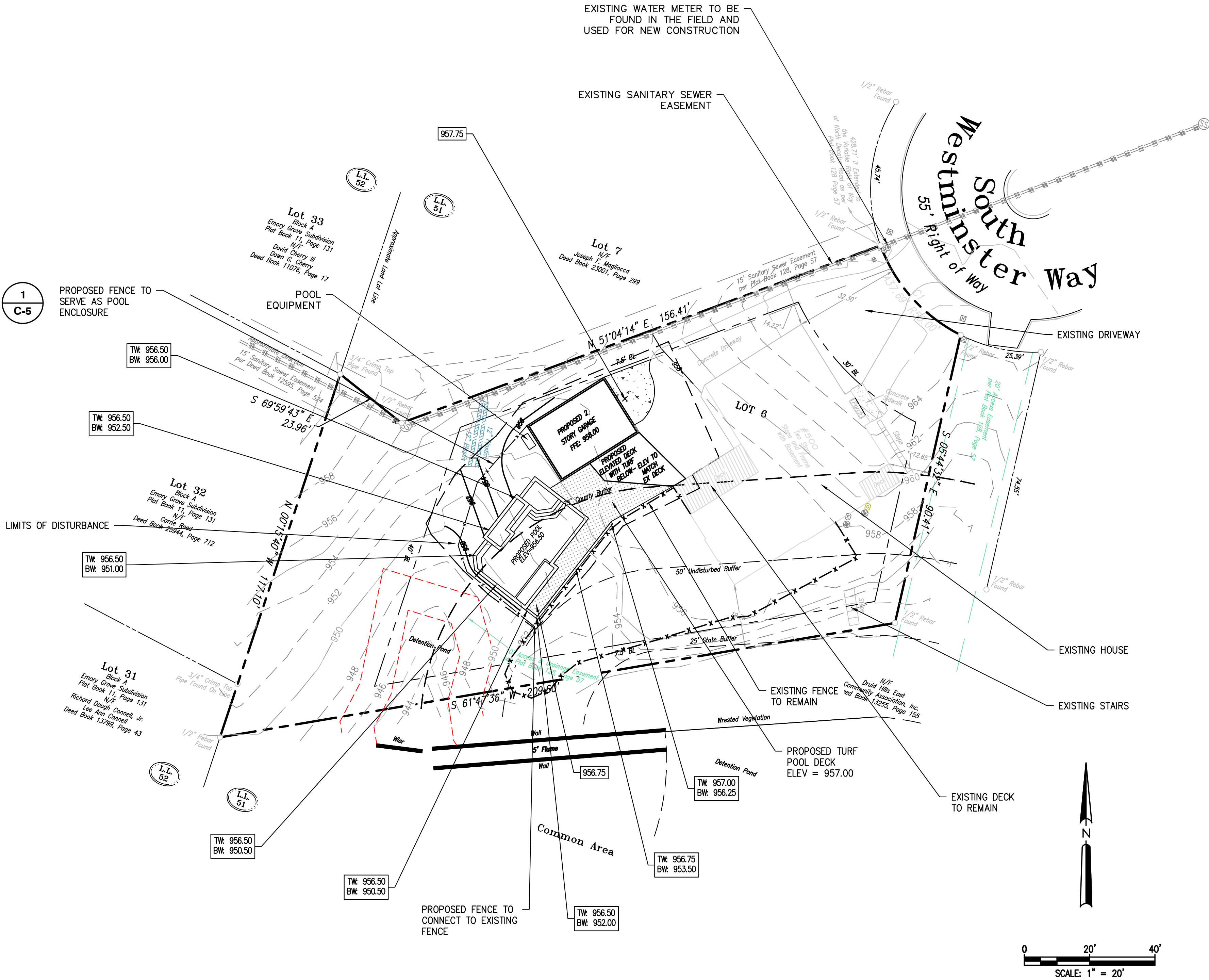
THIS PROPERTY IS NOT LOCATED INSIDE DESIGNATED F.I.A SPECIAL FLOOD HAZARD AREA AS PER THE FLOOD INSURANCE RATE MAP #13089C0066K, DATED AUGUST 15, 2019.

