

DeKalb County Historic Preservation Commission

Monday, April 15th, 2024- 6:00 P.M.

Staff Report

Special Agenda

R. 1256 Briarcliff Road, Karen Gravel for Galerie Living. Rehabilitate the Candler Mansion and carriage house. **1246710.**

House built 1922-1925. (18 055 02 020)

The house and its immediate surroundings are listed on the National Register of Historic Places. The property is not in a National Register historic district or an identified character area.

- 11-99 1256-1260 Briarcliff Road--Emory West Campus (DH), Talka & Connor /Architects & Engineers. Temporary installation of seven modular buildings. **Approved**
- 12-01 1260 Briarcliff Road (DH), Emory University. Replace signs within the complex. **Approved**
- 9-05 1260 Briarcliff Road (DH), Powertel/Atlanta, Inc.—Sarran Marshall. Install cellular antenna panels and cable on rooftop of nonhistoric building. **Approved**
- 10-05 1260 Briarcliff Road (DH), Verizon Wireless/Brandon Stewart. Install cellular antenna panels and cable on rooftop of nonhistoric building. **Approved**
- 3-11 1256/1260 Briarcliff Road (DH), Charles Rossignol (Emory University). Demolish eight cottages on Emory West campus. 16959 **Approved**
- 3-12 1256 Briarcliff Road (DH), Sprint Corporation (c/o Pat Dominick). Modifications to cell antenna location. 17727 **Approved**
- 2-14 1260 Briarcliff Road (DH), Emory University – James Johnson. Construct new building. **For comment only**
- 3-14 1260 Briarcliff Road (DH), Emory University. Erect new building. 19185 **Approved**
- 2-15 1260 Briarcliff Road (DH), James Johnson, Emory University. Demolish small, nonhistoric former residence. 19727 **Approved with modification**
- 6-15 1260 Briarcliff Road (DH), James Johnson. Demolish five nonhistoric cottages. 19960 **Approved with modifications**
- 6-15 1260 Briarcliff Road (DH), James Johnson. Remodel the entry to the property. 19967 **Approved with modifications**
- 11-16 1260 Briarcliff Road (DH), Republic Property Company, Inc. Restore the Briarcliff Mansion while building additional structures and modifying the landscape. 21119 **Approved with modification**
- 7-22 1260 Briarcliff Road, Tim Gary, CEO – Galerie Living. Rehabilitate the historic house and grounds and develop the non-historic part of the property. **Approved**
- 11-23 1256 Briarcliff Road, Karen Gravel for Galerie Living. Rehabilitate the Candler Mansion and carriage house. 1246710. **Approve with Modification – Partially Deferred.**
- 12-23 1256 Briarcliff Road, Karen Gravel for Galerie Living. Rehabilitate the Candler Mansion and carriage house. 1246710. **Deferred.**
- 01-24 1256 Briarcliff Road, Karen Gravel for Galerie Living. Rehabilitate the Candler Mansion and carriage house. 1246710. **Deferred.**
- 02-24 1256 Briarcliff Road, Karen Gravel for Galerie Living. Rehabilitate the Candler Mansion and carriage house. 1246710. **Partially Approved, Partially Deferred.**
- 03-24 1256 Briarcliff Road, Karen Gravel for Galerie Living. Rehabilitate the Candler Mansion and carriage house. 1246710. **Deferred.**

Summary

February 2024

Applicant submitted a new site plan for proposed landscaping and site improvements around the Candler Mansion. These improvements include:

- Install on-grade landings and walkways from portico steps to front driveway
- Construct a circling roadway around the historic pool and building foundations located on the front lawn of the historic mansion
- Install roundabout in front of historic mansion
- Remove large tree located behind Carriage House
- Grade down area to the Northwest of the historic mansion, sloping driveway down into proposed new parking lot
- Construct a small pond in the area between the summer pavilion and the historic green houses
- Plant trees around the proposed sidewalk and roadway

The new site plan will retain the historic pool, the building foundation of the historic changing-rooms for the pool, the driveway that leads to and through the historic summer pavilion, and the walkway leading from the summer pavilion to the historic green houses.

