

DeKalb County Zoning Board of Appeals

Department of Planning & Sustainability 178 Sams Street, Decatur, GA 30030

Wednesday, January 10, 2024, at 1:00 PM



Cedric Hudson

Planning Department Staff Analysis

Chief Executive Officer

Michael L. Thurmond

Interim Director

N2. Case No: A-23-1246776 Parcel ID(s): 16 253 01 067

Commission District 05 Super District 07

Applicant: Bellareed Luxury Pools

6040 Northbelt Drive. Norcross, GA 30071

Owner: Mindviah Sales – Tinsley

1470 Anderson Valley Drive.

Snellville, GA 30039

Project Name: 1470 Anderson Valley Drive – Swimming Pool

Location: 1470 Anderson Valley Drive, Snellville, GA 30039

Request: Variance from Section 27-4.2.2.(C) to construct swimming pool in side yard instead of the rear yard.

Staff Recommendation: Approval with condition

Condition: The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.

STAFF FINDINGS:

Variance Analysis:

This application submitted by Bellareed Pools is seeking a variance from Section 27-4.2.2(C) in order to construct a swimming pool in the side yard of a corner lot parcel of a single-family residential home.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The fixed orientation of the house and the slim rear yard, measuring about 35 feet, may present extraordinary physical conditions. These conditions are clearly demonstrable and would result in a deprivation of rights and privileges enjoyed by other property owners in the same zoning district.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested variance does not exceed the minimum necessary to afford relief to Bellareed Pools. Specifically, the variance pertains to allowing a pool within a side yard, instead of the rear yard. The variance request does not constitute a grant of special privilege inconsistent with the limitations imposed on other properties in the R-75 zoning district.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

Granting the variance is not expected to be materially detrimental to the public welfare or injurious to the property or improvements in the R-75 zoning district. The proposed construction of a swimming pool is framed as an aesthetic and functional improvement to the property. Given the physical orientation of the house and garage, it is expected that visibility from common areas including the roads and sidewalks would be minimal if built in the side yard. Development is not anticipated to have adverse effects on neighbors at this location. A letter of support received from a neighboring property owner was received.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

The literal interpretation and strict application of the applicable provisions in Section 27-4.2.2(C) would not cause undue and unnecessary hardship for Bellareed Pools. The information provided indicates that a pool could be built in the rear yard. While the applicant may face challenges in achieving a preferred aesthetic or functional design in the rear yard, it does not constitute an undue and unnecessary hardship. The criterion for demonstrating such hardship appears unmet in this case, as alternatives for pool construction are feasible within the existing regulations.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The requested variance is consistent with the spirit and purpose of the DeKalb County Comprehensive Plan. The proposed addition of a swimming pool aligns with the suburban character described in the plan, providing an amenity that contributes to the overall livability of the property. The plan's emphasis on preserving and enhancing existing greenspace is not contradicted by the proposed variance, as the pool construction is confined to a specific area. Therefore, the requested variance aligns with the broader goals outlined in the DeKalb County Comprehensive Plan for suburban land use.

FINAL STAFF ANALYSIS:

The extraordinary physical conditions of a fixed house orientation and a slim rear yard, not created by the current owner or applicant, justify the need for relief to avoid a deprivation of rights compared to other property owners in the same zoning district. Relief is minimal and does not grant a special privilege inconsistent with zoning limitations. The grant of the variance is not anticipated to be materially detrimental to the public welfare, as it is supported by a letter from a neighbor and promises an aesthetic and functional improvement to the property. While the literal interpretation of the zoning regulations may not cause undue hardship, the proposed variance aligns with the spirit and purpose of the DeKalb County Comprehensive Plan for suburban land use. Therefore, staff recommends approval with standard condition.

Staff Recommendation: Approval with condition

Condition: The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.



DeKalb County Department of Planning & Sustainability

Hon. Michael Thurmond **Chief Executive Officer**

Andrew Baker, AICP, Director

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or Bellareed Luxury Pools Authorized Representative
Mailing Address: 6040 Northbelt Dr
City/State/Zip Code: Norcross, Ga 30071
Permits@bellareed.com Email:
Telephone Home: Business: _678-818-2368
OWNER OF RECORD OF SUBJECT PROPERTY
Owner: Mindviah Sales -Tinsley
Address (Mailing): 1470 Anderson Valley Dr
Email:
Telephone Home: Business:
ADDRESS/LOCATION OF SUBJECT PROPERTY
Address:1470 Anderson Valley Dr
Zoning Classification: R -85 Commission District & Super District: 5 - 7
CIRCLE TYPE OF HEARING REQUESTED:
VARIANCE (From Development Standards causing undue hardship upon owners of property.)
SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
• OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.
* PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS. *
TO BE COMPLETED BY PLANNING AND SUSTAINABILITY DEPARTMENT:
Date Received: Fee Paid:



ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the ZoningBoard of Appeals for the requests as shown in this application.

DATE: 9/25/23	Applicant/Agent: Signature	Massel
TO WHOM IT MAY CONCERN:		/
(1) (WE) Minovium Sales-) (Name of Owners)	instey	
being (owner/owners) of the property described	below or attached	I hereby delegate authority to:
Notary Publica Notary Publica	4	Mw W
Notary Public	_	Owner
Notary Public		Owner

To Whom it may concern.

For the property located at 1470 Anderson Valley Dr. Snelleville, Ga 30039. We would like to to build a pool. The property is located on a corner lot. The way the house is positioned leaves us only one option in where to put the pool. The neighbor directly across the street has a pool. We do have letters from the homeowners neighboring the property. Both in which have no objection. As putting a pool will increase the property value.

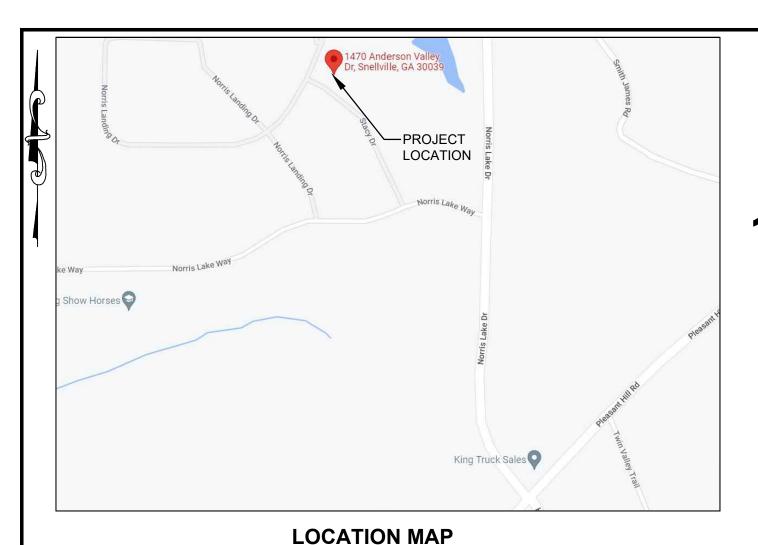
Th house front is on the side and does not face the legal front .We are asking for a minimal increase ofthe setback of the legal side.

