

DeKalb County Historic Preservation Commission

Monday, March 18th, 2024- 6:00 P.M.

Staff Report

Consent Agenda

G. 449 Chelsea Circle, Lance Muller. Install driveway and parking pad, construct wall, and plant trees in front yard. **1246874.**

Built in 1936 (18 004 01 008)

This property is in the Chelsea Heights Character Area and is not in any National Register Historic Districts

- 11-22 449 Chelsea Circle, Robert Platt. Rear addition, modification of fenestration on front façade, front door replacement, window replacements, new deck(s). **Deferred.**
- 12-22 449 Chelsea Circle, Robert Platt. Replace the garage door with a wall and install retaining walls and a parking pad in the front yard. 1246162. **Deferred.**
- 01-23 449 Chelsea Circle, Robert Platt. Replace the garage door with a wall and install retaining walls and a parking pad in the front yard. 1246162. **Approved**
- 02-24 449 Chelsea Circle, Lance Muller. Install driveway and parking pad, construct wall, and plant trees in front yard. 1246874. **Partially Approved, Partially Deferred.**

Summary

March 2024

The applicant proposes an updated landscaping plan that including the planting of the following vegetation in the front yard, along the front and left property lines and the front façade of the main property:

- Red Bud (*Cercis Canadensis*)
- Dogwood (*Cornus Florida*)
- Sweet Bay Magnolia (*Magnolia Virginiana*)
- Oakleaf Hydrangea (*Hydrangea Quercifolia*)
- Wild Hydrangea (*Hydrangea Arborescens*)
- Inkberry (*Ilex Glabra*)
- Button Bush (*Cephalanthus Occidentalis*)
- Lead Plant (*Amorpha Canescens*)
- Canna Lilly (*Canna Indica*)
- Purple Cone Flower (*Echinacea Purpurea*)

Sod will be installed in the center portion of the front yard where the concrete roundabout walkway will be located. A 12" x 12" box drain will be installed in front the main property, near the front entrance and walkway.

February 2024

Applicant proposes a modified design for a previously approved retaining wall, parking pad, and landscaping in the front yard of property. The new design proposes installing a concrete driveway and square parking pad on the right-side of the front yard, parallel to the main house. A 3' poured-in-place concrete retaining wall will be installed to the left-side of the house to support the parking pad. A vehicle rail will be installed along the front of the parking pad.

The design also proposes installing a concrete pathway that leads from Chelsea Circle and connects to the parking pad, with a small roundabout connecting the pathway to the front entrance. Metal handrailing will be installed along the pathway leading from Chelsea Circle and the parking pad.

The proposed landscaping in the front yard will include the installation of steppingstones between the parking pad and home, leading from side yard to the front entrance, and the laying of mulch over jute mesh between the sidewalk and the pathway round-about. The new design proposed will retain sections of lawn in the front yard that were paved over by concrete in the previously approved design.

Recommendation

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 8.1 *Open Space and Parkland Preservation and Conservation* (p77) Guideline - The original layout of Druid Hills should be preserved through the conservation of major open spaces and the linear system of parks and green spaces that buffer the stream corridors. Retaining these spaces, both public and private, by limiting their uses to passive activities will perpetuate the park-like character in the district today. An exclusive palette of native vegetation is recommended for these spaces to protect and enhance the ecology.
- 9.3 *Vegetation* (p83) Recommendation – The plant list is intended to assist in the selection of appropriate plant materials. Olmsted's list and the list from the Georgia Landscapes Project provide guidance in selecting materials appropriate for historic landscape projects. There are other sources that can be consulted to identify additional plants used by Olmsted in Druid Hills, such as historic planting plans and particularly the archival record at the Olmsted National Historic Site in Brookline, Massachusetts. The Olmsted list presented in this document should be considered a beginning. Residents of Druid Hills are encouraged to add to this list with historic plants that can be documented as having been used by Olmsted. The native list should be used for natural areas within the district, such as creek corridors and drainage ways. Places within the district where the retention of healthy ecological environments is critical are best landscaped with native varieties. Since native plants have been available since the colony of Georgia was established in 1733, native plants are also appropriate for historic landscapes.
- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.
- 9.5 *Parking* (p90) Guideline - Parking should be addressed in a manner that does not distract from the overall character of the district. Parking to serve private residential lots should be accommodated on-site, when at all possible, using the pathway of original drives and parking. Front yard parking should not be allowed unless it is a public safety issue.

When front yard parking is necessary, it should be added in a manner that does not destroy the unbroken landscaped character of the front yard spaces in Druid Hills. Rear yard spaces should be considered for expansion of parking areas.

9.5 *Parking (p90) Recommendation* - It is preferable to expand an existing driveway for parking rather than to add a separate parking pad, since the result is usually less paved surface. Plant materials can be added around parking spaces to visually buffer the parking from the street.

9.5 *Parking (p90) Recommendation* - In surfacing new parking areas, the use of impervious paving materials is discouraged. The intent is to limit the amount of run-off within the district's watershed. Consideration should be given to the use of porous materials that allow water penetration and preserve the open character of the landscape.

Application for Certificate of Appropriateness

Date submitted: 1-17-2024 Date Received: _____
Address of Subject Property: 449 Chelsea Circle Atlanta, Georgia 30307
Applicant: Lance Muller E-Mail: lmuller@courtlandlandscape.com
Applicant Mailing Address: 407 W. Ponce De Leon Ave. Suite A, Decatur, GA. 30030
Applicant Phone: 770-402-8086

Applicant's relationship to the owner: Owner ☐ Architect ☒ Contractor/Builder ☐ Other ☐

Owner(s): Sophie Jacobson Email: jacobsonsoophie@gmail.com
Owner(s): Lars Jacobson Email: jacobsonlars@gmail.com
Owner(s) Mailing Address: 443 Chelsea Circle Atlanta, Georgia 30307
Owner(s) Telephone Number: (310) 986-5296

Approximate date of construction of the primary structure on the property and any other structures affected by this project: constructing

Nature of work (check all that apply):
New construction ☐ New Accessory Building ☐ Other Building Changes ☐
Demolition ☐ Landscaping ☒ Other Environmental Changes ☐
Addition ☐ Fence/Wall ☒ Other ☒
Moving a Building ☐ Sign Installation ☐

Description of Work:

Redesigning the front driveway that is currently proposed in front of the front door and parallel to the house, to an updated design that will be perpendicular to the house and in front of the right side of the house. A small wall under 30", poured in place concrete to match the driveway will be below the driveway to support the 2 car pad. Landscaping will be around the foundation of the house plus trees planted in the front yard.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/ We: Lars Jacobson
being owner(s) of the property at: 449 Chelsea Cir NE
hereby delegate authority to: Lance Muller
to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): _____

Date: 1/11/24

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting or coordinate sign posting with the applicant.
4. The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pviennings@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

DEPARTMENT OF PLANNING & SUSTAINABILITY

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, $\frac{1}{4}''=1'$ preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

DEPARTMENT OF PLANNING & SUSTAINABILITY

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

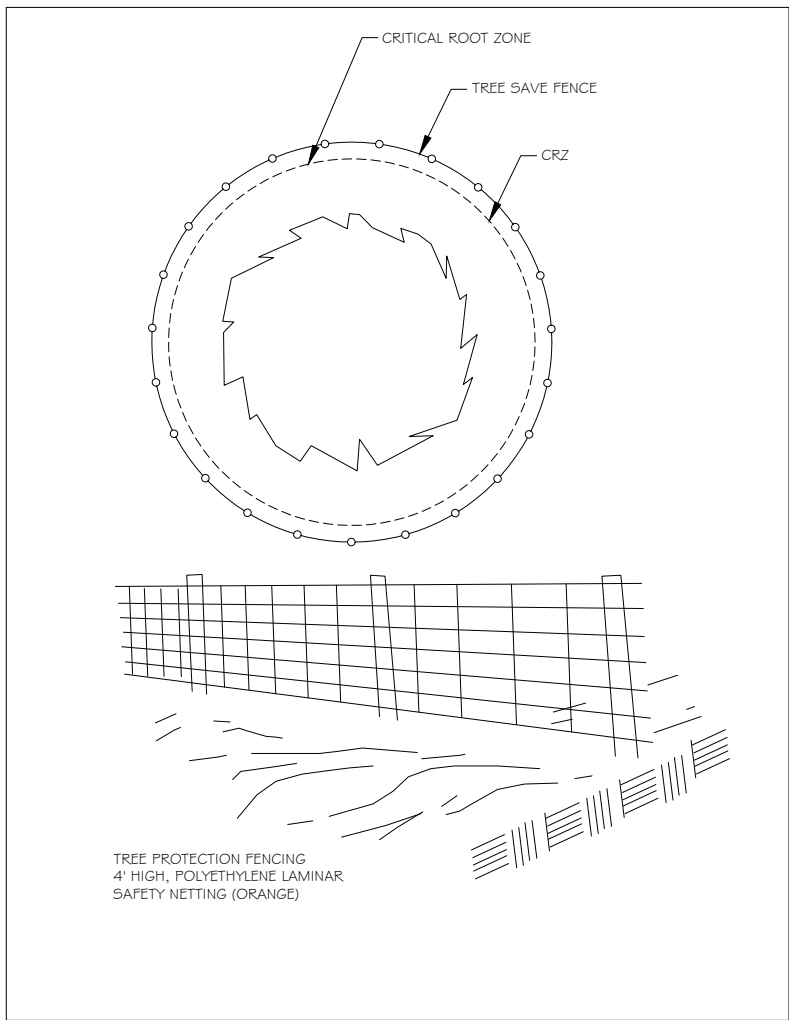
Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process. Yes

