# **DeKalb County Historic Preservation Commission**

Monday, March 18th, 2024 - 6:00 P.M.

Staff Report

Regular Agenda

H. 1458 North Decatur Road, Andrew Johnson. Replace rear deck. 1246872

Built in 1929 (18 054 07 004)

This property is in Druid Hills Character Area #1 and in the Druid Hills National Register Historic District

02-24 1458 North Decatur Road, Andrew Johnson. Replace rear deck. 1246872. **Partially Approved, Partially Deferred**.

#### **Summary**

#### March 2024

The applicant has submitted a new design for the previously deferred chimney element of the scope of work. The design proposes constructing a 3′ 6″ tall chimney on top of the roof of the approved enclosed deck. The chimney will be composed of a stucco base that matches the façade material of the home and a square termination metal cap.

### February 2024

Applicant proposes the following work:

- 1. Demolish the existing wooden, rear deck and construct an enclosed deck in the footprint of the original, open deck. The enclosed deck will be constructed of 1x8 horizontal screen boards on the lower level, and stucco to match the house and open screen panels on the upper level with wood 8x8 wood columns on either side of the screens. The roof of the enclosed deck will be comprised of a painted wood cornice and a stucco parapet with metal coping. On the rear of the deck, a set of wooden stairs will be constructed with 35" metal handrail system.
- 2. Construct a 13' tall, 3' wide, chimney on top of the roof of the enclosed deck. The chimney will be composed of stucco to match the façade material of the house with a metal cap on the top. The chimney will be visible from the front of the house and the right-of-way.

## **Recommendation**

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

## **Relevant Guidelines**

5.0 Design Review Objective (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the

- owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 6.1.1 Exterior Materials (p51) <u>Guideline</u> Original stucco should be retained to the greatest extent possible without the application of any surface treatment including paint. Stucco facing requires periodic maintenance and should be repaired with a stucco mixture that matches the original material in both appearance and texture.
- 6.1.1 Exterior Materials (p51) <u>Guideline</u> The application of artificial or nonhistoric exterior siding materials such as brick veneers; asphalt shingle siding; and cementitious, aluminum, or vinyl siding is discouraged. These materials are not successful in mimicking details of original wood siding (the most common material over which they are applied); subsequently, their use greatly compromises the historic integrity of buildings. Application often results in the loss or distortion of architectural details, and improper installation can result in damage of historic materials.
  - Use of compatible and high quality "look-a-like" synthetic building materials may be allowable, especially in order to reduce costs, provided (1) the substitute material can be installed without irreversibly damaging or obscuring the historic material and architectural features and trim of the building and (2) the substitute material can match the historic material in size, profile, and finish so that there is no change in the historic character of the building.
- 6.1.3 Entrances and Porches (p53) <u>Guideline</u> Original porches and steps should be retained. Repair of porches should not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless they are seriously deteriorated. If replacement materials must be introduced, the new should match the old in design, color, texture, and, where possible, materials. Replacement of missing features should be substantiated, if possible, by documentary and physical evidence.
- 6.1.3 Entrances and Porches (p53) <u>Guideline</u> The enclosure of front porches and side porches visible from a right-of-way should utilize transparent materials, such as screen or glass, which will help maintain the original open character of the design.
- 6.1.3 Entrances and Porches (p53) <u>Guideline</u> Porte cocheres are important stylistic features of many homes in Druid Hills. Removal and enclosure are discouraged.
- 6.1.3 Entrances and Porches (p54) <u>Guideline</u> Second-story additions should not be made to one-story porches visible from the public right-of-way.
- 6.1.5 Roofs, Chimneys, and Dormers (p56) <u>Guideline</u> The original roof form should be retained to the greatest extent possible. No addition to a house should greatly alter the original form of a roof or render that form unrecognizable. Original or historic roof dormers should also be retained. Skylights should be installed so as to be as unobtrusive as possible. If additional upper-story space is required, consider using dormers placed out-of-view of public right-of-way—to create this space.
- 6.1.5 Roofs, Chimneys, and Dormers (p56) Guideline Historic roofing materials, such as clay tile and slate, should be repaired rather than replaced, if at all possible. While repair or replacement with like materials is often considered to be cost prohibitive, it should be remembered that life expectancies of these roofs (slate, 60 to 125 years and longer; clay tile, 100+ years) is considerably greater that most replacement materials. Clay tile and slate roofs are always character-defining features of their buildings; therefore, if replacement is necessary, new materials should match as closely as possible the scale, texture, and coloration of the historic roofing material.
- 6.1.5 Roofs, Chimneys, and Dormers (p57) Guideline Original chimneys often add to the character of historic houses and should be properly maintained; they should not be covered with stucco or any other material, unless historically covered. A chimney that is no longer in use still functions as an important element in the overall composition of a house and should not be covered, partially or completely removed, or replaced.



**Government Services Center** 178 Sams Street Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

**Chief Executive Officer** 

# DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director

Michael Thurmond

Cedric Hudson

# **Application for Certificate of Appropriateness**

Date Received: App	lication No.:
Address of Subject Property:1458 N. Decatur Rd	. Atlanta, GA 30306
Andrew Johnson Applicant:	bajohnson1973@gmail.com
	Atlanta GA 30306
Applicant Phone: (404) 394-9794	Fax:
Applicant's relationship to the owner: Owner Archite	ect:  Contractor/Builder  Other
Owner(s):	Email:
Owner(s):	Email:
Owner(s) Mailing Address:	
Owner(s) Telephone Number:  Approximate age or date of construction of the primary st	ructure on the property and any secondary structures affected by this project
Main House - Built in 1929; Deck - ~ 20 years	
Nature of work (check all that apply):	
New construction □ Demolition □ Addition □ changes □ New accessory building □ Landscaping □ changes □ Sign installation or replacement □ Other	Fence/Wall □ Other environmental
Description of Work: eplacement of existing wood deck at the rear	of the property with a new deck/screen porch.
eck is not visible from the street.	
Cignature of Applica	



### DEPARTMENT OF PLANNING & SUSTAINABILITY

## Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/ We:
being owner(s) of the property at:
hereby delegate authority to:
to file an application for a certificate of appropriateness in my/our behalf.
Signature of Owner(s):
Date:

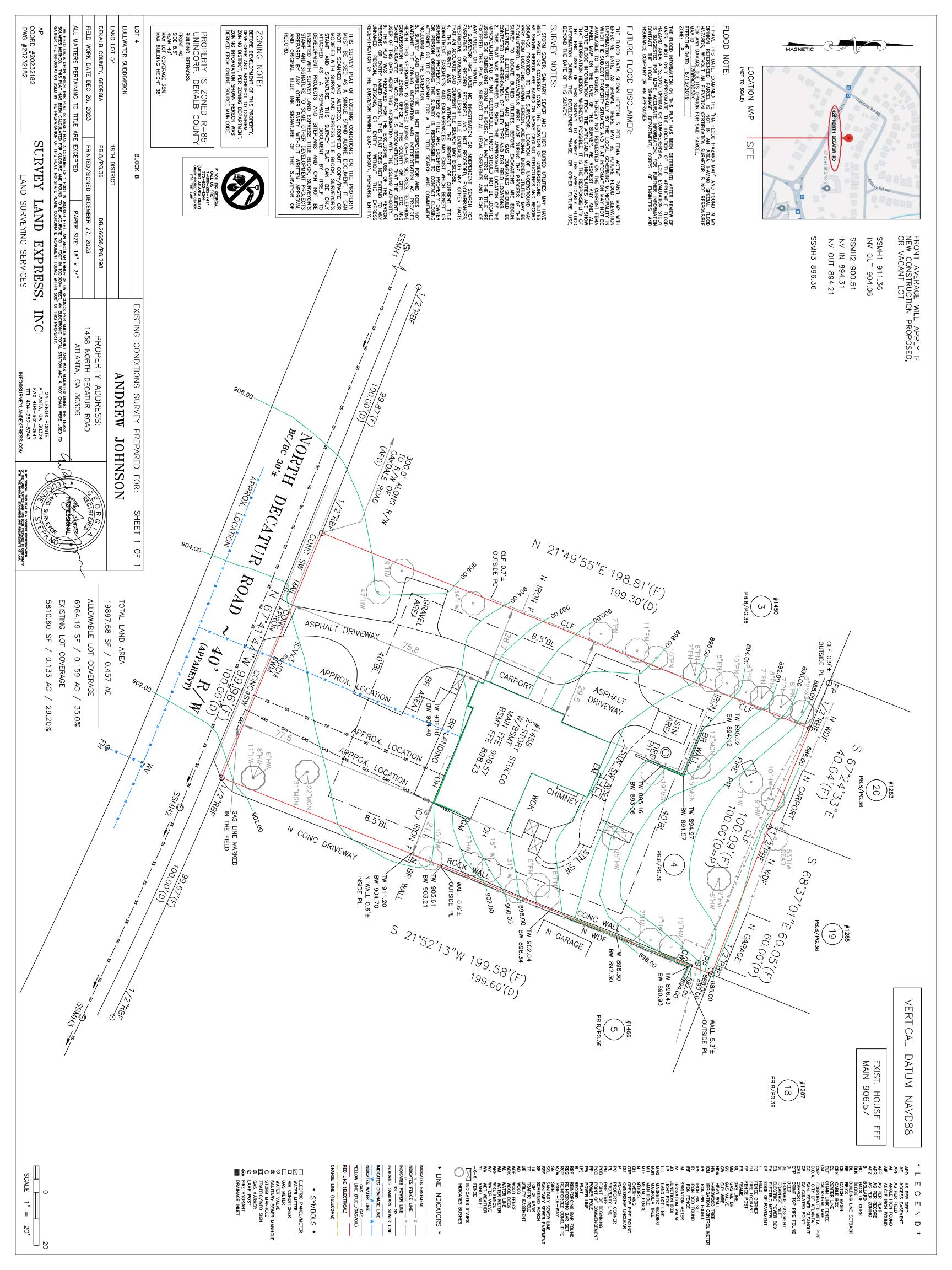
#### Please review the following information

