DeKalb County Historic Preservation Commission

Monday, 2024- 6:00 P.M.

Staff Report

Consent Agenda

B. 450 Emory Circle, Jennifer Jones. Install pool, construct patio, install fence and gate, and remove trees in rear yard. **1246923**.

Built in 1935 (18 052 14 004)

This property is located in the university Park/Emory Estate Character Area and the University Park/Emory Highlands/Emory Estates Historic District.

- 10-98 450 Emory Circle, Judy Mozen. Replace driveway, replace siding in both side-gables with vinyl siding, construct deck on rear, add French doors to rear, build wooden fence around the yard, remove metal awnings, add shutters on rear. **Approved.**
- 03-02 450 Emory Circle (DH), Nancy E. Cheal. Build rear addition, widen driveway, build stone retaining wall along driveway, and add a square column to the entry stoop. **Approved with modification.**

Summary

The applicant proposes the following work:

- 1. Remove five (5) trees from the backyard. This will
- 2. Plant seven (7) trees in back yard, including (3) Magnolia' Little Gem', (2) Redbud, (2) Japanese Maple 'Bloodgood'.
- 3. Install an inground pool in the backyard on the rear of the property. The pool will measure 16'x32' in size.
- 4. Install a concrete slab in the rear-right corner of the backyard to house pool equipment.
- 5. Install a 5' high iron fence around the backyard. Fence will include a latch gate, located to the side of the property and the existing carport.
- 6. Construct a patio with a firepit in the backyard, coming off of the rear addition and connecting to the rear of the main home. The new patio design will incorporate a previously constructed patio and be constructed from Beacon Hill Flagstone permeable pavers. The existing portion of the patio will retain a rectangular design and the new portion of the patio will be circular design coming off of the existing patio, with a fire pit in the center.
- 7. Construct a 28" fieldstone boulders garden wall along the current existing patio and leading down to the newly constructed patio.
- 8. Install a series of stone slab steps leading from the pool to the patio and along the rear of the main home. The steps will be 6" in height, 18" wide, and 48" long.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

5.0 Design Review Objective (p45) - When making a material change to a structure that is in view from a public right-ofway, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the

owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

- 8.2 Trees (p78) Recommendation The mature hardwood forest within the Druid Hills Local Historic District should be perpetuated through a district-wide replanting program. Trees should be replaced when mature trees are lost to age or damage or are removed for safety reasons. Replacement trees should be of identical or similar varieties to the original trees. A diversity of tree types is recommended to perpetuate the existing character of most tree groupings. Replacement trees of adequate size (1.5" caliper minimum) are recommended. Existing ordinances that provide for the protection and replacement of the district's tree resources should be applied to development activities within Druid Hills.
- 9.3 Vegetation (p83) Recommendation The plant list is intended to assist in the selection of appropriate plant materials. Olmsted's list and the list from the Georgia Landscapes Project provide guidance in selecting materials appropriate for historic landscape projects. There are other sources that can be consulted to identify additional plants used by Olmsted in Druid Hills, such as historic planting plans and particularly the archival record at the Olmsted National Historic Site in Brookline, Massachusetts. The Olmsted list presented in this document should be considered a beginning. Residents of Druid Hills are encouraged to add to this list with historic plants that can be documented as having been used by Olmsted. The native list should be used for natural areas within the district, such as creek corridors and drainage ways. Places within the district where the retention of healthy ecological environments is critical are best landscaped with native varieties. Since native plants have been available since the colony of Georgia was established in 1733, native plants are also appropriate for historic landscapes.
- 9.4 Enclosures and Walls (p90) <u>Guideline</u> Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.
- 9.4 Enclosures and Walls (p90) Recommendation Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to "soften" the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 9.6 Accessory Buildings (p91) Guideline New accessory buildings, such as garages and storage houses, are to be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement the architecture of the adjacent residence do not require the same level of buffering and may remain more visible within the local district. If the new building will be visible from the street, it should respect the established setbacks and orientations of the historic buildings in the area
- 9.7 Residential Landscape Design (p91) Recommendation For residential yards, created without the assistance of landscape designers, historic landscape plans for other residential lots within the district should be used for guidance. These plans can be interpreted to create a new landscape plan that is based on historic traditions. Care should be taken to select designs for yards of similar size containing houses of similar style and scale.
- 9.7 Residential Landscape Design (p92) Recommendation Residential yards, originally created by noted landscape designers, will require special attention. Original plans and specifications should be used, if they can be located, in updating plantings. Suggested steps to follow in the redesign of residential landscapes are noted below:
 - 1) Understand the original landscape design through historic research; for example, try to locate original plans and specifications and historic photographs;
 - 2) Compare the existing landscape with the documented historic landscape;
 - 3) Identify any features that are part of the historic landscape;
 - 4) Be sensitive to the potential of archaeological features (Refer to Chapter10.0: Archeology);
 - 5) Identify site needs, develop a program for the site (circulation versus planting zone); and
 - 6) Develop an updated plan for the landscape that retains as much historic material, as possible, and accommodates today's functional needs in a manner that is in the spirit of the historic design.



Development Services Center 178 Sams Street Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director Cedric Hudson

Application for Certificate of Appropriateness

	Date Rec	ceived:			
0 EMORY CIF	RCLE	NE, ATLANTA,	GA 30	307	
					СОМ
547					
ner: Owner	Arch	itect Contract	or/Builde	r Other	
LSBY	*****	Email: JLGOOLS	BY75	@GMAIL.COM	
EMORY CIRC	CLE N	IE, ATLANTA, (303 AE	307	
78-938-5066					
of the primary structu	re on the	property and any other: ORIGINAL HOUSE E	structures UILT IN 1	affected by this project: 935/ADDITION MADE AROUN	ND 2002
y): New construction		New Accessory Building		Other Building Changes	П
Demolition		Landscaping	V		
Addition		Fence/Wall	V	Other	
Moving a Building		Sign Installation			_
				- (18 NOTE)	
	DES	DES DES DES DES DES DES DES DES	BOX 683096 Solution Architect Contract	BOX 683096 S547 Architect Contractor/Builde LSBY Email: JLGOOLSBY75 Email: EMORY CIRCLE NE, ATLANTA, GA 303 78-938-5066 of the primary structure on the property and any other structures ORIGINAL HOUSE BUILT IN 19 y): New construction New Accessory Building Demolition Landscaping V Addition Fence/Wall V Moving a Building Sign Installation SIDENCE BACKYARD- ADDITION OF SWIMM	BOX 683096 Solution

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: Jan L. Maly



Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/ We: <u>JASON GOOLSBY</u>	
being owner(s) of the property at:	450 EMORY CIRCLE NE, ATLANTA, GA 30307
hereby delegate authority to: <u>JENI</u>	NIFER JONES, RLA
to file an application for a certificat	te of appropriateness in my/our behalf.
	0 10 10
	Signature of Owner(s): Jan L. Mwn Date: 2-3-24
	Date: 2-3-24

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



How to Obtain a Certificate of Appropriateness

- Contact the DeKalb County Department of Planning and Sustainability for an application form. You may
 make your request by email <u>plansustain@dekalbcountyga.gov</u> AND <u>rlbragg@dekalbcountyga.gov</u>.
 telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at
 https://www.dekalbcountyga.gov/planning-and-sustainability/forms
- 2. Complete and submit the application. Please provide as much supporting material as possible,(plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
- The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting or coordinate sign posting with the applicant.
- The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
- Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
- 6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
- Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
- Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.



Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pvjennings@dekalbountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".	Yes	
I have reviewed the DeKalb County Tree Ordinance.	Yes	
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.	Yes	\neg

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- Topographical plan with significant trees sized and located;
- Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width



4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: << Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale



10. Façade

- a. Consistency in style;
- b. Materials and their combinations

brick size and color

stone type and color

fiber-cement (e.g., Hardie-plank) or wood siding

shake or shingle

other

- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials



14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing
 deadline has passed and that period has expired, no new applications will be accepted to be heard at that
 month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be
 submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be
 taken into consideration for the staff report. Staff reports will not be edited once finalized and published any
 new materials may be submitted for the record for the commission but will not affect the staff's report for the
 application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - o Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process. Yes

I have reviewed the HPC calendar.

Yes

HARDSCAPE PLAN 450 EMORY CIRCLE NE ATLANTA, GA 30307

- -Before starting land disturbing activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control.

 -Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION. SILT FENCE
- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding; disturbed areas idle 30 days shall be stabilized with permanent vegetation.
- MAINTENANCE STATEMENT
- Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.

 -Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
- DIRT STATEMENT
- No graded slope shall exceed 2h:1v
- Permanent vegetation shall be established after construction is complete.
- -Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed
- conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of silt or sediment. - The stormwater discharge from a downspout, cistern, or any water collection device shall be located a distance of no less than ten feet from
- common property line and oriented so direction of concentrated flow is not toward the adjacent property line.

 Discharge from any downspout described above must be dissipated, infiltrated, or diverted such that flows will not be concentrated.

 -No person shall erect, construct, or otherwise permit and obstruction that prevents the natural or contained flow of water to any component of the stormwater system of DEKALB COUNTY, unless such obstruction is allowed on part of an approved permit.

The Current State Minimum Standard Codes

The following are the current state minimum standard codes for construction as adopted by the Board of Community Affairs.

