



DeKalb County Department of Planning & Sustainability

178 Sams Street, Decatur, GA 30030 - (404) 371-2155

[Planning and Sustainability | DeKalb County GA](#)

Planning Commission Sketch Plat Hearing Date: January 24, 2024 @ 6:00 P.M

STAFF ANALYSIS

Case No.: PLAT – 1246082 **Agenda #:** N1
Commission District: 4 **Super District:** 7
Location/Address: 5277 Rockbridge Road, Stone Mountain, GA 30088
Parcel ID(s): 18-038-04-003
Request: Subdivision for the development of up to 26 single-family detached dwellings
Property Owner(s): Joe and Liezl Martin
Applicant/Agent: Shay Sakvongkhamhane
Acreage: Approx. 12.04 acres
Existing Land Use: Single-family detached dwelling

SUBJECT PROPERTY & ZONING HISTORY

The subject property is currently improved with a single-family detached dwelling (constructed circa 1940) and at least one accessory structure. On February 22, 2022, the property was conditionally rezoned from the R-100 (Residential Medium Lot-100) zoning district to the R-75 (Residential Medium Lot-75) zoning district in order to allow for the construction of a single-family detached residential subdivision (Z-21-1245221). The approval was conditionally granted based on general conformance with a site plan dated 06/15/21 and titled “Rockbridge Road”. The approved ordinance and aforementioned site plan are included with this analysis.

PROJECT DESCRIPTION

The proposal calls for a development of 26 single-family detached dwellings, down from the 27 units that were originally proposed with the rezoning request. This reduction in units was required in order for the development to meet enhanced open space minimums specified in Condition #2 of the approved rezoning and to provide streetscaping as required per Section 5.4.3. of the *Zoning Ordinance*.

One (1) access point is provided off of Rockbridge Road, which is classified a minor arterial. Two interior public streets are proposed and meet all requirements of Section 5.4.3. as well as the standards within Chapter 14 (*Land Development Code*).

Lots 1-3 are double-frontage lots, and, as per Section 5.7.5. (C)(1) of the *Zoning Ordinance*, will be screened from Rockbridge Road via a 20-foot landscape strip, 10-foot no-access easement, and a six-foot high opaque fence. Lots 10, 11, and 12 are subject to Condition #1 of the approved rezoning in order to be compatible with lot sizes in an existing adjacent subdivision (required per Section 5.2.3.). Because of the reduction in lots to meet other requirements, these lots are shown on the rezoning site plan as Lots 11, 12, and 13, respectively.

The proposed development meets Condition #2 of the rezoning by providing approximately 20 percent enhanced open space relative to the development site. A series of trails is proposed around an existing creek, and pocket parks are proposed near the entrance off of Rockbridge Road.

Stormwater detention is provided in an area adjacent to existing state waters and the location has been approved by Land Development and Watershed Management. The lots will be served by public water and sewer.

Sec. 14-96. - Standards for approval of sketch plats; approved preliminary plats.

(a) The planning commission shall not approve a sketch plat unless it is found that:

1) Provisions have been made for a water supply system that is sufficient in terms of quantity, dependability, and quality for purposes of health, emergency, and adequate fire protection for the subdivision proposed;

Proposed lots will be served by public water.

2) If a public sewage system is proposed, adequate provision has been made for such a system and, if other methods of sewage disposal are proposed, that such systems will comply with federal, state, and local laws and regulations;

Proposed lots will be served by public sewer.

3) Adequate areas have been allocated within a subdivision to meet the regulations in this chapter for the long-term collection, management, and treatment of stormwater;

A stormwater detention facility is proposed as shown on the sketch plat site plan. Said facility is in compliance with Land Development and Watershed regulations.

4) The proposed subdivision is designed to avoid areas of flood plains, watercourses, wetlands, exceptional or specimen trees or woodlands;

The subject properties contain wetlands. The design of the subdivision avoids such areas, apart from providing usable open space in the form of nature trails.

5) No platting of lots within the subdivision will create any non-conforming lots or increase the non-conformity of existing non-conforming lots on property within or adjacent to the subdivision;

Newly created lots are in compliance with applicable lot standards per the R-75 (Residential Medium Lot-75) zoning district. Lots 10-12 are compatible with adjacent subdivision lots.

6) If the subdivision abuts a state designed highway, all applicable statutory provisions are followed, including the rules of Georgia Department of Transportation;

The proposed preliminary sketch plat has been approved by the County Transportation Division of Public Works.

7) The proposed subdivision meets all the requirements of this chapter, [Chapter 27](#), the official comprehensive plan, the official thoroughfare map, and all other standards and regulations adopted by all boards, commissions, agencies, and officials of DeKalb County and all other applicable laws from other, relevant jurisdictions;

Yes.

8) A properly issued certificate of appropriateness, when the subdivision or portions thereof lie within a designated historic area that required such a certificate as may be required by state law or this Code; and

Not applicable.

9) Lot lines have been laid out so as to minimize crossing municipal or county boundaries;

All proposed lots are located in the unincorporated area of DeKalb County.

10) All requirements of [section 14-89](#) and [section 14-90](#) have been fulfilled.

Yes.

STAFF RECOMMENDATION: Approval

All regulatory reviews for the preliminary “sketch” plat have been completed, approved, or conditionally approved.

AN ORDINANCE TO AMEND THE DEKALB COUNTY ZONING MAP

AN ORDINANCE TO REZONE PROPERTY FROM R-100 (RESIDENTIAL MEDIUM LOT-100) TO R-75 (RESIDENTIAL MEDIUM LOT - 75) TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY, DETACHED RESIDENTIAL SUBDIVISION. THE PROPERTY IS LOCATED ON THE SOUTH SIDE OF ROCKBRIDGE ROAD, APPROXIMATELY 708 FEET WEST OF MARTIN ROAD, AT 5277 ROCKBRIDGE ROAD, STONE MOUNTAIN, GEORGIA. THE PROPERTY HAS APPROXIMATELY 390 FEET OF FRONTAGE ALONG ROCKBRIDGE ROAD AND CONTAINS 12.04 ACRES.

APPLICANT: Builders Professional Group c/o Battle Law, P.C.

OWNER: Joe and Liezl Martin

COMMISSION DISTRICTS: 4 & 7

WHEREAS, Builders Professional Group c/o Battle Law, P.C. has filed an application to amend the DeKalb County Zoning Ordinance to rezone property located at 5277 Rockbridge Road, Stone Mountain, Georgia 30088, and more particularly described as follows:

All that tract or parcel of land and being in **District 18, Land Lot 038, Block 04, Parcel 003** of DeKalb County, Georgia, containing 12.04 acres, and

WHEREAS, it appears to the Board of Commissioners that the application meets all of the criteria set forth in the DeKalb County Code, Chapter 27, Article VII, Division 3, Section 27-7.3 for amending the DeKalb County Zoning Ordinance for the subject property from R-100 District to R-75 District.

THE BOARD OF COMMISSIONERS OF DEKALB COUNTY, GEORGIA, HEREBY ORDAINS:

Part 1: Pursuant to the authority of the DeKalb County Board of Commissioners to exercise powers of zoning, set forth in Section 27, Article 1.1 and 7.3 of the DeKalb County Zoning Ordinance, an amendment to rezone property from R-100 (Residential Medium Lot-100) to R-75 (Residential Medium Lot - 75) to allow for the construction of a single-family detached residential subdivision. The property is located on the south side of Rockbridge Road, approximately 708 feet west of Martin Road, at 5277 Rockbridge Road, Stone Mountain, Georgia. The property has approximately 390 feet of frontage along Rockbridge Road, contains 12.04 acres and is hereby approved, (with conditions).

Part 2: That this amendment is approved conditionally, and under the provisions of Section 27-7.3.9 of the DeKalb County Zoning Ordinance, as identified by the use of the term "Conditional" after the district designation in Part 1 above, the development and use of the above-described property shall be permitted only in compliance with the conditions and/or site plan as attached to this ordinance.

Part 3: That all ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

Part 4: This ordinance, hereby approved, does not authorize the violation of any Zoning District Regulations. District regulation variances can be approved in accordance with Chapter 27, Article VII, Division 5.

ADOPTED by the DeKalb County Board of Commissioners this _____ day of

_____ 2022.

Robert Patrick
Presiding Officer
Board of Commissioners
DeKalb County, Georgia

ATTEST:

Barbara H. Sanders, CCC
Clerk to the Board of Commissioners and
Chief Executive Officer
DeKalb County, Georgia

REQUESTED BY APPLICANT:

Application of Builders Professional Group, LLC c/o Battle Law, PC to rezone property from R-100 (Residential Medium Lot-100) to R-75 (Residential Medium Lot - 75) to allow for the construction of a single-family detached residential subdivision.

PLANNING AND SUSTAINABILITY DEPARTMENT RECOMMENDATION:

Approval with Conditions. (Revised 1/7/2022) Since the November 18th Board of Commissioners meeting and the January 6th, 2022 Planning Commission meeting the applicant has revised the application from R-60 (minimum 6,000 square foot lots) to R-75 minimum 10,000 square foot lots) and has revised the plan to show compliance with the perimeter lot compatibility requirements of the zoning ordinance by providing lots along the western edge of the site that are at least 80% as wide as abutting subdivision lots and providing a 20-foot transitional buffer. Additionally, the applicant's R-75 plan is providing only three more lots (27) than could be developed under the existing R-100 zoning which appears to be compatible with the R-100 zoned properties in the adjacent and surrounding area. The request for a single-family zoning district (R-75) and single-family detached residential uses appears to be consistent with the policy of the 2035 Comprehensive Plan, to protect stable neighborhoods from incompatible development that could alter established single-family residential development patterns and density (Suburban Residential Protection Strategy, pg. 115). Therefore, it appears that the zoning proposal will permit a use that is compatible with adjacent and surrounding properties and is consistent with the policies and strategies of the Comprehensive Plan. It is the recommendation of the Planning & Sustainability Department that the request be "Approved, subject to the following recommended conditions":

1. The subject property shall be developed for a maximum of 27 single-family, detached fee-simple lots. Locations of proposed lots shall be generally consistent with the locations shown on the plan dated "06/15/21" and titled "Rockbridge Road ". Lot # 11 shall have a minimum rear lot width of 86.4 feet, Lot # 12 shall have a minimum rear lot width of 28 feet, and Lot # 13 shall have a minimum rear lot width of 115 feet to comply with the perimeter lot compatibility requirements of the zoning ordinance.
2. There shall be a minimum of 20% enhanced open space on the project site.
3. Any fences or walls proposed along Rockbridge Road shall comply with the wall and fence regulations of the Zoning Ordinance.
4. Building materials and form shall comply with Article 5.7 of the Zoning Ordinance.
5. Rockbridge Road is an arterial road. Please see chapter 5 of the zoning code and chapter 14-190 of the Land Development Code for required infrastructure requirements. Location of proposed access on to Rockbridge Road and any required right-of-way dedication and transportation improvements along Rockbridge Road shall be installed prior to the issuance of any building permits subject to review and approval by the Transportation Department.
6. Post-construction storm water run-off shall be no greater than pre-construction storm water run off in accordance with the DeKalb County Code of Ordinances and as required by the Georgia Storm Water Management Manual, subject to approval by the Land Development Division of the Planning Department. Furthermore, water quality shall meet the minimum requirements of the Georgia Storm water Management Manual or DeKalb County requirements.

7. The development shall have a mandatory property owners association, in accordance with Article 5.7.6.c.11 of the Zoning Ordinance. The applicant must provide evidence of a legal mechanism under which all land to be held in common and used for greenspace purposes within the development and all landscaping and street trees along Rockbridge Road and the proposed internal residential street (outside of the right-of-way) shall be protected in perpetuity. Existing trees located within designated open space areas that are not proposed for trails, buildings, structures, or parking lots or those likely to be impacted by necessary grading shall be preserved.

PLANNING COMMISSION RECOMMENDATION:
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(1/06/2022) Approval 7-1-1. LaSonya Osler moved, Edward Patton seconded for Approval. Jon West opposed; Tess Snipes abstained. **(11/4/2021) Full Cycle Deferral 8-0-0.** LaSonya Osler moved, Jon West seconded for a Full Cycle Deferral.

BOARD of COMMISSIONERS FINAL ACTION:

February 22, 2022, Approved with seven (7) conditions, recommended by Staff.