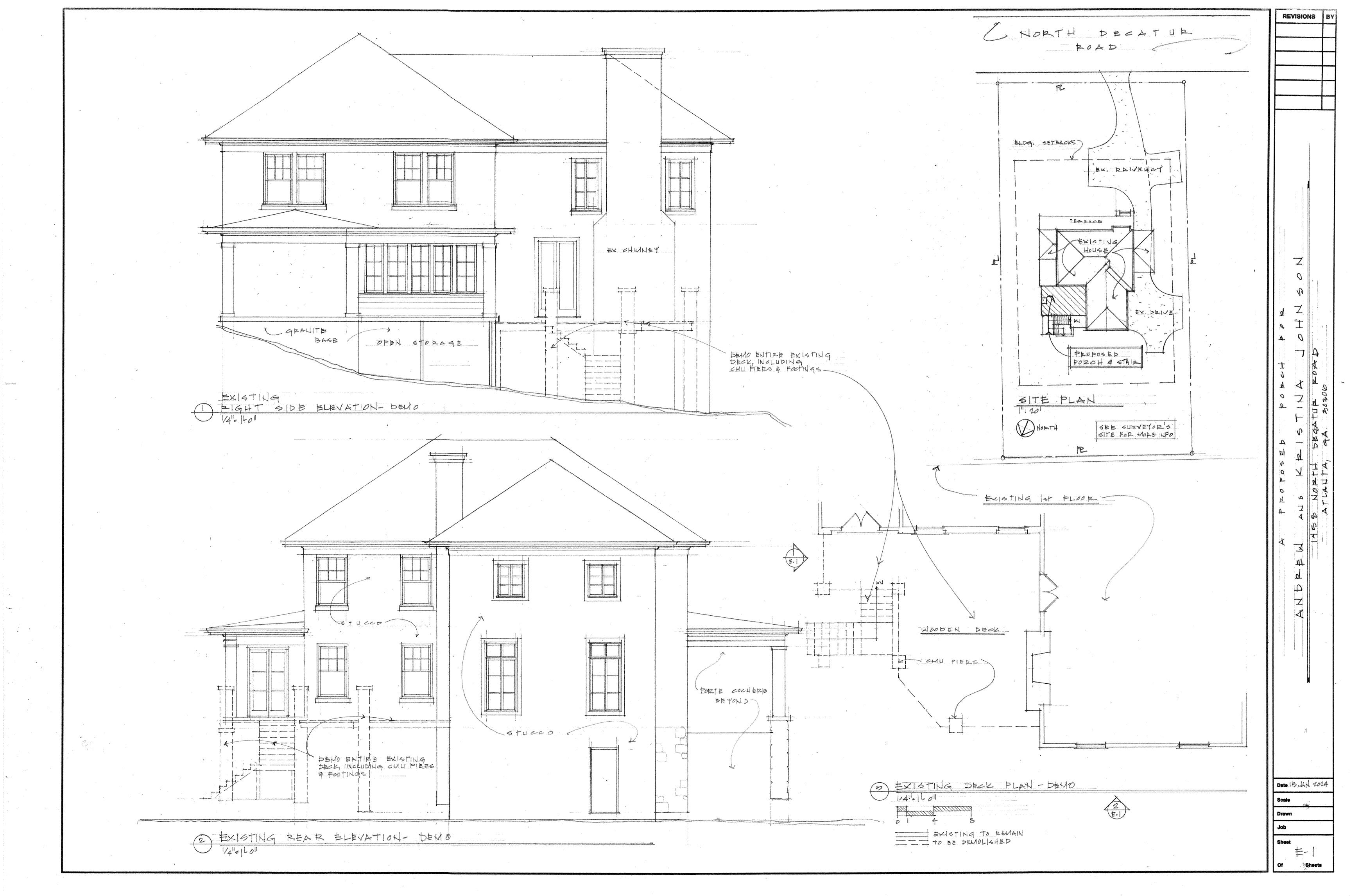
Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

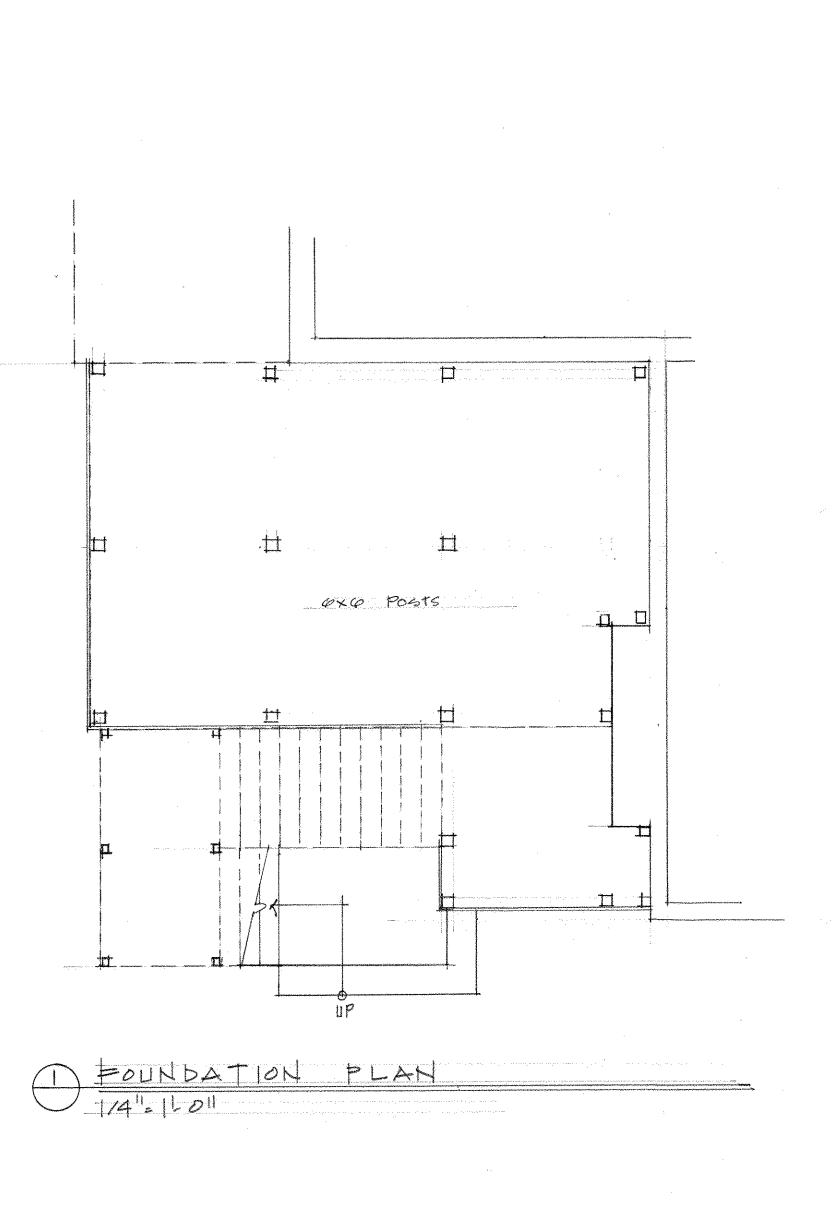
Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

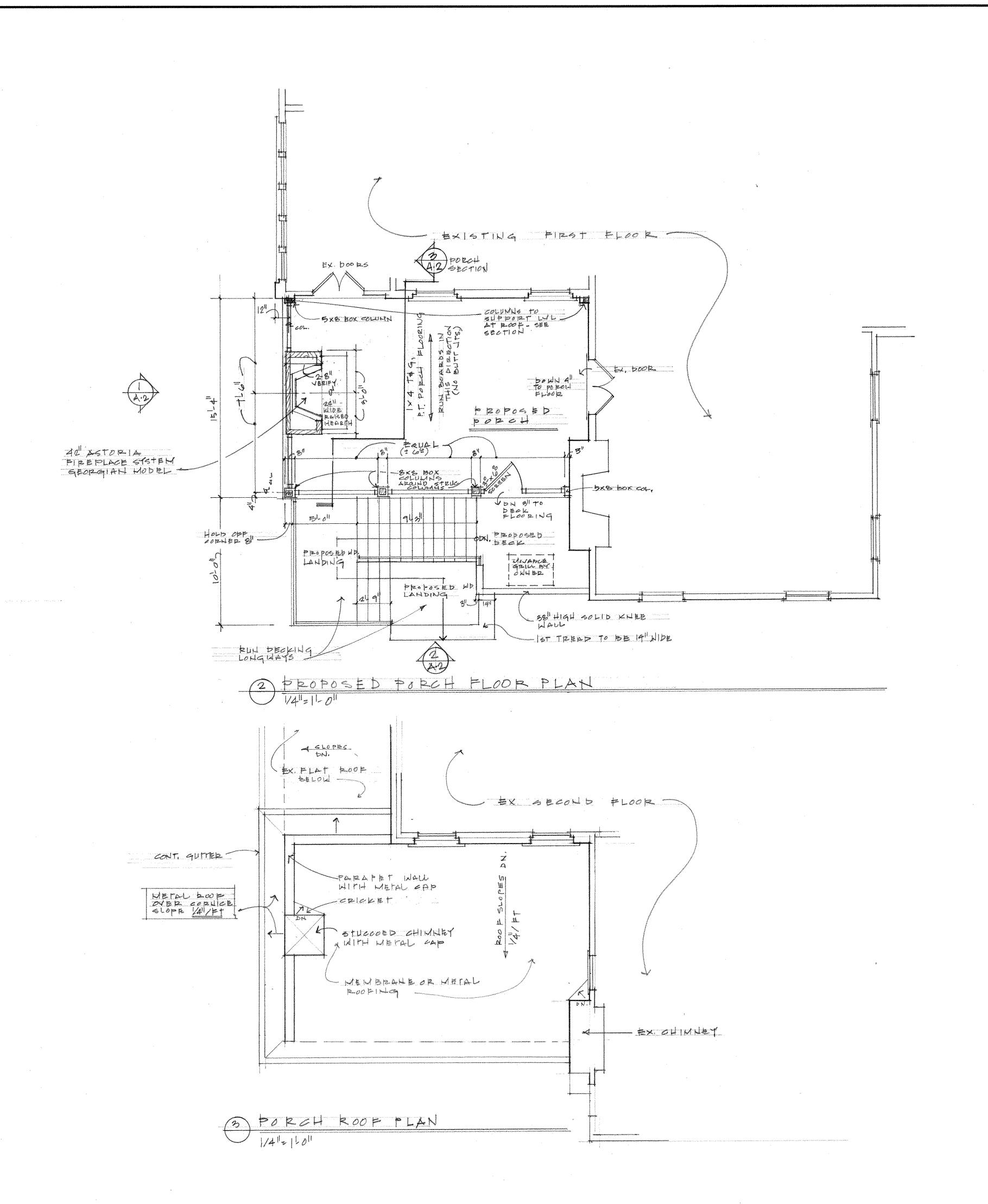
If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.









