

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: _____

Applicant: _____ E-Mail: _____

Applicant Mailing Address: _____

Applicant Phone: _____ Fax: _____

Applicant's relationship to the owner: Owner ☐ Architect: ☐ Contractor/Builder ☐ Other ☐

Owner(s): _____ Email: _____

Owner(s): _____ Email: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project:

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☐ Moving a building ☐ Other building
changes ☐ New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental
changes ☐ Sign installation or replacement ☐ Other ☐

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: Davis Bishop

September 11, 2023

Wells-Gill Residence
922 Lullwater Road NE
Atlanta, GA 30307

Description of Work:

The Wells – Gill residence is located at 922 Lullwater Rd NE and is replacing a 1950's split-level ranch. The steep grade of the property poses several challenges which the proposed plan seeks to address while providing a sympathetic architectural composition for the street's existing architecture.

The house was positioned to maintain a manageable pitch of the driveway while keeping the front façade and finished floor of the front wing of the house consistent with the adjacent homes.

Concrete steps are integrated into the center of the driveway to make the approach from the street to the residence more manageable by foot. The existing 24" tall concrete and stucco retaining wall that abuts the sidewalk and runs the length of the front property will be either repaired or replaced in-kind. Naturalistic planting is proposed for the front yard.

Careful consideration was taken to preserve as many trees as possible while meeting the needs of a growing family. The trees in the entire back of the property will be preserved.

The architecture of the house is sympathetic to the historic houses of Druid Hills. It is a Mediterranean style house having a low pitch tile roof with a soft white hard coat stucco over masonry. The windows are double hung to match the windows of the other houses in the neighborhood from the 1920's. The architecture is accented with soft-gray color Indiana limestone pavers, step treads, and railing.

The driveway diagonally crosses the front yard to reach the upper corner and then turns to enter an interior motor court. This arrangement prevents the garage doors and motor court from being visible from the street. This arrangement also allows for a stepped transition up the hill so that the rear of the main house can access the rear lawn at first floor grade. Keeping the motor court towards the front of the property helped keep impervious surface to a minimum.

Please let me know if you require further clarification. Thank you for your consideration.

Sincerely,



Brian Field, PLA
FIELD Landscape Architecture LLC
706.461.6631

Attachments: Application for Certificate of Appropriateness

Site Plan + Existing Conditions + Materials, 3D Street view

Architectural Plan Set + Materials

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): Andrew Wells

Date: 9/7/2023

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

DEKALB COUNTY HISTORIC PRESERVATION COMMISSION 2023 Calendar

This calendar is subject to change. Please visit the Department of Planning and Sustainability website for the current calendar, agenda, and applications.

<u>Applications Accepted</u>	<u>Filing Deadline</u>	<u>Sign Must Be Posted</u>	<u>HPC Meeting Date</u>	<u>Last Date to File Appeal (approximate)</u>
December 12	December 23	January 07	January 17	February 02
January 17	January 30	February 11	February 21	March 09
February 13	February 24	March 10	March 20	April 04
March 13	March 24	April 07	April 17	May 02
April 10	April 21	May 05	May 15	May 30
May 15	May 26	June 10	June 20	July 05
June 12	June 23	July 07	July 17	August 01
July 17	July 28	August 11	August 21	September 5
August 14	August 25	September 08	September 18	October 03
September 11	September 22	October 06	October 16	October 31
October 16	October 27	November 03	November 13	December 05
November 13	November 24	December 08	December 18	January 02

Tuesday meeting due to holiday

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will send you a sign template. You must coordinate with a sign vendor of your choice to post the sign by the required date (see HPC Calendar).
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations. Your application may still require a variance or other approvals.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail dccullis@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".	Y _____	N _____
I have reviewed the DeKalb County Tree Ordinance.	Y _____	N _____
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.	Y _____	N _____

1. General

- Label all drawings with the address of the site, owners' name, and contact phone number.
- Number all drawings.
- Include a graphic scale on reductions.
- Date all revisions.
- Indicate all unverified numbers with +/- signs
- Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- Topographical plan with significant trees sized and located;
- Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- Distance between houses;
- Façade width to finished face of material;
- Grading and elevations across site;
- Dirt removal or regrading if more than 18";
- Tree protection plan;
- Tree removal and replacement plan

3. Driveways and Walkways

- Location and relationship to house;
- Width;
- Material;
- Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, $\frac{1}{4}''=1'$ preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment



VICINITY MAP / N.T.S.

WELLS-GILL RESIDENCE

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
FOR A FAMILY SINGLE FAMILY RESIDENCE LOCATED AT

922 LULLWATER ROAD NE
ATLANTA, GA 30307

ZONING:	HC-20B DRUID HILLS LANDMARK DISTRICT
MINIMUM LOT SIZE:	38,000 SF
SETBACKS	
FRONT:	125 FT
SIDE:	25 FT
REAR:	100 FT
MAX COVERAGE:	35%

LIST OF DRAWINGS:

1. L-CO - PERMIT COVER SHEET
2. L-EX-1 - SURVEY BY BARTON SURVEYING, INC.
3. L-EX-2 - EXISTING CONDITIONS - SITE PHOTOS
4. L-1.00 - LANDSCAPE MASTERPLAN
5. L-1.01 - ARCHITECTURAL MODEL
6. L-5.00 - MATERIALS
7. L-5.01 - WALL + GATE + FENCE ELEVATIONS
- 8.-23. A0.1-A2.42 - ARCHITECTURAL DRAWING SET

659 Auburn Avenue NE #G-9
Atlanta, GA 30312

p: 706.461.6631
e: brian@fieldla.com
w: fieldla.com

ARCHITECT:
William T Baker & Associates
p: 770.846.5768
e: willamb619@gmail.com

SURVEYOR:
Barton Surveying, Inc.
p: 770.345.2810
e: njohnston@bartonsurvey.com

OWNER:
Andrew Wells & Suzannah Gill
p: 404.468.0879



Know what's below.
Call before you dig.



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PROJECT:
**WELLS-GILL
RESIDENCE**

922 LULLWATER ROAD
ATLANTA, GA 30307

DRAWING TITLE:
COVER SHEET

DRAWN BY: DB	CHECKED BY: BF
-----------------	-------------------

SCALE:

RELEASES:
1. 09/11/2023 COA

SHEET:

L-CO



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SEAL:



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PROJECT:

