

# DeKalb County Historic Preservation Commission

Monday, March 18<sup>th</sup>, 2024 - 6:00 P.M.

## Staff Report

### Regular Agenda

H. 1458 North Decatur Road, Andrew Johnson. Replace rear deck. **1246872**

Built in 1929 (18 054 07 004)

This property is in Druid Hills Character Area #1 and in the Druid Hills National Register Historic District

02-24 1458 North Decatur Road, Andrew Johnson. Replace rear deck. 1246872. **Partially Approved, Partially Deferred.**

## Summary

### March 2024

The applicant has submitted a new design for the previously deferred chimney element of the scope of work. The design proposes constructing a 3' 6" tall chimney on top of the roof of the approved enclosed deck. The chimney will be composed of a stucco base that matches the façade material of the home and a square termination metal cap.

### February 2024

Applicant proposes the following work:

1. Demolish the existing wooden, rear deck and construct an enclosed deck in the footprint of the original, open deck. The enclosed deck will be constructed of 1x8 horizontal screen boards on the lower level, and stucco to match the house and open screen panels on the upper level with wood 8x8 wood columns on either side of the screens. The roof of the enclosed deck will be comprised of a painted wood cornice and a stucco parapet with metal coping. On the rear of the deck, a set of wooden stairs will be constructed with 35" metal handrail system.
2. Construct a 13' tall, 3' wide, chimney on top of the roof of the enclosed deck. The chimney will be composed of stucco to match the façade material of the house with a metal cap on the top. The chimney will be visible from the front of the house and the right-of-way.

## Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

## Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-of-way, the Preservation Commission may review the project with a less strict standard so as to allow the

owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

**6.1.1 Exterior Materials (p51) Guideline** - Original stucco should be retained to the greatest extent possible without the application of any surface treatment including paint. Stucco facing requires periodic maintenance and should be repaired with a stucco mixture that matches the original material in both appearance and texture.

**6.1.1 Exterior Materials (p51) Guideline** - The application of artificial or nonhistoric exterior siding materials such as brick veneers; asphalt shingle siding; and cementitious, aluminum, or vinyl siding is discouraged. These materials are not successful in mimicking details of original wood siding (the most common material over which they are applied); subsequently, their use greatly compromises the historic integrity of buildings. Application often results in the loss or distortion of architectural details, and improper installation can result in damage of historic materials.

Use of compatible and high quality “look-a-like” synthetic building materials may be allowable, especially in order to reduce costs, provided (1) the substitute material can be installed without irreversibly damaging or obscuring the historic material and architectural features and trim of the building and (2) the substitute material can match the historic material in size, profile, and finish so that there is no change in the historic character of the building.

**6.1.3 Entrances and Porches (p53) Guideline** - Original porches and steps should be retained. Repair of porches should not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless they are seriously deteriorated. If replacement materials must be introduced, the new should match the old in design, color, texture, and, where possible, materials. Replacement of missing features should be substantiated, if possible, by documentary and physical evidence.

**6.1.3 Entrances and Porches (p53) Guideline** - The enclosure of front porches and side porches visible from a right-of-way should utilize transparent materials, such as screen or glass, which will help maintain the original open character of the design.

**6.1.3 Entrances and Porches (p53) Guideline** - Porte cocheres are important stylistic features of many homes in Druid Hills. Removal and enclosure are discouraged.

**6.1.3 Entrances and Porches (p54) Guideline** - Second-story additions should not be made to one-story porches visible from the public right-of-way.

**6.1.5 Roofs, Chimneys, and Dormers (p56) Guideline** - The original roof form should be retained to the greatest extent possible. No addition to a house should greatly alter the original form of a roof or render that form unrecognizable. Original or historic roof dormers should also be retained. Skylights should be installed so as to be as unobtrusive as possible. If additional upper-story space is required, consider using dormers placed out-of-view of public right-of-way—to create this space.

**6.1.5 Roofs, Chimneys, and Dormers (p56) Guideline** - Historic roofing materials, such as clay tile and slate, should be repaired rather than replaced, if at all possible. While repair or replacement with like materials is often considered to be cost prohibitive, it should be remembered that life expectancies of these roofs (slate, 60 to 125 years and longer; clay tile, 100+ years) is considerably greater than most replacement materials. Clay tile and slate roofs are always character-defining features of their buildings; therefore, if replacement is necessary, new materials should match as closely as possible the scale, texture, and coloration of the historic roofing material.

**6.1.5 Roofs, Chimneys, and Dormers (p57) Guideline** - Original chimneys often add to the character of historic houses and should be properly maintained; they should not be covered with stucco or any other material, unless historically covered. A chimney that is no longer in use still functions as an important element in the overall composition of a house and should not be covered, partially or completely removed, or replaced.

Chief Executive Officer **DEPARTMENT OF PLANNING & SUSTAINABILITY**  
Michael Thurmond

Interim Director  
Cedric Hudson

### Application for Certificate of Appropriateness

Date Received: \_\_\_\_\_ Application No.: \_\_\_\_\_

Address of Subject Property: 1458 N. Decatur Rd. Atlanta, GA 30306

Applicant: Andrew Johnson E-Mail: bajohnson1973@gmail.com

Applicant Mailing Address: 1458 N. Decatur Rd. Atlanta, GA 30306

Applicant Phone: (404) 394-9794

Fax: \_\_\_\_\_

Applicant's relationship to the owner: Owner ☒ Architect: ☐ Contractor/Builder ☐ Other ☐

\*\*\*\*\*

Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s) Mailing Address: \_\_\_\_\_

Owner(s) Telephone Number: \_\_\_\_\_

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project:  
Main House - Built in 1929; Deck - ~ 20 years old

Nature of work (check all that apply):

New construction ☐ Demolition ☐ Addition ☐ Moving a building ☐ Other building  
changes ☐ New accessory building ☐ Landscaping ☐ Fence/Wall ☐ Other environmental  
changes ☐ Sign installation or replacement ☐ Other ☒

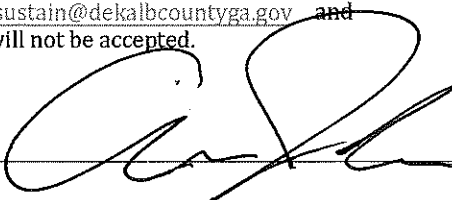
Description of Work:

Replacement of existing wood deck at the rear of the property with a new deck/screen porch.

Deck is not visible from the street.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) and [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov). An incomplete application will not be accepted.

Signature of Applicant: \_\_\_\_\_



DEPARTMENT OF PLANNING & SUSTAINABILITY

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is **not** the owner of the property.