Current Mandatory Codes as Adopted by DCA:

- International Building Code, 2018 Edition, with Georgia Amendments (2020) International Residential Code, 2018 Edition, with Georgia Amendments
- International Fire Code, 2020 Edition, with Georgia Ammendments
- International Plumbing Code, 2018 Edition, with Georgia Amendments International Mechanical Code, 2018 Edition, with Georgia Amendments
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020) National Electrical Code, 2020 Edition, with Georgia Amendments (2021)
- International Energy Conservation Code, 2015 Edition, with Georgia
- Supplements and Amendments (2020)
- International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)
- For information and questions regarding the Life Safety Code (NFPA) 101), IFC Georgia Amendments or the Georgia Accessibility Code please contact the State Fire Marshal's Office.

Current Permissive Codes as Adopted by DCA:

Disaster Resilient Building Code IBC Appendix(2013)

CP1 INFORMATION

- Disaster Resilient Building Code IRC Appendix (2013)
- International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2021)
- International Existing Building Code, 2018 Edition, with Georgia Amendments
- National Green Building Standard, 2008 Edition, with Georgia Amendments

CP1 INFORMATION

IMPERVIOUS CALCULATIONS 11458 4010.3 OT SIZE (SQ FT) 35% ALLOWABLE IMPERVIOUS FRONT PORCH AND STEPS

1/23/2023

GOOLSBY RESIDENCE LOT COVERAGE

% EXISTING IMPERVIOUS	29
TOTAL EXISITNG IMPERVIOUS (SQ FT)	3
POND AND WALKWAY	
STEPS TO BASEMENT	
EX. DRIVEWAY AND CARPORT	1
REAR TERRACE	
FRONT SCREEN PORCH	
TROUT CORES LACACIT	

IMPERVIOUS REDUCTION	
REAR TERRACE	
POND AND WALKWAY	
STEPS TO BASEMENT	

REMOVE EXISITNG IMPERVIOUS (SQ FT)

% MAX ALLOWABLE IMPERVIOUS

PROPOSED IMPERVIOUS	
POOL	61
POOL PATIO (PERMEABLE)	
STEPS TO UPPER PATIO	3
REAR TERRACE AND STEPS	
LOWER TERRACE (PERMEABLE)	
STEPS FROM BASEMENT DOOR TO POOL AREA	17
TOTAL PROPOSED IMPERVIOUS	71
TOTAL IMPERVIOUS (SQ FT)	377
% IMPERVIOUS	33.0
% PRECONSTRUCTION IMPERVIOUS	29.9
% POST CONTRUCTION IMPERVIOUS	33.0

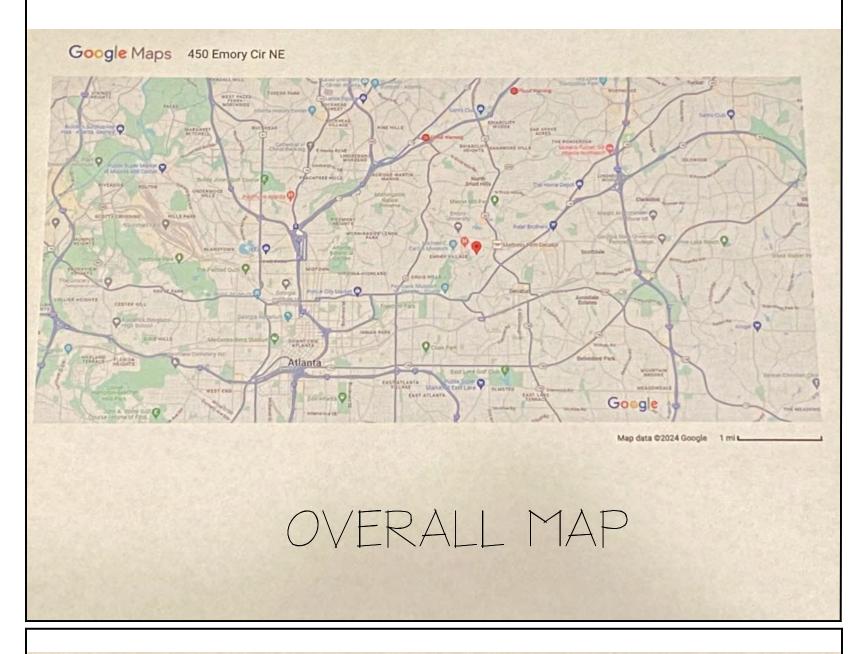
IMPERVIOUS SURFACE CHART

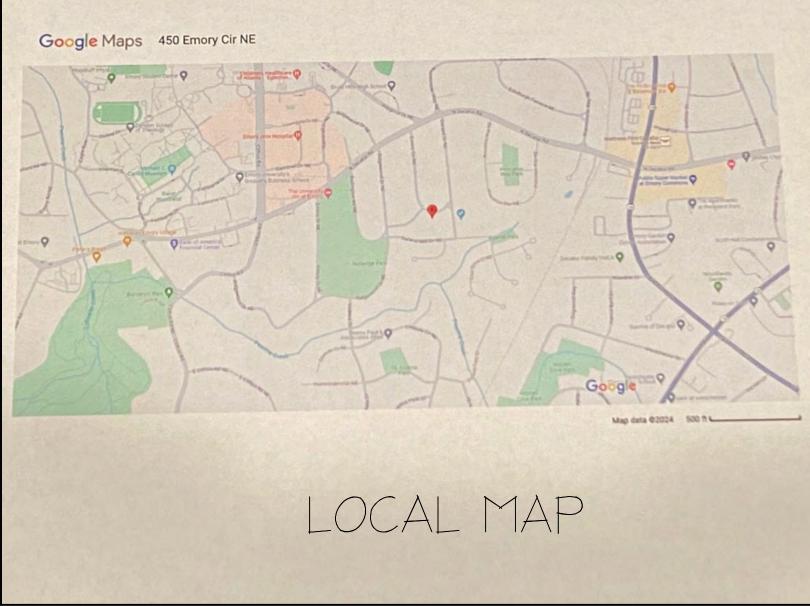
-Gates not intended for pedestrian use shall be locked when the Pool is not in use. -For all cases where a building footprint penetrates through a Pool Fence perimeter, all doors and operable windows with a sill height lower than 48" on the building(s) which have direct access to the Pool area must be equipped with an alarm which produces an audible warning when the door or its screen or window is opened. -The escape of sediment from the Site shall be prevented by the installation of Erosion and Sediment Control measures and practices prior to land disturbing activities. —Erosion and Sediment Control measures shall be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional Erosion and Sediment Control measures shall be implemented to control or

treat the sediment source. -Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding. —The Plan Preparer affirms that the Site was visited prior to the preparation of this

Site Plan by (himself / herself). —An As—Built Drawing, containing a Boundary Survey, Site Improvements, Top and Bottom of Walls, Finished Floor Elevations of Buildings, Decks, and Pool, Utilities, Easements, pertinent Site Development Data, and any other requirements of the Community Development Director, shall be submitted to and approved by the Department of Community Development prior to the ssuance of a Certificate of Occupancy or a Certificate of Completion.

-Contact the Department of Community Development through the portal to schedule a Pre-Construction Meeting with the site inspector prior to any land disturbance. (The cut-off time for next day inspections is 2pm.)





NOTE: Total Disturbed Area= 4,600 SQ. FT.

SCOPE OF WORK-1. SWIMMING POOL ADDITION

- 2. POOL PATIO
- 3. PAVER PATIO
- 4. GRADING TO ENSURE POSITIVE WATER FLOW

SITE DATA

ZONING: R75

PARCEL ID: 18 052 14 004 LAND LOT: LAND LOT 17 DISTRICT 4th DISTRICT

ACREAGE: 13,068 SF OR 0.3 ACRES ADDRESS: 450 EMORY CIRCLE NE

ATLANTA, GA 30307 OWNER: JASON GOOLSBY

24 HOUR CONTACT:

ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO SHEET SIZE 24 X 36

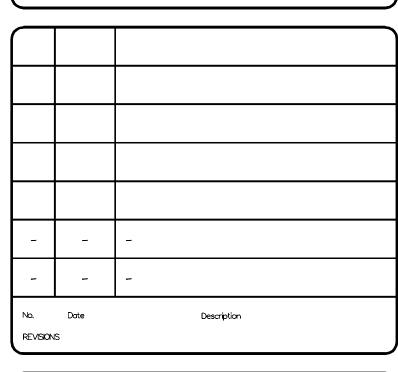
SHEET INDEX

SHEET# DESCRIPTION CP-1.0 COVER PAGE EC-1.0 EXISTING CONDITIONS HS-1.0 LABELING/TREE PROTECTION PLAN DT-1.0 EROSION CONTROL/TREE PROTECTION DETAILS PL-1.0 POOL PLAN PL-2.0 POOL DETAILS

SHEET SIZE 24 X 36



NOTES





COVER PAGE

GOOLSBY RESIDENCE

450 EMORY CIRCLE NE

ATLANTA, GA 30307

SCALE	1"=1 <i>O</i> '
DRAWN BY	IJ
CHECKED BY	
DATE	01-08-2024
DATE OF PRINT	02-05-2024

2024_02

Powered by DyndSCAPE®



—Before starting land disturbing activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control.
—Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION.

- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to,

or concurrent with, land disturbing activities.

- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective

erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.

— Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding; disturbed areas idle 30 days shall be stabilized with permanent vegetation.

MAINTENANCE STATEMENT

- Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.

-Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.

- No graded slope shall exceed 2h:1v

- Permanent vegetation shall be established after construction is complete.

-Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed

conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of silt or sediment.

— The stormwater discharge from a downspout, cistern, or any water collection device shall be located a distance of no less than ten feet from

common property line and oriented so direction of concentrated flow is not toward the adjacent property line. - Discharge from any downspout described above must be dissipated, infiltrated, or diverted such that flows will not be concentrated.

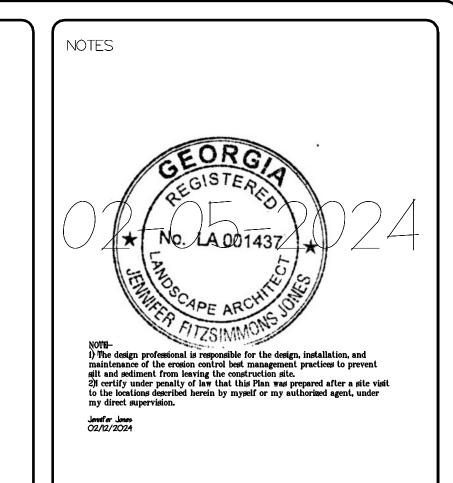
-No person shall erect, construct, or otherwise permit and obstruction that prevents the natural or contained flow of water to any component

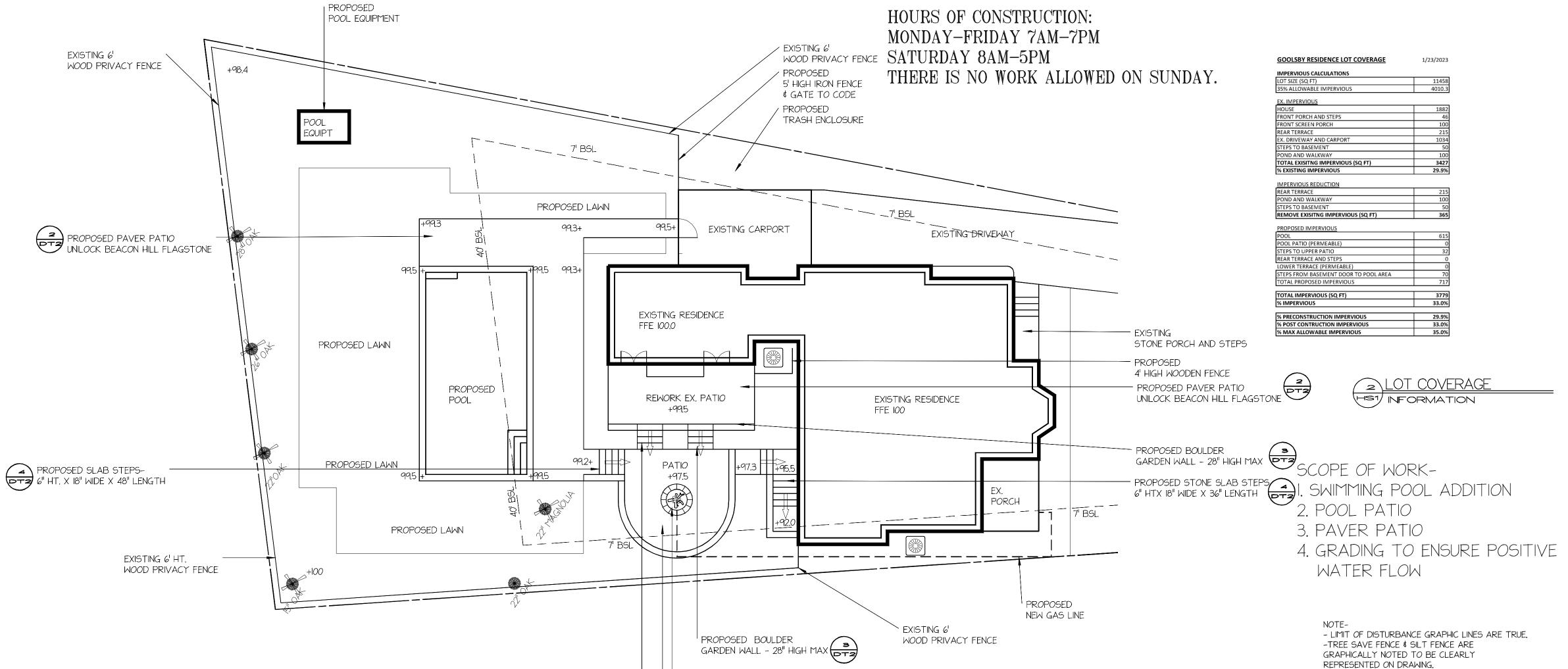
of the stormwater system of Dekalb County, unless such obstruction is allowed on part of an approved permit.

RELEASED FOR CONSTRUCTION

ACREAGE INFORMATION
TOTAL LOT SIZE (SQ. FT.): 11,458 TOTAL DISTURBED AREA: 4,000 SF/0.09 ACRES

DIRT STATEMENT: -136 CU YDS OF SOIL TO BE REMOVED FROM SITE

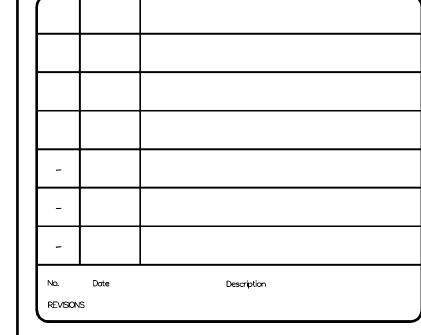




FIREPIT BY OTHERS

PROPOSED STONE SLAB STEPS 6" HT. X 18" WIDE X 48"LENGTH

PROPOSED PAVER PATIO
UNILOCK BEACON HILL FLAGSTONE





SITE LABELING PLAN

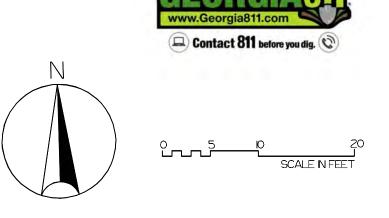
GOOLSBY RESIDENCE

450 EMORY CIRCLE NE

ATLANTA, GEORGIA 30307

SCALE "= O'	PROJECT NO.
DRAWN BY JJ	
CHECKED BY	SHEET NO.
DATE 01–11–2024	1 45-1
DATE OF PRINT 02-05-2024	





OWNER: JASON GOOLSBY 24 HOUR CONTACT: ADAM ARDOIN - 404-556-8691 OWNER/SITE INFO SHEET SIZE 24 X 36

-TREE SAVE FENCE \$SILT FENCE SHOULD BE WITHIN

-ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

12" OF MARKED LIMIT OF DISTURBANCE -ALL DEBRIS TO BE HAULED OFF SITE.

SITE DATA

PARCEL ID: 18 052 14 004

LAND LOT: LAND LOT 17

DISTRICT 4th DISTRICT

ACREAGE: 13,068 SF OR 0.3 ACRES

ATLANTA, GA 30307

ADDRESS: 450 EMORY CIRCLE NE

ZONING: R75

RELEASED FOR CONSTRUCTION







POOL GATE NTS INFO

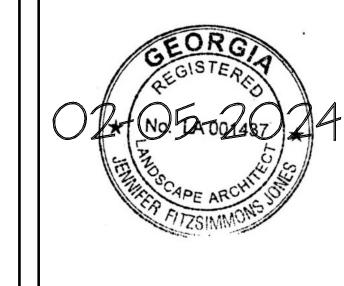
ACREAGE INFORMATION TOTAL LOT SIZE (SQ. FT.): 11,458 TOTAL DISTURBED AREA: 4,600 SF/0.11 ACRES