Z-21-1245221
Recommended Conditions – Jan. 2022
5277 Rockbridge Road

1. The subject property shall be developed for a maximum of 27 single-family, detached fee-simple lots. Locations of proposed lots shall be generally consistent with the locations shown on the plan dated "06/15/21" and titled "Rockbridge Road ". Lot # 11 shall have a minimum rear lot width of 86.4 feet, Lot # 12 shall have a minimum rear lot width of 28 feet, and Lot # 13 shall have a minimum rear lot width of 115 feet to comply with the perimeter lot compatibility requirements of the zoning ordinance.
2. There shall be a minimum of 20% enhanced open space on the project site.
3. Any fences or walls proposed along Rockbridge Road shall comply with the wall and fence regulations of the *Zoning Ordinance*.
4. Building materials and form shall comply with Article 5.7 of the *Zoning Ordinance*.
5. Rockbridge Road is an arterial road. Please see chapter 5 of the zoning code and chapter 14-190 of the *Land Development Code* for required infrastructure requirements. Location of proposed access on to Rockbridge Road and any required right-of-way dedication and transportation improvements along Rockbridge Road shall be installed prior to the issuance of any building permits subject to review and approval by the Transportation Department.
6. Post-construction storm water run-off shall be no greater than pre-construction storm water run-off in accordance with the *DeKalb County Code of Ordinances* and as required by the Georgia Storm Water Management Manual, subject to approval by the Land Development Division of the Planning Department. Furthermore, water quality shall meet the minimum requirements of the Georgia Storm water Management Manual or DeKalb County requirements.
7. The development shall have a mandatory property owners association, in accordance with Article 5.7.6.c.11 of the *Zoning Ordinance*. The applicant must provide evidence of a legal mechanism under which all land to be held in common and used for greenspace purposes within the development and all landscaping and street trees along Rockbridge Road and the proposed internal residential street (outside of the right-of-way) shall be protected in perpetuity. Existing trees located within designated open space areas that are not proposed for trails, buildings, structures, or parking lots or those likely to be impacted by necessary grading shall be preserved.

QA\3715.0002\Engineering\Preliminary Plat\A3715.0002-PP-SHEETS-9-25-23.dwg, Cover, Issued, Oct 02, 2023 - 10:22:05am

DEVELOPMENT DATA

1. ENGINEER / SURVEYOR:
MOORE BASS CONSULTING, INC.
1350 KEYS FERRY CT.
MCDONOUGH, GA 30253
(770) 914-9394

2. DEVELOPER:
BUILDERS PROFESSIONAL GROUP, LLC
160 WHITNEY STREET
FAYETTEVILLE, GA 30214
(404) 557-5726

3. SUBDIVISION CONFIGURATION:
A. SOURCE OF DATA: BOUNDARY SURVEY PERFORMED BY MOORE BASS CONSULTING, INC.
DATED: 7/6/21
B. LOCATION: 5277 ROCKBRIDGE RD SW
STONE MOUNTAIN, GA 30088, DEKALB COUNTY
C. TAX ID #: 18 038 04 003
D. CURRENT ZONING: R-100
E. PROPOSED ZONING: R-75
F. TOTAL SITE AREA: 11.47 ACRES
G. TOPOGRAPHIC SOURCE: DEKALB COUNTY GIS
H. DATUM: NAVD 88
I. TYPE OF STREETS: PUBLIC AND SHALL COMPLY WITH RECOMMENDED ZONING CONDITION #7
LOCATED ON THIS SHEET.
J. R/W AREA: 1.85 AC
K. R/W WIDTH: 55'
L. PAVEMENT LENGTH TOTAL: 1,221 L.F.
- LAGUNDA DRIVE - 1,122 LF
- VANTAGE STREET - 99 LF
PAVEMENT WIDTH: 28' (B.O.C. TO B.O.C.)
M. STREET MAINTENANCE: DEKALB COUNTY
N. MINIMUM LOT SIZE: 10,000 (SQ. FT.)
O. MIN. LOT WIDTH: 75'
P. BUILDING SETBACKS:
FRONT: 30'
REAR: 40'
SIDE: 7.5'
Q. PARKING REQUIRED: 2 SPACES PER UNIT MIN.
4 SPACES PER UNIT MAX.
R. TOTAL ACREAGE OF LOTS: 6.36 AC
TOTAL ACREAGE OF STORMWATER MANAGEMENT: 0.41 AC
S. BASE DENSITY CALCULATION:
PROPOSED LOTS: 26 LOTS
TOTAL SITE AREA: 11.47 AC
SWMF AREA: -0.41 AC
LESS R/W AREA: -1.85 AC
TOTAL NET AREA: 9.21 AC
NET DENSITY: 26 LOTS / 9.21 AC = 2.82 LOTS/AC
T. ENHANCED OPEN SPACE : 2.34 AC
REQUIRED 20% (11.47 AC X .20%) 2.29 AC MIN. OPEN SPACE
PROVIDED 20% (2.34 AC / 11.47 AC)
U. CONCEPTUAL STORMWATER MANAGEMENT PLAN:
A. TEMPORARY EROSION CONTROL PLAN: SILT FENCE, HAY
BALES, SEDIMENT BASINS AND GRASS & MULCH
B. AREAS TO BE CLEARED: STREETS, UTILITY OUTFALLS AND
STORMWATER COMPONENTS
C. INTERNAL DRAINAGE SYSTEM: CURB & GUTTER, STORM INLETS & PIPE SYSTEM
V. UTILITIES:
A. WATER: DEKALB COUNTY WATER & SEWER SERVICE
B. SANITARY SEWER: DEKALB COUNTY WATER & SEWER SERVICE
C. ELECTRIC: GEORGIA POWER CO. TO PROVIDE UNDERGROUND ELECTRIC
D. DEKALB COUNTY SANITATION WILL BE UTILIZED TO HANDLE HOUSEHOLD WASTE, YARD DEBRIS
AND RECYCLABLE MATERIAL.
W. GENERAL NOTES:
A. ADDITIONAL DRAINAGE OR UTILITY EASEMENTS NOT SHOWN HEREON WILL BE PROVIDED
WHERE NECESSARY IN FINAL DESIGN.
B. STREETS MAY BE ADJUSTED DURING FINAL DESIGN TO ALLEVIATE CONFLICTS WITH UTILITIES
UPON APPROVAL BY DEKALB COUNTY.
X. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH DEKALB COUNTY STANDARDS.
Y. ALL EXISTING DRIVEWAY CULVERTS WILL BE REMOVED ALONG PROJECT FRONTAGE PRIOR TO FINAL
PLAT.
Z. NO EXISTING SEPTIC TANK OR DRAIN FIELDS ON SITE PREMISES.
AA. NO EXISTING BURY PITS ON SITE PREMISES.

ASSIGNED ADDRESSING	
Lot 1	5211 Vantage Street
Lot 2	5205 Vantage Street
Lot 3	5199 Vantage Street
Lot 4	5195 Vantage Street
Lot 5	5191 Vantage Street
Lot 6	5187 Vantage Street
Lot 7	491 LaGunda Drive
Lot 8	483 LaGunda Drive
Lot 9	475 LaGunda Drive
Lot 10	412 LaGunda Drive
Lot 11	416 LaGunda Drive
Lot 12	420 LaGunda Drive
Lot 13	424 LaGunda Drive
Lot 14	428 LaGunda Drive
Lot 15	436 LaGunda Drive
Lot 16	440 LaGunda Drive
Lot 17	444 LaGunda Drive
Lot 18	448 LaGunda Drive
Lot 19	452 LaGunda Drive
Lot 20	460 LaGunda Drive
Lot 21	468 LaGunda Drive
Lot 22	476 LaGunda Drive
Lot 23	484 LaGunda Drive
Lot 24	492 LaGunda Drive
Lot 25	500 LaGunda Drive
Lot 26	508 LaGunda Drive
Entrance Sign	- 5299 Rockbridge Road
Open Space 1	- 511 LaGunda Drive
Open Space 2	- 510 LaGunda Drive
Open space 3	- 463 LaGunda Drive
Proposed Bio-Retention Area	- 487 LaGunda Drive
Proposed Stormwater Management Facility	- 489 LaGunda Drive

PRELIMINARY PLAT SITE PLAN

AP# 1246082 - SKETCH PLAT

FOR

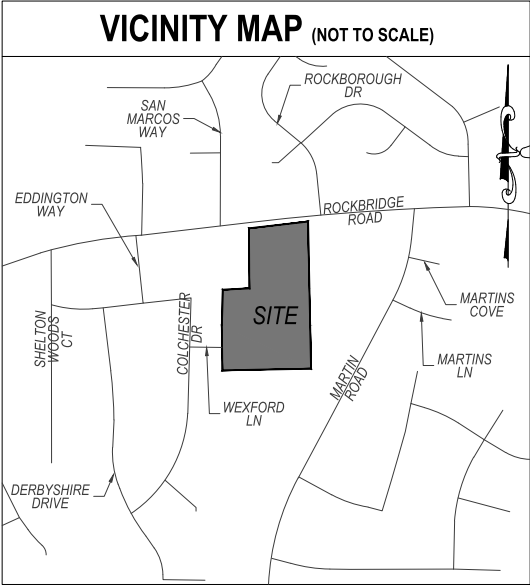
MARTIN'S LANDING

SINGLE - FAMILY RESIDENTIAL COMMUNITIES

LOCATED IN LAND LOT 38

18TH DISTRICT OF DEKALB COUNTY, GEORGIA

TAX ID # 18 038 04 003



SCOPE OF WORK

THIS SKETCH/PRELIMINARY PLAT IS FOR THE CREATION OF 26 SINGLE FAMILY DETACHED LOTS. THIS SKETCH/ PRELIMINARY PLAT INCLUDES THE NECESSARY CLEARING & GRUBBING, GRADING, INFRASTRUCTURE IMPROVEMENTS, AND LANDSCAPING FOR THE PROPOSED 26 SINGLE FAMILY DETACHED LOTS FOR MARTIN'S LANDING SUBDIVISION. THE TOTAL ACREAGE OF THE DEVELOPMENT SITE IS 11.47 ACRES. THE PROPERTY LIES IN THE COUNTY OF DEKALB, GEORGIA. THE DEVELOPMENT PROGRAM IS FOR THE PROJECT TO BE CONSTRUCTED IN A SINGLE PHASE. IN THIS SKETCH PLAT SUBMISSION, THE LOCATION OF THE PROPOSED RETAINING WALLS HAS NOT BEEN FINALIZED. DUE TO THIS, THEY WILL NOT RECEIVE THEIR ADDRESSES AND LABELS, UNTIL THE LDP STAGE

SHEET INDEX

- 1.0 COVER SHEET
- 2.0 APPROVED CONCEPTUAL SITE PLAN DATED 06/15/21
- 3.0 EXISTING CONDITIONS
- 4.0 DEMOLITION PLAN
- 5.0 PRELIMINARY PLAT SITE PLAN
- 5.1 ENHANCED OPEN SPACE / GREENWAY PLAN
- 6.0 ASSIGNED ADDRESSING
- 7.0 UTILITY PLAN
- 8.0 STORMWATER PLAN
- 9.0 SOILS ANALYSIS MAP
- LS1.0 EXISTING TREE SURVEY
- LS2.0 LANDSCAPE AND TREE PROTECTION PLAN
- LS3.0 PLANT CHARTS

SURVEYOR MOORE BASS CONSULTING, INC. 1350 KEYS FERRY COURT MCDONOUGH, GA 30253 (770) 914-9394	ENGINEER MOORE BASS CONSULTING, INC. 1350 KEYS FERRY COURT MCDONOUGH, GA 30253 (770) 914-9394	OWNER JOE AND LIEZL MARTIN 3793 LAMAR WAY SNELLVILLE, GA 30039	DEVELOPER BUILDERS PROFESSIONAL GROUP, LLC 160 WHITNEY STREET FAYETTEVILLE, GA 30214 (404) 557-2726
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CERTIFICATE OF CONFORMITY:

I, Jennifer F. Christman, the engineer/surveyor for the
Subdivision known as Martin's Landing
Located in Land Lot 38 of the 18th District, hereby certify that
no lots platted within the subdivision are non-conforming or will result in any nonconforming lots.
Jennifer F. Christman
SIGNATURE
Jennifer F. Christman
NAME (PLEASE PRINT)
1350 Keys Ferry Court
ADDRESS
McDonough, GA 30253
CITY, STATE, ZIP

PRELIMINARY PLAT APPROVAL CERTIFICATE:

This sketch plat has been submitted to and approved by the Planning Commission of DeKalb County, on this _____ day of _____ 20_____.
By: _____
(By Director) Planning Commission Chairman
DeKalb County, Georgia

- NOTES
1. RECORDED OFF-SITE SEWER EASEMENT REQUIRED PRIOR TO ISSUANCE OF DEVELOPMENT PERMIT.
2. A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GAE.P.D.
3. SKETCH PLAT APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE STORM DRAINAGE OR SANITARY SEWER SYSTEMS. NO CONSTRUCTION SHALL BEGIN UNTIL CONSTRUCTION PLANS ARE APPROVED AND A DEVELOPMENT PERMIT IS OBTAINED.
4. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.

FLOOD/ WETLAND NOTE

AS SHOWN ON FLOOD INSURANCE RATE MAPS OF DEKALB COUNTY, GEORGIA COMMUNITY PANEL NUMBER: 13089C0091K EFFECTIVE DATE 12/08/2016, THIS PROPERTY IS NOT LOCATED IN A FEMA FLOOD HAZARD ZONE. THERE ARE NO WETLANDS LOCATED ON THIS PROPERTY.