I/ We: \_\_\_\_\_

being owner(s) of the property at: \_\_\_\_\_

hereby delegate authority to: \_\_\_\_\_

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): \_\_\_\_\_

Date: \_\_\_\_\_

**Please review the following information**

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

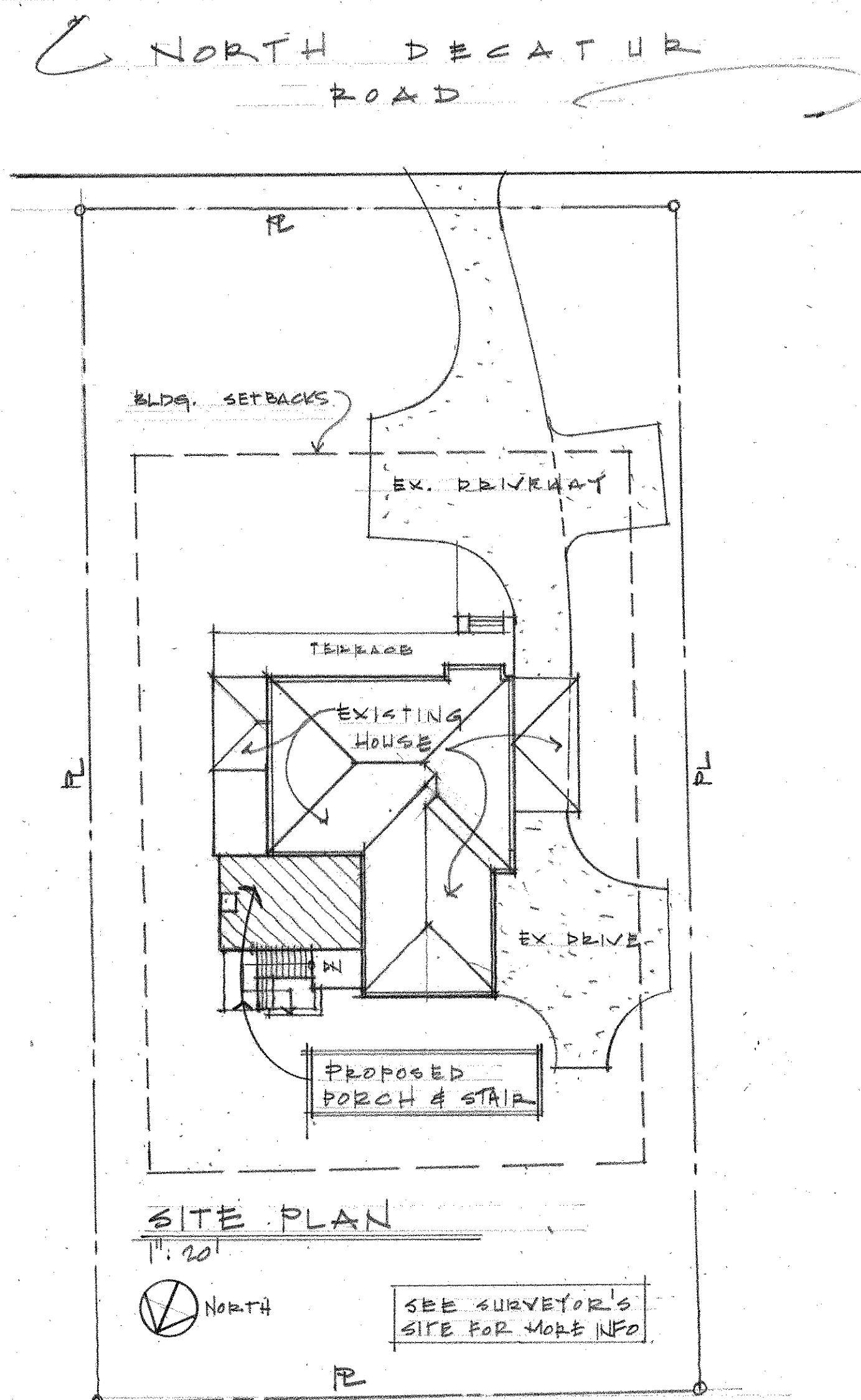




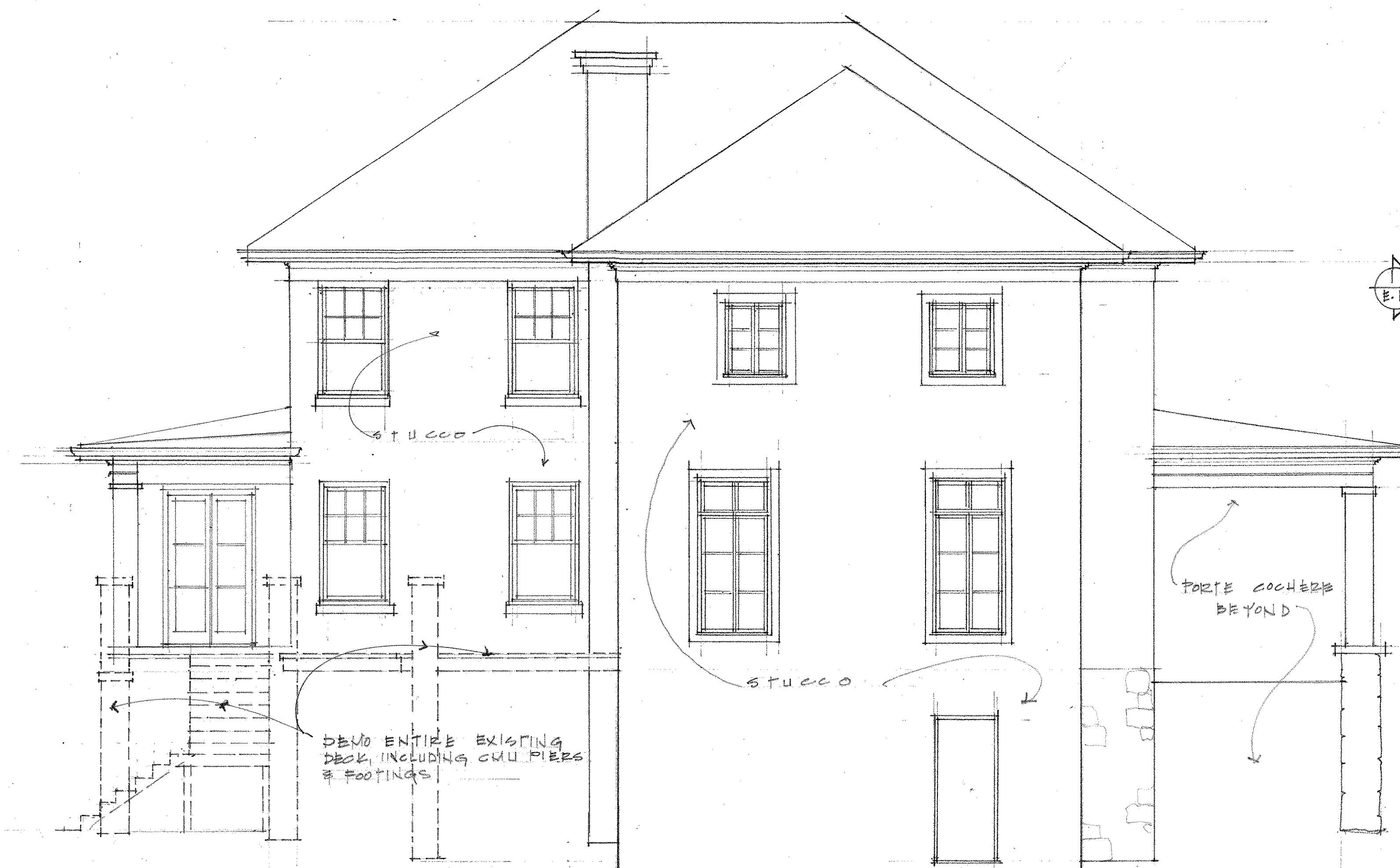




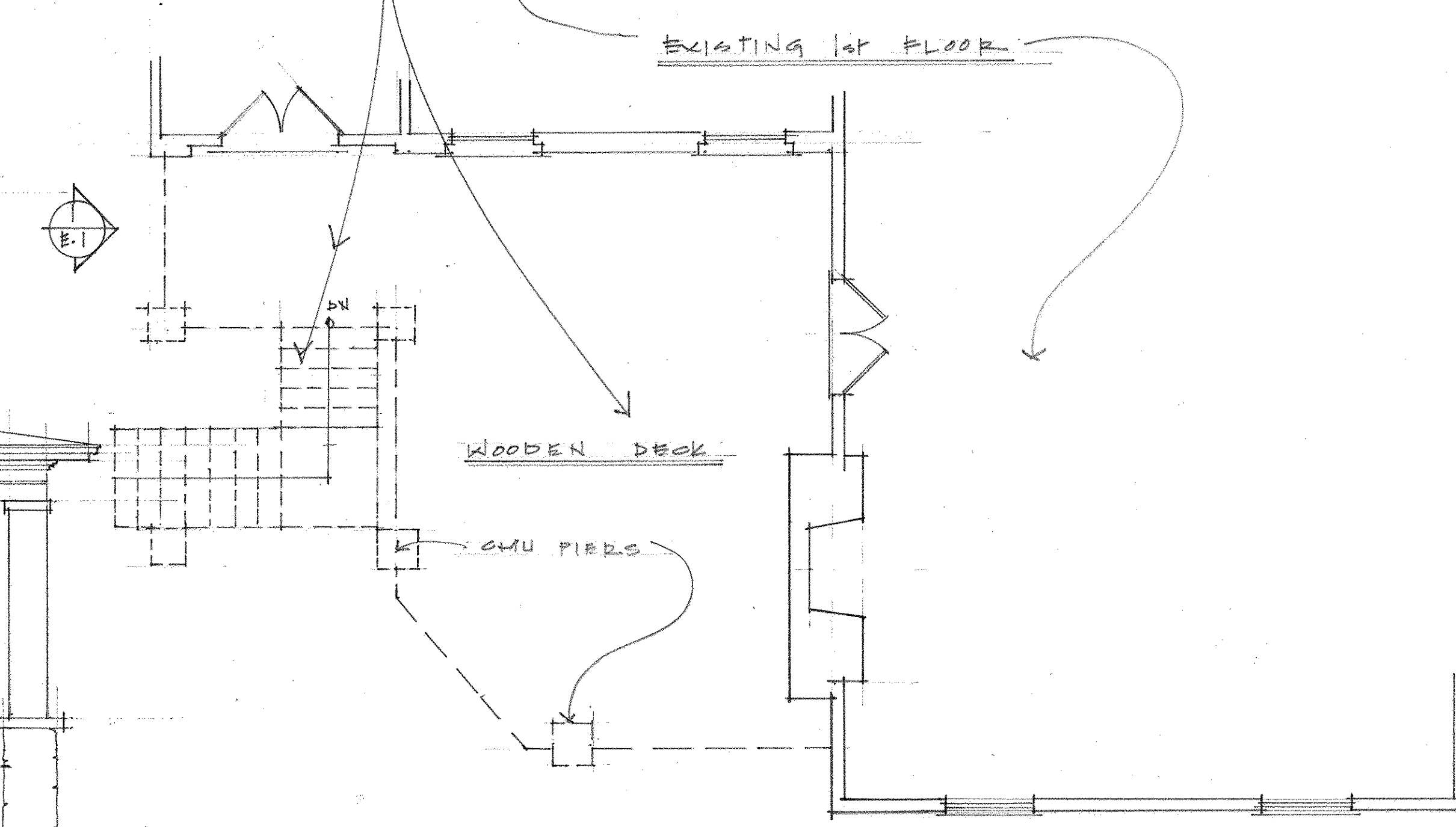
1 EXISTING RIGHT SIDE ELEVATION- DEMO  
1/4" = 1'-0"