THERE ARE WATERS OF THE STATE OF GEORGIA LOCATED ON OR WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS.

STREAM BUFFER CALCULATIONS:

Stream Buffer Encroachment Chart			
Buffer / Impervious Setback	Pre Construction (SF)	Post Construction (SF)	Difference (SF)
State Buffer: 0'-25'	0	0	0
Undisturbed Buffer : 25'-50'	86	86	0
County Buffer: 50'-75'	1144	1728	584

24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287



Prepared By
Crescent View
Engineering, LLC
211 Frasier Street
Marietta, GA 30062
678-324-9410
www.crescentvieweng.com

Prepared For
500 South Westminister
500 South Westminister Way
Atlanta, GA 30307
919-285-1287
nic.obtsolutions@gmail.com

SITE PLAN

REVISIONS	
DATE	03-15-23
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Construction Plans For
500 South Westminister Way
Land Lot 51, 18th District
DeKalb County, Georgia

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WATER QUALITY NOTES:

VEGETATION
THE TRENCH IS NORMALLY COVERED WITH TOPSOIL AND MANAGED TURF OR OTHER HERBACEOUS VEGETATION. AS AN ALTERNATIVE, THE AREA ABOVE THE SURFACE OF A TRENCH MAY BE COVERED WITH PEA GRAVEL (OR LARGER DEPENDING ON THE INFLOW RATES) TO ALLOW FOR INCIDENTAL LATERAL INFLOW ALONG THE EDGE OF GROUND LEVEL IMPERVIOUS SURFACES. THE DOWNSTREAM END OF THE PIPE MUST BE STABILIZED AND CAN BE LANDSCAPED FOR AESTHETICS.

MAINTENANCE

- INSPECT GUTTERS AND DOWNSPOUTS REMOVING ACCUMULATED LEAVES AND DEBRIS, CLEANING LEAF REMOVAL SYSTEM(S).
- IF APPLICABLE, INSPECT PRETREATMENT DEVICES FOR SEDIMENT ACCUMULATION.
- INSPECT THE TRENCH FOLLOWING A LARGE RAINFALL EVENT TO INSURE OVERFLOW IS OPERATING AND FLOW IS NOT CAUSING PROBLEMS.

CONSTRUCTION STEPS

- REVIEW POTENTIAL TRENCH AREAS AND LAYOUT. THE TRENCH SHOULD SLOPE BETWEEN 0.5% AND 6% AWAY FROM THE STRUCTURE AND SHOULD NOT BE LOCATED: (1.) BENEATH AN IMPERVIOUS (PAVED) SURFACE; (2.) ABOVE AN AREA WITH A WATER TABLE OR BEDROCK LESS THAN TWO FEET BELOW THE TRENCH BOTTOM; (3.) OVER OTHER UTILITY LINES; OR (4.) ABOVE A SEPTIC FIELD. INSURE OUTLET DAYLIGHTS AT LEAST TEN FEET FROM PROPERTY LINE.
- IF SOIL IS A CONCERN PERFORM INFILTRATION TEST. IF THE RATE IS LESS THAN 0.25 IN/HR THIS METHOD CANNOT BE USED. IF THE RATE IS MORE THAN 0.50 IN/HR THE LENGTH OF THE DITCH MAY BE DECREASED 10% FOR EVERY 0.50 IN/HR INFILTRATION RATE INCREASE ABOVE 0.50 IN/HR
- MEASURE ELEVATIONS AND LAY OUT THE TRENCH TO THE REQUIRED DIMENSIONS MARKING THE ROUTE AND REQUIRED EXCAVATION DEPTHS. OFTEN A LEVEL LINE (TORPEDO LEVEL) IS USED.
- PLACE AND TAMP GRAVEL IN DITCH TO PLANNED DEPTH PLACING THE PIPE THREE INCHES DEEP IN THE UPPER PORTION OF THE GRAVEL, THEN PLACE AND GENTLY TAMP GRAVEL UNTIL IT COVERS THE PIPE.
- PLACE DRAINAGE FABRIC OVER TOP OF PIPE AND STONE.
- PLACE TOPSOIL AND SOD OR PEA GRAVEL.
- CUT AND ROUTE DOWNSPOUTS OR OTHER RAINWATER DELIVERY COMPONENTS. ADD STRAP AND SUPPORT AS NEEDED.
- CREATE A SAFE OVERFLOW AT LEAST 10 FEET FROM YOUR PROPERTY EDGE AND INSURE IT IS PROTECTED FROM EROSION.

