

DeKalb County Historic Preservation Commission

Monday, 2024- 6:00 P.M.

Staff Report

Consent Agenda

- B. 450 Emory Circle, Jennifer Jones. Install pool, construct patio, install fence and gate, and remove trees in rear yard. **1246923.**

Built in 1935 (18 052 14 004)

This property is located in the university Park/Emory Estate Character Area and the University Park/Emory Highlands/Emory Estates Historic District.

- 10-98 450 Emory Circle, Judy Mozen. Replace driveway, replace siding in both side-gables with vinyl siding, construct deck on rear, add French doors to rear, build wooden fence around the yard, remove metal awnings, add shutters on rear. **Approved.**
- 03-02 450 Emory Circle (DH), Nancy E. Cheal. Build rear addition, widen driveway, build stone retaining wall along driveway, and add a square column to the entry stoop. **Approved with modification.**

Summary

The applicant proposes the following work:

1. Remove five (5) trees from the backyard. This will
2. Plant seven (7) trees in back yard, including (3) Magnolia 'Little Gem', (2) Redbud, (2) Japanese Maple 'Bloodgood'.
3. Install an inground pool in the backyard on the rear of the property. The pool will measure 16'x32' in size.
4. Install a concrete slab in the rear-right corner of the backyard to house pool equipment.
5. Install a 5' high iron fence around the backyard. Fence will include a latch gate, located to the side of the property and the existing carport.
6. Construct a patio with a firepit in the backyard, coming off of the rear addition and connecting to the rear of the main home. The new patio design will incorporate a previously constructed patio and be constructed from Beacon Hill Flagstone permeable pavers. The existing portion of the patio will retain a rectangular design and the new portion of the patio will be circular design coming off of the existing patio, with a fire pit in the center.
7. Construct a 28" fieldstone boulders garden wall along the current existing patio and leading down to the newly constructed patio.
8. Install a series of stone slab steps leading from the pool to the patio and along the rear of the main home. The steps will be 6" in height, 18" wide, and 48" long.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the

owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

- 8.2 *Trees* (p78) Recommendation - The mature hardwood forest within the Druid Hills Local Historic District should be perpetuated through a district-wide replanting program. Trees should be replaced when mature trees are lost to age or damage or are removed for safety reasons. Replacement trees should be of identical or similar varieties to the original trees. A diversity of tree types is recommended to perpetuate the existing character of most tree groupings. Replacement trees of adequate size (1.5" caliper minimum) are recommended. Existing ordinances that provide for the protection and replacement of the district's tree resources should be applied to development activities within Druid Hills.
- 9.3 *Vegetation* (p83) Recommendation – The plant list is intended to assist in the selection of appropriate plant materials. Olmsted's list and the list from the Georgia Landscapes Project provide guidance in selecting materials appropriate for historic landscape projects. There are other sources that can be consulted to identify additional plants used by Olmsted in Druid Hills, such as historic planting plans and particularly the archival record at the Olmsted National Historic Site in Brookline, Massachusetts. The Olmsted list presented in this document should be considered a beginning. Residents of Druid Hills are encouraged to add to this list with historic plants that can be documented as having been used by Olmsted. The native list should be used for natural areas within the district, such as creek corridors and drainage ways. Places within the district where the retention of healthy ecological environments is critical are best landscaped with native varieties. Since native plants have been available since the colony of Georgia was established in 1733, native plants are also appropriate for historic landscapes.
- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to "soften" the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 9.6 *Accessory Buildings* (p91) Guideline - New accessory buildings, such as garages and storage houses, are to be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement the architecture of the adjacent residence do not require the same level of buffering and may remain more visible within the local district. If the new building will be visible from the street, it should respect the established setbacks and orientations of the historic buildings in the area
- 9.7 *Residential Landscape Design* (p91) Recommendation - For residential yards, created without the assistance of landscape designers, historic landscape plans for other residential lots within the district should be used for guidance. These plans can be interpreted to create a new landscape plan that is based on historic traditions. Care should be taken to select designs for yards of similar size containing houses of similar style and scale.
- 9.7 *Residential Landscape Design* (p92) Recommendation - Residential yards, originally created by noted landscape designers, will require special attention. Original plans and specifications should be used, if they can be located, in updating plantings. Suggested steps to follow in the redesign of residential landscapes are noted below:
- 1) Understand the original landscape design through historic research; for example, try to locate original plans and specifications and historic photographs;
 - 2) Compare the existing landscape with the documented historic landscape;
 - 3) Identify any features that are part of the historic landscape;
 - 4) Be sensitive to the potential of archaeological features (Refer to Chapter10.0: Archeology);
 - 5) Identify site needs, develop a program for the site (circulation versus planting zone); and
 - 6) Develop an updated plan for the landscape that retains as much historic material, as possible, and accommodates today's functional needs in a manner that is in the spirit of the historic design.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____ Date Received: _____

Address of Subject Property: 450 EMORY CIRCLE NE, ATLANTA, GA 30307

Applicant: JENNIFER JONES E-Mail: JENNIFER@LANDSCAPESTUDIOGROUP.COM

Applicant Mailing Address: PO BOX 683096
MARIETTA, GA 30068

Applicant Phone: 678-427-5547

Applicant's relationship to the owner: Owner ☐ Architect ☐ Contractor/Builder ☐ Other ☒

Owner(s): JASON GOOLSBY Email: JLGOOLSBY75@GMAIL.COM

Owner(s): _____ Email: _____

Owner(s) Mailing Address: 450 EMORY CIRCLE NE, ATLANTA, GA 30307

Owner(s) Telephone Number: 678-938-5066

Approximate date of construction of the primary structure on the property and any other structures affected by this project: ORIGINAL HOUSE BUILT IN 1935/ADDITION MADE AROUND 2002

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input type="checkbox"/>	Landscaping	<input checked="" type="checkbox"/>	Other Environmental Changes	<input checked="" type="checkbox"/>
Addition	<input type="checkbox"/>	Fence/Wall	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

EX. SINGLE FAMILY RESIDENCE BACKYARD- ADDITION OF SWIMMING POOL, POOL PATIO, UPPER AND LOWER PAVER TERRACE, STONE SLAB STEPS AND FENCING TO MEET POOL CODE.
TREE REMOVAL TO BE PERMITTED BY OTHERS.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/ We: JASON GOOLSBY

being owner(s) of the property at: 450 EMORY CIRCLE NE, ATLANTA, GA 30307

hereby delegate authority to: JENNIFER JONES, RLA

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):

Date:

2-3-24

Jason L. Goolsby

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>.
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting or coordinate sign posting with the applicant.
4. The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pviennings@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

DEPARTMENT OF PLANNING & SUSTAINABILITY

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

DEPARTMENT OF PLANNING & SUSTAINABILITY

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process. Yes

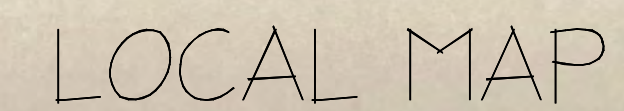
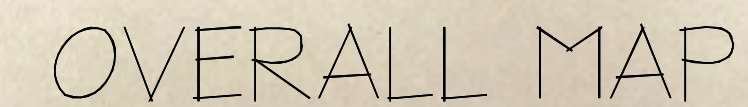
I have reviewed the HPC calendar.