ADA NOTE

MARTIN'S LANDING MUST MEET THE REQUIREMENTS OF THE 2010 ADA AND CURRENT GEORGIA ACCESSIBILITY CODE.

Z-21-1245221
Recommended Conditions – Jan. 2022
5277 Rockbridge Road

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OWNER'S ACKNOWLEDGMENT

Lutz Martin THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS
SUBSCRIBED HERETO, ACKNOWLEDGE THAT THIS PLAT WAS MADE FROM AN ACUTAL SURVEY, AND FOR VALUE RECEIVED THE SUFFICIENCY OF WHICH IS
HEREBY ACKNOWLEDGED, DO HEREBY CONFIRM THAT OPEN SPACE AND STORM WATER FACILITIES SHOWN HEREON SHALL BE PRIVATELY OWNED AND
MAINTAINED. THE WATER MAINS, STREETS, RIGHTS-OF-WAY, AND SANITARY SEWER LINES IN APPROPRIATE EASEMENTS ARE HEREBY
DEDICATED IN FEE SIMPLE FOREVER TO DEKALB COUNTY. IN CONSIDERATION OF THE APPROVAL OF THIS DEVELOPMENT PLAN AND OTHER VALUABLE
CONSIDERATIONS, THE OWNER FURTHER RELEASES AND HOLDS HARMLESS DEKALB COUNTY FROM ANY AND ALL CLAIMS, DAMAGES OR DEMANDS ARISING
ON ACCOUNT OF THE DESIGN, CONSTRUCTION AND MAINTENANCE OF THE PROPERTY SHOWN HEREON: ON ACCOUNT OF THE ROADS,
FILLS, EMBANKMENTS, DITCHES, CROSS DRAINS, CULVERTS, WATER MAINS, SEWER LINES, AND BRIDGES WITHIN THE PROPOSED RIGHTS-OF-WAY AND
EASEMENTS SHOWN; AND ON ACCOUNT OF BACKWATER, THE COLLECTION AND DISCHARGE OF SURFACE WATER, OR THE CHANGING OF COURSES OF
STREAMS.
AND FURTHER THE OWNER WARRANTS THAT HE OWNS FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREES THAT DEKALB COUNTY SHALL
NOT BE LIABLE TO HIM, HIS HEIRS, SUCCESSORS OR ASSIGNS FOR ANY CLAIMS OR DAMAGES RESULTING FROM THE CONSTRUCTION OR MAINTENANCE OF
CROSS DRAIN EXTENSIONS, DRIVES, STRUCTURES, STREETS, CULVERTS, CURBS OR SIDEWALKS, THE CHANGING OF COURSES OF STREAMS AND RIVERS,
FLOODING FROM NATURAL CREEKS AND RIVERS, SURFACE WATERS AND ANY OTHER MATTER WHATSOEVER. I FURTHER WARRANT THAT I HAVE THE RIGHT
TO SELL AND CONVEY THE LAND ACCORDING TO THIS PLAT AND DO HEREBY BIND MYSELF AND OWNERS SUBSEQUENT IN TITLE TO DEFEND BY VIRTUE OF
THESE PRESENTS.
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS 14 DAY OF Feb 2023
Christoph
WITNESS
Michelle
NOTARY PUBLIC
ATTEST: _____
CORPORATE SECRETARY
MICHELLE CHALMERS
NOTARY PUBLIC
My Comm. Expires
January 13, 2025
PUBLIC
FAYETTEVILLE, GA

MB

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TALLAHASSEE • ATLANTA

1350 Keys Ferry Court
McDonough, GA 30253
770.914.9394

PROJECT NAME
MARTIN'S LANDING
DEKALB COUNTY, GEORGIA

CLIENT NAME
BUILDERS PROFESSIONAL GROUP, LLC
160 WHITNEY STREET
FAYETTEVILLE, GEORGIA 30214

REVISIONS	09-15-22 REVISED PER COUNTY COMMENTS
01-11-23 REVISED PER COUNTY COMMENTS	04-14-23 REVISED PER COUNTY COMMENTS
06-21-23 REVISED PER COUNTY COMMENTS	08-22-23 REVISED PER COUNTY COMMENTS
10-02-23 REVISED PER COUNTY COMMENTS	

A3715.0002-PP SHEETS-9-25-23

DATE 09/09/22

CONTRACT # A3715.0002

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1350 KEYS FERRY COURT
MCDONOUGH, GA 30253
(770) 914-9394

SEAL
REGISTERED PROFESSIONAL ENGINEER
JENNIFER F. CHRISTMAN
No. 031167
EXPIRATION DATE 12/31/25

06-25-2023

SHEET TITLE
COVER SHEET

SHEET
1.0

PRELIMINARY PLAT
NOT FOR CONSTRUCTION

Q:\A3715.0002\Engineering\Rockridge Road Base REV02.dwg, Layout1, Version, Jan 07, 2022, 9:37:04am

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SITE DATA		
1. TOTAL SITE AREA:	11.47 AC.	
2. CURRENT ZONING:	R-100	
3. PROPOSED ZONING:	R-75	
4. MIN.LOT WIDTH REQUIRED:	75'	
5. PROPOSED LOT WIDTH:	75'	
6. MIN.LOT AREA REQUIRED:	10,000 SF	
7. PROPOSED LOT AREA:	10,000 SF	
8. PROPOSED NUMBER OF LOTS:	27	
9. OPEN SPACE REQUIRED:	2.29 AC. (20%)	
10. OPEN SPACE PROPOSED:	2.71 AC. (24%)	
11. PROPOSED DENSITY (GROSS):	2.4 DU/AC.	
12. REQUIRED SETBACKS:	FRONT: 30'	
	REAR: 40'	
	SIDE: 7.5'	

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McDonough, GA 30253
770.914.9394

PROJECT NAME	ROCKRIDGE RD DEKALB COUNTY, GEORGIA
CLIENT NAME	SCOTT KNIGHT

REVISIONS	
09-15-22 REVISED PER COUNTY COMMENTS	
01-11-23 REVISED PER COUNTY COMMENTS	
04-14-23 REVISED PER COUNTY COMMENTS	
06-21-23 REVISED PER COUNTY COMMENTS	
08-22-23 REVISED PER COUNTY COMMENTS	
10-02-23 REVISED PER COUNTY COMMENTS	

DATE	09/09/22
CONTRACT #	A3715.0002
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SEAL

SEAL

SEAL

SHEET TITLE
CONCEPTUAL
SITE PLAN

SHEET
1.0



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McDonough, GA 30253
770.914.9394

PROJECT NAME	#5277 ROCKRIDGE ROAD DEKALB COUNTY, GEORGIA TAX PARCEL ID 18 038 04 003
CLIENT NAME	BUILDERS PROFESSIONAL GROUP, LLC 160 WHITNEY STREET FAYETTEVILLE, GEORGIA 30214

REVISIONS	
09-15-22 REVISED PER COUNTY COMMENTS	
01-11-23 REVISED PER COUNTY COMMENTS	
04-14-23 REVISED PER COUNTY COMMENTS	
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08-22-23 REVISED PER COUNTY COMMENTS	
10-02-23 REVISED PER COUNTY COMMENTS	

DATE	09/09/22
CONTRACT #	A3715.0002
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SEAL

SEAL

SEAL

SHEET TITLE
CONCEPTUAL
SITE PLAN

SHEET
1.0

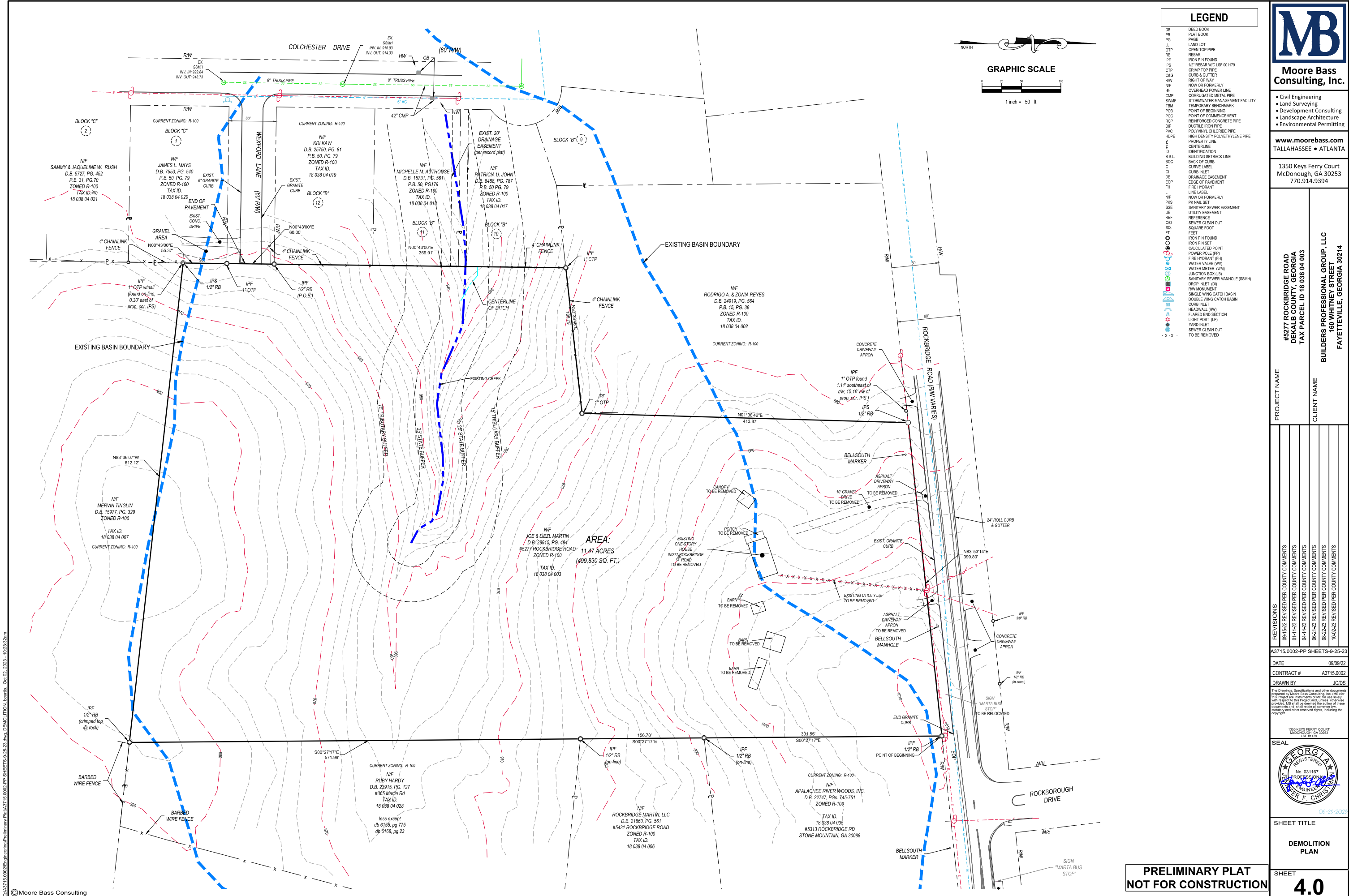
SHEET TITLE
APPROVED
CONCEPTUAL
SITE PLAN
DATED 06/15/21

SHEET
2.0



C:\3715\0002\Engineering\Preliminary\Plan\A3715.0002-PP-SHEETS-9-25-23.dwg, DEMOLITION, boards, Oct 02, 2023, - 10:23:32am

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LEGEND

DB

DEED BOOK

PL

PLAT BOOK

LL

LAND LOT

OT

OPEN TOP PIPE

RE

REBAR

IP

IRON PIN FOUND

IPS

12" REBAR W/IC LSF 001179

CTP

CRIMP TOP PIPE

C&G

CURB & GUTTER

R/W

RIGHT OF WAY

NF

NOW OR FORMERLY

OW

OVERHEAD POWER LINE

CM

CORROGATED METAL PIPE

SWMF

STORMWATER MANAGEMENT FACILITY

TM

TEMPORARY BENCHMARK

POB

POINT OF BEGINNING

POC

POINT OF COMMENCEMENT

RCP

REINFORCED CONCRETE PIPE

DIP

DUCTILE IRON PIPE

PVC

POLYVINYL CHLORIDE PIPE

HDPE

HIGH DENSITY POLYETHYLENE PIPE

PL

PROPERTY LINE

CL

CENTERLINE

ID

IDENTIFICATION

B.S.L

BUILDING SETBACK LINE

BOC

BACK OF CURB

C

CURB INLET

DE

DRAINAGE EASEMENT

EOP

EDGE OF PAVEMENT

FW

FIRE HYDRANT

L

LINE LABEL

NF

NOW OR FORMERLY

PK

PIKE SET

SSE

SANITARY SEWER EASEMENT

UE

UTILITY EASEMENT

REF

REFERENCE

CO

SEWER CLEAN OUT

SO

SQUARE FOOT

FEET

FEET

IP

IRON PIN FOUND

IP

IRON PIN SET

CP

CALCULATED POINT

PP

POWER POLE (PP)