WATER QUALITY CALCULATIONS:

POST-CONSTRUCTION LOT COVERAGE			
AREA	SF	NOT/TREATED	BMP LOCATION
EXISTING HOUSE	2561	NOT TREATED	N/A
EXISTING DECKS	317	NOT TREATED	N/A
REMAINING CONCRETE DRIVEWAY	2106	NOT TREATED	N/A
EXISTING CONCRETE SIDEWALK	50	NOT TREATED	N/A
EXISTING FRONT PORCH	13	NOT TREATED	N/A
EXISTING STAIRS	63	NOT TREATED	N/A
PROPOSED GARAGE	560	TREATED	TRENCH
PROPOSED DRIVEWAY ADDITION	190	TREATED	TRENCH
PROPOSED POOL	760	TREATED	TRENCH
PROPOSED DECK	260	TREATED	TRENCH
PROPOSED TURF DECK/WALKWAY	0	NOT TREATED	N/A
PROPOSED WALL	45	TREATED	TRENCH
PROPOSED POOL EQUIPMENT	15	TREATED	TRENCH
TREATED IMPERVIOUS AREA	1830	SF	
TOTAL IMPERVIOUS AREA	6940	SF	

Water Quality / Runoff Reduction Calculations		
Per GSWMM Section 2.2.4.1		
Water Quality Volume (WQv)		
Runoff Reduction (RRv)		
Site Area (A) =	20152	SF
Treated Impervious Area =	1830	SF
% impervious (I) =	10	%
RRv = (P.Rv.A)/12	235	CF
Rv = 0.05 + 1 *(0.009)	0.140	
WQv = 1.2*Rv*A/12	282.1	CF