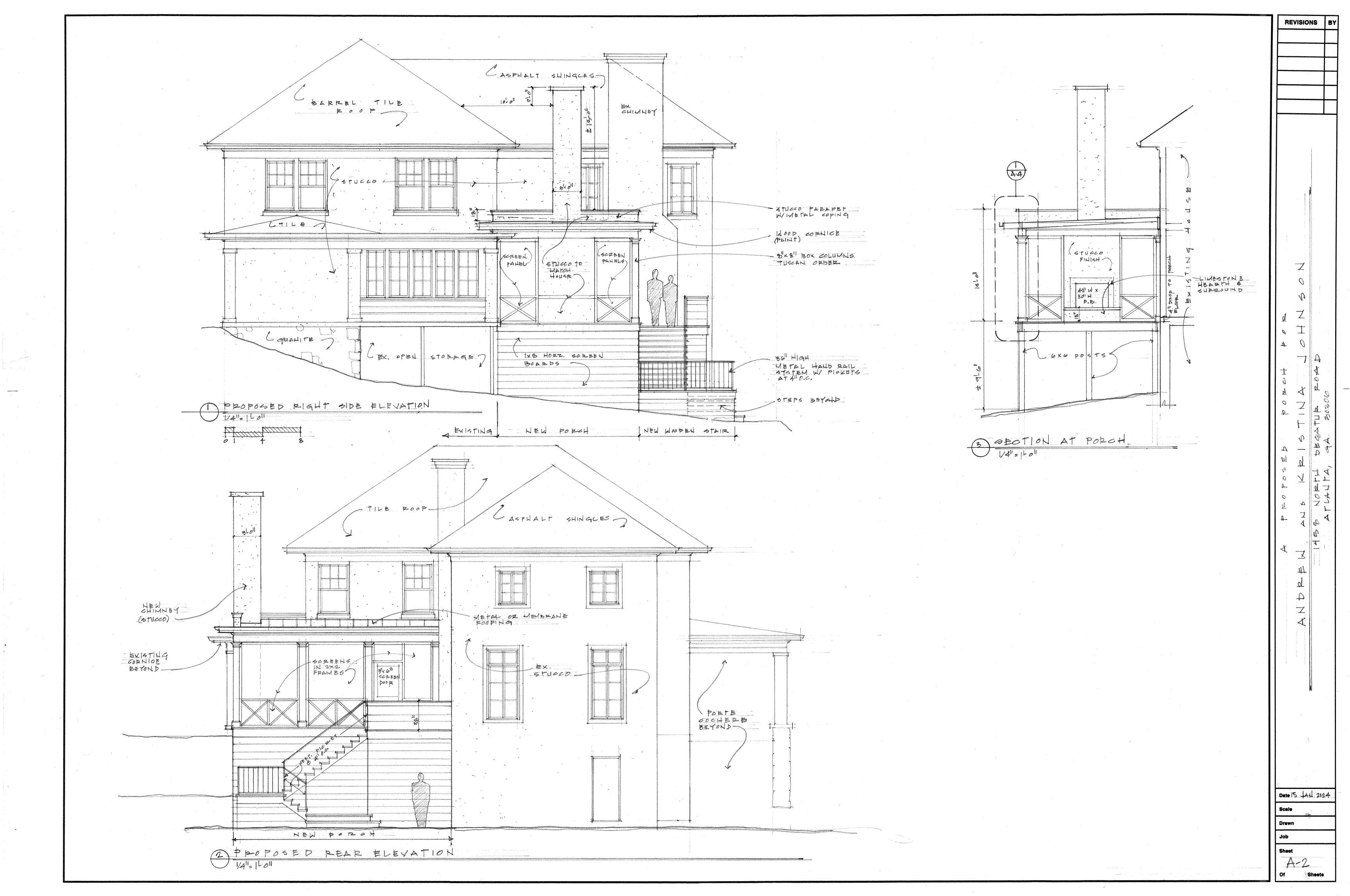
REVISIONS BY

Z

Date | 5 JAN 2024

Scale

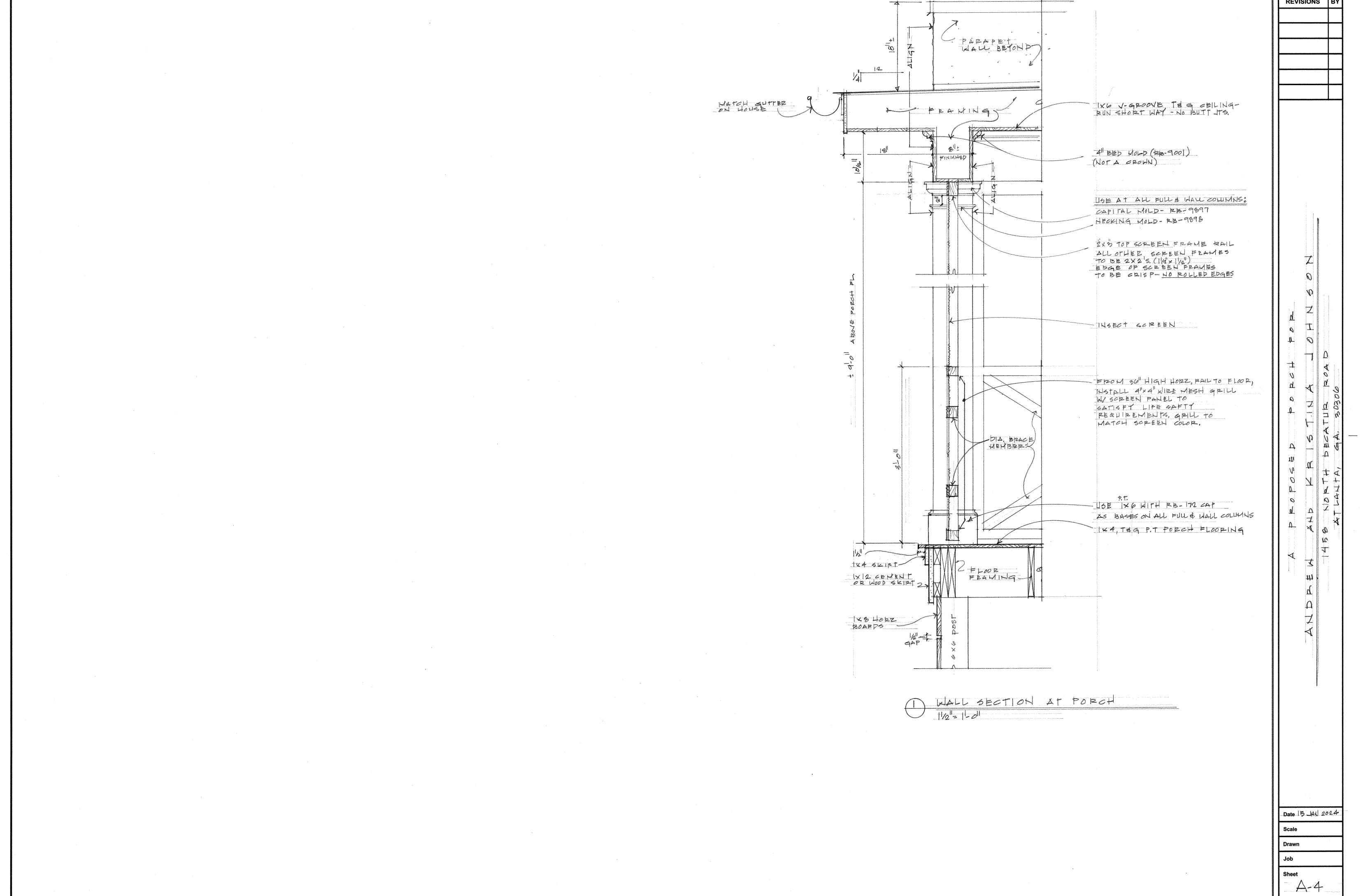
Sheet





- DESISTING FRONT ELEVATION SHOWING PROPOSED ZHIMNET AT REAR (HO DIRECT CHANGES TO FRONT FACADE)

REVISIONS BY



REVISIONS BY



178 Sams Street, Decatur, GA 30030

Michael L. Thurmond Chief Executive Officer Cedric Hudson Interim Director

# RESIDENTIAL SITE PLAN REVIEW CHECKLIST (Land Development

Section's)

This checklist shall be submitted with your documents/drawings. Answers shall be provided to all items as "no" or "yes"; and if "no", you must explain why the item in question is not applicable.

<u>Project Name</u> :	<u>Date</u> :	
<u>Address</u> :	Parcel #:	
	Signature Wy Seal	SECULIAR STERINGS
Date:	W	Mo surved of the A STEP

GENERAL INFORMATION		IS ITEM IF NO, EXPLAIN DRESSED?	
1. Provide a vicinity map showing site's relation to surrounding area	NO	YES	
2. Provide 24-hour emergency contact information (name, telephone	NO	YES	
number & address).			
3. Plans must be sealed by a registered professional civil engineer,	NO	YES	
landscape architect, land surveyor or architect.			
4. Minimum sheet size is to be 11" x 17"	NO	YES	
5. Plans must be drawn to scale	NO	YES	
6. Graphic scale & north arrow	NO	YES	
7. Reference the final plat (i.e. plat book and page number from recordation) for property	NO	YES	



