



Michael L. Thurmond

Chief Executive Officer

## DeKalb County Zoning Board of Appeals

Department of Planning & Sustainability  
178 Sams Street,  
Decatur, GA 30030

Wednesday, January 10, 2024, at 1:00 PM

### Planning Department Staff Analysis



Cedric Hudson

Interim Director

**N2. Case No: A-23-1246776 Parcel ID(s): 16 253 01 067**

#### **Commission District 05 Super District 07**

**Applicant:** Bellareed Luxury Pools  
6040 Northbelt Drive.  
Norcross, GA 30071

**Owner:** Mindvia Sales – Tinsley  
1470 Anderson Valley Drive.  
Snellville, GA 30039

**Project Name:** 1470 Anderson Valley Drive – Swimming Pool

**Location:** 1470 Anderson Valley Drive, Snellville, GA 30039

**Request:** Variance from Section 27-4.2.2.(C) to construct swimming pool in side yard instead of the rear yard.

**Staff Recommendation:** Approval with condition

**Condition:** The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.

## **STAFF FINDINGS:**

### **Variance Analysis:**

This application submitted by Bellareed Pools is seeking a variance from Section 27-4.2.2(C) in order to construct a swimming pool in the side yard of a corner lot parcel of a single-family residential home.

**1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.**

The fixed orientation of the house and the slim rear yard, measuring about 35 feet, may present extraordinary physical conditions. These conditions are clearly demonstrable and would result in a deprivation of rights and privileges enjoyed by other property owners in the same zoning district.

**2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:**

The requested variance does not exceed the minimum necessary to afford relief to Bellareed Pools. Specifically, the variance pertains to allowing a pool within a side yard, instead of the rear yard. The variance request does not constitute a grant of special privilege inconsistent with the limitations imposed on other properties in the R-75 zoning district.

**3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:**

Granting the variance is not expected to be materially detrimental to the public welfare or injurious to the property or improvements in the R-75 zoning district. The proposed construction of a swimming pool is framed as an aesthetic and functional improvement to the property. Given the physical orientation of the house and garage, it is expected that visibility from common areas including the roads and sidewalks would be minimal if built in the side yard. Development is not anticipated to have adverse effects on neighbors at this location. A letter of support received from a neighboring property owner was received.

**4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:**

The literal interpretation and strict application of the applicable provisions in Section 27-4.2.2(C) would not cause undue and unnecessary hardship for Bellareed Pools. The information provided indicates that a pool could be built in the rear yard. While the applicant may face challenges in achieving a preferred aesthetic or functional design in the rear yard, it does not constitute an undue and unnecessary hardship. The criterion for demonstrating such hardship appears unmet in this case, as alternatives for pool construction are feasible within the existing regulations.

**5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:**

The requested variance is consistent with the spirit and purpose of the DeKalb County Comprehensive Plan. The proposed addition of a swimming pool aligns with the suburban character described in the plan, providing an amenity that contributes to the overall livability of the property. The plan's emphasis on preserving and enhancing existing greenspace is not contradicted by the proposed variance, as the pool construction is confined to a specific area. Therefore, the requested variance aligns with the broader goals outlined in the DeKalb County Comprehensive Plan for suburban land use.

**FINAL STAFF ANALYSIS:**

The extraordinary physical conditions of a fixed house orientation and a slim rear yard, not created by the current owner or applicant, justify the need for relief to avoid a deprivation of rights compared to other property owners in the same zoning district. Relief is minimal and does not grant a special privilege inconsistent with zoning limitations. The grant of the variance is not anticipated to be materially detrimental to the public welfare, as it is supported by a letter from a neighbor and promises an aesthetic and functional improvement to the property. While the literal interpretation of the zoning regulations may not cause undue hardship, the proposed variance aligns with the spirit and purpose of the DeKalb County Comprehensive Plan for suburban land use. Therefore, staff recommends approval with standard condition.

**Staff Recommendation:** Approval with condition

**Condition:** The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.



DeKalb County Department of Planning & Sustainability

Hon. Michael Thurmond  
Chief Executive Officer

Andrew Baker, AICP,  
Director

**ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING  
(VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)**

BOA No. \_\_\_\_\_

Applicant and/or Authorized Representative Bellareed Luxury Pools

Mailing Address: 6040 Northbelt Dr

City/State/Zip Code: Norcross, Ga 30071

Email: Permits@bellareed.com

Telephone Home: \_\_\_\_\_ Business: 678-818-2368

**OWNER OF RECORD OF SUBJECT PROPERTY**

Owner: Mindviah Sales -Tinsley

Address (Mailing): 1470 Anderson Valley Dr

Email: \_\_\_\_\_

Telephone Home: \_\_\_\_\_ Business: \_\_\_\_\_

**ADDRESS/LOCATION OF SUBJECT PROPERTY**

Address: 1470 Anderson Valley Dr City: Snellville State: ga Zip: 30039

District(s): 16 Land Lot(s): 253 Block: 01 Parcel: 16-253-01-067

Zoning Classification: R -85 Commission District & Super District: 5 - 7

**CIRCLE TYPE OF HEARING REQUESTED:**

- VARIANCE (From Development Standards causing undue hardship upon owners of property.)
- SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
- OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

**\* PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS. \***

**TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT:**

Date Received: \_\_\_\_\_

Fee Paid: \_\_\_\_\_

**ZONING BOARD OF APPEALS APPLICATION**

**AUTHORIZATION TO REPRESENT THE PROPERTY OWNER**

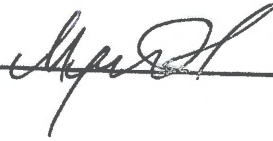
I hereby authorize the staff and members of the Zoning Board of Appeals  
to inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the  
Zoning Board of Appeals for the requests as shown in this application.

DATE: 9/25/23

Applicant/Agent:  
Signature



TO WHOM IT MAY CONCERN:

(I/ (WE) Myroniah Sales-Yinsky  
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to:



Notary Public

Notary Public

Notary Public

Owner

Owner

Owner

To Whom it may concern.

For the property located at 1470 Anderson Valley Dr. Snellville, Ga 30039. We would like to build a pool. The property is located on a corner lot. The way the house is positioned leaves us only one option in where to put the pool. The neighbor directly across the street has a pool. We do have letters from the homeowners neighboring the property. Both in which have no objection. As putting a pool will increase the property value.

The house front is on the side and does not face the legal front. We are asking for a minimal increase of the setback of the legal side.