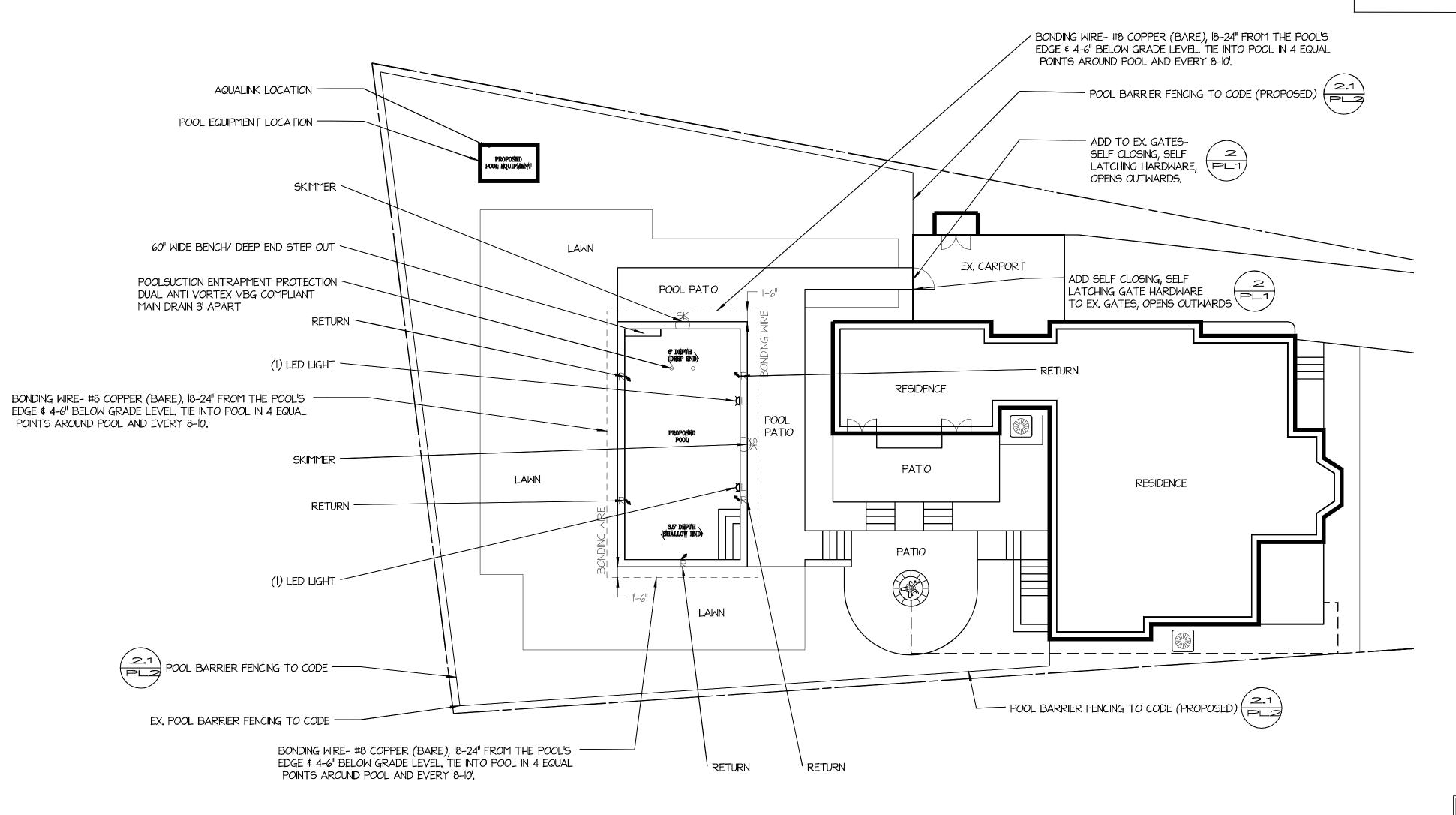
DIRT STATEMENT:

-0 CU YDS OF SOIL TO BE REMOVED FROM SITE

WATERS OF THE STATE NOTE: WATERS OF THE STATE DO EXIST WITHIN 200 FEET OF THE PROJECT SITE.

PROPERTY IS ON SEWER





SCOPE OF WORK-1. SWIMMING POOL ADDITION 2. POOL PATIO 3. PAVER PATIO 4. GRADING TO ENSURE POSITIVE

WATER FLOW

POOL LABELING PLAN

GOOLSBY RESIDENCE

450 EMORY CIRCLE NE

LANDSCAPE STUDIO GROUP

PO BOX 683096 MARIETTA, GA 30068

404-556-8691

ATLANTA, GA 30307

DRAWN BY JJ CHECKED BY DATE 01-19-2024

DATE OF PRINT 02-05-2024

PROJECT NO. 2024-01 SHEET NO.

SITE DATA

PARCEL ID: 18 052 14 004 LAND LOT: LAND LOT 17 DISTRICT 4th DISTRICT

ZONING: R75

ACREAGE: 13,068 SF OR 0.3 ACRES

ADDRESS: 450 EMORY CIRCLE NE ATLANTA, GA 30307 OWNER: JASON GOOLSBY

24 HOUR CONTACT:

ADAM ARDOIN - 404-556-8691 OWNER/SITE INFO SHEET SIZE 24 X 36

POOL AND SPA TO HAVE:

a) slip resistant deck b) rope & float

c) strainer) timer

- LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE.

-TRDE SAVE FENCE &SILT FENCE SHOULD BE WITHIN

-ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

-TREE SAVE FENCE & SILT FENCE ARE

12" OF MARKED LIMIT OF DISTURBANCE

-ALL DEBRIS TO BE HAULED OFF SITE.

GRAPHICALLY NOTED TO BE CLEARLY

REPRESENTED ON DRAWING.

e) cover 2. suction entrapment protection

3. indicate equipotential bonding 4. Dimension all steps inside pool. 5. Alarms on windows and doors of pool barrier

6. Minimum thickness of pool wall must be 3.5", with #3 bars@12" O.C.

7. Secondary exit for more than 5 feet of water.

SCALE 1''=10'



4) #4 CONC. IN BOND — BEAM D UNDER ENTIRE POOL FLOOR SHALLOW END DETAIL BONDING GRID; BONDING SHALL BE DONE IN ALL PUMP MOTORS AND WE' NICHE FIXTURES ARE TO THE MAX GROUNDING DETAIL COMPACTED PLASTIC SEAL

HORIZONTAL REINFORCEMENT -

SPA SECTION DETAIL

AquaLink RS

ADVANCED AUTOMATION TECHNOLOGY

AQUALINK RS SYSTEMS ALLOW YOU TO:

ENERGY SMART PROGRAM

JANDY AQUALINK RS ONE TOUCH™

JANDY AQUALINK RS ALL BUTTON

AQUALINK RS SPA SIDE CONTROLLERS

AQUALINK WIRELESS HANDHELD REMOTE CONTROL

Protect your equipment from damage due to freezing

These interfaces are the perfect companion to Zodiac's top-of-the-line Jandy® Aqualink RS systems, and enable total control of your backyard experience. Adjust pool and spa temperatures, turn on water features and lights, adjust sanitizer generation, and much more, with the touch of a button. AquaLink RS systems integrate premium design ingenuity, style, and ease of use for the ultimate

Control individual pool and spa equipment from the convenience of your home
 Automate daily pool equipment functions, such as filtration, sanitation and cleaning

AquaLink RS systems have built-in energy savings programs, allowing the system to automatically adjust routines and schedules with the changing seasons to optimize energy savings and

One Touch features macros for an easy "set-it and forget-it" experience

The small panel, which is the size of a double light switch, can be

flush or surface-mounted to fit with any room décor. Additional bezel

· Customize your entire system to bring your backyard to life

Brings the convenience of pool and spa control into your home

Simple to operate, attractively styled, and easily installs indoors

· Uses inexpensive, long-lasting, AA batteries. No charger needed

Tough, water-resistant, soft-grip housing. Perfect for worry-free control in or around the pool or spa

Back-lit display for easy reading - even at night

Custom labeled buttons to match your system and backyard environme

Manage up to 32 pool and spa features
 Integrate pool and spa automation into most leading home automation systems.

STAIR SECTION DETAIL

#3 @ 12" E.W. IN WALL COMPACTED NATIVE SOIL

Required Inspections (cont.)

Permanent Fence. Must be complete, with entry warning alarms working, prior to filling the pool with water. May be done at anytime during construction. Note: Construction safety barriers must remain in place until permanent fencing

Pool Final. Made after the pool and all associated construction is complete and ready for use.

 The pool must be full of water and all equipment, lights, ladders, steps, and other pool accessories in place, connected, and working as designed for a mpleted ready for use pool.

> All permanent fences, gates, and entry warning alarms must be in place and working.

ting must have final inspections, and sign-offs by

GENERAL POOL CONSTRUCTION

Permanent Fencing

FENCE INFORMATION

-NO EX. FENCE

(PL2) DETAILS AND NOTES NTS

 All life safety equipment must be in place. All site work, walks, drives, paved areas, and landscaping included in the plans submitted at permit-

811.1 Rope and float. In pools where the point of

assembly shall be installed across the width of

the pool. The rope assembly shall be located no

less than 1 foot (305 mm) and not greater than 2

feet (610 mm) towards the shallow side of the

slope break. Rope anchoring devices shall be

permanently attached to the pool wall, coping or

deck. Rope ends shall attach to the rope anchor

devices so that the rope ends can be

disconnected from the rope anchor device.

first slope break occurs, a rope and float

the various departments and authorities as required. Note for commercial pools: In addition to the City's inspec tion, County Health Department Inspectors must perform their inspections before the city issues a Certificate of Com pletion for the pool. Pool permit holders must provide the city written proof of passing this required health department

ALL PUMP MOTORS AND WET NICHE FIXTURES ARE PROTECTED WITH GFCI OVERCURRENT

403.9.3 POOL COVERS. HEATED POOLS SHALL BE EQUIPPED WITH A VAPOR RETARDANT POOL COVER ON OR AT THE WATER SURFACE. POOLS HEATED TO MORE THAN 90°F(32°C) SHALL HAVE A POOL COVER WITH A MINIMUM INSULATION VALUE OF R-12.

\$3 (3/8") REBAR SCHED .40 SPEC. 615 USED THROUGHOUT POOL EXCEPT IN BEAM

STEEL WILL BE 12" O.C. EXCEPT IN BOND BEAM. BOND BEAM WILL BE 3 BARS #4 (3/8")

STARTING AT 61/2" DEPTH AND RUNNING AROUND THE DEEP END BOWL TO THE OPPOSITE SIDE OF THE POOL AT THE 61/2" DEPTH. #3 REBAR SHALL BE INSTALLED ON 12" CENTERS 10" LONG BARS WILL START AT THE TOP OF THE BEAM AND BE SPLICED INTO THE FLOOR.

ALL STEEL TO BE CONTINUOUS BY SPUCING.

ALL SPLICES SHOULD BE APPROXIMATELY 18" WITH A MINIMUM OF 12" AND TWO TIES. ALL STEEL WILL BE BLOCKED 2" OFF DIRT.

