

DeKalb County Historic Preservation Commission

Monday, March 18th, 2024 - 6:00 P.M.

Staff Report

New Construction Agenda

Q. 1000 Clifton Road, Summerour Architects. Demolish nonhistoric house, construct a new house and garage, and install a new driveway. **1246927**

Built in 1953 – Nonhistoric (18 003 01 025)

This property is in Druid Hills Character Area #2 and in the Druid Hills National Register Historic District.

Summary

Applicant proposes the following work:

1. Demolish a nonhistoric ranch house.
2. Construct a new two-story house. The new home will be Georgian and English Vernacular inspired in style and constructed from lime-washed brick with a multi-side gable slate roof. The house will include wood-clad rectangular windows of various divided-lite styles, both casement and double-hung. The house will include a rear addition with a working chimney and a rear enclosed screened porch with a working chimney. A smaller second enclosed screened porch will be constructed on the other side of the rear elevation of the house.
3. Install a new driveway and parking pad. The parking pad and driveway will be asphalt. The parking pad will replace the current parking pad located towards the front of the property, which will be removed.
4. Construct a detached garage/accessory dwelling unit to the left of the main home. The garage will measure 1300 square feet and be constructed with vertical wood siding and a slate roof to match the home.
5. Install an inground pool with a spa area. The pool will be 24'x12' and the spa area will be 6'x12'. A black aluminum code compliant fence will be installed around the back area around the pool.
6. Carry out site improvements, including:
 - a. Install synthetic turf around the pool
 - b. Construct a granite fire pit with a 30" tall granite wall surrounding the pit and the pool area
 - c. Install a bluestone paver front walkway leading from the garage to the front entrance.
 - d. Remove approximately 12 trees
 - e. Plant approximately 12 trees of various species, including
 - i. Black Tupelo, 6'
 - ii. Highbeam Overcup Oak, 6'
 - iii. October Glory Red Maple, 4'
 - iv. Fringe Tree, 4'

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

7.0 *Additions & New Construction - Preserving Form & Layout* The Druid Hills Local Historic District continues to change and evolve over time. For this area to meet contemporary needs, additions are built, uses change, and new buildings are constructed. The challenge is not to prevent change but to ensure that, when it does inevitably happen, it is compatible with the historic character of the area.

A new building is compatible with its historic setting when it borrows design characteristics and materials from adjacent buildings and integrates them into a modern expression. Before undertaking new development, be it a new building or changes or additions to existing buildings, take time to evaluate what makes the property and the neighborhood distinctive. Evaluate what type of impact the new development will have on the property and neighborhood. Decide how the development can best be designed to complement the property and area.

The underlying guideline for new construction and additions is to consider one's neighbors and nearby structures and reinforce the existing historic character through sensitive, compatible design.

Note that many of these guidelines refer to new development or new construction but are equally applicable to additions to existing buildings.

7.1 *Defining the Area of Influence* (p64) Guideline - In considering the appropriateness of a design for a new building or addition in a historic district, it is important to determine the area of influence. This area should be that which will be visually influenced by the building, i.e. the area in which visual relationships will occur between historic and new construction.

7.2 *Recognizing the Prevailing Character of Existing Development* (p65) Guideline - When looking at a series of historic buildings in the area of influence, patterns of similarities may emerge that help define the predominant physical and developmental characteristics of the area. These patterns must be identified and respected in the design of additions and new construction.

7.2.2 *Directional Emphasis* (p67) Guideline - A new building's directional emphasis should be consistent with dominant patterns of directional emphasis within the area of influence, if such patterns are present.

7.2.3 *Shape: Roof Pitch* (p68) Guideline - The roof pitch of a new building should be consistent with those of existing buildings within the area of influence, if dominant patterns are present.

7.2.3 *Shape: Building Elements* (p68) Guideline - The principal elements and shapes used on the front facade of a new building should be compatible with those of existing buildings in the area of influence, if dominant patterns are present.

7.2.3 *Shape: Porch Form* (p68) Guideline - The shape and size of a new porch should be consistent with those of existing historic buildings within the area of influence, if dominant patterns are present.

7.2.4 *Massing* (p69) Guideline - The massing of a new building should be consistent with dominant massing patterns of existing buildings in the area of influence, if such patterns are present.

7.2.5 *Proportion* (p70) Guideline - The proportions of a new building should be consistent with dominant patterns of proportion of existing buildings in the area of influence, if such patterns are present.

- 7.2.6 *Rhythm* (p71) Guideline - New construction in a historic area should respect and not disrupt existing rhythmic patterns in the area of influence, if such patterns are present.
- 7.2.7 *Scale/Height* (p72) Guideline - New construction in historic areas should be consistent with dominant patterns of scale within the area of influence, if such patterns are present. Additions to historic buildings should not appear to overwhelm the existing building.
- 7.2.8 *Individual Architectural Elements* (p73) Guideline - New construction and additions should be compatible and not conflict with the predominant site and architectural elements—and their design relationships—of existing properties in the area of influence.
- 7.3.1 *Additions* (p74) Guideline - Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- 7.3.1 *Additions* (p74) Guideline - Additional stories should be set well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.
- 7.3.1 *Additions* (p74) Recommendation - The Secretary of the Interior's Standards recommend that an addition be designed so that at a later date it can be removed without compromising the historic character of the building.
- 7.3.1 *Additions* (p74) Recommendation - While an addition should be compatible, it is acceptable and appropriate for it to be clearly discernible as an addition rather than appearing to be an original part of the building. Consider providing some differentiation in material, color, and/or detailing and setting additions back from the historic building's wall plane.
- 9.6 *Accessory Buildings* (p91) Guideline - New accessory buildings, such as garages and storage houses, are to be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement the architecture of the adjacent residence do not require the same level of buffering and may remain more visible within the local district. If the new building will be visible from the street, it should respect the established setbacks and orientations of the historic buildings in the area
- 11.0 *Nonhistoric Properties* (p93) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.



Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____

Date Received: _____

Address of Subject Property: _____

Applicant: _____ E-Mail: _____

Applicant Mailing Address: _____

Applicant Phone: _____

Applicant's relationship to the owner: Owner ☐

Architect ☐

Contractor/Builder ☐

Other ☐

Owner(s): _____ Email: _____

Owner(s): _____ Email: _____

Owner(s) Mailing Address: _____

Owner(s) Telephone Number: _____

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

New construction ☐

New Accessory Building ☐

Other Building Changes ☐

Demolition ☐

Landscaping ☐

Other Environmental Changes ☐

Addition ☐

Fence/Wall ☐

Other ☐

Moving a Building ☐

Sign Installation ☐

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Casey and Daniel Moriarty


being owner(s) of the property at: 1000 Clifton Road

hereby delegate authority to: Greta de Olano RA – Summerour Architects and Jon Hart ASLA – Planters Landscape Architecture

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):

Date: 2/22/24



Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

The
Moriarty Residence

1000 CLIFTON ROAD NE
ATLANTA, GA 30307

CERTIFICATE OF APPROPRIATENESS

22 FEBRUARY 2024

PROJECT TEAM

CONTRACTOR: AVALON CUI/TOM HOMEY
404-401-1433

ARCHITECT: SUMMEROUR ARCHITECTS
1829 PEACHTREE ROAD NE
ATLANTA, GA 30309
678-904-8114

INTERIOR DESIGNER: RAJEVAC DESIGN/STUDIO
954-234-1015

LANDSCAPE ARCHITECT: PLANTER/
185 OTTLEY DRIVE NE
ATLANTA, GA 30324
770-997-4764

SUMMEROUR
AND ASSOCIATES
ARCHITECTS
INCORPORATED

1829 PEACHTREE ROAD NE
ATLANTA, GA 30309
TELEPHONE: 404 - 603 - 8585
FACSIMILE: 404 - 603 - 4880

THE
MORIARTY
RESIDENCE

1000 CLIFTON ROAD NE
ATLANTA GA

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BE REPRODUCED OR COPIED IN WHOLE OR IN
PART. DO NOT SCALE DRAWING. IT IS ONLY TO
BE USED FOR THE PROJECT AND SITE
SPECIFICALLY IDENTIFIED HEREIN AND IS NOT
TO BE USED ON ANY OTHER PROJECT WITHOUT
WRITTEN PERMISSION FROM THE ARCHITECT.
THE CONTRACTOR IS RESPONSIBLE FOR
VERIFYING ALL FIELD MEASUREMENTS,
QUANTITIES, DIMENSIONS AND RELATED FIELD
CONSTRUCTION CRITERIA.