Amabel  
Cristin Amabel  
Bellared Luxury Pools

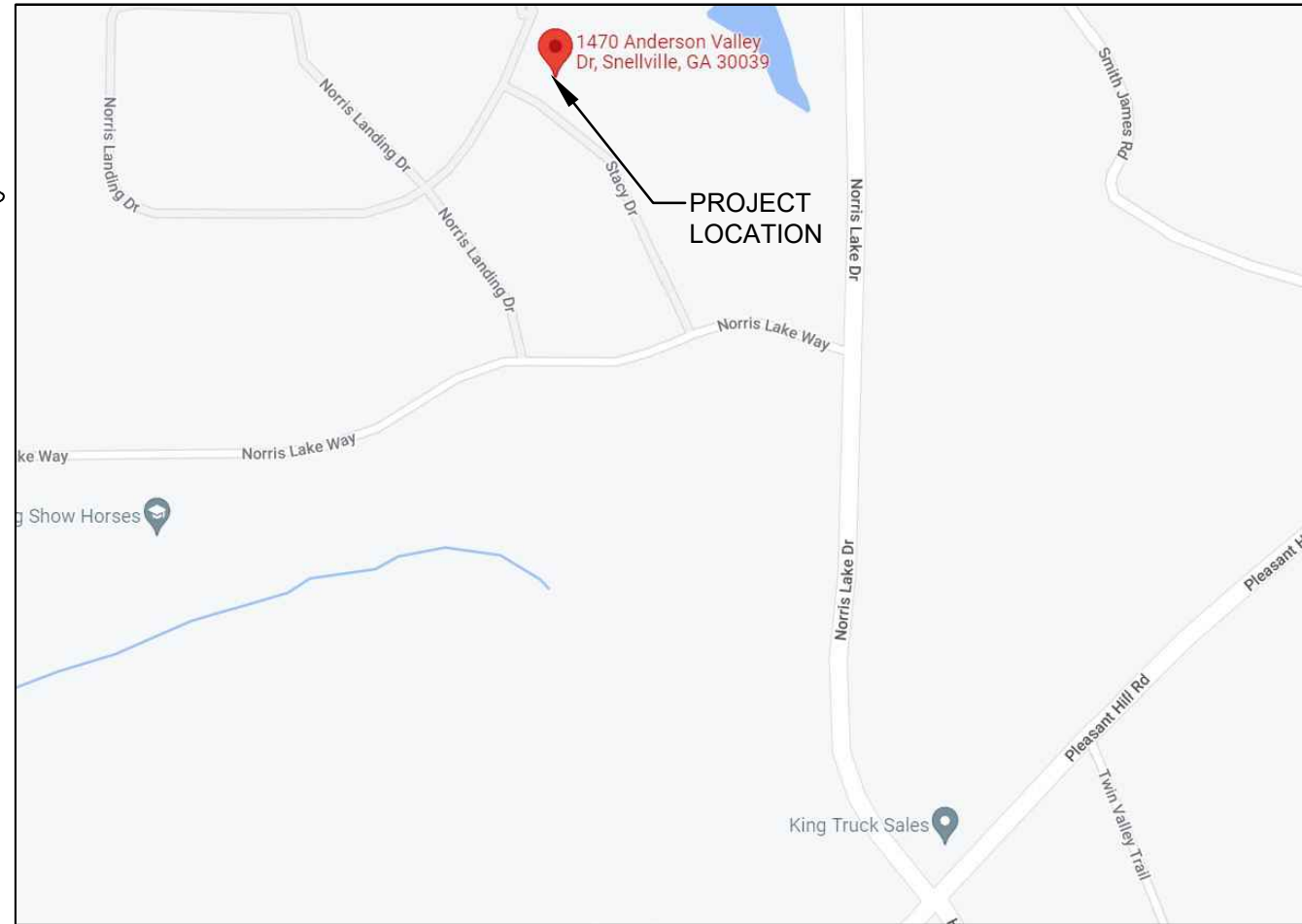
**To Whom it May Concern:**

**I am the neighbor across the street from Mira and Joe. We support them having a pool because we currently own the only pool in the neighborhood.**

**Sincerely,**

**Jerry & Mary**





LOCATION MAP

# SITE PLAN FOR POOL THE SALES-TINSLEY POOL PROJECT 1470 ANDERSON VALLEY DRIVE SNELLVILLE, GA 30039

LOCATED IN:  
LOT: 9  
ALEXANDER VALLEY ESTATES S/D  
LAND LOT: 253  
DISTRICT: 16TH  
DEKALB COUNTY, GEORGIA

## CODE COMPLIANCE:

THE CURRENT MANDATORY CODES AS ADOPTED BY DCA

RESIDENTIAL BUILDING CODES: EFFECTIVE JANUARY 1, 2015  
THE FOLLOWING WILL BE THE STATE OF GEORGIA'S  
MINIMUM STANDARD CONSTRUCTION CODES:

INTERNATIONAL BUILDING CODE 2018 EDITION, WITH  
GEORGIA AMENDMENTS (2020)

INTERNATIONAL RESIDENTIAL CODE 2018 EDITION, WITH  
GEORGIA AMENDMENTS (2020)

INTERNATIONAL FIRE CODE 2018 EDITION, WITH GEORGIA  
AMENDMENTS

INTERNATIONAL PLUMBING CODE 2018 EDITION, WITH  
GEORGIA AMENDMENTS (2020)

INTERNATIONAL MECHANICAL CODE 2018 EDITION, WITH  
GEORGIA AMENDMENTS (2020)

INTERNATIONAL FUEL GAS CODE 2018 EDITION, WITH  
GEORGIA AMENDMENTS (2020)

INTERNATIONAL ELECTRICAL CODE 2020 EDITION, WITH  
NO GEORGIA AMENDMENTS (1/1/2018)

INTERNATIONAL ENERGY CODE 2015 EDITION, WITH  
GEORGIA SUPPLEMENTS & AMENDMENTS (2020)

2012 NFPA 101- LIFE SAFETY CODE WITH STATE  
AMENDMENTS (2013)

INTERNATIONAL SWIMMING POOL & SPA CODE 2018 EDITION,  
WITH GEORGIA AMENDMENTS (2020)

## PROJECT TEAM

CONTRACTOR:  
BELLAREED CONSTRUCTION & REMODELING  
6040 NORTHBELT DRIVE, SUITE F  
NORCROSS, GA 30071

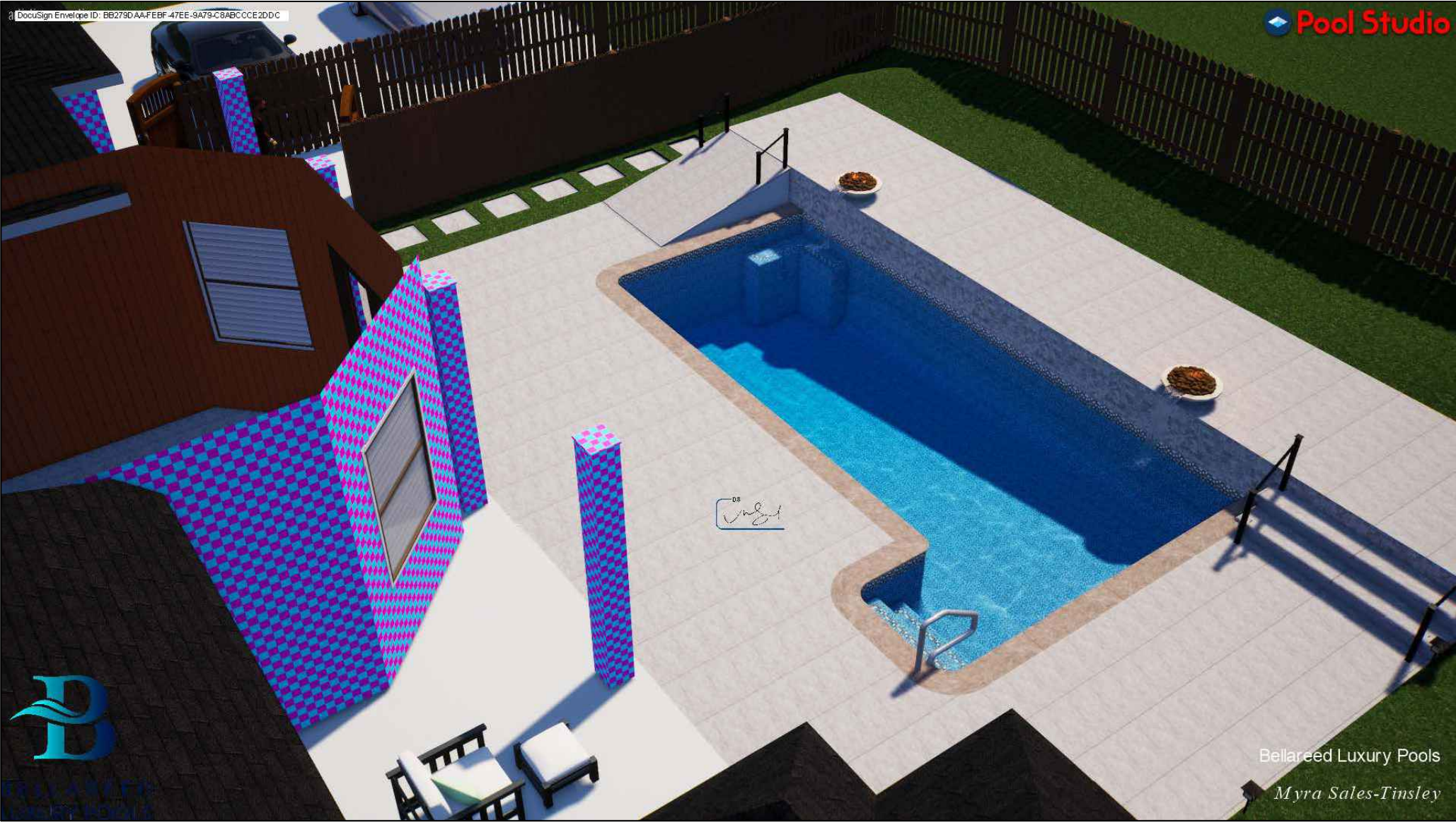
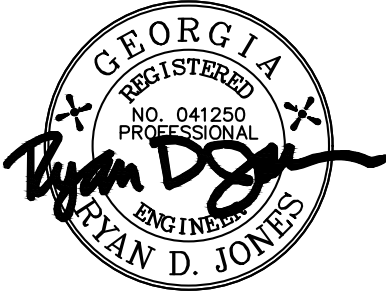
24 HOUR CONTACT:  
BRETT FUSSELL  
(770) 913-7886

OWNER OF RECORD:  
MYNDVIAH SALES-TINSLEY  
147 ANDERSON VALLEY DRIVE  
SNELLVILLE, GA 30039  
(706) 442-4191

SCOPE OF WORK  
28' X 16' POOL WITH  
STEPS, BENCHES, &  
NATURAL STONE PAVER DECKING,



72 HOURS OF NOTICE IS REQUIRED  
TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE  
ANY LAND DISTURBANCE ACTIVITIES CAN BEGIN.



