

DeKalb County Historic Preservation Commission

Monday, April 15th, 2024- 6:00 P.M.

Staff Report

Consent Agenda

C. 1083 Oakdale Road, Scott Young. Install a pool and retaining wall in backyard. **1246961.**

Built in 1925 (18 002 06 029)

This property is located in Druid Hills Character Area #1 and in the Druid Hills National Register Historic District.

- 03-98 1083 Oakdale Road, Michael Nash (Small Carpenters-at-Large). Two-story rear addition. Approved.
- 09-02 1083 Oakdale Road (DH), Andrew L. Dannenberg. Repair front steps and repave driveway, front walk, and public sidewalk in existing footprint. Deferred.
- 10-02 1083 Oakdale Road (DH), Andrew L. Dannenberg. Repair front steps and repave driveway, front walk, and public sidewalk in existing footprint. Deferred from 9/02. Approved.
- 08-13 1083 Oakdale Road (DH), Eric Rothman. Replace nonhistoric rear addition, nonhistoric front stoop, and nonhistoric garage, and remove nonhistoric swimming pool. 18765. Approved with Modification.
- 03-14 1083 Oakdale Road (DH), Eric Rothman with Hammersmith. Install a temporary chain link fence around the property to prevent thefts while the house is unoccupied and undergoing construction. 19186. Approved with Modification.
- 03-16 1083 Oakdale Road (DH), Scott M. Young. Build a basement access well, install a gate, relocate the front walk, realign part of the driveway, and add landscaping. 20642. Approved with Modifications.

Summary

The applicant proposes the following work:

1. Install an in-ground swimming pool in the backyard. The pool will be 948 square feet in size with a 9'-4" metal pergola and 24" seat wall along the left side. A set of boulder steps will be installed coming from the back yard into the pool.
2. Install retaining wall in the backyard to the right of the proposed pool. The retaining wall will be constructed from boulders and measure 2' in height
3. Install a black aluminum fence around the backyard to enclose pool area. The fencing will be 5' in height, will run along the side and rear property lines, and replace an existing section of chain link fence located on the side yard. A 5' self-latching aluminum gate will be installed at the front-left corner of the house.
4. Install a gravel parking pad. The parking pad was installed by a previous owner without the approval of the HPC. The parking pad is located along the Northeastern side of the driveway in the front of the property and measures 38'x10'.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the

owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to "soften" the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 9.5 *Parking* (p90) Guideline - Parking should be addressed in a manner that does not distract from the overall character of the district. Parking to serve private residential lots should be accommodated on-site, when at all possible, using the pathway of original drives and parking. Front yard parking should not be allowed unless it is a public safety issue. When front yard parking is necessary, it should be added in a manner that does not destroy the unbroken landscaped character of the front yard spaces in Druid Hills. Rear yard spaces should be considered for expansion of parking areas.
- 9.5 *Parking* (p90) Recommendation - It is preferable to expand an existing driveway for parking rather than to add a separate parking pad, since the result is usually less paved surface. Plant materials can be added around parking spaces to visually buffer the parking from the street.
- 9.5 *Parking* (p90) Recommendation - In surfacing new parking areas, the use of impervious paving materials is discouraged. The intent is to limit the amount of run-off within the district's watershed. Consideration should be given to the use of porous materials that allow water penetration and preserve the open character of the landscape.



Chief Executive Officer **DEPARTMENT OF PLANNING & SUSTAINABILITY**
Michael Thurmond

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: _____ Date Received: _____

Address of Subject Property: 1083 OAKDALE ROAD ATLANTA, Ga

Applicant: SCOTT YOUNG E-Mail: scottyyoung365@gmail.com

Applicant Mailing Address: 1493 SANDEN FERRY DR. DECATUR, GA 30033

Applicant Phone: (678) 822-3115

Applicant's relationship to the owner: Owner Architect Contractor/Builder Other

LANDSCAPE ARCHITECT

Owner(s): PETER CARTER Email: pwcarter63@gmail.com

Owner(s): THERESA CARTER Email: theresakirwncarter@yahoo.com

Owner(s) Mailing Address: 1083 OAKDALE ROAD

Owner(s) Telephone Number: THERESA CARTER (612) 701-2516

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

New construction	<input checked="" type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input type="checkbox"/>	Landscaping	<input checked="" type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input type="checkbox"/>	Fence/Wall	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

INSTALLATION OF PROPOSED SWIMMING POOL AND RETAINING WALLS AS NEEDED TO LEVEL REAR YARD FOR POOL. FENCING AS REQUIRED TO SECURE POOL FROM OUTSIDE ACCESS.

* ADD GRAVEL PARKING PAD (INSTALLED BY PREVIOUS OWNERS) ALONG THE NORTHEASTERN SIDE OF THE DRIVEWAY. OWNER WOULD LIKE TO KEEP THE PARKING PAD (37'-1-3/4" x 9'-8 1/2") PHOTO AND SKETCH ALSO ATTACHED

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant:  4/12/2024

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Theresa Carter

being owner(s) of the property at: 1083 Oakdale Rd NE

hereby delegate authority to: SCOTT Young

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): Theresa K Carter

Date: 3/7/24

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

Permit Review Contact - Cindy Silver (770) 597-3994
cindysilver@constructionoutsources.com



RESIDENTIAL SWIMMING POOL AGREEMENT & REQUIREMENTS FORM

Division of Environmental Health
445 Winn Way, Suite 320
Decatur, GA, 30030
Phone: 404-508-7900
Fax: 404-508-7979
www.dekalbhealth.net

I understand that the approval granted to me by the DeKalb County Board of Health for the installation of a *private residential swimming pool* is based upon the following requirements:

1. The construction of a five foot (5') barrier with no hand-holds or foot-holds, a self-closing/self-latching gate which encloses the pool area and that meets minimum County requirements, must be installed immediately upon completion of the swimming pool installation.
2. The DeKalb County Board of Health shall be notified to schedule an inspection within two (2) weeks of the swimming pool barrier completion. To schedule the inspection, call the Division of Environmental Health: 404-508-7900
3. The barrier and gate(s) must be maintained throughout the lifetime of the pool.
4. Any pool that is closed, not open, not in use or operation, or a seasonal pool that is closed until the next swim season, shall be maintained in a sanitary condition. If the owner has permanently ceased using the pool, he/she shall create an opening through the shell of the bottom of the pool for draining, and fill the entire pool with clean earth. *Neither an abandoned pool, nor any pool not in use, shall be allowed to create a nuisance under law.*
5. If the residential swimming pool is constructed on a property served by an on-site sewage management system (septic tank and drain field), the owner is responsible to ensure that the installation of the swimming pool will not cause damage to the existing on-site sewage management system, and there will be enough room for a replacement area, if the system fails. If damage does occur to the system, the property owner will be required to repair or replace the system according to the DeKalb County Board of Health requirements.