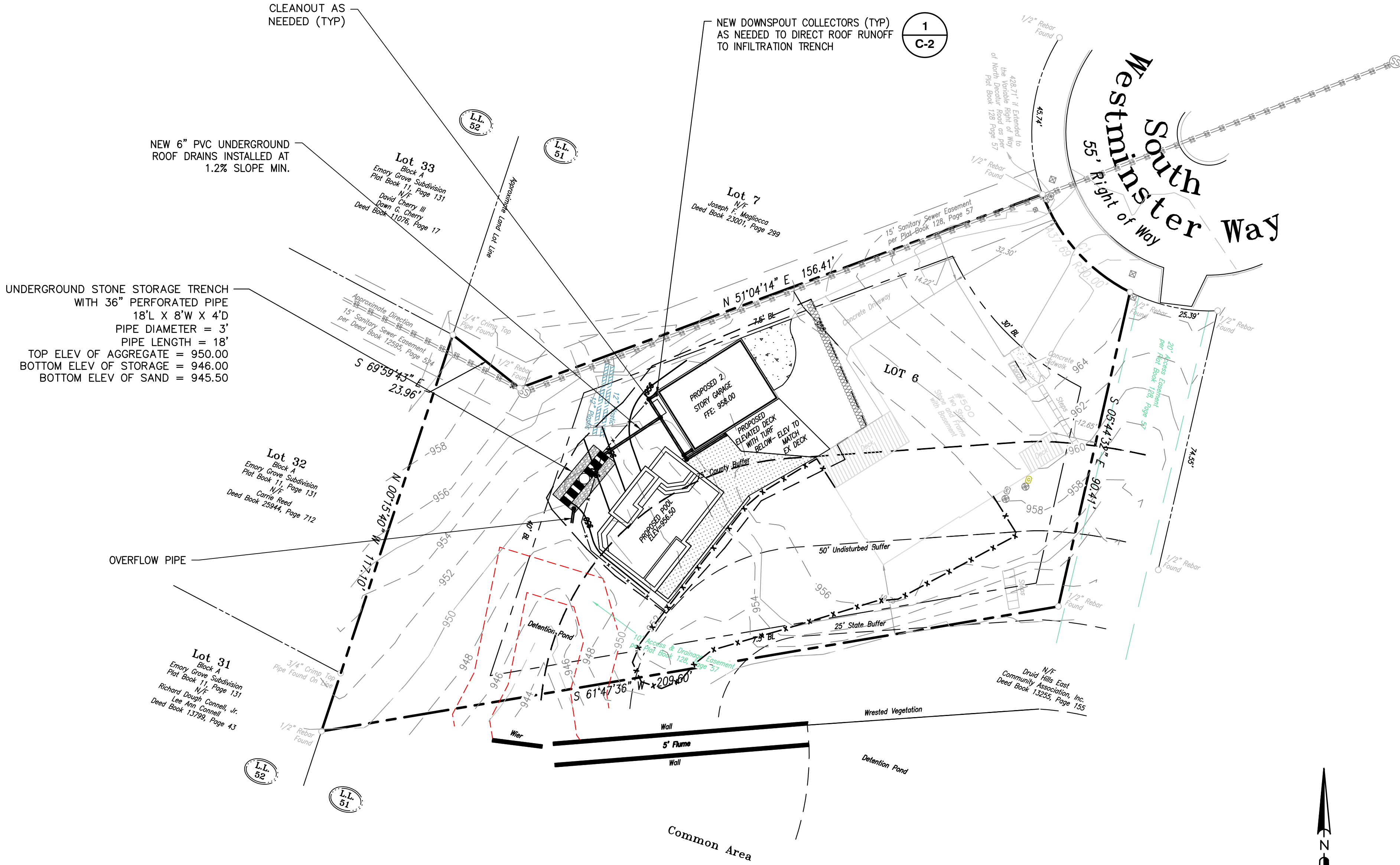
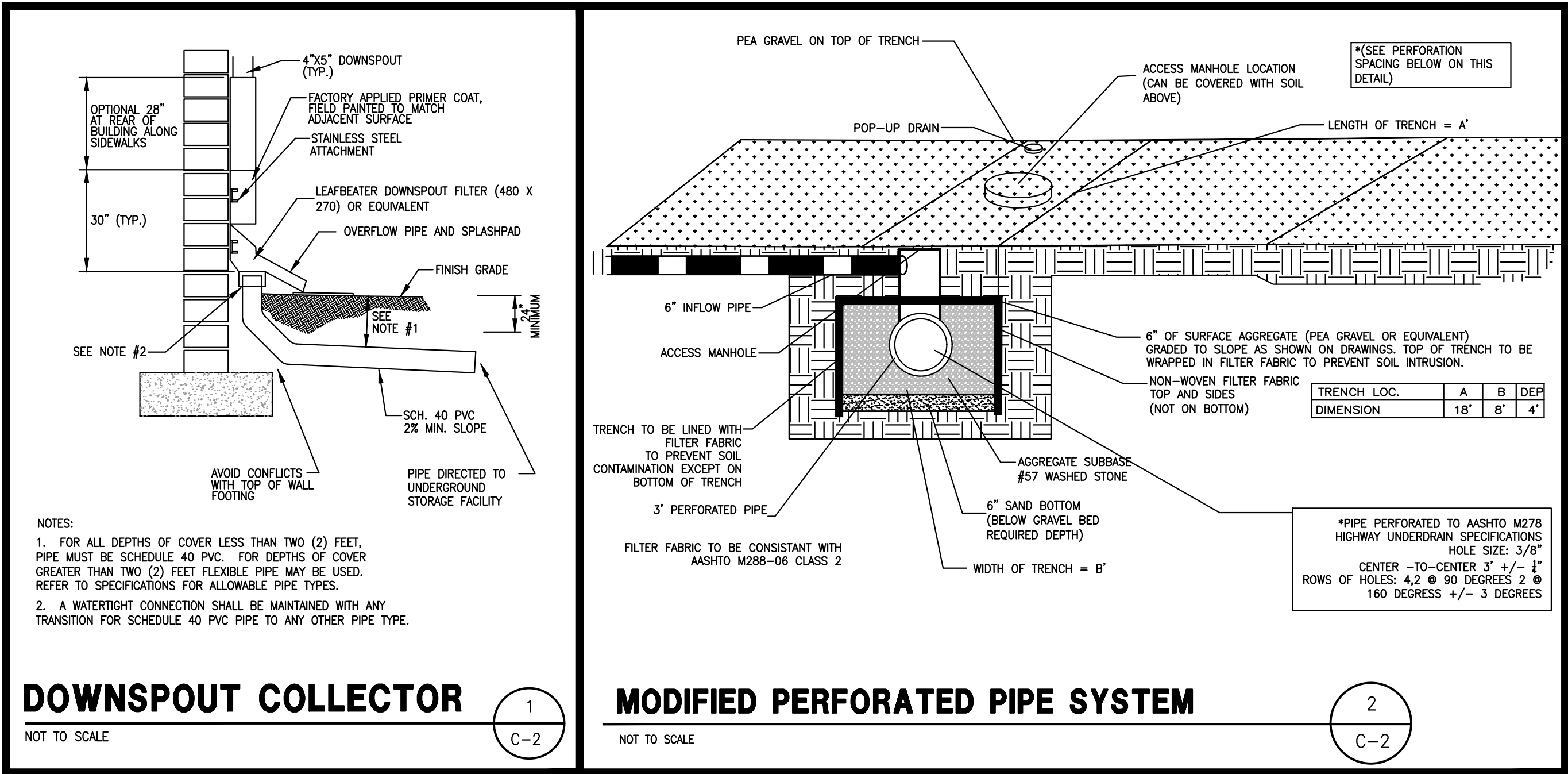
STONE STORAGE INFILTRATION TRENCH W/ PIPE CALCULATIONS		
WQ Calculations	1.2" required for required area impervious	
Required Treated Impervious Area =	1830.0	SF
Required WQ Volume =	282.1	CF
Pipe Volume		
Diameter of Pipe	3.0	FT
Length of Pipe	18.0	FT
Volume of Pipe	127.2	CF
Gravel Volume		
All volume to be provided in stone storage infiltration trench with 40% void		
Length of Trench	18.0	FT
Width of Trench	8.0	FT
Depth of Trench	4.0	FT
Volume of Gravel = ((L x W x D) - Pipe Vol) x 0.4 =	179.5	CF
Provided Volume = Gravel Vol + Pipe Vol =	306.7	CF
Required Volume =	282.1	CF
Percent of provided volume over required	109%	