## DRAWING INDEX:

SHEET	TITLE
C-1	COVER SHEET
C-2	POOL SITE PLAN
C-3	EROSION CONTROL NOTES & SYMBOLS
C-4	EROSION CONTROL DETAILS
C-5	EROSION CONTROL DETAILS
C-6	POOL DETAILS
C-7	POOL DETAILS

REVISIONS		
△	DATE	DESCRIPTION

LEGEND		

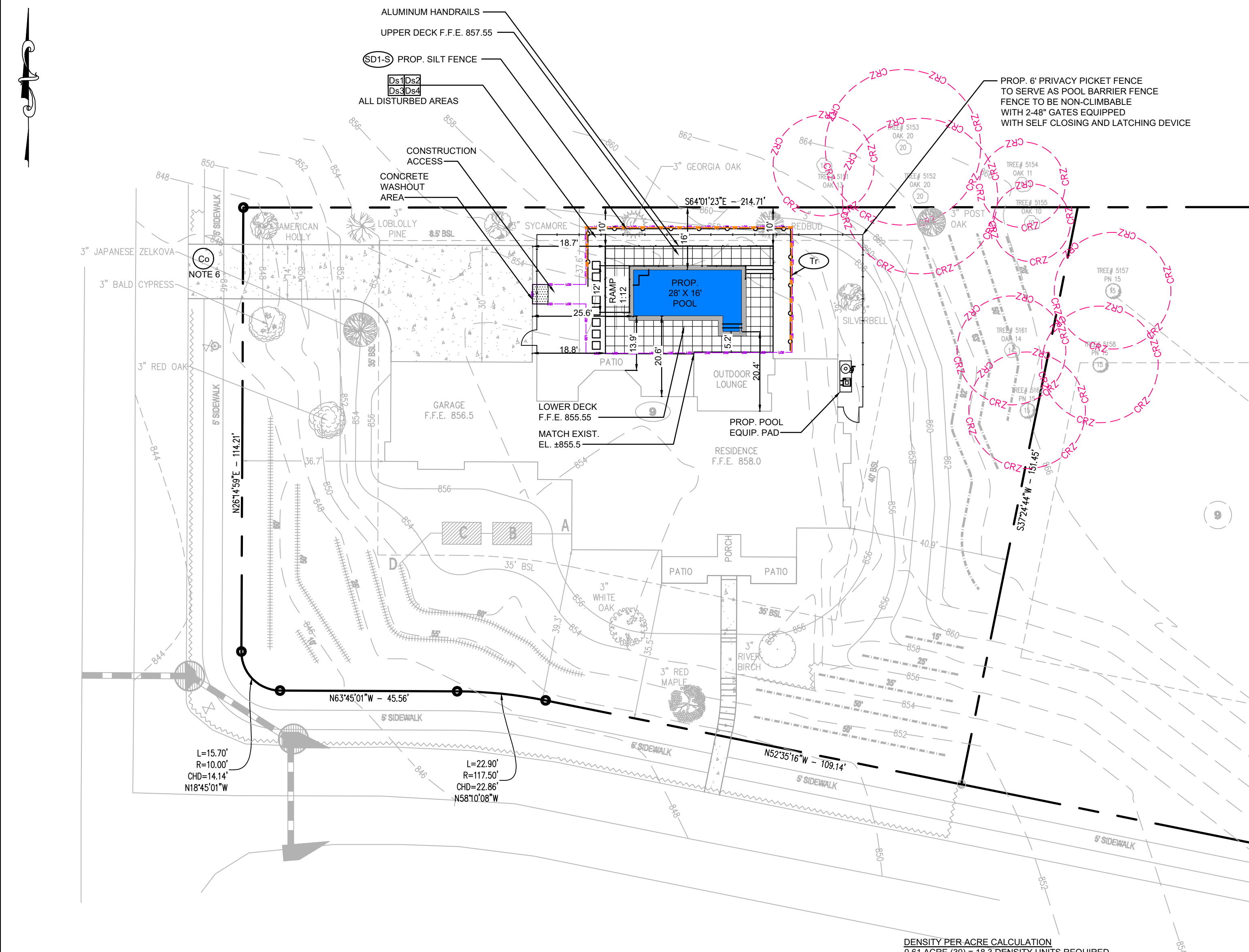
LEGEND		

 BELLAREED LUXURY POOLS 6040 Northbelt Drive, Suite F Norcross, GA 30071 Tel: (678) 367-3307 www.bellareed.com	DESIGNED BY: DRAWN BY: CHECKED BY: APPROVED BY: DATE: 12/19/2022 SCALE: NONE
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Myndviah Sales-Tinsley 147 Anderson Valley Drive Snellville, GA 30039	COVER SHEET
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DRAWING NO. <b>C-1</b> SHEET 1 OF 7
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- GENERAL NOTES**
- Gates not intended for pedestrian use shall be locked when the Pool is not in use.
  - For all cases where a building footprint penetrates through a Pool Fence perimeter, all doors and operable windows with a sill height lower than 48" on the building(s) which have direct access to the Pool area must be equipped with an alarm which produces an audible warning when the door or its screen or window is opened.  
The alarms must comply with UL2017.
  - The escape of sediment from the Site shall be prevented by the installation of Erosion and Sediment Control measures and practices prior to land disturbing activities.
  - Erosion and Sediment Control measures shall be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional Erosion and Sediment Control measures shall be implemented to control or treat the sediment source.
  - Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.
  - The existing driveway shall be used as a Construction Exit provided that all construction vehicles are confined to existing paved areas on Site. Any tracking of Dirt, Silt, Mud, etc. onto the street will result in an immediate 'Stop Work' Order. The 'Stop Work' Order will not be lifted until a Construction Exit is constructed in accordance with the current Detail."
  - All continuous fence footers/stringers located in tree's critical root zones will be built at or above existing grade. The only impact to the earth will be to dig posts.
  - No filter discharge point required and or provided.
  - Additional erosion control devices may be required based on the existing site conditions if deemed necessary by the on-site inspector.
  - No proposed water or sanitary sewer connections required for this contract, none shown.
  - Disturbed area due to pool construction will be graded to match existing slope down to existing elevation.  
Where the existing runoff leaves the site in a sheet flow condition, Runoff shall also leave the site in a sheet flow condition after development.
  - The subject property is not within 200' of waters of the State requiring State and City stream buffers.
  - Project site is located within a Master Development Plan - subdivision.
  - No trenching through Critical Root Zone. Hand-dig where silt fence (SD) crosses the Critical Root Zone of any tree. Root prune as needed according to ISA/ANSI professional standards.
  - No material or equipment to be within the critical root zone.
  - Landscaping to remain the same.
  - No outdoor lighting proposed.
  - All silt barriers and construction entrance pads must be place prior to any clearing and/or grading. No grading shall be done until silt barrier installation is complete.
  - All open drainage swales must be grassed, and rip-rap must be placed as required to control erosion. A minimum of 10 S.Y. of 40 lb. stone shall be placed at all headwalls or flumes.
  - No burial of construction material is permitted.
  - Mud is to be kept off the streets by construction and maintenance of driveway pad and removal of mud from the street when necessary.