Yes

HARDSCAPE PLAN
450 EMORY CIRCLE NE
ATLANTA, GA 30307

[illegible]

(The cut-off time for next day inspections is 2pm.)



NOTE: Total Disturbed Area=
4,600 SQ. FT.

WATER FLOW

24 HOUR CONTACT: ADAM ARDINI 101 556 8601

OWNER/SITE INFO SHEET SIZE 24 X 36

SHEET INDEX

SHEET#	DESCRIPTION
CP-1.0	COVER PAGE
EC-1.0	EXISTING CONDITIONS
HS-1.0	LABELING/TREE PROTECTION PLAN
DT-1.0	EROSION CONTROL/TREE PROTECTION DETAILS
PL-1.0	POOL PLAN
PL-2.0	POOL DETAILS

LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

COVER PAGE

GOOLSBY
RESIDENCE

450 EMORY CIRCLE NE

ATLANTA, GA 30307

SCALE	1"=10'
DRAWN BY	JJ
CHECKED BY	
DATE	01-08-2024
DATE OF PRINT	02-05-2024

PROJECT NO.	2024_02
SHEET NO.	CP-1.0

Powered by DynaSCAPE®

% MAX ALLOWABLE IMPERVIOUS	35.0%
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IMPERVIOUS SURFACE CHART

RELEASED FOR CONSTRUCTION

ACREAGE INFORMATION

TOTAL LOT SIZE (SQ. FT.): 11,458

TOTAL DISTURBED AREA: 4,600 SF/0.11 ACRES

DIRT STATEMENT:

-0 CU YDS OF SOIL TO BE REMOVED
FROM SITE

WATERS OF THE STATE NOTE:

WATERS OF THE STATE DO EXIST
WITHIN 200 FEET OF THE PROJECT SITE.

PROPERTY IS ON SEWER

NOTES

[illegible]

LOCKEY **TB100 GATE CLOSER**
USA



FEATURES

- Gently closes both small and large gates up to 125lb
- Pushes gate closed
- Adjustable closing speed
- Can be installed on top, bottom or middle of gate
- Recommended for pool, garden and barrier gates
- Can be used on lightweight (non fire-rated) doors
- Works best on gates with 1-in-linerfish hinges

DIMENSIONS & SPECIFICATIONS

Dimensions:
Length: 7 1/2"
Width: 1 1/2"
Depth: 2 1/2"
Mounting Bracket Dimensions: 3 1/4" x 1 3/4"
Max. Gate Weight: 125 lbs.
Max. Gate Width: 54"
Max. Opening Angle: 90 degrees
Min. Operating Temperature: 10 degrees
Max. Operating Temperature: 115 degrees
Type of Gate Material: Vinyl, Wood, Steel, Chain
Closing/Latching Method: Hydraulic
Finish: Powder Coated
Color: Black
Hinge Arrangements: In-line/half hinges
Operating Pressure: Variable, depending on gate

The Luchy®54 Turb is built 100% hydraulic. Gate is mounted on the hinge saddle side of the gate in one of the gate corners. The 100-lb weight bias of the gate is flush hinges flush with the gate joint with 7-1/2 inch