WELLS-GILL
RESIDENCE

922 LULLWATER ROAD
ATLANTA, GA 30307

DRAWING TITLE:
SURVEY BY

DRAWN BY: DB
CHECKED BY: BF

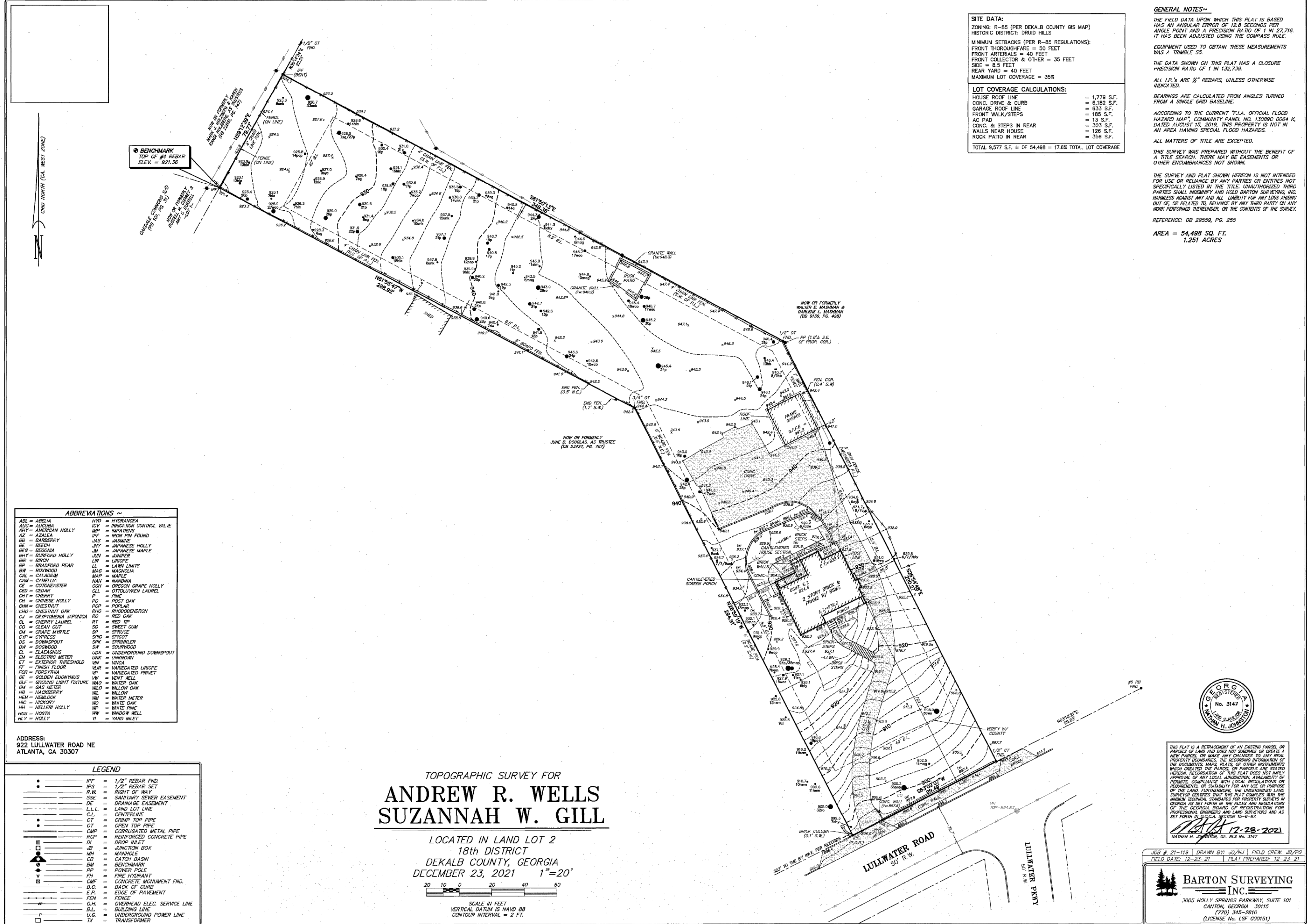
SCALE: 1" = 30'-0"

RELEASES:

1. 09/11/2023 COA

SHEET:

L-EX-1





FRONT HOUSE FACADE



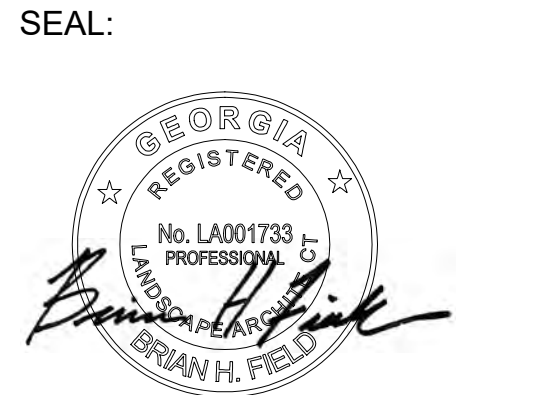
EAST SIDE OF HOUSE FACADE



REAR HOUSE FACADE



WEST SIDE OF HOUSE FACADE



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PROJECT:
**WELLS-GILL
RESIDENCE**

922 LULLWATER ROAD
ATLANTA, GA 30307

DRAWING TITLE:
EXISTING CONDITIONS -
SITE PHOTOS

DRAWN BY: DB	CHECKED BY: BF
-----------------	-------------------

SCALE:

RELEASES:
1. 09/11/2023 COA

SHEET:

L-EX

ZONING:	HC-20B, DRUID HILLS LANDMARK DISTRICT
MINIMUM LOT SIZE:	38,000 SF
SETBACKS	
FRONT:	125 FT
SIDE:	25 FT
REAR:	100 FT
MAX COVERAGE:	35%

EXISTING TREE COVERAGE ON SITE:
59 HARDWOOD TREES @ 758" DBH
27 PINE TREES @ 576" DBH
TOTAL: 86 TREES @ 1,334" DBH

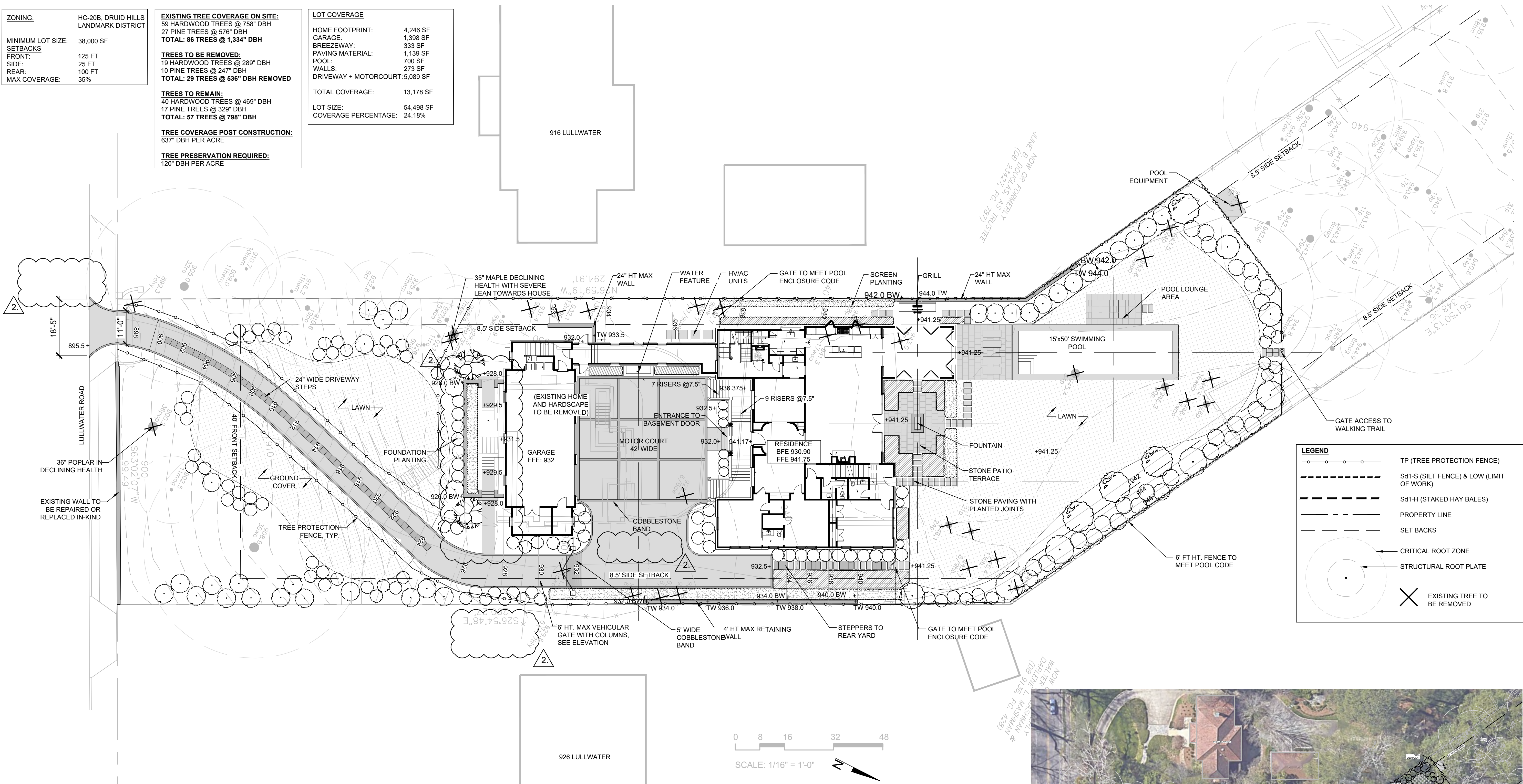
TREES TO BE REMOVED:
19 HARDWOOD TREES @ 289" DBH
10 PINE TREES @ 247" DBH
TOTAL: 29 TREES @ 536" DBH REMOVED