ADD #3 @10.0' LONG @ 12" VERT. MAKING A TOTAL OF #3 VERT. @ 6" O.C.. #3 TO REGIN 2'0" INTO THE FLOOR & EXTEND UPWARD INTO THE WALL, ADD #3 @ 6"O.C. 2 INTO SHALLOW END EXTENDING DOWN BREAK 2' DEEP INTO THE DEEP END FLOOR.

1. #3 (3/8") REBAR SCHED .40 SPEC. 615 USED THROUGHOUT POOL EXCEPT IN BEAM 2. STEEL WILL BE 12" O C. EXCEPT IN BOND BEAM BOND BEAM WILL BE 4 BARS #3 (3/8*)

4. STARTING AT 61/3 * DEPTH AND RUNNING AROUND THE DEEP END BOWL TO THE OPPOSITE SIDE OF THE POOL AT THE 61/4" DEPTH. #3 REBAR SHALL BE INSTALLED ON 12" CENTERS 10" LONG BARS WILL START AT THE TOP OF THE BEAM AND BE SPLICED INTO THE FLOOR. 5. ALL STEEL TO BE CONTINUOUS BY SPLICING.

6. ALL SPLICES SHOULD BE APPROXIMATELY 18" WITH A MINIMUM OF 12" AND TWO 7 ALL STEEL WILL BE BLOCKED 2" OFF DIRT.

8 ADD #3 @10.0' LONG @ 12" VERT, MAKING A TOTAL OF #3 VERT, @ 6" O.C., #3 TO BREGIN 2'0" INTO THE FLOOR & EXTEND UPWARD INTO THE WALL. ADD #3 @ 6" O.C. 2" INTO SHALLOW END EXTENDING DOWN BREAK 2 DEEP INTO THE DEEP END FLOOR.

Note 409.9.3 Pool Covers. Heated pools shall be equipped with a vaporretardant pool cover on or at the water surface. Pools heated to more than 90 degrees F shall have a pool cover with a minimum insulation value of R-12

-PROP FENCE: 500 LF + 3 GATES

Required compliance with UDC, 2018 International Swimming Pool and Spa Code and all Georgia

Amendments. Permanent fenced and gated enclosures are required at all pools in the city. Permanent fence

design must be so that neither a four inch (4") sphere cannot be passed through the fence nor a two inch (2")

sphere below the fence. All permanent fences must be placed with a finished side facing away from the

property owner's property. The minimum height of this fence must be five feet (5') and the maximum height

of this fence shall not exceed six feet (6'), except the maximum height may be exceeded by fifty percent

(50%) on sloped lots where the appearance of an even fence line is desired. Fence Height is measured

Fences, and walls used as fences, must be located at least five feet (5') away from required buffers to

accommodate construction and maintenance. Fences shall not be finished with bright or primary colors, or

Pool fences must include at least one gated exit, a minimum of 36" wide. This exit must open outward and

be self-closing and self-latching. Where the gate latching mechanism is located less than 54" above the

gate bottom, it shall be located at the pool side of the fence at least 3" below the top of the gate. There

If the wall of a dwelling serves as part of the barrier, either the pool shall be equipped with a powered safety

cover in compliance with ASTM F 1346, or doors with direct access to the pool shall be equipped with an

(Note: Many pool door alarms on the market do not meet this standard and will not be allowed.) A body of

must be no openings in the gate or fence greater than ½" in diameter within 18" of the latching mechanism.

alarm that is audible when the door is opened. This alarm shall be listed in accordance with UL 2017.

from the top of a fence vertically to grade directly below at the exterior side.

water, such as a lake, is <u>not</u> considered a substitute for a physical barrier fence.

RELEASED FOR CONSTRUCTION

Fountains, and Similar Installations,

FEATURES

No transitional glue required

#316 stainless steel screws

10MF102F - Black

10MF103F – Light Gray

10MF105F - Dark Gray

VGB 2008 Compliant

10MF104F - Blue

10MF108F - Tan

Online product support including downloadable CAD files, General Coof Conformity, third-party certificate installation instructions are

Replace drain cover every five years fro the date of installation

Comes with 6" tapered threaed pipe p for easy pressure testing and winteriza

2018 International Swimming Pools and Spa Code with GA Amendments American National Standard for Residential Inground Swimming Pools, ANSI/NSPI-5 2011. American National Standard for Aboveground/Onground Residential Pools, ANSI/NSPI-4 2007. American National Standard for Permanently Installed Spas, ANSI/NSPI-3 1999. American National Standard for Residential Portable Spas, ANSI/NSPI-6 1999. 2020 National Electrical Code [NEC], NFPA 70, including but not limited to Article 680, "Swimming Pools,

2018 International Plumbing Code [IPC] w/ Georgia Amendments (Indirect drains, backflow, etc.) 2018 International Fuel Gas Code [IFGC] w/Georgia Amendments 2018 International Mechanical Code [IMC] w/ Georgia Amendments (Pool heaters, etc.) City of Alpharetta Unified Development Code (UDC) (Fencing, setbacks, permitting, etc.) Building Code Requirements for Structural Concrete, ACI 318-05.

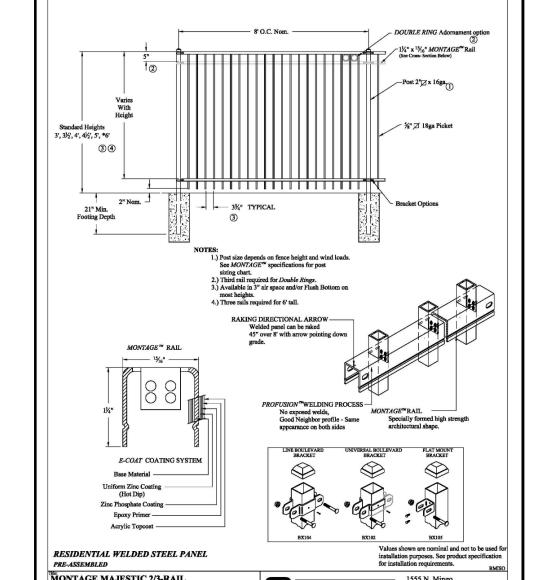
"ROUND MOFLOW" SUCTION OUTLET COVER

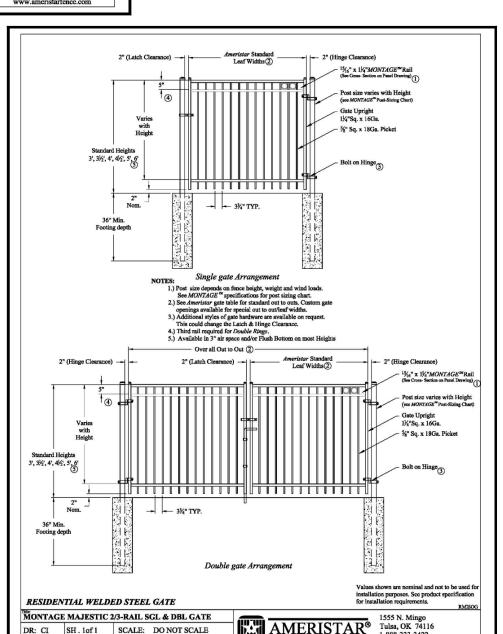
VGB CERTIFIED Floor Flow Rating Wall Flow Rating Sump Depth Open Are
SPECIFICATIONS 158 GPM at 1.6 fps 162 GPM at 1.7 fps 3" minimum 31.3 in?

877-768-2717 F 877-276-POOL Outside the US: P +1-949-336-1940 F +1-949-336-1940

POOL SUCTION-

WITH 6" SOCKET DEEP PVC SUMP





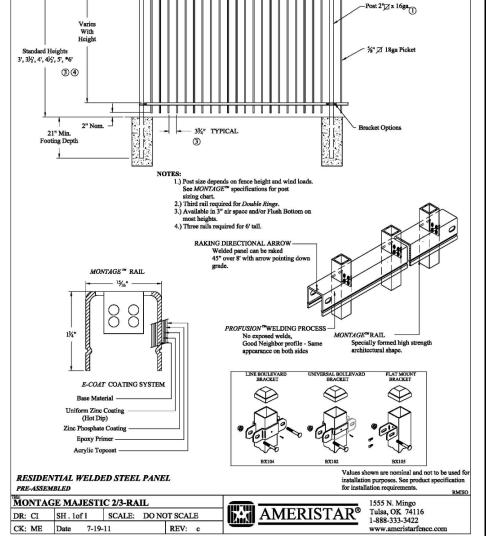
CK: ME Date 6/28/10

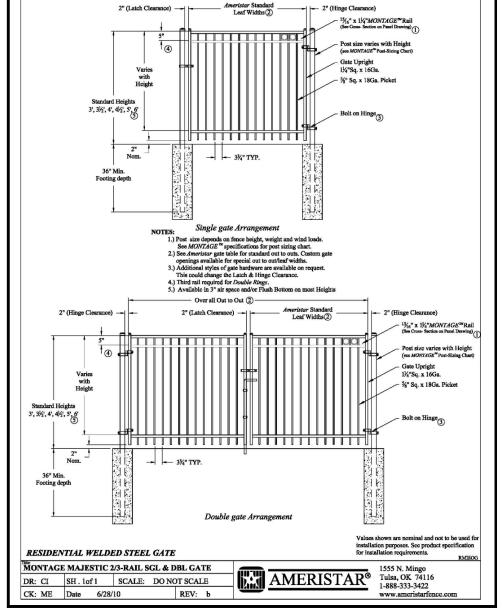
3. The aquatic vessel shall be provided with a laser or infrared alarm that is listed and labeled in

the protection afforded by Items 1, 2 or 3. <u>POOL ALARM REQUIREMENT</u> INFO NTS