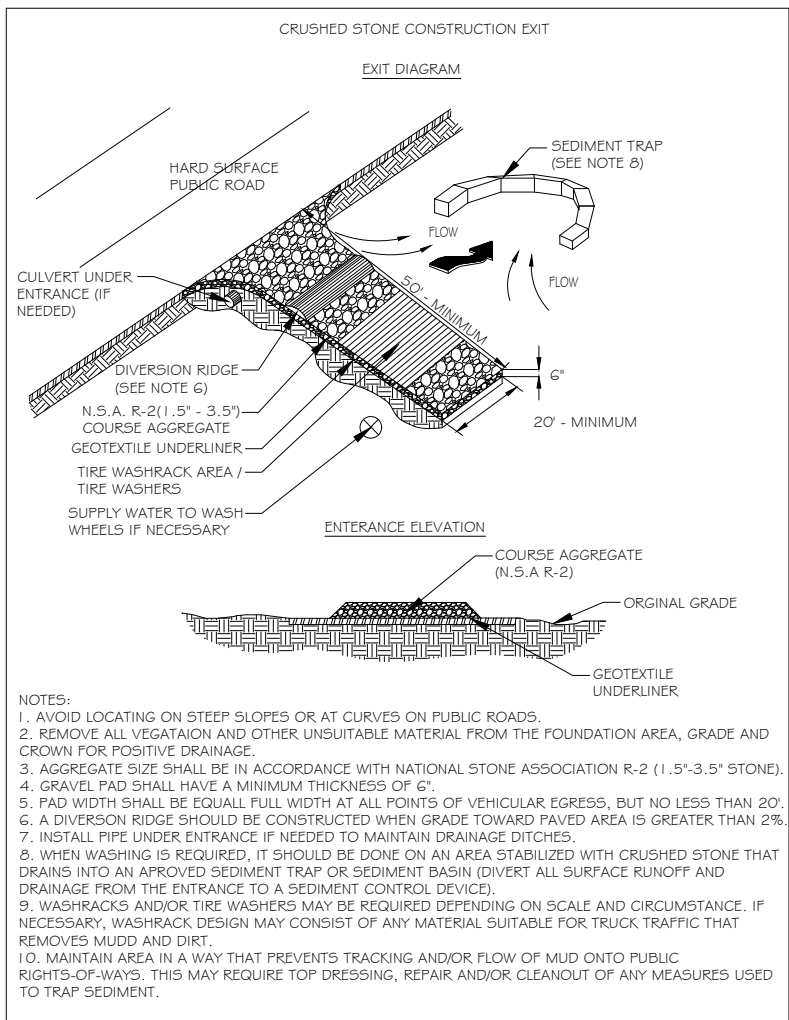
I have reviewed the HPC calendar. Yes

DEMOLITION NOTES:
1. "T" = PLANTS TO BE TRANSPLANTED.
2. "X" = TREES OR PLANTS TO BE REMOVED.

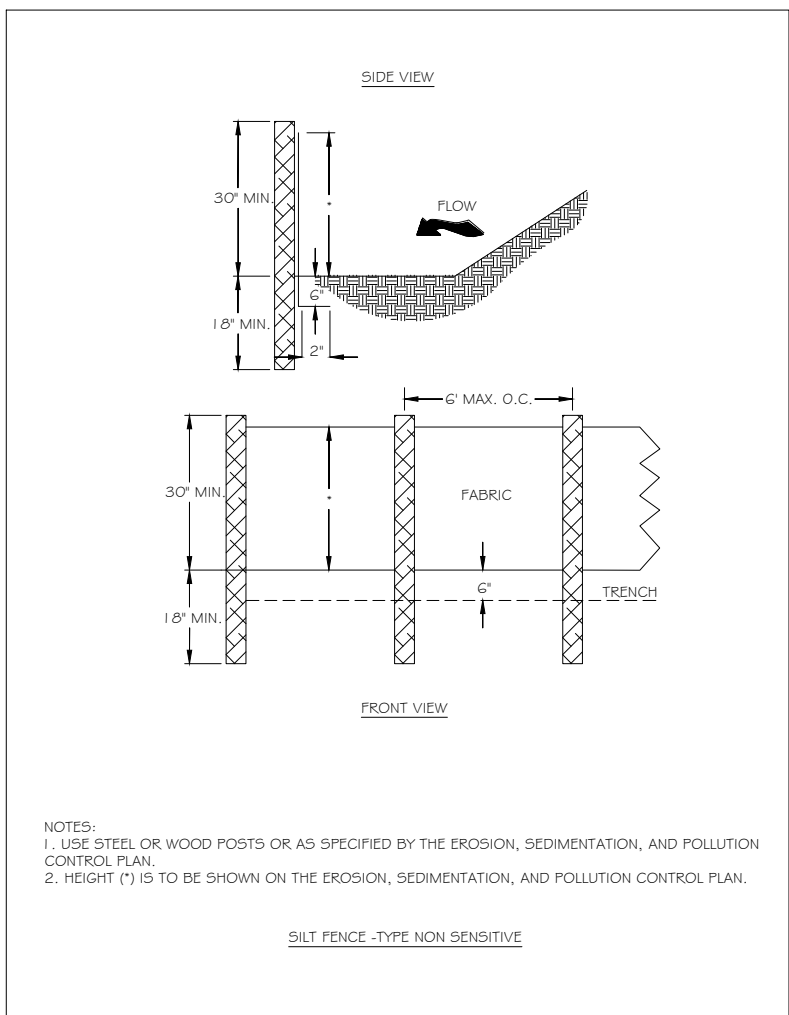
EROSION CONTROL / TREE SAVE DETAILS:



Tf TREE FENCE



Co CONSTRUCTION EXIT



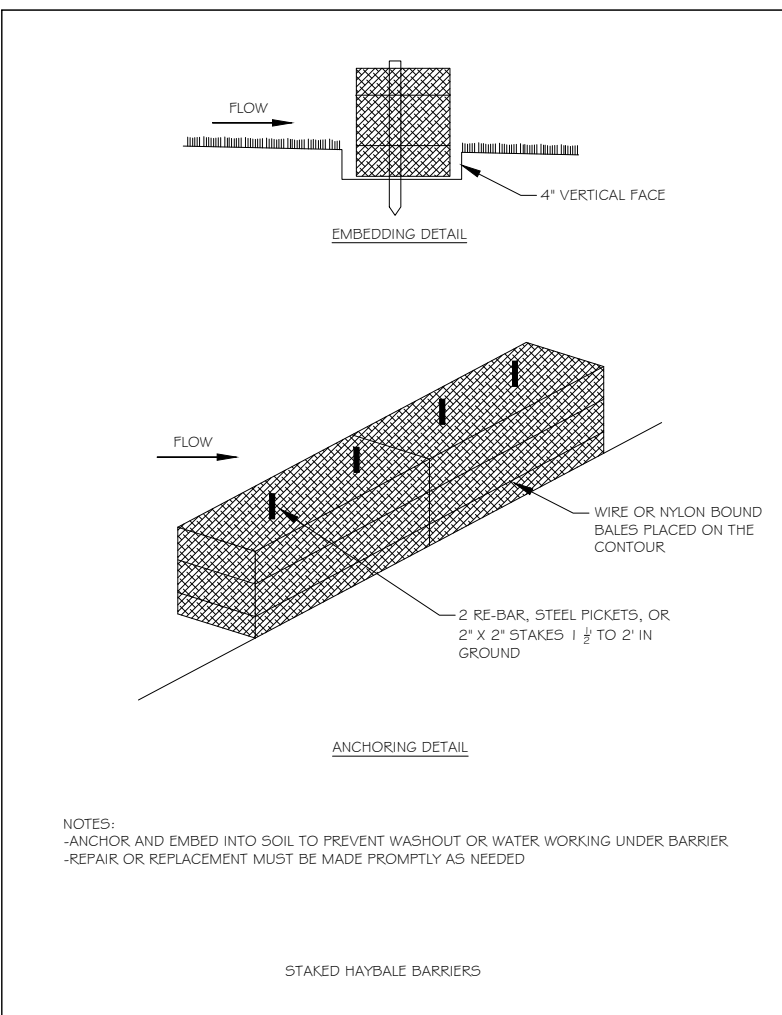
Sd I-NS SILT FENCE

Ds1	DISTURBED AREA STABILIZATION WITH MULCHING ONLY
MATERIAL	QUANTITY
DRY STRAW OR HAY	2-4 TONS PER ACRE
WOOD WASTE (BARK/DUST, SAWN CHIPS)	2-3" DEPTH
OUTRACK ASPHALT (SLOW CURING)	1-4 GAL. PER SQ. YD.
POLYETHYLENE FILM	COMPLETELY COVERING DISTURBED AREA, TRENCHED IN AT CURVE EDGES
STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. MULCH MAY BE ANCHORED BY MECHANICALLY PRESSING INTO SURFACE. IF SPREAD WITH BLOWER EQUIPMENT, MULCH SHALL BE ANCHORED WITH DRYSPREAD ASPHALT GRADE (AE-0 OR SB-1) - 100 GAL. ASPHALT + 100 GAL. WATER PER TON OF MULCH. NETTING SHALL BE USED TO ANCHOR WOOD WASTE AND CHIPS. POLYETHYLENE SHALL BE TRENCHED IN AT EDGES.	