TREES TO REMAIN:
40 HARDWOOD TREES @ 469" DBH
17 PINE TREES @ 329" DBH
TOTAL: 57 TREES @ 798" DBH

TREE COVERAGE POST CONSTRUCTION:
637" DBH PER ACRE

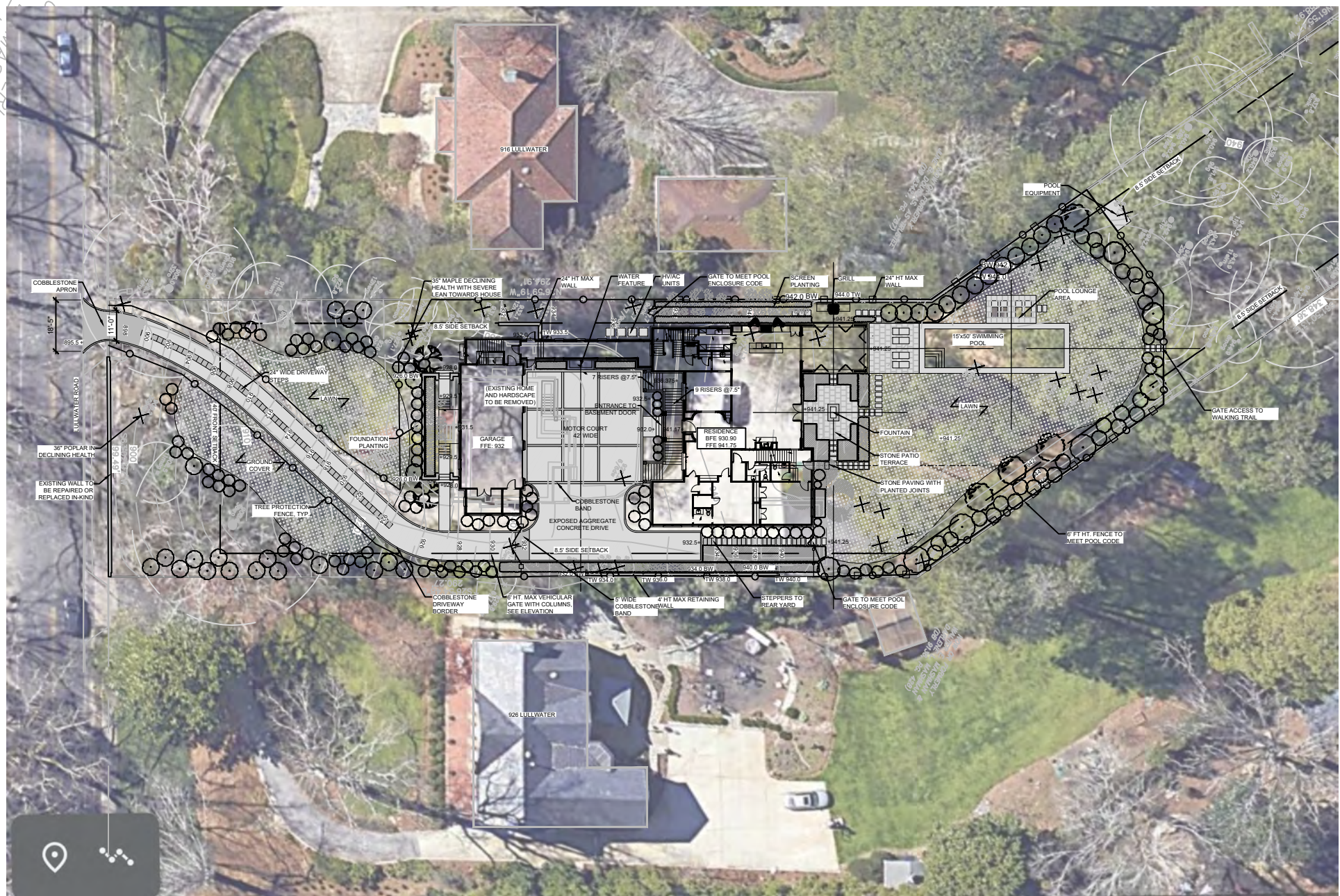
TREE PRESERVATION REQUIRED:
120" DBH PER ACRE

LOT COVERAGE	
HOME FOOTPRINT:	4,246 SF
GARAGE:	1,398 SF
BREEZEWAY:	333 SF
PAVING MATERIAL:	1,139 SF
POOL:	700 SF
WALLS:	273 SF
DRIVEWAY + MOTORCOURT:	5,089 SF
TOTAL COVERAGE:	13,178 SF
LOT SIZE:	54,498 SF
COVERAGE PERCENTAGE:	24.18%



REAR PORTION OF YARD / N.T.S

APPROX. 17,750 SF AREA OF BACKYARD TO
REMAIN PRESERVED AND UNDISTURBED



CONTEXT PLAN / N.T.S.

*NEIGHBORING HOMES TRACED
FROM AERIAL OVERLAY

FIELD LANDSCAPE
ARCHITECTURE

659 Auburn Avenue NE #G-9
Atlanta, GA 30312

p: 706.461.6631
e: brian@fieldla.com
w: fieldla.com

ARCHITECT:
William T Baker & Associates
p: 770.846.5768
e: williamb619@gmail.com

SURVEYOR:
Barton Surveying, Inc.
p: 770.345.2810
e: njohnston@bartonsurvey.com

OWNER:
Andrew Wells & Suzannah Gill
p: 404.468.0879



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PROJECT:

WELLS-GILL
RESIDENCE

922 LULLWATER ROAD
ATLANTA, GA 30307

DRAWING TITLE:
LANDSCAPE MASTER PLAN

DRAWN BY: DB
CHECKED BY: BF

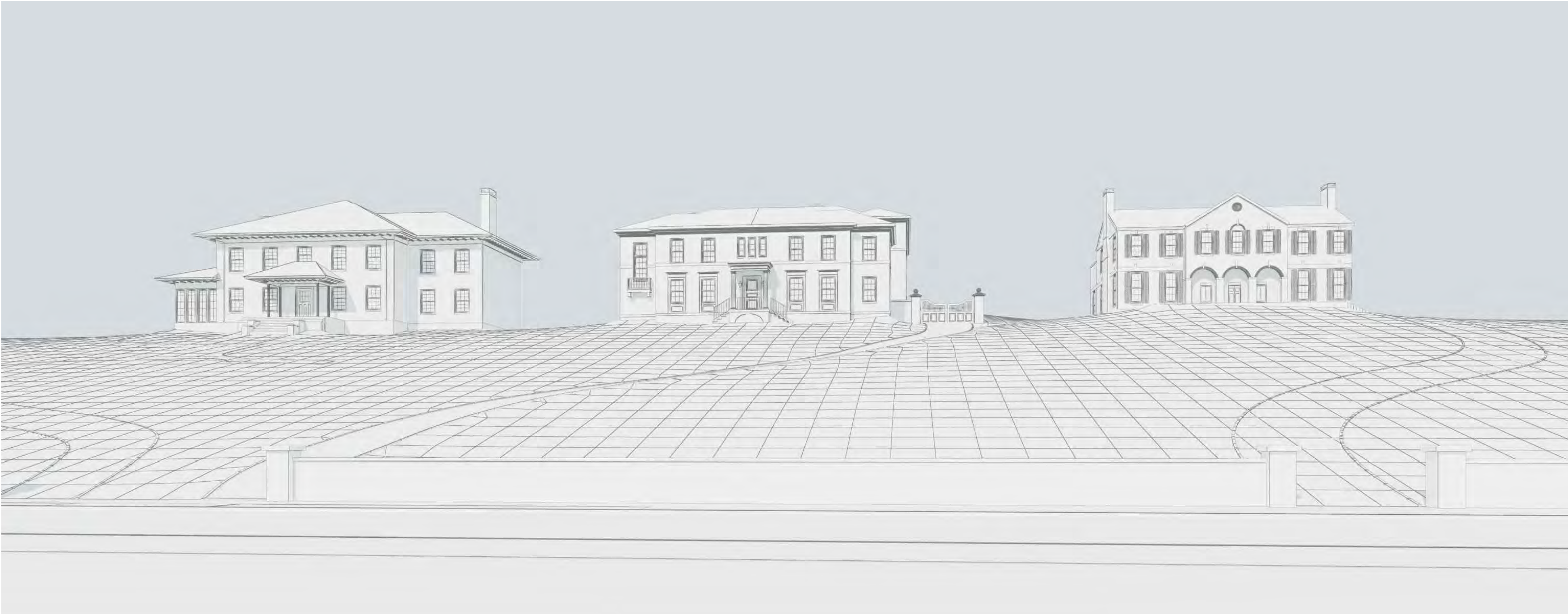
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RELEASES:

1. 04/21/2022 COA
2. 05/19/2022 COA
3. 09/17/2023 COA

SHEET:

L-1.00



1 3D RENDERING AND ADJACENT HOMES
SCALE : NTS



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PROJECT:
WELLS-GILL
RESIDENCE

922 LULLWATER ROAD
ATLANTA, GA 30307

DRAWING TITLE:
ARCHITECTURAL MODEL +
ADJACENT HOMES

DRAWN BY: DB	CHECKED BY: BF
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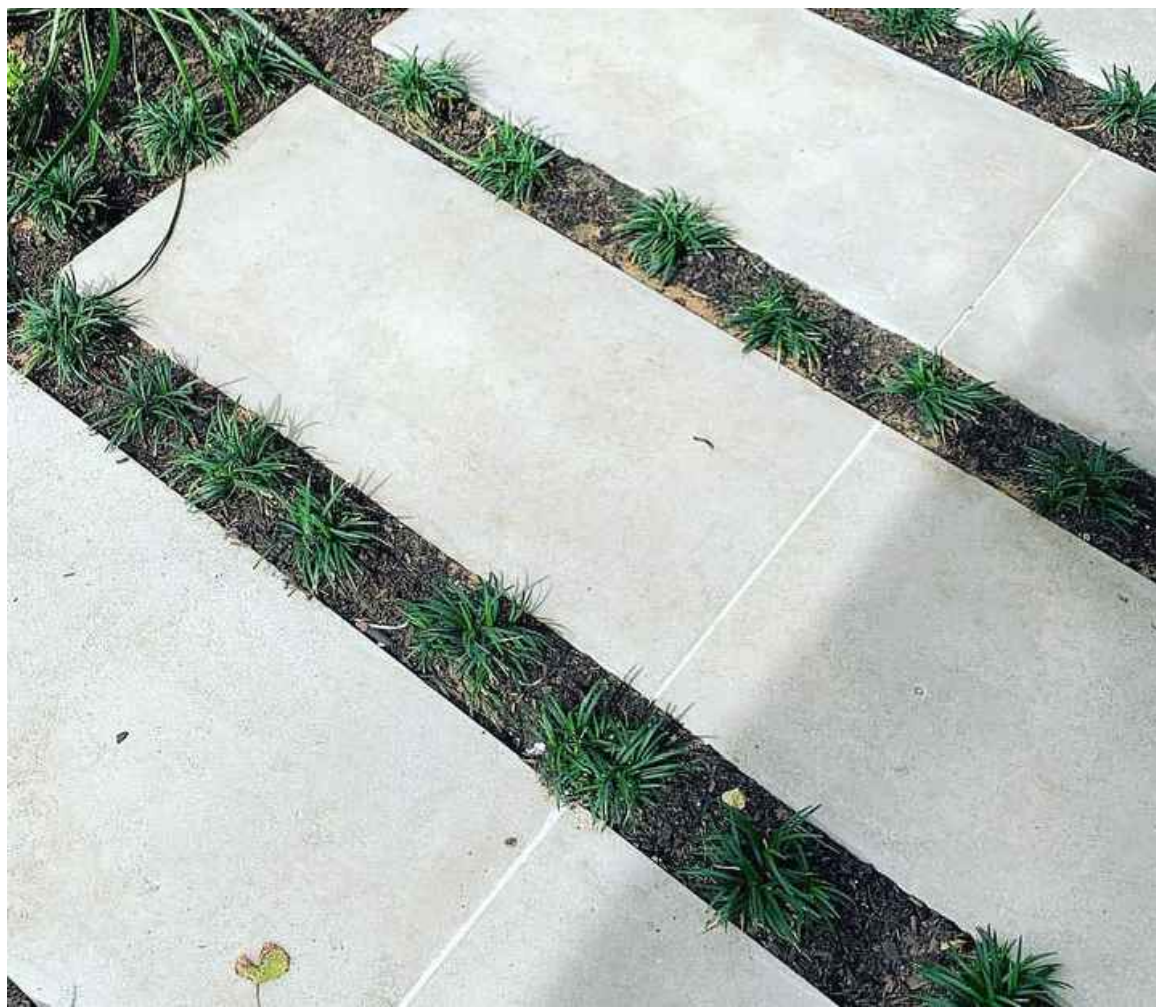
SCALE: AS SHOWN

RELEASES:
1. 09/11/2023 COA

SHEET:

L-1.01

LANDSCAPE



LIMESTONE STEPPERS WITH PLANTED JOINTS



EXPOSED AGGREGATE CONCRETE PAVING



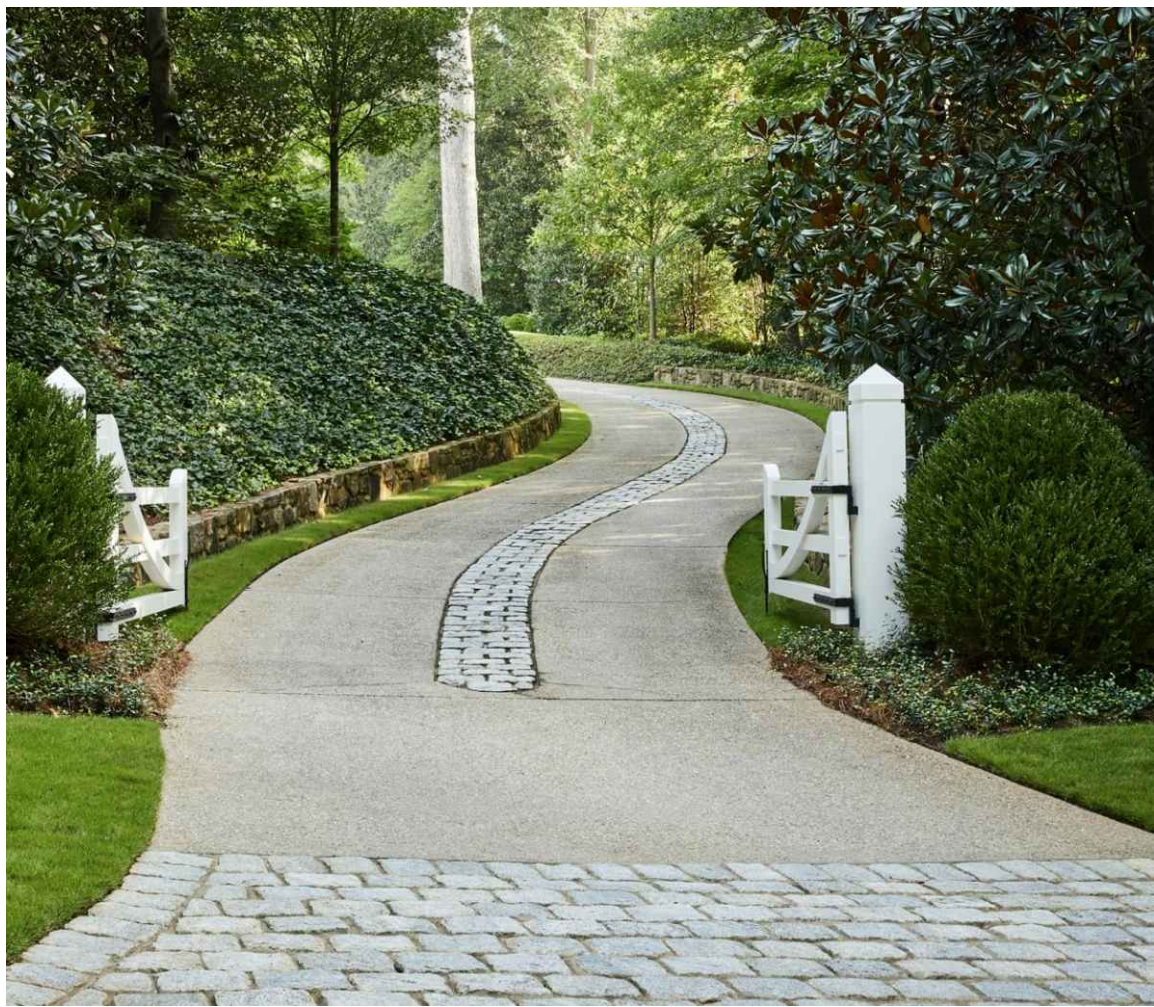
COBBLE STONE BANDING



DRIVEWAY STAIRS



STUCCO RETAINING WALL WITH STONE CAP



COBBLESTONE APRON



LIMESTONE PAVING

ARCHITECTURE



EXTERIOR FINISH -
SOFT WHITE,
HARD COAT STUCCO



ARCHITECTURAL ACCENTS -
INDIANA LIMESTONE



CLAY ROOF TILE
(COLOR MAY VARY)