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8.	Review the final plat to ensure that all required features are	NO	YES	
	provided/shown under the building permit (sidewalk, buffers, easements, etc.)			
9.	Provide a floodplain statement, including the map panel number, the	NO	YES	
	effective date, and whether there is a floodplain on the property, and its zoned (zone AE, AO, A, X, etc.)			
10.	Show/provide email, phone, address and name of builder and owner	NO	YES	
11.	Show/indicate building address, the parcel ID#, lot number,	NO	YES	
	Subdivision name and phase			
12.	Provide the lot size, disturbed area, impervious area, and cut/fill	NO	YES	
	volumes, zoning district, % of impervious and % of proposed lot coverage			
13.	Provide a breakdown of the impervious area by surfaces: house,	NO	YES	
	driveway, walkway, garage, patio, decks, porch, etc.			
	INFORMATION TO BE SHOWN ON THE EXISTING CONDITION	IS I	TEM	IF NO. EXPLAIN
	INFORMATION TO BE SHOWN ON THE EXISTING CONDITION SHEET		TEM ESSED?	IF NO, EXPLAIN
14.				IF NO, EXPLAIN
	SHEET  Provide a survey showing the existing condition of the site	ADDR	ESSED?	IF NO, EXPLAIN
	SHEET  Provide a survey showing the existing condition of the site  Show topography/contours with elevation and sufficient contours on	ADDR NO	ESSED? YES	IF NO, EXPLAIN
15.	SHEET  Provide a survey showing the existing condition of the site  Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns	ADDR NO	YES  YES  YES	IF NO, EXPLAIN
15.	SHEET  Provide a survey showing the existing condition of the site  Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns  Show/Delineate the state EPD 25-foot undisturbed stream buffers and	NO DNO	YES  YES  YES	IF NO, EXPLAIN
15.	SHEET  Provide a survey showing the existing condition of the site  Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns	NO DNO	YES  YES  YES	IF NO, EXPLAIN
15. 16.	SHEET  Provide a survey showing the existing condition of the site  Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns  Show/Delineate the state EPD 25-foot undisturbed stream buffers and the County 75-foot undisturbed stream buffers from the top of bank,	NO DO	YES  YES  YES  YES  YES	IF NO, EXPLAIN
15. 16.	SHEET  Provide a survey showing the existing condition of the site  Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns  Show/Delineate the state EPD 25-foot undisturbed stream buffers and the County 75-foot undisturbed stream buffers from the top of bank, for state waters	NO DNO NO DNO DNO DNO DNO DNO DNO DNO DN	YES  YES  YES  YES  YES	IF NO, EXPLAIN
15. 16.	SHEET  Provide a survey showing the existing condition of the site  Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns  Show/Delineate the state EPD 25-foot undisturbed stream buffers and the County 75-foot undisturbed stream buffers from the top of bank, for state waters  Show location and information for all existing storm pipes, storm drain structures, all utilities (and labelled them as existing) and	NO DNO NO NO	YES  YES  YES  YES  YES  YES	IF NO, EXPLAIN
15. 16.	Show topography/contours with elevation and sufficient contours on adjacent properties to determine drainage patterns  Show/Delineate the state EPD 25-foot undisturbed stream buffers and the County 75-foot undisturbed stream buffers from the top of bank, for state waters  Show location and information for all existing storm pipes, storm drain structures, all utilities (and labelled them as existing) and easements on site and in R/W	NO  NO  NO  NO  NO  NO  NO  NO	YES  YES  YES  YES  YES  YES	IF NO, EXPLAIN



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19.	Show location of all existing features such as:	NO	YES	
•	Flood plain limit (AE, A, X, etc.) with x-section & BFE			
•	AFCF (area adjacent to future condition floodplain: 3 ft above BFE or 1 ft above future condition floodplain whichever is greater)			
•	Future Conditions floodplain (if different from BFE)			
•	State waters buffers			
•	Transitional zoning buffers			
	INFORMATION TO BE SHOWN ON THE PROPOSED SITE PLAN		TEM ESSED?	IF NO, EXPLAIN
20.	Items 15 (existing and proposed contours) 16, 17 (existing utilities to	NO	YES	
	remain and proposed), 18, and 19 above shall be shown on the proposed site plan as well			
21.	Show location of: dumpsters, portable toilets (15' min. from P/L)	NO	YES	
	parking, material storage and stockpile areas.			
22.	Show limits of disturbance	NO	YES	
23.	Variance from DeKalb County required for encroachment in 75-foot	NO	YES	
	state waters buffers.			
24.	Variance from GA. E.P.D. required for encroachment in 25-foot state	NO	YES	
	waters buffers			
25.	Show site specific erosion controls to manage onsite disturbance and	NO	YES	
	to protect offsite properties, tree save areas, undisturbed creek buffers, and flood plains from sedimentation per Manual for Erosion and Sediment Control in Georgia (GSWCC) <u>Level II Certification</u>			
	Required when part of a Common Development.			
26.	Provide details, drawings, and legend for all BMP's used on site. Per	NO	YES	
	he GSWCC manual.			



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27.	Show all proposed utilities, drainage structures, etc. and labelled	NO	YES	
	them as "proposed"			
28.	Show proposed structures and surfaces: house, driveway, walkway,	NO	YES	
	garage, patio, decks, porch, etc			
	If any existing structures to remain, label them as "existing"			
29.	Provide basement, garage, crawlspace and main floor elevations to	NO	YES	
	NAVD 1988			
30.	Provide proposed contours/grading and existing contours using	NO	YES	
	different line types.			
	If no grading is being proposed, add note to state that no grading is			
	being proposed.			
31.	Show proposed driveway location and landing, spot elevations to	NO	YES	
	NAVD 1988, and indicate driveway slope percentage (% not to exceed			
	20%)			
	Show driveway entrance per DeKalb County 709 & 710 Standard details	NO	YES	
(see	e attached)			
33.	Driveway apron shall be 4' min. from catch basin and cannot extend	NO	YES	
	beyond projected property corner in R/W.			
34.	(a) Provide top & bottom elevations of proposed retaining/foundation	NO	YES	
	wall,			
	(b) Indicate wall type and address surface drainage			
35.	Retaining walls over 30" require safety restraints.	NO	YES	
36.	Retaining walls of 4 feet or greater in height will require a separate	NO	YES	
	building permit & must be designed by a professional engineer			
			L	<u>l</u>



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Andrew A. Baker AICP Director

37. Retaining walls must be off property line half the distance of the	NO	YES	
building set back line (chapt 27, sec. 5.4.5)			
38. Show location of all existing features such as:	NO	YES	
• Flood plain limit (AE, A, X, etc.)			
<ul> <li>AFCF (area adjacent to future condition floodplain: 3' above the BFE or 1' above future condition floodplain, whichever is greater.)</li> </ul>			
<ul> <li>Future Conditions floodplain (if different from BFE)</li> </ul>			
State waters buffers			
<ul> <li>Transitional zoning buffers</li> </ul>			
The County GIS map can be accessed here: <a href="https://arcg.is/P89a9">https://arcg.is/P89a9</a>			
39. The lowest floor including crawlspace shall be 3' above base flood	NO	YES	
elevation, or 1' above the future conditions flood elevation			
40. The installation of new stormwater structures and pipe will require	NO	YES	
the approval of DeKalb County Department of Roads and Drainage.			
41. The installation of new public sanitary sewer structures and pipe will	NO	YES	
require the approval of DeKalb County Department of Watershed			
Management.			
42. Revise final plat prior to issuance of Certificate of Occupancy, if	NO	YES	
applicable			
43. Provide Stormwater management plan for lots creating 5,000 sq. ft. or	NO	YES	
more impervious surface. Refer to the stormwater management			
review checklist.			
44. Water quality BMP is required for any new house construction	NO	YES	
(except for common development project where water quality has			
been addressed as part of the development stormwater mgt plan)			
Refer to the Water Quality review checklist			
	1	l	1



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45. Check	review the recorded final plat (if applicable) to ensure that	NO	YES	
water	quality BMP is not required for the lot in question.			
			_	
46. Add th	ne following notes:	NO	YES	
• Dump	sters and/or temporary sanitary facilities shall not be located in			
_	eet or tree protection area or right-of-way.			
• Additi	onal erosion controls shall be installed as deemed necessary by			
the on	-site inspector(s)			
• The in	stallation of erosion and sedimentation control measures and			
practio activiti	res shall occur prior to or concurrent with land-disturbing ies.			
<ul> <li>Erosio</li> </ul>	n and sedimentation control measures will be maintained at all			
times.	If full implementation of the approved plan does not provide			
	ective erosion and sediment control, additional erosion and			
	ent control measures shall be implemented to control or treat			
	diment source.			
	s/sites with 2' of fill or greater will require a compaction			
	cate by a professional registered engineer prior to a building			
	and or prior to footers being poured.			
	and field stake all utilities, easements, pipes, flood limits,			
activit	n buffers, and tree save areas prior to any land disturbing			
	e protection areas to be protected from sedimentation.			
	e protection devices to be installed prior to land disturbance			
	aintained until final landscaping.			
	e protection fencing to be inspected daily and repaired or			
	ed as needed.			
-	as-built lot survey required prior to issuance of Certificate of			
Occup	ancy.			
<ul> <li>A final</li> </ul>	as-built water quality certificate required prior to Certificate of			
Occup	ancy.			
<ul> <li>Water</li> </ul>	quality BMP(s) to be installed at the time of final landscaping.			
<ul> <li>All col</li> </ul>	lected water shall be directed to the water quality BMP(s).			
	ter quality BMP(s) allowed in undisturbed stream buffers or			
	ve/critical root zone.			
	hours and construction deliveries are:			
-	ay 7:00am - 7:00pm			
Saturday 8:00a	m – 5:00pm			