SITE PLAN  
1/4" = 1'-0"  
NORTH  
SEE SURVEYOR'S SITE FOR MORE INFO



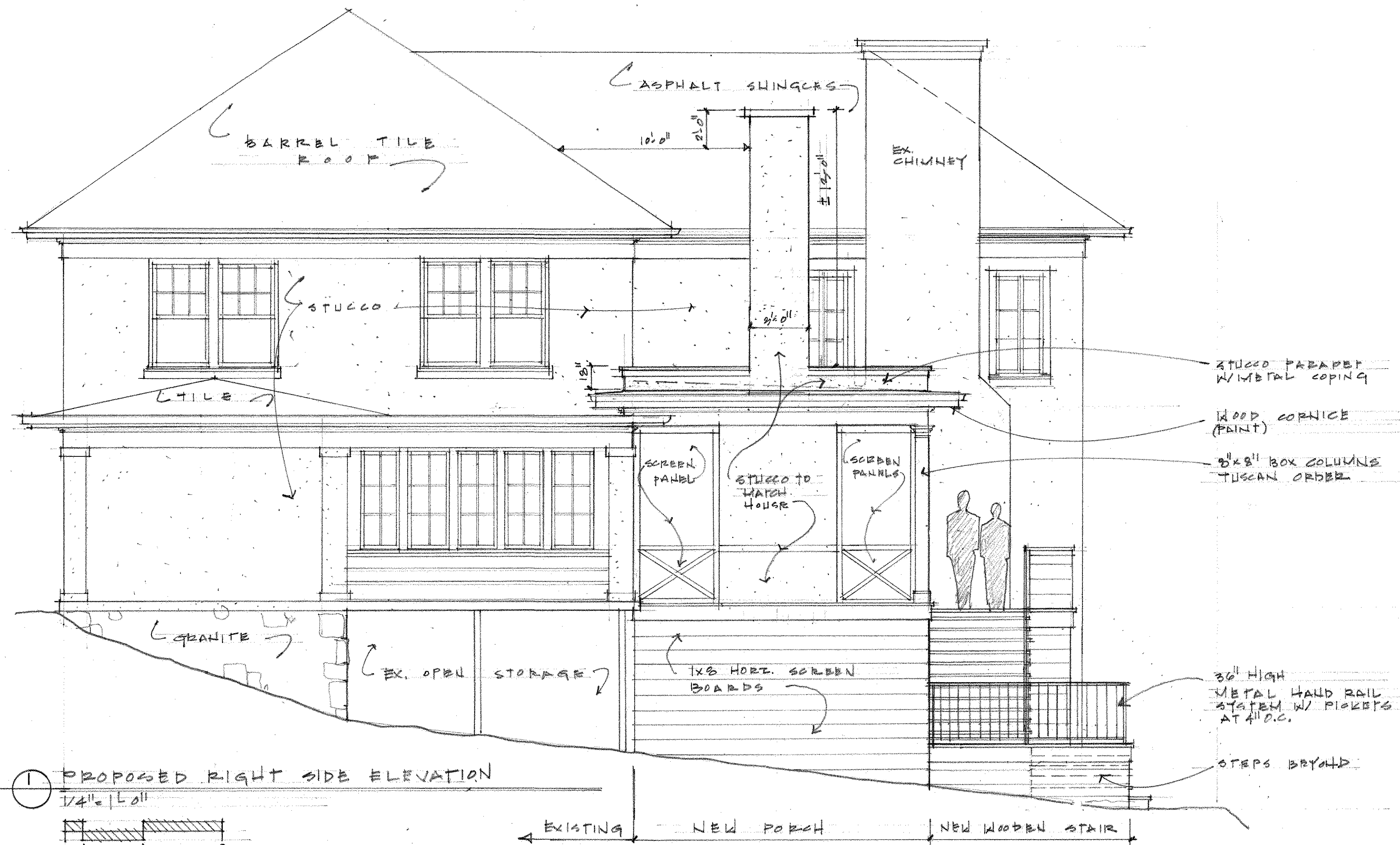
2 EXISTING REAR ELEVATION- DEMO  
1/4" = 1'-0"



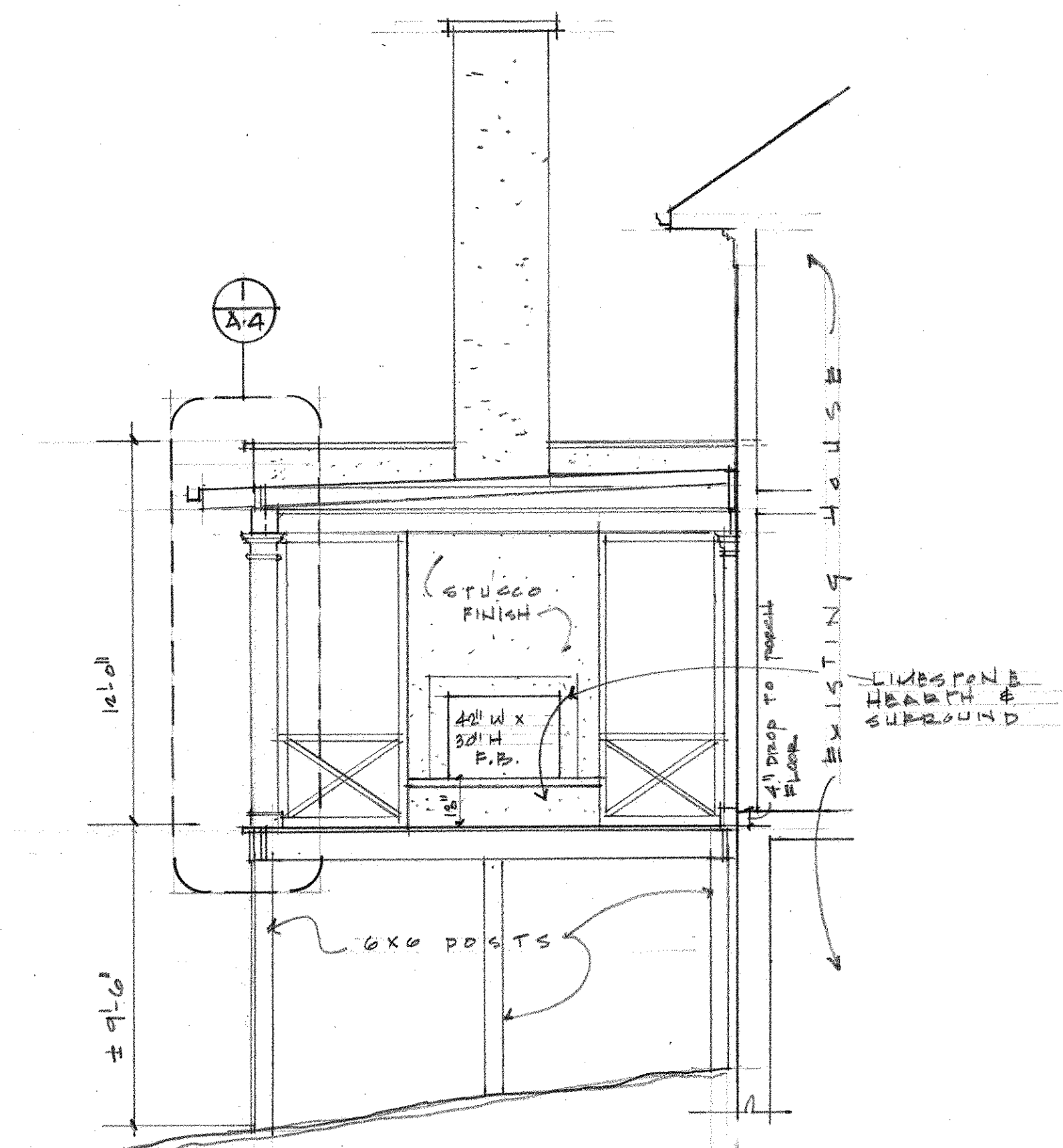
2 EXISTING DECK PLAN- DEMO  
1/4" = 1'-0"  
NORTH  
LEGEND:  
--- EXISTING TO REMAIN  
--- TO BE DEMOLISHED