Mubel Crostin Nebel Bellaried Cusury Bolls To Whom it May Concern:

I am the neighbor across the street from Mira and Joe. We support them having a pool because we currently own the only pool in the neighborhood.

Sincerely,

Jerry & Mary



SITE PLAN FOR POOL THE SALES-TINSLEY **POOL PROJECT** 1470 ANDERSON VALLEY DRIVE **SNELLVILLE, GA 30039**

LOT: 9 **ALEXANDER VALLEY ESTATES S/D** LAND LOT: 253 **DISTRICT: 16TH DEKALB COUNTY, GEORGIA**

CODE COMPLIANCE:

THE CURRENT MANDATORY CODES AS ADOPTED BY DCA

RESIDENTIAL BUILDING CODES: EFFECTIVE JANUARY 1, 2015 THE FOLLOWING WILL BE THE STATE OF GEORGIA'S **MINIMUM STANDARD CONSTRUCTION CODES:**

INTERNATIONAL BUILDING CODE 2018 EDITION, WITH **GEORGIA AMENDMENTS (2020)**

INTERNATIONAL RESIDENTIAL CODE 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

INTERNATIONAL FIRE CODE 2018 EDITION, WITH GEORGIA **AMENDMENTS**

INTERNATIONAL PLUMBING CODE 2018 EDITION, WITH **GEORGIA AMENDMENTS (2020)**

INTERNATIONAL MECHANICAL CODE 2018 EDITION, WITH **GEORGIA AMENDMENTS (2020)**

INTERNATIONAL FUEL GAS CODE 2018 EDITION, WITH **GEORGIA AMENDMENTS (2020)**

INTERNATIONAL ELECTRICAL CODE 2020 EDITION, WITH NO GEORGIA AMENDMENTS (1/1/2018)

INTERNATIONAL ENERGY CODE 2015 EDITION, WITH **GEORGIA SUPPLEMENTS & AMENDMENTS (2020)**

2012 NFPA 101- LIFE SAFETY CODE WITH STATE **AMENDMENTS (2013)**

INTERNATIONAL SWIMMING POOL & SPA CODE 2018 EDITION, **WITH GEORGIA AMENDMENTS (2020)**

PROJECT TEAM

CONTRACTOR: BELLAREED CONSTRUCTION & REMODELING 6040 NORTHBELT DRIVE, SUITE F NORCROSS, GA 30071

24 HOUR CONTACT: BRETT FUSSELL (770) 913-7886

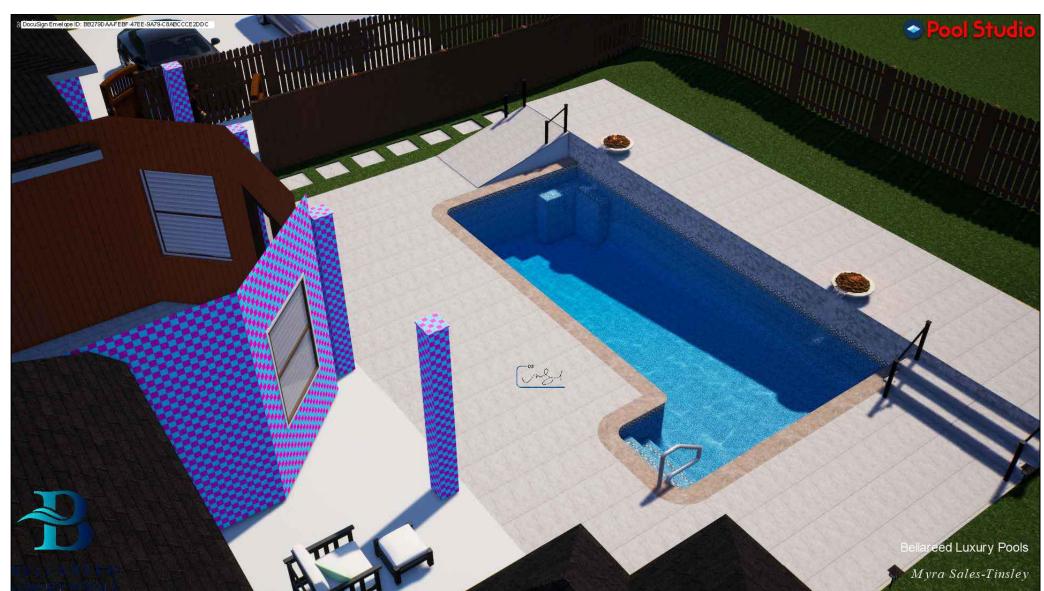
OWNER OF RECORD: MYNDVIAH SALES-TINSLEY **147 ANDERSON VALLEY DRIVE** SNELLVILLE, GA 30039 (706) 442-4191

SCOPE OF WORK

28' X 16' POOL WITH STEPS, BENCHES, & NATURAL STONE PAVER DECKING,



2-2-2023



LEGEND

DRAWING INDEX:

SHEET	TITLE
C-1	COVER SHEET
C-2	POOL SITE PLAN
C-3	EROSION CONTROL NOTES & SYMBOLS
C-4	EROSION CONTROL DETAILS
C-5	EROSION CONTROL DETAILS
C-6	POOL DETAILS
C-7	POOL DETAILS