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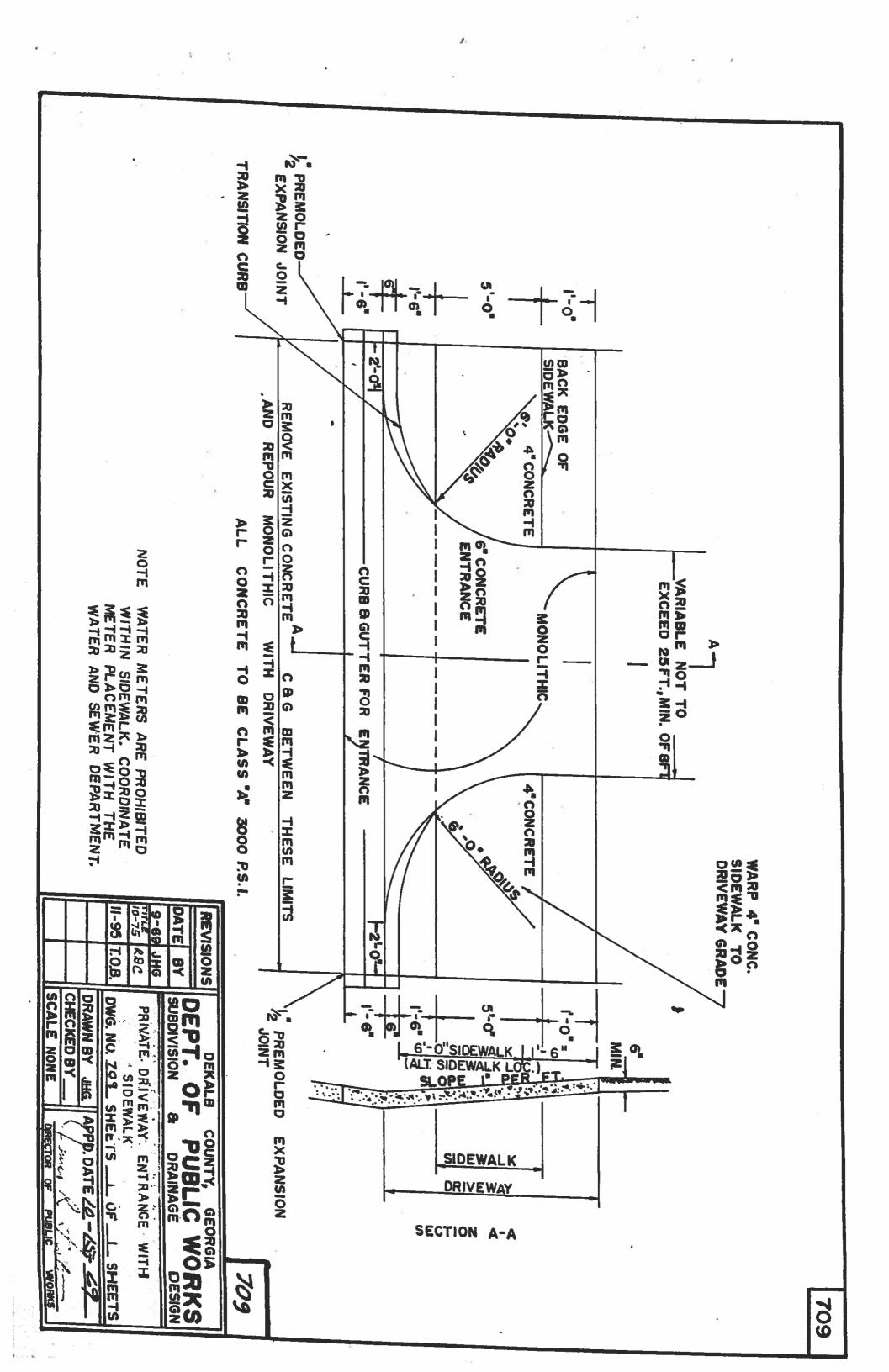
I(name of design professional)certify under penalty of law that this plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my direct supervision.			
INFORMATION TO BE SHOWN ON THE TREE PLAN		TEM RESSED	IF NO, EXPLAIN
47. Show location, size, species of all existing trees 6" and greater.	NO	YES	
48. Show all specimen trees.	NO	YES	
49. Indicate preserved and removed trees.	NO	YES	
50. Show tree protection fencing and erosion control to protect critical	NO	YES	
root zones.			
51. Show preservation calculation: 120" of existing trees per acre -OR-	NO	YES	
25% of existing # of trees onsite.  Do not count trees or acreage in creek buffer/flood plain in calculation.			
52. Show calculation to provide 15 density units per acre.	NO	YES	
o Convert existing saved trees and replant trees using Chart 1-3 per 14-39(g)(4).			
o Provide necessary replants			
53. Show and protect entire critical root zones of all trees included in	NO	YES	
preservation calculation			
54. Show required front yard trees.	NO	YES	
55. Must preserve all trees 6" and greater in the front yard and in the rear	NO	YES	
half of the rear yard of infill lots.			

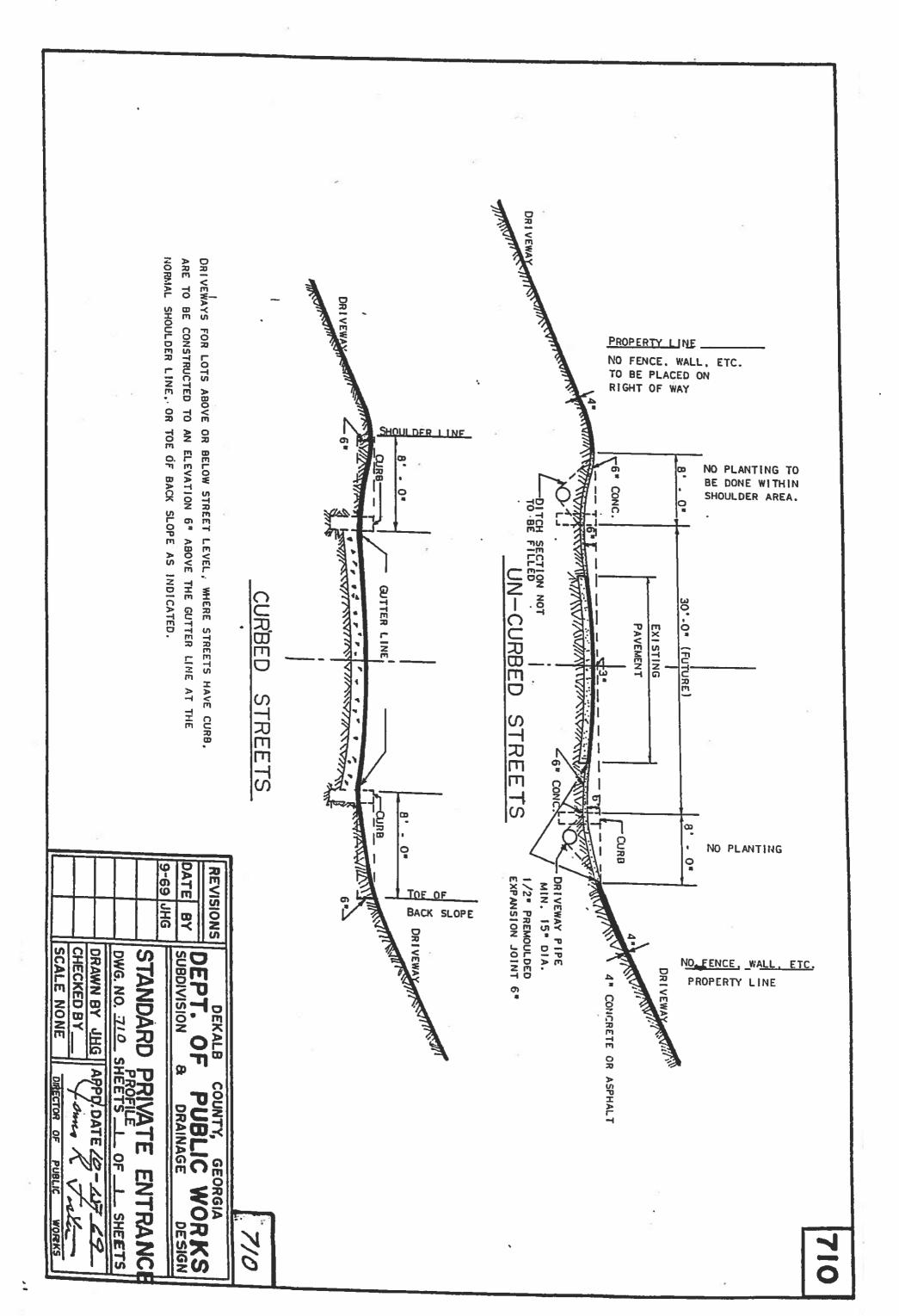


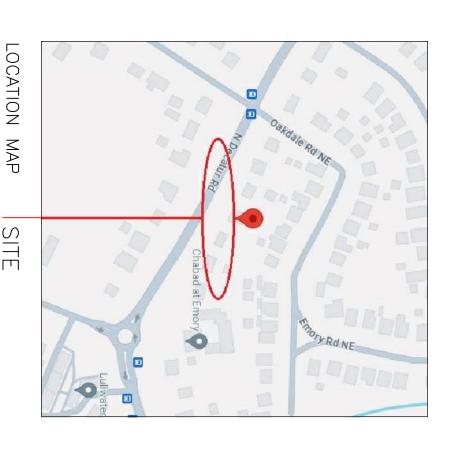
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56. Show details for tree protection fencing.	NO	YES	







PROPERTY UNINCORP. FRONT 40' SIDE 8.5' BUILDING SETBACKS: . DEKALB C COUNTY

REAR 40' MAX LOT COVERAGE 35% MAX BUILDING HEIGHT 35 ANTICIPATED STARTING DATE: 02/09/2024
ANTICIPATED COMPLETION DATE: 08/09/2024
THE INSTALLATION OF EROSION AI
SEDIMENTATION CONTROL MEASURES AI
PRACTICES SHALL OCCUR PRIOR TO (
CONCURRENT WITH LAND-DISTURBING ACTIVITIES. DISTURBED AREA STABILIZATION

# BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT. ZONING NOTE:

EXCESS OF SOIL TO BE HAULED TOTAL OF GROSS CUBIC YARDS DIRT STATEMENT GROSS CUBIC YARDS

> INDICATES POWER LINE INDICATES LINE INDICATORS GAS LINE WATER LINE

> > ELECTRIC PANEL/METER WATER METER

SYMBOLS

AS PER DEED
ACCESS EASEMENT
AS PER FIELD
ANGLE IRON FOUND

IRON ROD FOUND
RRIGATION VALVE
JUNCTION BOX
LAND LOT LINE
MAGNETIC READING I
MAGNOLIA TREE
MAGNOLIA TREE
MAN HOLE
METAL FENCE
N'HORS

MAN HOLE
MEDANS
VERHANG
PPEN TOP PIPE FOUND
DWNERSHIP UNCLEAR
ORCH

AS PER PLAT
AS PER RECORD
BACK OF CURB
BLOCK

# INDICATES STRUCTURAL ROOT PLATE EASEMENT

OF FILL:

ω lΩ

유

CUT:

OFF.

INDICATES DRAINAGE LINE SANITARY SEWER LINE FENCE LINE

SANITARY SEWER MANHOLE STORM MANHOLE

BUILDING LINE SETBACK
BRICK
BASEMENT
CABLE BOX
CONCRETE
CATCH BASIN
CENTER LINE
CHAIN LINK FENCE
CORRUGATED METAL PIPE
COTY OF ATLANTA
SAN SEWER CLEANOUT
CRAPORT
CARPORT

COPERTY CORNER
OPERTY LINE
NE TREE
DINT OF BEGINNING
OWER POLE
OWER LINE

DEED
DRAINAGE EASEMENT
DRAINAGE INLET
ELECTRIC POWER BOX
ELECTRIC METER
EDGE OF PAVEMENT

SIGN
SANTARY SEWER LINE
SANTARY SEWER EASEMENT
SCREENED PORCH
SIDEWALK
TOP OF BANK
UTILITY EASEMENT

TOP PIPE FOUND

ECORD EINFORCING BAR FOUND EINFORCING BAR SET EINFORCED CONC. PIPE RIGHT-OF-WAY

WATER VALVE

METER CONDITIONER

GAS MARKER LAMP POST

TRAFFIC/INFO SIGN

# ELEVATIONS SHOWN HEREON ARE REFERENCED TO ME AN SEA LEVEL

# FLOOD NOTE

(NOT TO SCALE)

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION COMMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID NUMBER TONG YOUR YOUR PARCEL MAP ID NUMBER TONG YOUR YOUR PARCEL WAP ID NUMBER TONG YOUR YOUR TONG YOUR PARCEL WAP ID NUMBER TONG YOUR YOUR PARCEL WAP ID NUMBER TONG YOUR PARCE WAS TONG ) FOUND IN MY OPINION REFERENCED PARCEL IS NOT AN CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY \_\_\_8/15/2019\_\_

STATE WATERS EXIST WITHIN 200 FEET.