Property Address: 1083 Oakdale Rd Atlanta 30307
(Street) (City) (Zip code)

Property Owner: Peter Carter 10-16-2023
(Signature) (Printed Name) (Date)

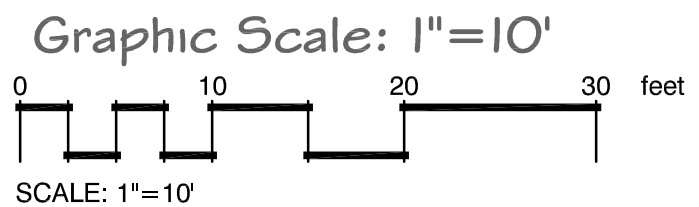
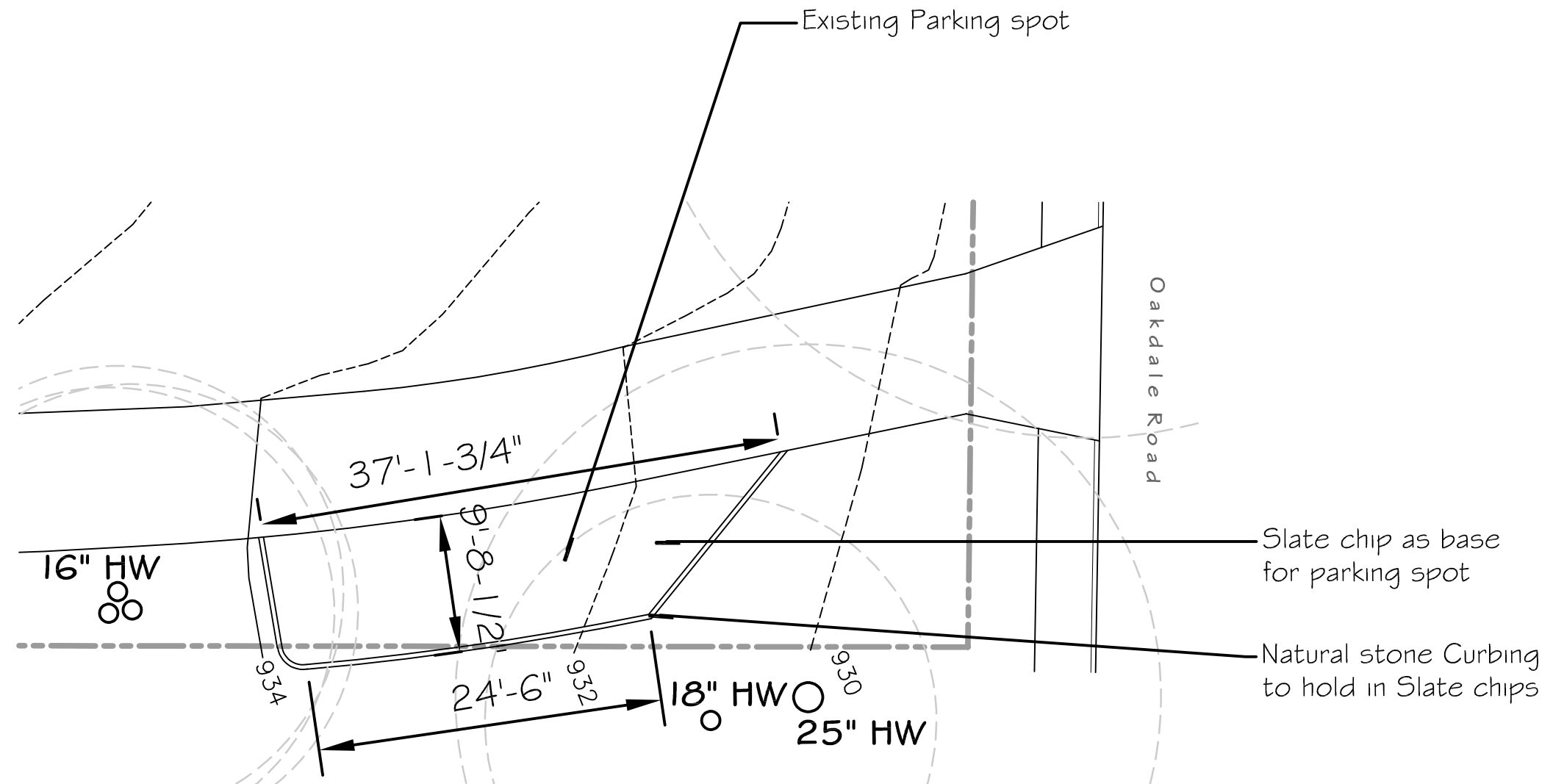
Phone: 678-226-9253 Email: peter.carter@deltac.com

Contractor Name & Business Address: TBD Bennett Custom Pools (<ark Bennett)
4420 S Lee Street #114, Buford, GA 30518

Contractor Phone: 404-925-5842 Email: m.bennettpools@yahoo.com

Approval Granted: Date: 1/29/2024

Barrier Follow-up Inspection Completed By: _____ Date: _____



The Carter Residence Parking Spot layout

1083 Oakdale Road
Atlanta, Georgia

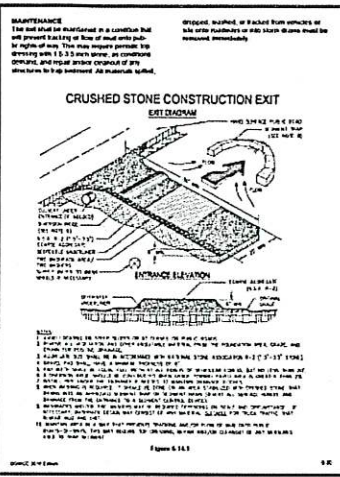
Date : 4-12-2024

 young² studios
landscape architecture • land planning

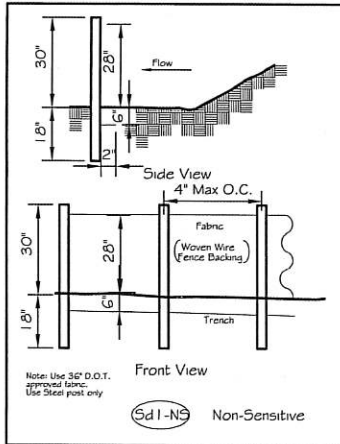
scott young
principal
c. 678.822.3115
t. 770.938.7609
scottyoung365@gmail.com

1493 sanden ferry drive • decatur, georgia 30033

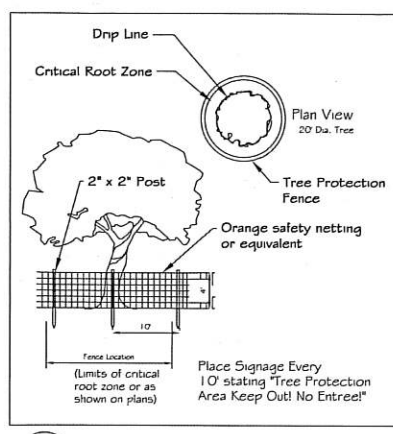




Co Construction Exit
Not To Scale



Sd1-NS Silt Fence Detail
Not To Scale



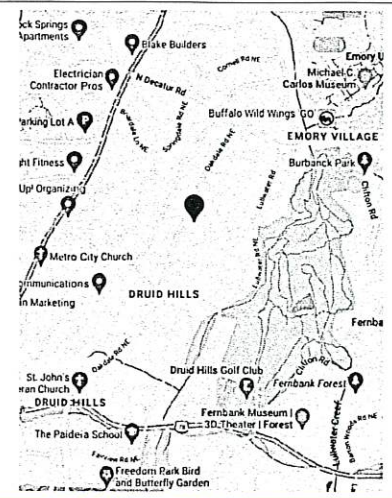
Tr Tree Protection Fence Detail
Not To Scale



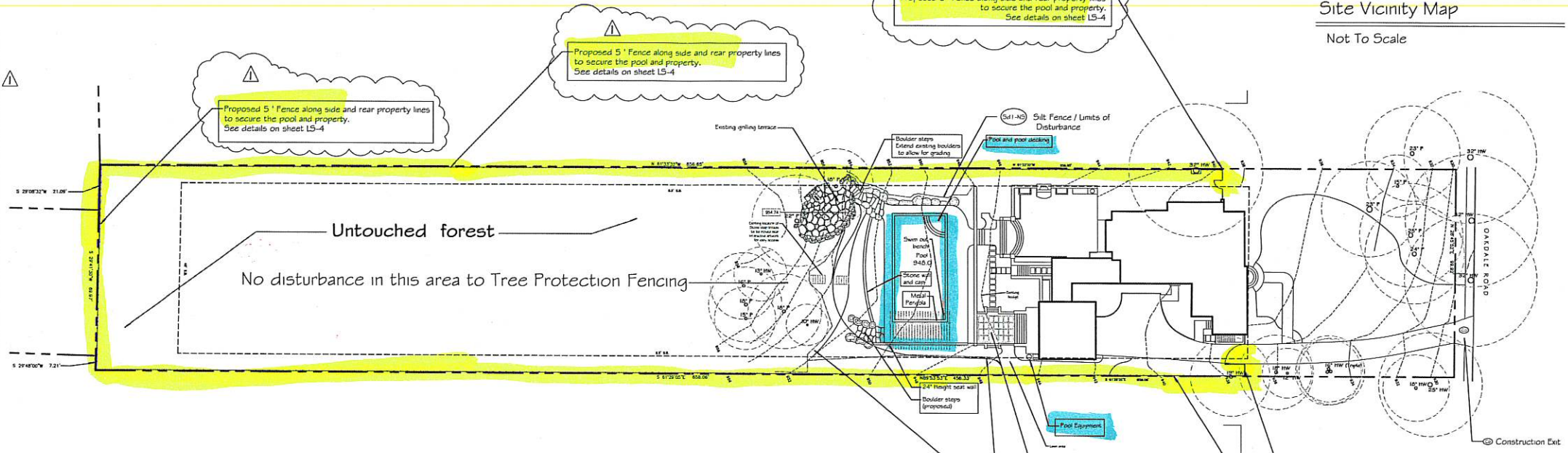
72 Hours notice is required to Georgia 811 Utility Protection Center before any planned digging