**BUILDING SETBACKS:**

FRONT: 35'  
SIDE: 8.5'  
REAR: 40'

**ZONING:**

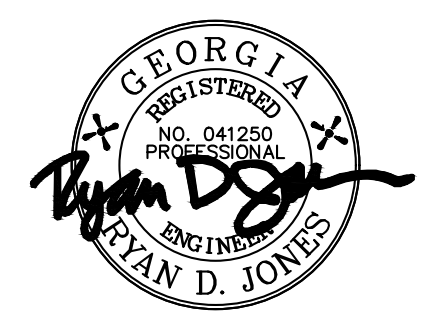
R-85

**IMPERVIOUS AREA**

EXIST. HOUSE	4,093	S.F.
EXIST. CONC. DRIVEWAY/TURNAROUND	1,655	S.F.
EXIST. OUTDOOR LOUNGE	300	S.F.
EXIST. LEAD WALK	166	S.F.
EXIST. REAR PATIO	368	S.F.
EXIST. FRONT PORCH	50	S.F.
PROP. STEPPING STONES	32	S.F.
PROP. POOL	352	S.F.
PROP. POOL EQUIP. PAD	24	S.F.
PROP. POOL DECK	736	S.F.
TOTAL	7,776	S.F.
LOT AREA:	26,649	S.F.
PERCENTAGE IMPERVIOUS:	29.17%	



72 HOURS OF NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY LAND DISTURBANCE ACTIVITIES CAN BEGIN.



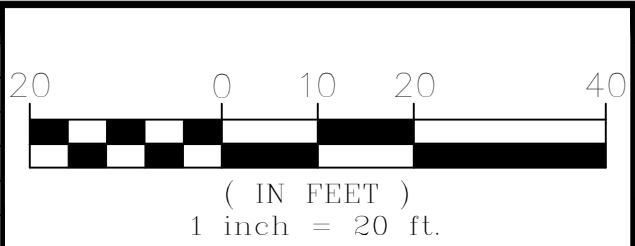
**DENSITY PER ACRE CALCULATION**  
0.61 ACRE (30) = 18.3 DENSITY UNITS REQUIRED  
NO TREES TO BE REMOVED  
EXISTING TREE DENSITY UNITS TO REMAIN = 18.5  
REQUIRED DENSITY UNITS = 18.3 < EXISTING TREE DENSITY UNITS OF 18.5

**SITE AREA:**  
= 26,649 SQ. FT. or 0.61 AC.

**FLOOD HAZARD NOTE**  
THIS PROPERTY IS LOCATED WITHIN A ZONE X AS DEFINED BY, GEORGIA F.I.R.M. COMMUNITY PANEL NUMBER 130065 & MAP NUMBER 13089C0181K FOR DEKALB COUNTY, GEORGIA, DATED 12/08/2016

ALUMINUM HANDRAILS AT ELEVATED DECK, RAMP AND STEPS
NO TREES TO BE REMOVED
TOTAL LIMITS OF DISTURBANCE = 1,790 S.F. (0.04 ACRE)
ALL CONSTRUCTION MATERIAL TO BE COVERED WITH PLASTIC SHEETING WHEN THERE IS NO CONSTRUCTION ACTIVITY ON SITE.

REVISIONS		
Δ	DATE	DESCRIPTION



LEGEND	
○	SILT FENCE
—x—	PROP. FENCE
---	CRITICAL ROOT ZONE
---	LIMITS OF DISTURBANCE
---	TREE PROTECTION FENCE



DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:
DATE: 12/19/2022
SCALE: 1" = 20'

Myndviah Sales-Tinsley  
147 Anderson Valley Drive  
Snellville, GA 30039

SITE PLAN

DRAWING NO.  
**C-2**  
SHEET 2 OF 7

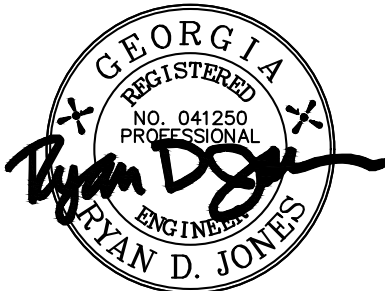


EROSION CONTROL NOTES

- The construction pad shall be maintained in a condition that will prevent tracking or flow of mud onto public streets.
- Silt fences and hay bale barriers shall be cleaned or replaced and maintained in functional condition until permanent erosion control measures are established. All silt fences and other temporary measures will be removed by the contractor /developer when the site is stable.
- Silt fence fabric shall be comprised GA. Department of Transportation qualified products section 171, type "c" for silt fence fabric. Type "a" silt fence fabric and construction may be allowed with prior written approval from the land development inspector.
- All grassing shall be in accordance with Chapter 6, Section III, "vegetative practices" of the Manual for Erosion and Sediment Control in Georgia.
- All other work shall be performed in accordance with the specifications of this same manual.
- The contractor shall furnish the City a schedule of anticipated starting and completion dates for each sequence of land disturbing activity listed items one through five above.
- Erosion control devices will be in place before site disturbance and will be periodically inspected and repaired or restored as needed to function properly until permanent measures are established and project is complete, i.e. construction exists and silt fence shall be re-topped or cleaned as silt reduces their effectiveness.
- Any additional construction other than shown on the plans will require additional erosion and sediment control measures and prior approval from the City.
- Temporary vegetation and/or heavy mulch will be used to stabilize areas. In no case shall a site be left bare for more than fourteen (14) days.
- All disturbed areas will be permanently landscaped and grassed as quickly as possible.
- Additional measures may be required to control erosion as determined necessary by city inspectors.
- Erosion control blankets shall be used on all slopes exceeding 2.5:1.
- All applications of hydroseed will be followed by  $\frac{3}{4}$ " to 1" mulch.
- Sites over 1 acre must prepare multi-stage erosion control plan.
- No clearing beyond the limits of disturbance shown on the approved plans shall be allowed without approval.
- No land disturbing activity within any tree save area shall be allowed.
- Polymers must be used appropriately on all disturbed areas including proposed parking lots to control turbidity.
- The property owner and contractor are equally responsible for all erosion control activities.
- Notice is hereby given that all erosion and sediment devices and practices must be installed and maintained at all times. No further notice will be given. Any site upon which the land development inspector finds any deficiency will be subject to an immediate enforcement action without warning.
- Erosion and sediment control devices must be maintained in a satisfactory condition at all times.
- All best management practices shall be judged not on appearances but performance only.
- It is the responsibility of the contractor to obtain qualified professional advice when questions arise concerning design and effectiveness of erosion control devices.
- Amendments or revisions to the E&S plan which have a significant effect on bmp's with a hydraulic component must be certified by the design professional.
- Erosion control devices that are installed as directed by the land development inspector but not shown on the approved plan and which also subsequently fail, are the responsibility of the contractor.
- All temporary and permanent seeding must be performed at the appropriate season. Additional plantings will be necessary if a sufficient stand of grass fails to grow.
- The land development inspector will determine adequate cover of new plantings.
- Topsoil shall be stockpiled and used to dress final grades.
- No disturbance will be allowed within flood plains or wetlands without proper authorization.
- Erosion control measures will be maintained at all times. Additional erosion and sediment control measures will be necessary if deemed by on-site inspection.
- Silt fencing must be mirafi 100x fabric, or equivalent substitute. Mirafi 100x specifications: minimum width of 36", mullen burst strength of 200 psi, trapezoid tear strength of 65 lbs., equivalent opening size of #40 U.S. Standard sieve and grab strength of 120 lbs.
- Silt fences shall not be placed in stream buffer or flood plains.
- When silt fences become  $\frac{3}{4}$  full of sediment, the sediment must be removed.
- The contractor shall furnish weekly reports to the city, which indicates the date, person responsible, and notation of all deficiencies and corrections made to all erosion and sediment control devices.
- Erosion control measures will be maintained at all times, if full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
- Before commencing any land disturbing activity subject to NPDES, the contractor must provide a copy of the Notice of Intent (NOI) sent to EDP and show evidence that the NPDES fees have been paid.
- All persons engaged in land disturbance activities must be certified at the appropriate GSWCC level and must provide evidence of such to the land development Inspector if asked. Where one or more land disturbing activities are occurring on a site at the same time, each must have the appropriate certification. Those that do not must stop work immediately.
- A copy of the approved erosion control plan, NOI, permit and inspection reports must be kept on site at all times.
- It is the primary permittee's responsibility to instruct all other permittees' along with their sub-contractors as to their responsibilities under NPDES.
- The design professional who prepared this E&S plan must inspect the installation of BMP's within 7 days after the initial construction begins. This report shall be kept on site and submitted to the city.
- Non-exempt activities shall not be conducted within the 25 or 50 foot undisturbed stream buffers as measured from the point of wrested vegetation without first acquiring the necessary variances and permits.
- Waste materials shall not be discharged into waters of the state, except as authorized by a section 404 permit.
- Any amendments and revisions to the erosion, sediment and pollution control plan which have significant effect on BMP's with hydraulic component must be certified by the design professional.
- All construction work and materials on this site, shall conform to the minimum standards and specifications of the Georgia Department of Transportation, latest editions.