☐ HALF-SIZE PLOT

NOTE TO CONTRACTOR:
ANY DISCREPANCIES, INCONSISTENCIES OR
AMBIGUITIES FOUND BETWEEN THE DRAWINGS,
SPECIFICATIONS & SITE CONDITIONS SHALL BE
IMMEDIATELY REPORTED TO THE ARCHITECT IN
WRITING. THE ARCHITECT WILL PROMPTLY
CORRECT THE SAME IN WRITING. WORK DONE
BY THE CONTRACTOR AFTER DISCOVERY OF SUCH
DISCREPANCIES, INCONSISTENCIES OR
AMBIGUITIES SHALL BE DONE AT THE
CONTRACTOR'S RISK.

PRINT RECORD

22 FEB 2024 CERTIFICATE OF APPROPRIATENESS

REVISIONS

DATE:
PROJECT #: 23026
DRAWN BY: R/T
CHECKED BY: CDJ

TITLE SHEET

T1.1

☐ RELEASED FOR CONSTRUCTION
☒ NOT RELEASED FOR CONSTRUCTION



SITE LOCATION MAP
(NOT TO SCALE)

FRONT AVERAGE SETBACK
CALCULATIONS

#1002 - 60.4'
#974 - 265.9'
#1000 = (60.4+265.9)/2 = 163.15'

FLOOD NOTE

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (S) (IS NOT) IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL
MAP ID 13089C0062J EFFECTIVE DATE: 05/16/2013
ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

1. LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAN SHALL BE CONSTRUCTED SO THAT ALL ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION
4. A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

SSMH1 934.67
INV IN 924.67
INV OUT 924.57

SSMH2 936.17
INV IN 923.17
INV OUT 923.07

MH1 935.05
INV OUT 927.85
MH2 935.06
INV IN 927.76
INV OUT 927.66

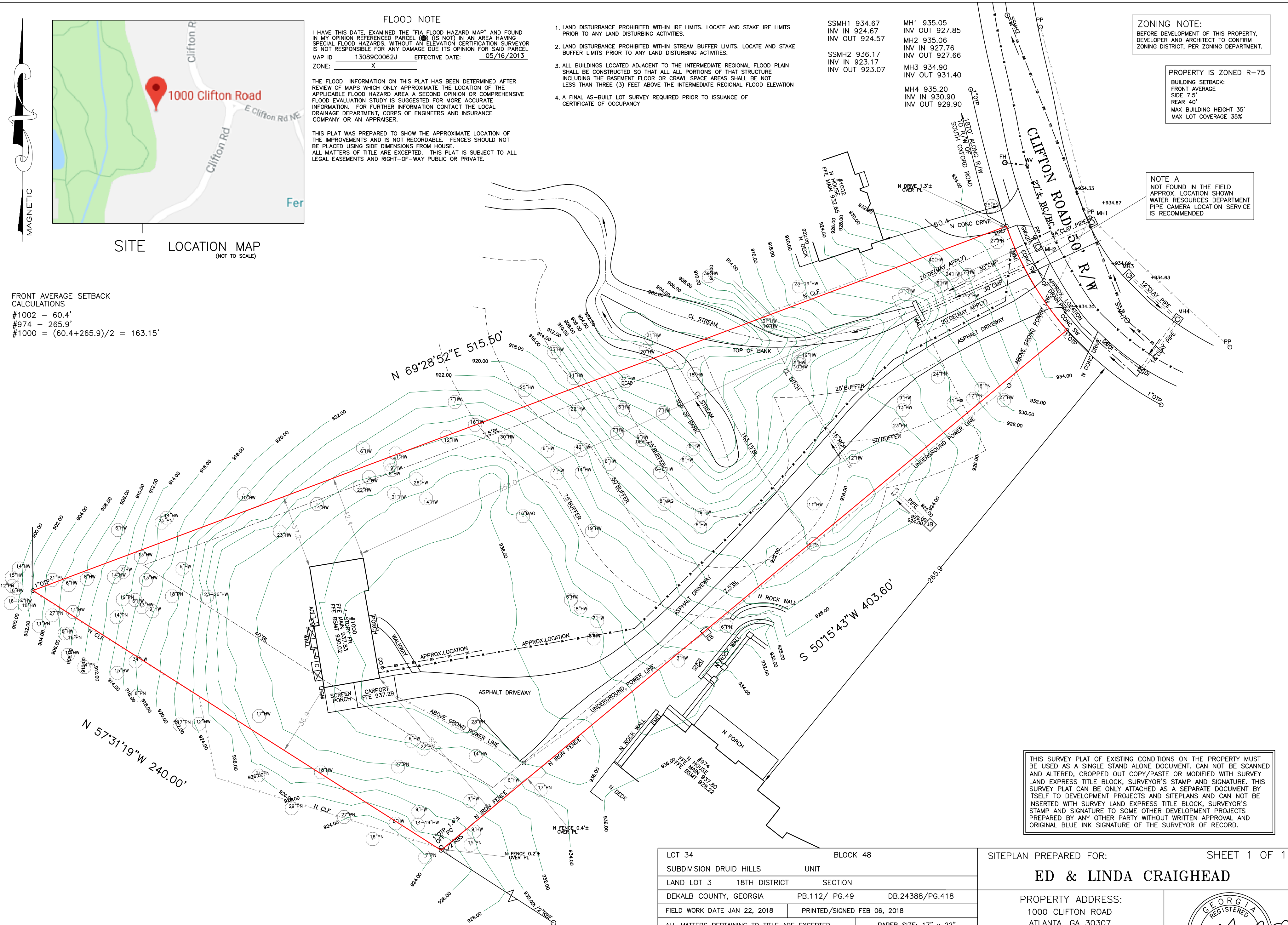
MH3 934.90
INV OUT 931.40

MH4 935.20
INV IN 930.90
INV OUT 929.90

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY,
DEVELOPER AND ARCHITECT TO CONFIRM
ZONING DISTRICT, PER ZONING DEPARTMENT.

PROPERTY IS ZONED R-75
BUILDING SETBACK:
FRONT AVERAGE
SIDE 7.5'
REAR 40'
MAX BUILDING HEIGHT 35'
MAX LOT COVERAGE 35%

NOTE A
NOT FOUND IN THE FIELD
APPROX. LOCATION SHOWN
WATER RESOURCES DEPARTMENT
PIPE CAMERA LOCATION SERVICE
IS RECOMMENDED



THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

LOT 34		BLOCK 48	
SUBDIVISION DRUID HILLS		UNIT	
LAND LOT 3		18TH DISTRICT	
DEKALB COUNTY, GEORGIA		SECTION	
FIELD WORK DATE JAN 22, 2018		PRINTED/SIGNED FEB 06, 2018	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 17" x 22"	

SITEPLAN PREPARED FOR:

SHEET 1 OF 1

ED & LINDA CRAIGHEAD

PROPERTY ADDRESS:
1000 CLIFTON ROAD
ATLANTA, GA 30307



TOTAL LAND AREA
61165.02 SF = 1.404 AC

ALLOWABLE LOT COVERAGE
21407.76 SF / 0.491 AC

0 30
SCALE 1" = 30'

AS
COORD #20180102
DWG #20180102

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

70 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

MORIARTY RESIDENCE - 1000 CLIFTON ROAD



EXISTING CONDITIONS: EAST SIDE (FRONT)



EXISTING CONDITIONS: EAST SIDE (FRONT)