November 2023

Applicant proposes various work to rehabilitate the Candler Mansion. This includes restoring exterior elements including historic roof, constructing a rear addition, and constructing new exterior ramps, stairways, and entries.

- Roofing, Gutters, and Downspouts
 - Remove and replace sloped roofing
 - Replace with sloped roof constructed of green barrel tile to resemble the original roof type of the house and optionally as architectural grade asphalt shingles
 - Remove and replace low slope roofing
 - Replace flat roof area with single ply membrane roof materials
- Construct a Rear Addition in the West Elevation Rear Courtyard
 - Construct an addition on the rear exterior of the property, creating a walk-way connecting the Solarium to the Kitchen area and Stair Hall.
 - Addition will house a three-stop elevator.
 - Addition will be constructed of metal with a curtain wall of windows, with stone on the lower metal and brick on the side walls.
 - Addition will have a stone ballast roof.
 - An expansion joint will be used to connect the addition to the building.
 - Modify existing window opening leading into Solarium to serve as entry door into main building from addition.
- Installation of Exterior Stairs, Ramps, and Guardrails
 - Ramps
 - Install concrete ramp along exterior of the South Elevation, leading to the pavilion and porte cochere.
 - Install 7-inch-thick concrete topping slab on existing walkway to match solarium floor level, leading to ramp
 - Install new 42-inch steel guardrails with handrails along ramp
 - Install curved concrete ramp along the right side of the front exterior, leading to the main entry porch.
 - Walkway on built up grade, leading to start of new ramp

- Install new 42-inch steel guardrails with handrails along ramp
 - Guardrails
 - Install code complaint steel guardrail and handrail on existing landing and steps located on North Elevation, leading to the Music Hall
- Site Improvements of Historic Property
 - Install on-grade landings and walkways from portico steps to front driveway
 - Construct a pavilion on top of the existing building foundation located in front of the historic mansion, to the left of the main driveway
 - Construct a circling roadway around the proposed pavilion and garden located on the front lawn of the historic mansion
 - Install garden in existing area surrounding the current water feature located in front of the historic mansion, to the left of the main driveway
 - Plant three trees in front of historic mansion in center of proposed roundabout
 - Install roundabout in front of historic mansion
 - Removal of road leading up and through summer pavilion
 - Remove large tree located behind Carriage House
 - Grade down area to the Northwest of the historic mansion, sloping driveway down into proposed new parking lot

Recommendation

Defer. The applicant has requested deferral to the May meeting.

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

6.1.1 *Exterior Materials* (p51) Guideline - The application of artificial or nonhistoric exterior siding materials such as brick veneers; asphalt shingle siding; and cementitious, aluminum, or vinyl siding is discouraged. These materials are not successful in mimicking details of original wood siding (the most common material over which they are applied); subsequently, their use greatly compromises the historic integrity of buildings. Application often results in the loss or distortion of architectural details, and improper installation can result in damage of historic materials.

Use of compatible and high quality “look-a-like” synthetic building materials may be allowable, especially in order to reduce costs, provided (1) the substitute material can be installed without irreversibly damaging or obscuring the historic material and architectural features and trim of the building and (2) the substitute material can match the historic material in size, profile, and finish so that there is no change in the historic character of the building.

6.1.2 *Architectural Details* (p52) Guideline - Stylistic details should be maintained and treated with sensitivity. The removal of such details or application of details inappropriate to the period or style of a house is strongly discouraged. Damaged elements should be repaired rather than replaced if at all possible. Historic details that have been lost or are beyond repair may be replaced with new materials, provided that their earlier presence can be substantiated by historical documentation and that the new materials match the original in composition, design, color, and texture.