FIELD LANDSCAPE ARCHITECTURE

659 Auburn Avenue NE #G-9
Atlanta, GA 30312

p: 706.461.6631
e: brian@fieldla.com
w: fieldla.com

ARCHITECT:
William T Baker & Associates
p: 770.846.5768
e: willamb619@gmail.com

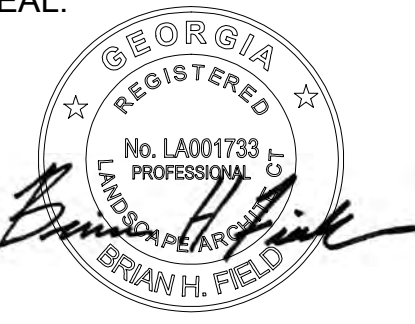
SURVEYOR:
Barton Surveying, Inc.
p: 770.345.2810
e: njohnston@bartonsurvey.com

OWNER:
Andrew Wells & Suzannah Gill
p: 404.468.0879



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PROJECT:
WELLS-GILL
RESIDENCE

922 LULLWATER ROAD
ATLANTA, GA 30307

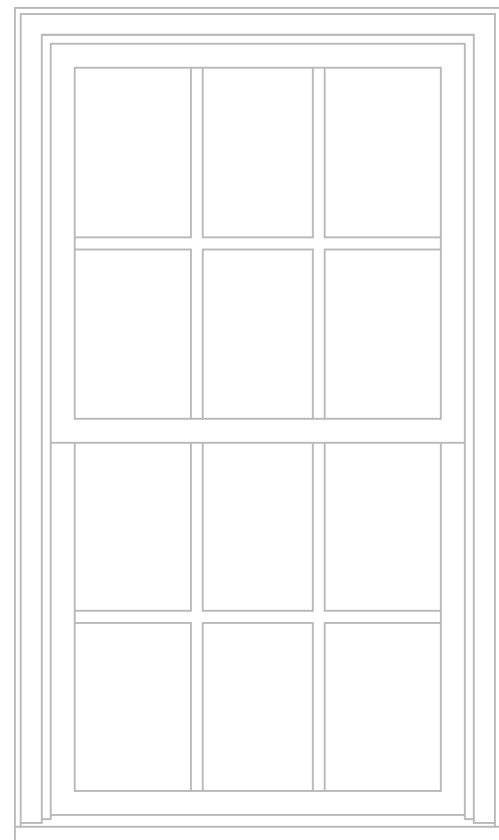
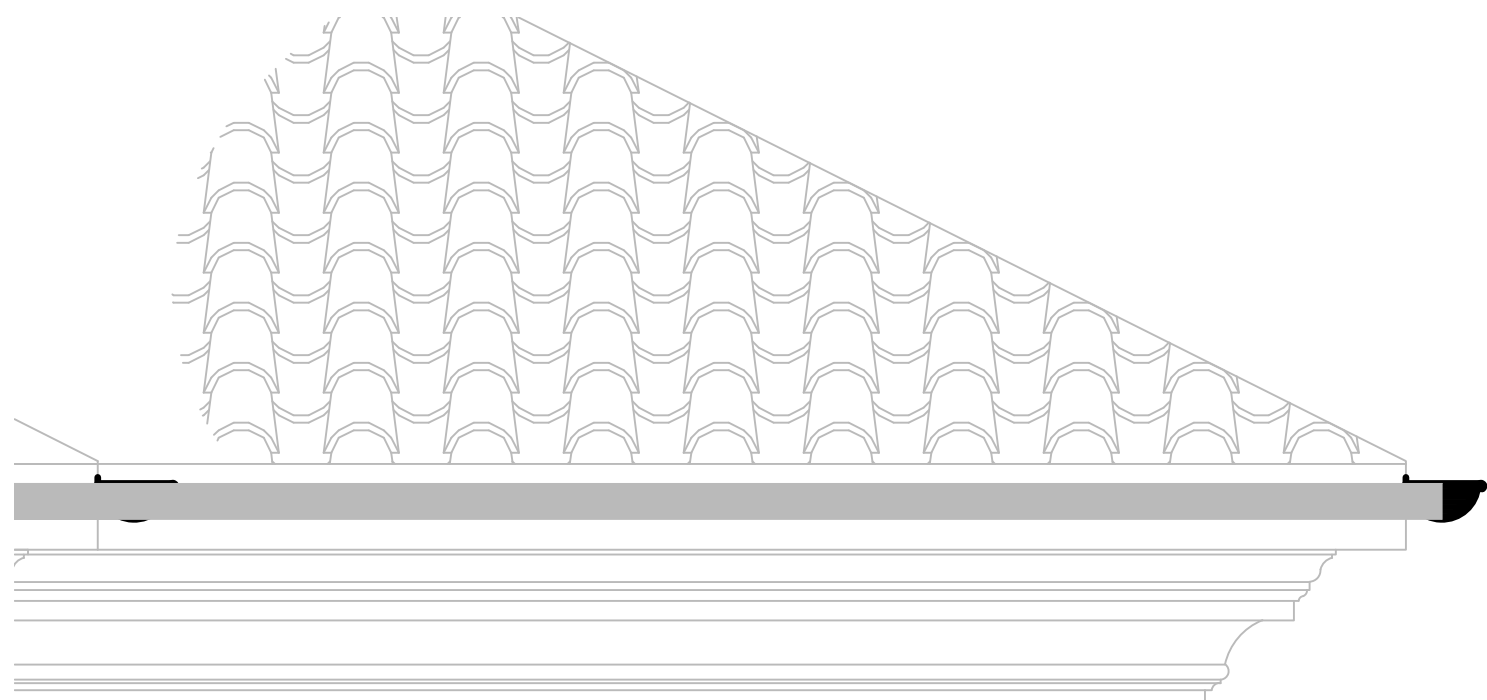
DRAWING TITLE:
PROPOSED MATERIALS

DRAWN BY: DB	CHECKED BY: BF
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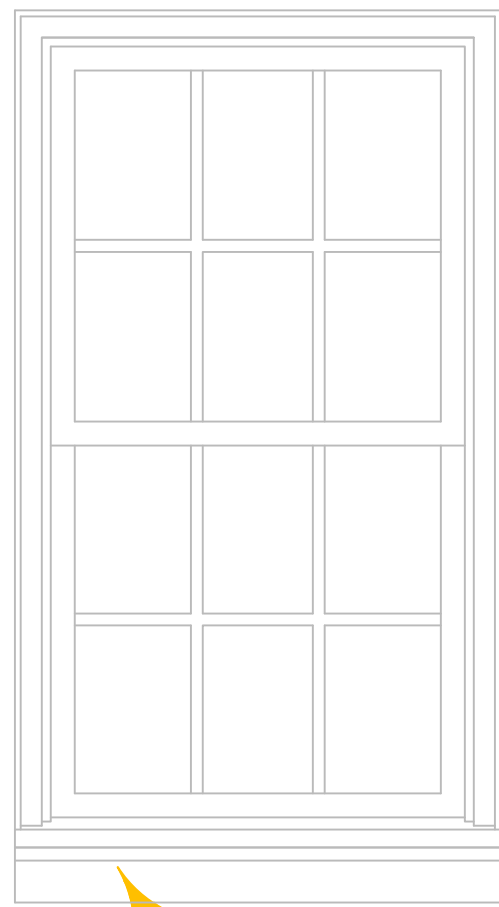
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RELEASES:
1. 09/11/2023 COA