24 Hour contact Mark Bennett
(404) 925-5842

Note: Proposed Items labeled and surrounded by box



Site Vicinity Map
Not To Scale



Project Notes:
 Owner-Mr. Peter Carter and Mrs. Theresa Carter
 1083 Oakdale Road NE Atlanta, Georgia
 Land Lot 2, 18th District, DeKalb County, Georgia
 Zoned R-85
 Front setback: 100.4' S.B Average
 Side Setback: 8.5'
 Rear Setback: 40'
 Lot Area=65,388 s.f. (1.501 Acre)
 Maximum Lot Coverage= 35% - 65,388 x .35 = 22,885 s.f. impervious allowed
 Existing Impervious (all figures in square feet)
 House = 2,905.54
 Front steps / Sidewalk = 298.82
 Drive = 2,277.72
 Side steps / Daylight steps / Side entry = 169.35
 Garage (Carrage House) = 765.18
 Garage rear steps = 235.41
 Breezeway = 490.80
 Breezeway Steps = 123.07
 Lower Terrace = 1,766.19
 Stepping Stones = 50.64
 Bar-B-Q Terrace = 630.06
 Total Existing Impervious = 9,712.78 (14.8%)

Proposed Impervious (All figures in square feet)
 Boulder Wall (along pool decking) = 128.73
 Step Treads (pool deck to grill terrace) = 80.71
 Pool and Decking = 2,784.80
 Left Rear Steps = 169.65
 Stone Wall (Rear) = 59.96
 Terrace at Carrage House = 311.97
 Pool equipment = 18.00
 Total Proposed Impervious = 3,553.82

Existing Impervious (9,712.78) + Proposed Impervious (3,553.82) = 13,266.60 (20.3 %)

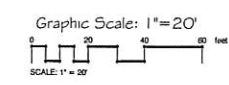
Total Cut = (Cubic Yards) = 307.96
 Total Fill 33.04
 Area Disturbed = 5,523.64 Square Feet

Survey and permit plan for this permit plan information taken from Survey by:
 Survey Systems Atlanta (404) 760-0010
 2156 W Park Ct. Suite D Stone Mountain, Georgia 30087
 Dated 9-24-2021

This property is not located in a flood hazard area as defined by FIRM Map of Fulton County, Georgia
 #13089C0061K Effective date August 15, 2019

APPROVED BY: Don Kenan
DATE: January 29, 2024
DEKALB COUNTY BOARD OF HEALTH
TECHNICAL SERVICES DIVISION
445 WINN WAY, SUITE 320
DECATUR, GEORGIA 30030

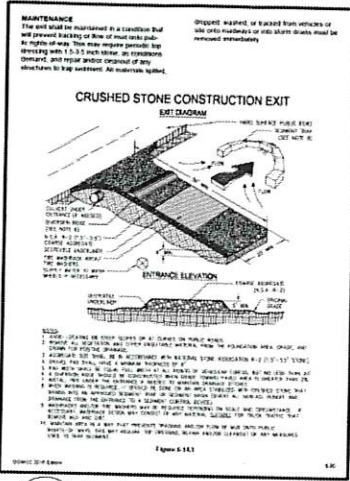
"This project will comply with the current applicable codes that apply to all the commercial and residential swimming pool projects during reviews and inspections:
 International building code, 2018 edition, with Georgia amendments(2020).
 -International Residential Code, 2018 edition, with Georgia amendments (2020)
 -International Fire Code, 2018 edition, (No Georgia amendments)
 International Plumbing Code, 2018 edition, with Georgia amendments (2020)
 International Mechanical Code, 2018 edition, with Georgia amendments(2020)
 International Fuel Gas code, 2018 edition, with Georgia amendments(2020)
 National Electrical Code, 2017 edition (NO Georgia amendments)
 International Energy conservation code,2015,with Georgia supplements and amendments(2020)
 International swimming pool and spa code,2018 Edition, with Georgia amendments(2020)
 Disaster Resilient Building Code IBC Appendix(2013)
 Disaster Resilient Building Code IRC Appendix(2013)
 International Property Maintenance Code, 2012 edition, with Georgia Amendments(2015)
 International Existing Building Code, 2012 Edition, with Georgia Amendments (2015)
 National Green Building Standard, 2008 Edition, with Georgia Amendments(2011)
 Georgia Accessibility Code-GA 120-3-20A (2010 ADA Standards for Accessible design)"



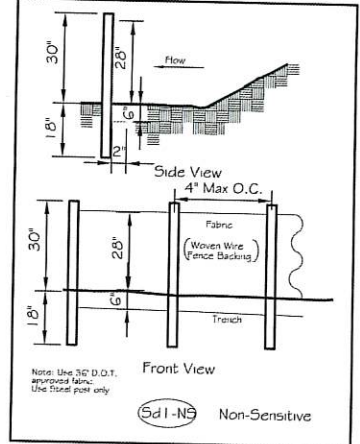
Site Permit Plan
 12-19-23 Revised to show proposed fencing to secure pool area.

The Carter Residence
 1083 Oakdale Road
 Atlanta, Georgia
 Date:12-4-2023

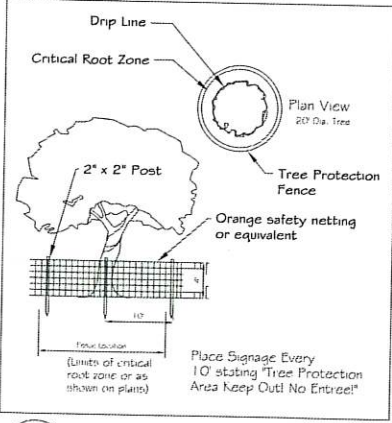
LS-1



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Sd1-NS Silt Fence Detail
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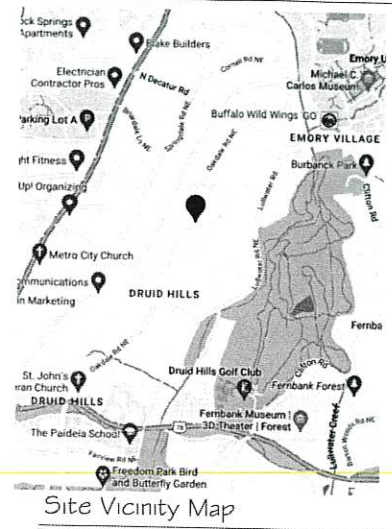
Tr Tree Protection Fence Detail
Not To Scale