ORDERING INFORMATION

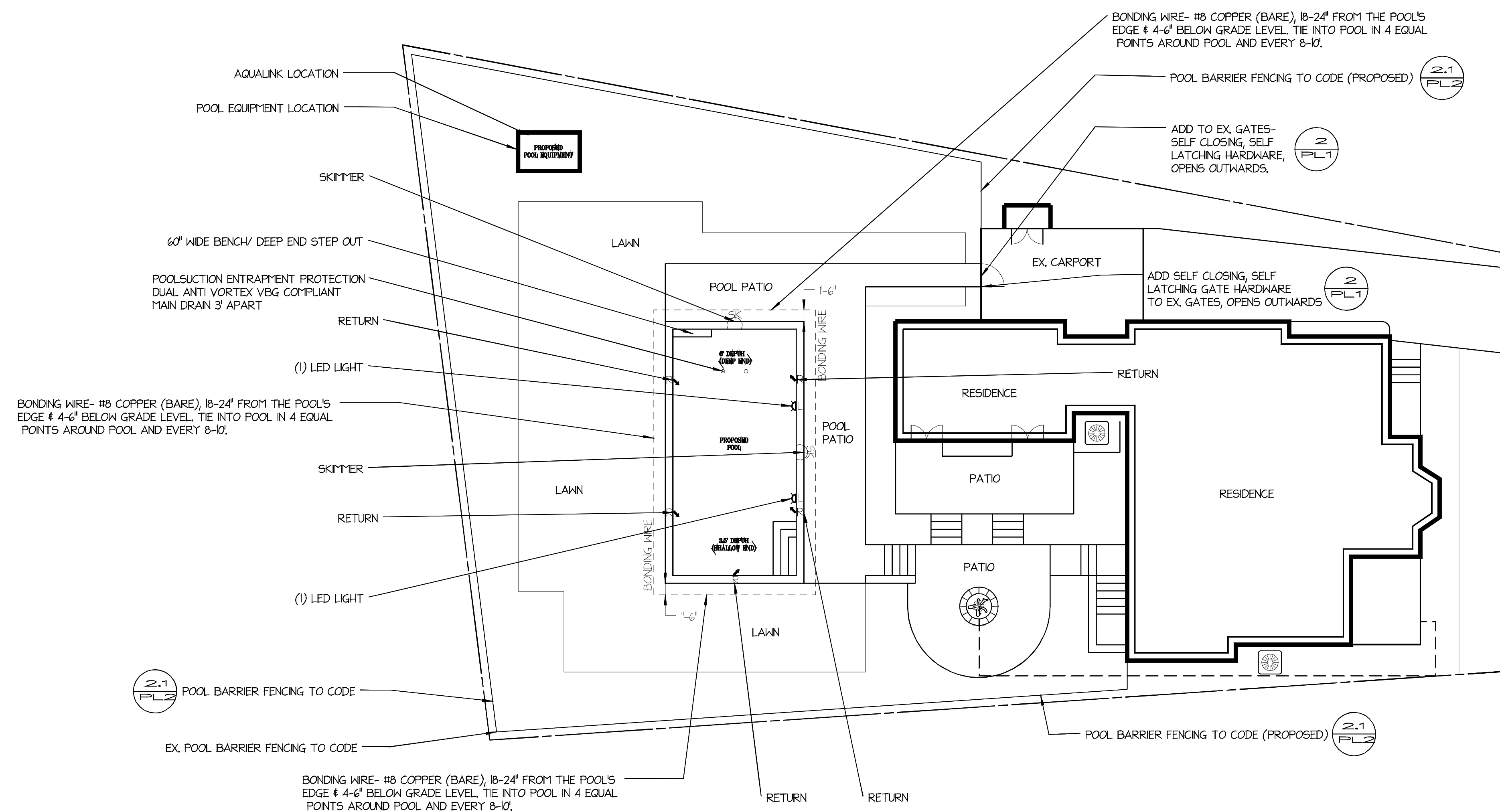
Order #: TE100

www.LuckyUSA.com/TB100

POOL GATE

PL1 INFO

NTS



SCOPE OF WORK-

1. SWIMMING POOL ADDITION
2. POOL PATIO
3. PAVER PATIO
4. GRADING TO ENSURE POSITIVE WATER FLOW

SITE DATA
PARCEL ID: 18 052 14 004
LAND LOT: LAND LOT 17
DISTRICT: 4th DISTRICT
ZONING: R75
ACREAGE: 13,068 SF OR 0.3 ACRES
ADDRESS: 450 EMORY CIRCLE NE
ATLANTA, GA 30307
OWNER: JASON GOOLSBY
24 HOUR CONTACT:
ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO SHEET SIZE 24 X 36

NOTE-

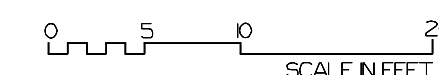
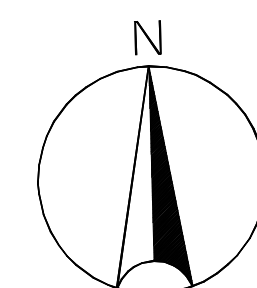
- LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE.
- TREE SAVE FENCE & SILT FENCE ARE GRAPHICALLY NOTED TO BE CLEARLY REPRESENTED ON DRAWING.
- TREE SAVE FENCE & SILT FENCE SHOULD BE WITHIN 12' OF MARKED LIMIT OF DISTURBANCE
- ALL DEBRIS TO BE HAULED OFF SITE.
- ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

POOL AND SPA TO HAVE:

- slip resistant deck
- rope & float
- strainer
- timer
- cover

- suction entrapment protection
- indicate equalpotential bonding
- Dimension all steps inside pool.
- Alarms on windows and doors of pool barrier
- Minimum thickness of pool wall must be 3.5", with #3 bars@12" O.C.
- Secondary exit for more than 5 feet of water.

SCALE 1''=10'



1 POOL LABELING

PLI PLAN



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

POOL LABELING PLAN

GOOLSBY
RESIDENCE

450 EMORY CIRCLE NE

ATLANTA, GA 30307

SCALE	1"=10'
DRAWN BY	JJ
CHECKED BY	
DATE	01-19-2024
DATE OF PRINT	02-05-2024

PROJECT NO.
2024-01

SHEET NO.
PL-1.0

NOTE:

- Before starting land disturbing activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control.
-Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION.

SILT FENCE

- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding; disturbed areas idle 30 days shall be stabilized with permanent vegetation.

MAINTENANCE STATEMENT

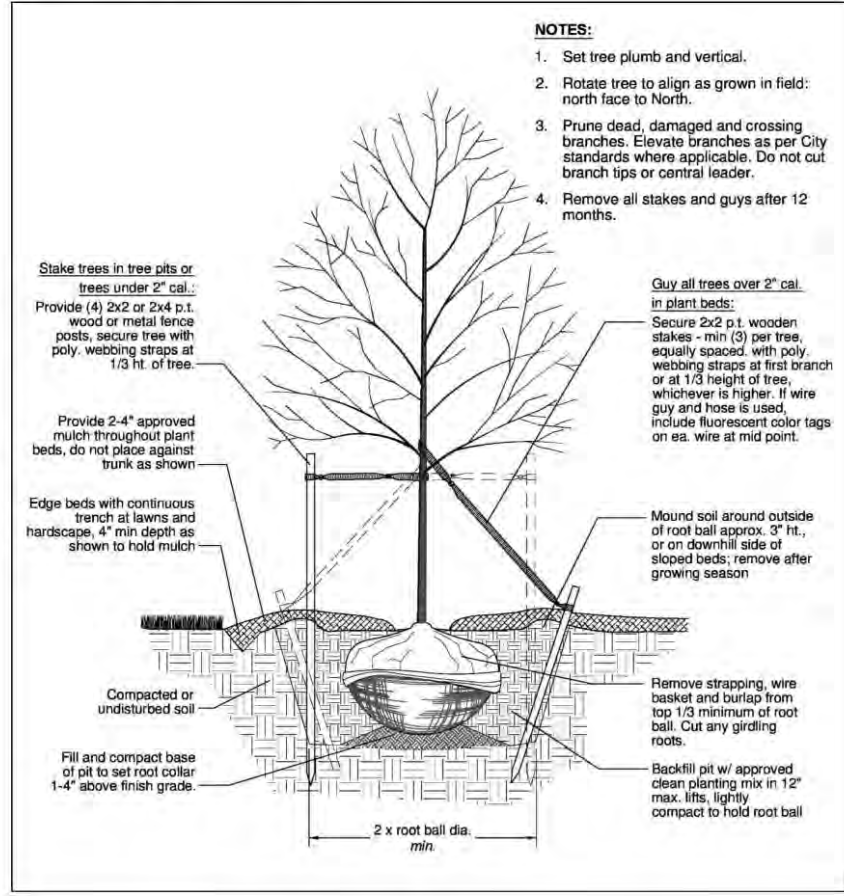
- Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
-Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.