MORIARTY RESIDENCE - 1000 CLIFTON ROAD



EXISTING CONDITIONS: NORTH SIDE



EXISTING CONDITIONS: SOUTH SIDE

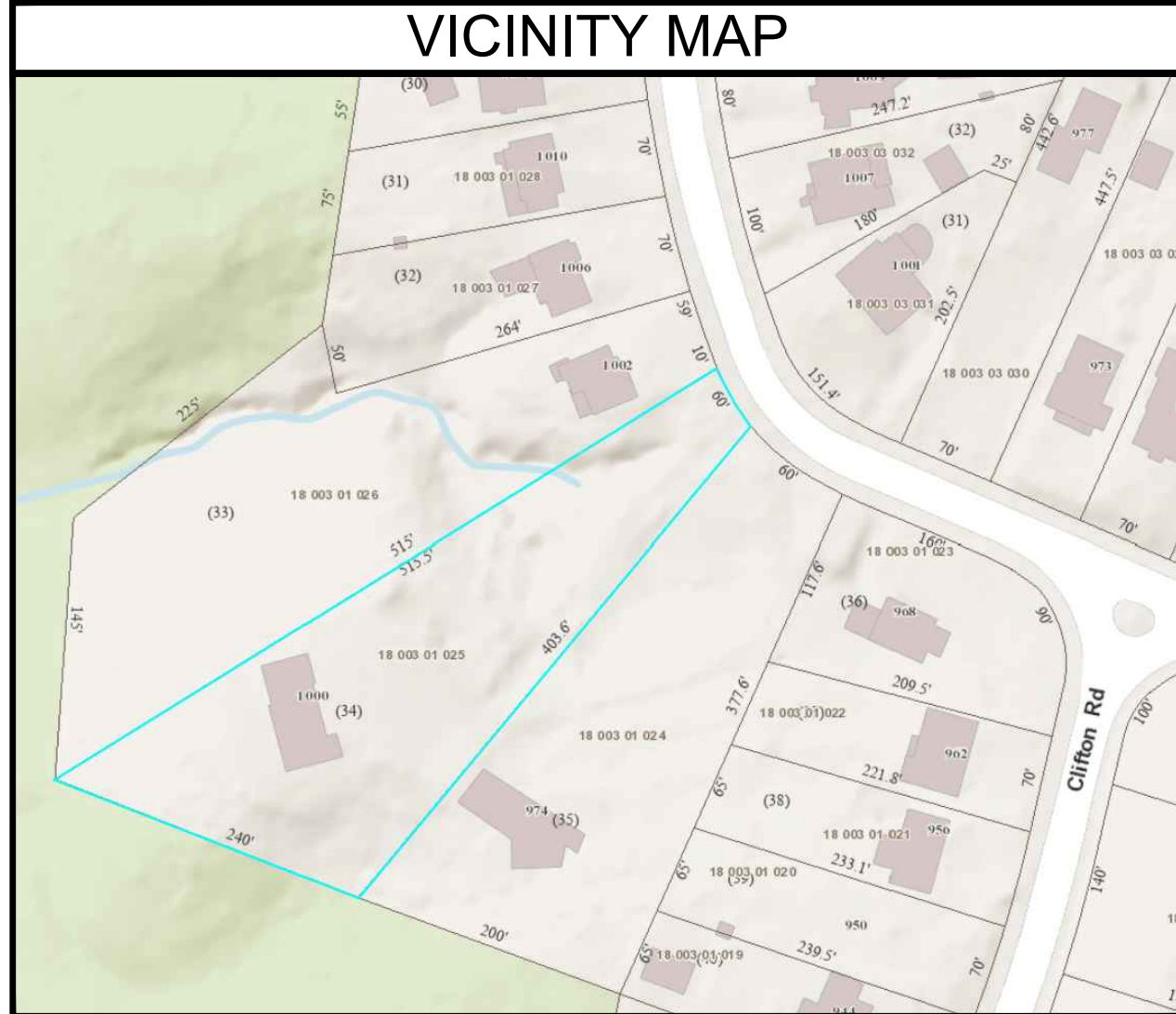
MORIARTY RESIDENCE - 1000 CLIFTON ROAD



EXISTING CONDITIONS: WEST SIDE (REAR)

IMPACTED TREE TABLE						
DBH	TYPE	CRZ	STATUS	DBH	TYPE	CRZ
23	PN	1662	REMOVED	30	HW	2827
14	HW	616	REMOVED	6	HW	113
6	HW	113	SAVED	7	HW	154
9	HW	254	SAVED	19	HW	1134
33	HW	3421	SAVED	14	HW	616
9	HW	254	SAVED	42	HW	5542
27	PN	2290	SAVED	22	HW	1521
22	PN	1521	SAVED	6	HW	113
6	HW	113	REMOVED	7	HW	154
18	HW	1018	SAVED	6	HW	113
17	HW	4428	SAVED	12	HW	452
49	HW	2582	SAVED	8	MAG	201
18	PN	1811	SAVED	6	HW	113
9	HW	5571	SAVED	16	HW	804
13	HW	2884	SAVED	6	HW	113
6	HW	113	SAVED	6	HW	113
19	PN	8288	SAVED	7	HW	154
14	PN	616	SAVED	18	HW	1018
14	HW	616	SAVED	10	HW	314
6	HW	113	SAVED	9	HW	254
8	HW	201	SAVED	19	HW	1134
14	14	616	SAVED	11	HW	380
7	HW	3877	SAVED	12	HW	452
13	HW	531	SAVED	23	PM	1662
13	HW	531	SAVED	13	HW	531
6	HW	113	REMOVED	9	HW	254
23	HW	1662	REMOVED	24	PN	1810
14	HW	616	REMOVED	31	HW	3019
22	HW	1521	REMOVED	17	PN	908
7	HW	154	REMOVED	16	PN	804
19	HW	1134	REMOVED	12	HW	452
6	HW	113	REMOVED	11	HW	380
31	HW	3019	REMOVED	6	HW	113
26	HW	2124	REMOVED	40	HW	5027
14	HW	616	REMOVED	24	HW	1810
12	HW	452	SAVED	7	HW	154
16	HW	804	SAVED	27	PN	2290
16	MAG	804	REMOVED	31	HW	3019
				10	HW	314

TREES SAVED: 77 (1199 dbh in.)
TREES REMOVED: 14 (243 dbh in.)
TREES REPLACED: 11



EROSION CONTROL NOTES

PRIOR TO ANY LAND DISTURBANCE, CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE EROSION CONTROL DEPARTMENT @ 404-546-1305

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS, AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED.

EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED AS NECESSARY BY THE GENERAL CONTRACTOR.

ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.

SILT FENCE SHALL BE "TYPE-C" PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED. SEE ATTACHED DETAIL.

DOUBLE ROW OF SD1-C REQUIRED IF DISTURBED AREA IS WITHIN 200' OF STATE WATERS.

LOT COVERAGE CALCS

TOTAL SITE AREA: 61165 SF / 1.404 ACRES
MAXIMUM ALLOWABLE LOT COVERAGE: 35% (21408 SF)
LOT COVERAGE BREAKDOWN: SEE TABLE BELOW

	EX. (SF)	PROP. (SF)	CHANGE (SF)
HOUSE & GARAGE (ROOFS)	2071	5222	3152
PAVED TERRACES	-	2676	2676
STEPS, WALKWAYS & WALLS	247	869	622
POOL	-	372	372
DRIVEWAY	4019	4511	492
PARKING	1058	1246	189
TOTAL	7393 (12%)	14524 (24%)	

24 - HOUR CONTACT

OWNER: CASEY and DAN MORIARTY
1000 Clifton Road NE, Atlanta, GA 30307
770.546.9493