PH

FIRE HYDRANT (PH)

WW

WATER VALVE (WW)

WM

WATER METER (WM)

JB

JUNCTION BOX (JB)

SSMH

SANITARY SEWER MANHOLE (SSMH)

DI

DROP INLET (DI)

R/W

R/W MONUMENT

SW

SINGLE WING CATCH BASIN

DB

DOUBLE WING CATCH BASIN

HW

HEADWALL (HW)

FL

FLARED END SECTION

LP

LIGHT POST (LP)

YI

YARD INLET

SC

SEWER CLEAN OUT

NOTE:
1. RECEIVING WATER IS A TRIBUTARY OF BAR BASHELA CREEK, WHICH EXTEND TO THE PROPERTY. APPROX. 2315 LF
2. PROPOSED SUBDIVISION WILL BE SUBJECT TO PRIVATE COVENANTS AND A HOME OWNER'S ASSOCIATION WILL BE ESTABLISHED.
3. ALL ELECTRICAL SERVICES WILL BE INSTALLED AND SERVICED UNDERGROUND.
4. ANY ENTRANCE SIGN MUST HAVE THE NAME "MARTIN'S LANDING" DISPLAYED ON IT.
5. PROPOSED ENHANCED OPEN SPACE IS PROVIDED AT A MINIMUM OF 20% OF THE SITE (20% X 11.47 AC= 2.29 AC). ENHANCED OPEN SPACE PROVIDED (2.34 AC / 11.47 AC = 20.4%)

LEGEND

ENHANCED OPEN SPACE
(102,054 SF, 20.4%)

GREENLANDSCAPE SPACE
(46,071 SF, 1.06%)

MULTI-USE PATH

RIGHT OF WAY LANDSCAPE STRIP

BUILDING SETBACK

LANDSCAPE BUFFER

SIGHT DISTANCE

6' HIGH OPAQUE OR WOODEN FENCE

MB

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770.914.9394

PROJECT NAME

#5277 ROCKBRIDGE ROAD
DEKALB COUNTY, GEORGIA
TAX PARCEL ID 18 038 04 003

CLIENT NAME

BUILDERS PROFESSIONAL GROUP, LLC
160 WHITNEY STREET
FAYETTEVILLE, GEORGIA 30214

REVISIONS

09-15-22

REVISED PER COUNTY COMMENTS

01-11-23

REVISED PER COUNTY COMMENTS

04-14-23

REVISED PER COUNTY COMMENTS

06-21-23

REVISED PER COUNTY COMMENTS

08-22-23

REVISED PER COUNTY COMMENTS

10-02-23

REVISED PER COUNTY COMMENTS

A3715.0002-PP SHEETS 9-25-23

DATE

09/09/22

CONTRACT #

A3715.0002

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JCDS

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McDONOUGH, GA 30253
(770) 914-9394

SEAL

REGISTERED PROFESSIONAL LAND SURVEYOR

No. 031167

CHRIS F. CHRIS

SHEET TITLE

PRELIMINARY PLAT
SITE PLAN

SHEET

5.0

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Q:\A3715.0002\Engineering\Preliminary\A3715.0002-PP-SHEETS-9-25-23.dwg, GREENWAY OPEN, 04/02/2023, 10:23:54am

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PRELIMINARY PLAT
NOT FOR CONSTRUCTION

LEGEND	
DB	DEED BOOK
PB	PLAT BOOK
PG	PAGE
LL	LAND LOT
OTP	OPEN TOP PIPE
RB	REBAR
IPF	IRON PIN FOUND
IPS	12" REBAR W/CSF 001179
CTP	CRIMP TOP PIPE
C&G	CURB & GUTTER
R/W	RIGHT OF WAY
NF	NOW OR FORMERLY
OW	OVERHEAD POWER LINE
CMF	CORROGATED METAL PIPE
SWMF	STORMWATER MANAGEMENT FACILITY
TM	TEMPORARY BENCHMARK
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
PL	PROPERTY LINE
CL	CENTERLINE
ID	IDENTIFICATION
B.S.L	BUILDING SETBACK LINE
BOC	BACK OF CURB
C	CURB INLET
CI	CURB INLET
DE	DRAINAGE EASEMENT
EOP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
L	LINE LABEL
NF	NOW OR FORMERLY
PKS	PRIVATE SET
SSE	SANITARY SEWER EASEMENT
UE	UTILITY EASEMENT
REF	REFERENCE
C/O	SEWER CLEAN OUT
SO	SQUARE FOOT
FT	FEET
IPF	IRON PIN FOUND
IPF	IRON PIN SET
CP	CALCULATED POINT
PP	POWER POLE (PP)
PH	FIRE HYDRANT (PH)
WM	WATER METER (WM)
WV	WATER VALVE (WV)
JWB	JUNCTION BOX (JB)
SSMH	SANITARY SEWER MANHOLE (SSMH)
DI	DROP INLET (DI)
R/W	R/W MONUMENT
SW	SINGLE WING CATCH BASIN
SW	DOUBLE WING CATCH BASIN
SW	CURB INLET
SW	HEADWALL (HW)
SW	FLARED END SECTION
SW	LIGHT POST (LP)
SW	YARD INLET
SW	SEWER CLEAN OUT

LEGEND	
	ENHANCED OPEN SPACE (102,054 SF, 20.4%)
	GREENLANDSCAPE SPACE (46,071 SF, 1.06%)
	MULTI-USE PATH
	RIGHT OF WAY LANDSCAPE STRIP
	BUILDING SETBACK
	6' HIGH OPAQUE OR WOODEN FENCE

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770.914.9394

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DEKALB COUNTY, GEORGIA
TAX PARCEL ID 18 038 04 003

CLIENT NAME

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160 WHITNEY STREET
FAYETTEVILLE, GEORGIA 30214

REVISIONS	DATE	CONTRACT #	DRAWN BY
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04-14-23 REVISED PER COUNTY COMMENTS			
06-21-23 REVISED PER COUNTY COMMENTS			
08-22-23 REVISED PER COUNTY COMMENTS			
10-02-23 REVISED PER COUNTY COMMENTS			

A3715.0002-PP SHEETS-9-25-23

DATE: 09/09/22
CONTRACT #: A3715.0002
DRAWN BY: JCDS

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McDONOUGH, GA 30253
LSP #1179

SEAL

No. 031167
PROFESSIONAL
ENGINEER
CHRISTOPHER F. CHRIS
06-25-2021

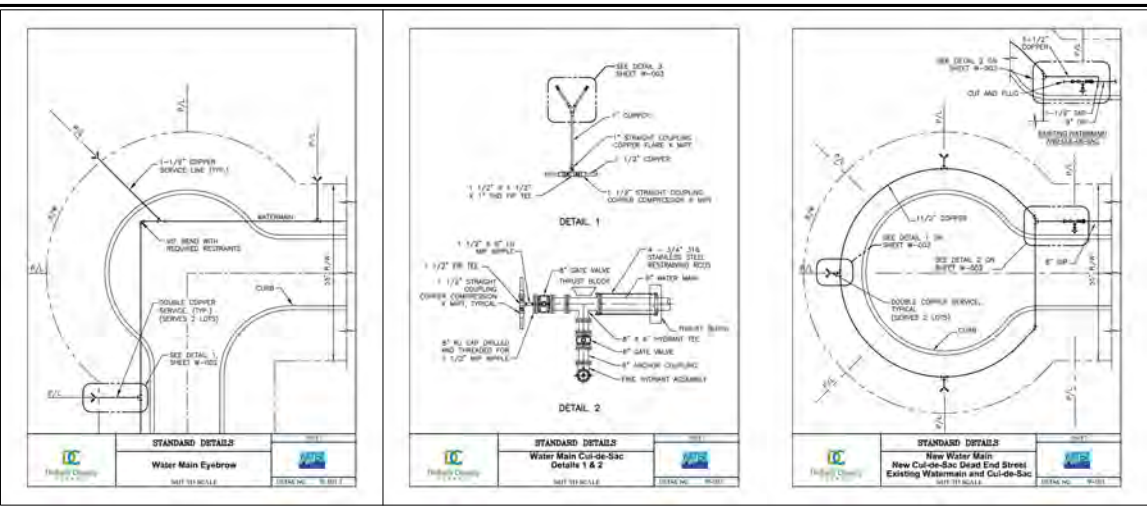
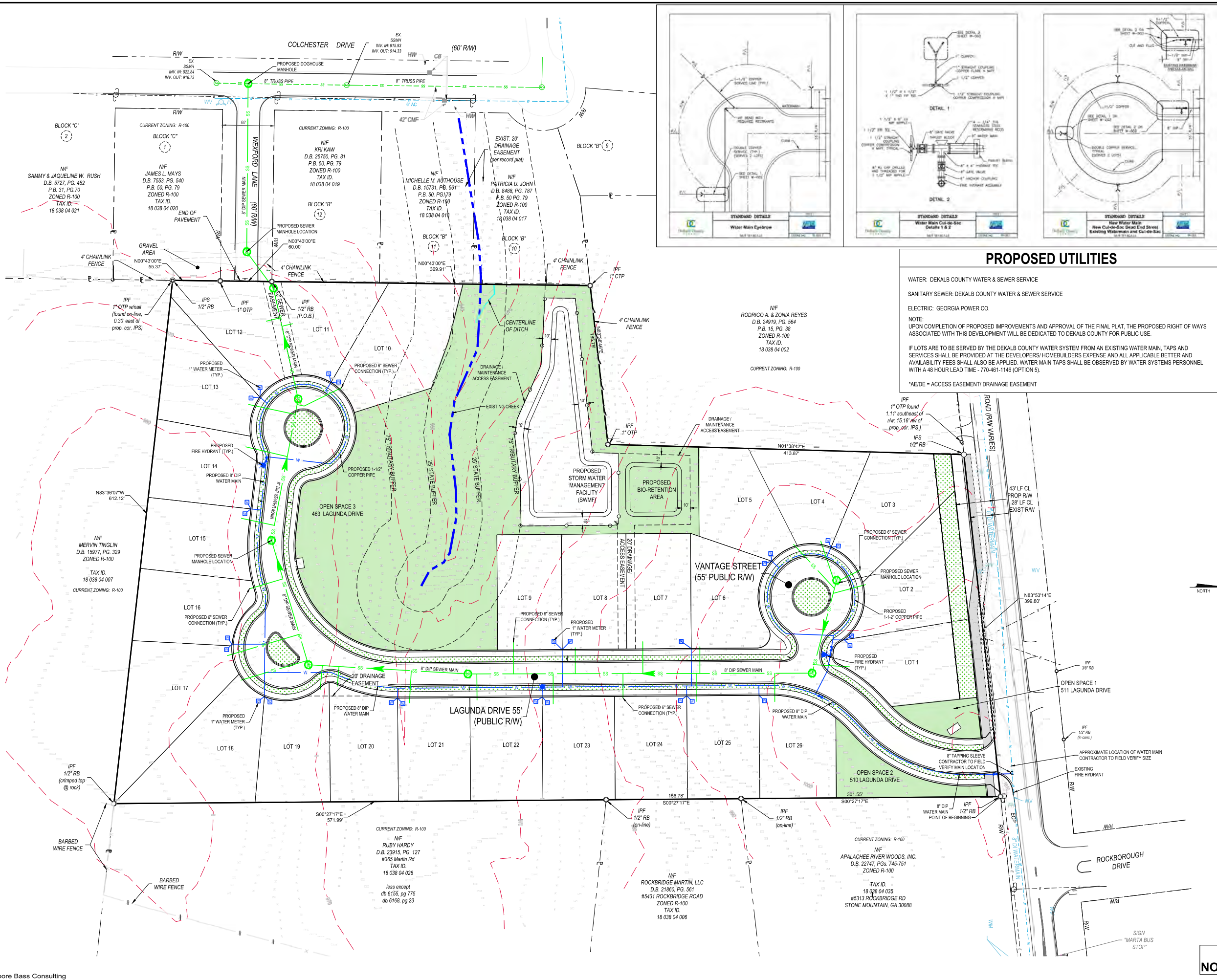
SHEET TITLE
ENHANCED OPEN SPACE / GREENWAY PLAN

SHEET
5.1



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PROPOSED UTILITIES

WATER: DEKALB COUNTY WATER & SEWER SERVICE

SANITARY SEWER: DEKALB COUNTY WATER & SEWER SERVICE

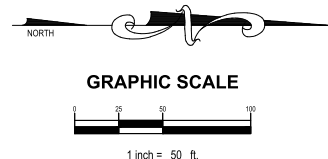
ELECTRIC: GEORGIA POWER CO.

NOTE:
UPON COMPLETION OF PROPOSED IMPROVEMENTS AND APPROVAL OF THE FINAL PLAT, THE PROPOSED RIGHT OF WAYS ASSOCIATED WITH THIS DEVELOPMENT WILL BE DEDICATED TO DEKALB COUNTY FOR PUBLIC USE.