DIRT STATEMENT

- No graded slope shall exceed 3h:1v
- Permanent vegetation shall be established after construction is complete.
-Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of silt or sediment.
- The stormwater discharge from a downspout, cistern, or any water collection device shall be located a distance of no less than ten feet from common property line and oriented so direction of concentrated flow is not toward the adjacent property line.
- Discharge from any downspout described above must be dissipated, infiltrated, or diverted such that flows will not be concentrated.
-No person shall erect, construct, or otherwise permit and obstruction that prevents the natural or contained flow of water to any component of the stormwater system of DEKALB COUNTY WATER unless such obstruction is allowed on part of an approved permit.

LANDSCAPE, TREE AND BUFFER SUBMITTAL PLANS AND PLANTING STANDARDS

Figure 5 - Tree Planting Standard Detail (not to scale)



1.1 TREE PLANTING DETAIL
DTV STANDARD NTS

SILT FENCE - TYPE C

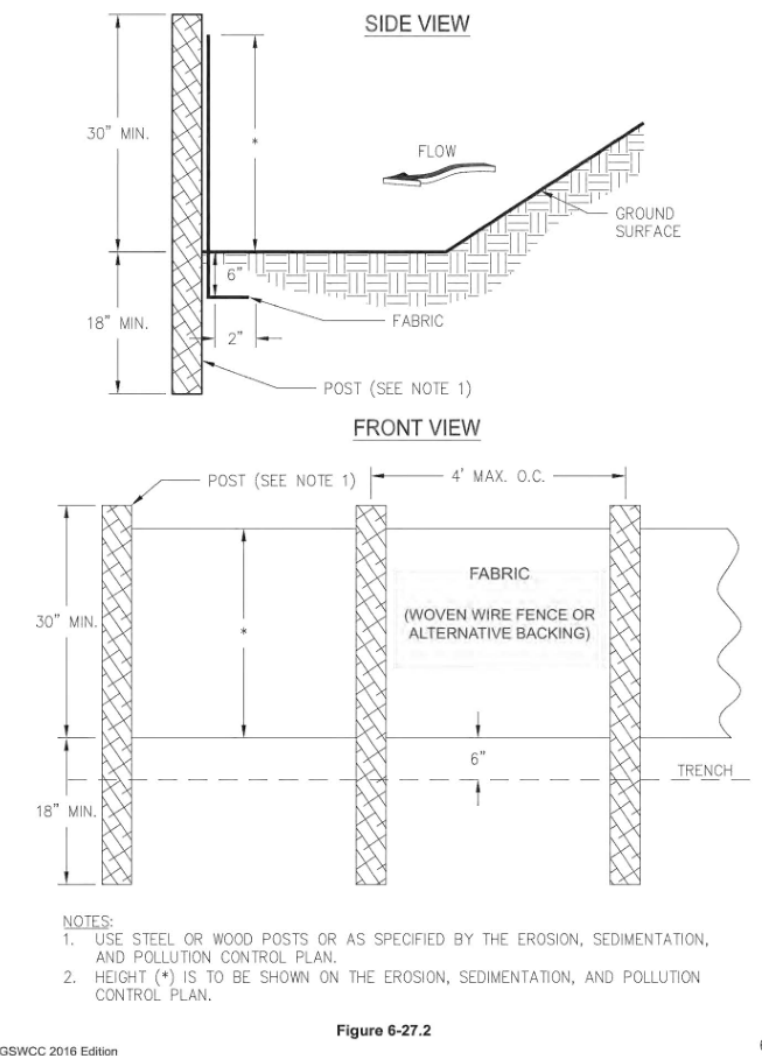


Figure 6-27.2 6-142

Sensitive Areas* S01-S

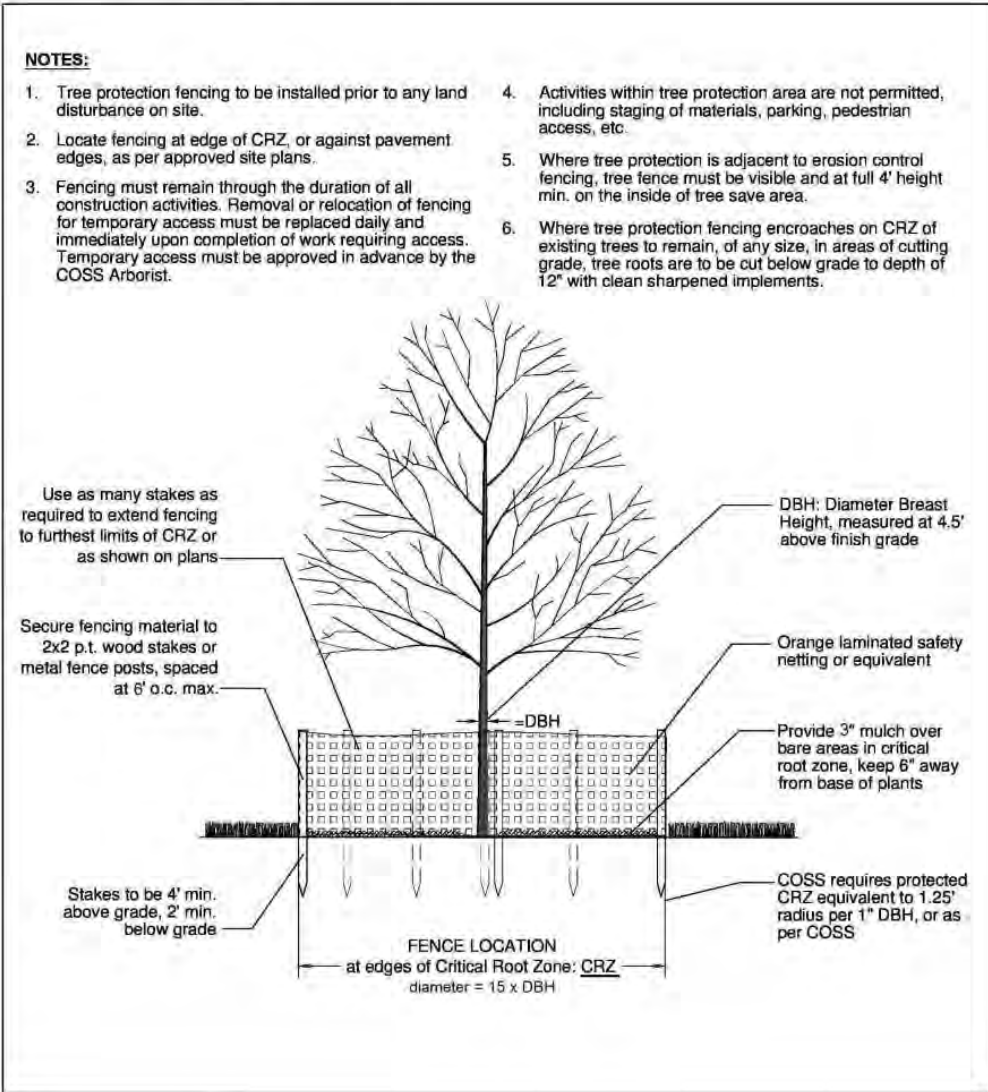
Sediment barriers being used as Type S shall have a support spacing of no greater than 4 feet on center, with each being driven into the ground a minimum of 18 inches.