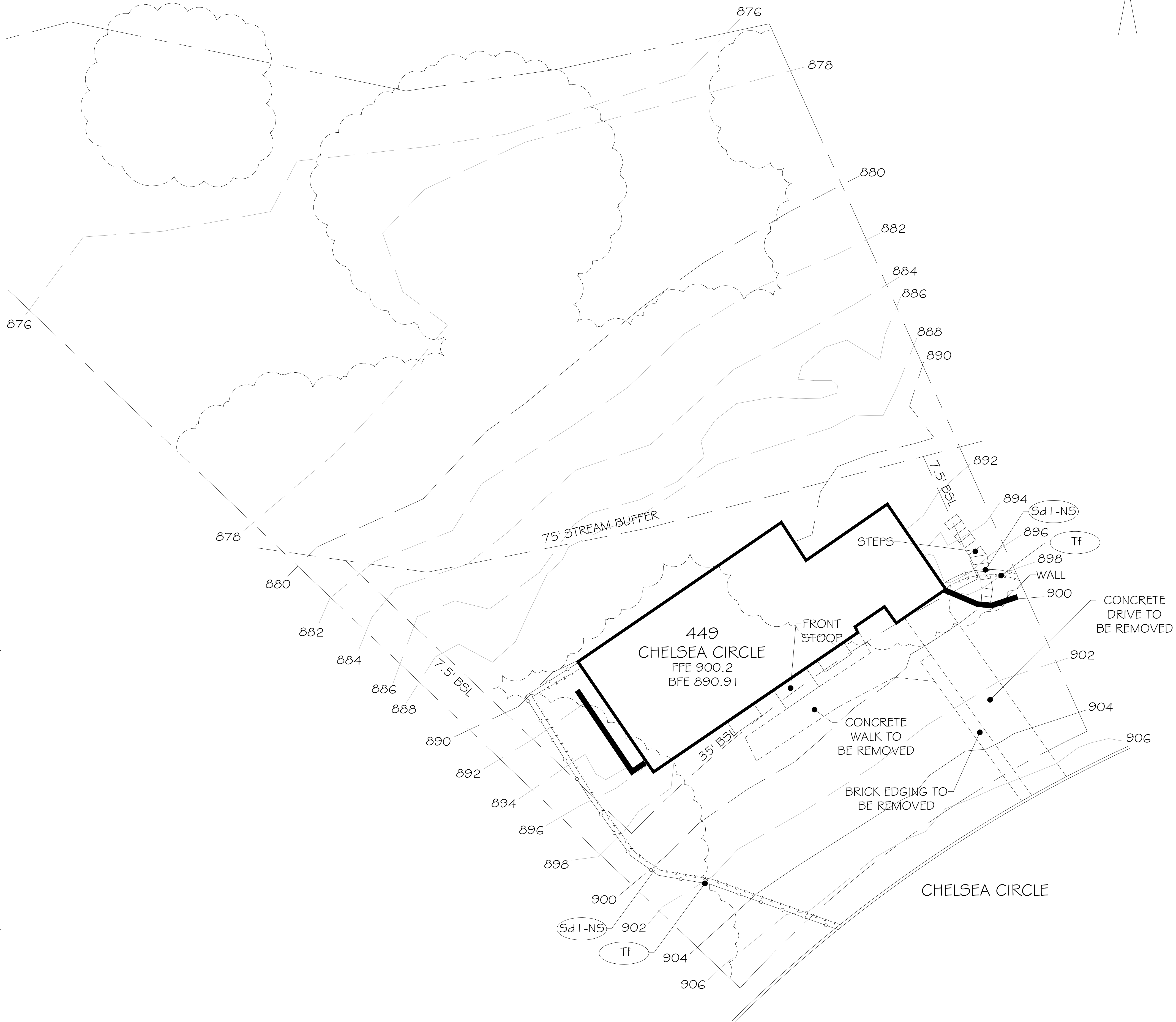
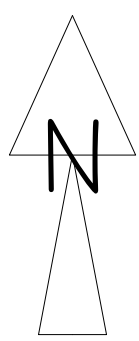
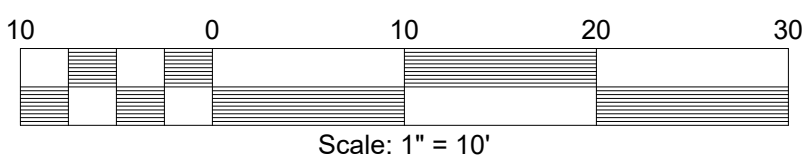
Ds2	TEMPORARY GRASSING SCHEDULE				
TYPE SEED	SEED RATE ALONE	SEED RATE MIXED	PLANTING DATES	FERTILIZER G-12-12	LIME
RYE GRASS	40 LBS./AC.	-	0/11-4/15	1500 LBS./AC.	1.5 TONS / AC.
BROWN TOP MILLET	40 LBS./AC.	10 LBS. / AC.	4/11-7/15	1500 LBS./AC.	1.5 TONS / AC.
NOTE: ALL DISTURBED AREAS SHALL BE GRASSED AND MULCHED WITH A DRY STRAW MULCH AT A RATE OF 2.5 TONS PER ACRE.					

Ds3 PERMANENT GRASSING SCHEDULE					
TYPE SEED	SEED RATE ALONE	SEED RATE MIXED	PLANTING DATES	FERTILIZER 6-12-12	LIME
BERMUDA COMMON (UNRAILED)	10 LBS./AC.	6 LBS./AC.	3/1-7/1	1500 LBS./AC.	1.5 TONS / AC.
BERMUDA COMMON (UNRAILED)	10 LBS./AC.	6 LBS./AC.	10/1-3/1	1500 LBS./AC.	1.5 TONS / AC.
NOTE: ALL DISTURBED AREAS SHALL BE GRASSED AND MULCHED WITH A DRY STRAW MULCH AT A RATE OF 2.5 TONS PER ACRE.					

- Ds1 DISTURBED AREA STABILIZATION WITH MULCHING ONLY
Ds2 DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING
Ds3 DISTURBED AREA STABILIZATION WITH PERMANENT SEEDING
Ds4 DISTURBED AREA STABILIZATION WITH SODDING



Hb HAYBALE



Client

Lars and Sophie Jacobson
449 Chelsea Circle
Atlanta, Ga. 30307

NO.	BY	APPROVED	DATE
1	LM	CLIENT SUBMITTAL	09-15-22
2	LM	CLIENT SUBMITTAL	01-10-24

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Project Title
Jacobson Residence

Project Location
449 Chelsea Circle
Atlanta, GA 30307

Project No. 23-040-SFD
Drawn By:

LANCE MULLER, R.L.A.

Date: 12.07.2023

Sheet Title
Demolition and Erosion Control Plan

Sheet Number



VEHICLE RAIL



NO.	BY	APPROVED	DATE
1	LM	CLIENT SUBMITTAL	09-15-22
2	LM	CLIENT SUBMITTAL	01-10-24

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Sheet Number



TEA OLIVE



AMERICAN BOXWOOD



FRINGE TREE



AZALEA



CAMELLIA



JAPANESE MAPLE



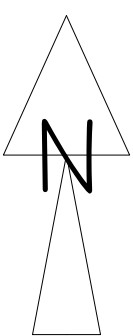
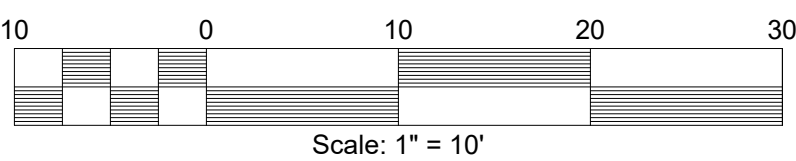
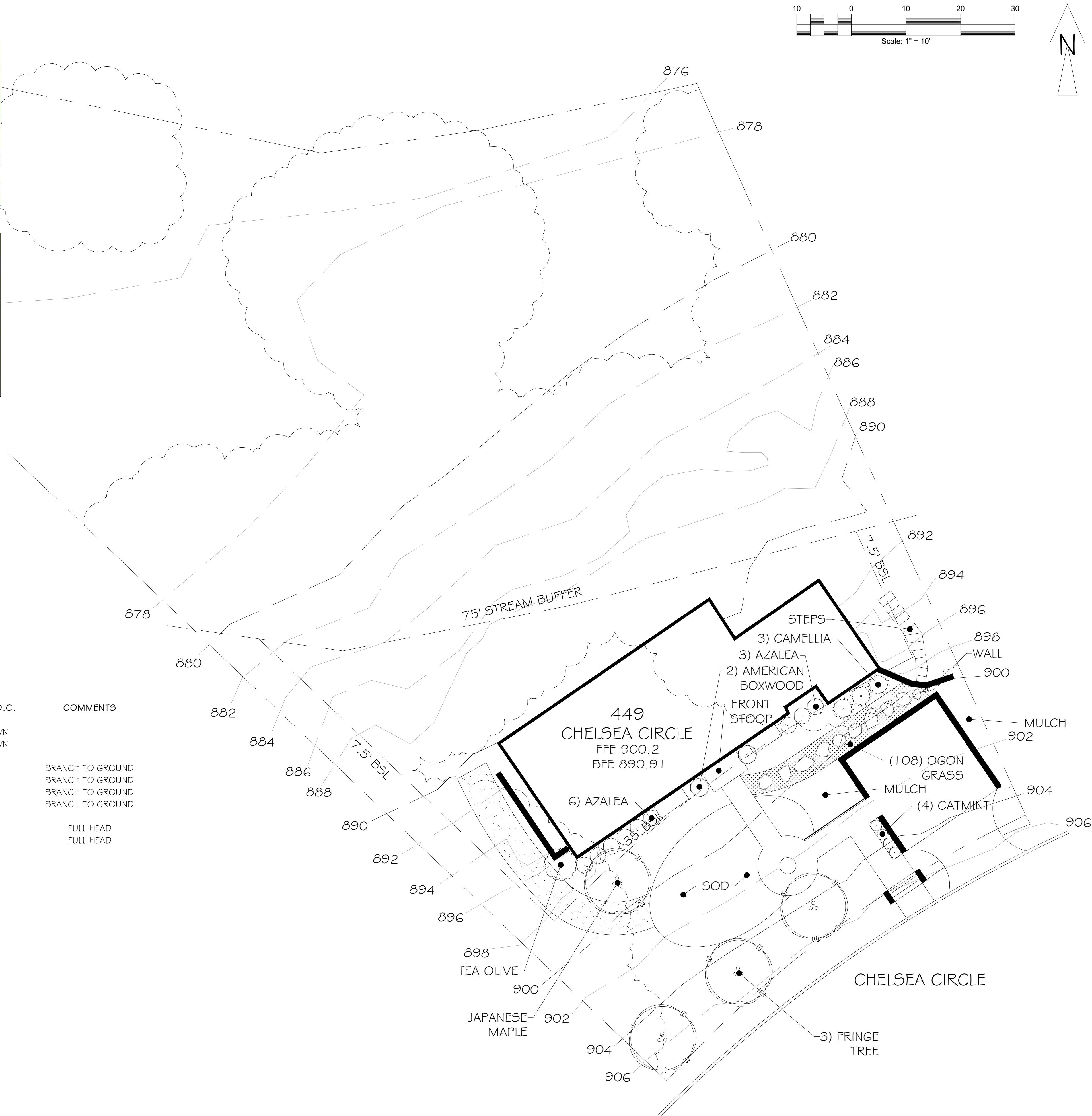
OGON GRASS