PROJECT DURATION ESC NOTES

- Burial of construction debris is not permitted onsite.
- A copy of the approved land disturbance plan and permit shall be present on site at all times. Post on day one.
- Any disturbed area left exposed for a period of greater than 7 days shall be stabilized with mulch or temporary seeding.
- All disturbed areas left mulched after 30 days shall be stabilized with temporary grassing.
- Contractor shall inspect control measures at the end of each working day to ensure measures are functioning properly.
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source as directed by the onsite inspector or design professional.
- Failure to install, operate, or maintain all erosion control measures will result in all construction being stopped on the job until such measures are corrected back to the approved erosion control plans.
- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.



2-2-2023

GEORGIA  
UNIFORM CODING SYSTEM

FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets
Cr	CONSTRUCTION ROAD STABILIZATION			A travelway constructed as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes
Dc	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.
Di	DIVERSION			An earth channel or dike located above, below or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive
Dn2	PERMANENT DOWNDRAIN STRUCTURE			A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.
Gr	GRADE STABILIZATION STRUCTURE			Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the running water to form gullies.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainageways
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Rt	RETRO FITTING			A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
Sk	FLOATING SURFACE SKIMMER			A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.
Spb	SEEP BERM			Linear control device constructed as a diversion perpendicular to the direction of runoff to enhance dissipation and infiltration, while creating multiple sedimentation chambers with the employment of intermediate dikes.

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STORMDRIAN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING			A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tc	TURBIDITY CURTAIN			A floating or stalked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Tp	TOPSOILING			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.

GaSWCC (Amended - 2013)

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the re-establishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are denuded artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce and erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP. SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM. SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)			A permanent vegetative cover using sods on highly erodable or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Co	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING PERM. VEGETATION)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small stream bank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKIFIERS AND BINDERS			Substance used to anchor straw or hay mulch by causing the organic material to bind together.

REVISIONS

△	DATE	DESCRIPTION

LEGEND




DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:
DATE: 12/20/2022
SCALE: NONE

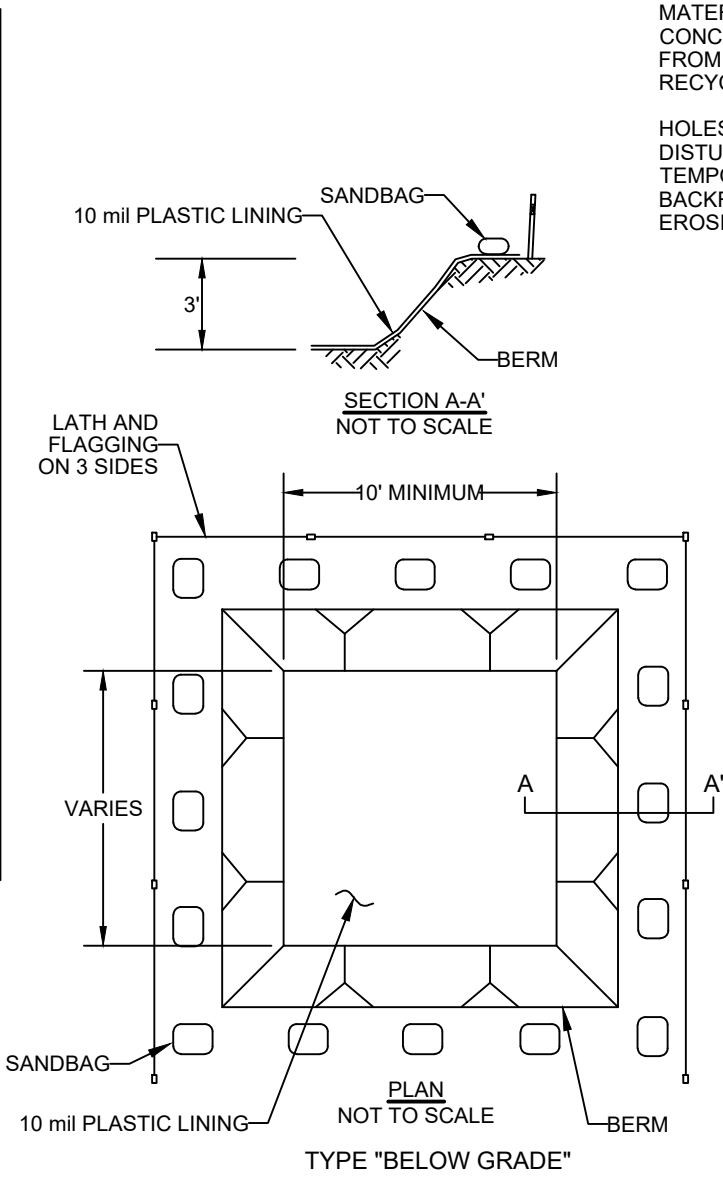
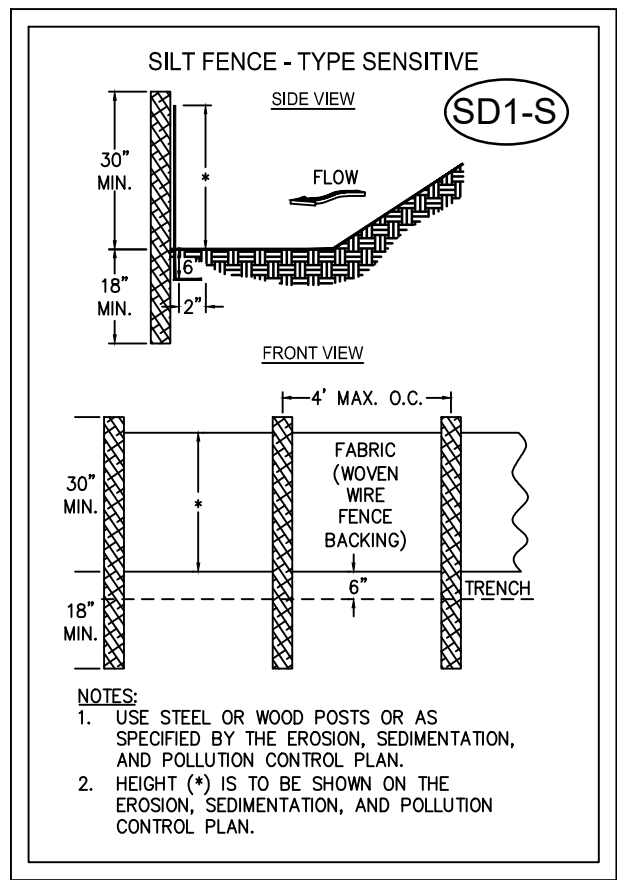
Myndviah Sales-Tinsley  
147 Anderson Valley Drive  
Snellville, GA 30039  
  
EROSION CONTROL  
NOTES & SYMBOLS

DRAWING NO.