*As of January 1 2016, in the existing Georgia Department of Transportation Qualified Products list R30 (GFL-30), Type A, B, or C will fall under sensitive and non-sensitive applications. Type C will be classified as sensitive and Type A and B as non-sensitive. Refer to Appendix A-2 and the Equivalent BMP List.

1 TYPE C SILT FENCE
DTV SECTION/ELEVATION NTS

LANDSCAPE, TREE AND BUFFER SUBMITTAL PLANS AND PLANTING STANDARDS

Figure 2 - Tree Protection Fencing (not to scale)



1:7

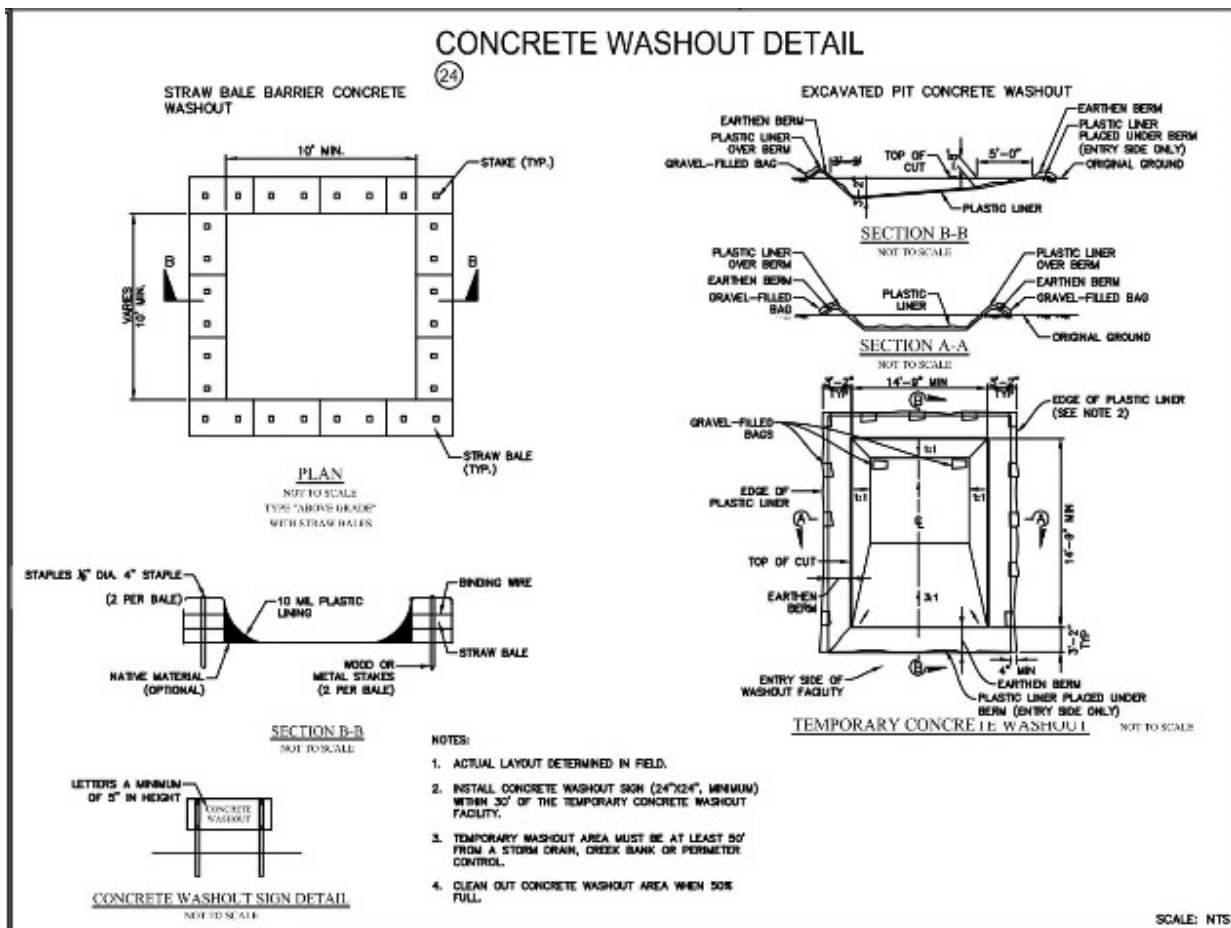
2 TREE PROTECTION FENCE
DTV ELEVATION NTS

CO

Construction Exit Maintenance

The exit shall be maintained in a condition which will prevent tracking or flow of mud into the public rights of way. This may require periodic top dressing with 15-35 inch stone, as conditions demand, and repair and/or clean out of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

2 CONSTRUCTION EXIT
DTV DETAIL NTS



3 CONCRETE WASHOUT
DTV DETAILS NTS

Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, soil, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (WITH SODDING)	Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.

Ds1 - Disturbed Area Stabilization (With Mulching Only) Mulching can be used as a singular erosion control method on areas at rough grade. Mulch can be an option for up to six months provided that the mulch is applied at the appropriate depth (depending on type of mulch used), anchored, and has a continuous 90% cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth, anchorage, and 90% cover. If an area will remain undisturbed for greater than six months, permanent (perennial) vegetation shall be used.

Ds2 - Disturbed Area Stabilization (With Temporary Seeding) Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months.

Ds3 - Disturbed Area Stabilization (With Permanent Vegetation) Permanent (perennial) vegetation or sod shall be used immediately on areas at final grade. Permanent (perennial) vegetation shall be used on rough graded areas that will be undisturbed for more than six months.

Ds4 - Disturbed Area Stabilization (With Sodding) may be used in place of Ds3.