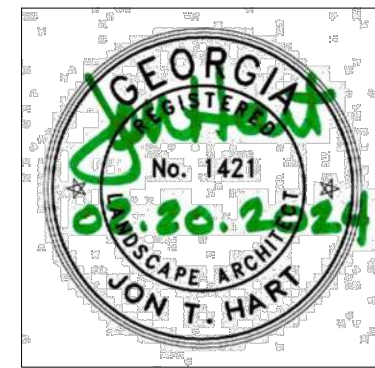
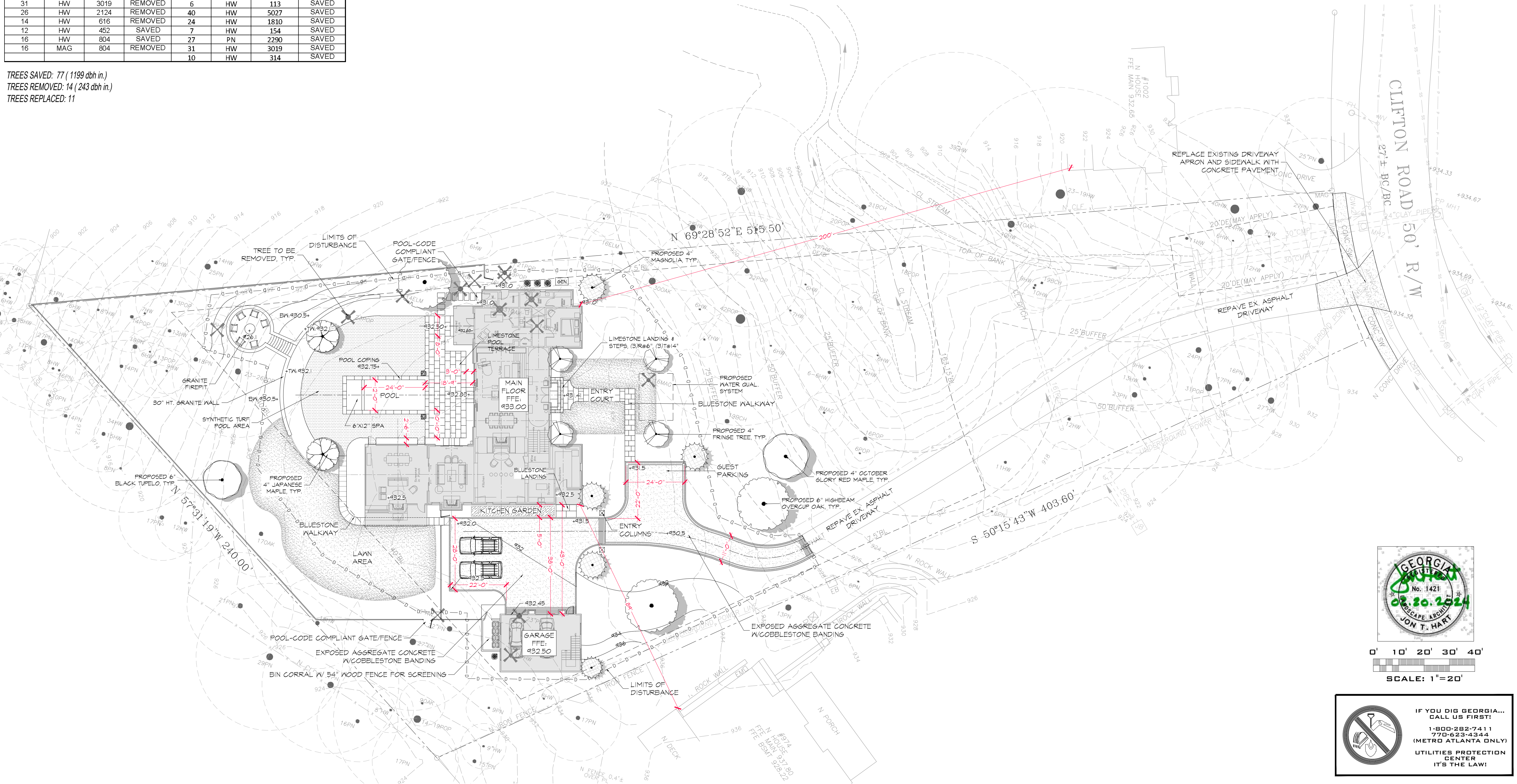
CONTRACTOR: CRAIG BASS, AVALON CUSTOM HOMES
1091 McLynn Avenue NE, Atlanta, GA 30306
404.401.1433

SITE INFORMATION

ZONING: R-75
TOTAL SITE AREA: 61165 SF / 1.4 ACRES
EXISTING IMPERVIOUS: 7393 SF (12%)
PROPOSED IMPERVIOUS: 14524 SF (24%)
TOTAL DISTURBED AREA: 24357 SF (0.6 ACRES)

SCOPE OF WORK: DEMOLISH EXISTING HOUSE AND CONSTRUCT NEW HOUSE, DRIVEWAY, RETAINING WALL AND POOL PATIO.

PROJECT TO COMPLY WITH ALL CURRENT AND APPLICABLE CODES.
-2018 INTERNATIONAL RESIDENTIAL CODE WITH GEORGIA AMENDMENTS 2020.
-2018 INTERNATIONAL SWIMMING POOL & SPA CODE WITH GA. AMENDMENTS 2020.
-2018 INTERNATIONAL BUILDING CODE WITH GEORGIA AMENDMENTS 2020



0' 10' 20' 30' 40'
SCALE: 1"=20'



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITIES PROTECTION
CENTER
IT'S THE LAW!



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Landscape Architecture
Fine Garden Design

ATLANTA OFFICE:
1185 DITLEY DRIVE
ATLANTA, GA 30324
TEL: 404 261 6002

HIGHLANDS OFFICE:
930 HALE RIDGE ROAD
SCALY MOUNTAIN, NC 28775
TEL: 828 526 2140

CLIENT:

**MORIARTY
RESIDENCE**

ADDRESS:

**1000 CLIFTON ROAD
ATLANTA, GEORGIA**

TITLE:

**SITE/GRADING
PLAN**

DATE:

02.20.24

DRAFTED BY:

JTH

SCALE:

1"=20'

NORTH:



NOTES:

☐ NOT RELEASED FOR CONSTRUCTION
☒ RELEASED FOR CONSTRUCTION

REVISIONS:

SHEET NUMBER:

L1.1

THIS DRAWING IS THE PROPERTY
OF PLANTERS AND IS NOT TO BE
REPRODUCED OR COPIED IN
WHOLE OR IN PART. IT IS ONLY
TO BE USED FOR THE PROJECT
AND SITE SPECIFICALLY
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CONTRACTOR TO BE
RESPONSIBLE FOR VERIFYING
ALL FIELD MEASUREMENTS AND
DIMENSIONS. ALL
DISCREPANCIES SHALL BE
REPORTED TO PLANTERS
IMMEDIATELY.



STEEL FENCE EXAMPLE (POOL CODE COMPLIANT)