CATMINT

PLANT SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACED O.C.	COMMENTS
1	ACER PALMATUM ' BLOODGOOD'	JAPANESE MAPLE	8' TALL	AS SHOWN	
3	CHIONANTHUS RETUSUS	CHIESE FRINGE REE	8' TALL	AS SHOWN	
SHRUBS					
1	OSMANTHUS FRAGRANCE	TEA OLIVE	7 GALLON	4'-5'	BRANCH TO GROUND
3	CAMELLIA JAPONICA	CAMELLIA	3 GALLON	4'-5'	BRANCH TO GROUND
9	AZALEA	AZALEA	3 GALLON	3'	BRANCH TO GROUND
2	BUXUS SEMPERVIENS	AMERICAN BOXWOOD	3 GALLON	3'	BRANCH TO GROUND
PERENNIALS/ ANNUALS					
4	NEPTA	CATMINT	1 GALLON	1 8"	FULL HEAD
108	ACORNUS GRAMINEUS	OGON GRASS	4" POTS	1'-9"	FULL HEAD



Client

Lars and Sophie Jacobson
449 Chelsea Circle
Atlanta, Ga. 30307

NO.	BY	APPROVED	DATE
1	LM	CLIENT SUBMITTAL	09-15-22
2	LM	CLIENT SUBMITTAL	01-10-24

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Project Title
Jacobson Residence

Project Location
449 Chelsea Circle
Atlanta, GA 30307

Project No. 23-040-SFD
Drawn By:

LANCE MULLER, R.L.A.
Date: 12.07.2023

Sheet Title
Planting Plan

Sheet Number

Project Description:
Demolition of an existing concrete driveway, brick edge and paver walk, followed by construction of new pervious paver driveway, retaining walls, ADA ramps, stairs, walks and landings.

Project Shall Comply with the Following Codes:

(IBC) International Building Code, 2018 Edition, with Georgia Amendments (2020)

International Residential Code, 2018 Edition, with Georgia Amendments (2020)

International Fire Code, 2018 Edition, with Georgia Amendments (2020)

International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)

International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)

International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)

National Electrical Code, 2017 Edition, with NO Georgia Amendments
International Energy Code, 2015 Edition, with Georgia Supplements and Amendments (2020)

2012 NFPA 101-Life Safety Code, 2018 Edition with State Amendments (2020)

International Swimming Pool & Spa Code, 2018 Edition, with Georgia Amendments (2020)

Georgia Accessibility Codes

Occupancy Classification:
Residential



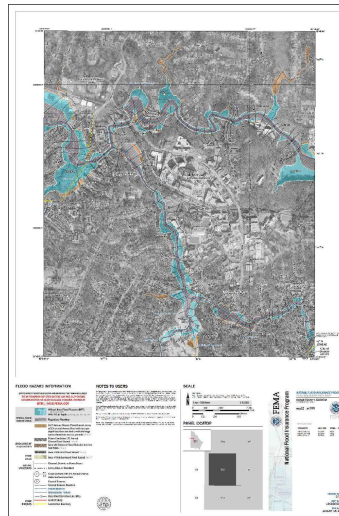
Project Name: Jacobson Residence

**449 Chelsea Circle, NE
Atlanta, Georgia 30307**

Dekalb County, Georgia
Land Lot 4, District 18
Zoning: R-75

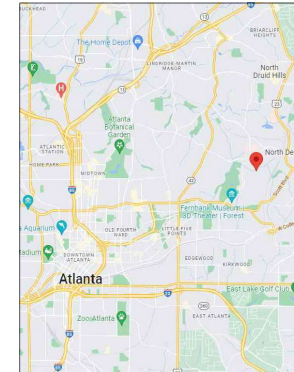
Project Designer of Record:
Mary Kathryn Barnett, RLA
Terramore Studios, LLC
1954 Airport Road, Suite 218
Atlanta, Georgia 30341
404.725.2216

24-Hour Contact:
Lars Jacobson, Owner
xxx.xxx.xxxx



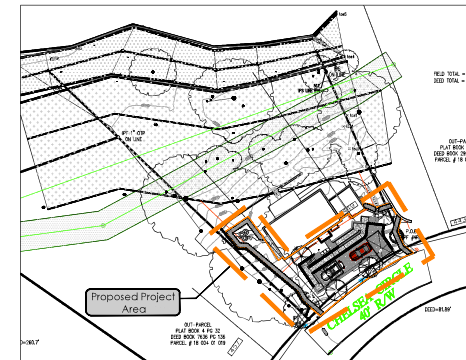
F.I.R.M. MAP:

LOCATION MAP:



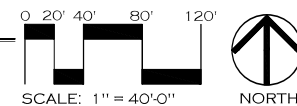
SHEET INDEX:

COVER	COVER
S - 1.0	SURVEY
LH - 1.0	DEMOLITION PLAN
LH - 1.1	EROSION CONTROL DETAILS
LH - 2.0	SITE PLAN
LH - 2.1	STAKING PLAN
LH - 2.2	DRAINAGE PLAN
LH - 2.2A	DRAINAGE DETAILS
LHD - 1.0	GENERAL DETAILS
LHD - 1.1	GENERAL DETAILS
TRP - 1.0	TREE PROTECTION PLAN
LL - 1.0	LIGHTING PLAN



KEY PLAN

Scale: 1" = 40'-0"



Jacobson Residence 449 Chelsea Circle, NE Atlanta, Georgia 30307

STAMP

ISSUE DATE:

2212.08 DHHC Review/Issue
2302.07 Permit Set Review

DRAWING INFORMATION:

PROJECT NO: 2210.jac
SCALE: NTS
DRAWN BY: mkb
SHEET TITLE:

COVER

SHEET NUMBER

C-1.0

JN: 2205501

GENERAL NOTES:

1. This Plat has been prepared without the benefit of a current title report. Easements or encumbrances may exist that are not shown on this plat.

2. This plat is subject to any restrictions, easements, covenants or restrictions that may exist other written or unwritten.

3. Underground utilities not shown herein may exist. The Surveyor does not take responsibility for absence or presence of any such utilities.

4. No Geodetic monuments were found within 500 feet of this site.

5. This Plat has been prepared for the exclusive use of the person(s) or entity named herein.

This plat is a re-creation of an existing parcel or parcels of land and does not establish or create a new parcel or make any changes to any existing property boundaries. The recording information of the documents, maps, plans or other instruments which created the parcel or parcels are stated herein.

RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTIONAL AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned and Surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 43-2-47.

REFERENCE: PLAT BOOK 4 PG 22
DEED BOOK 14119 PG 704

FLUDD HAZARD NOTE: THE PROPERTY IS LOCATED IN A FLOOD HAZARD AREA AS NOTED BY FIRM MAP OF DEKALB COUNTY, GEORGIA 130800000K EFFECTIVE DATE AUGUST 15, 2019

SURVEY DATA
TYPE OF SURVEY: RETRACEMENT
SOURCE OF TITLE DESCRIPTION FOR SUBJECT PROPERTY: 28 0001 PG 450
PROPERTY OWNER AT TIME OF SURVEY: LARS JACOBSON & SOPHIE JACOBSON
PARCEL NUMBER: 18 004 01 003

WEST PROPERTY LINE IS BEARING BASIS
FOR DEED 14119 PG 704
TOTAL AREA: 23,342 SQ. FT. 0.51 AC.
CALCULATED PLAT CLOSURE: 1:43,269

FIELD DATA:
DATE OF FIELD SURVEY: 3-03-2022

THE CALCULATED POSITIONAL TOLERANCE BASED ON REDUNDANT LINEAR MEASUREMENTS OF OBSERVED POSITIONS WAS FOUND TO BE 0.015 FEET.

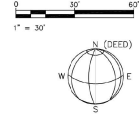
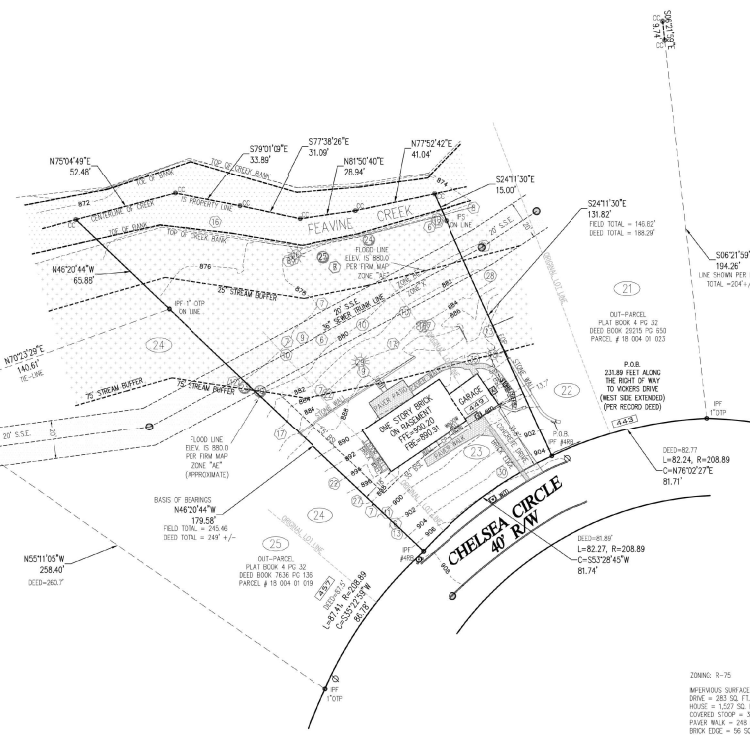
EQUIPMENT:
ELECTRONIC TOTAL STATION