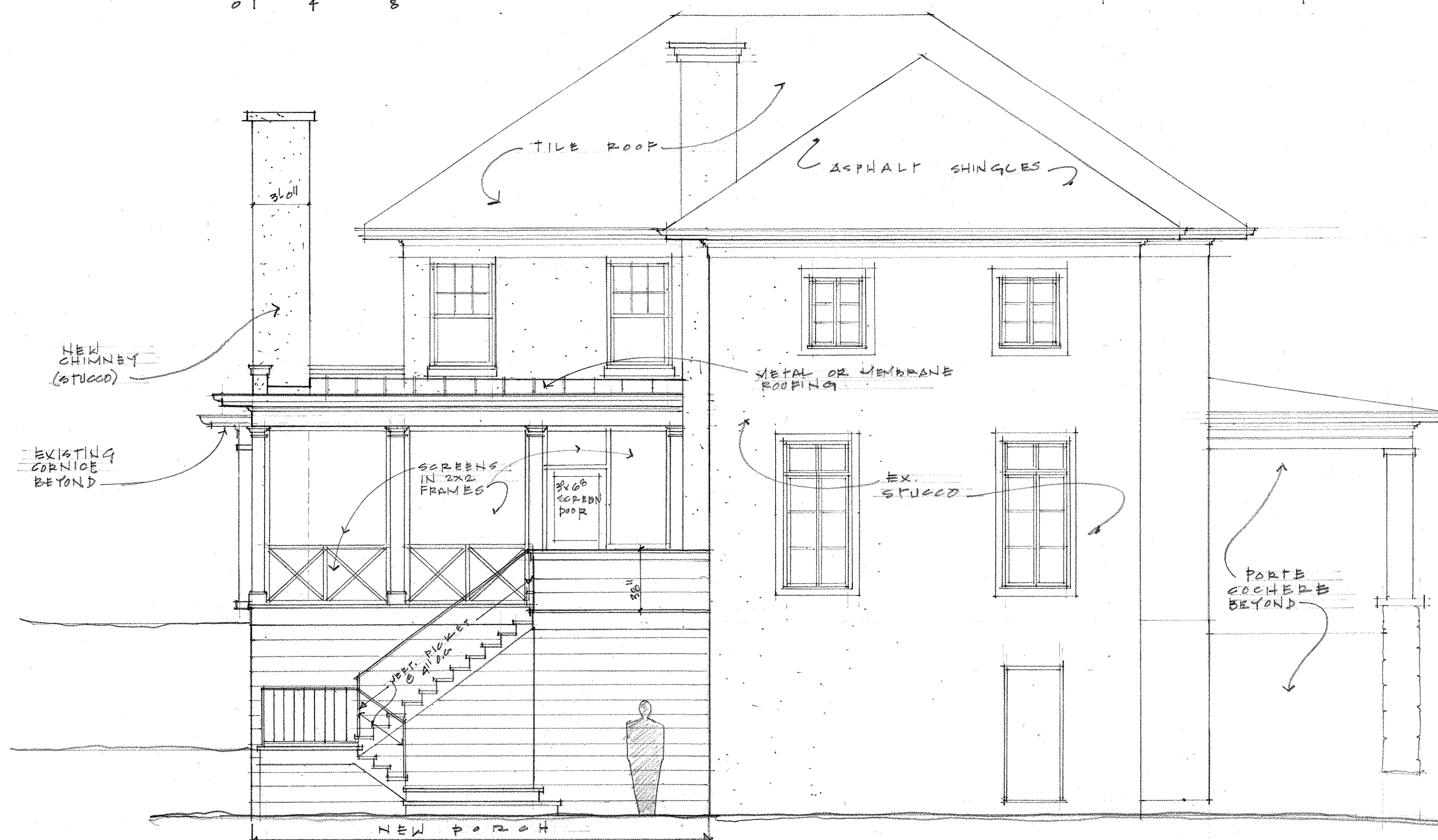




1 PROPOSED RIGHT SIDE ELEVATION  
1/4" = 1'-0"



3 SECTION AT PORCH  
1/4" = 1'-0"



2 PROPOSED REAR ELEVATION  
1/4" = 1'-0"

REVISIONS BY

ANDREW A. PROPOSED PORCH AND  
ANDREW A. KRISTINA JOHNSON  
145 NORTH DECATUR ROAD  
ATLANTA, GA 30306

Date 15 Jan 2024

Scale

Drawn

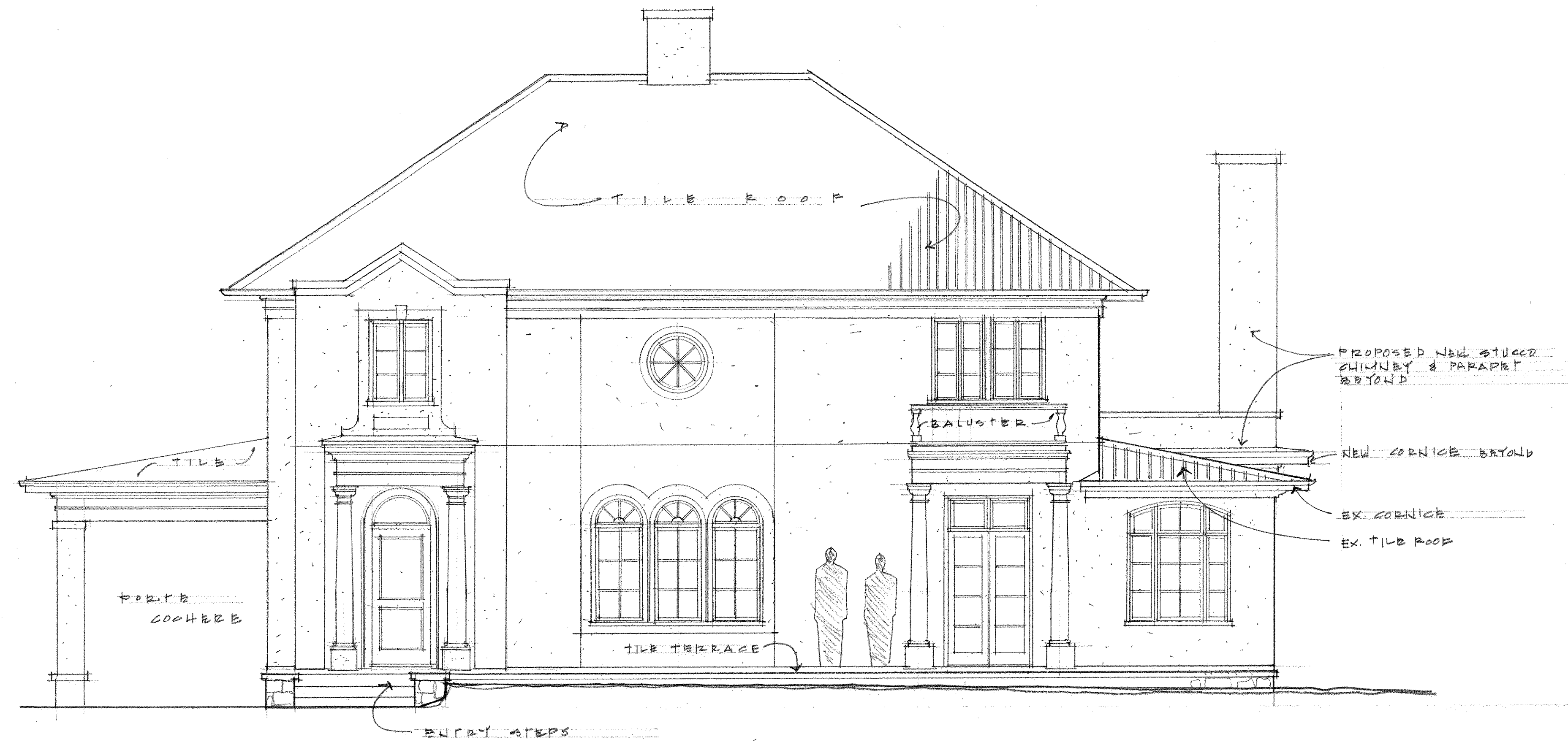
Job

Sheet

A-2

Of Sheets

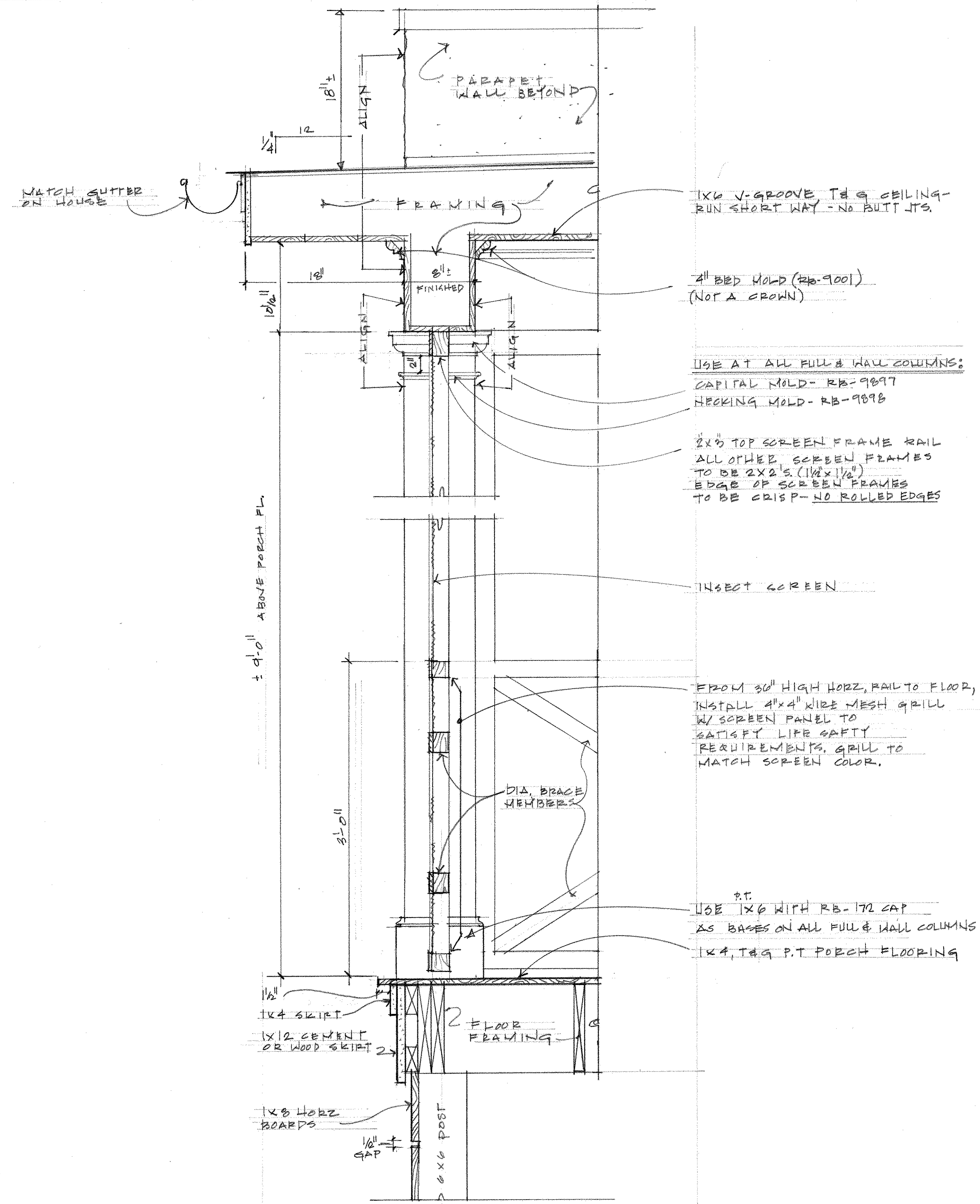
REVISIONS	BY



① EXISTING FRONT ELEVATION SHOWING PROPOSED CHIMNEY AT REAR  
 1/4" = 1'-0" (NO DIRECT CHANGES TO FRONT FACADE)

A PROPOSED PORCH FOR  
 ANDREW AND KRISTINA JOHNSON  
 1458 NORTH DECATUR ROAD  
 ATLANTA, GA 30306





① WALL SECTION AT PORCH  
1/2" = 1'-0"

REVISIONS	BY

A PROPOSED PORCH FOR  
 ANDREW AND KRISTINA JOHNSON  
 1458 NORTH DECATUR ROAD  
 ATLANTA, GA. 30306

Date 15 JUL 2024
Scale
Drawn
Job
Sheet A-4
Of Sheets



## DeKalb County Planning & Sustainability Department

Michael L. Thurmond  
Chief Executive Officer

Cedric Hudson  
Interim Director

178 Sams Street, Decatur,  
GA 30030

### RESIDENTIAL SITE PLAN REVIEW CHECKLIST (Land Development

Section's)

*This checklist shall be submitted with your documents/drawings. Answers shall be provided to all items as "no" or "yes"; and if "no", you must explain why the item in question is not applicable.*

**Project Name:**

**Date:**

**Address:**

**Parcel #:**

Name of Design professional \_\_\_\_\_

Signature: 

Seal



Date: \_\_\_\_\_

GENERAL INFORMATION	IS ITEM ADDRESSED?		IF NO, EXPLAIN
1. Provide a vicinity map showing site's relation to surrounding area	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
2. Provide 24-hour emergency contact information (name, telephone number & address).	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
3. Plans must be sealed by a registered professional civil engineer, landscape architect, land surveyor or architect.	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
4. Minimum sheet size is to be 11" x 17"	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
5. Plans must be drawn to scale	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
6. Graphic scale & north arrow	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Reference the final plat (i.e. plat book and page number from recordation) for property	NO	YES	



## DeKalb County Planning & Sustainability Department

178 Sams Street, Decatur,  
GA 30030

**Michael L. Thurmond**  
Chief Executive Officer

**Cedric Hudson**  
Interim Director

8. Review the final plat to ensure that all required features are provided/shown under the building permit (sidewalk, buffers, easements, etc.)	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
9. Provide a floodplain statement, including the map panel number, the effective date, and whether there is a floodplain on the property, and its zoned (zone AE, AO, A, X, etc.)	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Show/provide email, phone, address and name of builder and owner	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Show/indicate building address, the parcel ID#, lot number, Subdivision name and phase	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. Provide the lot size, disturbed area, impervious area, and cut/fill volumes, zoning district, % of impervious and % of proposed lot coverage	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
13. Provide a breakdown of the impervious area by surfaces: house, driveway, walkway, garage, patio, decks, porch, etc.	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
<b>INFORMATION TO BE SHOWN ON THE EXISTING CONDITION SHEET</b>	<b>IS ITEM ADDRESSED?</b>	<b>IF NO, EXPLAIN</b>	
14. Provide a survey showing the existing condition of the site	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
15. Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
16. Show/Delineate the state EPD 25-foot undisturbed stream buffers and the County 75-foot undisturbed stream buffers from the top of bank, for state waters	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
17. Show location and information for all existing storm pipes, storm drain structures, all utilities (and labelled them as existing) and easements on site and in R/W	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
18. Show all setback lines, and easements.	NO <input type="checkbox"/>	YES <input type="checkbox"/>	





## DeKalb County Planning & Sustainability Department

178 Sams Street, Decatur,  
GA 30030

**Michael L. Thurmond**  
Chief Executive Officer

**Cedric Hudson**  
Interim Director

19. Show location of all existing features such as: <ul style="list-style-type: none"> <li>Flood plain limit (AE, A, X, etc.) with x-section &amp; BFE</li> <li>AFCF (area adjacent to future condition floodplain: 3 ft above BFE or 1 ft above future condition floodplain whichever is greater)</li> <li>Future Conditions floodplain (if different from BFE)</li> <li>State waters buffers</li> <li>Transitional zoning buffers</li> </ul>	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	
<b>INFORMATION TO BE SHOWN ON THE PROPOSED SITE PLAN</b>	<b>IS ITEM ADDRESSED?</b>		<b>IF NO, EXPLAIN</b>