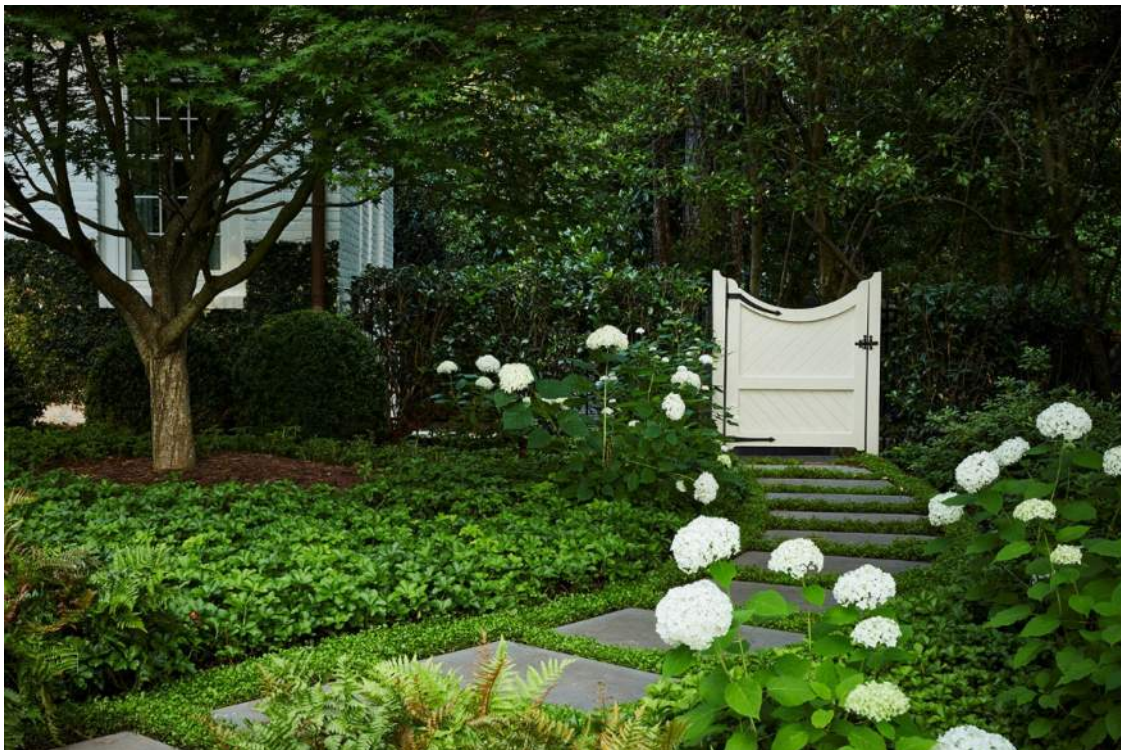


MATERIALS INSPIRATION: EXPOSED AGGREGATE CONCRETE WITH COBBLESTONE EDGE

MORIARTY RESIDENCE - 1000 CLIFTON ROAD

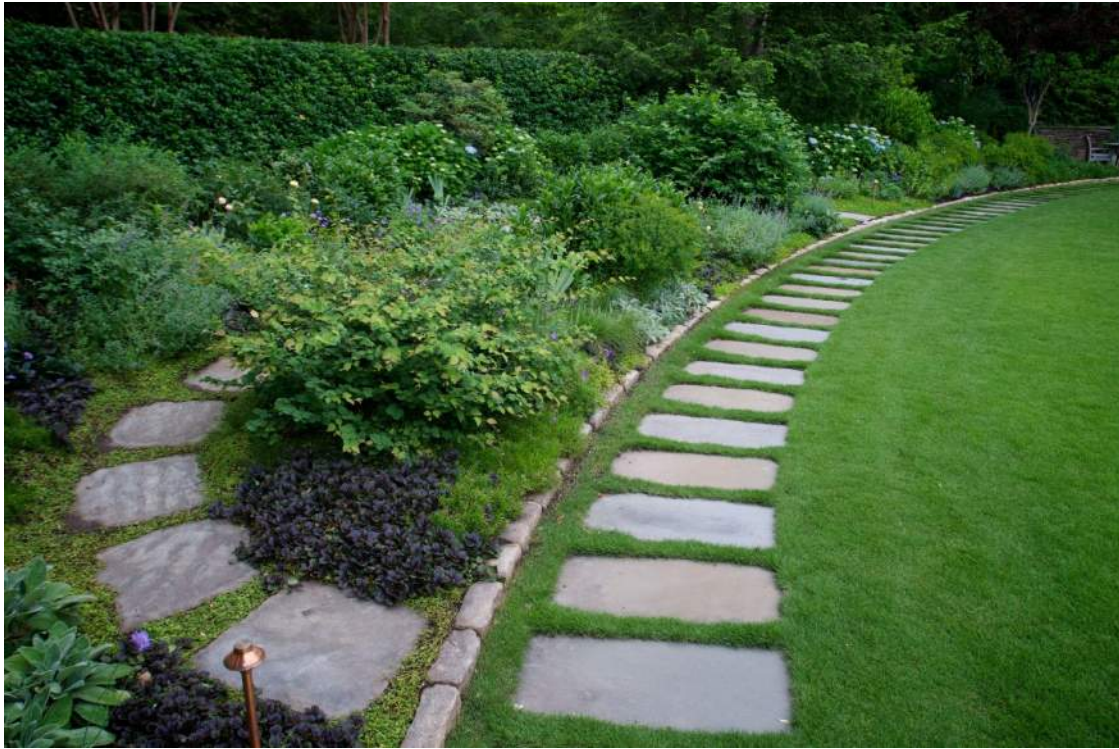


MATERIALS INSPIRATION: BLUESTONE WALKWAY



MORIARTY RESIDENCE - 1000 CLIFTON ROAD

MATERIALS INSPIRATION: BLUESTONE STEPPING STONES



MATERIALS INSPIRATION: BLUESTONE STEPPING STONES

MORIARTY RESIDENCE - 1000 CLIFTON ROAD



MATERIALS INSPIRATION: LIMESTONE POOL COPING WITH SYNTHETIC TURF



956 CLIFTON ROAD NE



962 CLIFTON ROAD NE



968 CLIFTON ROAD NE



969 CLIFTON ROAD NE



973 CLIFTON ROAD NE



974 CLIFTON ROAD NE



977 CLIFTON ROAD NE



1000 CLIFTON ROAD NE
(current home not very visible from road)



1001 CLIFTON ROAD NE



1002 CLIFTON ROAD NE



1006 CLIFTON ROAD NE



1007 CLIFTON ROAD NE



1009 CLIFTON ROAD NE



1010 CLIFTON ROAD NE



1014 CLIFTON ROAD NE



3 CLIFTON ROAD NE - AREA OF INFLUENCE
Not To Scale

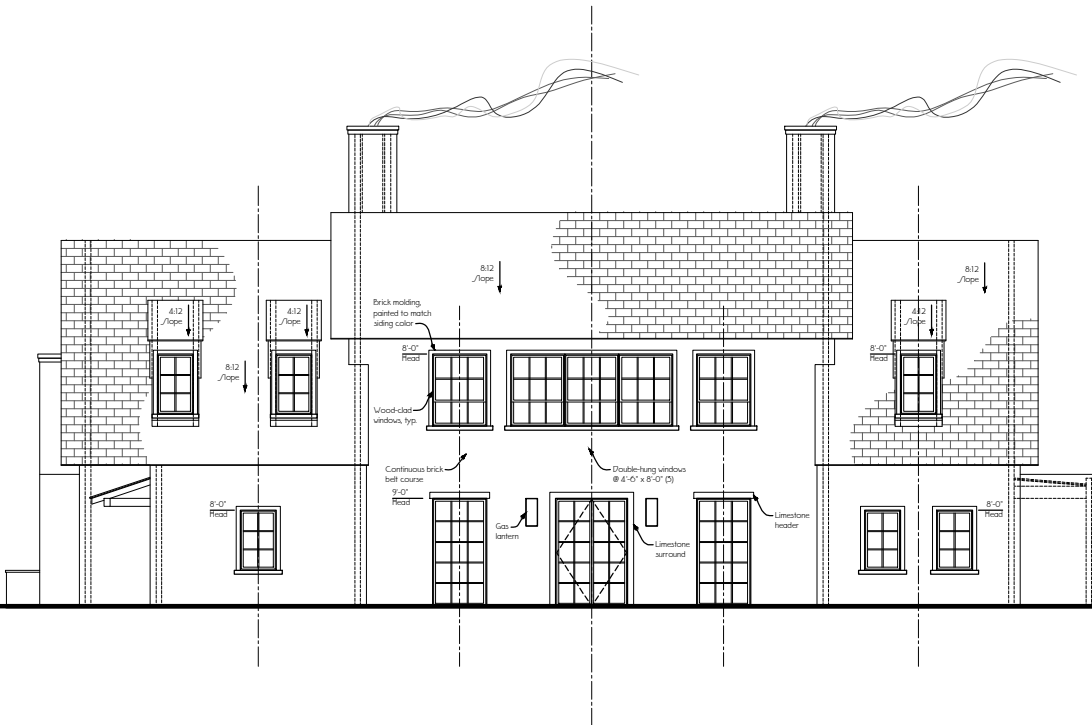
2 CLIFTON ROAD NE - KEY PLAN
Scale: 1/64" = 1' - 0"



968 CLIFTON ROAD NE



974 CLIFTON ROAD NE
(Home not visible from street)



1000 CLIFTON ROAD NE



1002 CLIFTON ROAD NE



1006 CLIFTON ROAD NE

1 STREET/CAPE ELEVATION
Scale: 1/16" = 1' - 0"

SUMMEROUR
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ARCHITECTS
INCORPORATED

1829 PEACHTREE ROAD NE
ATLANTA, GA 30309
TELEPHONE: 404 - 603 - 8585
FACSIMILE: 404 - 603 - 4880

THE
MORIARTY
RESIDENCE

1000 CLIFTON ROAD NE
ATLANTA GA

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□ HALF-SIZE PLOT

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REVISIONS

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DRAWN BY: R/Z
CHECKED BY: CDJ

SITE CONTEXT

T1.2

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2 FRONT ELEVATION
N.T.S.