C-3

SHEET 3 OF 7

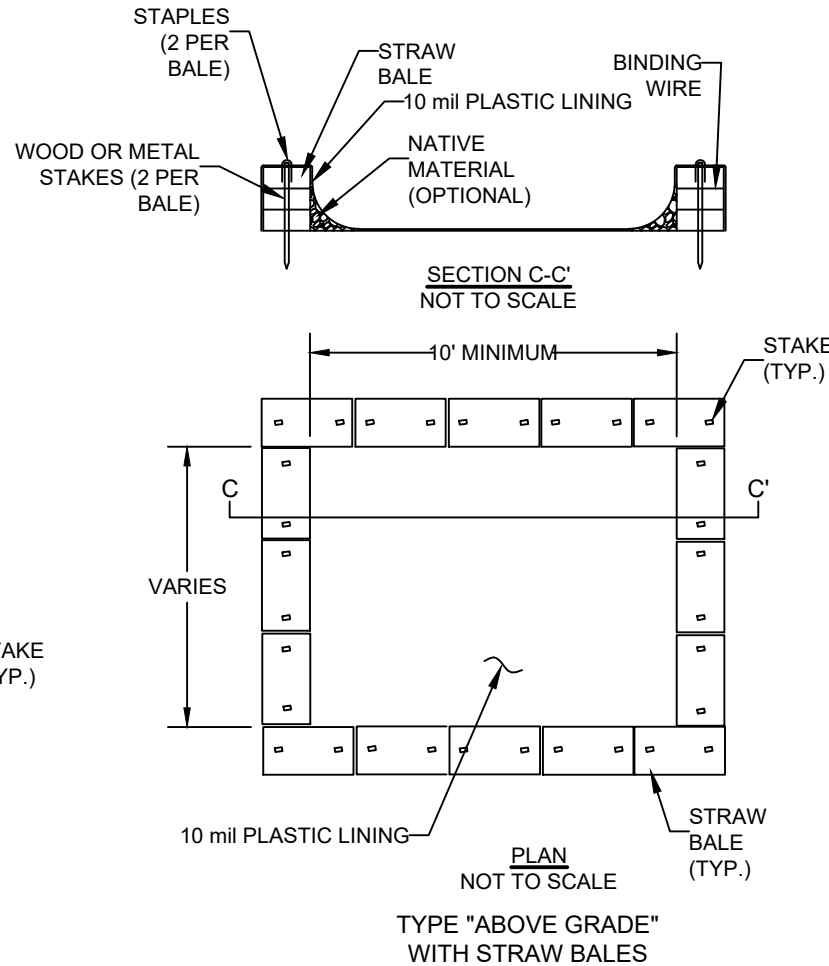
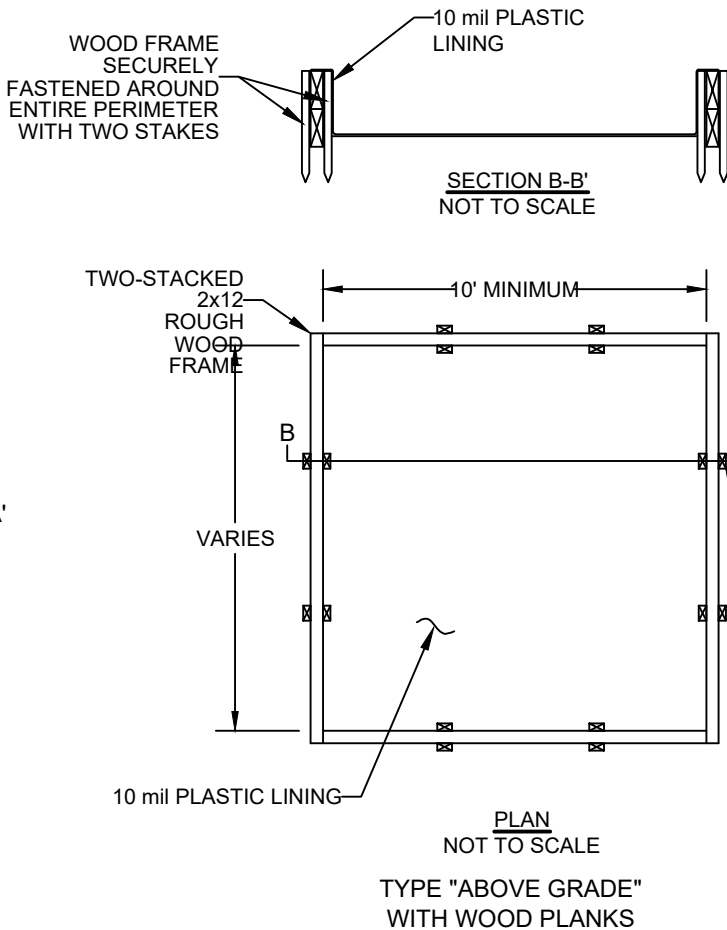




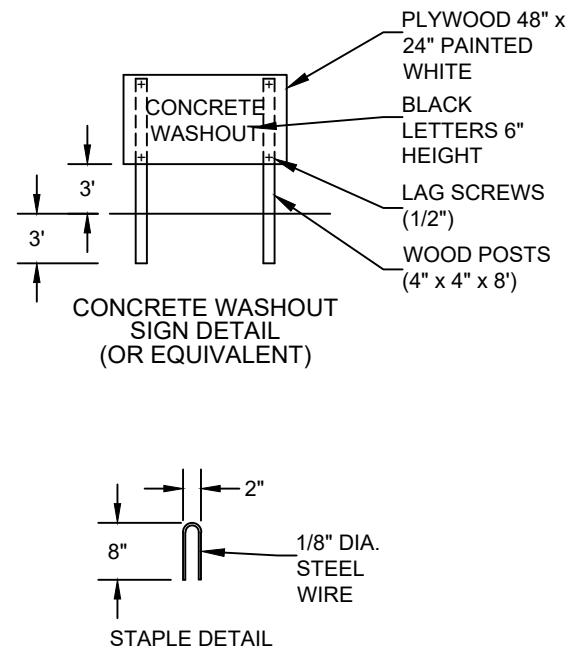
- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY

MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.

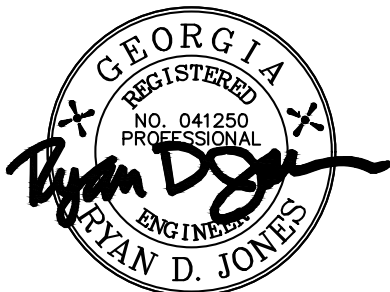
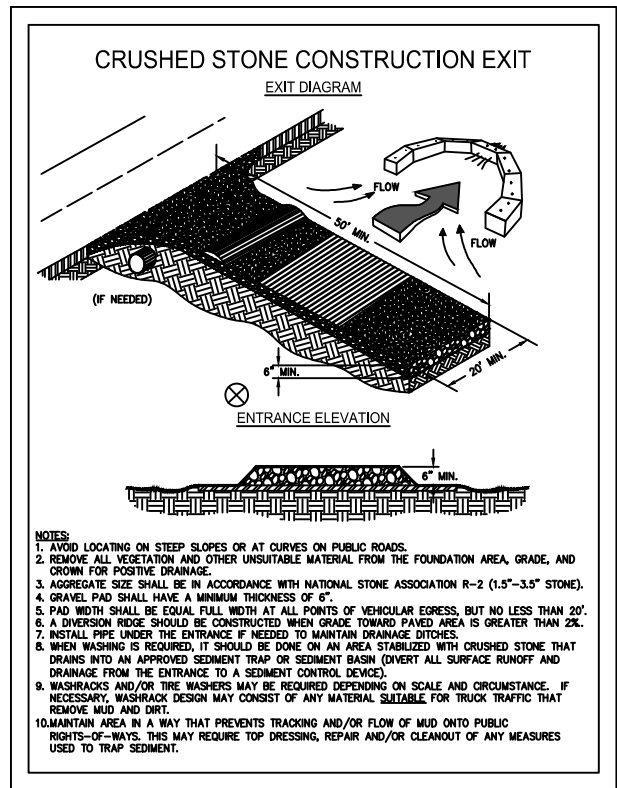
HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.



- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



## CONCRETE WASHOUT



2-2-2023

### DEFINITION

Applying plant residues or other suitable materials, produced on the site if possible, to the soil surface.

### CONDITIONS

Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a singular erosion control device for up to six months, but it shall be applied at the appropriate depth, depending on the material used, anchored, and have a continuous 90% cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months. If an area will remain undisturbed for greater than six months, permanent vegetative techniques shall be employed.

### SPECIFICATIONS

#### MULCHING WITHOUT SEEDING

This standard applies to grades or cleared areas where seedlings may not have a suitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover.

#### Site Preparation

1. Grade to permit the use of equipment for applying and anchoring mulch.
2. Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.
3. Loosen compact soil to a minimum depth of 3 inches.

#### Mulching Materials

Select one of the following materials and apply at the depth indicated:

1. Dry straw or hay shall be applied at a depth of 2 to 4 inches providing complete soil coverage. One advantage of this material is easy application.