		NCE ACTIVITIES CAN BEGIN.	2-2-2023
		REVISIONS	
Δ	DATE	DESCRIPTION	
			-

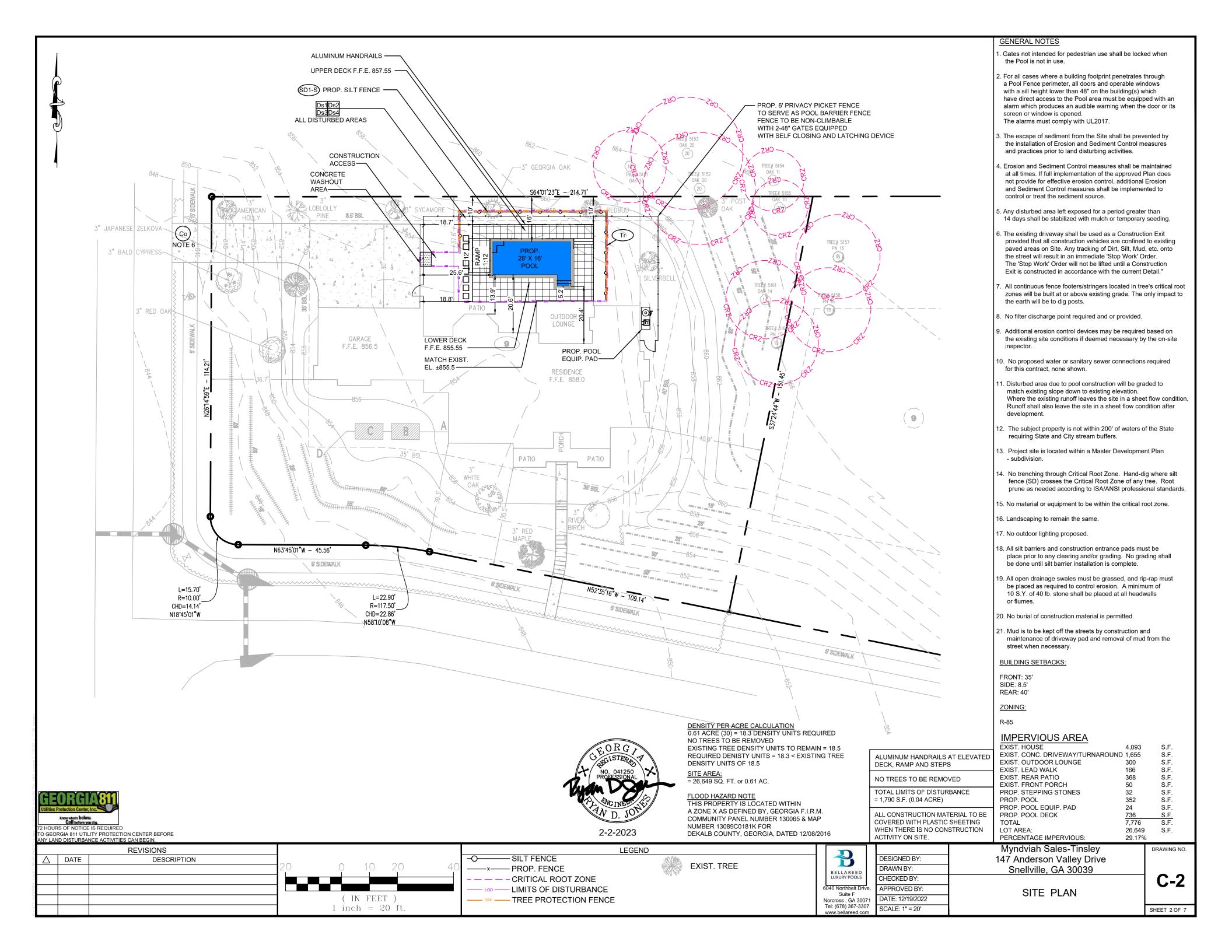
D B E L L A R E E D LUXURY POOLS 6040 Northbelt Driv Suite F Tel: (678) 367-3307

	Myndviah Sales-Tinsley
DESIGNED BY:	147 Anderson Valley Drive
DRAWN BY:	Snellville, GA 30039
CHECKED BY:	
APPROVED BY:	COVER SHEET
DATE: 12/19/2022	1 COVER SHEET

SCALE: NONE

DRAWING NO.

SHEET 1 OF 7



EROSION CONTROL NOTES

- . The construction pad shall be maintained in a condition that will prevent tracking or flow of mud onto public streets.
- Silt fences and hay bale barriers shall be cleaned or replaced and maintained in functional condition until permanent erosion control measures are established. All silt fences and other temporary measures will be removed by the contractor /developer when the site is stable.
- Silt fence fabric shall be comprised GA. Department of Transportation qualified products section 171, type "c" for silt fence fabric. Type "a" silt fence fabric and construction may be allowed with prior written approval from the land development inspector.
- 4. All grassing shall be in accordance with Chapter 6, Section III, "vegetative practices" of the Manual for Erosion and Sediment Control in Georgia.
- 5. All other work shall be performed in accordance with the specifications of this same manual.
- 6. The contractor shall furnish the City a schedule of anticipated starting and completion dates for each sequence of land disturbing activity listed items one through five above.
- 7. Erosion control devices will be in place before site disturbance and will be periodically inspected and repaired or restored as needed to function properly until permanent measures are established and project is complete, i.e. construction exists and silt fence shall be re-topped or cleaned as silt reduces their effectiveness.
- 8. Any additional construction other than shown on the plans will require additional erosion and sediment control measures and prior approval from the City.
- 9. Temporary vegetation and/or heavy mulch will be used to stabilize areas. In no case shall a site be left bare for more than fourteen (14) days.
- All disturbed areas will be permanently landscaped and grassed as quickly as possible.
- Additional measures may be required to control erosion as determined necessary by city inspectors.
- 12. Erosion control blankets shall be sued on all slopes exceeding 2.5:1.
- 13. All applications of hydroseed will be followed by $\frac{1}{2}$ " to 1" mulch.
- 14. Sites over 1 acre must prepare multi-stage erosion control plan.
 15. No clearing beyond the limits of disturbance shown on the approved plans shall be allowed without
- 16. No land disturbing activity within any tree save area shall be allowed.
- Polymers must be used appropriately on all disturbed areas including proposed parking lots to control turbidity.
- 18. The property owner and contractor are equally responsible for all erosion control activities.
- 19. Notice is hereby given that all erosion and sediment devices and practices must be installed and maintained at all times. No further notice will be given. Any site upon which the land development inspector finds any deficiency will be subject to an immediate enforcement action without warning.
- 20. Erosion and sediment control devices must be maintained in a satisfactory condition at all times.
- 21. All best management practices shall be judged not on appearances but performance only.
- It is the responsibility of the contractor to obtain qualified professional advice when questions arise concerning design and effectiveness of erosion control devices.
- 23. Amendments or revisions to the E&S plan which have a significant effect on bmp's with a hydraulic component must be certified by the design professional.
- 24. Erosion control devices that are installed as directed by the land development inspector but not shown on the approved plan and which also subsequently fail, are the responsibility of the contractor.
- 25. All temporary and permanent seeding must be performed at the appropriate season. Additional
- plantings will be necessary if a sufficient stand of grass fails to grow.
- The land development inspector will determine adequate cover of new plantings.
- 27. Topsoil shall be stockpiled and used to dress final grades.
- 28. No disturbance will be allowed within flood plains or wetlands without proper authorization.
- 29. Erosion control measures will be maintained at all times. Additional erosion and sediment control
- measures will be necessary if deemed by on-site inspection.
- 30. Silt fencing must be mirafi 100x fabric, or equivalent substitute. Mirafi 100x specifications: minimum width of 36", mullen burst strength of 200 psi, trapezoid tear strength of 65 lbs., equivalent opening size of #40 U.S. Standard sieve and grab strength of 120 lbs.
- 1. Silt fences shall not be placed in stream buffer or flood plains
- 32. When silt fences become $\frac{1}{3}$ full of sediment, the sediment must be removed.
- 33. The contractor shall furnish weekly reports to the city, which indicates the date, person responsible, and notation of all deficiencies and corrections made to all erosion and sediment control devices.
- 34. Erosion control measures will be maintained at all times, if full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- 35. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
- Before commencing any land disturbing activity subject to NPDES, the contractor must provide a copy
 of the Notice of Intent (NOI) sent to EDP and show evidence that the NPDES fees have been paid.
- All persons engaged in land disturbance activities must be certified at the appropriate GSWCC level and must provide evidence of such to the land development Inspector if asked. Where one or more land disturbing activities are occurring on a site at the same time, each must have the appropriate certification. Those that do not must stop work immediately.
- 38. A copy of the approved erosion control plan, NOI, permit and inspection reports must be kept on site at all times.
- It is the primary permittee's responsibility to instruct all other permitees's along with their sub-contractors as to their responsibilities under NPDES.
- 40. The design professional who prepared this E&S plan must inspect the installation of BMP's within 7
- days after the initial construction begins. This report shall be kept on site and submitted to the city.