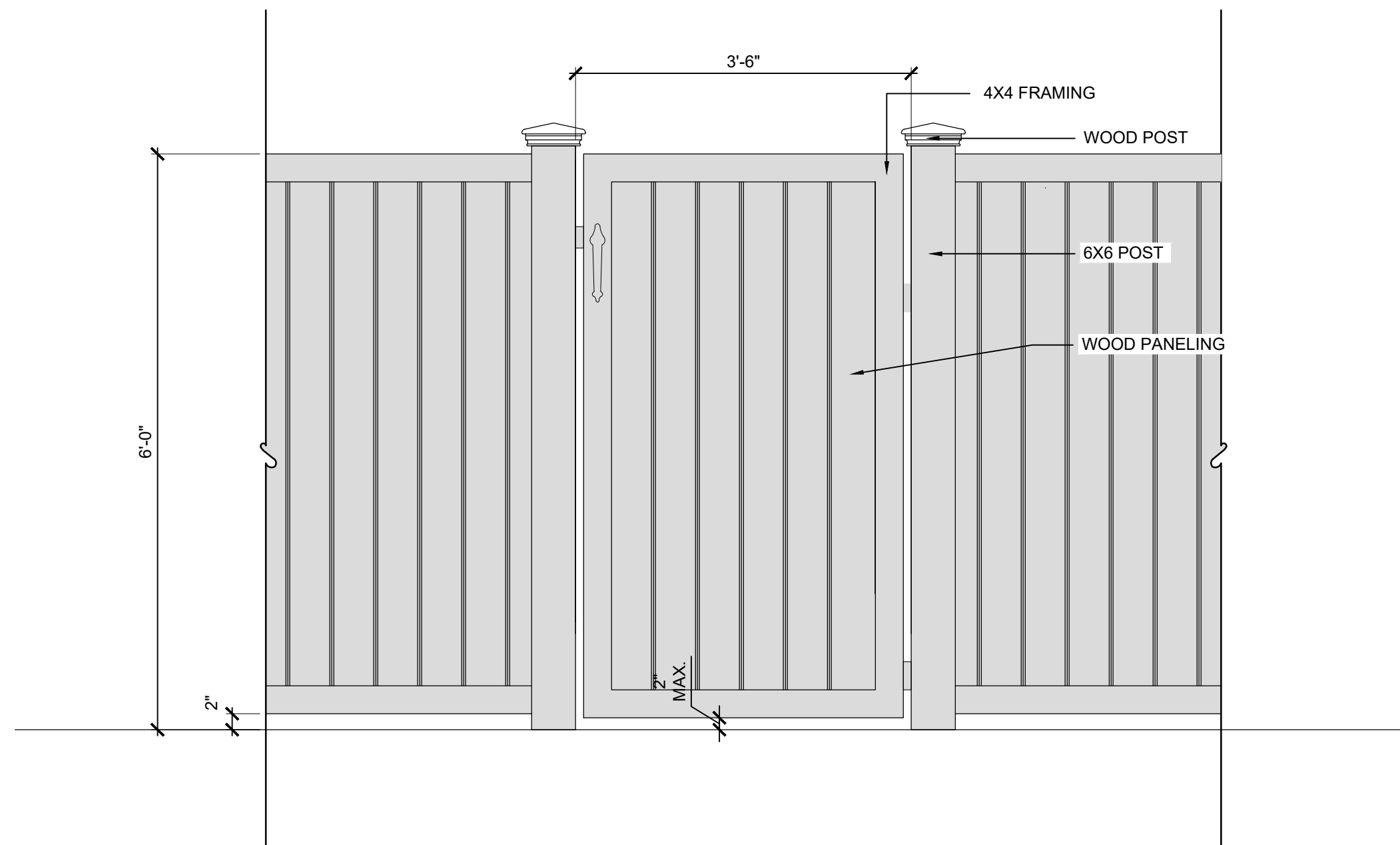
SHEET:
L-5.00



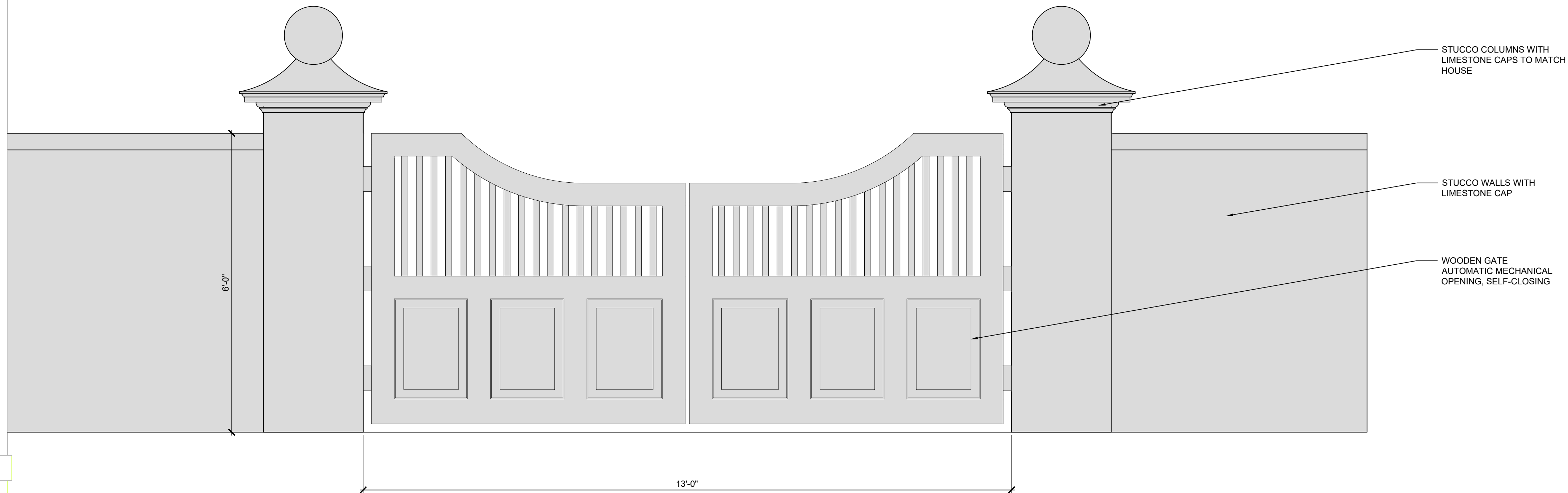
C O N C R E T E
S T U C C O



STUCCO SILL



1 PEDESTRIAN GATE ELEVATION
SCALE : 3/4"=1'-0"



2 VEHICULAR GATE ELEVATION
SCALE : 3/4"=1'-0"



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PROJECT:
WELLS-GILL
RESIDENCE

922 LULLWATER ROAD
ATLANTA, GA 30307

DRAWING TITLE:
WALL, FENCE + GATE
ELEVATIONS

DRAWN BY: DB
CHECKED BY: BF

SCALE: AS SHOWN

RELEASES:
1. 09/11/2023 COA

SHEET:

L-5.01

[illegible]

William T. Baker

3508 PACES FERRY CIRCLE SE ♦ SMYRNA, GEORGIA 30080
 Tele: 770.846.5768

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William T. Baker, Inc.

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Contractors Please Note

Contractor is responsible for verifying all dimensions and site conditions before beginning construction. Any discrepancies must be reported to William T. Baker & Associates for justification and/or correction before proceeding with the work. Contractor assumes responsibility for any discrepancies that are not reported. All dimensions should be read or calculated and never scaled. All work shall be performed in accordance with local codes, regulations and

RESIDENCE
FRONT
ELEVATION

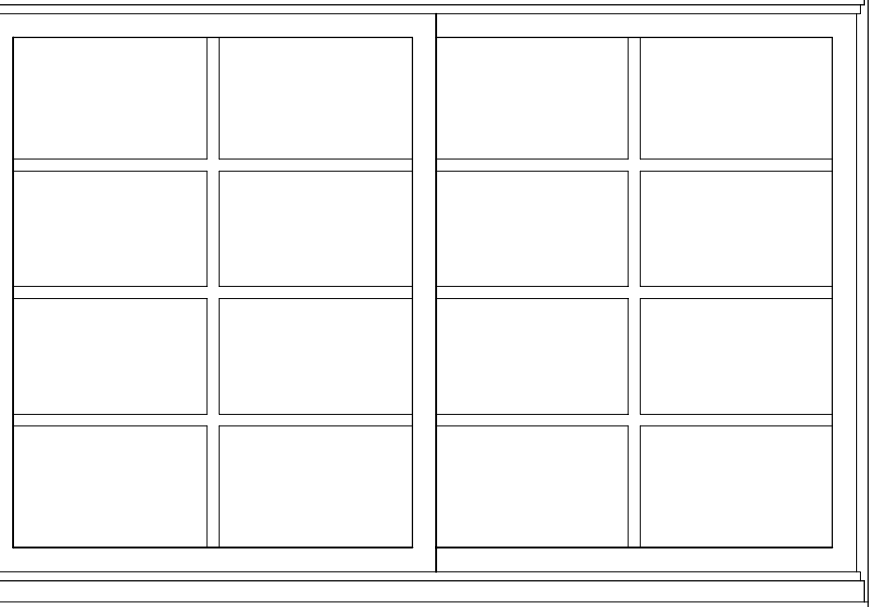
Scale: $1/4" = 1'-0"$

By: STS	Date:05-09-22
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Page: A1.11