1 BACK ELEVATION
N.T.S.

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CONCEPTUAL
SKETCHES

T1.3

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Home Interiors



Home Inspiration



Homewood house by Edwin Lutyens



Home by Philip Trammell Hutze in Druid Hills



Home by Philip Trammell Hutze in Buckhead



Home by Philip Trammell Hutze in Druid Hills



Windows - wood clad, color to be consistent with exterior lime slurry



Roof Material - a mix of semi-weather gray and black slate tiles



Exterior Siding - a lime slurry wash over top of a queen size brick

EXTERIOR MATERIALS for 1000 Clifton Road

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MATERIALS
AND FORMS


T1.4

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 HALF-SIZE PLOT

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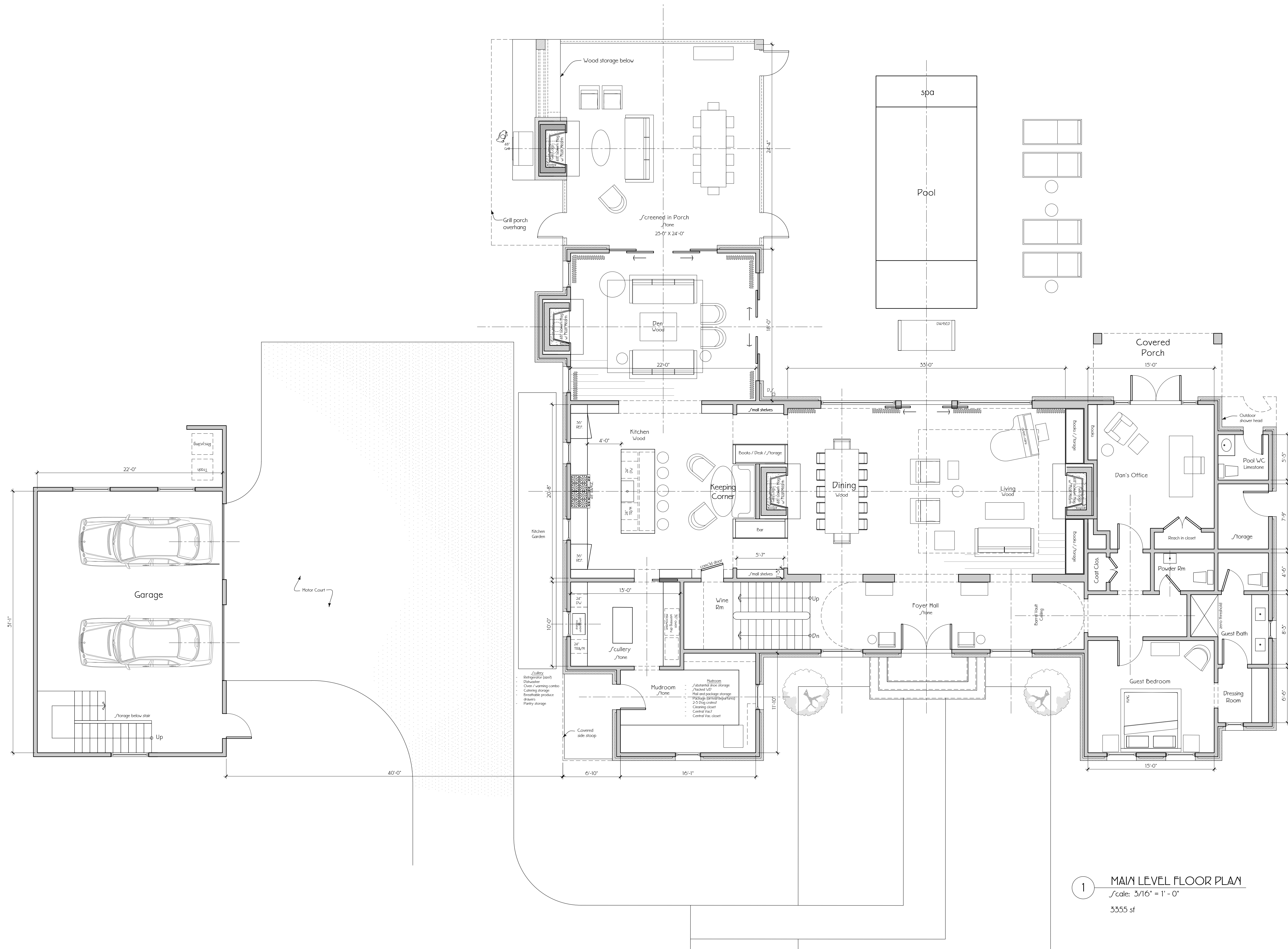
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MAIN LEVEL
FLOOR PLAN

A1.1

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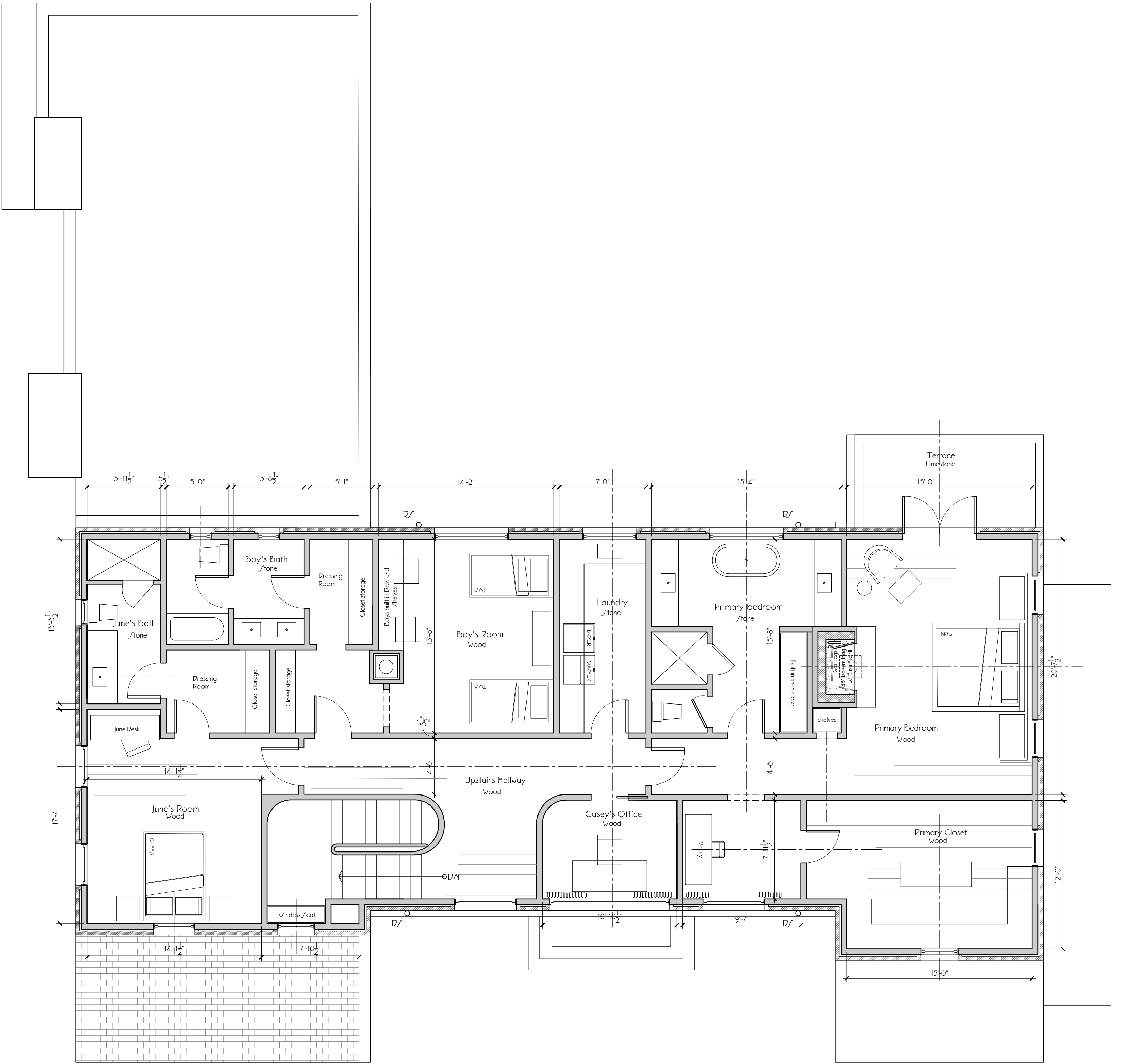
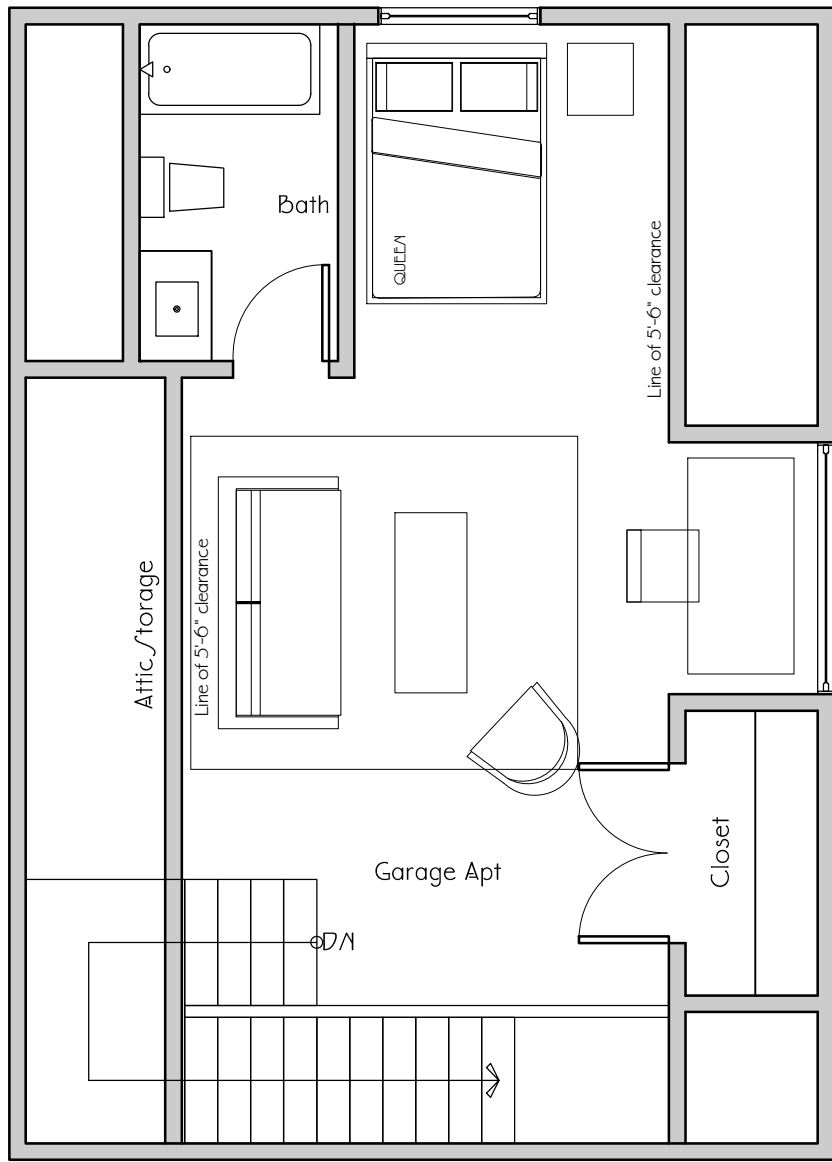
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SECOND LEVEL
FLOOR PLAN