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOWN THE APPROXIMATE LOCATION OF THE IMPROVEMENTS FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE. AND IS NOT RECORDABLE.
TITLE ARE EXCEPTED. THIS

- LAND DISTURBANCE PROHIBITED ACTIVITIES. WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING
- LAND DISTURBANCE PROHIBITED LAND DISTURBING ACTIVITIES. WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR
- ALL BUILDINGS ALL ALL PORTIC DINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL INTERMEDIATE REGIONAL FLOOD ELEVATION.
- 4. FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

# SURVEY NOTES:

- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITES AND SENDING AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND FOR FIELD LOCATIONS.

  2. THAS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.

  3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TO FURTHER THE SUBJECT OF CURRENT THILE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENETIT OR BURDEN THIS PROPERTY, MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TILLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.

  5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION AND FOR THE SURVEYOR NAMED HEREON. THE SOURCES, TELEPHONE CONVERSATION OF THE FERSON, PERSONS, OR ENTITY MAMED HEREON. THIS SURVEYOR NAMED HEREON. THIS DATA WAS PREFERED THAT THE EXCLUSIVE USE OF

COVER PAGE

RELEASE FOR CONSTRUCTION

ANDREW

JOHNSON

THE RELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FORT IN 3000A- FEET, AN ANGULAR ERROR OF 05 SECONIS FER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN ANGLED AND ALCOMENTE TO TOWN TO TOWN TO TOWN THE OFFINE OF THIS PLAT HAS BEEN ANGLED THE PLATE ALCOMENTE TO TOWN TO THIS PROPERTY.

GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

SURVEY

LAND EXPRESS,

LAND

SURVEYING

FIELD WORK DATE DEC 26, 2023

- WAS ADJUSTED FOR TED USING TH FOR CLOSUR AN ELEC  $\stackrel{>}{\sim}$
- TO GATHER THE INFORMATIC
  THE PUBLIC RECORDS AS
  NECESSARY TO ESTABLISH
  THE SAME DOES NOT AND I

EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.

PERMANENT VEGETATION.

MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL INSPECTED AT LEAST DAILY AND AFTER EACH RAIN, AND REPAIRED NECESSARY.

- INCLUDING AND ALL UI
- THIS SURVEY IS SOTHER MATTERS UNRECORDED; PUI SUBJECT OF RECO CORD ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY THAT MAY AFFECT THIS PROPERTY; RECORDED OR
- NRECORDED; PUBLIC OR PRIVATE.

  O RESPONSIBILITY OR LIABILITY I

  DR USE OF THIS SURVEY FOR MITED TO, USE OF SURVEY FOR O ANY OTHER PERSON NOT LIS BILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC Y FOR ANY OTHER PURPOSE INCLUDING, BUT NOT Y FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR
- WETLANDS EXIST, WATERS OF DJACENT WETLANDS, SHOWN CHE U.S. ARMY CORPS OF ENGINE OF THE U.S. ARMY CORPS OF ENGINE OF THE U.S. ARMY CORPS OF ENGINE OF THE U.S. ARMY CORPS OF THE U.S. AR WN ON THIS PL ENGINEERS. LO CE OF THESE THE UNITED STATES, INCLUDING THE LAKES AND IN THIS PLAT ARE UNDER THE JURISDICTION OF NEERS. LOT OWNERS ARE SUBJECT TO PENALTY OF THESE WETLAND AREAS WITHOUT PROPER

13.

SURVEY REQUIRED PRIOR TO ISSUANCE

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12.

ALL TRE

<u>1</u>4.

- THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.

  EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION.

  STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY
- AUTHORIZED LAND DISTUR DURATION OF THE CONSTRUCTION CONTROL ME/CONSTRUCTION AND SHALL DISTURBED AREAS ARE STAIL A COPY OF THE APPROVED SITE WHENEVER LAND DISTURBLE ON—SITE INSPECTION OF OCCUPANCY, CERTIFIED OCCUPANCY, CERT
- 4.

**GENERAL NOTES** 

SPECIAL SITE PLAN NOTES:

THE INSTALLATION OF AND PRACTICES SHALL ACTIVITIES.

EROSION AND SEDIMENTATION CONTROL MEASURES OCCUR TO OR CONCURRENT WITH LAND-DISTURBING

WOOD FENCE
WOOD DECK
WATER LINE
WATER METER
WATER FENCE
WATER VALVE
WET WEATHER
WITH
YARD INLET

- E FIELD | 75,000± DATA UPON EEET, AN A WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN SURE AND FOUND TO BE ACCURATE TO 1 FOOT IN ECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED MATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.

  AS SHOWN HEREON REFLECTS TO THOSE RECORDS ISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR ≨
- EXPRESS, IN RGROUND NC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION GROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, ED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE

<u></u>

5. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON—SITE INSPECTION.

6. SILT FENCE SHALL BE "TYPE—C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

7. NO GRADED SLOPES SHALL EXCEED 3H: 1V.

8. ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND PRIOR TO FOOTERS BEING POURED.

9. LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.

10. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.

11. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCES AND MAINTAINED DURING FINAL LANDSCAPING.

12. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED AS NEFDED.

6

- 9
- N MUST CONFORM TO DEKALB COUNTY STANDARDS.
  ENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND LL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, FOR APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE CONSTRUCTION ACTIVITY.

  ACCURATE SHALL BE IN PLACE PRIOR TO COMMENCING TO SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL

20.

SATURDAY

RDAY - FRIDAY RDAY 8:00AM EUGENE

DESCRIBED HEREIN DIRECT SUPERVISION.

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STEPANOV \_\_CERTIFY UNDER WAS PREPARED AFTER A SITE VISIT BY MYSELF OR MY AUTHORIZED

R PENALTY OF LAW AGENT, UNDER MY

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THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY.

17. 18.

19.

ALL COLLECTED WATER SHALL BE DIRECTED TO WATER QUALITY BMP(S).

NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR

TREE SAVE/CRITICAL ROOT ZONE.

WORK HOURS AND CONSTRUCTION DELIVERIES ARE:

MONDAY — FRIDAY 7:00AM — 7:00PM

16.

15.

A FINAL AS—BUILT LOT SURVEY REQUIRED PRIOR TO ISS CERTIFICATE OF OCCUPANCY.

A FINAL AS—BUILT WATER QUALITY CERTIFICATE REQUIRED CERTIFICATE OF OCCUPANCY.

DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT—OF—WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME LANDSCAPING.

SHALL -OF-W/ -WAY

NOT BE

FINAL

PRIOR

- VED LAND DISTURBANCE PLAN SHALL BE PRESENT ON TURBING ACTIVITY IS IN PROCESS.

  ON REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE

  OAS—BUILT MAY ALSO BE REQUIRED.

  OF THE LOT IS 19897.68 SF.

GSWCC

LEVEL II CERTIFIED EUGENE DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000065549
ISSUED: 01/27/2021 EXPIRES: 01/27/2024

eMAIL:

PHONE

GEORGIA SOIL AND WATER CONSERVATION COMMISION NAME, 1458 ADDRESS, Z CONTACT: DECATUR AND 30306 PHONE Andrew NUMBER

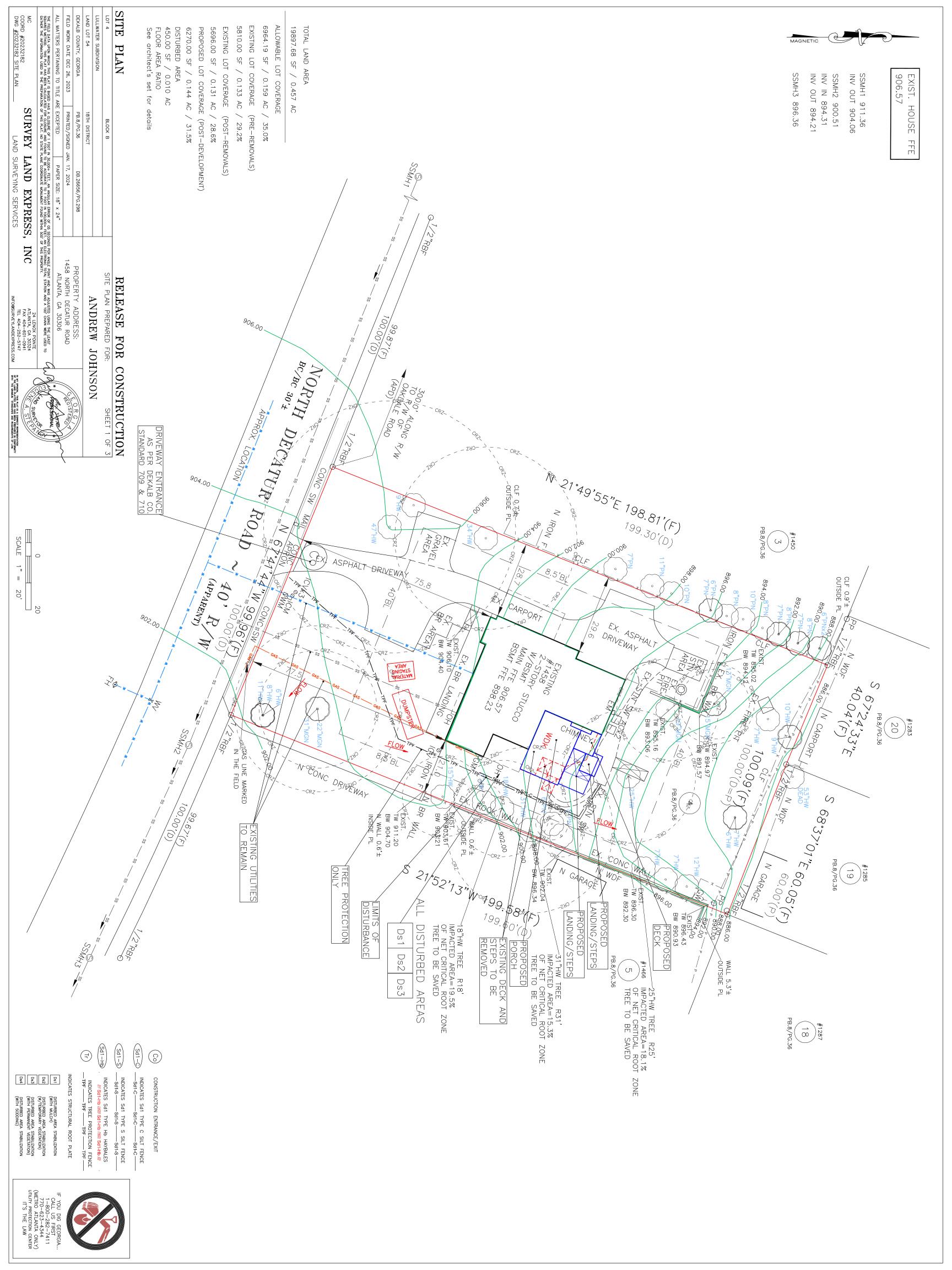
bajohnson1973@gmail.com (404)394-9794

Johnson

IF YOU DIG GEORGIA...
CALL US FIRST
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