20. Items 15 (existing and proposed contours) 16, 17 (existing utilities to remain and proposed), 18, and 19 above shall be shown on the proposed site plan as well	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	
21. Show location of: dumpsters, portable toilets (15' min. from P/L) parking, material storage and stockpile areas.	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	
22. Show limits of disturbance	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	
23. Variance from DeKalb County required for encroachment in 75-foot state waters buffers.	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	
24. Variance from GA. E.P.D. required for encroachment in 25-foot state waters buffers	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	
25. Show site specific erosion controls to manage onsite disturbance and to protect offsite properties, tree save areas, undisturbed creek buffers, and flood plains from sedimentation per Manual for Erosion and Sediment Control in Georgia (GSWCC) <u>Level II Certification Required when part of a Common Development.</u>	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	
26. Provide details, drawings, and legend for all BMP's used on site. Per he GSWCC manual.	<b>NO</b>  <input type="checkbox"/>	<b>YES</b>  <input type="checkbox"/>	



## DeKalb County Planning & Sustainability Department

178 Sams Street, Decatur,  
GA 30030

**Michael L. Thurmond**  
Chief Executive Officer

**Cedric Hudson**  
Interim Director

27. Show all proposed utilities, drainage structures, etc. and labelled them as "proposed"	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
28. Show proposed structures and surfaces: house, driveway, walkway, garage, patio, decks, porch, etc...  If any existing structures to remain, label them as "existing"	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
29. Provide basement, garage, crawlspace and main floor elevations to NAVD 1988	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
30. Provide proposed contours/grading and existing contours using different line types.  If no grading is being proposed, add note to state that no grading is being proposed.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
31. Show proposed driveway location and landing, spot elevations to NAVD 1988, and indicate driveway slope percentage (% not to exceed 20%)	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
32. Show driveway entrance per DeKalb County 709 & 710 Standard details (see attached)	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
33. Driveway apron shall be 4' min. from catch basin and cannot extend beyond projected property corner in R/W.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
34. (a) Provide top & bottom elevations of proposed retaining/foundation wall,  (b) Indicate wall type and address surface drainage	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
35. Retaining walls over 30" require safety restraints.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
36. Retaining walls of 4 feet or greater in height will require a separate building permit & must be designed by a professional engineer	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	



## DeKalb County Planning & Sustainability Department

178 Sams Street, Decatur,  
GA 30030

**Michael L. Thurmond**  
Chief Executive Officer

**Andrew A. Baker AICP**  
Director

37. Retaining walls must be off property line half the distance of the building set back line (chapt 27, sec. 5.4.5)	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
38. Show location of all existing features such as: <ul style="list-style-type: none"> <li>Flood plain limit (AE, A, X, etc.)</li> <li>AFCF (area adjacent to future condition floodplain: 3' above the BFE or 1' above future condition floodplain, whichever is greater.)</li> <li>Future Conditions floodplain (if different from BFE)</li> <li>State waters buffers</li> <li>Transitional zoning buffers</li> </ul> The County GIS map can be accessed here: <a href="https://arcg.is/P89a9">https://arcg.is/P89a9</a>	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
39. The lowest floor including crawlspace shall be 3' above base flood elevation, or 1' above the future conditions flood elevation	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
40. The installation of new stormwater structures and pipe will require the approval of DeKalb County Department of Roads and Drainage.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
41. The installation of new public sanitary sewer structures and pipe will require the approval of DeKalb County Department of Watershed Management.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
42. Revise final plat prior to issuance of Certificate of Occupancy, if applicable	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
43. Provide Stormwater management plan for lots creating 5,000 sq. ft. or more impervious surface. Refer to the stormwater management review checklist.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
44. Water quality BMP is required for any new house construction (except for common development project where water quality has been addressed as part of the development stormwater mgt plan)  Refer to the Water Quality review checklist	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	