 Non-exempt activities shall not be conducted within the 25 or 50 foot undisturbed stream buffers as measured from the point of wrested vegetation without first acquiring the necessary variances and
- 42. Waste materials shall not be discharged into waters of the state, except as authorized by a section 404
- 43. Any amendments and revisions to the erosion, sediment and pollution control plan which have significant effect on BMP's with hydraulic component must be certified by the design professional.
- All construction work and materials on this site, shall conform to the minimum standards and specifications of the Georgia Department of Transportation, latest editions.

PROJECT DURATION ESC NOTES

- Burial of construction debris is not permitted onsite.
- A copy of the approved land disturbance plan and permit shall be present on site at all times. Post on day one.
- Any disturbed area left exposed for a period of greater than 7 days shall be stabilized with mulch or temporary seeding.
- All disturbed areas left mulched after 30 days shall be stabilized with temporary grassing.
- 5. Contractor shall inspect control measures at the end of each working day to ensure measures are functioning
- 6. Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source as directed by the onsite inspector or design professional.
- 7. Failure to install, operate, or maintain all erosion control measures will result in all construction being stopped on the job until such measures are corrected back to the approved erosion control plans.
- 8. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.



Rd

Re

Sd1

Sd2

Sd4

Sk

Spb

RETAINING

SEDIMENT

SEDIMENT TRAP

TEMPORARY

BASIN

TEMPORARY

SEDIMENT

FLOATING

SURFACE SKIMMER

BERM

2-2-2023

GEORGIA UNIFORM CODING SYSTEM

FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES

STRUCTURAL PRACTICES

	SI	IRUCTU	RAL	PRACTICES		SI	RUCTU	RAL I	PRACTICES
Ε	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION	CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
)	CHECKDAM		5	A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.	Sr	TEMPORARY STREAM CROSSING		(LABEL)	A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
)	CHANNEL STABILIZATION		1	Improving, constructing or stabilizing an open channel, existing stream, or ditch	St	STORMDRIAN OUTLET PROTECTION		St	A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
)	CONSTRUCTION EXIT		(LABEL)	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets	Su	SURFACE ROUGHENING		⊢(Su) →	A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
)	CONSTRUCTION ROAD STABILIZATION		Cr , \$43	A travelway constructed as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes	Tc	TURBIDITY CURTAIN		To	A floating or stalked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
)	STREAM DIVERSION CHANNEL		*	A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.	Тр	TOPSOILING		(SHOW STRIPING AND STORAGE AREAS)	The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
)	DIVERSION			An earth channel or dike located above, below or across a slope to divert runoff. This may be a temporary or permannet structure.	Tr	TREE PROTECTION	0	(DENOTE TREE CENTERS)	To protect desirable trees from injury during construction activity.
)	TEMPORARY DOWNDRAIN STRUCTURE		(LABEL)	A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive	Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL		<u> </u>	Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.
	PERMANENT DOWNDRAIN STRUCTURE		(LABEL)	A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.					GaSWCC (Amended - 2013
)	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.		V	FCETAT	.IVE E	PRACTICES
)	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.	CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
)	GRADE STABILIZATION STRUCTURE		(LABEL)	Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the running water to form gullies.	Bf	BUFFER ZONE		S Bf	Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the re-establishment of vegetation surrounding an area of disturbance or bordering streams.
)	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.	Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	Jane 34 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	Cs (LABEL)	Planting vegetation on dunes that are denuded artificially constructed, or re-nourished.
)	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainageways	Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce and erosion retarding cover

	Bf	BUFFER ZONE		Bf (LABEL)	Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the re-establishment of vegetation surrounding an area of disturbance or bordering streams.
	Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)	JANE JE FERFERE	Cs	Planting vegetation on dunes that are denuded artificially constructed, or re-nourished.
	Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce and erosion retarding cover.
	Ds2	DISTURBED AREA STABILIZATION (WITH TEMP. SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
	Ds3	DISTURBED AREA STABILIZATION (WITH PERM. SEEDING)	4,41, Q 4 Q	Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
	Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodable or critically eroded lands.
	Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.
Ę	I-Co	FLOCCULANTS AND COAGULANTS		FI-Co	Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
	Sb	STREAMBANK STABILIZATION (USING PERM. VEGETATION)		Sb	The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small stream bank erosion problems.
	Ss	SLOPE STABILIZATION		Ss	A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.

LEGEND	
	B E L L A R E E D LUXURY POOLS
	6040 Northbelt Drive, Suite F

wall installed to stabilize cut and fill slopes where max

A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a emporary sediment filter.

A barrier to prevent sediment from leaving the constructio

An impounding area created by excavating around a storr

stabilized on completion of construction activities.

A basin created by excavation or a dam across a waterway.

A small temporary pond that drains a disturbed area so that

sediment can settle out. The principle feature distinguishin

temporary sediment trap from a temporary sediment bas

buoyant device that releases/drains water from the surface

of sediment ponds, traps, or basins at a controlled rate of

perpendicular to the direction of runoff to enhance dissip

ambers with the employment of intermediate dikes.

inear control device constructed as a diversion

and infiltration, while creating multiple sedimentation

INDICATE and poles, gravel, or a silt fence.

bulk of the sediment to drop out.

is the lack of a pipe or riser

site. It may be sandbags, bales of straw or hay, brush, logs

rmissible slopes are not obtainable. Each situation will

Re

(Sk)~

Myndviah Sales-Tinsley

DESIGNED BY:

DRAWN BY:

CHECKED BY:

APPROVED BY:

DATE: 12/20/2022

Myndviah Sales-Tinsley

147 Anderson Valley Drive

Snellville, GA 30039

EROSION CONTROL

NOTES & SYMBOLS

the organic material to bind together

TACKIFIERS AND

BINDERS

SCALE: NONE

Tac

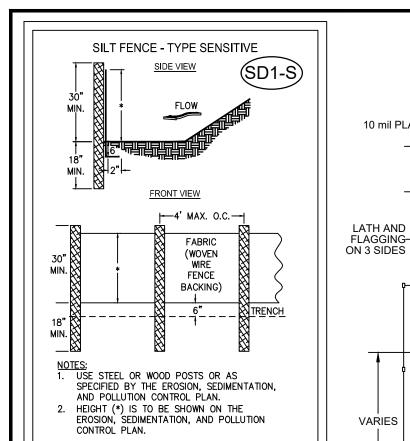
Norcross, GA 30071 Tel: (678) 367-3307 **C-3**

DRAWING NO.