ARB REVIEW SET



CONCRETE
STRUCTCO

34'-8"² TO MAIN
RIDGE HEIGHT
FROM THRESHOLD

1, -6"

“6-7”

“0-2”

“9—

Σ-0

“0—9”

CONCRETE STRUCTURE RUSTICATION

RESIDENCE FRONT PORCH DETAIL

SCALE: 3/4" = 1'-0"

ARB REVIEW SET

Job No: 2202

Wells—Gill
House

922
Lullwater Road
Atlanta, Ga

[illegible]

William T. Baker

3508 PACES FERRY CIRCLE SE ☎ SMYRNA, GEORGIA 30080
 Tele: 770.846.5768

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Contractors Please Note

Contractor is responsible for verifying all dimensions and site conditions before beginning construction. Any discrepancies must be reported to William T. Baker & Associates for justification and/or correction before proceeding with the work. Contractor assumes responsibility for any discrepancies that are not reported. All dimensions should be read or calculated and never scaled. All work shall be performed in accordance with local codes, regulations and

F H A / V A M P S

RESIDENCE
FRONT PORCH
DETAIL

Scale: $1'' = 1'-0''$

By: STS	Date:05-09-22
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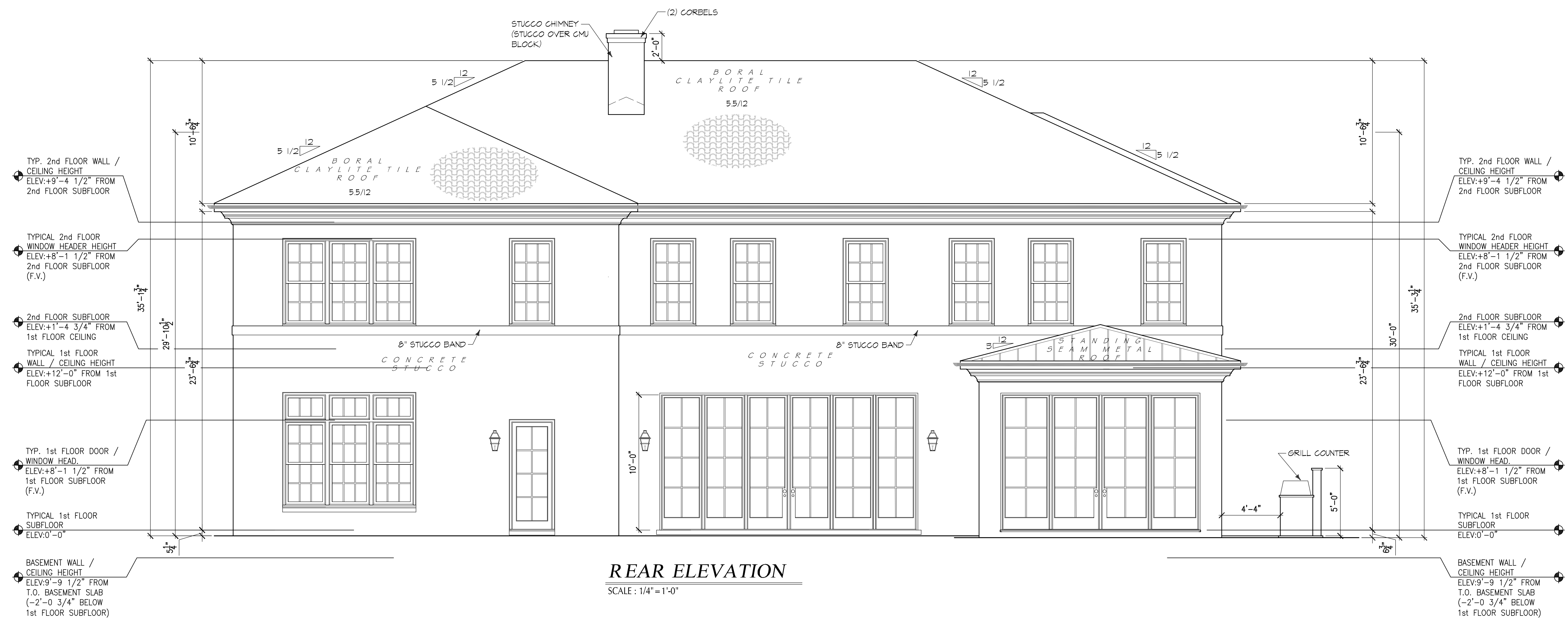
F H A / V A M P S .

RESIDENCE
REAR
ELEVATION

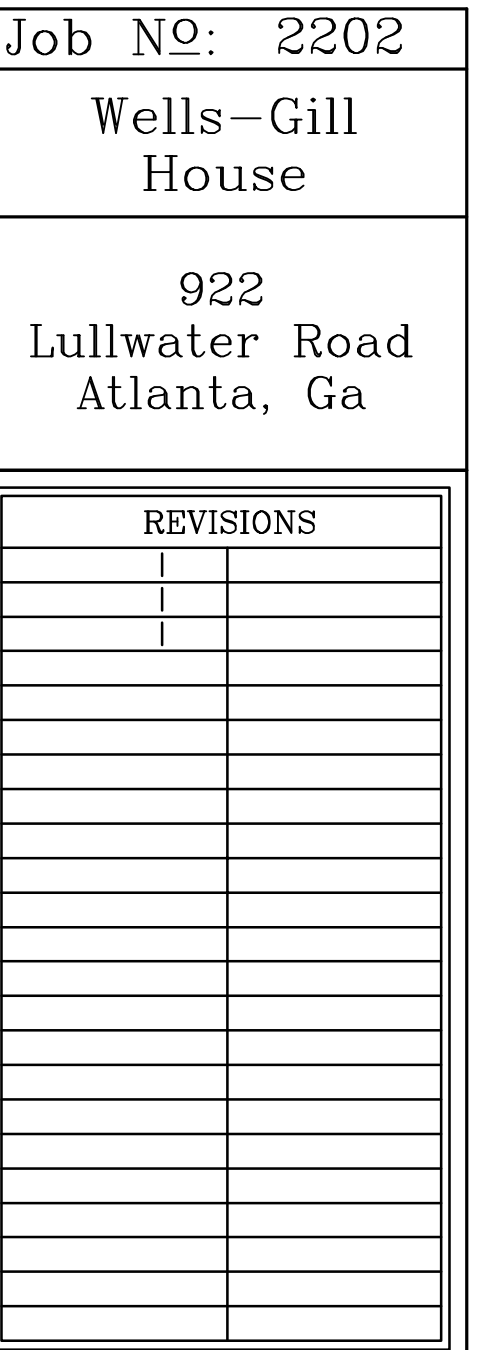
Scale: $1/4'' = 1'-0''$

By: STS	Date:05-09-22
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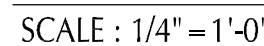


35000 PACES FERRARI CIRCULE SE & SMITHA, GEORGIA 30000
 Tele: 770.846.5768

Scale: 3/4" = 1'-0"	
by: STS	Date: 05-09-22
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SCALE : 3/4" = 1'-0"

ARB REVIEW SET



ARB REVIEW SET

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SQUARE FOOTAGE	
1st FLOOR	3,517 SQ. FT.
2nd FLOOR	3,517 SQ. FT.
TOTAL	7,034 SQ. FT.
FINISHED BASEMENT	2,164 SQ. FT.
GARAGE ENTRY	136 SQ. FT.
GARAGE 2nd FLOOR APARTMENT	1,398 SQ. FT.
GARAGE	1,262 SQ. FT.
BREEZEWAY CONNECTOR	333 SQ. FT.
REAR PORCH	396 SQ. FT.