WATER QUALITY DESCRIPTION:

WATER QUALITY IS PROVIDED FOR THE NEW IMPERVIOUS AREA OF 1,830 SF, WHICH INCLUDES THE PROPOSED GARAGE, POOL, AND DECK. SEE LOT COVERAGE CHART ON THIS PAGE.

THE STONE STORAGE TRENCH WILL DETAIN FOR A TOTAL OF 1,830 SF. THE TRENCH IS TO BE FILLED WITH #57 STONE (40% VOID RATIO). THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 282.1 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND STONE STORAGE TRENCH IS 306.7 CUBIC FEET. THE POSITION OF THE TRENCH IS SUCH THAT IT IS AT LEAST 10 FEET AWAY FROM THE STRUCTURES AND PROPERTY LINES. THE TRENCH IS 18 FT LONG, 8 FT WIDE, AND 4 FT DEEP. THE TRENCH CONTAINS A 3 FT DIAMETER PIPE.

THE WATER QUALITY VOLUMES PROVIDED BY THE BMP SHOWN EXCEED THE WQ STORAGE REQUIREMENTS.



24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287

Prepared By
Crescent View
Engineering, LLC
211 Frazier Street
Marietta, GA 30062
678-324-9410
www.crescentvieweng.com

Prepared For
500 South Westminster
500 South Westminster Way
Atlanta, GA 30307
919-285-1287
nic.obtsolutions@gmail.com

STORMWATER PLAN

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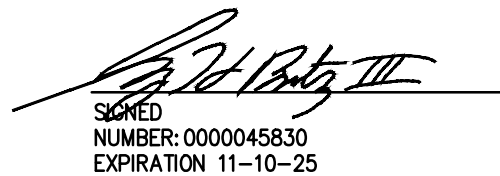
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1. APPROVED EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY DETENTION BMP INSTALLATION (NOT PART OF THIS PLAN)
2. SURVEY INFORMATION TAKEN FROM SURVEYS PERFORMED BY GEORGIA LAND SURVEYING, CO, DATED 1-28-19
3. DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
6. CONTRACTOR SHALL CONTACT THE UTILITY LOCATOR AS REQUIRED BY GEORGIA LAW AND HAVE ALL UTILITIES MARKED PRIOR TO ANY CONSTRUCTION ACTIVITY. CONTRACTOR WILL HAVE PRIVATE UTILITY LOCATOR LOCATE ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS NOT COVERED BY THE UTILITY PROTECTION CENTER.
7. ALL ELEVATIONS SHOWN ARE FINISHED GRADE.
8. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES.
9. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
10. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVE OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.



HE EXISTING DRIVEWAY TO REMAIN AND MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IN ACCORDANCE WITH THE CURRENT DETAIL IS CONSTRUCTED.

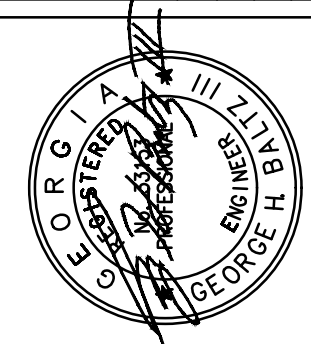
1. THE CONSTRUCTION STAGING AREA WILL BE THE PROPOSED DRIVEWAY AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT ANY POTENTIAL TRACKING OF MUD ONTO PUBLIC STREETS.
2. SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
3. SILT FENCE FABRIC SHALL BE COMPRISED OF GA. DOT QUALIFIED PRODUCTS LIST 36, FOR SILT FENCE FABRIC.
4. ALL GRASSING SHALL BE IN ACCORDANCE WITH CHAPTER 6, SECTION III "VEGETATIVE PRACTICES" OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
5. ALL OTHER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS SAME MANUAL.
6. THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SILT FENCING AND REMOVE THE FENCING FROM THE SITE ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.
7. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RE-TOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
8. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
9. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN TWO WEEKS.
10. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT
11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
12. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS. THE EROSION CONTROL MEASURE CAN BE DESIGNED BY A LEVEL 1B (BLUE CARD) GASWC CERTIFIED CONTRACTOR, UNLESS THE BMP HAS A HYDRAULIC COMPONENT. FOR ALL BMP DESIGN WITH A HYDRAULIC COMPONENT, THE BMP MUST BE DESIGNED BY A LEVEL 2 (GOLD CARD) GASWC CERTIFIED DESIGNER. A CONSTRUCTION EXIT IS NOT PROPOSED DUE TO THE SMALL SIZE OF THE PROJECT AND THE LEVEL 1B CONTRACTOR MUST PROVIDE ALL MEASURES TO PREVENT ANY SILT FROM ENTERING THE STREAM BUFFER.

SILT FENCE PROVIDED = 205 LINEAR FEET OF SILT FENCE
SEDIMENT STORAGE REQUIRED = 0.10 DISTURBED AREA X 67 = 6.37 CY
SEDIMENT STORAGE PROVIDED = 205 FT SILT FENCE X 0.05 = 10.25 CY



Prepared For
500 South Westminister
500 South Westminister Way
Atlanta, GA 30307
919-285-1287
nic.otbsolutions@gmail.com

ES&PC PLAN		
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Construction Plans For
500 South Westminister Way
Land Lot 51, 18th District
DeKalb County, Georgia

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ONSITE TREE CALCULATIONS:

ONSITE TREES	
TREE LIST - ONSITE PRIOR TO CONSTRUCTION	
TOTAL TREES	16
TOTAL INCHES	208
TOTAL UNITS	55
ONSITE LOST/DESTROYED TREES	
Size (Inches)	Type
8	HARDWOOD
TOTAL TREES	1
TOTAL INCHES	8
TOTAL UNITS	2.4
ONSITE TREES SAVED WITH LESS THAN 20% IMPACT	
Size (Inches)	Type
9	HARDWOOD
24	HARDWOOD
18	HARDWOOD
TOTAL TREES	3
TOTAL INCHES	51
TOTAL UNITS	13.2
ONSITE TREES SAVED WITH NO IMPACT	
Size (Inches)	Type
12	HARDWOOD
12	HARDWOOD
11	HARDWOOD
8	HARDWOOD
8	HARDWOOD
8	HARDWOOD
12	HARDWOOD
16	HARDWOOD
12	HARDWOOD
9	HARDWOOD
22	PINE
19	PINE
TOTAL TREES	12
TOTAL INCHES	149
TOTAL UNITS	39.4
ONSITE SPECIMENT TREES IMPACT (>20%)	
Size (Inches)	Type
N/A	N/A
TOTAL TREES	0
TOTAL INCHES	0
TOTAL UNITS	0
ONSITE TREE REQUIREMENT CALCULATIONS	
SITE DENSITY REQUIRED = 120" X 0.463 ACRES = 55.6"	
TREES TO REMAIN = 200"	
MINIMUM DENSITY REQUIREMENT MET WITH EXISTING TREES	

BOUNDARY TREE CALCULATIONS:

BOUNDARY TREES	
BOUNDARY TREES SAVED WITH LESS THAN 20% IMPACT	
Size (Inches)	Type
60	HW
19	HW
12	HW
9	HW
20	PINE
TOTAL TREES	5
TOTAL INCHES	120
TOTAL UNITS	43.6
BOUNDARY SPECIMEN TREES SAVED WITH LESS THAN 20% IMPACT	
Size (Inches)	Type
10	HW
TOTAL TREES	1
TOTAL INCHES	10
TOTAL UNITS	3.2
BOUNDARY TREES LOST/DESTROYED	
Size (Inches)	Type
N/A	N/A
TOTAL TREES	0
TOTAL INCHES	0
TOTAL UNITS	0