BOUNDARY & TOPOGRAPHIC SURVEY FOR:
SOPHIE JACOBSON

LOT 23 WITH PART OF LOTS 22 & 24,
BLOCK 15, CHELSEA HEIGHTS SUBDIVISION

449 CHELSEA CIRCLE

DEKALB COUNTY, GEORGIA
LAND LOT: 4 DIST 18
DATE: MARCH 16, 2022



LEGEND

- EDP EDGE OF PAVEMENT (CURB)
- PP POWER POLE
- R/W RIGHT OF WAY
- HT HIGH PINE ROAD
- PS 1/2\"/>

TREE SYMBOLS

- X = DIAMETER IN INCHES
- OAK
- HARDWOOD
- SWEETGUM
- PINE
- MAGNOLIA
- POPLAR



FOR
DEKALB SURVEYS, INC.
407 WEST POLOE E. LEON AVENUE
SUITE B
DECATUR, GEORGIA 30030
404.373.9003



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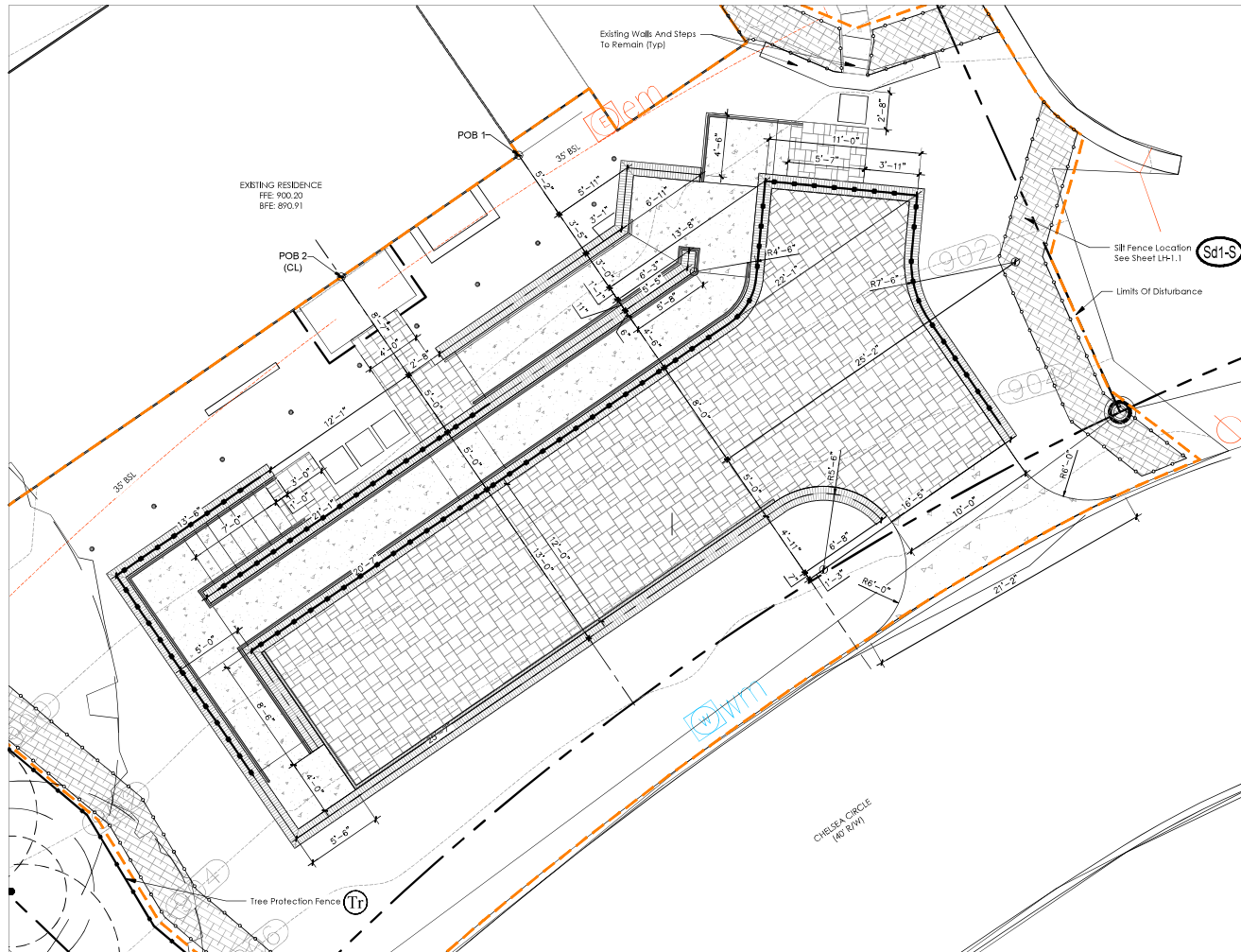
DRAWING INFORMATION:

PROJECT NO: 2210.00c
SCALE: NTS
DRAWN BY: mkb
SHEET TITLE

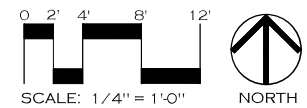
SURVEY

SHEET NUMBER

S-1.0



1. All dimensions angles are 90 Deg unless otherwise specified on plan.
2. Do not measure from plan. Dimension shows are for reference. Contractor shall verify all dimensions and grades prior to beginning construction activities.
3. Walls installed along all property lines shall be constructed with a finished side toward the neighboring property
4. Proposed slopes shall not exceed 2:1.
5. Contractor shall be responsible for locating all underground utilities prior to commencement of any demolition or construction activities.



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DRAWING INFORMATION:

PROJECT NO: 221003ac
SCALE: 1/4" = 1'-0"

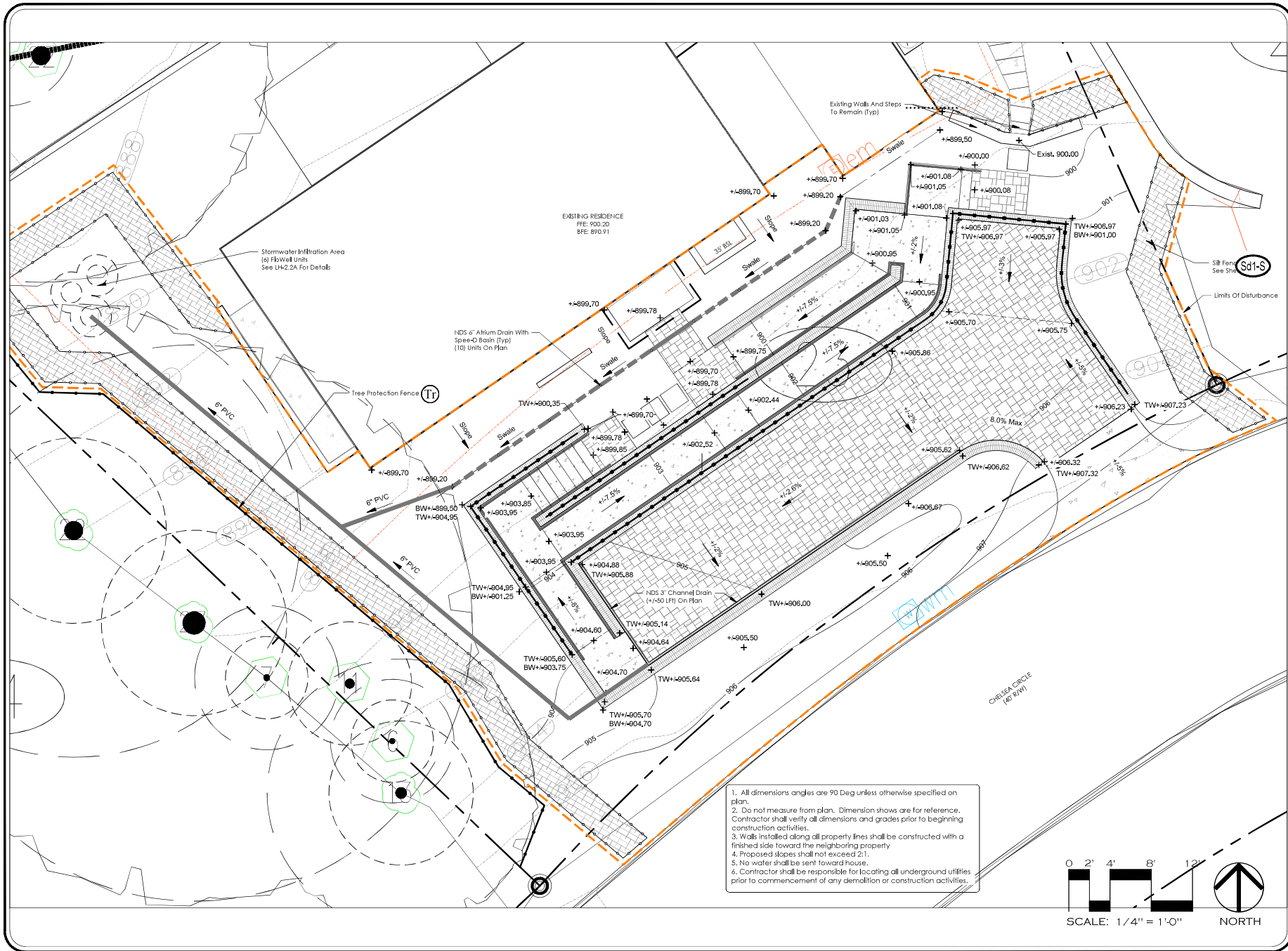
DRAWN BY: mkb

SHEET TITLE:

STAKING PLAN

SHEET NUMBER:

LH-2.1



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2302.07 Permit Set Review

DRAWING INFORMATION:

PROJECT NO: 221003c

SCALE: 1/4" = 1'-0"

DRAWN BY: mkb

SHEET TITLE:

DRAINAGE PLAN

SHEET NUMBER:

LH-2.2



NDS Flo-Well Calculator

Step 1:

Enter the Square Feet of Drainage Area 1: (Ex. Roof)

1454

Enter the Square Feet of Drainage Area 2: (Ex. Grass)

0

Step 2:

Choose the Coefficient of Runoff For Area 1: 1.0 (Concrete) / 0.9 (Asph)

Choose the Coefficient of Runoff For Area 2: 0.35 (Grass)

Step 3:

Choose the 25 Year Rainfall: (see rainfall map) 2.5 in/hr

Step 4:

Enter the depth of the gravel backfill beneath the Flo-Well:

(Dimension A) 2.5 ft

Step 5:

Enter the thickness of the gravel backfill around the Flo-Well:

(Dimension B) 1 ft

Step 6:

Press the Calculate button for results: [Calculate](#) [Reset](#) [Print](#)

Step 7: View results:

Runoff	37.78 GPM 0.09 CFS
Volume of water to be stored	1133.40 Gallons 151.52 Cubic feet

of Flo-Well(s) Needed 6

Amount of Gravel Needed	6.19 Cubic yards 167.11 Cu-Yd Road
-------------------------	---------------------------------------

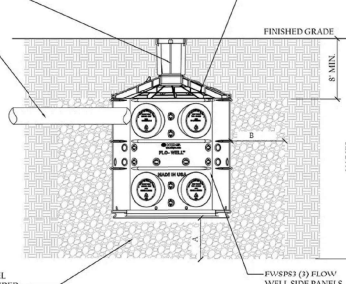
Download Installation Details

[Standard Flo-Well\(TM\) Installation Detail](#)

[Side-by-Side Flo-Well\(TM\) Installation Detail](#)

FWSD69 4" SCH. 40
SURFACE DRAIN INLET
WITH GRATE

FWAS24C 24" DIA.
FLOW WELL COVER.



[Also of Interest](#) [Drainage Calculator](#) [Drainage Calculator](#) [How much drain rock do I need?](#)

Connect with NDS

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1 FloWell Details

SCALE: NONE

www.ndspro.com

Part No.	Description	Color	Qty. (lb)	Wt. (lb)	Product Code	Specifications
90	6" Atrium Grate	Gray	15	0.02	10900	15" x 15" x 1/2" Atrium Grate with 1/2" square openings. 15" x 15" square openings. 15" x 15" square openings.
91	6" Atrium Grate	Gray	15	0.02	10900	15" x 15" x 1/2" Atrium Grate with 1/2" square openings. 15" x 15" square openings. 15" x 15" square openings.
92	6" Atrium Grate	Gray	15	0.02	10900	15" x 15" x 1/2" Atrium Grate with 1/2" square openings. 15" x 15" square openings. 15" x 15" square openings.

6" Atrium Grate
Part No. 90
(10) Units On Plan

Part No.	Description	Color	Qty. (lb)	Wt. (lb)	Product Code	Specifications
500	Gray Mini Channel Drain	Gray	40.5	3.25	209F	4" x 16" Mini Channel Drain with 1/2" square openings. 4" x 16" Mini Channel Drain with 1/2" square openings. 4" x 16" Mini Channel Drain with 1/2" square openings.
500	Gray Mini Channel Drain	Gray	40.5	3.25	209F	4" x 16" Mini Channel Drain with 1/2" square openings. 4" x 16" Mini Channel Drain with 1/2" square openings. 4" x 16" Mini Channel Drain with 1/2" square openings.

Gray Mini Channel Drain
Part No. 500
(+/- 50 LFI) On Plan

Part No.	Description	Color	Qty. (lb)	Wt. (lb)	Product Code	Specifications
300	Three-4" Outlet Basin	Black	12	1.44	10900	12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings. 12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings. 12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings.
300	Three-4" Outlet Basin	Black	12	1.44	10900	12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings. 12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings. 12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings.
300	Three-4" Outlet Basin	Black	12	1.44	10900	12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings. 12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings. 12" x 12" x 1/2" Three-4" Outlet Basin with 1/2" square openings.

Three-4" Outlet Basin
Part No. 300
(10) Units On Plan

Part No.	Description	Color	Qty. (lb)	Wt. (lb)	Product Code	Specifications
554C1	Botanical Cast Iron Channel Grate	Black	10	0.89	209F	4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings. 4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings. 4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings.
554C1	Botanical Cast Iron Channel Grate	Black	10	0.89	209F	4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings. 4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings. 4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings.
554C1	Botanical Cast Iron Channel Grate	Black	10	0.89	209F	4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings. 4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings. 4" x 16" Botanical Cast Iron Channel Grate with 1/2" square openings.

Botanical Cast Iron Channel Grate
Part No. 554C1
(+/-50 LFI) On Plan

Part No.	Description	Color	Qty. (lb)	Wt. (lb)	Product Code	Specifications
101R	Speed-D Basin Riser	Black	12	1.07	10900	12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings. 12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings. 12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings.
101R	Speed-D Basin Riser	Black	12	1.07	10900	12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings. 12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings. 12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings.
101R	Speed-D Basin Riser	Black	12	1.07	10900	12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings. 12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings. 12" x 12" x 1/2" Speed-D Basin Riser with 1/2" square openings.

Speed-D Basin Riser
Part No. 101R
(As Needed)

2 Drainage Details

SCALE: NONE

www.ndspro.com

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2302.07 Permit Set Review

DRAWING INFORMATION:

PROJECT NO: 22103ac

SCALE: NTS

DRAWN BY: mkb

SHEET TITLE:

DRAINAGE DETAILS

SHEET NUMBER:

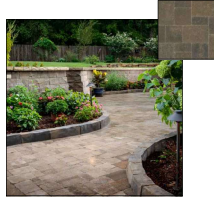
LH-2.2A

NOT ISSUED FOR CONSTRUCTION



Belgard Eco Urbana Pervious Paver
Color: Belgian Stone
(+/-757 SqFt) On Plan

1 **Driveway Pavers**
LHD-1.0 SCALE: NONE www.belgard.com



Dimensions Antiqued Paver
Color: Carriage House
(+/-80 SqFt) On Plan

2 **Walkway Pavers**
LHD-1.0 SCALE: NONE www.belgard.com



2' X 2' Stone Steppers
Full Range Bluestone
(4) Units On Plan

3 **2' X 2' Stone Steppers**
LHD-1.0 SCALE: NONE



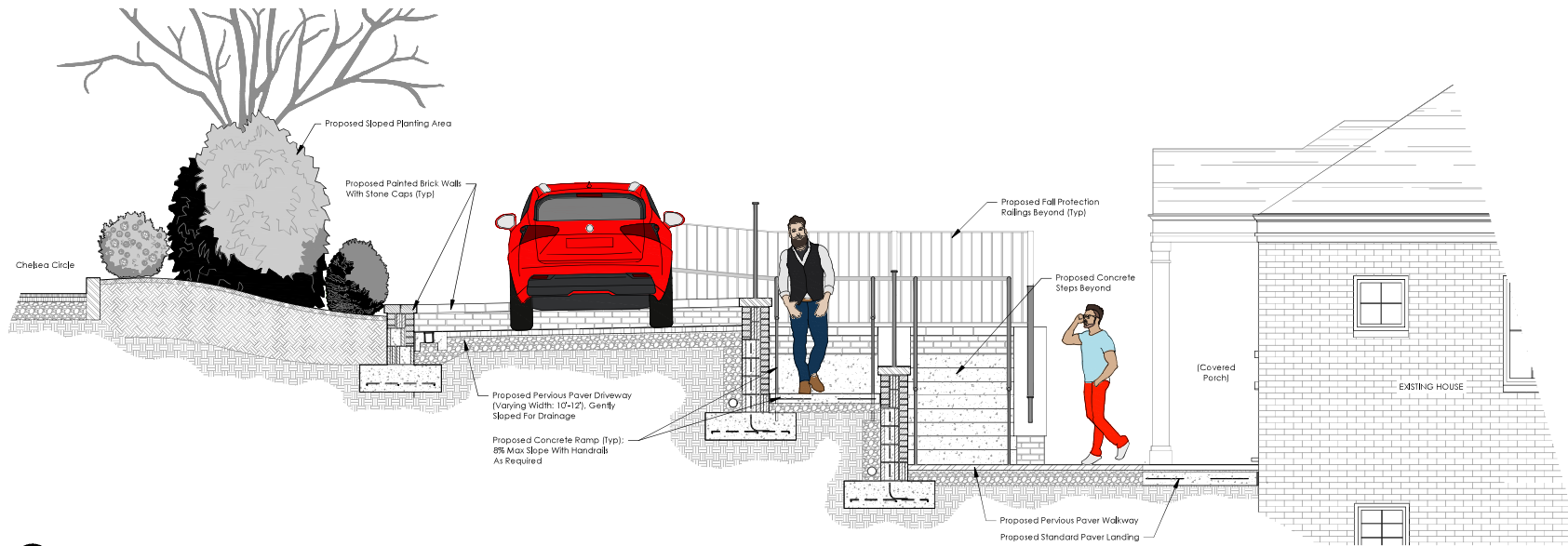
Ameristar Montage Plus Majestic
Steel Fence
Color: Black
(+/-136 LF) On Plan

4 **Fall Protection Railing**
LHD-1.0 SCALE: NONE www.ameristarperimeter.com

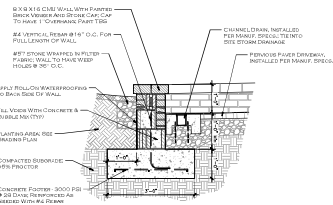


Simple Fabricated Metal Handrail
Color: Black
(+/-175 LF) On Plan
Character Image Only

5 **Simple Handrail**
LHD-1.0 SCALE: NONE



6 **Entry Drive And Walkways - Explanatory Section**
LHD-1.0 SCALE: 1/2" = 1'-0"



7 **Low Driveway Wall Section**
LHD-1.0 SCALE: 1/2" = 1'-0"

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DRAWING INFORMATION:

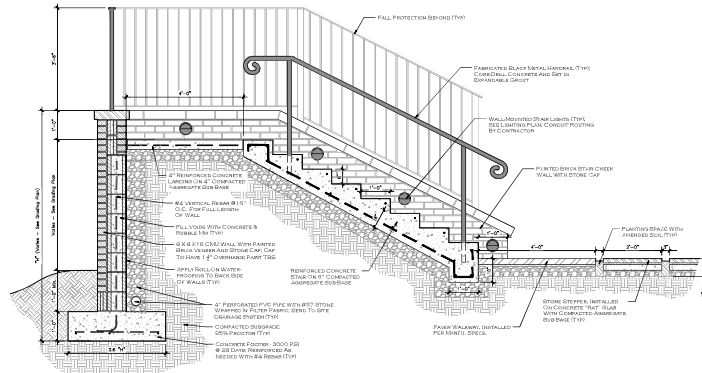
PROJECT NO: 2210Joc
SCALE: Varies
DRAWN BY: mkb

SHEET TITLE

GENERAL DETAILS

SHEET NUMBER

LHD-1.0



2 Driveway & Ramp Section
LHD-1.1 SCALE: 1/2" = 1'-0"



3 Low Driveway Wall Section
LHD-1.1 SCALE: 1/2" = 1'-0"



4 Driveway & Ramp Section
LHD-1.1 SCALE: 1/2" = 1'-0"

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DRAWING INFORMATION:
PROJECT NO: 2210Jac

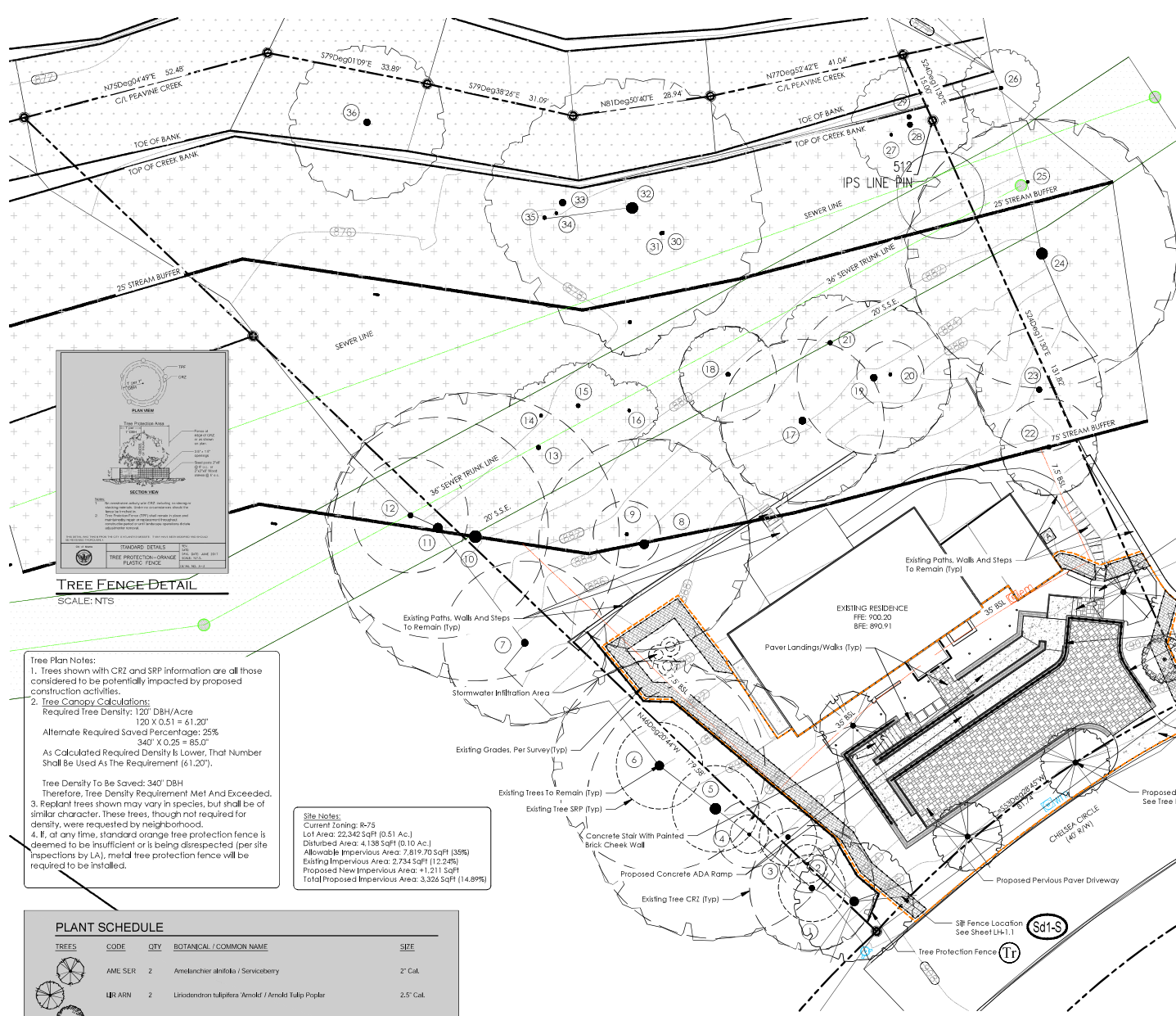
SCALE: Varies
DRAWN BY: mkb
SHEET TITLE:

SHEET TITLE:
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GENERAL DETAILS

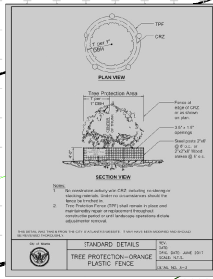
SHEET NUMBER:

LHD-1.1



EXISTING TREE DATA TABLE					
TREE ID	DBH	SPECIES	IMPACT%	STATUS	Notes
1	13	Oak	6.3	Saved	Neighbor's
2	6	Hardwood	0	Saved	0
3	11	Hardwood	15.3	Saved	0
4	7	Hardwood	0	Saved	Neighbor's
5	27	Oak	23.8	Saved	Neighbor's
6	22	Oak	18.4	Saved	Neighbor's
7	17	Hardwood	<1	Saved	Neighbor's
8	22	Hardwood	7.8	Saved	0
9	7	Hardwood	0	Saved	0
10	30	Pine	0	Saved	0
11	23	Pine	0	Saved	0
12	12	Hardwood	0	Saved	0
13	10	Hardwood	0	Saved	0
14	7	Hardwood	0	Saved	0
15	9	Hardwood	0	Saved	0
16	6	Hardwood	0	Saved	0
17	17	Hardwood	0	Saved	0
18	10	Poplar	0	Saved	0
19	16	Magnolia	0	Saved	0
20	7	Hardwood	0	Saved	0
21	10	Hardwood	0	Saved	0
22	10	Sweetgum	0	Saved	0
23	13	Hardwood	0	Saved	0
24	28	Poplar	0	Saved	Neighbor's
25	6	Hardwood	0	Saved	Neighbor's
26	8	Hardwood	0	Saved	Neighbor's
27	6	Hardwood	0	Saved	0
28	12	Hardwood	0	Saved	0
29	10	Hardwood	0	Saved	0
30	7	Hardwood	0	Saved	0
31	8	Hardwood	0	Saved	0
32	25	Pine	0	Saved	0
33	16	Sweetgum	0	Saved	0
34	6	Hardwood	0	Saved	0
35	8	Hardwood	0	Saved	0
36	16	Hardwood	0	Saved	0
Total			488		

NOTES:
 1. Saved/P = Saved, prescription required
 2. Rump DBH = Recompense DBH
 3. DDH = Dead, Yrning, Hazardous Trees Certified by COA
 4. Destroy = Destroyed, Recompense required

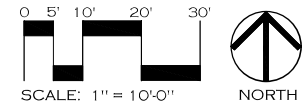


TREE FENCE DETAIL
SCALE: NTS

Tree Plan Notes:
 1. Trees shown with CR2 and SRP information are all those considered to be potentially impacted by proposed construction activities.
 2. Tree Canopy Calculations:
 Required Tree Density: 120' DBH/Acre
 120' X 0.51' = 61.20'
 Alternate Required Saved Percentage: 25%
 340' X 0.25 = 85.0'
 As Calculated Required Density is Lower, That Number Shall Be Used As The Requirement (61.20').
 Tree Density To Be Saved: 340' DBH
 Therefore, Tree Density Requirement Met And Exceeded.
 3. Replant trees shown may vary in species, but shall be of similar character. These trees, though not required for density, were requested by neighborhood.
 4. If, at any time, standard orange tree protection fence is deemed to be insufficient or is being disrespected (per site inspections by LA), metal tree protection fence will be required to be installed.

Site Notes:
 Current Zoning: R-7.5
 Lot Area: 22,342 SqFt (0.51 Ac.)
 Disturbed Area: 4,138 SqFt (0.10 Ac.)
 Allowable Impervious Area: 7,819.70 SqFt (35%)
 Existing Impervious Area: 2,734 SqFt (12.2%)
 Proposed New Impervious Area: +1,211 SqFt
 Total Proposed Impervious Area: 3,945 SqFt (14.8%)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	AME SLR	2	Amelanchier alnifolia / Serviceberry	2" Cal.
	LR ARN	2	Liriodendron tulipifera Arnold / Arnold Tulip Poplar	2.5" Cal.
	MAG LIT	1	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia 'Espalier'	30 gal.
	OLA	1	Quercus laurifolia / Laurel Oak	2.5" Cal.