A1.2

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1 SECOND LEVEL FLOOR PLAN
Scale: 3/16" = 1' - 0"
2270 sf

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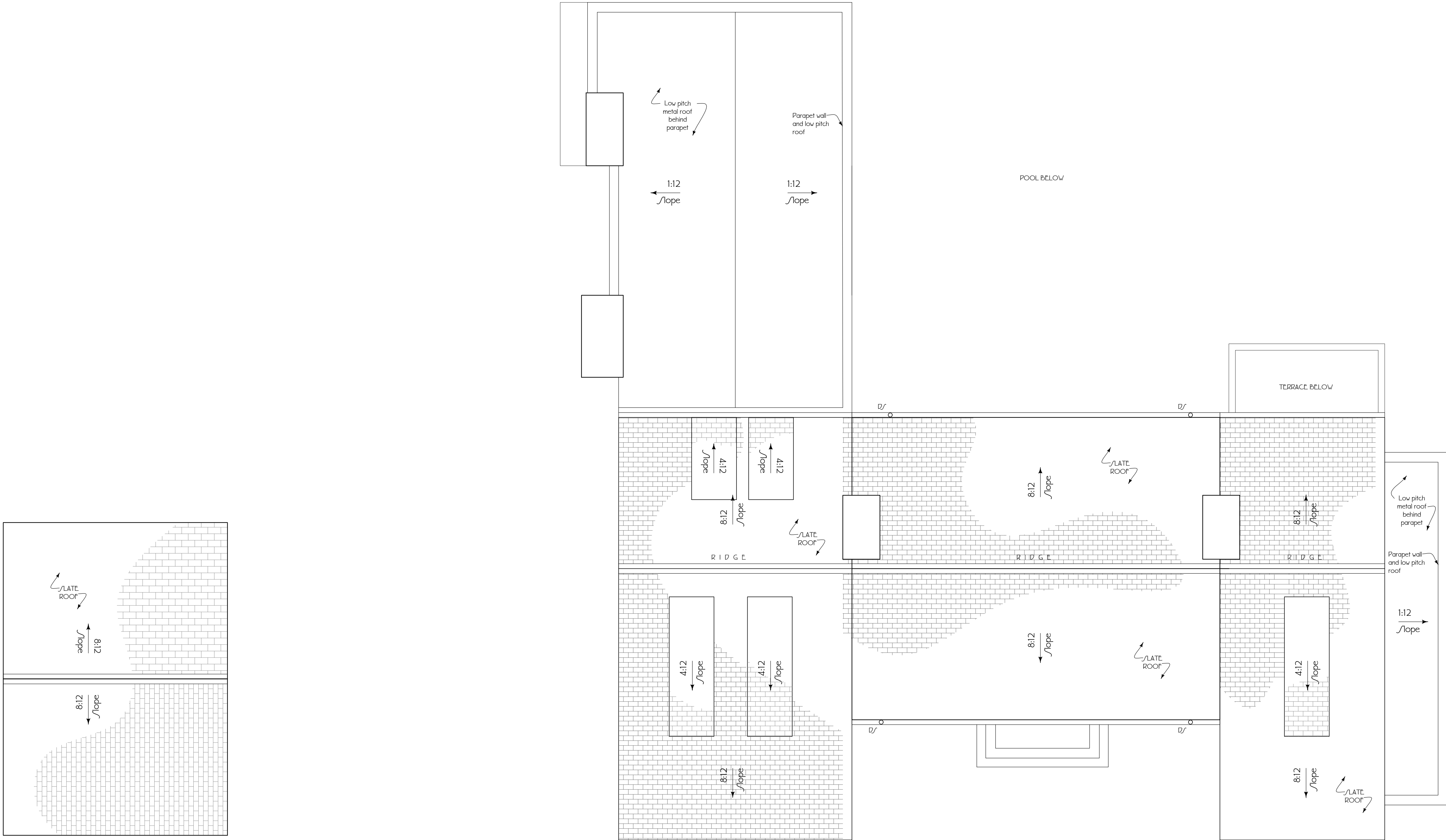
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ROOF PLAN