SHEET SIZE 24 X 36





NTS



POOL DETAILS

GOOLSBY RESIDENCE

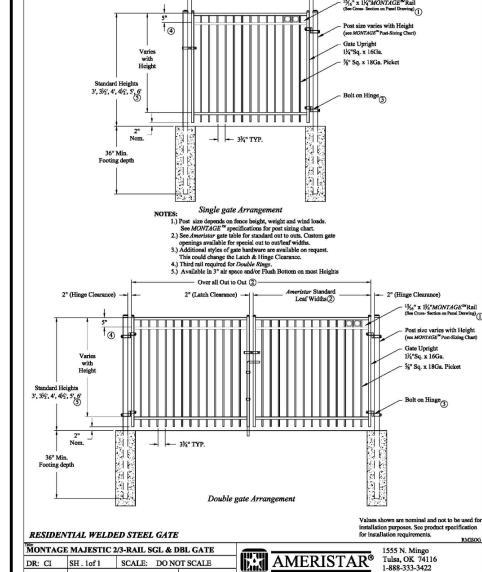
ATLANTA, GA 30327

O-EO(ED) BY 2-01-2023

ADAM ARDON = 404-556-8691

450 EMORY CIRCLE NE

DATE OF PRINT 01-19-2024



PERMANENT FENCE-SPECIFICATIONS

305.4 Structure wall as a barrier. Where a wall of a dwelling or structure serves as part of the barrier, doors and operable windows with a sill height of less than 48 inches, that provide direct access to the aquatic vessel through the wall shall be equipped with an alarm that produces an audible warning when the door or its screen or window, is opened. The alarm shall be listed and labeled in accordance with UL 2017. In dwellings or structures not required to be Accessible units, Type A units or Type B units, the deactivation switch shall be located 54 inches (1372 mm) or more above the threshold of the door. In dwellings or structures required to be Accessible units, Type A units or Type B units, the deactivation switch shall be located not greater than 54 inches (1372 mm) and not less than 48 inches (1219 mm) above the threshold of the door. In addition, one or more of the following additional levels of protection 1. The aquatic vessel shall be equipped with a power safety cover that is listed and labeled in

2. The aquatic vessel shall be provided with an underwater alarm that is listed and labeled in

Other means of protection, such as self-closing doors with self-latching devices, which are approved, shall be accepted provided that the degree of protection afforded is not less than



NEW ELECTRIC AND GAS SERVICE TO POOL AREA TO BE PERMITTED SEPARATELY BY LICENSED PROFESSIONAL

TIMER/ SWITCH POOL CONTROL

BARRIER REQUIREMENTS

Section IV: SAFELY ENJOYING YOUR POOL

ENTRAPMENT PROTECTION

The National Spa and Pool Institute (NSPI) recommends that owners of swimming pools keep certain safety equipment on hand at all times:

A light, strong, rigid pole not less than 12 feet long.

2. A minimum ¼ inch diameter throwing rope as long as one-and-one-half times the maximum width of the pool, which has been firmly attached to a Coast Guard approved ring buoy having an outside diameter of

OWNERS OF POOLS MUST ALWAYS EXERCISE GOOD JUDGMENT AND CONTROL OVER FAMILY MEMBERS AND GUESTS WHO USE THEIR POOLS. WHILE RESIDENTIAL POOLS ARE NOT REQUIRED TO HAVE "POSTED" RULES, CERTAIN GUIDELINES ADD TO SAFE ENJOYMENT. THESE GUIDELINES INCLUDE, BUT ARE NOT LIMITED TO:

Solo swimming is discouraged.

2. Small children and other non-swimmers should not be in the pool area unless accompanied by responsible adult who can swim.

3. Any child not potty trained should wear plastic pants or a swim diaper to decrease risk of bacterial

4. No glass articles should be allowed in or around the pool. When breakage occurs, it is very difficult to remove all the tiny sharp fragments from the pool deck or pool bottom.

5. No running or rough play should be permitted. Also, persons showing signs of intoxication are at greater risk around the pool.

No swimming should be allowed when thunder or lightning can be seen or heard.

7. Headfirst diving should be prohibited unless the pool has been designed with an area deep enough to allow safe diving, and diving is restricted to that specific safe area, such as a diving board or platform.

It is the responsibility of the pool owner to maintain the pool in a safe, healthy condition, including maintaining water quality. Owners who allow their pool to "go green," by not operating the filter system and/or maintaining appropriate chemical balance, will be in violation of the City of Alpharetta Property Maintenance Code, are may be summoned to appear before the Code Enforcement Board or in Alpharetta

City of Alpharetta Community Development Department, Inspections & Codes Enforcement Division

2 Park Plaza, Alpharetta, Ga. 30009 Tel: 678-297-6080 Fax: 678-297-6081 Revised 2020

NTS



-Before starting land disturbing activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control. -Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION. SILT FENCE

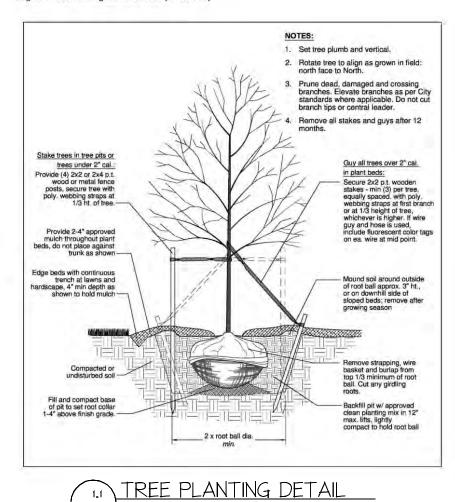
- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.

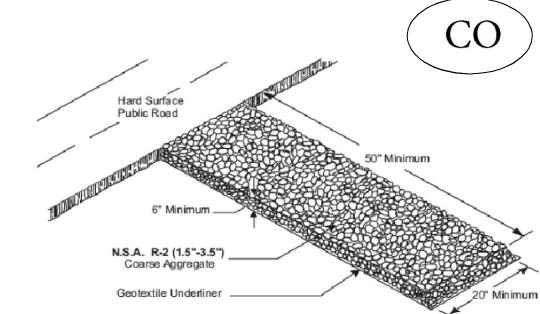
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding; disturbed areas idle 30 days shall be stabilized with permanent vegetation.
- MAINTENANCE STATEMENT
- Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
 -Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection. DIRT STATEMENT
- No graded slope shall exceed 3h:1v
- Permanent vegetation shall be established after construction is complete.
- -Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of silt or sediment.
- The stormwater discharge from a downspout, cistern, or any water collection device shall be located a distance of no less than ten feet from

common property line and oriented so direction of concentrated flow is not toward the adjacent property line. - Discharge from any downspout described above must be dissipated, infiltrated, or diverted such that flows will not be concentrated. -No person shall erect, construct, or otherwise permit and obstruction that prevents the natural or contained flow of water to any component of the stormwater system of DEKALB COUNTY WATER unless such obstruction is allowed on part of an approved permit.

LANDSCAPE, TREE AND BUFFER SUBMITTAL PLANS AND PLANTING STANDARDS

Figure 5 - Tree Planting Standard Detail (not to scale)





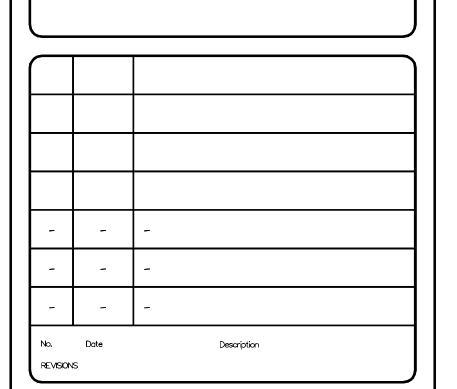
The exit shall be maintained in a condition which will prevent tracking or flow of mud into the public rights of way. This may require periodic top dressing with 1.5-3.5 inch stone, as condoitions demand, and repair and/or clean out of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drainsmust be removed immediately.