- 6.1.3 *Entrances and Porches* (p53) Guideline - Original porches and steps should be retained. Repair of porches should not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless they are seriously deteriorated. If replacement materials must be introduced, the new should match the old in design, color, texture, and, where possible, materials. Replacement of missing features should be substantiated, if possible, by documentary and physical evidence.
- 6.1.5 *Roofs, Chimneys, and Dormers* (p56) Guideline - The original roof form should be retained to the greatest extent possible. No addition to a house should greatly alter the original form of a roof or render that form unrecognizable. Original or historic roof dormers should also be retained. Skylights should be installed so as to be as unobtrusive as possible. If additional upper-story space is required, consider using dormers placed out-of-view of public right-of-way—to create this space.
- 6.1.5 *Roofs, Chimneys, and Dormers* (p56) Guideline - Historic roofing materials, such as clay tile and slate, should be repaired rather than replaced, if at all possible. While repair or replacement with like materials is often considered to be cost prohibitive, it should be remembered that life expectancies of these roofs (slate, 60 to 125 years and longer; clay tile, 100+ years) is considerably greater than most replacement materials. Clay tile and slate roofs are always character-defining features of their buildings; therefore, if replacement is necessary, new materials should match as closely as possible the scale, texture, and coloration of the historic roofing material.
6. *Gutters* (p58) Guideline - Gutters and downspouts should be maintained in their original appearance and location if functioning properly.
7. *Gutters* (p58) Guideline - New downspouts should be along the edges and corners of buildings and along porch supports so as to create minimal visual disruption. In locating new downspouts, consideration should be given to water flow with regard to avoiding seepage into basements and impacts to foundation plantings.
- 6.5 *Health and Safety Code Compliance* (p59) Guideline - Compliance with health and safety codes and handicapped access requirements should be carried out with a minimum of impact to the historic character of community institutional buildings. Adding handicapped ramps is a common issue. Placement of new ramps should be done so as to minimize visual impact to the building, particularly the principal elevation (front) of the building.
- 6.5 *Health and Safety Code Compliance* (p59) Recommendation - Necessary access ramps on the front facade should be constructed in such a way that they can be removed without damage to the facade.
- 6.8 *Exterior Colors* (p60) Recommendation - Homeowners considering painting their homes are encouraged to determine the range of paint colors and techniques applicable to the particular architectural period of their property so that a proper choice might be made. The placement of different colors on a house (i.e., the primary color as well as trim colors) is also of critical importance.
- 7.3.1 *Additions* (p74) Guideline - Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- 7.3.1 *Additions* (p74) Recommendation - The Secretary of the Interior's Standards recommend that an addition be designed so that at a later date it can be removed without compromising the historic character of the building.
- 7.3.1 *Additions* (p74) Recommendation - While an addition should be compatible, it is acceptable and appropriate for it to be clearly discernible as an addition rather than appearing to be an original part of the building. Consider providing some differentiation in material, color, and/or detailing and setting additions back from the historic building's wall plane.
- 7.3.1 *Additions* (p74) Recommendation - These guidelines do not recommend adding false historical details to a noncontributing building in an effort to make it more compatible with surrounding historic buildings. Every effort

should be made, however, to ensure that additions and alterations to the property do not detract further from the character of the historic environment, keeping in mind the design concepts discussed in Section 7.2.

- 10.0 *Archaeological Resources* (p93) Guideline - When planning new construction, additions, site improvements, or demolition, minimize disturbance of terrain to reduce the possibility of destroying unknown archaeological materials.
- 10.0 *Archaeological Resources* (p93) Recommendation - Check with the county in the planning stages to see if the subject property is an area of low or high archaeological site potential or an area of recorded historic occupation.
- 10. *Archaeological Resources* (p93) Recommendation - Hire qualified professionals to survey areas where major terrain alteration is planned to identify potential archaeological resources. Preserve in place known archaeological material whenever possible. If preservation in place is not possible, document resources before proceeding with a project.



Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date Received: _____ Application No.: _____

Address of Subject Property: Candler Mansion - 1256 Briarcliff Road, Atlanta, GA

Applicant: Karen Gravel for Galerie Living E-Mail: karen.gravel@lordaecksargent.com

Applicant Mailing Address: 1175 Peachtree Street NE, Atlanta, GA 30361

Applicant Phone: 404-253-6703 Fax: _____

Applicant's relationship to the owner: Owner Architect: Contractor/Builder Other

Owner(s): Sara Lu, AVP for Real Estate, Emory University Email: sara.lu@emory.edu