IF LOTS ARE TO BE SERVED BY THE DEKALB COUNTY WATER SYSTEM FROM AN EXISTING WATER MAIN, TAPS AND SERVICES SHALL BE PROVIDED AT THE DEVELOPERS/ HOMEBUILDERS EXPENSE AND ALL APPLICABLE BETTER AND AVAILABILITY FEES SHALL ALSO BE APPLIED. WATER MAIN TAPS SHALL BE OBSERVED BY WATER SYSTEMS PERSONNEL WITH A 48 HOUR LEAD TIME - 770-461-1146 (OPTION 5).

*AE/DE = ACCESS EASEMENT/ DRAINAGE EASEMENT

LEGEND	
DB	DEED BOOK
FB	PLAT BOOK
PG	PAGE
LL	LAND LOT
OTF	OPEN TOP PIPE
RB	REBAR
IPF	IRON PIN FOUND
IPS	12" REBAR W/O LSF 001179
CTP	CRIMP TOP PIPE
CKG	CURB & GUTTER
RW	RIGHT OF WAY
NF	NOW OR FORMERLY
E	OVERHEAD POWER LINE
CMP	CORRUGATED METAL PIPE
SWMF	STORMWATER MANAGEMENT FACILITY
TBM	TEMPORARY BENCHMARK
PBS	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
PL	PROPERTY LINE
CL	CENTERLINE
B.S.L	BUILDING SETBACK LINE
BOC	BACK OF CURB
C	CURB INLET
DE	DRAINAGE EASEMENT
EOH	EDGE OF PAVEMENT
FL	FIRE HYDRANT
L	LINE LABEL
NF	NOW OR FORMERLY
PKS	PK NAL SET
SSE	SANITARY SEWER EASEMENT
UE	UTILITY EASEMENT
REF	REFERENCE
CIO	SEWER CLEAN OUT
SO	SQUARE FOOT
FEET	FEET
IPF	IRON PIN FOUND
IPF	IRON PIN SET
CP	CALCULATED POINT
PP	POWER POLE (PP)
FW	FIRE HYDRANT (FW)
WM	WATER VALVE (WM)
JBS	JUNCTION BOX (JB)
SSMH	SANITARY SEWER MANHOLE (SSMH)
DI	DROP INLET (DI)
RW	R/W MONUMENT
SW	SINGLE WING CATCH BASIN
DB	DOUBLE WING CATCH BASIN
CI	CURB INLET
HW	HEADWALL (HW)
FL	FLARED END SECTION
LP	LIGHT POST (LP)
YI	YARD INLET
SC	SEWER CLEAN OUT



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McDonough, GA 30253
770.914.9394

PROJECT NAME

#5277 ROCKBRIDGE ROAD
DEKALB COUNTY, GEORGIA
TAX PARCEL ID 18 038 04 003

CLIENT NAME

BUILDERS PROFESSIONAL GROUP, LLC
160 WHITNEY STREET
FAYETTEVILLE, GEORGIA 30214

REVISIONS	DATE	CONTRACT #	DRAWN BY
08-15-22 REVISED PER COUNTY COMMENTS	09/09/22	A3715.0002	JCDS
01-11-23 REVISED PER COUNTY COMMENTS			
04-14-23 REVISED PER COUNTY COMMENTS			
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10-22-23 REVISED PER COUNTY COMMENTS			

A3715.0002-PP SHEETS-9-25-23

DATE 09/09/22

CONTRACT # A3715.0002

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LSP #1179

SEAL

06-25-2023

SHEET TITLE

UTILITY PLAN

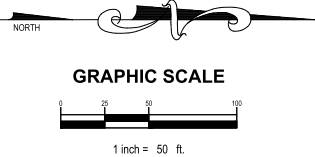
SHEET

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**PRELIMINARY PLAT
NOT FOR CONSTRUCTION**

C:\A3715\0002\Engineering\Preliminary\Plan\A3715.0002-PP SHEETS-25-23.dwg, STORM WATER, bounis, Oct 02, 2023 - 10:26:36am

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- ### RUNOFF REDUCTION
- PERIMETER AND STREAM BUFFERS WILL REMAIN UNDISTURBED AND WILL NOT ENCROACH ON ANY STREAM BUFFER. THIS WILL HELP MAINTAIN EXISTING VEGETATION AND PRESERVE NATURAL FEATURES, WHICH WILL LIMIT DISTURBED AREA AND ULTIMATELY THE AMOUNT OF RUNOFF REDUCTION REQUIRED.
 - A BIO-RETENTION AREA IS PROPOSED TO PROVIDE RUNOFF REDUCTION. THESE BMPs WILL COLLECT A DEFINED VOLUME OF RUNOFF AND DISCHARGE THROUGH PERCOLATION IF SOIL CONDITIONS PERMIT.
 - THE STORMWATER MANAGEMENT FACILITY WILL BE EQUIPPED WITH ADS MC-3500 STORMTECH CHAMBER PER MANUFACTURE'S SPECIFICATIONS, OR ENGINEER APPROVED EQUIVALENT.
 - ADDITIONAL RUNOFF REDUCTION VOLUMES WILL BE PROVIDED BY DISCONNECTED DOWNSPOUTS. ROOF DOWNSPOUTS ARE DIRECTED AWAY FROM THE HOUSE IN ALL DIRECTIONS ALLOWING THE CONCENTRATED FLOW TO BE DISCHARGED TO PERVIOUS AREAS WHICH SERVE AS OVERLAND FLOW/FILTRATION ZONES. THE FINISHED GRADE AROUND EACH HOUSE SHALL FALL AT LEAST 6 INCHES IN THE FIRST 10 FEET AWAY FROM THE FRONT OR BACK OF THE HOUSE. FROM THERE THE FINISH GRADE SHALL BE LESS THAN OR EQUAL TO 3% OR A FOR A DISTANCE OF 25' AROUND THE PERIMETER OF THE HOUSE WITH GUTTER DOWNSPOUTS ORIENTED TO ALLOW FOR SHEET FLOW ACROSS THE OVERLAND FLOW/FILTRATION ZONES.

- ### STORMWATER MANAGEMENT PLAN
- POST-DEVELOPED STORMWATER AREAS WILL BE COLLECTED BY A SUB-SURFACE DRAINAGE SYSTEM AND CONVEYED TO ONE OF THE PROPOSED BMPs. THIS SYSTEM WILL CONVEY RUNOFF IN AN OPEN-CHANNEL FLOW FOR THE 25-YEAR STORM EVENT AND SAFELY PASS THE 100-YEAR EVENT WITH ANY SURCHARGE FROM THE INLETS.
 - A STORMWATER MANAGEMENT FACILITY (SWMF) WILL COLLECT AND DETAIN STORMWATER. THE SWMF WILL PROVIDE DETENTION OF THE LARGER STORM EVENTS, CHANNEL PROTECTION VOLUMES PER THE GEORGIA STORMWATER MANUAL, AND WATER QUALITY FOR ANY REQUIRED RUNOFF REDUCTION VOLUMES THAT ARE NOT PROVIDED. THE SWMF WILL BE EQUIPPED WITH AN OUTLET CONTROL STRUCTURE THAT WILL REDUCE DISCHARGE RATES LEAVING THE PROJECT SITE TO PRE-DEVELOPED RATES OR LESS.
 - ANY OFF-SITE RUNOFF ENTERING THE SITE WILL BE MODELED AS BYPASS TO THE GREATEST EXTENT POSSIBLE AND WILL NOT ENCROACH ON ANY STREAM BUFFER. IF UNAVOIDABLE, IT MAY BE PASSED THROUGH THE SWMF.
 - DRAINAGE IMPROVEMENTS SHALL ACCOMMODATE POTENTIAL RUNOFF FROM THE ENTIRE UPSTREAM DRAINAGE AREA AND SHALL BE DESIGNED TO PREVENT INCREASES IN DOWNSTREAM FLOODING AS REQUIRED PER THE COUNTY STORMWATER MANAGEMENT REQUIREMENTS. STORMWATER QUALITY MANAGEMENT FACILITIES SHALL BE ADEQUATE AS REQUIRED BY THE DEKALB COUNTY CODES. DEKALB COUNTY MAY REQUIRE THE USE OF CONTROL METHODS SUCH AS RETENTION OR DETENTION, AND OR THE CONSTRUCTION OF OFFSITE DRAINAGE IMPROVEMENTS TO MITIGATE THE IMPACTS OF THE PROPOSED DEVELOPMENTS.

PRELIMINARY PLAT
NOT FOR CONSTRUCTION

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1350 Keys Ferry Court
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770.914.9394

PROJECT NAME

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DEKALB COUNTY, GEORGIA
TAX PARCEL ID 18 038 04 003

CLIENT NAME

BUILDERS PROFESSIONAL GROUP, LLC
160 WHITNEY STREET
FAYETTEVILLE, GEORGIA 30214

REVISIONS	09-15-22	REVISED PER COUNTY COMMENTS
01-11-23	REVISED PER COUNTY COMMENTS	
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08-22-23	REVISED PER COUNTY COMMENTS	
10-02-23	REVISED PER COUNTY COMMENTS	

A3715.0002-PP SHEETS-25-23

DATE 09/09/22

CONTRACT # A3715.0002

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1350 KEYS FERRY COURT
McDONOUGH, GA 30253
LSF #1179

SEAL

REGISTERED PROFESSIONAL ENGINEER
No. 031167
F. CHRIS

06-25-2024

SHEET TITLE

STORMWATER PLAN

SHEET

8.0



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#5277 ROCKBRIDGE ROAD
DEKALB COUNTY, GEORGIA
TAX PARCEL ID 18 038 04 003

BUILDERS PROFESSIONAL GROUP, LLC
160 WHITNEY STREET
FAYETTEVILLE, GEORGIA 30214

PROJECT NAME

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08-22-23 REVISED PER COUNTY COMMENTS
10-02-23 REVISED PER COUNTY COMMENTS

715.0002-PP SHEETS-9-25-23

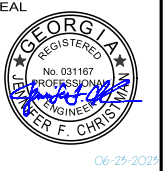
DATE 7/6/21

CONTRACT #	A3715.0002
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McDONOUGH, GA 30253
1 SE #1179



SHEET TITLE

SOILS ANALYSIS MAP

SHEET

9.0

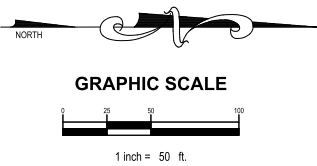


SOIL TYPES							
SYMBOL	SOIL NAME	DEPTH (inches)	ERODIBILITY	PERMEABILITY (inches/hour)	TEXTURE	SLOPE	ERO-FAC- K
CA	CARECAY	0-8	MODERATE	0.6-2.0	SILT LOAM	0-2%	0.37 5
CeB	CECIL	0-8	MODERATE	0.6-2.0	SANDY LOAM	2-6%	0.20 5
C/C	CECIL	0-8	MODERATE	0.6-2.0	URBAN COMPLEX	2-10%	0.20 5
PFC	PACOLET	0-5	MODERATE	0.6-2.0	SANDY LOAM	2-10%	0.17 5
PD	PACOLET	0-5	MODERATE	0.6-2.0	SOAM LOAM	10-15%	0.17 5
PgC2	PACOLET	0-5	MODERATE	0.6-2.0	SANDY CLAY LOAM	2-10%	0.17 5
P/E	PACOLET	0-5	MODERATE	0.6-2.0	URBAN COMPLEX	10-25%	0.17 5

NOTE:
SOIL INFORMATION WAS OBTAINED FROM THE USDA'S NRCS WEB SOIL SURVEY WEB PAGE.

NOTES:

- SURVEY OR PLAT OF THE LOT WAS NOT AVAILABLE. PLAT REPRESENTED IN THE DRAWING IS NOT A SURVEY. IT IS ONLY AN APPROXIMATION OF THE LOT DIMENSIONS. POSITION OF SOIL SAMPLING POINTS GEO-REFERENCED USING POINTS SHOWN IN THE AERIAL PHOTOGRAPH NET ACTUAL PROPERTY CORNERS. THIS DRAWING IS FOR THE PURPOSE OF SHOWING THE APPROXIMATE LOCATION OF SOIL SAMPLING POINTS WITHIN THE PROJECT SITE AND SOIL BOUNDARIES IN RELATION TO THE SAMPLING POINTS.
- TOPOGRAPHIC INFORMATION SHOULD BE CONSIDERED APPROXIMATE.
 - SOIL BOUNDARY LINES SHOULD BE CONSIDERED TRANSITIONAL ZONES BETWEEN DIFFERENT SOIL CONDITIONS OR SERIES RATHER THAN AN EXACT BOUNDARY.
 - SYSTEM INSTALLATION SHOULD NOT OCCUR UNDER SATURATED OR WET SOIL CONDITIONS
 - ABSORPTION FIELDS SHOULD NOT BE INSTALLED ON CONCAVE SLOPES.
 - SURFACE DRAINAGE SHOULD BE DIVERTED AWAY FROM ABSORPTION FIELD LINES.
 - GUTTER DOWNSPOUTS SHOULD BE DISCHARGED AWAY FROM THE VICINITY OF THE ON SITE WASTEWATER SYSTEM.
 - ESTIMATED PERCOLATION RATES ARE BASED ON FULL-SIZED SYSTEM PERFORMANCE. HOWEVER, NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE PERFORMANCE OF ANY PARTICULAR SYSTEM INSTALLED.