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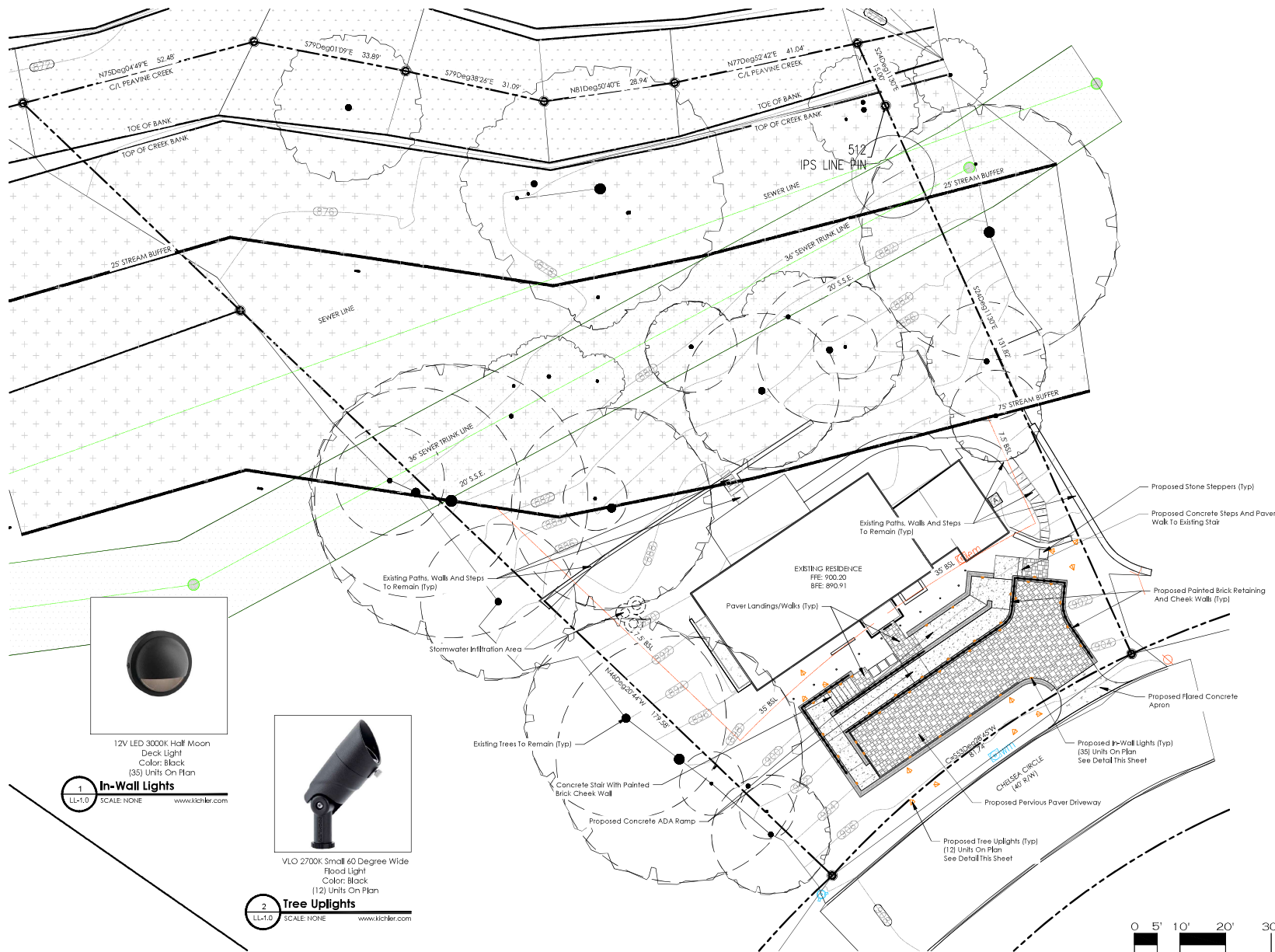
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DRAWING INFORMATION:
 PROJECT NO: 221003c
 SCALE: 1" = 10'-0"
 DRAWN BY: mkb
 SHEET NO: 1
TREE PROTECTION PLAN
 SHEET NUMBER

TRP-1.0



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DRAWING INFORMATION:

PROJECT NO: 221003c

SCALE: 1" = 10'-0"

DRAWN BY: mkb

SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

LL-1.0



SWEET BAY MAGNOLIA



REDBUD



DOOGWOOD



OAKLEAF HYDRANGEA



WILD HYDRANGEA



INKBERRY



LEADPLANT



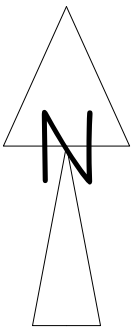
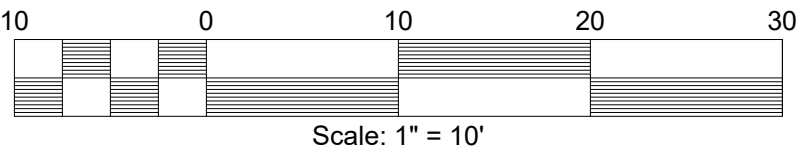
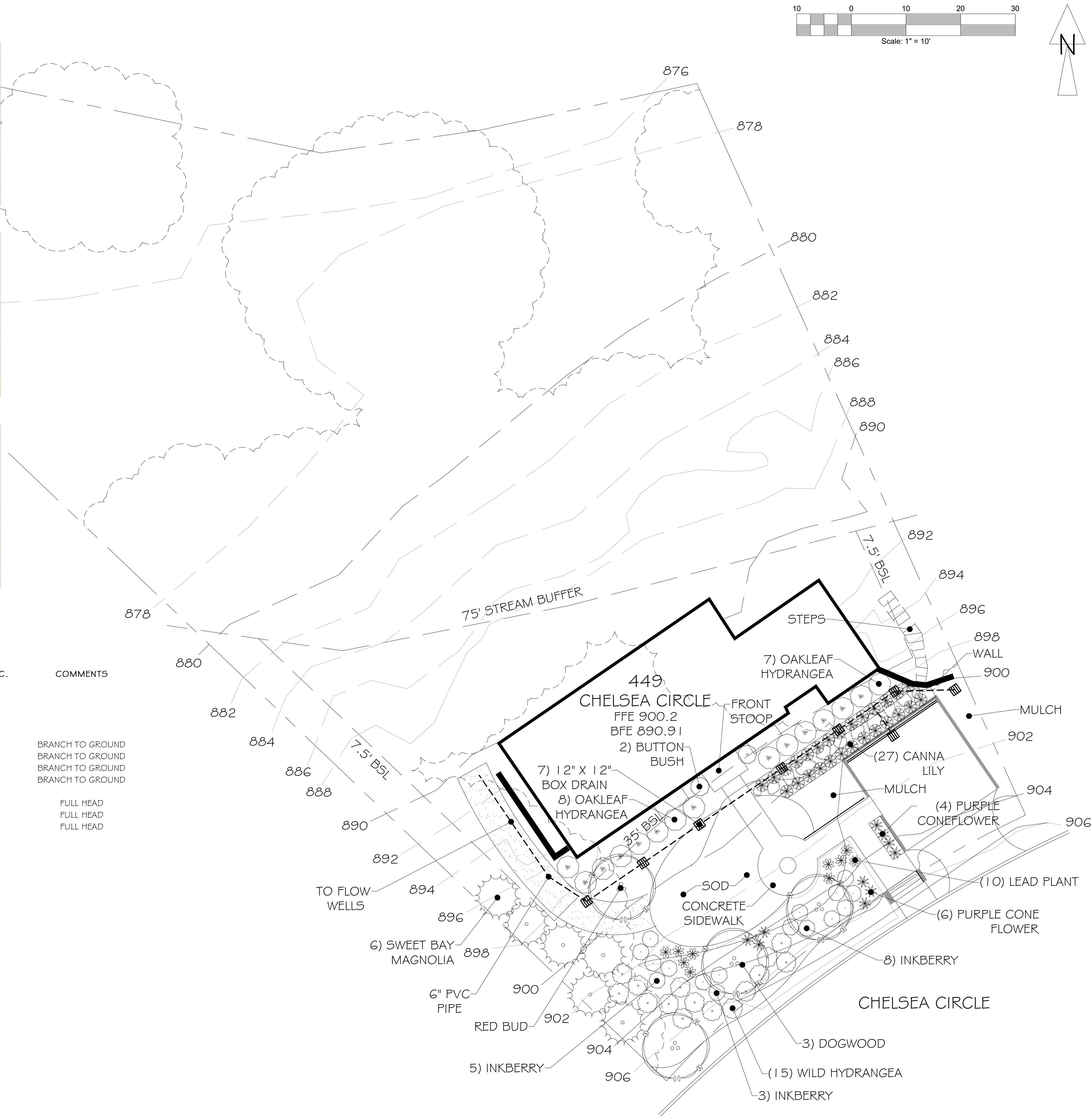
BEARDED IRIS



PURPLE CONE FLOWER

PLANT SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACED O.C.	COMMENTS
TREE					
1	CERCIS CANADENSIS	RED BUD	8' TALL	AS SHOWN	
3	CORNUS FLORIDA	DOGWOOD	8' TALL	AS SHOWN	
6	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	8' TALL	AS SHOWN	
SHRUBS					
15	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	7 GALLON	4'-5'	BRANCH TO GROUND
15	HYDRANGEA ARBORESCENS	WILD HYDRANGEA	7 GALLON	4'-5'	BRANCH TO GROUND
16	ILEX GLABRA	INKBERRY	3 GALLON	3'-4'	BRANCH TO GROUND
2	CEPHALANTHUS OCCIDENTALIS	BUTTON BUSH	3 GALLON	3'	BRANCH TO GROUND
PERENNIALS/ ANNUALS					
10	AMORPHA CANESCENS	LEAD PLANT	1 GALLON	18"	FULL HEAD
27	CANNA INDICA	CANNA LILLY	1 GALLON	18"	FULL HEAD
10	ECHINACEA PURPUREA	PURPLE CONE FLOWER	1 GALLON	18"	FULL HEAD



Client

Lars and Sophie Jacobson
449 Chelsea Circle
Atlanta, Ga. 30307

NO.	BY	APPROVED	DATE
1	LM	CLIENT SUBMITTAL	09-15-22
2	LM	CLIENT SUBMITTAL	01-10-24
3	LM	CLIENT SUBMITTAL	02-26-24
4	LM	CLIENT SUBMITTAL	03-05-24

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Project Title
Jacobson Residence

Project Location
449 Chelsea Circle
Atlanta, GA 30307

Project No. 23-040-SFD
Drawn By:

LANCE MULLER, R.L.A.
Date: 12.07.2023

Sheet Title
Planting Plan

Sheet Number