Owner(s): _____ Email: _____

Owner(s) Mailing Address: 100 Water Tower Place, Atlanta GA 30322

Owner(s) Telephone Number: 404-727-8439

Approximate age or date of construction of the primary structure on the property and any secondary structures affected by this project:
1922

Nature of work (check all that apply):

New construction Demolition Addition Moving a building Other building changes New accessory building Landscaping Fence/Wall Other environmental changes Sign installation or replacement Other

Description of Work:

The Candler Mansion will be restored to the period that the Asa Candler family built, added on to and lived in the house between 1922-1949. The rehabilitation will focus on restoring the exterior elements including historic windows, roof, woodwork and masonry. The interior rooms will be rehabilitated to include restored finishes, new mechanical systems and new electrical systems. In order to provide accessibility to the entire house a new elevator to all floors will be installed, a new lift inserted into an exterior open space and another lift added to the rear of the building. The home is comprised of multiple levels, so the insertion of these lifts will be made as discretely as possible. All efforts will be made to retain as much historic fabric as possible, restore all rooms and integrate systems covertly using the basement and attic spaces as much as possible.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____

Karen Gravel

Digitally signed by Karen Gravel
DN: E=Karen.Gravel@lordaecksargent.com,
OU=Karen Gravel, OU=Atlanta, OU=LAS-Users,
DC=lordaecksargent, DC=Internal
Reason: I agree to the terms defined by the
placement of my signature on this document
Date: 2023.09.21 14:17:37-0400

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Sara Lu, on behalf of Emory University

being owner(s) of the property at: 1260 Briarcliff Road NE, Atlanta Georgia 30306

hereby delegate authority to: Karen Gravel for Galerie Living

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): 

Date: 09/21/2023

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

DEKALB COUNTY HISTORIC PRESERVATION COMMISSION
2023 Calendar

This calendar is subject to change. Please visit the [Department of Planning and Sustainability](#) website for the current calendar, agenda, and applications.

<u>Applications Accepted</u>	<u>Filing Deadline</u>	<u>Sign Must Be Posted</u>	<u>HPC Meeting Date</u>	<u>Last Date to File Appeal (approximate)</u>
December 12	December 23	January 07	January 17	February 02
January 17	January 30	February 11	February 21	March 09
February 13	February 24	March 10	March 20	April 04
March 13	March 24	April 07	April 17	May 02
April 10	April 21	May 05	May 15	May 30
May 15	May 26	June 10	June 20	July 05
June 12	June 23	July 07	July 17	August 01
July 17	July 28	August 11	August 21	September 5
August 14	August 25	September 08	September 18	October 03
September 11	September 22	October 06	October 16	October 31
October 16	October 27	November 03	November 13	December 05
November 13	November 24	December 08	December 18	January 02

Tuesday meeting due to holiday

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will send you a sign template. You must coordinate with a sign vendor of your choice to post the sign by the required date (see HPC Calendar).
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations. Your application may still require a variance or other approvals.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project’s architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-371-2155, e-mail dcullis@dekalbcountyga.gov and rbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the “Design Manual for the Druid Hills Local Historic District”.	Y <u> X </u> N <u> </u>
I have reviewed the DeKalb County Tree Ordinance.	Y <u> X </u> N <u> </u>
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.	Y <u> X </u> N <u> </u>

- 1. General**
 - a. Label all drawings with the address of the site, owners’ name, and contact phone number.
 - b. Number all drawings.
 - c. Include a graphic scale on reductions.
 - d. Date all revisions.
 - e. Indicate all unverified numbers with +/- signs
 - f. Include photos of the existing condition of the property.