9

DEVELOPER:







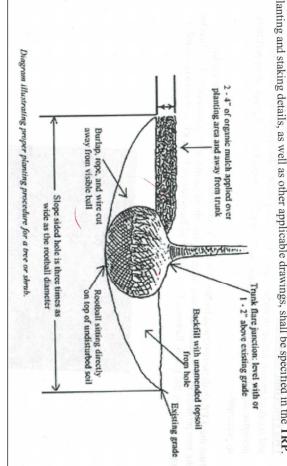
The **TRP** shall include planting schedules with botanical and common tree names, quantity, size, spacing, and any special planting notes. Trees used for credit on the **TRP** must be chosen from the County's approved tree list. At least 50% of replacement trees must be overstory trees. No more than 25% may be of any single species. No more than 25% may be evergreen species.

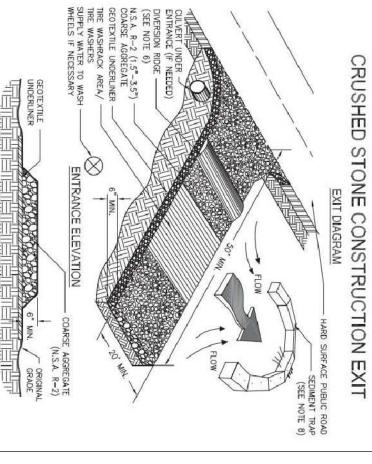
relocation is s the tree replac Tree relocation and credit for existing tree replacement units will be granted to trees relocated on site. Tree relocation is subject to approval of the **CA**. Existing trees  $\geq 2$ **" DBH** and  $\leq 7.9$ " may be used for credit on the tree replacement plan.

Unless otherwise approved by the **CA**, trees selected for replanting must meet the minimum standards as provided in the American Standard for Nursery Stock (ANSI Z60.1) and must be on the County's tree species selection list. Trees selected must be free of injury, pests, disease, nutritional disorders or root defects, and must be in good vigor to assure a reasonable expectation of survival. Standards for transplanting shall be in compliance with the International Society of Arboriculture (**ISA**) publication **Tree** and **Shrub Planting Manual** or a similar publication.

anted 1 nted trees should be ecologically compatible with the site and neighboring area. When practited trees shall be of the same or similar species as those removed. Trees shall be planted in ovides adequate space for nourishment, light, and maturation.

Planting and staking details, as well as other applicable drawings, shall be specified in the TRP





6" MIN. / SKANL

NOTES:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.

2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSTITVE DRAINAGE.

2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSTITVE DRAINAGE.

3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).

4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".

5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20".

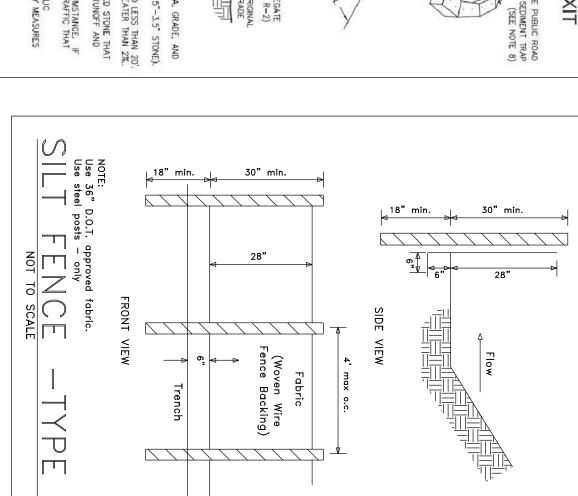
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 20".

7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.

8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT CONTROL DEVICE).

9. WASHRACKS AND/OR THE WASHESS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.

10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

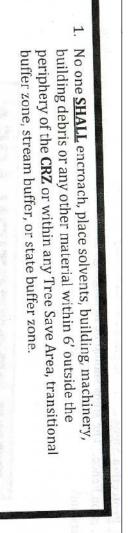


Sd1-0 0 SEDIMENT BARRIER

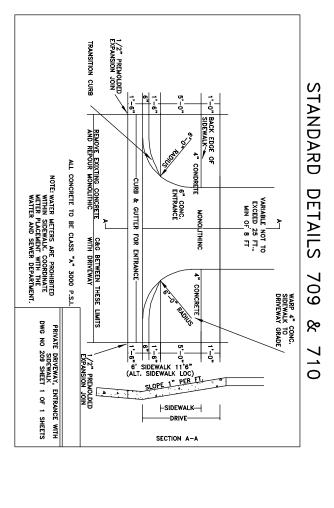
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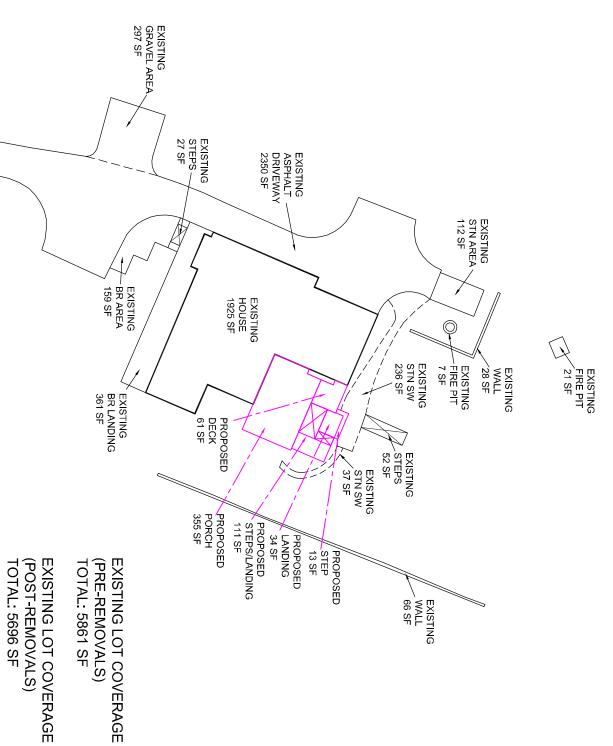
SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 — TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

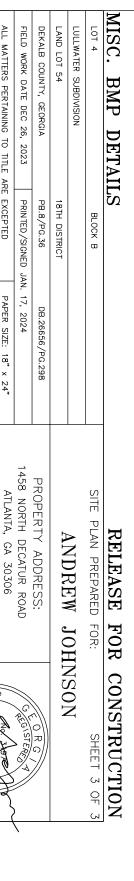
LOT COVERAGE DETAIL



- 2. All Tree Fence and other tree protection devices must remain in functioning condition until completion of the project or until the CO is issued.
- A tree that is designated to be saved, but is damaged during construction, **SHALL** be replaced with 4" caliper trees equal to the unit value of the tree removed. Any specimen tree damaged **SHALL** be replaced with 4" caliper trees equal to 1.5 times the DBH of the damaged specimen tree.
- 1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
  2. ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOT ZONE (CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING. 5
- S ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS (CRZ). ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS
- AFTER THE DATE OF FINAL INSPECTION







SURVEY LAND EXPRESS, INC

MC COORD #20232182 DWG #20232182 SITE PLAN

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMIT WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