RELEASED FOR CONSTRUCTION









PO BOX 683096 MARIETTA, GA 30068

ADAM ARDOIN - 404-556-8691

EROSION CONTROL TREE PROTECTION DETAILS

GOOLSBY RESIDENCE

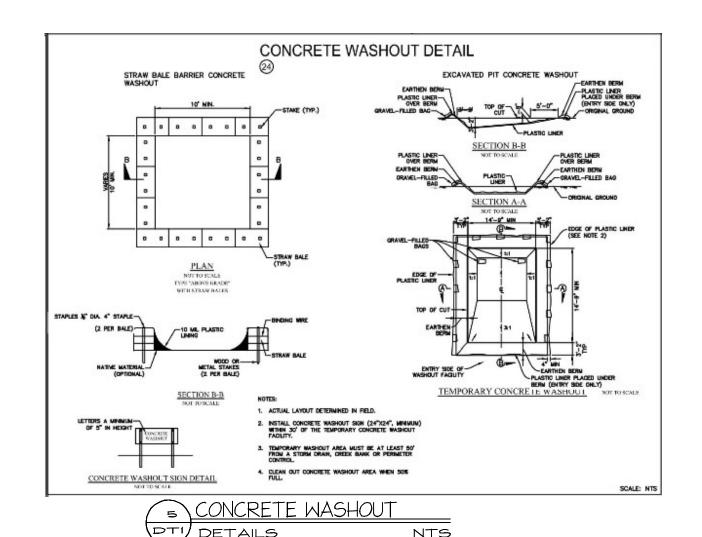
450 EMORY CIRCLE NE

ATLANTA, GA 30307

SCALE	VARIES	PROJECT NO.
DRAWN BY	7	20
CHECKED BY		SHEET NO.
DATE	01-08-2024	$ D^{T} $
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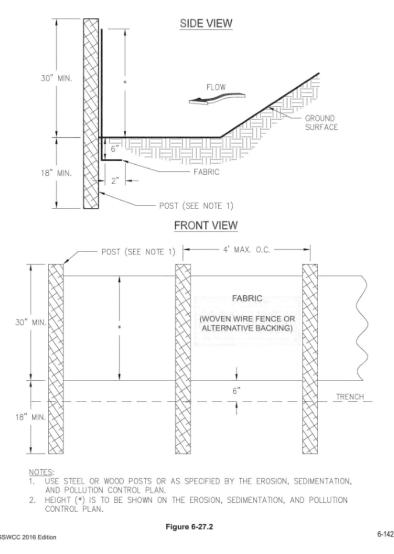
DATE OF PRINT 01-08-2024

Contact 811 before you dig.



SILT FENCE - TYPE C

DT/ STANDARD

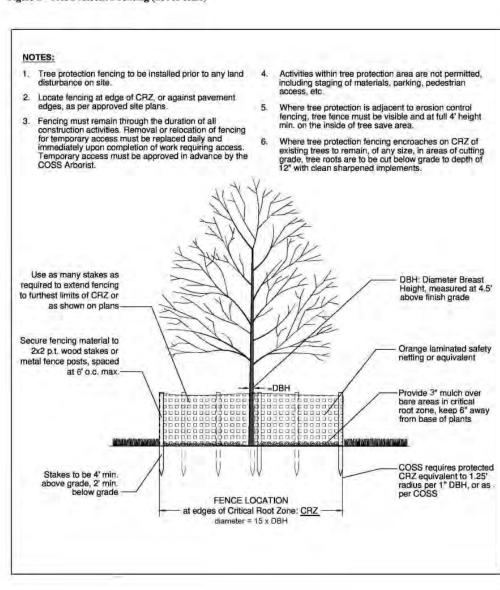


Sensitive Areas* (Sd1-S) Sediment barriers being used as Type S shall have a support spacing of no greater than 4 feet on center, with each being driven into the ground a minimum of 18 inches. *As of January 1 2016, in the existing Georgia Department of Transportation Qualified Products list #36 (QPL- 36), Type A, B, or C will fall under will be classified as sensitive and Type A and B as non-sensitive. Refer to Appendix A-2 and the Equivalent BMP List.



LANDSCAPE, TREE AND BUFFER SUBMITTAL PLANS AND PLANTING STANDARDS

Figure 2 - Tree Protection Fencing (not to scale)



protection area are not materials, parking, pede	
on is adjacent to erosion must be visible and at fu free save area.	
on fencing encroaches on nain, of any size, in area e to be cut below grade ened implements.	s of cutting
	eter Breast asured at 4.5' n grade
Orange lam netting or ed	inated safety quivalent
Provide 3" n bare areas i root zone, k from base o	n critical eep 6" away
CRZ equiva	ires protected lent to 1.25' " DBH, or as

DS1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	Ds 1	Establishing temporary protection for disturbed areas where seedings may not have a suitable growing season to produce an erosion retarding cover.
DS2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	Ds2	Establishing a temporary vegetative cover with fast growing seedings on disturbed areas.
DS3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, sod, or legumes on disturbed areas.
DS4 DISTURBED AREA STABILIZATION (WITH SODDING)	Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.

ing Only) Mulching can be used as a singular erosion nent Vegetation) Permanent (perennial) vegetation or control method on areas at rough grade. Mulch can be sod shall be used immediately on areas at final grade. an option for up to six months provided that the mulch Permanent (perennial) vegetation shall be used on is applied at the appropriate depth (depending on type of mulch used), anchored, and has a continuous 90% than six months. cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth, anchorage, and 90% cover. If an area will remain undisturbed for greater than six months, permanent (perennial) vegetation shall be used.

Ds2 - Disturbed Area Stabilization (With Temporary Seeding) Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months.

Ds1 - Disturbed Area Stabilization (With Mulchrough graded areas that will be undisturbed for more

> Ds4 - Disturbed Area Stabilization (With Sodding) may be used in place of Ds3.

"Stabilization" of an area is accomplished when 70 percent of the surface area is covered in a uniform, vegetative cover (permanent or temporary) or anchored mulch of the appropriate thickness with 90% coverage. "Final stabilization" means that all soil disturbing activities at the site have been completed, and that for unpaved areas and areas not covered by permanent structures, at least 70% of the soil surface is uniformly covered in permanent vegetation or equivalent permanent stabilization measures (such as the use of rip rap, gabions, permanent mulches or geotextiles) have been

DISTURBED AREA

SITE DATA

ZONING:

PARCEL ID: 18 052 14 004 LAND LOT: LAND LOT 17 4th DISTRICT

13,068 SF OR 0.3 ACRES ADDRESS: 450 EMORY CIRCLE NE

ATLANTA, GA 30307 JASON GOOLSBY OWNER:

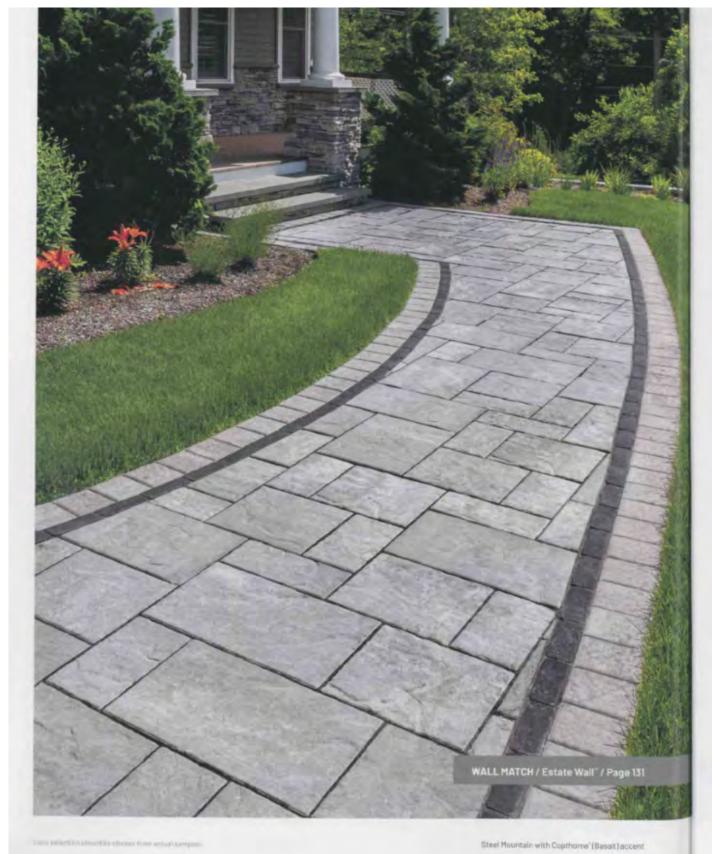
24 HOUR CONTACT:

OWNER/SITE INFO SHEET SIZE 24 X 36

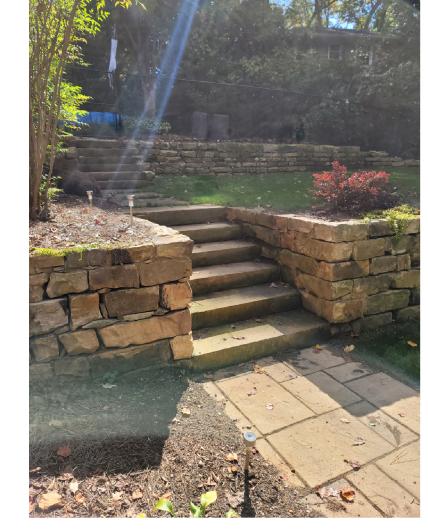
ADAM ARDOIN - 404-556-8691

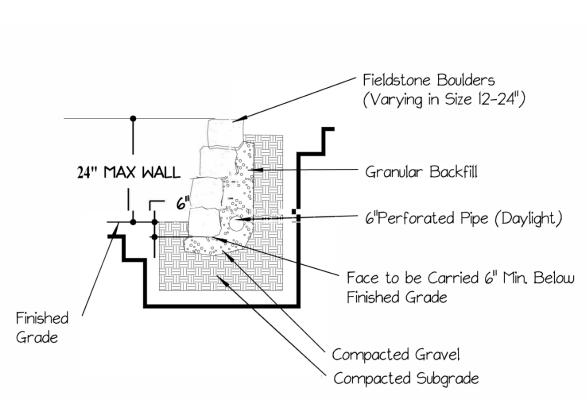
Powered by DyneSCAPE®

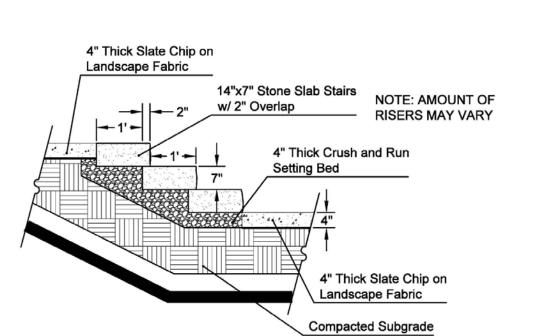
RELEASED FOR CONSTRUCTION













PARCEL ID: 18 052 14 004 LAND LOT: LAND LOT 17 DISTRICT 4th DISTRICT

ACREAGE: 13,068 SF OR 0.3 ACRES ATLANTA, GA 30307

OWNER: JASON GOOLSBY 24 HOUR CONTACT:

ADAM ARDOIN - 404-556-8691



BEACON HILL™ FLAGSTONE

striking visual day or night.