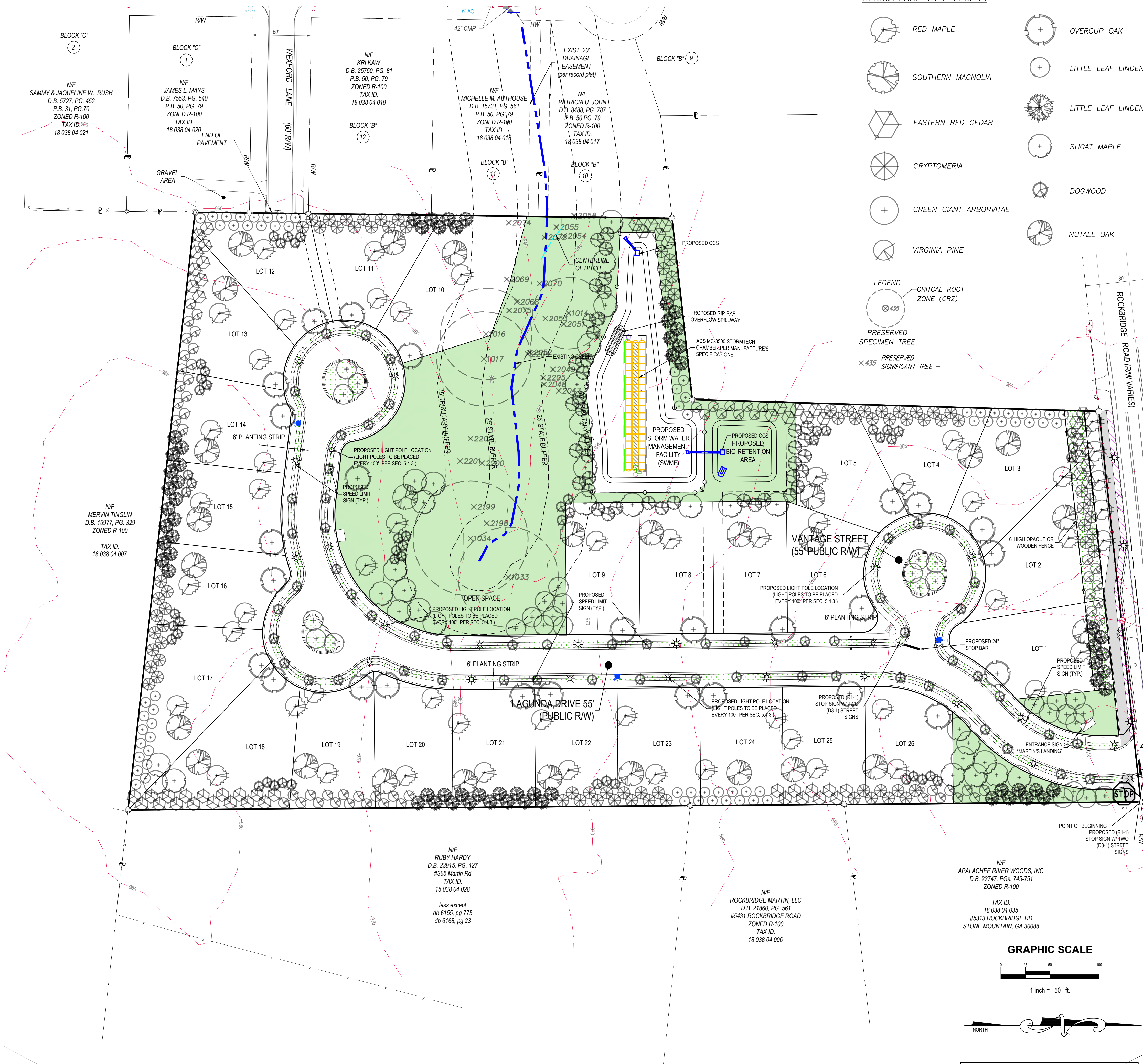


LEGEND	
DB	DEED BOOK
PL	PLAT BOOK
PG	PAGE
LD	LAND LOT
OT	OPEN TOP NOTE
RS	REBAR
IP	IRON PIN SET
IR	1/2" REBAR W/ LSF 00179
CP	CRIMP TOP PIPE
CU	CURB & GUTTER
CG	RIGHT OF WAY
OW	NOW OR FORMERLY
NF	OVERHEAD POWER LINE
NE	CORRUGATED METAL PIPE
SM	STORMWATER MANAGEMENT FACILITY
TM	TEMPORARY BENCHMARK
PC	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
RC	REINFORCED CONCRETE PIPE
DU	DUCTILE IRON PIPE
PV	POLYVINYL CHLORIDE PIPE
HVC	HIGH DENSITY POLYETHYLENE PIPE
E	PROPERTY LINE
C	CENTERLINE
ID	IDENTIFICATION
B.S.C.	BUILDING SETBACK LINE
BC	BACK OF CURBLINE
CP	CURB LABEL
CI	CURB INLET
DI	DRAINAGE EASEMENT
OE	EDGE OF PAVEMENT
FI	FIRE HYDRANT
LI	LINE LABEL
NF	NOW OR FORMERLY
PK	PK NAIL SET
US	SANITARY SEWER EASEMENT
UT	UTILITY EASEMENT
REF	REFERENCE
CS	SEWER CLEAN OUT
FO	SQUARE FOOT
FT	FEET
OT	IRON PIN SET
IP	IRON PIN SET
CA	CALCULATED POINT
PO	POWER POLE (P)
FI	FIRE HYDRANT (H)
WD	WATER VALVE (WV)
WV	WATER VALVE (WV)
JU	JUNCTION BOX (JB)
SM	SANITARY SEWER MANHOLE (SSMH)
DI	DROP INLET (DI)
RI	RIVETED GATCH BASIN
WG	SINGLE WING GATCH BASIN
DB	DOUBLE WING GATCH BASIN
CU	CURB INLET
HE	HEADWALL (HW)
FL	FLARED END SECTION
LI	LIGHT POST (LP)
YI	YARD INLET
CS	SEWER CLEAN OUT

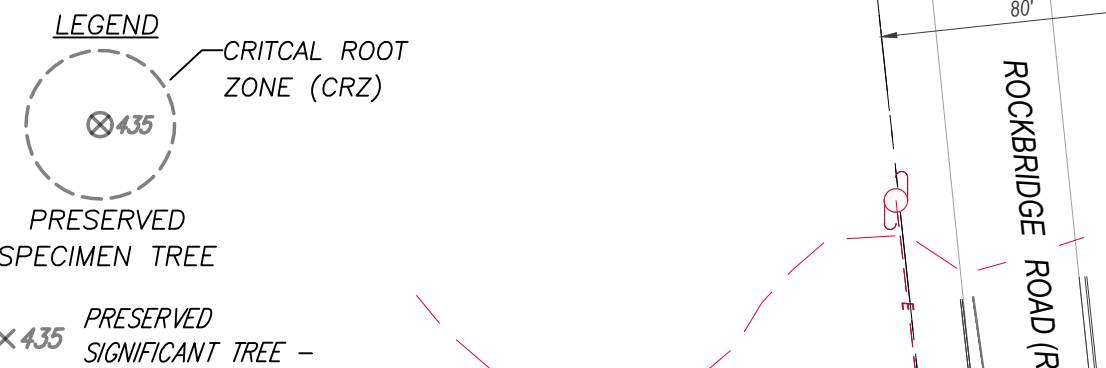
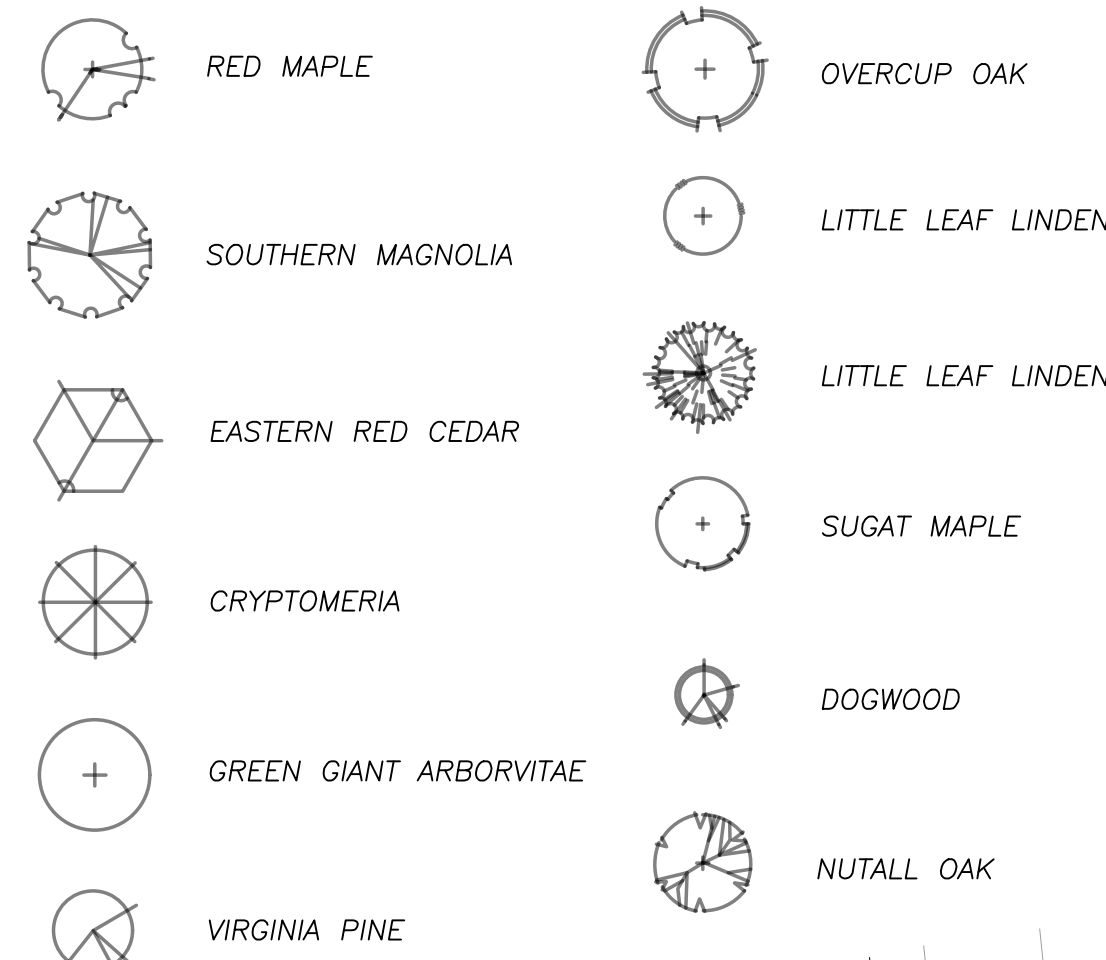
**PRELIMINARY PLAT
NOT FOR CONSTRUCTION**

C:\A3715.0002\Engineering\Primary\A3715.0002-PP SHEETS-9-25-23.dwg, LANDSCAPE, dlmone, Nov 01, 2023, 4:47:59pm