Note: NO Trees will be disturbed

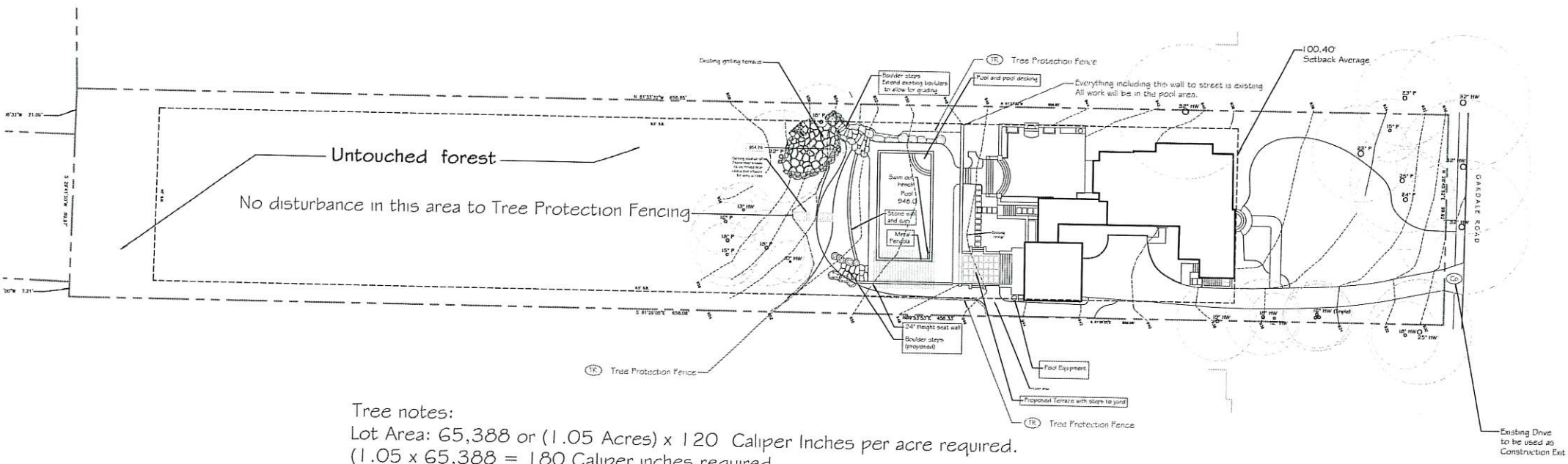


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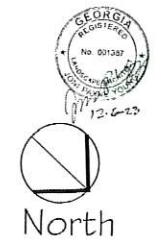
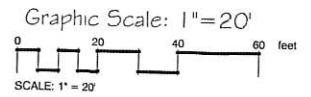
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 Total Cut = (Cubic Yards) = 307.96
 Total Fill 33.04
 Area Disturbed = 5,523.64 Square Feet
 Survey and permit plan for this permit plan information taken from Survey by:
 Survey Systems Atlanta (404) 760-0010
 2156 W Park Ct. Suite D Stone Mountain, Georgia 30087
 Dated 9-24-2021
 This property is not located in a flood hazard area as defined by FIRM Map of Fulton County, Georgia
 #13089C0061K Effective date August 15, 2019

Tree notes:
 Lot Area: 65,388 or (1.05 Acres) x 120 Caliper Inches per acre required.
 (1.05 x 65,388 = 180 Caliper inches required
 410" caliper inches for the Northwestern part of the property exist and will remain
 Forested area exists of large hardwoods on the rear Southeastern portion of the property which will be untouched.
 378" plus -- caliper inches will remain on the property
 378"+ > 180" therefore Tree Canopy Coverage is satisfied.
 Existing identified trees
 3) 32" Hardwood - 3 for 96"
 1) 25" Pine -25"
 1)24"Pine- 24"
 1)23" Pine- 23"
 1)22" Pine- 22"
 1)19" Hardwood-
 1)18" Hardwood
 3) 18" Pines for - 54"
 1)16" Hardwood
 1) 16" Pine
 2)15" Pine - for 30"
 1)13" Hardwood
 1)12" Hardwood
 1)10" Hardwood
 378" total for identified trees on property

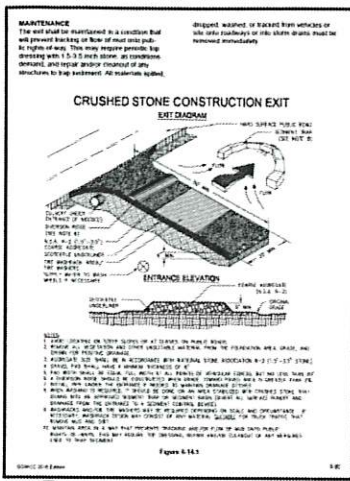
Plus Approximately 21,340 square feet or (.49 Acre) of undisturbed forest in rear part of property, which will be untouched.



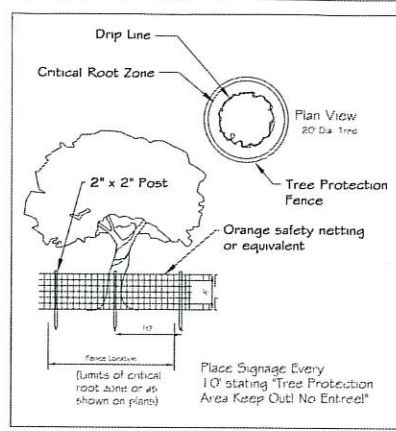
Tree Conservation Plan

The Carter Residence
 1083 Oakdale Road
 Atlanta, Georgia
 Date: 12-4-2023

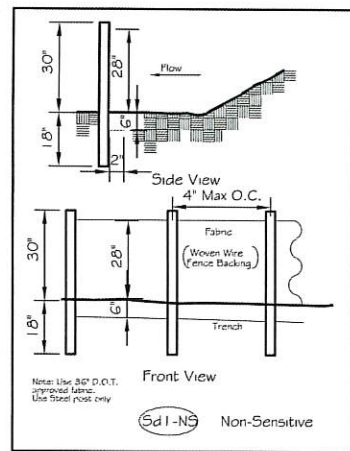
LS-2



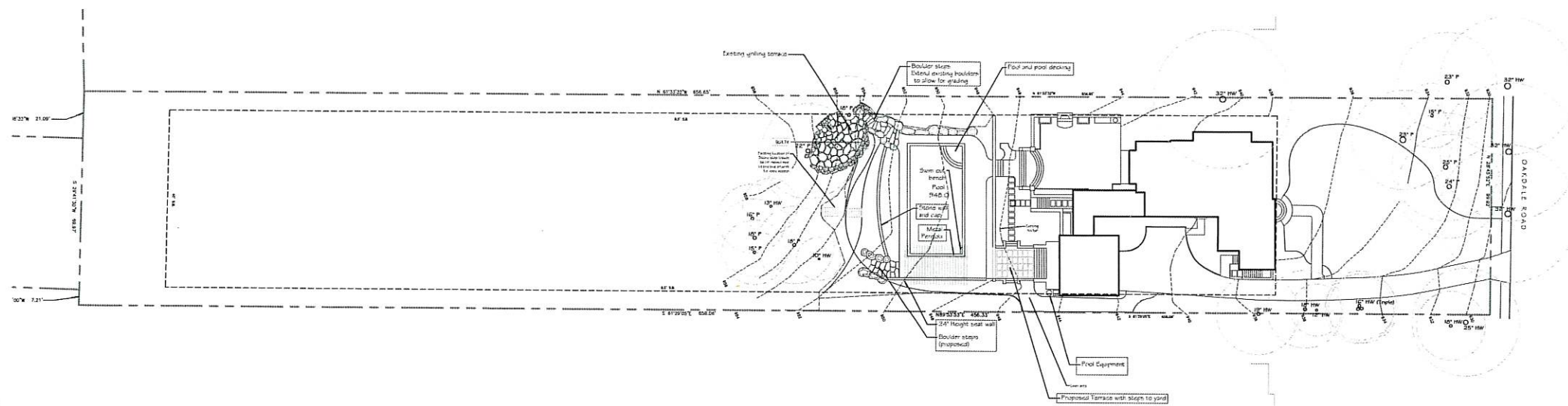
Co Construction Exit
Not To Scale



Tr Tree Protection Fence Detail
Not To Scale



Sd1-N5 Silt Fence Detail
Not To Scale



Note: Proposed Impervious is 3,241.54 square feet
3,553.82 < 5,000 square feet, therefore no Water Quality devices are needed in this project.