SHEET 3 OF 7

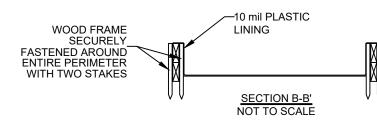
△ DATE DESCRIPTION

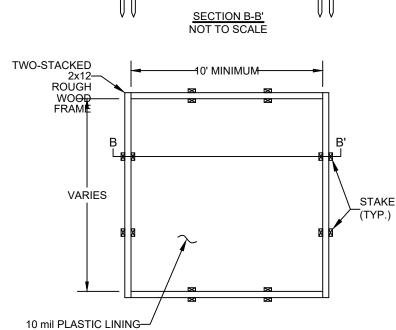
REVISIONS



MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR

HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT



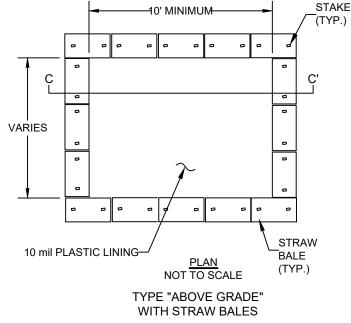


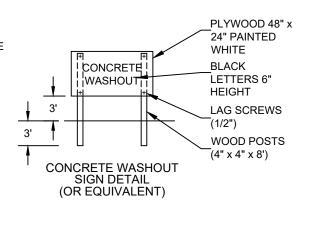
PLAN NOT TO SCALE

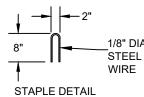
TYPE "ABOVE GRADE"

WITH WOOD PLANKS

STAPLES (2 PER BINDING-BALE) -10 mil PLASTIC LINING WIRE NATIVE WOOD OR METAL MATERIAL STAKES (2 PER (OPTIONAL) BALE) SECTION C-C'







NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.

SANDBAG-

10 mil PLASTIC LINING-

2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY

SANDBAG-

SECTION A-A' NOT TO SCALE

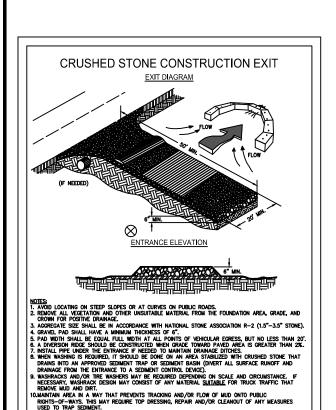
-10' MINIMUM-

10 mil PLASTIC LINING

NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD

2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE

CONCRETE WASHOUT



DEFINITION

Applying plant residues or other suitable materials, produced on the site if possible, to the soil surface.

PLAN NOT TO SCALE

TYPE "BELOW GRADE"

CONDITIONS

Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a singular erosion control device for up to six months, but it shall be applied at the appropriate depth, depending on the material used, anchored, and have a continuous 90% cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months. If an area will remain undisturbed for greater than six months, permanent vegetative techniques shall be employed.

SPECIFICATIONS

MULCHING WITHOUT SEEDING This standard applies to grades or cleared areas where seedings may not have asuitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover.

Site Preparation

1. Grade to permit the use of equipment for applying and anchoring mulch.

2. Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment

3. Loosen compact soil to a minimum depth of 3 inches.

Mulching Materials

Select one of the following materials and apply at the depth be sprayed onto the mulch as it is ejected from the

. Dry straw or hay shall be applied at a depth of 2 to 4 inches providing complete soil coverage. One advantage of this material is easy application.



DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

2. Wood waste (chips, sawdust or bark) shall be applied at a depth of 2 to 3 inches. Organic material from the clearing stage of development should remain on site, be chipped, and applied as mulch. This method of mulching can greatly

reduce erosion control costs.
3. Cutback asphalt (slow curing) shall be applied at 1200 gallons per acre (or 1/4 gallon per sq.yd.). 4. Polyethylene film shall be secured over banks or stockpiled soil material for temporary protection. This material can be salvaged and reused.

Applying Mulch

When mulch is used without seeding, mulch shall be applied to provide full coverage of the exposed area. 1. Dry straw or hay mulch and wood chips shall be applied uniformly by hand or by mechanical equipment. 2. If the area will eventually be covered with perennial vegetation, 20-30 pounds of nitrogen per acre in addition to the normal amount shall be applied to offset the uptake of nitrogen caused by the decomposition of the organic

mulches. 3. Cutback asphalt shall be applied uniformly. Care should be taken in areas of pedestrian traffic due to problems of 'tracking in" or damage to shoes, clothing, etc. 4. Apply polyethylene film on exposed areas.

Anchoring Mulch

1. Straw or hay mulch can be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk." Disks may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position. Straw or hay mulch shall be anchored immediately

after application. Straw or hay mulch spread with special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion shall machine. Use

100 gallons of emulsified asphalt and 100 gallons of water per ton of mulch. Tackifers and binders can be substituted for emulsified asphalt. Please refer to specification Tb -Tackifers and Binders. Plastic mesh or netting with mesh no larger than one inch by one inch shall be installed according to manufacturer's specifications.

2. Netting of the appropriate size shall be used to anchor wood waste. Openings of the netting shall not be larger than the average size of the wood waste chips. 3. Polyethylene film shall be anchor trenched at the top as well as incrementally as necessary.

DEFINITION

The establishment of temporary vegetative cover with fast growing seedings for seasonal protection on disturbed or denuded areas.

CONDITIONS

Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization. Most types of temporary vegetation are ideal to use as companion crops until the permanent vegetation is established.

SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **
Rye	3.9 pounds	3 bu.	9/1-3/1
Ryegrass	0.9 pound	40 lbs.	8/15-4/1
Annual Lespedeza	0.9 pound	40 lbs.	1/15-3/15
Weeping Lovegrass	0.1 pound	4 lbs.	2/15-6/15
Sudangrass	1.4 pounds	60 lbs.	3/1-8/1
Browntop Millet	0.9 pound	40 lbs.	4/1-7/15
Wheat	4.1 pounds	3 bu.	9/15-2/1

Unusual site conditions may require heavier seeding rates ** Seeding dates may need to be altered to fit temperture variations and conditions.

LEGEND

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

SPECIFICATIONS

Grading and Shaping

Excessive water run-off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, diversions, sediment barriers and others.

No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.

Seedbed Preparation

When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or handseeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall

When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarified to provide a place for seed to lodge and germinate.

Lime and Fertilizer

Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before land preparation and incorporated with a disk, ripper or chisel.

Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or cultipacker seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Soil should be "raked" lightly to cover seed with soil if seeded by hand.

Mulching

Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

Irrigation

Tel: (678) 367-3307

DATE: 12/20/2022

SCALE: NONE

During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly wetted to a depth that will insure germination of the seed. Subsequent applications should be made when needed.

REVISIONS DATE **DESCRIPTION**

2-2-2023

D BELLAREED LUXURY POOLS 6040 Northbelt Drive Suite F Norcross , GA 30071

	Myndviah Sales
DESIGNED BY:	147 Anderson Va
DRAWN BY:	Snellville, GA
CHECKED BY:	EDOGIONI GO
APPROVED BY:	EROSION CO

s-Tinsley 'alley Drive A 30039

ONTROL DETAILS

C-4

DRAWING NO.

SHEET 4 OF 7

DEFINITION

Controlling surface and air movement of dust on construction sites, roads, and demolition sites.

CONDITIONS

This practice is applicable to areas subject to surface and air movement of dust where on and off-site damage may occur without treatment

METHOD AND MATERIALS

A. TEMPORARY METHODS

Mulches. See standard Ds1 - Disturbed Area Stabilization (With Mulching Only). Synthetic resins may be used instead of asphalt to bind mulch material. Refer to standard Tb-Tackifiers and Binders. Resins such as Curasol or Terratack should be used according to manufacturer's recommendations

Vegetative Cover. See standard Ds2 - Disturbed Area Stabilization (With Temporary Seeding).