**Ds1** **DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)**

2. Wood waste (chips, sawdust or bark) shall be applied at a depth of 2 to 3 inches. Organic material from the clearing stage of development should remain on site, be chipped, and applied as mulch. This method of mulching can greatly reduce erosion control costs.
  3. Cutback asphalt (slow curing) shall be applied at 1200 gallons per acre (or 1/4 gallon per sq.yd.).
  4. Polyethylene film shall be secured over banks or stockpiled soil material for temporary protection. This material can be salvaged and reused.
- Applying Mulch
- When mulch is used without seeding, mulch shall be applied to provide full coverage of the exposed area.
1. Dry straw or hay mulch and wood chips shall be applied uniformly by hand or by mechanical equipment.
  2. If the area will eventually be covered with perennial vegetation, 20-30 pounds of nitrogen per acre in addition to the normal amount shall be applied to offset the uptake of nitrogen caused by the decomposition of the organic mulches.
  3. Cutback asphalt shall be applied uniformly. Care should be taken in areas of pedestrian traffic due to problems of "tracking in" or damage to shoes, clothing, etc.
  4. Apply polyethylene film on exposed areas.

#### Anchoring Mulch

1. Straw or hay mulch can be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk." Disks may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position. Straw or hay mulch shall be anchored immediately after application. Straw or hay mulch spread with special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion shall be sprayed onto the mulch as it is ejected from the machine. Use 100 gallons of emulsified asphalt and 100 gallons of water per ton of mulch. Tackifiers and binders can be substituted for emulsified asphalt. Please refer to specification Tb -Tackifiers and Binders. Plastic mesh or netting with mesh no larger than one inch by one inch shall be installed according to manufacturer's specifications.
2. Netting of the appropriate size shall be used to anchor wood waste. Openings of the netting shall not be larger than the average size of the wood waste chips.
3. Polyethylene film shall be anchor trenched at the top as well as incrementally as necessary.

### DEFINITION

The establishment of temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.

### CONDITIONS

Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization. Most types of temporary vegetation are ideal to use as companion crops until the permanent vegetation is established.

## SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **
Rye	3.9 pounds	3 bu.	9/1-3/1
Ryegrass	0.9 pound	40 lbs.	8/15-4/1
Annual Lespedeza	0.9 pound	40 lbs.	1/15-3/15
Weeping Lovegrass	0.1 pound	4 lbs.	2/15-6/15
Sudangrass	1.4 pounds	60 lbs.	3/1-8/1
Browntop Millet	0.9 pound	40 lbs.	4/1-7/15
Wheat	4.1 pounds	3 bu.	9/15-2/1

- \* Unusual site conditions may require heavier seeding rates  
 \*\* Seeding dates may need to be altered to fit temperature variations and conditions.

**Ds2** **DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)**

### SPECIFICATIONS

#### Grading and Shaping

Excessive water run-off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, diversions, sediment barriers and others.

No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.

#### Seedbed Preparation

When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or handseeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall.

When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarified to provide a place for seed to lodge and germinate.

#### Lime and Fertilizer

Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before land preparation and incorporated with a disk, ripper or chisel.

#### Seeding

Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or cultipacker seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Soil should be "raked" lightly to cover seed with soil if seeded by hand.

#### Mulching

Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

#### Irrigation

During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly wetted to a depth that will insure germination of the seed. Subsequent applications should be made when needed.

REVISIONS	DATE	DESCRIPTION
△		


LEGEND

<b>B</b> BELLAREED LUXURY POOLS 6040 Northbelt Drive, Suite F Norcross, GA 30071 Tel: (678) 367-3307 www.bellareed.com
---

DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:
DATE: 12/20/2022
SCALE: NONE

Myndviah Sales-Tinsley 147 Anderson Valley Drive Snellville, GA 30039 EROSION CONTROL DETAILS
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DRAWING NO. <b>C-4</b> SHEET 4 OF 7
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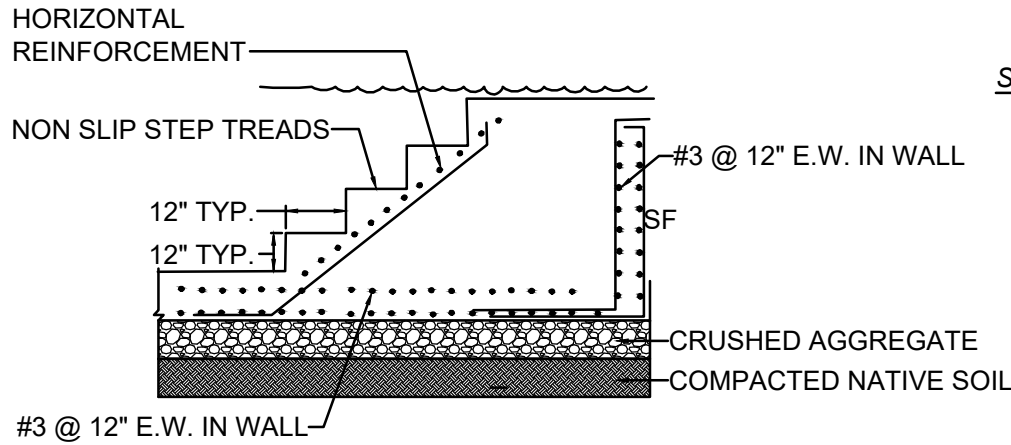
Pool Dimensions  
Maximum length: 28'  
Maximum width: 16'  
Minimum depth: 3.0'  
Maximum depth: 5.5'  
Perimeter feet: 88'  
Square feet: 352

Pool Equipment  
Pump:  
Pentair Variable  
Filter:  
Cartridge  
Chem Type: Salt  
Lighting: (4) 12  
Volt LED  
Heater: 400k  
btu  
Reinforcement:  
Steel C x C: 12 inch  
Rebar Size: #3 3/8"  
Piping:  
Returns: 2 w/2"  
Pipe  
Skimmer: 1 w/2"  
Pipe  
Drain: VGB  
Compliant Double Anti  
Vortex  
Auto sweep: Pentair  
Legend  
Coping:  
Travertine  
Tile: 6X6  
Stone  
Inside Finish: Pebble  
Plaster

1 SPECIFICATIONS

NOTES:

- #3 (3/8") REBAR SCH. 40 SPEC. 615 USED THROUGHOUT POOL EXCEPT IN BEAM.
- STEEL WILL BE 12" O.C, EXCEPT IN BOND BEAM.
- STARTING AT 6 1/2" DEPTH AND RUNNING AROUND THE DEEP END BOWL TO THE OPPOSITE SIDE OF THE POOL AT THE 6 1/2" DEPTH, #3 REBAR SHALL BE INSTALLED ON 12" CENTER, 10" LONG BARS WILL START AT THE TOP OF THE BEAM AND BE SPLICED INTO THE FLOOR.
- ALL STEEL TO BE CONTINUOUS BY SPLICING.
- ALL SPLICES SHOULD BE APPROXIMATELY 18" WITH A MINIMUM OF 12" AND TWO TIES.
- ALL STEEL WILL BE BLOCKED 2" OFF DIRT.
- ADD #3 @ 10'-0" LONG @ 12" VERT. MAKING A TOTAL OF #3 VERT. @ 6" O.C. #3 TO BEGIN 2'-0" INTO THE FLOOR AND EXTEND UPWARD INTO THE WALL, ADD #3 @ 6" O.C. 2" INTO SHALLOW END EXTENDING DOWN, BREAK 2" DEEP ONTO THE DEEP END FLOOR.