## DeKalb County Planning & Sustainability Department

178 Sams Street, Decatur,  
GA 30030

**Michael L. Thurmond**  
Chief Executive Officer

**Cedric Hudson**  
Interim Director

<p>45. Check/review the recorded final plat (if applicable) to ensure that water quality BMP is not required for the lot in question.</p>	<p><b>NO</b> <input type="checkbox"/></p>	<p><b>YES</b> <input type="checkbox"/></p>	
<p>46. Add the following notes:</p> <ul style="list-style-type: none"> <li>• Dumpsters and/or temporary sanitary facilities shall not be located in the street or tree protection area or right-of-way.</li> <li>• Additional erosion controls shall be installed as deemed necessary by the on-site inspector(s)</li> <li>• The installation of erosion and sedimentation control measures and practices shall occur prior to or concurrent with land-disturbing activities.</li> <li>• Erosion and sedimentation control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion and sediment control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.</li> <li>• All lots/sites with 2' of fill or greater will require a compaction certificate by a professional registered engineer prior to a building permit and or prior to footers being poured.</li> <li>• Locate and field stake all utilities, easements, pipes, flood limits, stream buffers, and tree save areas prior to any land disturbing activities.</li> <li>• All tree protection areas to be protected from sedimentation.</li> <li>• All tree protection devices to be installed prior to land disturbance and maintained until final landscaping.</li> <li>• All tree protection fencing to be inspected daily and repaired or replaced as needed.</li> <li>• A final as-built lot survey required prior to issuance of Certificate of Occupancy.</li> <li>• A final as-built water quality certificate required prior to Certificate of Occupancy.</li> <li>• Water quality BMP(s) to be installed at the time of final landscaping.</li> <li>• All collected water shall be directed to the water quality BMP(s).</li> <li>• No water quality BMP(s) allowed in undisturbed stream buffers or tree save/critical root zone.</li> <li>• Work hours and construction deliveries are: Monday – Friday 7:00am – 7:00pm Saturday 8:00am – 5:00pm</li> </ul>	<p><b>NO</b> <input type="checkbox"/></p>	<p><b>YES</b> <input type="checkbox"/></p>	



## DeKalb County Planning & Sustainability Department

178 Sams Street, Decatur,  
GA 30030

**Michael L. Thurmond**  
Chief Executive Officer

**Cedric Hudson**  
Interim Director

<ul style="list-style-type: none"> <li>I .....(name of design professional).....certify under penalty of law that this plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my direct supervision.</li> </ul>			
<b>INFORMATION TO BE SHOWN ON THE TREE PLAN</b>	<b>IS ITEM ADDRESSED</b>		<b>IF NO, EXPLAIN</b>
47. Show location, size, species of all existing trees 6" and greater.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
48. Show all specimen trees.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
49. Indicate preserved and removed trees.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
50. Show tree protection fencing and erosion control to protect critical root zones.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
51. Show preservation calculation: 120" of existing trees per acre -OR- 25% of existing # of trees onsite. Do not count trees or acreage in creek buffer/flood plain in calculation.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
52. Show calculation to provide 15 density units per acre. o Convert existing saved trees and replant trees using Chart 1-3 per 14-39(g)(4). o Provide necessary replants	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
53. Show and protect entire critical root zones of all trees included in preservation calculation	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
54. Show required front yard trees.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
55. Must preserve all trees 6" and greater in the front yard and in the rear half of the rear yard of infill lots.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	



## DeKalb County Planning & Sustainability Department

178 Sams Street, Decatur,  
GA 30030

**Michael L. Thurmond**  
Chief Executive Officer

**Cedric Hudson**  
Interim Director

56. Show details for tree protection fencing.	<b>NO</b> <input type="checkbox"/>	<b>YES</b> <input type="checkbox"/>	
---	---------------------------------------	--	--



REVISIONS	
DATE	BY
9-69 JHG	
TITLE 10-75 RBC	
11-95 T.O.B.	

DEPT. OF

SUBDIVISION

DEKALB COUNTY, GEORGIA

PUBLIC WORKS

DRAINAGE DESIGN

PRIVATE DRIVEWAY ENTRANCE WITH SIDEWALK

DWG. NO. Z99 SHEETS 1 OF 1 SHEETS

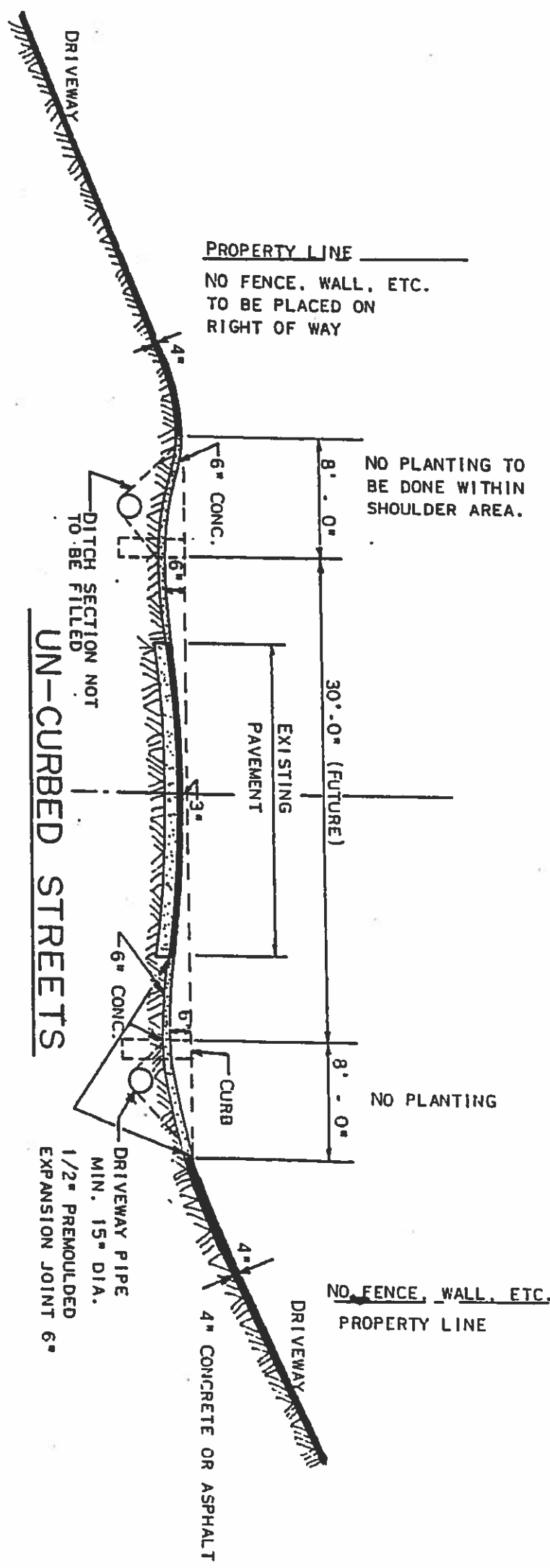
DRAWN BY JHG

CHECKED BY

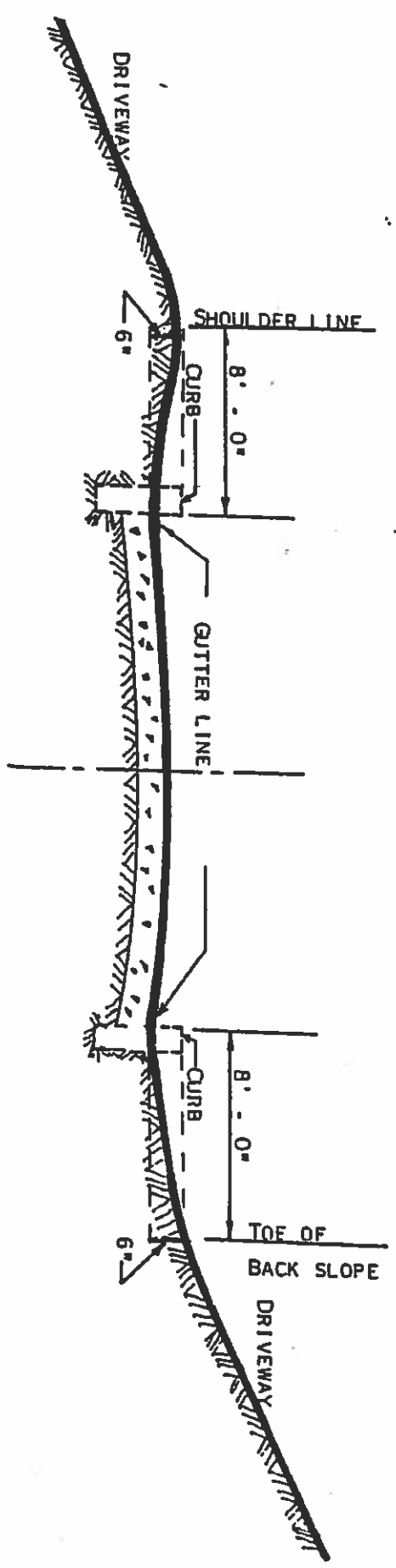
SCALE NONE

APPD. DATE 10-15-69

DIRECTOR OF PUBLIC WORKS



UN-CURBED STREETS



CURBED STREETS

DRIVEWAYS FOR LOTS ABOVE OR BELOW STREET LEVEL, WHERE STREETS HAVE CURB, ARE TO BE CONSTRUCTED TO AN ELEVATION 6" ABOVE THE GUTTER LINE AT THE NORMAL SHOULDER LINE, OR TOE OF BACK SLOPE AS INDICATED.