A1.3

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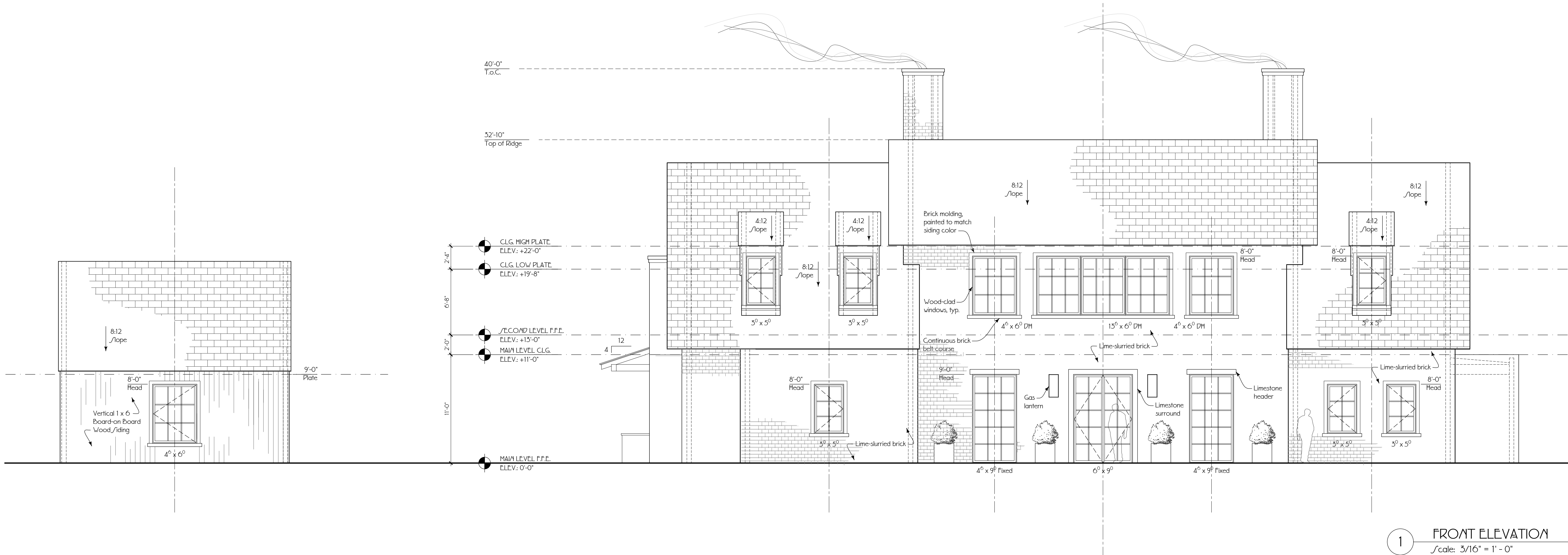
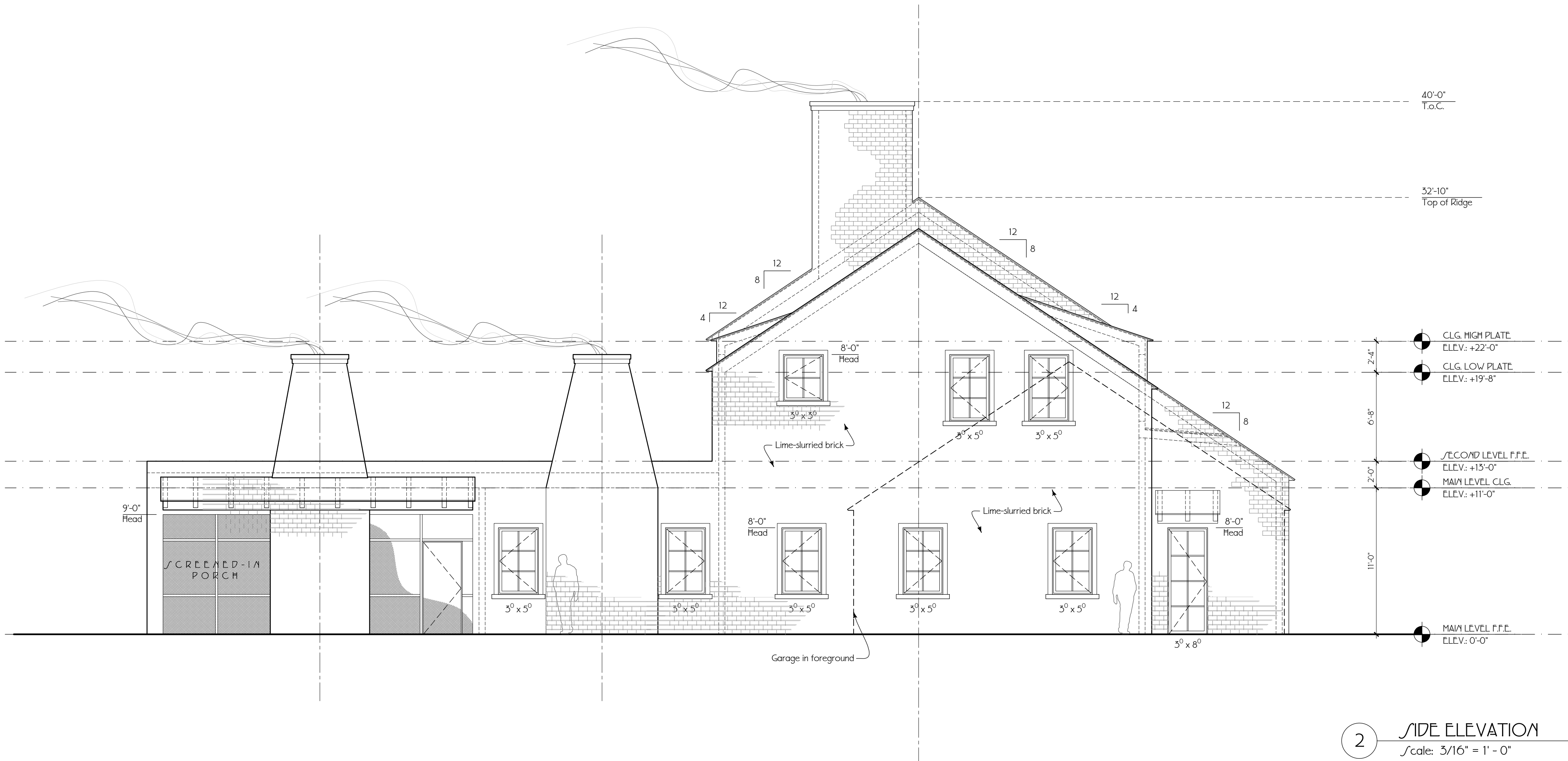
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EXTERIOR
ELEVATIONS

A3.1

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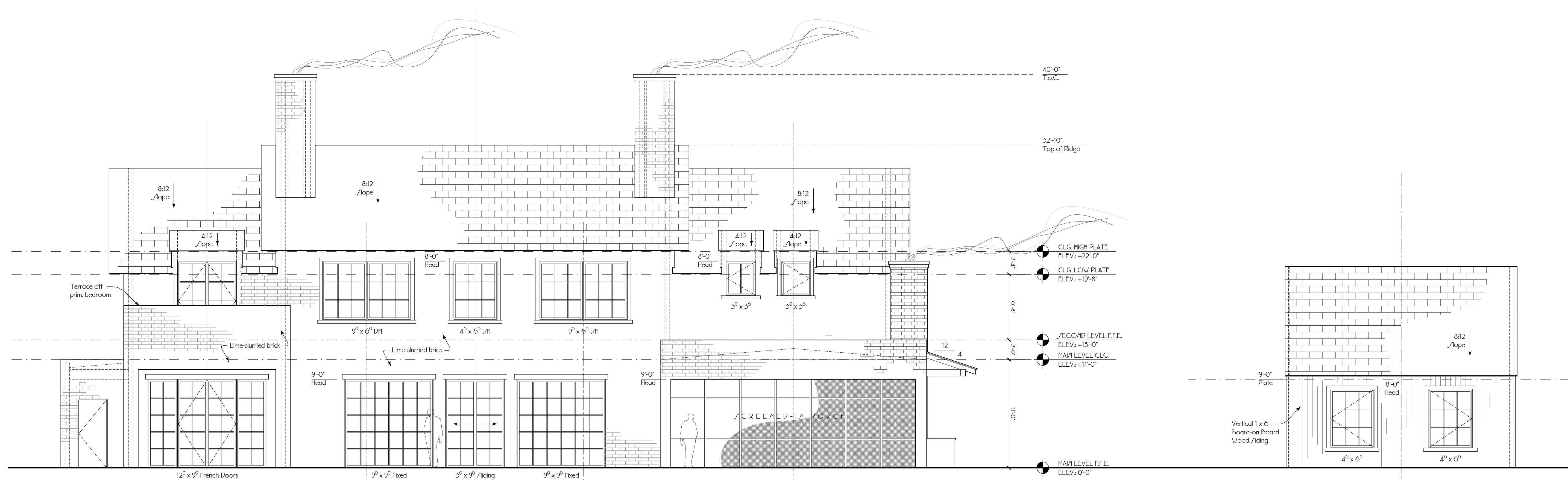
EXTERIOR
ELEVATION

A3.2

☐ RELEASED FOR CONSTRUCTION
☒ NOT RELEASED FOR CONSTRUCTION



2 SIDE ELEVATION
scale: 3/16" = 1' - 0"



1 FRONT ELEVATION
Scale: $\frac{3}{16}'' = 1' - 0''$