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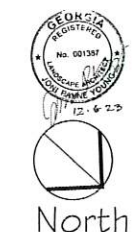
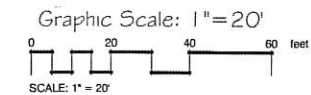
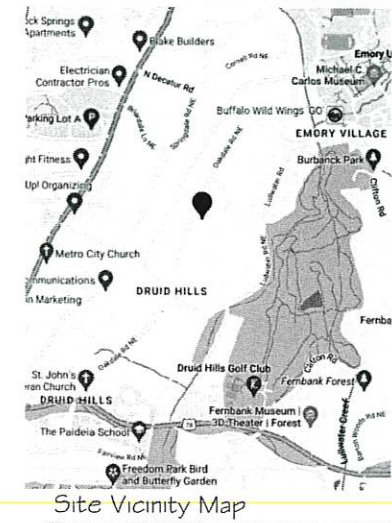
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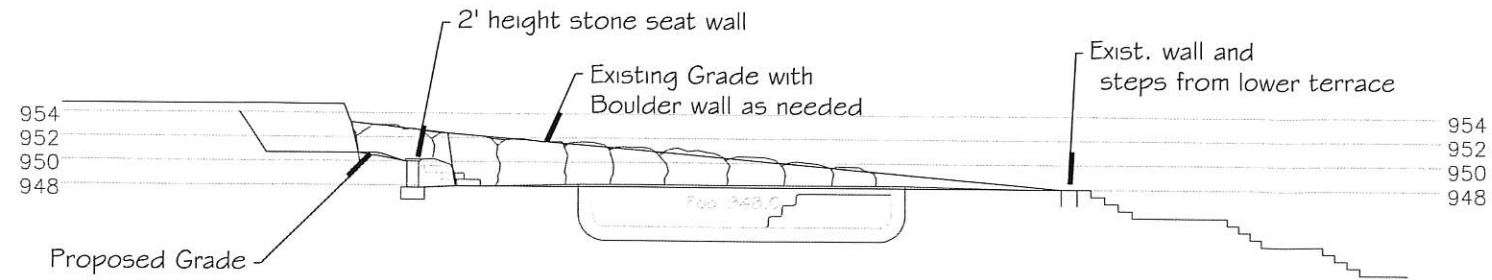
Erosion Sediment and Particulate Control

The Carter Residence
1083 Oakdale Road
Atlanta, Georgia
Date: 12-4-2023

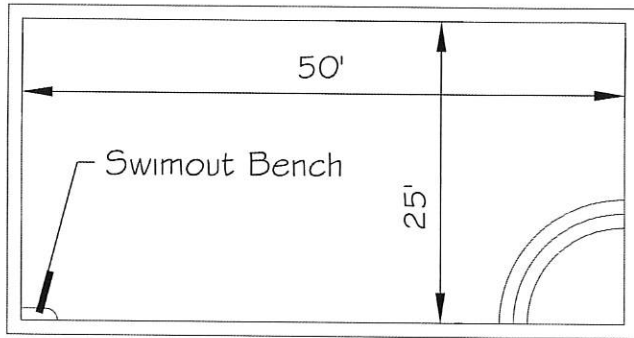
LS-3



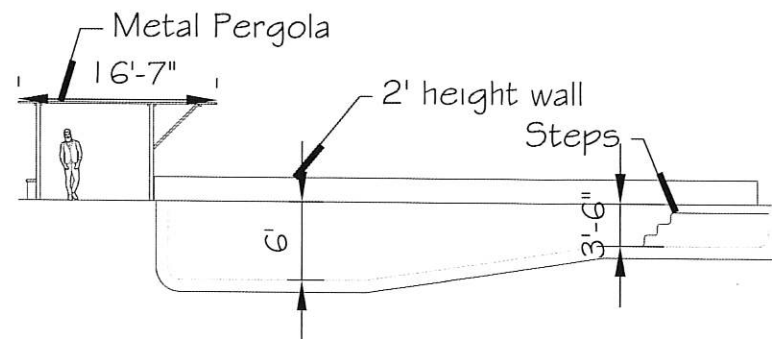
Site Vicinity Map
Not To Scale



Section Through Pool (Width of pool)
Scale : N.T.S.

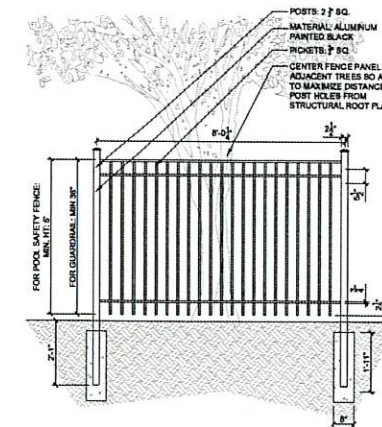
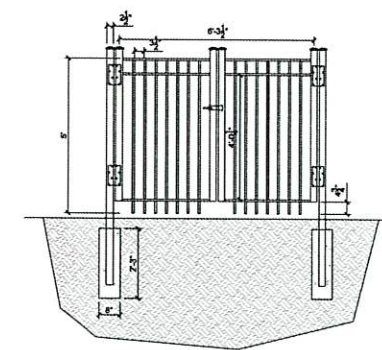


Pool Layout
Scale : N.T.S.



Section Through Pool (Length of pool)
Scale : N.T.S.

Pool Gate Detail
Scale : N.T.S.



Pool Fence Detail
Scale : N.T.S.

POOL CONTRACTOR:

Bennett Custom Pool Construction, LLC Mark Bennett (404) 925-5842
4420 South Lee Street #114
Buford, Georgia 30516

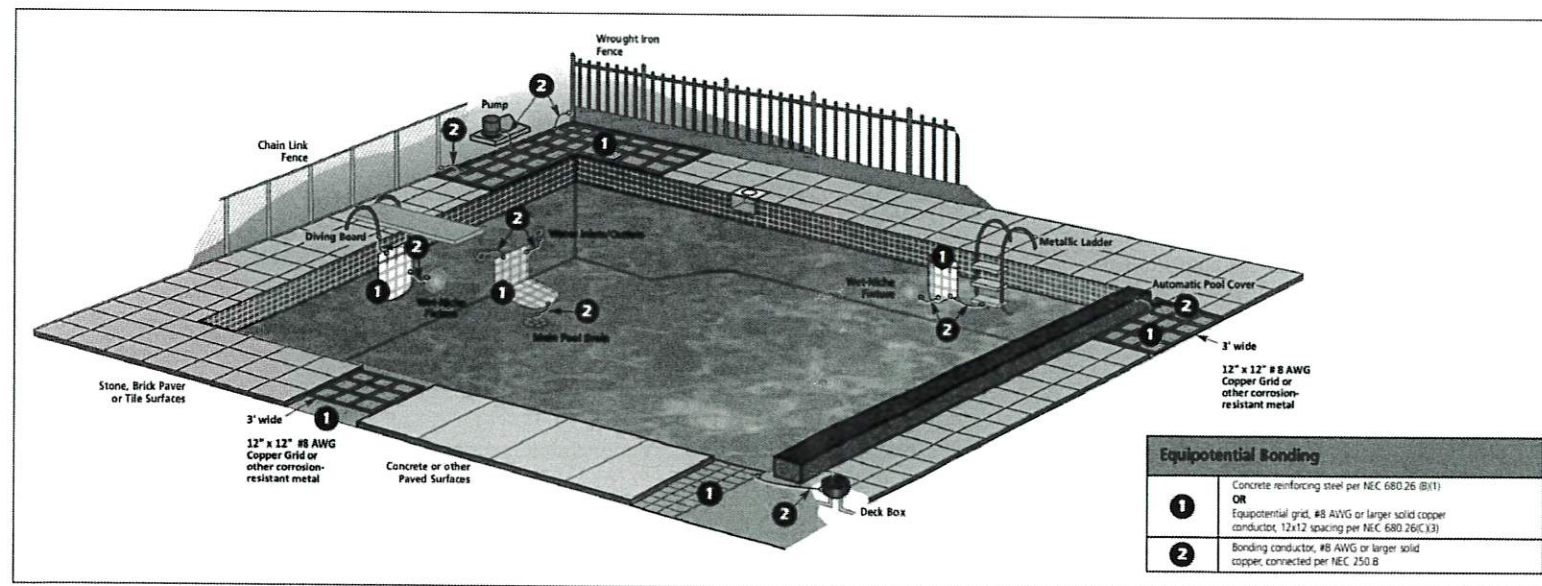
POOL NOTES:

- National Electrical Code (NEC) 70, Article 680.26
Equipotential Bonding of permanently installed swimming pools
The new requires equipotential bonding of all of the following metallic parts in a permanently installed swimming pool utilizing a #8 AWG copper or other corrosion-resistant conductor.
- 1. A bonding grid of #8 AWG copper or other corrosion-resistant conductor metal shall be installed around the perimeter of a pool deck for a minimum width of 3 feet as measured from the edge of the water. The bonding grid shall be set in the dimensions of 12' x 12'. (Prefab grid rolls and approved bond connections are available from WWW.ERICO.COM.)
- 2. Concrete reinforcing steel and metallic structural components- Reinforcing steel of pool shell and concrete pool deck shall be bonded to the conductor grid every 5'.
- 3. Under water lighting- All metallic parts of housing and mounting brackets.
- 4. Metal fittings- Metal fittings for pipes, drains, and water inlets.
- 5. Electrical equipment- All metal parts of any electrical equipment associated with the pool including pumps and recirculating equipment, heaters, blowers, and automatic covers.
- 6. Metallic tubing and conduit- Metal sheathed cable, metal piping, and all fixed parts.
In addition to metal wiring methods and equipment, any component within 5' horizontally and 12' vertically from the water must be bonded (Metal fencing included).
- 7. Pool water shall be bonded utilizing a sacrificial zinc anode tied to the bonding grid. (E.G. CMP brand pool defender).

- 1. Doors with direct access to the pool shall be equipped with an alarm that produces an audible warning when opened in accordance with international building code. Section 3109.4.1. BCI
- 2. New pool to be filled utilizing hose connected to house hose bibb. House hose must be outfitted with a backflow preventer.
- 3. Fence must be minimum height of 5 feet and max height of 6 feet. Fence to consist of vertical pickets spaced no farther than 4" o.c. with no "ladder effect" that could aid in unauthorized climbing.
- 4. Pools located in flood hazard areas shall comply with international residential code (IRC) 2012 Appendix G- section AG101.2. Note this proposed pool does not lie in a flood hazard area.
- 5. Provide barriers and restrict access to swimming pool for protection against potential drowning and near drownings. See IRC 2012 Appendix G-section AG105
- 6. Provide entrapment protection for swimming pool suction outlets in accordance with the IRC 2012 appendix G- Section AG105.
- 7. Provide equipotential bonding as per national electrical code (NEC) 2014 section 680.

This project shall comply with:

- 1. International mechanical code 2012 edition
- 2. International building code, 2012 edition with Georgia amendments (2014) (2015) (2017) (2018)
- 3. International Fuel gas code, 2012 edition with Georgia amendments (2014) (2015)
- 4. International Residential code, 2012 edition with Georgia amendments (2014) (2015) (2017)
- 5. International Electrical code, 2017 edition with no Georgia amendments (Effective 1/1/2018)
- 6. International Fire code, 2012 edition with Georgia amendments (2014)
- 7. International Energy code, 2009 edition with Georgia amendments (2011) (2012)
- 8. International Plumbing code, 2012 edition with Georgia amendments (2014) (2015)



Equipotential Bonding	
1	Concrete reinforcing steel per NEC 680.26 (B)(1) OR Equipotential grid, #8 AWG or larger solid copper conductor, 12x12 spacing per NEC 680.26(C)(3)
2	Bonding conductor, #8 AWG or larger solid copper, connected per NEC 250 B

Equipotential Bonding Detail
Scale : N.T.S.

Note:

Doors and windows in rear yard to have alarms placed so they will sound if opened.
Gates for pool access to be self-latching and self-closing.

Pool Details

The Carter Residence
1083 Oakdale Road
Atlanta, Georgia
Date: 12-4-2023

LS-4



MAGNALatch® ALERT

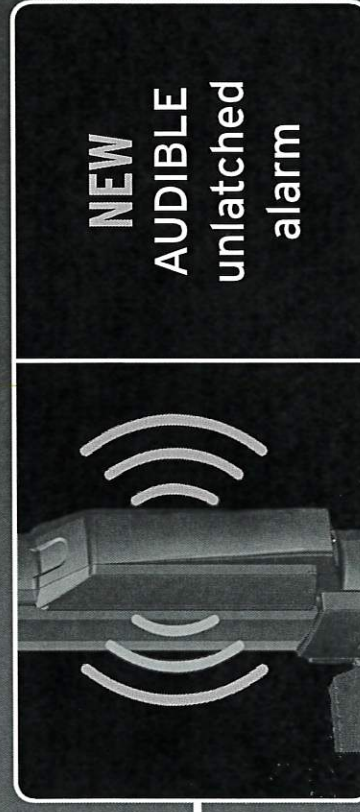
Child Safety Gate Latch with ELECTRONIC ALARM



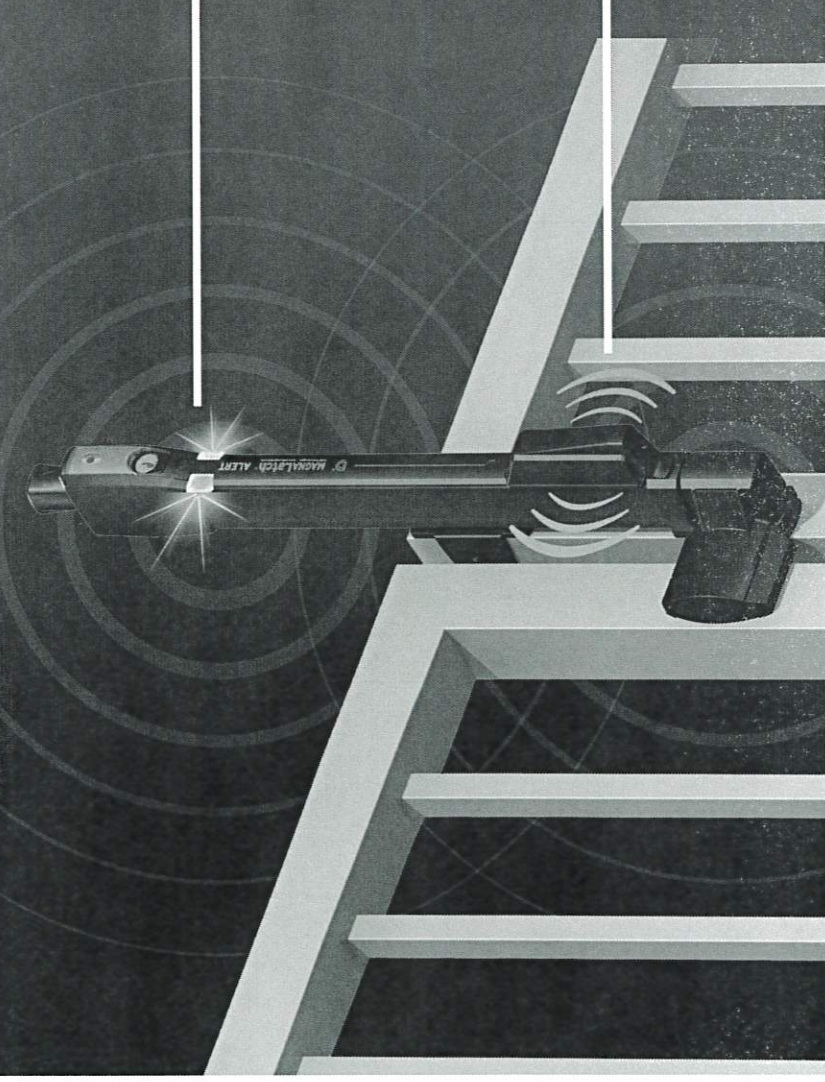
Because you can't turn your back for a second



**NEW
VISUAL
unlatched
alarm**



**NEW
AUDIBLE
unlatched
alarm**



D® D&D Technologies
World's most trusted gate hardware

**LIFETIME
WARRANTY
LIMITED**
2-YEAR WARRANTY ON ALARM UNIT

10 reasons why MagnaLatch® ALERT is the world's safest gate latch.