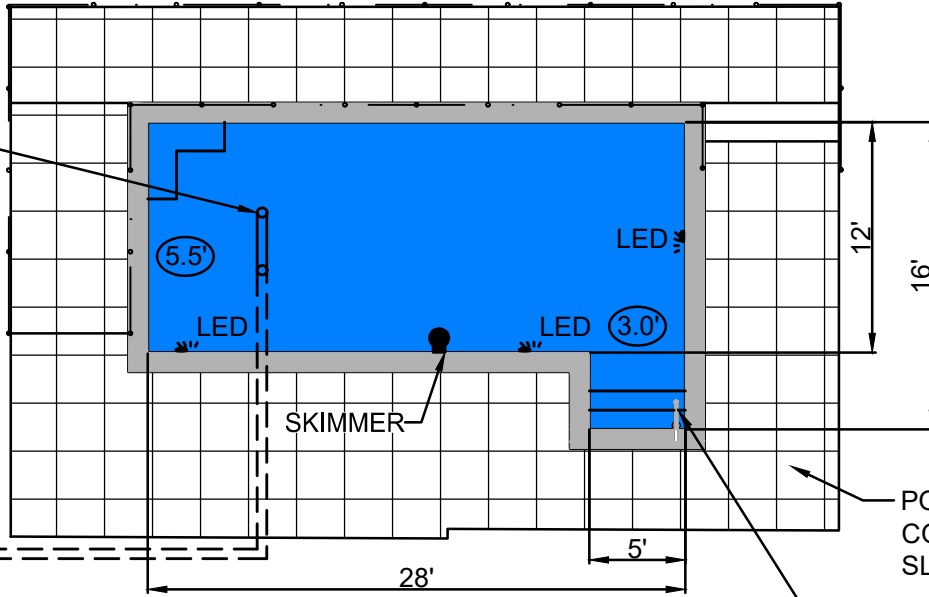


4 STEP DETAIL  
BENCH ENTRY/EXIT (809.3)  
SHALL NOT EXCEED  
20" IN DEPTH (809.9)

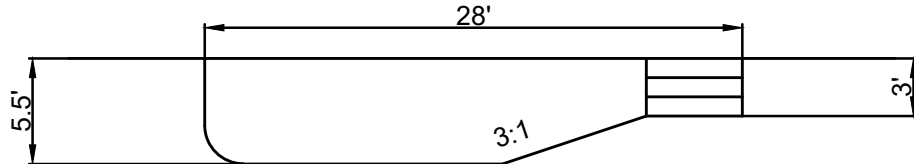
DUAL ANTI-VORTEX  
V.G.B. COMPLIANT  
MAIN DRAIN (3' APART)  
COMPLIANT WITH  
ANSI/APSP-7  
(ANTI-SUCTION  
ENTRAPMENT  
ISPSC SEC 310)

TIMER SWITCH FOR  
HEATER & PUMP  
(ISPSC SEC 303.3)  
LOCATION NOT TO SCALE

STRAINER FOR  
PRESSURE FILTER  
(ISPSC SEC 810.3)  
2" PVC PIPE TO  
SKIMMERS AND RETURNS  
POOL HAS NO AUTOFILL  
OR DISCHARGE SYSTEM  
(ISPSC SEC 311)

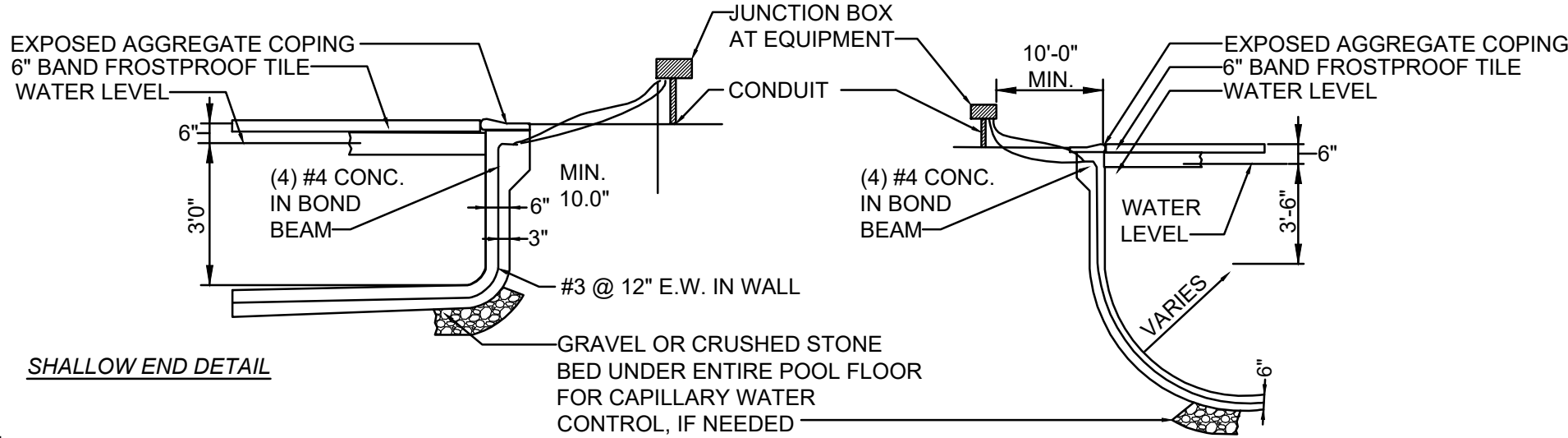


2 POOL PLAN  
SCALE: 1" = 10'



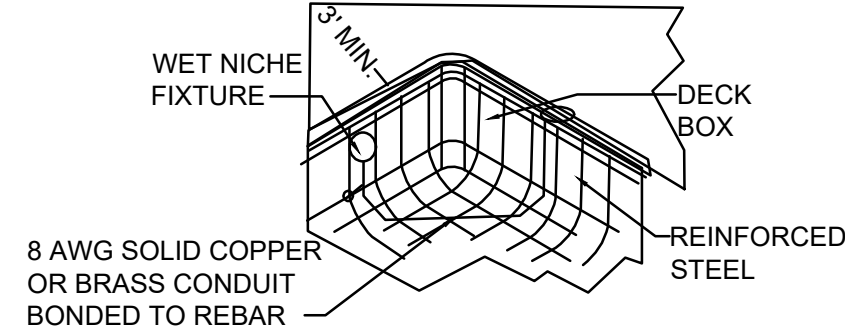
NO SLOPE BREAK  
NO ROPE & FLOAT  
REQUIRED  
 $\frac{3.0}{28.0 \text{ RUN}} = 0.107 \text{ (807.1)}$

3 POOL PROFILE  
SCALE: 1" = 10'

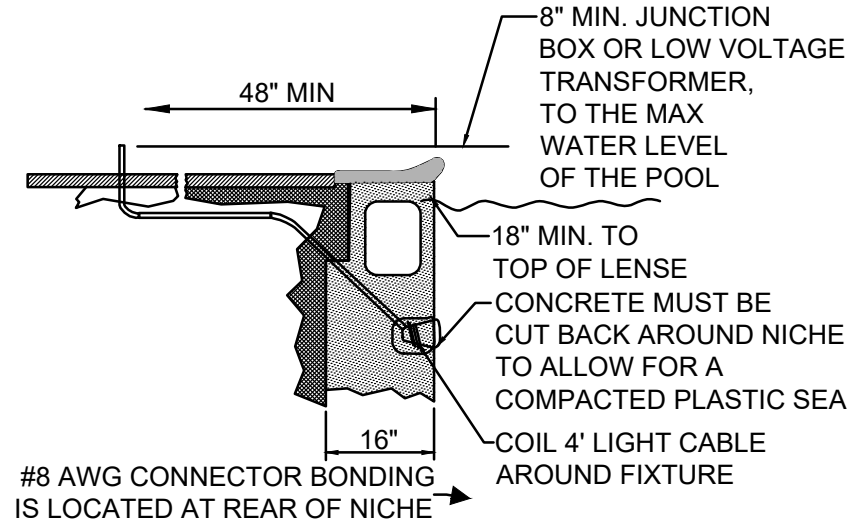


5 WALL DETAIL

EQUIPOTENTIAL BONDING AND BONDING  
GRID:  
"BONDING SHALL BE DONE IN ACCORDANCE  
WITH SECTION 680.26 OF THE NATIONAL  
ELECTRICAL CODE (NEC)"



6 GRID DETAIL  
2017 NEC  
(680.26)



7 WET NICHE FIXTURE

REVISIONS		
Δ	DATE	DESCRIPTION

LEGEND	

LEGEND	

BELLAREED LUXURY POOLS
6040 Northbelt Drive, Suite F Norcross, GA 30071 Tel: (678) 367-3307 www.bellareed.com

DESIGNED BY:
DRAWN BY:
CHECKED BY:
APPROVED BY:
DATE: 12/20/2022
SCALE: AS NOTED

Myndviah Sales-Tinsley 147 Anderson Valley Drive Snellville, GA 30039
POOL DETAILS

DRAWING NO. <b>C-6</b>
SHEET 6 OF 7