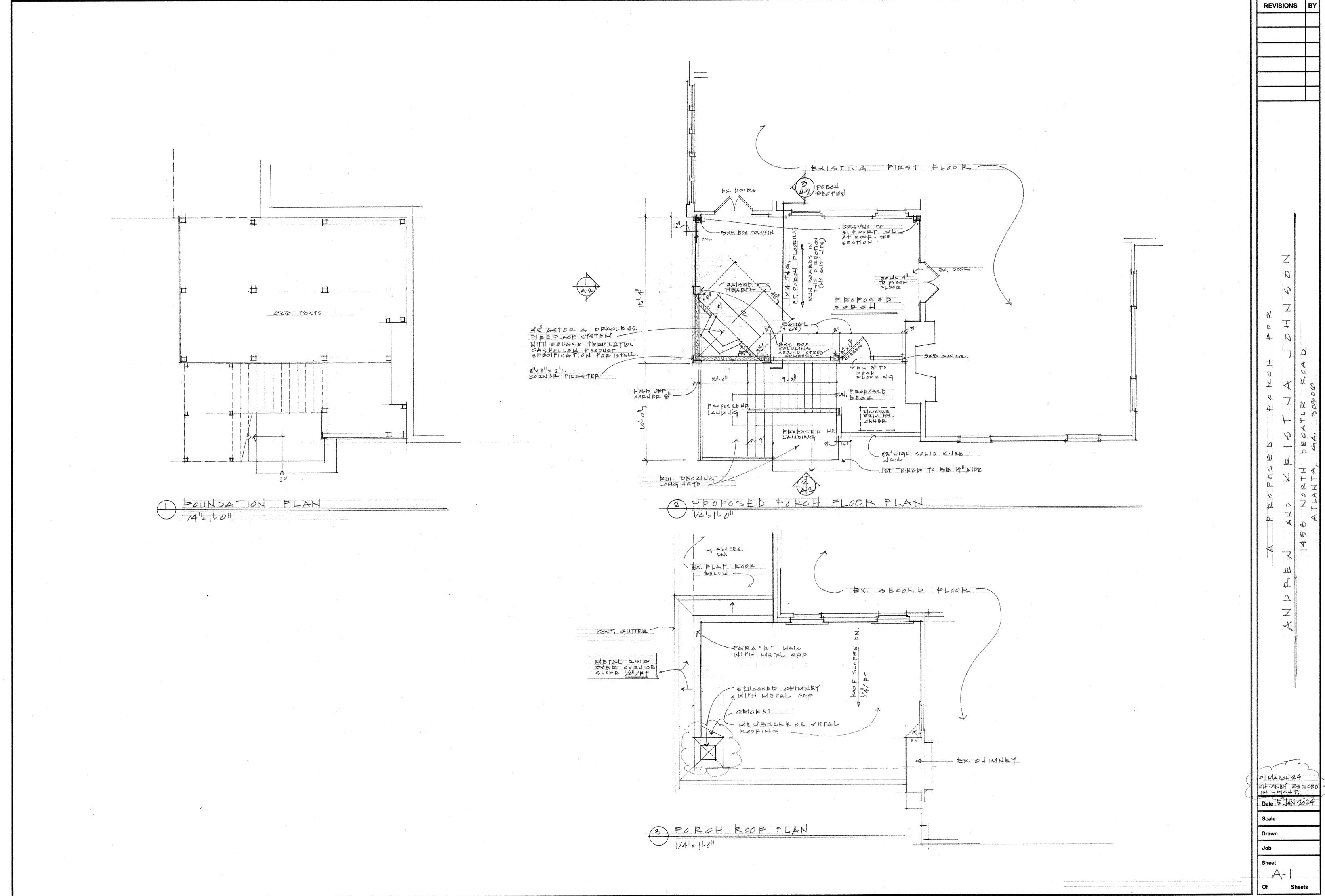
LAND SURVEYING

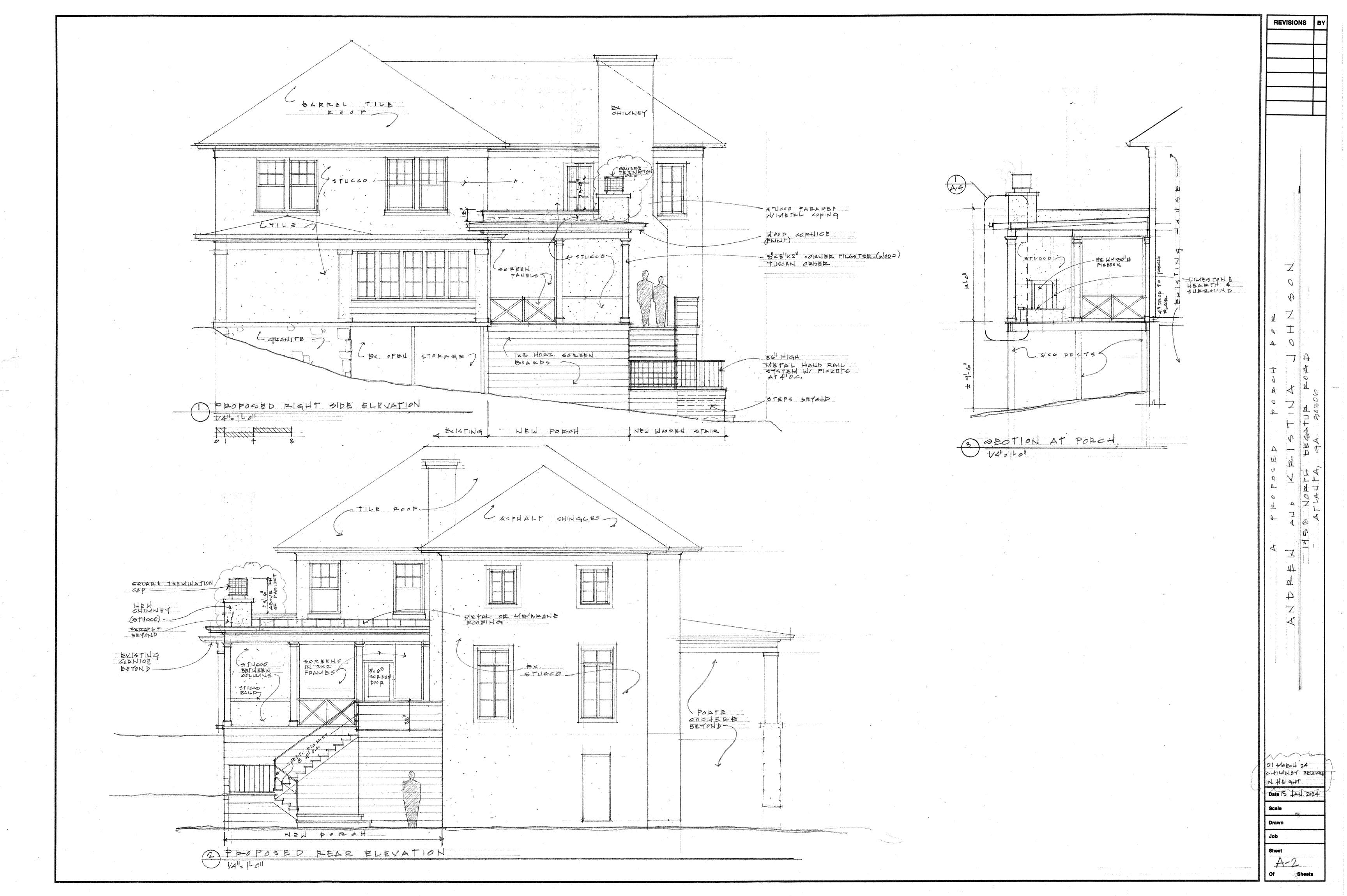
THE RELD DATA UPON WHICH THIS PLAT IS BASED MAS A CAGGINE OF 1 FOOT IN 300004- FEET, AM NIGHLAR BRORD OF 5 SECONIS FER WALE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT INS. BEEN CALLAKTED FOR ALCOGNER AND FOUND TO BE CAUGURE TO FOOT IN 100 MODEL FEET, AN ALLECTRONIC TOTAL STATION AND A 100 CHAIN WERE USED CANTER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500" OF THIS PROPERTY.

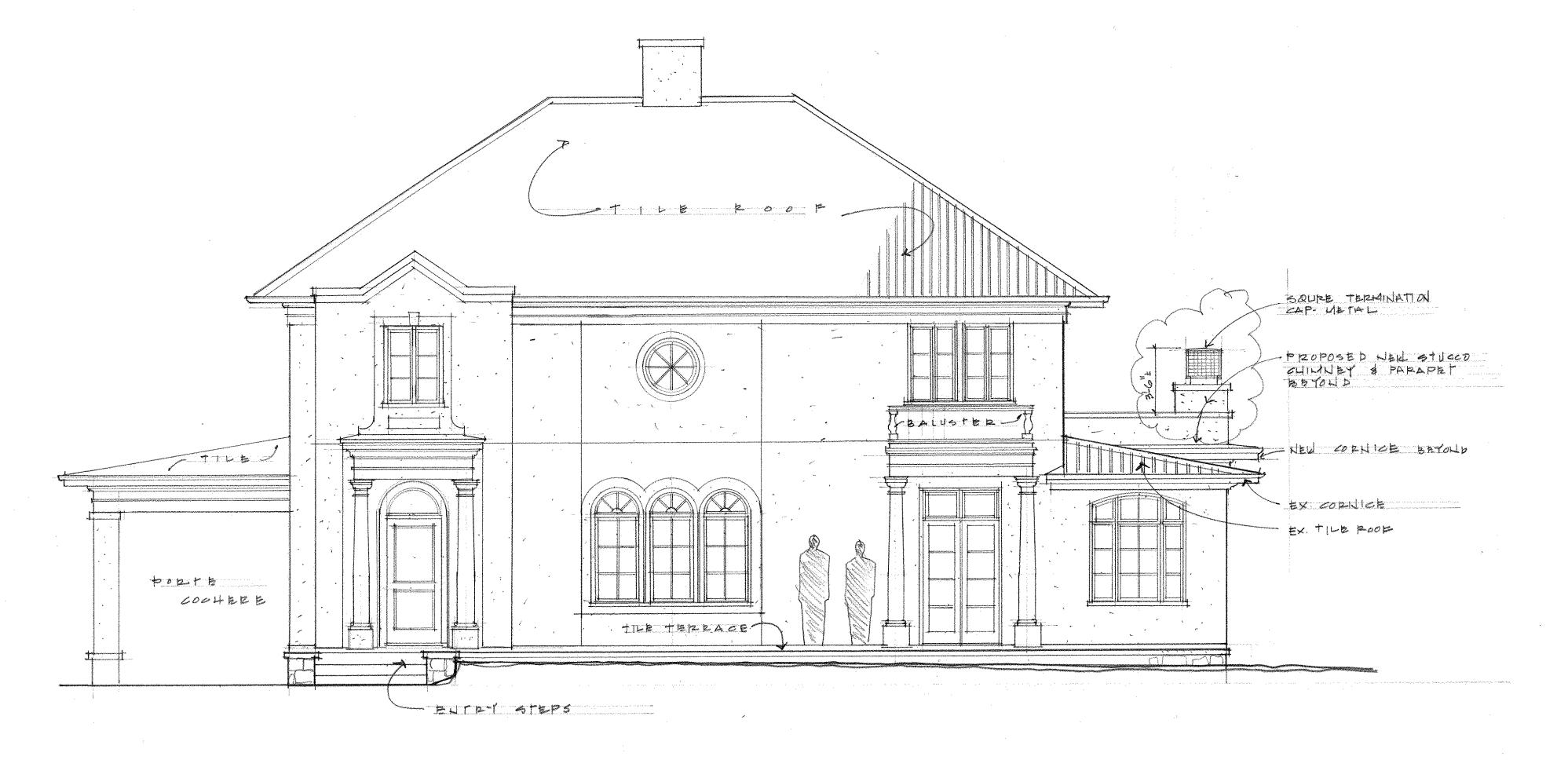
NET REDEVELOPED AREA LESS THAN 1000 SF. DOES NOT REQUIRE STORMWATER MANAGEMENT

EXISTING CONC. APRON 18 SF

PROPOSED LOT COVERAGE (POST-DEVELOPMENT)
TOTAL: 6270 SF







DEVISING FRONT ELEVATION SHOWING PROPOSED CHIMNEY AT REAR

1/4": I'd" (HO DIRECT CHANGES TO FRONT FACADE)

ANDERWORDSED POPCH FOR AND KRICHIP ROLD IOHNSON

REVISIONS BY

OIHAROH 2024 OHIMHET REDICED IN HEIGHT

Date 15 JAN 2024

Scale Drawn

Sheet

Of Sheet