See at a glance, hear at a distance.

With its lift knob out of reach of children, multiple safety features, and dual electronic alarms the MagnaLatch ALERT sets the standard for safety gates around swimming pools, childcare centers or wherever protecting children is critical. The smaller Vertical Pull model provides protection for children and pets on any gate that is not for pool safety.

The new MagnaLatch ALERT features an audible alarm and flashing lights, so you can hear and see from a distance when a gate is left open or not safely latched.

It's like being able to keep an eye on security, even when your back is turned. MagnaLatch ALERT offers you unparalleled security for children around pools and other critical safety areas.

D&D Technologies proudly supports



National Drowning Prevention Alliance

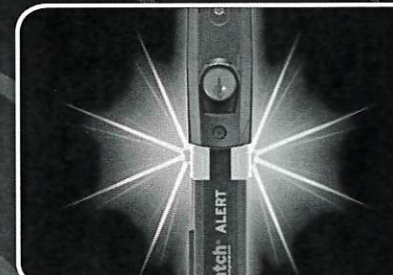
KNOW YOUR RISKS: Drowning is the leading cause of death for children ages 1 to 4, the second leading cause for children ages 1 to 14 years, and the fifth leading cause for people of all ages.

MagnaLatch ALERT and Tru-Close Hinges play a key role in securing your pool gate, one of the critical layers of protection.

Visit www.ndpa.org to learn more about creating a safer pool environment through Layers of Protection.

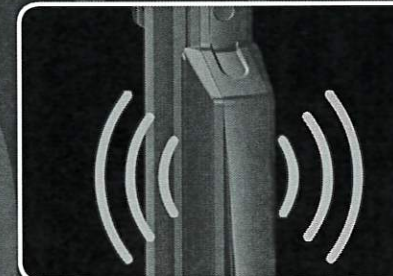


1



FLASHING LED
lights creates
visual warning

2



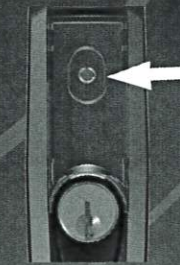
AUDIBLE ALARM
for when you don't
have visual contact

3



NEW - Safer, ergonomic lift knob is now more conveniently shaped and child resistant than ever.

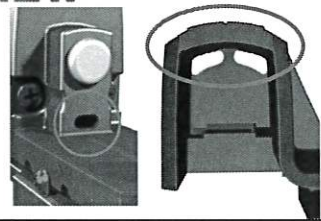
4



NEW - Visible Lock Indicator. Shows you, at-a-glance, whether MagnaLatch is locked or unlocked.

Superior performance in extreme climates - Year-round protection

NEW



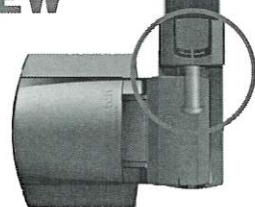
- Improved drainage in latch & striker
- Sloping features channel water out

NEW



- High collar under lift knob prevents water entry

NEW



- Most intraday movement allowance in the industry

NEW

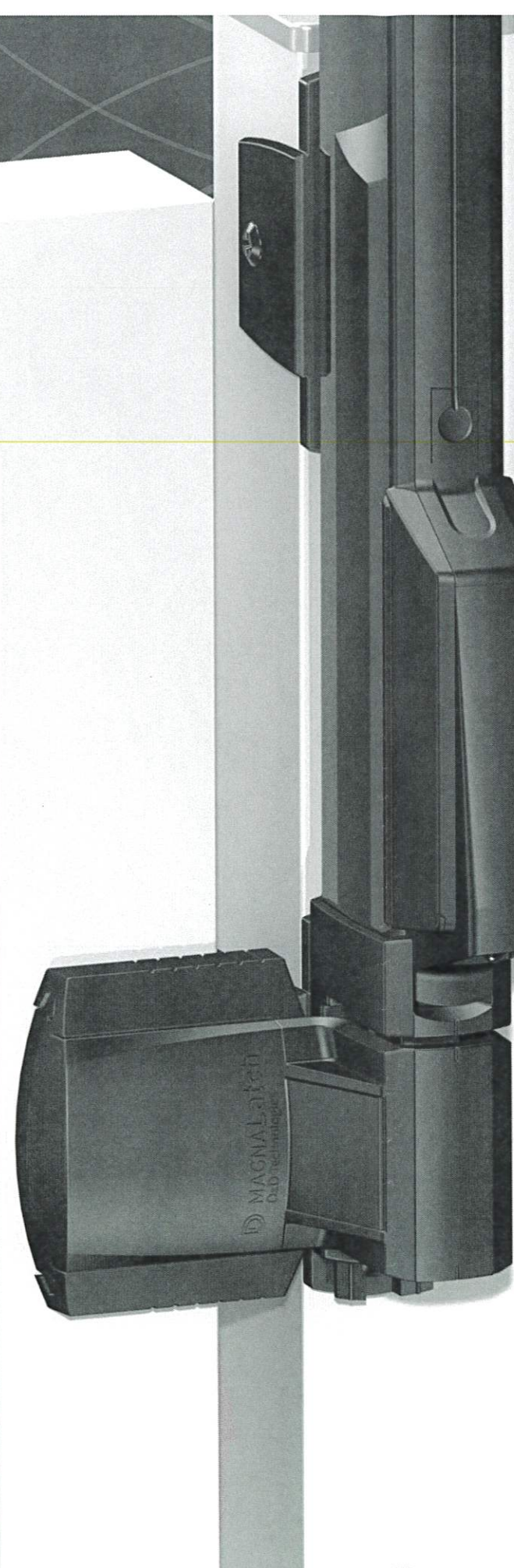


- Protective shroud over key helps prevent water entry into lock cylinder

NEW



- Space under lift knob helps prevent it from freezing to top housing



5

NEW - Rekeyable Security Lock. The 6-pin lock cylinder can be rekeyed to match other locks around the home.

6

NEW - T-track innovation offers superior fixing strength to help make MagnaLatch even sturdier and more reliable.

7

Product traceability. Superior quality manufacturing & responsible product tracking.

8

NEW - Vertical and horizontal adjustment makes MagnaLatch even simpler to install...and to adjust for ground shift or gate sag.

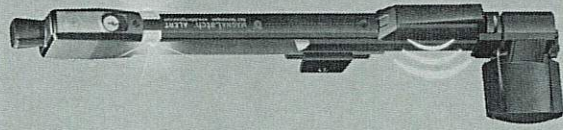
9

NEW - Vertical and horizontal alignment indicators allow you to see, at-a-glance, if your latch is properly aligned for safe latching.

10

Tamper-resistant design. Concealed screws and tamper-resistant fixings provide greater resistance against vandalism and other tampering.

NEW MagnaLatch® ALERT Top Pull



Pool & Child Safety

With its lift knob out of reach of children, the MagnaLatch Top Pull sets the standard for safety gates around swimming pools, childcare centers or wherever safety is critical. No wonder it's the world's most trusted safety gate latch.

Includes battery, screws, keys, owner's manual and installation instructions.