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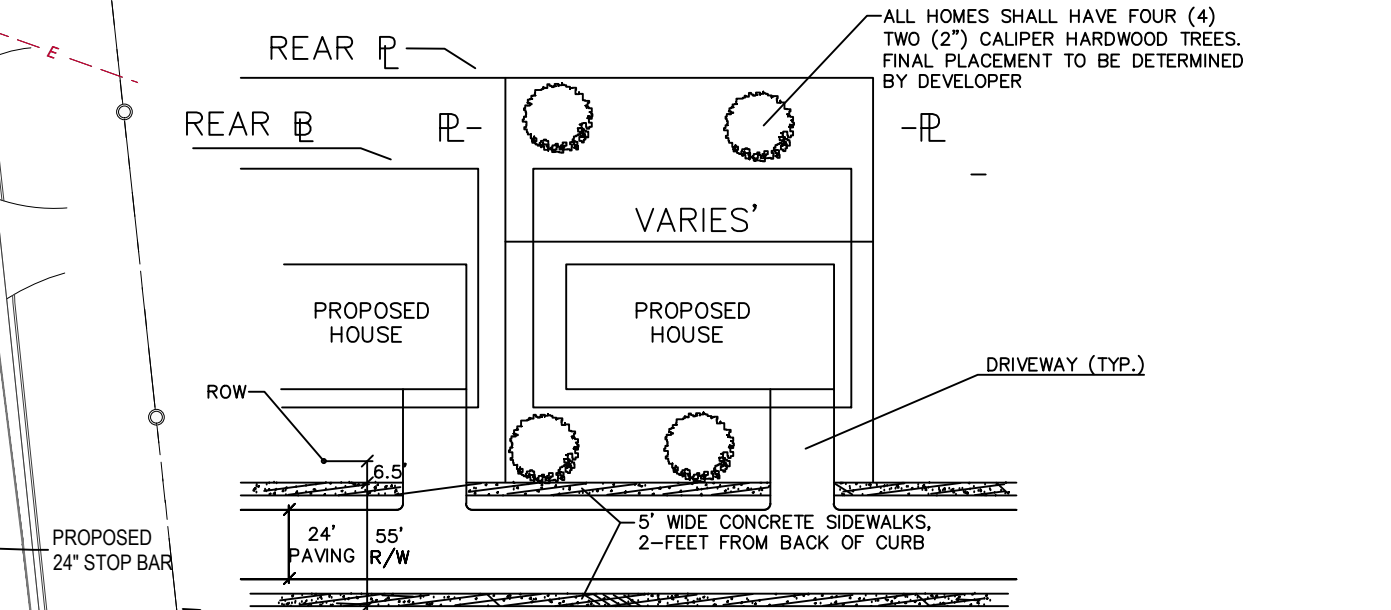
RECOMPENSE TREE LEGEND



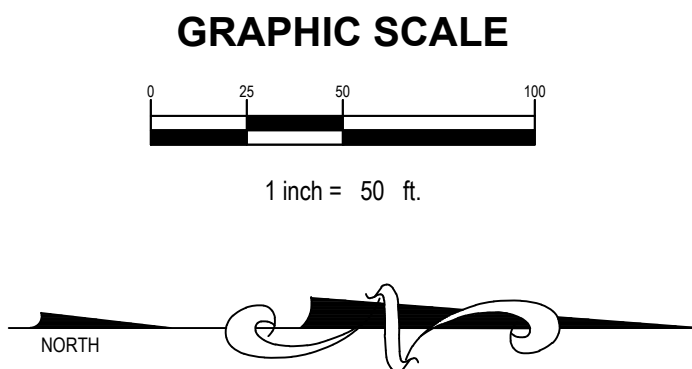
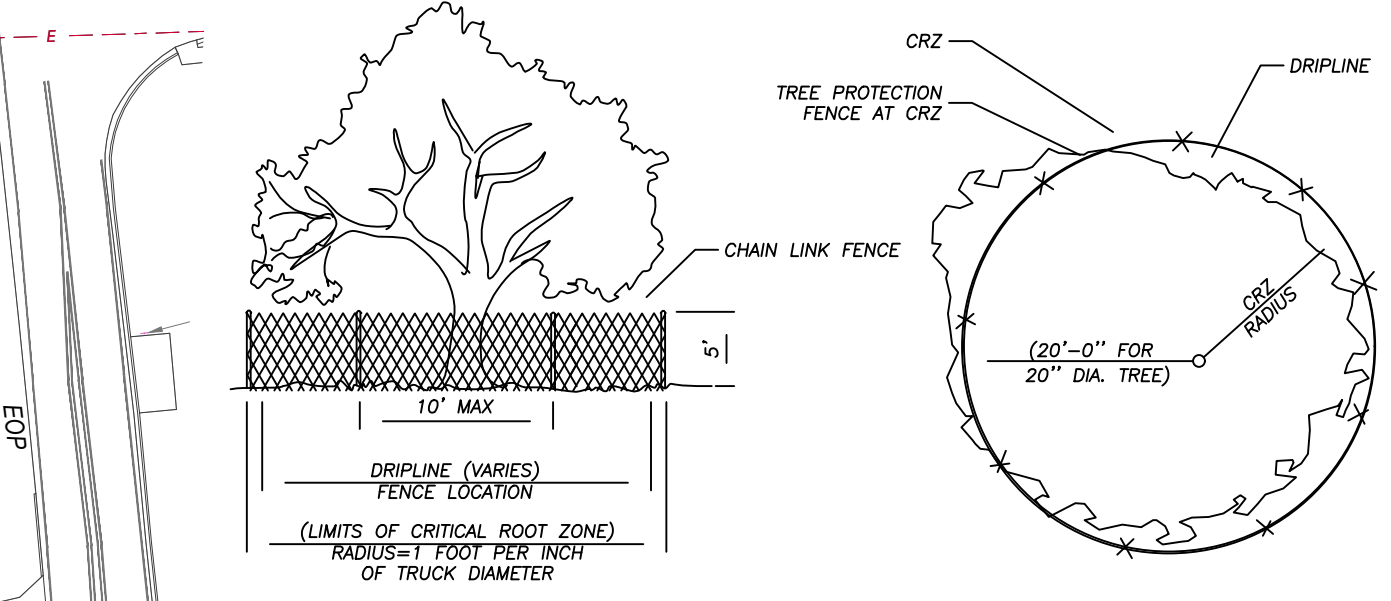
TREE CALCULATIONS

- TREE DENSITY CALCULATIONS:**
DISTURBED ACREAGE: 11.47 ACRES
11.47 - STREAM BUFFER (1.48) = 9.99 ACRES
TREE DENSITY UNITS (TDU) PER ACRE REQUIRED:
15 TDU'S X 9.99 ACRES = 149.85 TDU'S REQUIRED
 - EXISTING SITE CREDITS**
TREE UNITS KEPT (TREES SAVE AREAS 1) = 169.22
169.22 SAVED UNITS - 149.85 UNITS REQUIRED = 19.37 EXCESS UNITS
 - **SITE DENSITY SATISFIED****
 - SPECIMEN TREE CALCULATIONS**
TREE INCHES REMOVED (SPECIMEN) = 754"
TREE INCHES SAVED = 0"
754" NEEDED
754 x 1.5 = 1,131" NEEDED.
1,131" / 2" TREES = 565 (2" CAL) TREES NEEDED.
518 (2" CAL) TREES PROVIDED.
 - SIGNIFICANT TREE CALCULATIONS**
120" PER ACRE REQUIRED.
11.47 ACRES X 120" = 1,376.40" REQUIRED
A. 1,036" PROVIDED IN RECOMPENSE PLANTINGS
B. 169.22 UNITS PROVIDED IN TREE SAVE AREAS
169.33/8 (WHERE A 2" TREE = .8 UNITS) = 211.66 X 2" = 423.32
1,036" + 423.32" + 34" = 1,459.32" PROVIDED
SIGNIFICANT TREE REQUIREMENT MET
- ** A TOTAL OF 565 (2" CAL.) TREES ARE NEEDED TO SATISFY ABOVE REQUIREMENTS (#2)****
- SPECIMEN AND RECOMPENSE OF 536-2" TREES PROVIDED**
- ADDITIONAL 283 2-INCH TREES NEEDED TO SATISFY SIGNIFICANT TREE REQUIREMENTS TO BE MET WITH ALTERNATIVE COMPLIANCE.**
- AREA 1 - TREE SAVE CALCULATIONS**
TOTAL TREE SAVE AREA PROPOSED = 0.86 ACRES
1 PLOT (50'X50'EACH) ASSESSED TO CALCULATE THE TREE SAVE AREA.
TOTAL PLOTTED AREA = 2500 S.F. = 1/17 ACRE
- TOTAL TREES ASSESSED = 18 TREES
- AVERAGE DBH OF ALL TREES ASSESSED = 13" DBH
- BASAL AREA (SQUARE FEET) PER 13" TREE = 0.9217 BA/TREE (FT²)
BASAL AREA (SQUARE FEET) PER ACRE = 18 TREES X .9217 X 17 = 282.04
(WHERE 17 TIMES 1/17 ACRE (TOTAL PLOTTED AREA IS 1 ACRE))
TREES PER ACRE BY BASAL AREA AND AVERAGE DBH = 282.04 TREES
- UNITS IN TREE SAVE AREA = 282.04 X 4.0 UNITS X 0.15 ACRES = 169.22
169.22 UNITS SAVED

DEKALB COUNTY PLANTING NOTE
A TREE PROTECTION PLAN ADDENDUM FOR THIS PROJECT SHALL BE SUBMITTED TO THE COUNTY ARBORIST AT LEAST THIRTY (30) DAYS PRIOR TO REQUESTING A FINAL INSPECTION. THIS PLAN SHALL INCLUDE SPECIES, SIZE AND LOCATION OF TREES TO BE PLANTED OFF-SITE TO MEET THE DENSITY DEFICIT SHOWN. ISSUANCE OF A CERTIFICATE OF OCCUPANCY IS SUBJECT TO APPROVAL OF THIS PLAN, AS WELL AS VERIFICATIONS OF THE INSTALLATION OF THE TREES.



TYPICAL LOT LANDSCAPING
N.T.S.



PRELIMINARY PLAT
NOT FOR CONSTRUCTION

1
LS2.0
TREE PROTECTION FENCE DETAIL (CHAIN-LINK)
SCALE: NOT TO SCALE

Moore Bass Consulting, Inc.

- Civil Engineering
- Land Surveying
- Development Consulting
- Landscape Architecture
- Environmental Permitting

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TALLAHASSEE • ATLANTA

1350 Keys Ferry Court
McDonough, GA 30253
770.914.9394

PROJECT NAME
#5277 ROCKBRIDGE ROAD
DEKALB COUNTY, GEORGIA
TAX PARCEL ID 18 038 04 003

CLIENT NAME
BUILDERS PROFESSIONAL GROUP, LLC
160 WHITNEY STREET
FAYETTEVILLE, GEORGIA 30214

REVISIONS	DATE	CONTRACT #	DRAWN BY
09-15-22 REVISED PER COUNTY COMMENTS	09/09/22	A3715.0002	JC/DJS
01-11-23 REVISED PER COUNTY COMMENTS			
04-14-23 REVISED PER COUNTY COMMENTS			
06-21-23 REVISED PER COUNTY COMMENTS			
08-22-23 REVISED PER COUNTY COMMENTS			
11-01-23 REVISED PER COUNTY COMMENTS			

A3715.0002-PP SHEETS-9-25-23

The Drawings, Specifications and other documents prepared by Moore Bass Consulting, Inc. (MBC) for this Project are instruments of MBC for use solely with respect to this Project and, unless otherwise provided, MBC shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.

1350 KEYS FERRY COURT
MCDONOUGH, GA 30253
770.914.9394

SHEET TITLE
LANDSCAPE AND TREE PROTECTION PLAN

SHEET
LS2.0

Specimen Trees						
Point #	Tag #	DBH	Species	Notes	Northing	Easting
1000	895	30	Oak		2293124	1378722
1001	823	30	Oak		2293117	1378668
1002	897	32	Oak		2293134	1378717
1003	899	35	Oak		2293140	1378687
1004	834	31	Oak		2292965	1378582
1005	37	37	Oak	Split below 3'	2293005	1378528
1006	810	37	Poplar	Split	2292950	1378471
1007	816	30	Oak		2292947	1378467
1008	811	31	Poplar		2292929	1378368
1009	865	37	Poplar	Split	2293112	1378458
1010	864	30	Poplar		2293160	1378435
1011	866	30	Oak	Split	2293056	1378294
1012	818	37	Poplar		2292965	1378192
1013	870	37	Poplar		2292928	1378196
1014	880	31	Pine	DDH	2292835	1378184
1015	819	31	Poplar		2292748	1378184
1016	838	31	Poplar		2292856	1378100
1017	809	32	Oak		2292881	1378098
1018	853	34	Poplar		2292810	1378044
1019	846	41	Poplar		2292745	1378020
1020	843	34	Poplar	DDH Split	2292757	1378015
1021	856	33	Oak		2292759	1377932
1022	842	36	Poplar		2292769	1377887
1023	852	34	Poplar		2292843	1377967
1024	850	47	Poplar	Hazardous	2293062	1377946
1025	827	37	Poplar	Hazardous	2293103	1377958
1026	861	31	Poplar		2293172	1377971
1027	840	55	Poplar	Dead	2293320	1377972
1028	826	31	Poplar		2293368	1377971
1029	883	46	Poplar	Hazardous	2293143	1377900
1030	833	46	Poplar	Hazardous	2293009	1377898
1031	822	32	Poplar		2292849	1377895
1032	812	46	Poplar	Hazardous	2292830	1377785
1033	831	34	Sweetgum		2293104	1378123
1034	884	39	White Oak	Hazardous	2293064	1378084
1035	804	30	Poplar		2292938	1378039
1036	832	31	Poplar	DDH	2292880	1378018
1037	877	32	Red Oak		2293105	1378256
1038	893	36	Poplar	Vines	2293130	1378317
1039	851	34	Ash	Multi, DDH	2293232	1378522