"Stabilization" of an area is accomplished when 70 percent of the surface area is covered in a uniform, vegetative cover (permanent or temporary) or anchored mulch of the appropriate thickness with 90% coverage. "Final stabilization" means that all soil disturbing activities at the site have been completed, and that for unpaved areas and areas not covered by permanent structures, at least 70% of the soil surface is uniformly covered in permanent vegetation or equivalent permanent stabilization measures (such as the use of rip rap, gabions, permanent mulches or geotextiles) have been employed.

SITE DATA

PARCEL ID: 18 052 14 004

LAND LOT: LAND LOT 17

DISTRICT: 4th DISTRICT

ZONING: R75

ACREAGE: 13,068 SF OR 0.3 ACRES

ADDRESS: 450 EMORY CIRCLE NE

ATLANTA, GA 30307

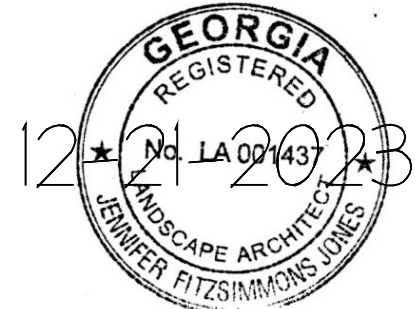
OWNER: JASON GOOLSBY

24 HOUR CONTACT:

ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO SHEET SIZE 24 X 36

NOTES



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LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
ADAM ARDOIN - 404-556-8691