REVISIONS	
DATE	BY
9-69	JHG

DEKALB COUNTY, GEORGIA	
DEPT. OF PUBLIC WORKS	
SUBDIVISION	& DRAINAGE DESIGN
STANDARD PRIVATE ENTRANCE	
DWG. NO. 710 SHEETS 1 OF 1 SHEETS	
DRAWN BY JHG	APP'D. DATE 12-17-69
CHECKED BY	James R. Vetter
SCALE NONE	
DIRECTOR OF PUBLIC WORKS	

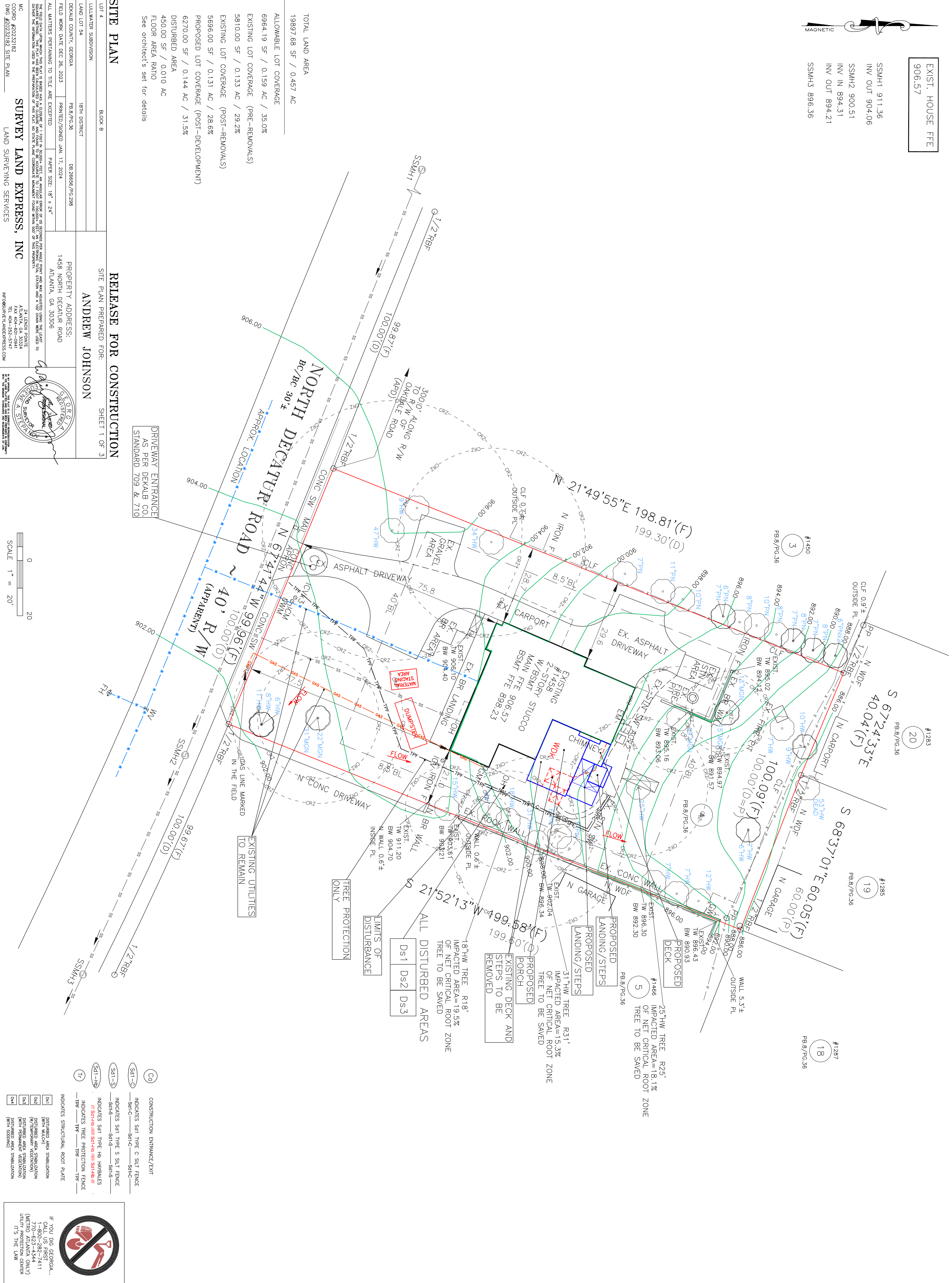






EXIST. HOUSE FFE  
906.57

SSMH1 911.36  
INV OUT 904.06  
SSMH2 900.51  
INV IN 894.31  
INV OUT 894.21  
SSMH3 896.36



TOTAL LAND AREA	19897.68 SF / 0.457 AC
ALLOWABLE LOT COVERAGE	69964.19 SF / 0.159 AC / 35.0%
EXISTING LOT COVERAGE (PRE-REMOVALS)	5810.00 SF / 0.133 AC / 29.2%
EXISTING LOT COVERAGE (POST-REMOVALS)	5696.00 SF / 0.131 AC / 28.6%
PROPOSED LOT COVERAGE (POST-DEVELOPMENT)	6270.00 SF / 0.144 AC / 31.5%
DISTURBED AREA	450.00 SF / 0.010 AC
FLOOR AREA RATIO	
See architect's set for details	

## SITE PLAN

LOT 4 BLOCK B

LULLWATER SUBDIVISION

LAND LOT 54 18TH DISTRICT

DEKALB COUNTY, GEORGIA PB.8/PG.36 DB.26656/PG.298

FIELD WORK DATE DEC 26, 2023	PRINTED/SIGNED JAN. 17, 2024
------------------------------	------------------------------

ALL MAILERS PERMAINING 10 MILE ARE EXCEPTED	PAPER SIZE: 18 X 24
---	---------------------

SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION WAS USED TO OBTAIN THE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY. THE INFORMATION USED IN THE PREPARATION OF THIS PLAT AND SITE OR ANY COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY IS THE PROPERTY OF THE SURVEYOR.

[illegible]

SOLVETI LAND ENTERPRISES, INC

RELEASE FOR CONSTRUCTION

FILE PLAN PREPARED FOR:

ANDREW JOHNSON

SHEET 1 OF 3

DRIVEWAY ENTRANCE  
AS PER DEKALB CO.  
STANDARD 709 & 710

CALL US FIRST  
1-800-282-7411  
770-623-4344  
(METRO ATLANTA ONLY)  
UTILITY PROTECTION CENTER  
IT'S THE LAW



**(Co)** CONSTRUCTION ENTRANCE/EXIT

INDICATES Sd1 TYPE C SILT FENCING  
— Sd1-C — Sd1-C — Sd1-C

INDICATES Sd1 TYPE S SILT FENCING  
— Sd1-S — Sd1-S — Sd1-S

INDICATES Sd1 TYPE H HAWKLES  
— Sd1-H — Sd1-H — Sd1-H  
// Sd1-H TYPE HAWKLES  
// Sd1-H TYPE TREE PROTECTION FENCING

— TPF — TPF — TPF — TPF — TPF

**INDICES STRUCTURAL ROOT PLATE**

Ds1 DISTURBED AREA STABILIZATION  
Ds2 DISTURBED AREA STABILIZATION  
(W/TEMPORARY VEGETATION)  
Ds3 DISTURBED AREA STABILIZATION  
(W/ PERMANENT VEGETATION)  
Ds4 DISTURBED AREA STABILIZATION  
(W/TH SCOURING)



- TREE PROTECTION AREA**
- KEEP OUT!**
- TREES INCLUDED IN THIS AREA ARE PROTECTED BY CALIFORNIA ENVIRONMENTAL AND FORESTRY ACTS OF 1973  
(PUBLIC RESOURCE ACT, CALIFORNIA CODE, TITLE 5)
- CONTAMINATION OF TREE PROTECTION ORDER MAY LEAD TO CRIMINAL PROSECUTION**
- THE FOLLOWING MUST BE OBSERVED BY ALL PERSONS:**
- THE PROTECTED PERSON MUST NOT BE REMOVED
  - NO PERSON SHALL ENTER THE PROTECTED AREA
  - NO VEHICLE OR PLANT SHALL ENTER THE PROTECTED AREA
  - NO MATERIAL SHALL BE DEPOSITED IN THE PROTECTED AREA
  - NO SPECIES SHALL BE REMOVED FROM THE PROTECTED AREA
  - NO EXCAVATION SHALL OCCUR IN THE PROTECTED AREA
- ANY INDICTION INTO THE PROTECTED AREA MUST BE WITH THE WRITTEN PERMISSION OF THE LOCAL PLANNING AUTHORITY