 Specimen Tree in Dead, Diseased or Hazardous Condition

Point #	DBH	Species	Notes	Northing	Easting
2000	27	Oak		2293136	1378668
2001	22	Oak		2293080	1378649
2002	22	Oak		2293065	1378672
2003	20	Hickory		2293136	1378706
2004	24	Hickory		2293071	1378606
2005	21	Oak		2293084	1378606
2006	20	Oak		2293101	1378630
2007	18	Oak		2293065	1378719
2008	23	Oak		2293015	1378702
2009	25	Oak DDH		2292942	1378684
2010	22	Poplar		2292933	1378705
2011	24	Hickory		2292997	1378632
2012	20	Oak		2293023	1378651
2013	21	Oak		2292973	1378618
2014	18	Oak		2292968	1378617
2015	26	Oak		2292943	1378561
2016	23	Oak		2292960	1378533
2017	19	Oak		2292955	1378523
2018	20	Poplar		2292987	1378559
2019	20	Oak		2293009	1378575
2020	20	Oak		2293023	1378651
2021	26	Oak		2293046	1378574
2022	21	Hickory		2293068	1378544
2023	27	Oak		2293071	1378522
2024	22	Oak		2293025	1378449
2025	20	Pine		2293058	1378437
2026	20	Poplar		2293019	1378376
2027	23	Oak		2292982	1378390
2028	19	Pine		2292962	1378398
2029	21	Pine		2292984	1378360
2030	19	Pine		2293006	1378364
2031	20	Poplar		2293011	1378378
2032	21	Pine		2293156	1378479
2033	22	Pine		2293082	1378368
2034	21	Oak		2293144	1378513
2035	27	Pine		2293035	1378320
2038	27	Oak		2293046	1378259
2039	27	Oak		2293013	1378270
2040	22	Oak		2292902	1378285
2041	22	Oak		2292933	1378270
2042	23	Poplar		2292891	1378292
2043	23	Pine		2292882	1378244
2044	26	Pine		2292906	1378241
2045	21	Oak		2292935	1378224
2046	21	Poplar		2293047	1378279
2047	28	Poplar		2292914	1378174
2048	23	Poplar		2292907	1378159
2049	20	Oak		2292892	1378168
2051	20	Pine		2292846	1378179
2052	22	Oak		2292875	1378145
2053	29	Poplar		2292840	1378160
2054	25	Poplar		2292756	1378180
2055	28	Poplar		2292747	1378172
2058	22	Poplar		2292736	1378190
2064	21	Pine		2292794	1378243
2065	19	Pine		2292784	1378227
2066	22	Pine		2292820	1378299
2067	26	Oak		2292835	1378277
2068	28	Beech split		2292749	1378256
2068-1	29	Poplar		2292823	1378131
2069	25	Poplar		2292800	1378121
2070	18	Poplar		2292805	1378155
2071	24	Poplar		2292861	1378281
2072	24	Poplar		2292758	1378160
2073	22	Pine		2292889	1378248
2074	23	Poplar		2292743	1378123
2075	27	Poplar		2292832	1378124
2076	21	Pine		2292792	1378280
2077	29	Poplar		2292783	1378080
2078	22	Pine		2292782	1378286
2079	19	Pine		2292746	1378292
2080	21	Oak		2292771	1378082
2081	25	Oak		2292803	1378081
2082	25	Poplar		2292821	1378077
2083	27	Oak		2292851	1378068
2084	26	Oak DDH		2292730	1377901
2085	26	Poplar		2292809	1377926
2086	19	Pine		2292755	1377988
2087	23	Oak		2292827	1377936

Point #	DBH	Species	Notes	Northing	Easting
2088	18	Poplar		2292826	1377939
2089	27	Oak - Split		2292862	1377944
2090	26	Red Oak		2292745	1377905
2091	22	Pine		2292769	1377871
2092	25	White Oak		2292759	1377875
2093	25	Poplar		2292806	1377926
2094	19	Poplar		2292813	1377925
2095	22	Poplar		2292827	1377937
2096	27	White Oak		2292869	1377946
2097	28	Poplar		2292911	1378011
2098	24	White Oak		2292931	1377989
2099	24	Sweetgum		2292957	1377981
2100	26	Poplar		2292978	1377961
2101	21	Poplar		2293044	1377968
2102	24	Poplar		2293085	1377981
2103	23	Red Oak		2293203	1378001
2104	26	Red Oak		2293188	1378016
2105	22	Poplar		2293246	1377987
2106	23	Poplar		2293258	1377988
2107	25	Red Oak		2293267	1378012
2108	25	Poplar		2293283	1378011
2109	26	Poplar		2293341	1377951
2110	20	Pine		2293272	1377895
2111	21	Pine		2293304	1377863
2112	20	Pine		2293326	1377835
2113	24	Pine		2293362	1377869
2114	20	Pine		2293236	1377930
2115	19	Poplar		2293227	1377937
2116	24	Pine		2293147	1377916
2117	20	Red Oak		2293036	1377922
2118	19	Sweetgum		2293032	1377896
2119	22	White Oak		2293054	1377880
2120	19	Pine		2292982	1377891
2121	24	Red Oak		2292860	1377857
2122	21	Red Oak		2292851	1377838
2123	21	Red Oak		2292818	1377838
2124	24	Red Oak		2292791	1377844
2125	18	Red Oak		2292772	1377842
2126	22	Pine		2292756	1377836
2127	23	White Oak		2292752	1377875
2128	24	Red Oak		2292748	1377899
2129	18	Sweetgum		2292742	1377830
2130	24	Red Oak		2292769	1377781
2131	18	Pine		2292809	1377794
2132	18	Pine		2292808	1377785
2133	18	Pine		2292941	1377805
2134	18	Pine		2292943	1377764
2135	24	Pine		2292988	1377801
2136	20	Pine		2293014	1377829
2137	18	Pine		2293013	1377841
2138	20	Pine		2293066	1377836
2139	18	Sweetgum		2293062	1377843
2140	18	Pine		2293073	1377827
2141	25	Red Oak		2293129	1377875
2142	18	Sweetgum		2293131	1377872
2143	18	Pine		2293195	1377866
2144	18	Pine		2293213	1377863
2145	18	Pine		2293252	1377854
2146	20	Pine		2293270	1377848
2147	18	Pine		2293274	1377863
2148	18	Pine		2293324	1377821
2149	21	Poplar		2293358	1377796
2150	18	Pine		2293358	1377824
2151	19	Pine		2293366	1377836
2152	19	Pine		2293284	1377826
2153	18	Pine		2293217	1377849
2154	21	Pine		2293225	1377819
2155	21	Pine		2293210	1377818
2156	20	Pine		2293172	1377836
2157	24	Red Oak		2293129	1377862
2158	21	Sweetgum		2293096	1377857
2159	18	Sweetgum		2293063	1377852
2160	18	Pine		2293063	1377845
2161	22	Pine		2293031	1377862
2162	19	Pine		2293018	1377848
2163	19	Pine		2292830	1377763
2164	26	Poplar		2292797	1377716
2165	26	White Oak		2292856	1377738
2166	18	Sweetgum		2292884	1377746
2167	23	Water Oak		2292897	1377744
2168	18	Water Oak		2292952	1377744
2169	18	Pine		2293026	1377767

Point #	DBH	Species	Notes	Northing	Easting
2170	18	Pine		2293055	1377789
2171	19	Red Oak		2293060	1377795
2172	18	Pine		2293122	1377787
2173	18	Pine		2293124	1377801
2174	18	Pine		2293161	1377764
2175	19	Pine		2293170	1377789
2176	18	Pine		2293179	1377793
2177	21	Pine		2293221	1377741
2178	23	Pine		2293242	1377748
2179	18	Pine		2293286	1377769
2180	22	Pine		2293307	1377758
2181	22	Pine		2293327	1377747
2182	28	White Oak		2293345	1378009
2183	21	Pine		2293337	1378035
2184	20	Sweetgum		2293337	1378051
2185	20	Pine		2293340	1378063
2186	24	Pine		2293325	1378078
2187	18	Pine		2293319	1378077
2188	24	Poplar		2293330	1378045
2189	19	Pine		2293273	1378064
2190	19	Pine		2293270	1378063
2191	18	Pine		2293243	1378071
2192	19	Pine		2293242	1378077
2193	18	Pine		2293232	1378061
2194	22	Poplar		2293211	1378082
2195	18	Pine		2293170	1378088
2196	23	Water Oak		2293166	1378099
2197	22	Poplar		2293159	1378120
2198	26	Poplar		2293049	1378101
2199	24	Poplar		2293032	1378088
2200	24	Poplar		2292988	1378096
2201	23	Poplar		2292985	1378074
2202	18	Sweetgum		2292963	1378084
2203	25	Poplar		2292908	1377999
2204	23	Poplar		2292876	1378143
2205	20	Poplar		2292900	1378158
2206	18	Poplar		2293040	1378204
2207	21	Ash		2293053	1378209
2208	18	Ash		2293072	1378213
2209	22	Red Oak		2293098	1378196
2210	24	Red Oak		2293115	1378201
2211	23	Poplar		2293161	1378206
2212	20	Poplar		2293177	1378148
2213	18	Poplar		2293182	1378153
2214	21	Poplar		2293270	1378155
2215	19	Pine		2293305	1378126
2216	21	Poplar		2293326	1378155
2217	20	Poplar		2293330	1378159
2218	23	Poplar		2293340	1378161
2219	18	Pine		2293358	1378136
2220	18	Pine		2293341	1378115
2221	18	Pine		2293339	1378113
2222	18	Pine		2293298	1378252
2223	20	Pine		2293185	1378242
2224	21	Pine		2293098	1378290
2225	18	Pine		2293150	1378338
2226	27	Red Oak		2293125	1378351
2227	18	Pine		2293188	1378394
2228	18	Pine		2293207	1378371
2229	18	Pine		2293227	1378390
2230	18	Pine		2293234	1378402
2231	18	Pine		2293246	1378398
2232	18	Pine		2293254	1378395
2233	20	Pine		2293273	1378380
2234	23	Pine		2293305	1378396
2235	22	Pine		2293315	1378408
2236	24	Poplar		2293319	1378464
2237	24	Pine		2293307	1378486
2238	18	Poplar		2293269	1378482
2239	23	Poplar		2293258	1378497
2240	20	Poplar		2293286	1378526
2241	22	Ash		2293195	1378485
2242	18	Pine		2293184	1378476
2243	21	Red Oak		2293162	1378552
2244	20	Red Oak		2293203	1378574
2245	19	Poplar		2293194	1378587
2246	22	Red Oak		2293167	1378573
2247	21	Red Oak		2293175	1378593
2248	25	Red Oak		2293165	1378604
2249	18	Pine		2293154	1378594
2250	21	Ash		2293144	1378560
2251	18	Ash		2293106	1378594

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

SUBDIVISION SKETCH PLAT APPLICATION

Application fee: \$300.00 and 10.00 per lot.

All applications must be accompanied by eighteen (18) **folded** copies of the sketch plat.

(All plans must be folded)

PLEASE PRINT ALL INFORMATION

PROJECT NAME Martin's Landing

PROJECT LOCATION 5277 Rockbridge Road SW PARCEL ID NO.: 18 038 04 003

PROPOSED USE Residential - Single Family Detached Dwellings

DATE OF SKETCH PLAT CONFERENCE _____

SITE ACREAGE 11.47 Acres # LOTS 27 # UNITS N/A SEWER X SEPTIC TANK N/A

PROPERTY OWNER Joe and Liezl Martin PHONE 404-414-7315

ADDRESS 3793 Lamar Way

CITY Snellville STATE GA ZIP 30039

AGENT AUTHORIZED TO RECEIVE ALL NOTIFICATIONS Moore Bass Consulting, Inc. / Shay Sakvongkhamhane

ADDRESS 1350 Keys Ferry Court PHONE 770-914-9394

CITY McDonough STATE Georgia ZIP 30253

DEVELOPER Builders Professional Group, LLC PHONE 404-557-5726

ADDRESS 160 Whitney Street

CITY Fayetteville STATE GA ZIP 30214

ENGINEER/ARCH Moore Bass Consulting, Inc. / Jennifer Christman PHONE 770-914-9394

ADDRESS 1350 Keys Ferry Court PHONE 770-914-9394

CITY McDonough STATE Georgia ZIP 30253

APPLICANT

COMPANY Builders Professional Group, LLC PHONE 404-557-5726

ADDRESS 160 Whitney Street, Fayetteville, GA 30214

SIGNATURE OF APPLICANT Scott Knight DATE 09/15/2022

SKETCH PLAT



Fairfax County

A change is being proposed for this site.

Case Number: N1. #P-Plat 1246082

Existing Zoning: R-75

Site Location: 5277 Rockbridge Road

Purpose: To subdivide approximately 12.04 acres to construct up to 26 single-family detached dwellings.

CONTACT US
954.372.2154
www.fairfaxcounty.gov/planning
info@fairfaxcounty.gov

Planning Commission Sketch Plat Meeting

Date: 01/24/2024 Time: 6:00pm
Zoom ID: <https://fairfaxcountyva.zoom.us/j/98330446636>
Phone: (855) 276-0836
Code: 983303