EROSION CONTROL/
TREE PROTECTION
DETAILS

GOOLSBY
RESIDENCE

450 EMORY CIRCLE NE

ATLANTA, GA 30307

SCALE	VARIABLES
DRAWN BY	JJ
CHECKED BY	
DATE	01-08-2024
DATE OF PRINT	01-08-2024

PROJECT NO.	2024_02
SHEET NO.	DT-1.0

RELEASED FOR CONSTRUCTION



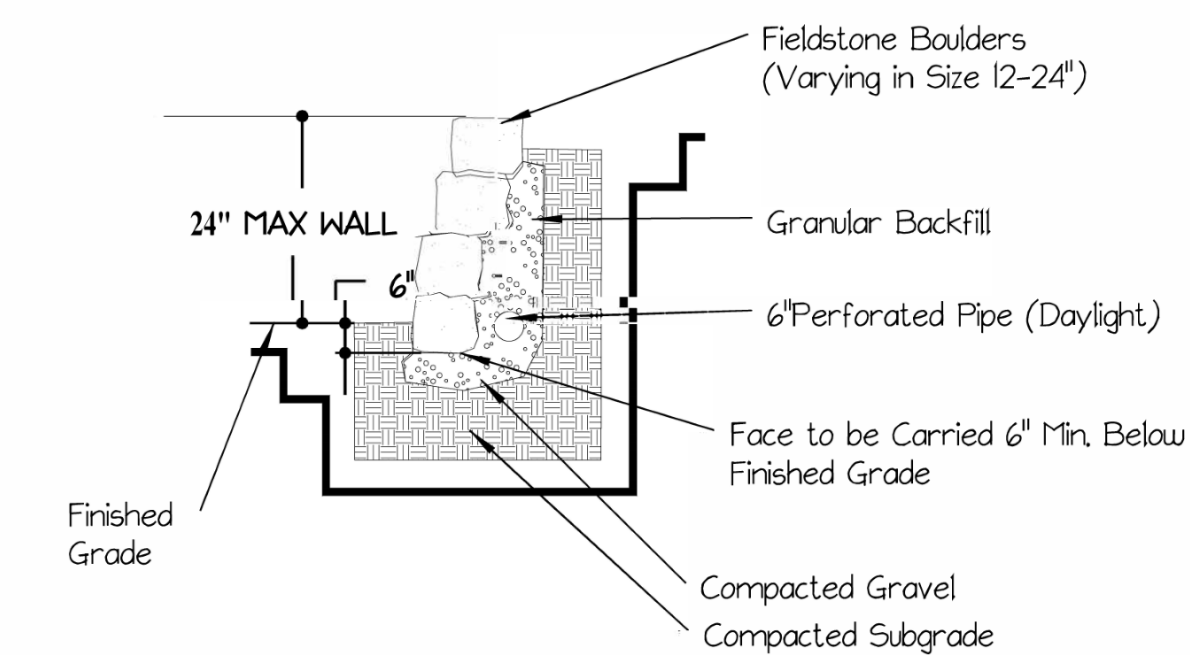
POOL COPING- BLUESTONE

DT2 INFORMATION NTS

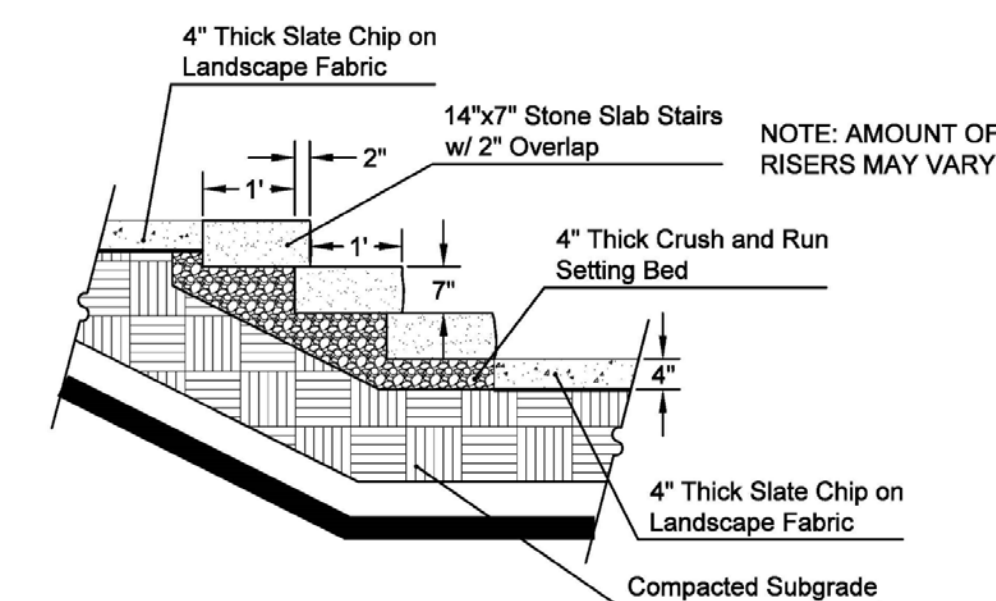
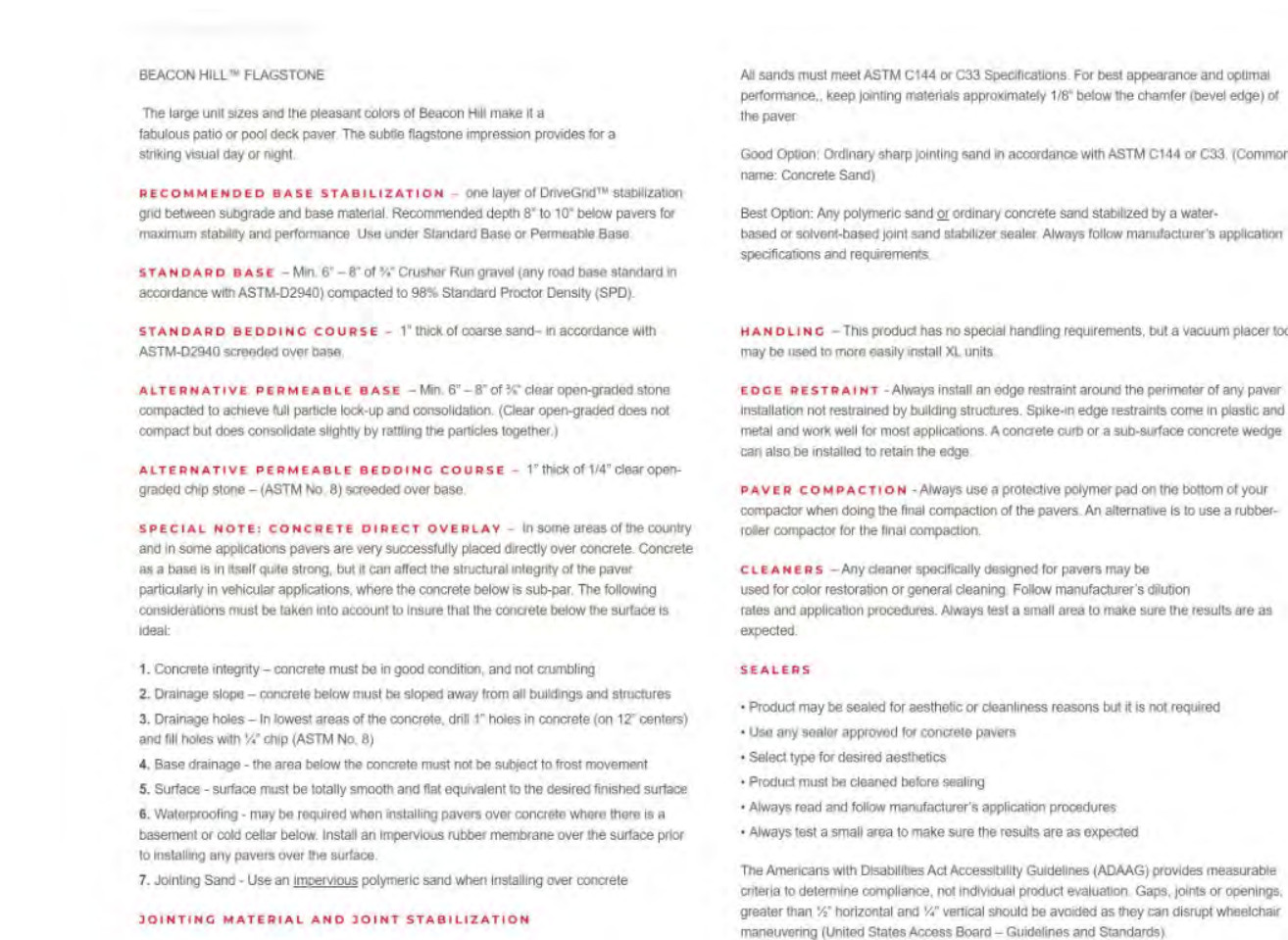
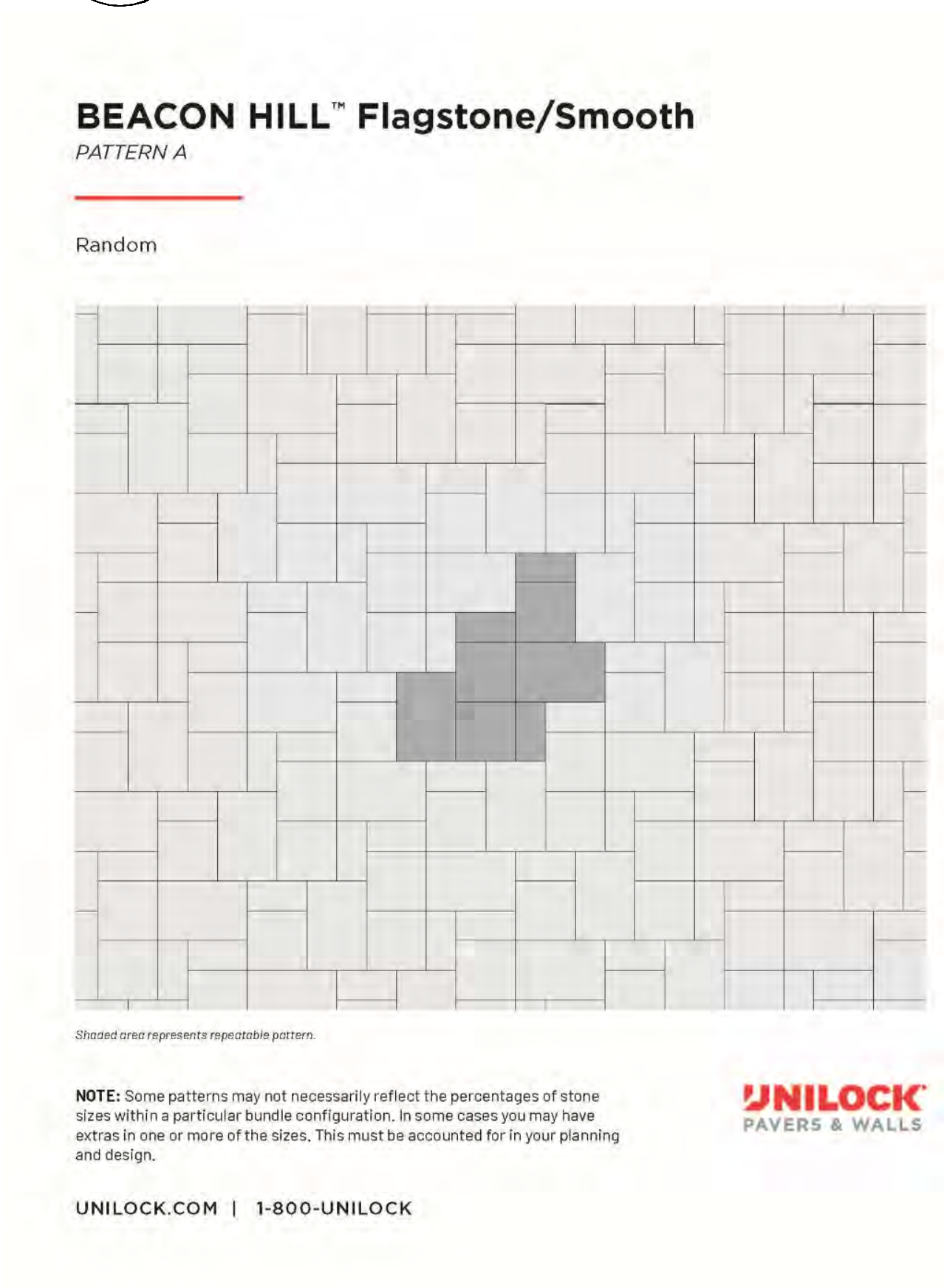
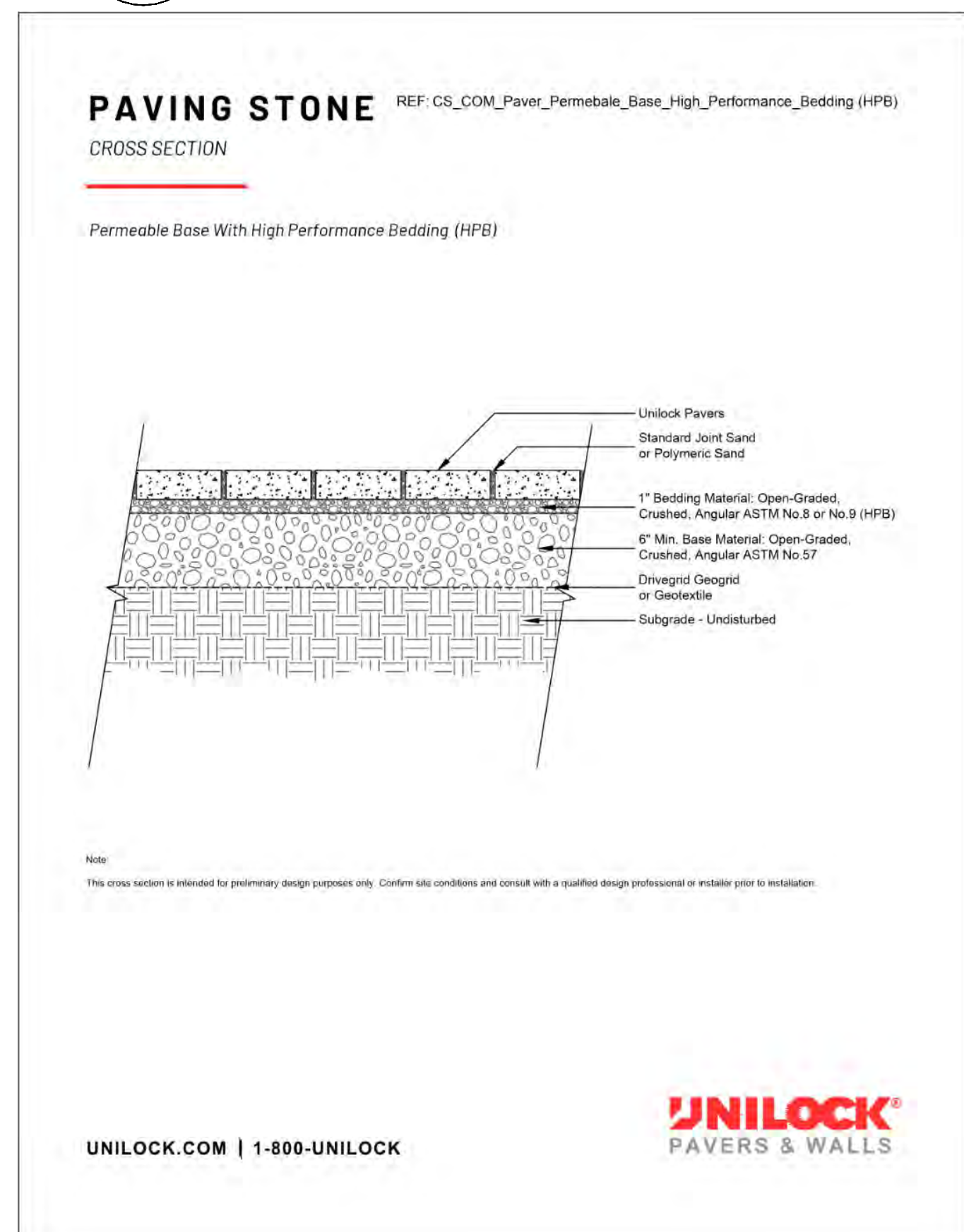