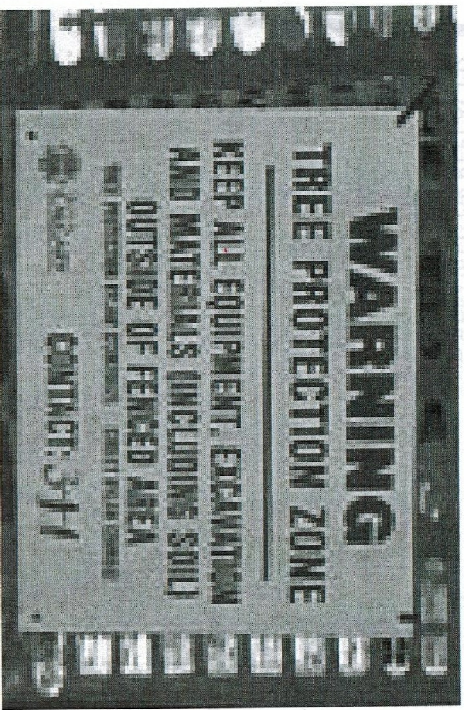
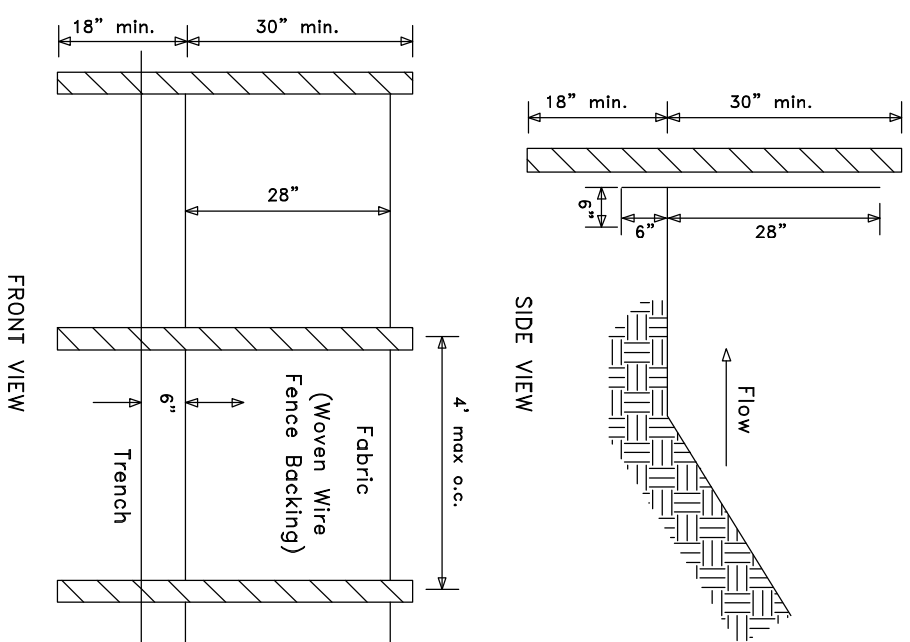


Diagram illustrating the structure of a tree planting hole:

- Topsoil:** The upper layer of soil above the hole.
- Backfill with unamended topsoil from hole:** The soil used to fill the hole, sourced from the original hole.
- Trunk flare junction, level with or 1 - 2" above existing grade:** The point where the trunk meets the backfill, aligned with the ground level.
- Existing grade:** The current ground surface level.
- Slope sided hole is three times as wide as the rootball diameter:** The hole's width is three times the diameter of the rootball.
- Rootball sitting directly on top of undisturbed soil:** The rootball is placed on the natural, undisturbed soil.
- Burlap, ropes, and wire cut away from visible ball:** The wrapping materials are removed from the visible part of the rootball.
- 2 - 4" of organic mulch applied over planting area and away from trunk:** A layer of organic mulch is applied to the area around the hole, keeping it away from the trunk.

Figure 6-14.1



SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 – TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

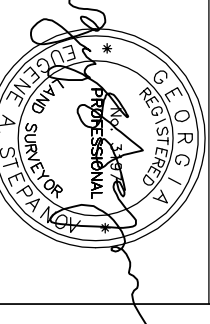
[illegible]

EXISTING  
FIRE PIT  
21 SF



NET REDEVELOPED AREA  
LESS THAN 1000 SF. DOES  
NOT REQUIRE STORMWATER  
MANAGEMENT

## LAND SURVEYING SERVICES

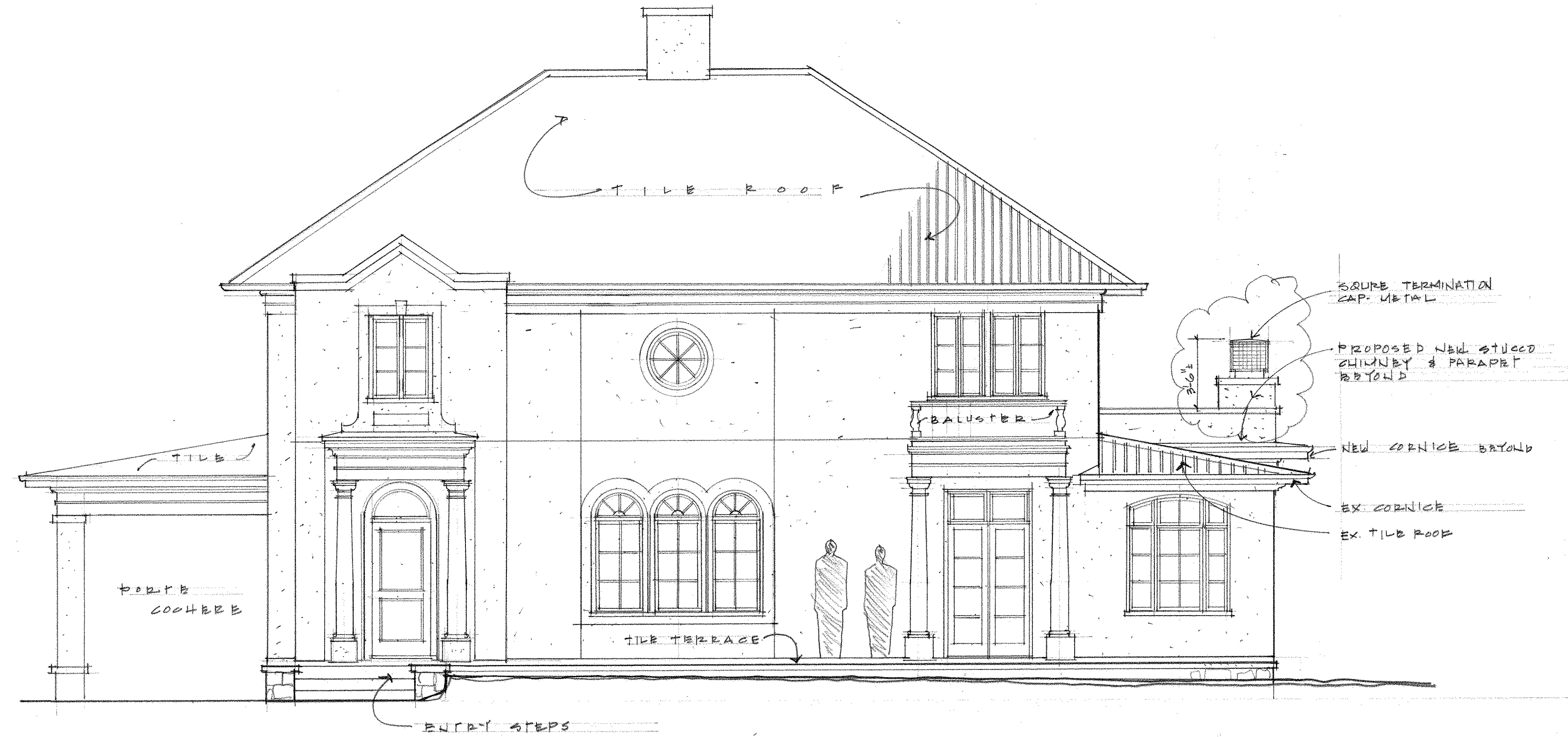












① EXISTING FRONT ELEVATION SHOWING PROPOSED CHIMNEY AT REAR  
 1/4" = 1'-0" (NO DIRECT CHANGES TO FRONT FACADE)

REVISIONS BY

A PROPOSED PORCH FOR  
 ANDREW AND KRISTINA JOHNSON  
 1458 NORTH DECATUR ROAD  
 ATLANTA, GA 30306

21 MARCH 2024  
 CHIMNEY REDLINE  
 IN HEIGHT

Date 15 JAN. 2024

Scale

Drawn

Job

Sheet

A-3

Of Sheets