Spray-on Adhesives. These are used on mineral soils (not effective on muck soils). Keep traffic off these areas. Refer to standard Tb-Tackifiers and Binders.

Tillage. This practice is designed to roughen and bring clods to the surface. It is an emergency measure which should be used before wind erosion starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.

Irrigation. This is generally done as an emergency treatment. Site is sprinkled with water until the surface is wet.

Barriers. Solid board fences, snow fences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 15 times their height are effective in controlling wind erosion.

Calcium Chloride. Apply at rate that will keep surface moist. May need retreatment.

B. PERMANENT METHODS

Permanent Vegetation. See standard Ds3 -Disturbed Area Stabilization (With Permanent Vegetation). Existing trees and large shrubs may afford valuable



DUST CONTROL ON **DISTURBED AREAS REVISIONS**

DEFINITION

A permanent vegetation using sods on highly erodible or critically eroded lands.

CONDITIONS

This application is appropriate for areas which require immediate vegetative covers, drop inlets, grass swales, and waterways with intermittent flow.

CONSTRUCTION SPECIFICATIONS INSTALLATION

Soil Preparation

- Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.
- Topsoil properly applied will help guarantee stand. Don't use topsoil recently
- treated with herbicides or soil sterilants
- Mix fertilizer into soil surface. Fertilize based on soil tests or Table 6-6.1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.

Table 6-6.1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type (lbs./acre) Fertilizer Rate (lbs./acre) Fertilizer Rate Season		•		
10 10 10	* 1		Fertilizer Rate	Season
10-10-10 1000 .025 Fall	10-10-10	1000	.025	Fall

- Agricultural lime should be applied based on soil tests or at a rate of 1 to 2 tons per acre.

- Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod.
- On slopes steeper than 3:1, sod should be anchored with wooden or biodegradable pins or other approved methods.
- Installed sod should be rolled or tamped to provide good contact between sod
- Irrigate sod and soil to a depth of 4" immediately after installation. - Sod should not be cut or spread in extremely wet or dry weather.
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.



DISTURBED AREA STABILIZATION (WITH SODDING)

MATERIALS

- Sod selected should be certified. Sod grown in the general area of the project
- Sod should be machine cut and contain 3/4" $\pm 1/4$ " of soil, not including shoots
- Sod should be cut to the desired size within $\pm 5\%$. Torn or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather if irrigation is not
- The sod type should be shown on the plans or installed according to Table
- 6-6.2. See Figure 6-4.1 for your Resource Area.

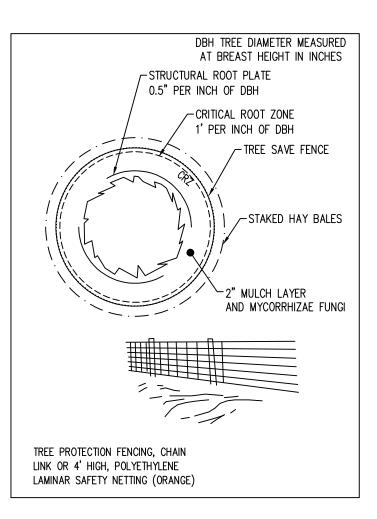
Table 6-6.2. Sod Planting Requirements

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L,P,C P,C P,C P,C	Warm Weather
Bahiagrass	Pensacola	P,C	Warm Weather
Centipede	-	P,C	Warm Weather
St. Augustine	Common Bitterblue Raleigh	С	Warm Weather
Zoysia	Emerald Myer	P,C	Warm Weather
Tall Fescue	Kentucky	M-L,P	Cool Weather

MAINTENANCE

- Re-sod areas where an adequate stand of sod is not obtained.
- New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
- Apply one ton of agricultural lime as indicated by soil test or every 4-6 years. • Fertilize grasses in accordance with soil tests or Table 6-6.3.

Table 6-6.5. Fertilizer Requirements for Sod							
Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)			
Cool	First	6-12-12	1500	50-100			
Season	Second	6-12-12	1000	-			
Grasses	Maintenance	10-10-10	400	30			
Warm	First	6-12-12	1500	50-100			
Season	Second	6-12-12	800	50-100			
Grasses	Maintenance	10-10-10	400	30			



DEFINITION

The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization. Permanent perennial vegetation shall be used to achieve final stabilization..

Permanent perennial vegetation is used to provide a protective cover for exposed areas including cuts, fills, dams, and other denuded areas.

SPECIFICATIONS

Grading and Shaping

Grading and shaping may not be required where hydraulic seeding and fertilizing equipment is to be used. Vertical banks shall be sloped to enable plant establishment.

When conventional seeding and fertilizing are to be done, grade and shape where feasible and practical, so that equipment can be used safely and efficiently during seedbed preparation, seeding, mulching and maintenance of the vegetation.

oncentrations of water that will cause excessive soil erosion shall be diverted to a safe outlet. Diversions and other treatment practices shall conform with the appropriate standards and specifications.

Seedbed Preparation

Seedbed preparation may not be required where hydraulic seeding and fertilizing equipment is to be used. When conventional seeding is to be used, seedbed preparation will be done as follows:

Broadcast plantings

DATE

- 1. Tillage at a minimum, shall adequately loosen the soil to a depth of 4 to 6 inches; alleviate compaction; incorporate lime and fertilizer; smooth and firm the soil; allow for the proper placement of seed, sprigs, or plants; and allow for the anchoring of straw or hay mulch if a disk is to be used.
- 2. Tillage may be done with any suitable equipment. 3. Tillage should be done on the contour where feasible.
- DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

DESCRIPTION

REVISIONS

4. On slopes too steep for the safe operation of tillage equipment, the soil surface shall be pitted or trenched across the slope with appropriate hand tools to provide two places 6 to 8 inches apart in which seed may lodge and germinate. Hydraulic seeding may also be used.

Individual Plants

- 1. Where individual plants are to be set, the soil shall be prepared by excavating holes, opening furrows, or dibble planting
- 2. For nursery stock plants, holes shall be large enough to accommodate roots
- 3. Where pine seedlings are to be planted, subsoil under the row 36 inches deep on the contour four to six months prior to planting. Subsoiling should be done when the soil is dry, preferably in August or September.

Planting

Hydraulic Seeding

Mix the seed (innoculated if needed), fertilizer, and wood cellulose or wood pulp fiber mulch with water and apply in a slurry uniformly over the area to be treated. Apply within one hour after the mixture is made.

Conventional Seeding

Seeding will be done on a freshly prepared and firmed seedbed. For broadcast planting, use a cultipacker seeder, drill, rotary seeder, other mechanical seeder, or hand seeding to distribute the seed uniformly over the area to be treated. Cover the seed lightly with 1/8 to 1/4 inch of soil for small seed and 1/2 to 1 inch for large seed when using a cultipacker or other suitable equipment.

No-till seeding is permissible into annual cover crops when planting is done following maturity of the cover crop or if the temporary cover stand is sparse enough to allow adequate growth of the permanent (perennial) species. No-till seeding shall be done with appropriate no-till seeding equipment. The seed must be uniformly distributed and planted at the proper depth.