NEW MagnaLatch® ALERT Vertical Pull

Child & Pet Security

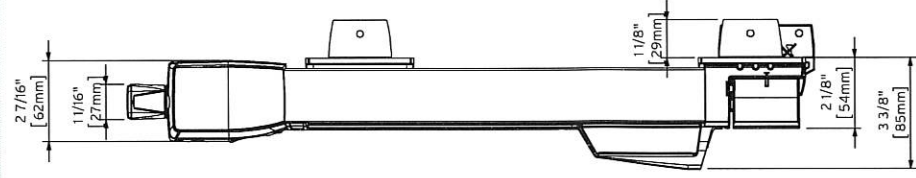
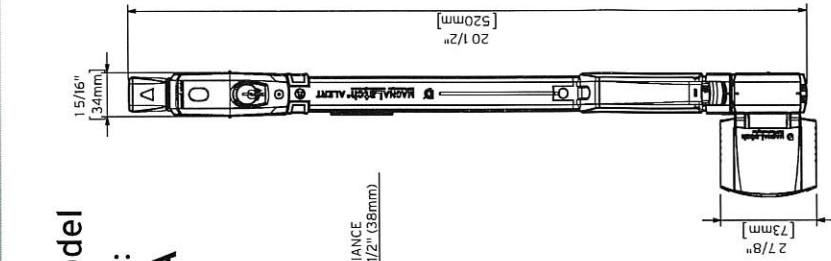
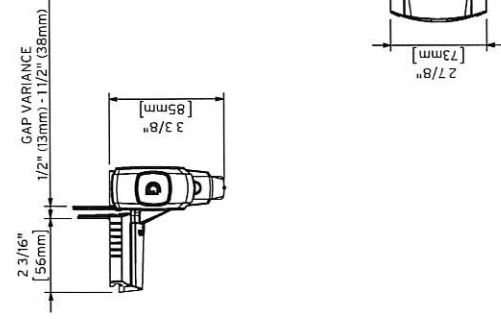
Perfect for pet security gates and general gates around the home. MagnaLatch Vertical Pull offers the same innovative design as MagnaLatch Top Pull, only in a smaller, more compact model.

Includes battery, screws, keys, owner's manual and installation instructions.



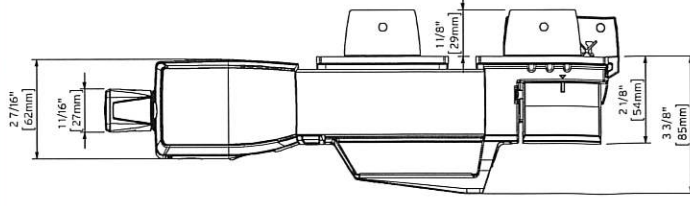
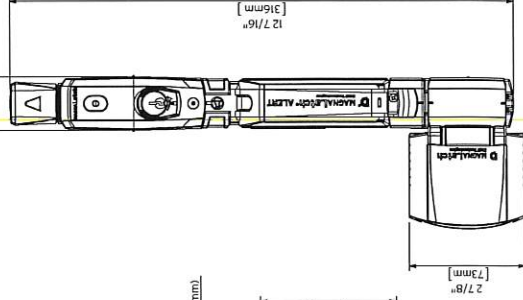
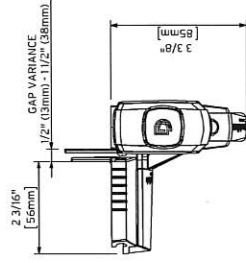
Top Pull Model

Product Code:
ML3ATPKA



Vertical Pull Model

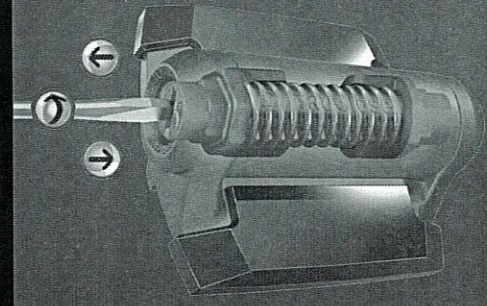
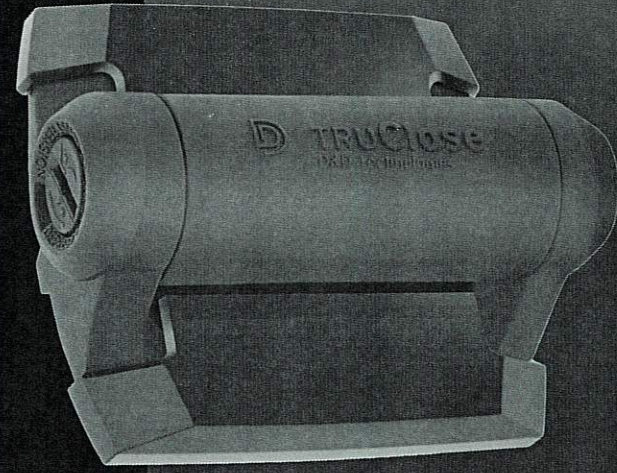
Product Code:
ML3AVPKA



MagnaLatch ALERT - For any square post & gate frames

NEW SKU	MODEL - FEATURE	COLOR
ML3ATPKA	Top Pull - 6-Pin Lock - Keyed Alike + Alarm	Black
ML3AVPKA	Vertical Pull - 6-Pin Lock - Keyed Alike + Alarm	Black
MLSPACER	2" Gap Spacer - Works with ML2 & ML3	Black

Combine MagnaLatch® ALERT and TruClose Self-Closing hinges for ultimate safety & security.



Because MagnaLatch's innovative magnetic triggering offers absolutely no resistance to closing, when combined with our gate hinges, you'll have the ultimate in reliable, safe & secure performance.

- D&D patented tension adjustment
- Adjust tension from either end
- No visible fasteners on latch or hinge
- Rust and corrosion proof

D® D&D Technologies
World's most trusted gate hardware

North & South America:
7731 Woodwind Dr, Huntington Beach, CA 92647
P: (714) 677-1300 F: (714) 677-1299

E: info@ddtechusa.com
www.ddtechglobal.com

Available at:

From: [Scott Young](#)
To: [Paige V. Jennings](#)
Subject: Re: Inquiry Regarding COA Application - 1083 Oakdale Road
Date: Tuesday, April 9, 2024 12:29:14 PM

Good morning Paige,

I will answer in the order you sent.

- 1) The height of the Pergola will be 9'-4" , this will allow room for ceiling fans to keep the bugs away
- 2) The Boulder retaining wall will be 2' in height (The detail is shown on the pool detail sheet LS-4)
- 3) The fencing will all be the black aluminum (existing on the property). The chain link is the current fencing which will be replaced by the aluminum shown on sheet LS-4.
- 4) No trees or vegetation will be removed.

If you have any additional questions, please feel free to call or email me.

Have a great day.

Thanks,

Scott Young
Young Squared Studios, LLC
1493 Sanden Ferry Drive Decatur, Ga. 30033
cell (678) 822-3115

On Tue, Apr 9, 2024 at 11:58 AM Paige V. Jennings <pvjennings@dekalbcountyga.gov> wrote:

Good Morning,

Hope that this email finds you well and enjoying the week so far.

We are in the process of completing our staff level review and compiling our report regarding the application for 1083 Oakdale Road. To complete our review, could you please provide information regarding the following questions:

1. What is the height of the proposed metal pergola?
2. What is the proposed height limit for the boulder retaining wall?
3. What is the proposed material for the fencing? The plans show wrought-iron, chain-link, and metal mesh as the proposed materials in different areas of the site plan.
4. Will any trees or vegetation be removed?
5. If trees are removed, what are the proposed replacement plantings?

Please provide the requested information as soon as possible, and please let me know if you have any questions.

Thank You,



Paige



Government Services Center
178 Sams Street
Decatur, GA 30030

Paige V. Jennings

Senior Planner (they/them)
Historic Preservation
Planning & Sustainability Department
Current Planning Division

 pvjennings@dekalbcountyga.gov
 470.829.7341 County Cell



DeKalbCountyGa.gov/planning