PERMEABLE PAVERS

DT2 INFORMATION NTS



3 GARDEN WALL
DT2 SECTION NTS



4 STONE SLAB STEPS-
DT2 SECTION NTS

SITE DATA
PARCEL ID: 18 052 14 004
LAND LOT: LAND LOT 17
DISTRICT 4th DISTRICT
ZONING: R75
ACREAGE: 13,068 SF OR 0.3 ACRES
ADDRESS: 450 EMORY CIRCLE NE
ATLANTA, GA 30307
OWNER: JASON GOOLSBY
24 HOUR CONTACT:
ADAM ARDOIN - 404-556-8691

HOURS OF CONSTRUCTION:
MONDAY-FRIDAY 7AM-7PM
SATURDAY 8AM-5PM
THERE IS NO WORK ALLOWED ON SUNDAY.

OWNER: JASON GOOLSBY
24 HOUR CONTACT:
ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO SHEET SIZE 24 X 36

NOTES



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No.	Date	Description

REVISIONS:



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

DETAILS

GOOLSBY
RESIDENCE

450 EMORY CIRCLE NE

ATLANTA, GEORGIA 30307

SCALE	VARIABLE	PROJECT NO.	
DRAWN BY	JJ		
CHECKED BY		SHEET NO.	
DATE	12-01-2023		DT-2.0
DATE OF PRINT	02-07-2024		