Individual Plants

Shrubs, vines and sprigs may be planted with appropriate planters or hand tools. Pine trees shall be planted manually in the subsoil furrow. Each plant shall be set in a manner that will avoid crowding the roots. Nursery stock plants shall be planted at the same depth or slightly deeper than they grew at the nursery. The tips of vines and sprigs must be at or slightly above the ground surface. Where individual holes are dug, fertilizer shall be placed in the bottom of the hole, two inches of soil shall be added and the plant shall be set in the

Mulching

Mulch is required for all permanent vegetation applications. Mulch applied to seeded areas shall achieve 75% soil cover. Select the mulching material from the following and apply as indicated:

straw shall be applied at the rate of 2 tons per acre. Dry hay shall be applied at a rate of 2 1/2 tons per acre. 2. Wood cellulose mulch or wood pulp fiber shall be used with hydraulic

1. Dry straw or dry hay of good quality and free of weed seeds can be used. Dry

- seeding. It shall be applied at the rate of 500 pounds per acre. Drystraw or dry hay shall be applied (at the rate indicated above) after hydraulic seeding.
- tackifier, shall be used with hydraulic seeding on slopes 3/4:1 or steeper. 4. Sericea lespedeza hay containing mature seed shall be applied at a rate of three tons per acre.

3. One thousand pounds of wood cellulose or wood pulp fiber, which includes a

- 5. Pine straw or pine bark shall be applied at a thickness of 3 inches for bedding purposes. Other suitable materials in sufficient quantity may be used where ornamentals or other ground covers are planted. This is not appropriate
- for seeded areas. 6. When using temporary erosion control blankets or block sod, mulch is not required.
- 7. Bituminous treated roving may be applied on planted areas on slopes, in ditches or dry waterways to prevent erosion. Bituminous treated roving shall be applied within 24 hours after an area has been planted. Application rates and materials must meet Georgia Department of Transportation specifications.

Wood cellulose and wood pulp fibers shall not contain germination or growth inhibiting factors. They shall be evenly dispersed when agitated in water. The fibers shall contain a dye to allow visual metering and aid in uniform application during seeding.

Applying Mulch

Straw or hav mulch will be spread uniformly within 24 hours after seeding and/or planting. The mulch may be spread by blower-type spreading equipment other spreading equipment or by hand. Mulch shall be applied to cover 75% of the soil surface.

Wood cellulose or wood fiber mulch shall be applied uniformly with hydraulic seeding equipment.

Anchoring Mulch

Anchor straw or hay mulch immediately after application by one of the following

LEGEND

1. Emulsified asphalt can be (a) sprayed uniformly onto the mulch as it is ejected from the blower machine or (b) sprayed on the mulch immediately following mulch application when straw or hay is spread by methods other than special blower equipment.

The combination of asphalt emulsion and water shall consist of a homogeneous mixture satisfactory for spraying. The mixture shall consist of 100 gallons of grade SS-1h or CSS-1h emulsified asphalt and 100 gallons of water per ton of

Care shall be taken at all times to protect state waters, the public, adjacent property, pavements, curbs, sidewalks, and all other structures from asphalt discoloration

2. Hay and straw mulch shall be pressed into the soil immediately after the mulch is spread. A special "packer disk" or disk harrow with the disks set straight may be used. The disks may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disks shall be dull enough to press the mulch into the ground without cutting it, leaving much of it in an erect position. Mulch shall not be plowed into the soil. 3. Synthetic tackifiers or binders approved by GDOT shall be applied in conjunction with or immediately after the mulch is spread. Synthetic tackifiers shall be mixed and applied according to manufacturer's specifications. Refer to

Tb - Tackifiers and Binders.
4. Rye or wheat can be included with Fall and Winter plantings to stabilize the mulch. They shall be applied at a rate of one-quarter to one half bushel per acre. 5. Plastic mesh or netting with mesh no larger than one inch by one inch may be needed to anchor straw or hay mulch on unstable soils and concentrated flow areas. These materials shall be installed and anchored according to manufacturer's specifications.

Irrigation shall be applied at a rate that will not cause runoff.

SEEDING RATES FOR PERMANENT SEEDING

t, SPECIES	S	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **
BAHIA		1.4 POUNDS	60 LBS.	1/1-12/31
BERMUDA	Λ	0.2 POUND	10 LBS.	2/15-7/1
CENTIPEI	DЕ	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
ngLESPEDE	ZA	1.7 POUNDS	75 LBS.	1/1-12/31
WEEPING LOVE GRA		0.1 POUND	4 LBS.	2/1-6/15
SWITCH C	GRASS	0.9 POUND	40 LBS.	3/15-6/1

- * Unusual site conditions may require heavier seeding rates
- ** Seeding dates may need to be altered to fit temperature variations and conditions



Myndviah Sales-Tinsley 147 Anderson Valley Drive Snellville, GA 30039

EROSION CONTROL DETAILS

C-5

DRAWING NO.

BELLAREED LUXURY POOLS 6040 Northbelt Drive Suite F Norcross , GA 30071 Tel: (678) 367-3307

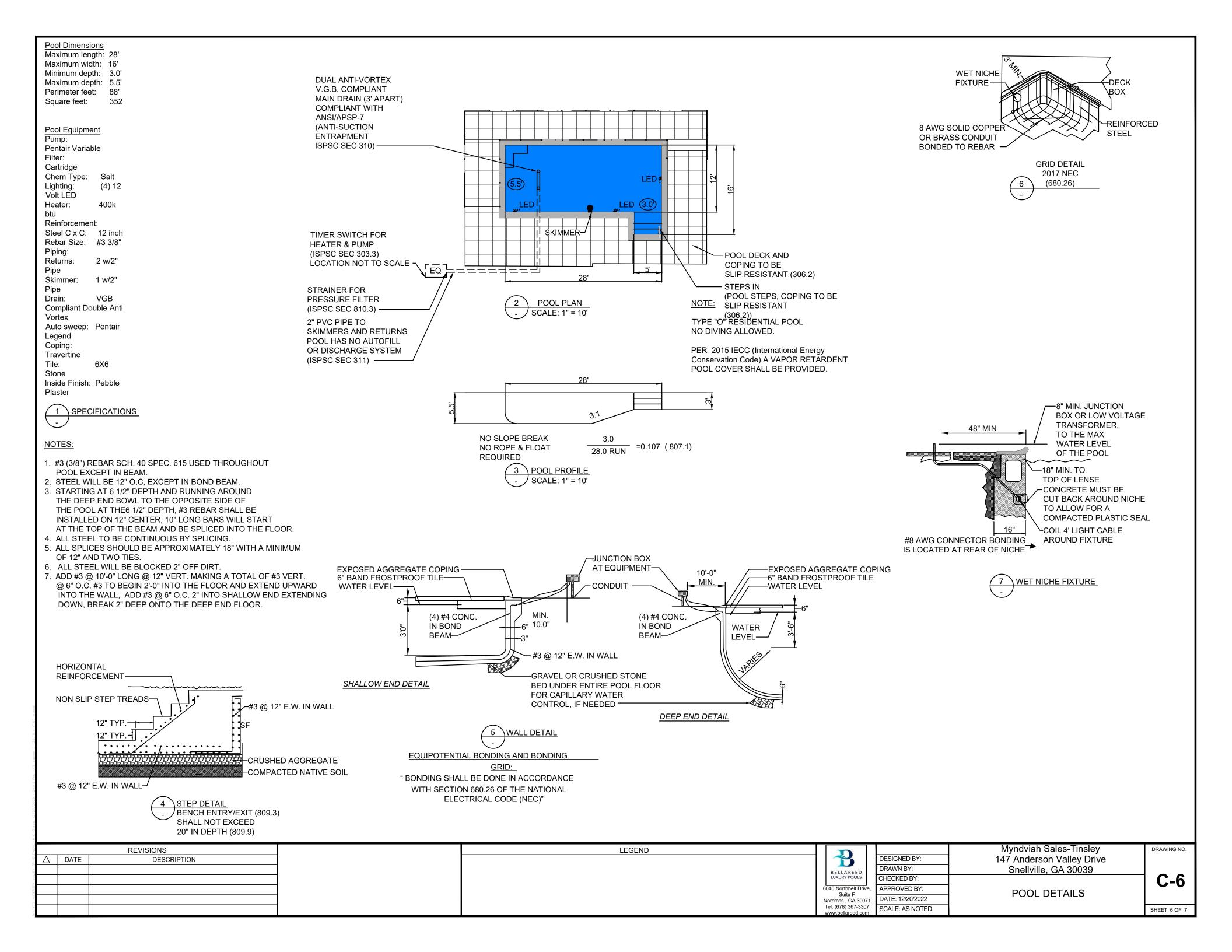
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HECKED BY APPROVED BY: DATE: 12/20/2022 SCALE: NONE