ARB REVIEW SET

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GARAGE /
 SLAB
 PLAN

Scale: 1/4" = 1'-0"	
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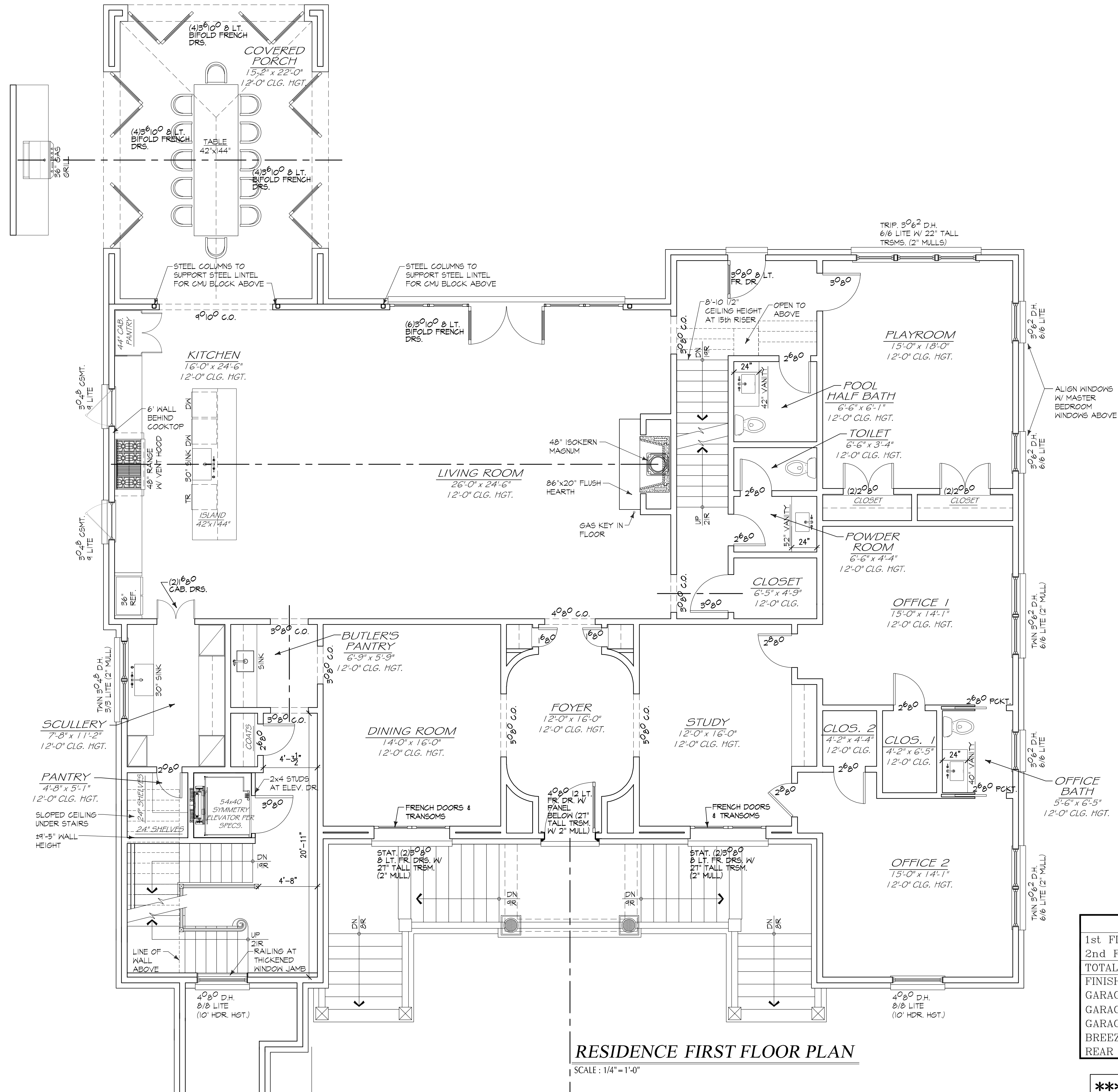
F H A / V A M P S .

RESIDENCE
1st FLOOR
PLAN

Scale: $1/4'' = 1'-0''$

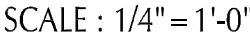
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SQUARE FOOTAGE	
1st FLOOR	3,517 SQ. FT.
2nd FLOOR	3,517 SQ. FT.
TOTAL	7,034 SQ. FT.
FINISHED BASEMENT	2,164 SQ. FT.
GARAGE ENTRY	136 SQ. FT.
GARAGE 2nd FLOOR APARTMENT	1,398 SQ. FT.
GARAGE	1,262 SQ. FT.
BREEZEWAY CONNECTOR	333 SQ. FT.
REAR PORCH	396 SQ. FT.

*****ARB REVIEW SET*****



*****ARB REVIEW SET*****

922
Lullwater Road
Atlanta, Ga

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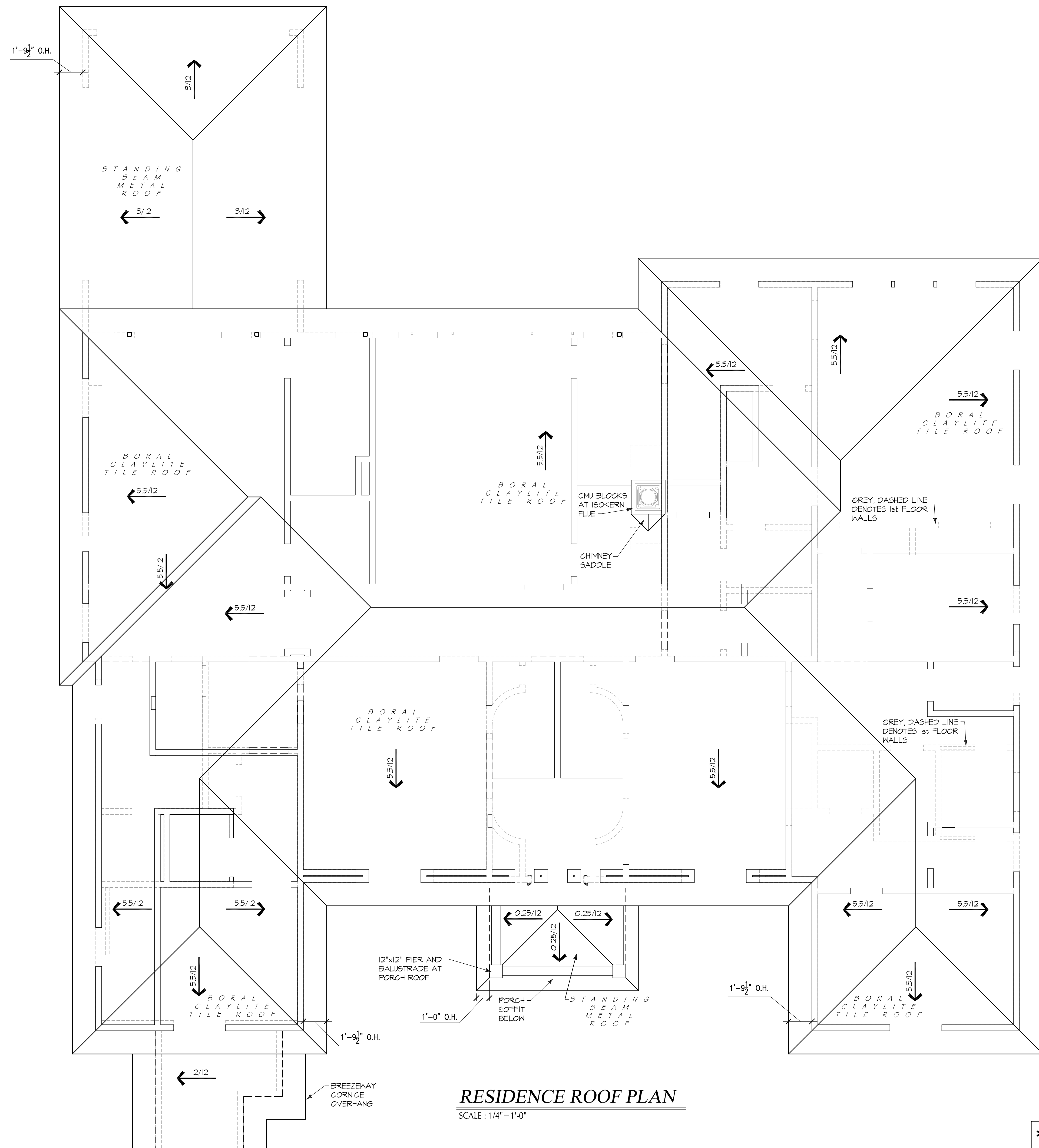
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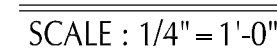
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RESIDENCE ROOF PLAN

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