STANDARD BEDDING COURSE - 1" thick of coarse sand- in accordance with

ALTERNATIVE PERMEABLE BASE - Min. 6" - 8" of %" clear open-graded stone

compacted to achieve full particle lock-up and consolidation. (Clear open-graded does not

ALTERNATIVE PERMEABLE BEDDING COURSE - 1" thick of 1/4" clear open-

and in some applications pavers are very successfully placed directly over concrete. Concrete as a base is in itself quite strong, but it can affect the structural integrity of the paver

particularly in vehicular applications, where the concrete below is sub-par. The following

1. Concrete integrity - concrete must be in good condition, and not crumbling

considerations must be taken into account to insure that the concrete below the surface is

2. Drainage slope – concrete below must be sloped away from all buildings and structures

4. Base drainage - the area below the concrete must not be subject to frost movement

7. Jointing Sand - Use an impervious polymeric sand when installing over concrete

JOINTING MATERIAL AND JOINT STABILIZATION

3. Drainage holes - In lowest areas of the concrete, drill 1" holes in concrete (on 12" centers)

5. Surface - surface must be totally smooth and flat equivalent to the desired finished surface

6. Waterproofing - may be required when installing pavers over concrete where there is a basement or cold cellar below. Install an Impervious rubber membrane over the surface prior

compact but does consolidate slightly by rattling the particles together.)

graded chip stone - (ASTM No. 8) screeded over base.

to installing any pavers over the surface.

All sands must meet ASTM C144 or C33 Specifications. For best appearance and optimal performance,, keep jointing materials approximately 1/8" below the chamfer (bevel edge) of Good Option: Ordinary sharp jointing sand in accordance with ASTM C144 or C33. (Common

Best Option: Any polymeric sand or ordinary concrete sand stabilized by a waterbased or solvent-based joint sand stabilizer sealer. Always follow manufacturer's application

HANDLING - This product has no special handling requirements, but a vacuum placer tool may be used to more easily install XL units. EDGE RESTRAINT - Always install an edge restraint around the perimeter of any paver installation not restrained by building structures. Spike-in edge restraints come in plastic and metal and work well for most applications. A concrete curb or a sub-surface concrete wedge

compactor when doing the final compaction of the pavers. An alternative is to use a rubberroller compactor for the final compaction.

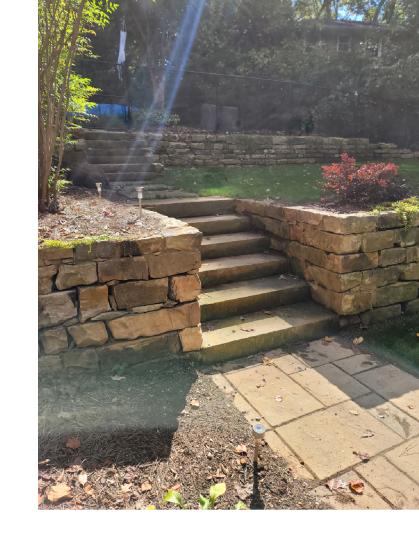
rates and application procedures. Always test a small area to make sure the results are as

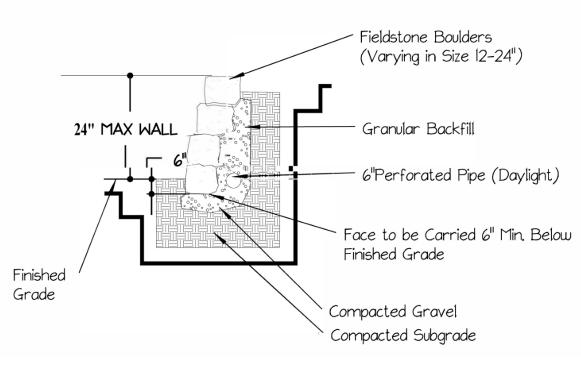
 Select type for desired aesthetics · Product must be cleaned before sealing · Always read and follow manufacturer's application procedures

· Always test a small area to make sure the results are as expected

used for color restoration or general cleaning. Follow manufacturer's dilution

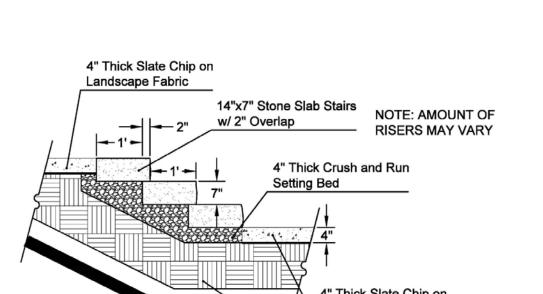
criteria to determine compliance, not individual product evaluation. Gaps, joints or openings, greater than ½" horizontal and ¼" vertical should be avoided as they can disrupt wheelchair maneuvering (United States Access Board - Guidelines and Standards).





GARDEN WALL

SECTION



NTS

REVISIONS



SITE DATA ZONING:

ADDRESS: 450 EMORY CIRCLE NE

PROJECT NO. VARIES DRAWN BY JJ CHECKED BY 12-01-2023 DATE OF PRINT 02-07-2024

LANDSCAPE STUDIO GROUP

PO BOX 683096

MARIETTA, GA 30068

404-556-8691

DETAILS

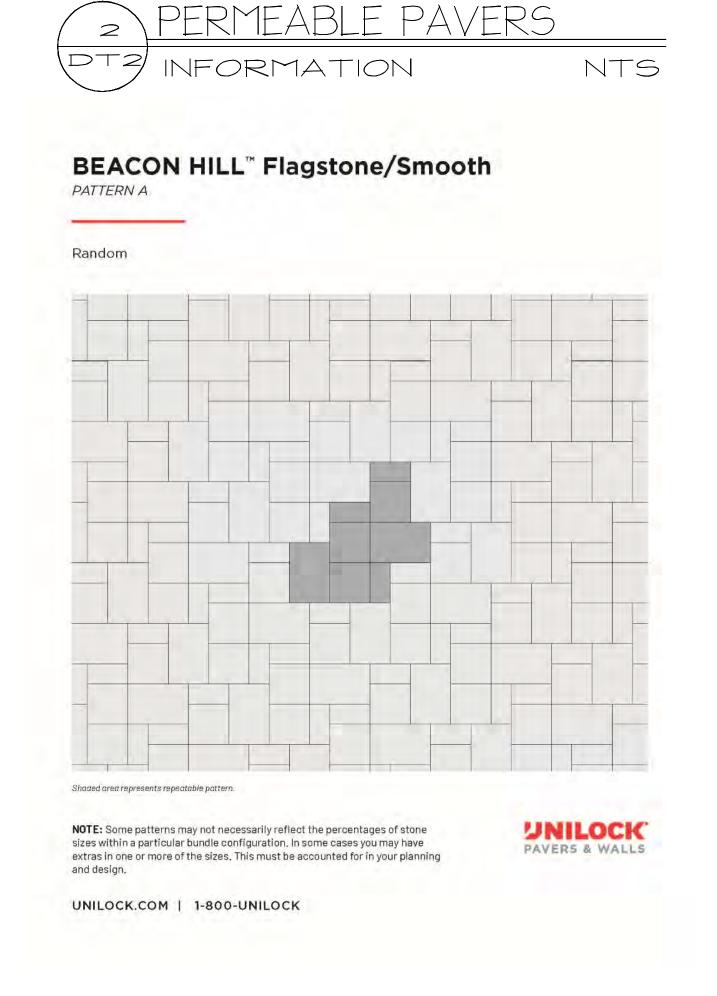
GOOLSBY

RESIDENCE

450 EMORY CIRCLE NE

ATLANTA, GEORGIA 30307

POOL COPING- BLUESTONE INFORMATION PAVING STONE REF: CS_COM_Paver_Permebale_Base_High_Performance_Bedding (HPB) CROSS SECTION Permeable Base With High Performance Bedding (HPB) Standard Joint Sand 1" Bedding Material: Open-Graded, Crushed, Angular ASTM No.8 or No.9 (HPB) 6" Min. Base Material: Open-Graded, Crushed, Angular ASTM No.57 Drivegrid Geogrid Subgrade - Undisturbed This cross section is intended for preliminary design purposes only. Confirm site conditions and consult with a qualified design professional or installer prior to installation. **UNILOCK** PAVERS & WALLS UNILOCK.COM | 1-800-UNILOCK



HOURS OF CONSTRUCTION: MONDAY-FRIDAY 7AM-7PM SATURDAY 8AM-5PM

THERE IS NO WORK ALLOWED ON SUNDAY. OWNER/SITE INFO SHEET SIZE 24 X 36

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CONCRETE PAVER-INFORMATION