DESIGNED BY:

DRAWN BY:

SHEET 5 OF 7



The Anti-Vortex Single Channel Drain combines safety, innovation and easy installation

» Available in two models, Single & Dual Inlet.

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» Optional Hydrostatic Valve connection.

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* The AVSC Drain comes with:

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- » Perfect for spas, negative/vanishing edges, fountains,
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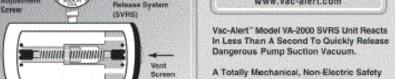
- > Listed and certified by NSF* International to
- the Virginia Graeme-Baker Act and ASME/ANSI A112.19.8a-2008 and it is Certified up to 227 GPM. LKt by NSP* 50.
- » Full compliance with anti-entrapment codes.
- . Throw-away cover to provide protection during
- » Dual levels of protection with the AVSC safety baffle providing a second level of protection in the event



Safety baffle over interior inlet.

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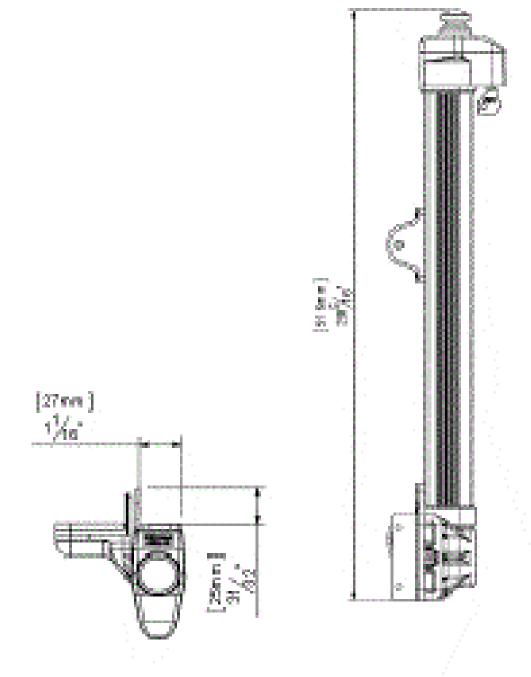
Vac-Alert's Fall Safe Design Is Manufactured With Only Engineered Plastics And Type 316 Stainless Steel For Long-Life And Reliable Service.

The VA-2000 SVRS Provides A Critical Layer Of Protection Against Body Or Limb Drain Suction Entrapment.

Tests Conducted By Independent, Third Party Laboratory Demonstrate That Vac-Alert's Model VA-2000 Meets Or Exceeds The Performance Requirements Of ASME/ANSI A112.19.17 - Manufactured Safety Vacuum Release Systems.

The VA-2000 SVRS is Backed By A 3-Year Limited Manufacturer's Warranty.

FOR SALES AND SERVICE CONTACT:

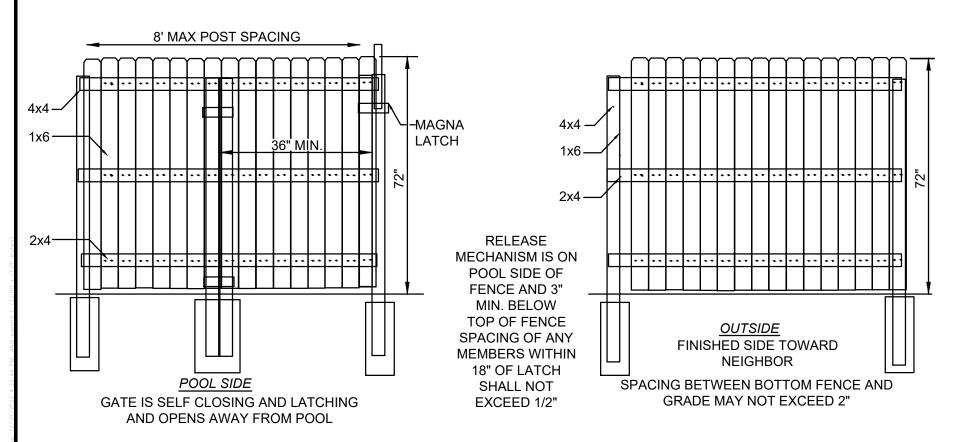


MAGNALATCH TOP PULL - MLTPS2BGA TO BE ADDED TO EXISTING GATE

ISPSC Section 305.4

Where a wall of a dwelling or structure serves as part of the barrier, doors and operable windows with a sill height of less than 48 inches that provide direct access to the aquatic vessel through the wall, shall be equipped with one or more of the following:

1. An alarm that produces an audible warning when the door or its screen or window is opened. The alarm shall be listed and labeled as a water hazard entrance alarm in accordance with UL 2017. In dwellings or structure not required to be Accessible units, Type A units or Type B units, the deactivation switch shall be located 54 inches or more above the threshold of the door. In dwellings or structures required to be Accessible units, Type A units or Type B units, the deactivation switch shall be located not greater than 54 inches and not less than 48 inches above the threshold of the door.



6' WOOD PRIVACY FENCE

REVISIONS **LEGEND** DESCRIPTION DATE

B B E L L A R E E D LUXURY POOLS 6040 Northbelt Drive Suite F

DATE: 12/20/2022 Norcross , GA 30071 Tel: (678) 367-3307 SCALE: NONE

Myndviah Sales-Tinsley DESIGNED BY: 147 Anderson Valley Drive DRAWN BY: Snellville, GA 30039 CHECKED BY: APPROVED BY: **POOL DETAILS**

DRAWING NO.

SHEET 7 OF 7