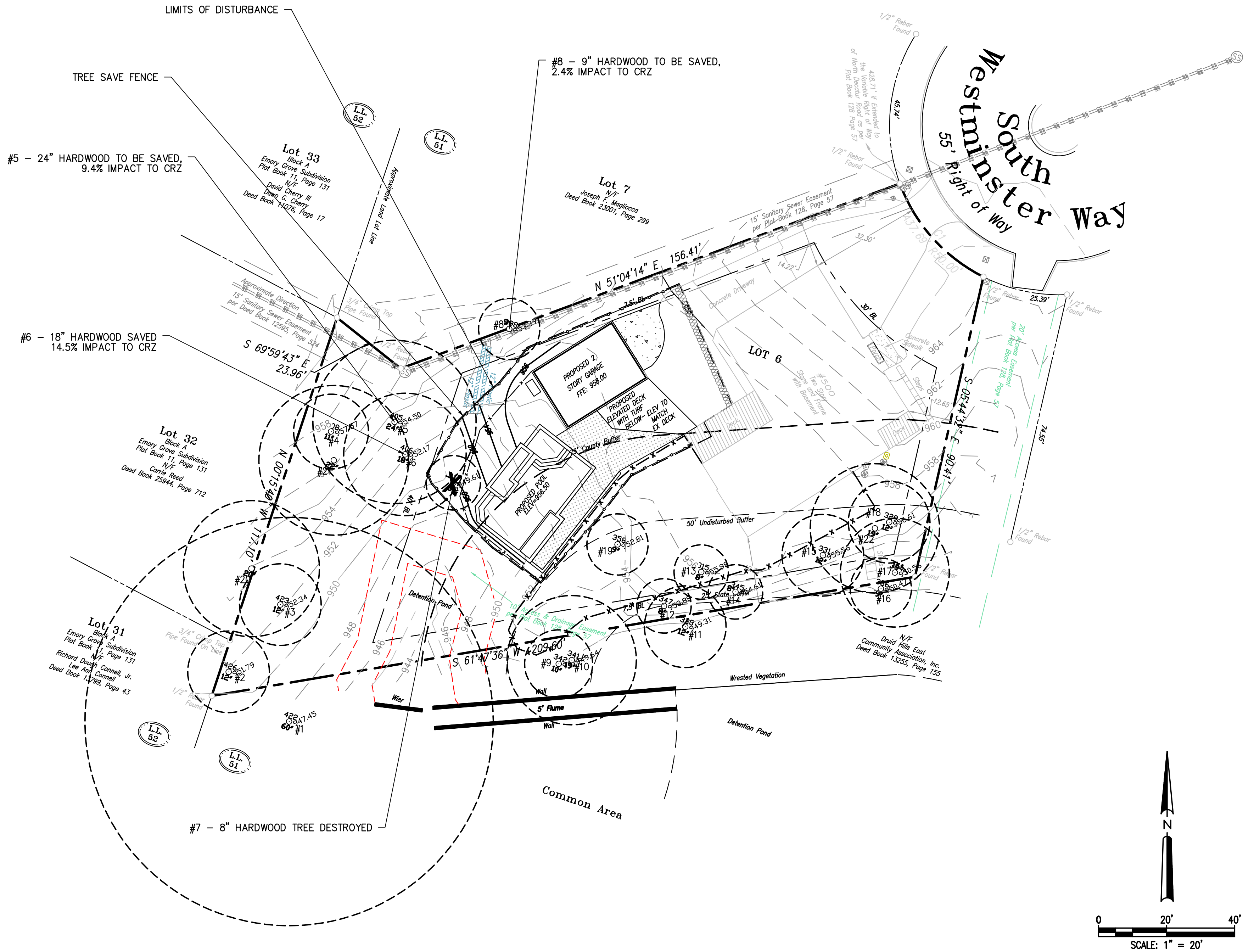
DEKALB COUNTY TREE NOTES:

1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
2. ALL TREE PROTECTION DEVICES TO BE INSTALL PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
3. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
4. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES TO OCCUR WITHIN TREE PROTECTION AREAS OR WITHIN SIX (6) FEET OF THE CRZ.
5. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER DATE OF FINAL INSPECTION.

DEKALB COUNTY NOTES:

1. NO ONE SHALL ENCR OACH, PLACE SOLVEMENTS, BUILDING, MACHINERY, BUILDING DEBRIS OR ANY OTHER MATERIAL WITHIN 6' OUTSIDE THEE PERIPHERY OF THE CRZ OR WITHIN ANY TREE SAVE AREA, TRANSITIONAL BUFFER ZONE, STREAM BUFFER, OR STATE BUFFER ZONE.
2. ALL TREE FENCE AND OTHER TREE PROTECTION DEVICES MUST REMAIN IN FUNCTIONING CONDITION UNTIL COMPLETION OF THE PROJECT OR UNTIL THE CO IS ISSUED.
3. A TREE THAT IS DESIGNATED TO BE SAVED, BUT IS DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO THE UNIT VALUE OF THE TREE REMOVED. ANY SPECIMEN TREE DAMAGED SHALL BE REPLACED WITH 4" CALIPER TREES EQUAL TO 1.5 TIMES THE DBH OF THE DAMAGED SPECIMEN.
4. ALL PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
5. ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOTZONE(CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF THE LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
6. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
7. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS(CRZ).
8. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
9. THE PROTECTION SIGNS ARE TO BE PLACED AT LEAST EVERY 50' ALONG THE LENGTH OF THE TREE PROTECTION FENCE. THE SIGNS SHOULD BE IN LANGUAGE SO THAT ALL WORKERS ON SITE ARE ABLE TO UNDERSTAND.

24 HOUR EMERGENCY CONTACT: NIC BRANKER 919-285-1287



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TREE PLAN

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