- 2. Site Plan** (existing and proposed) to include:
 - a. Topographical plan with significant trees sized and located;
 - b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
 - c. Distance between houses;
 - d. Façade width to finished face of material;
 - e. Grading and elevations across site;
 - f. Dirt removal or regrading if more than 18”;
 - g. Tree protection plan;
 - h. Tree removal and replacement plan

- 3. Driveways and Walkways**
 - a. Location and relationship to house;
 - b. Width;
 - c. Material;
 - d. Curb cut and apron width

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

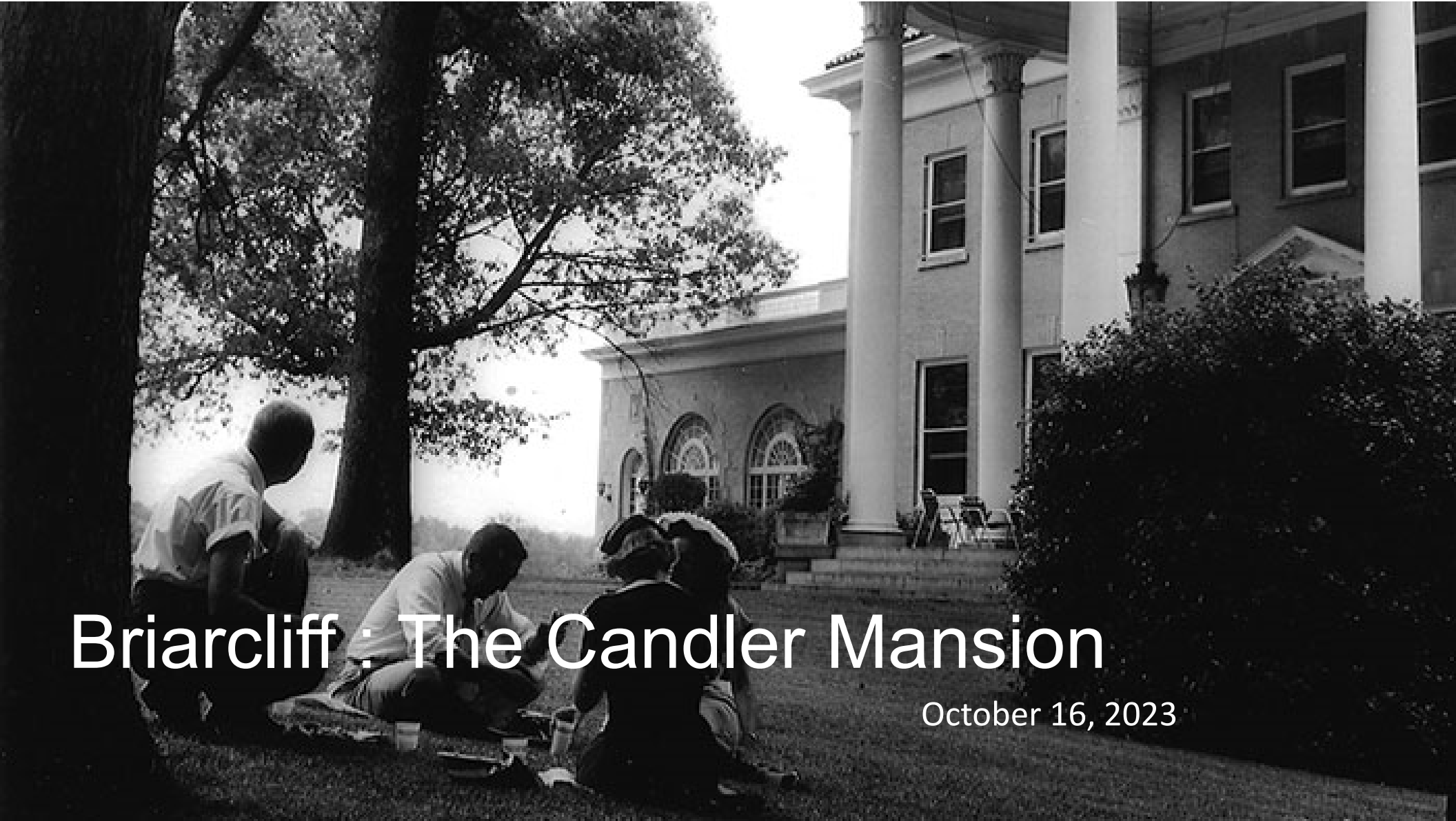
- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment



Briarcliff : The Candler Mansion

October 16, 2023

Design and Preservation Approach

Restore Briarcliff – The Candler Mansion exterior to the period of the Candler occupancy – 1949.

Rehabilitate the interior of the mansion to accommodate a new event facility that is congruent with the historic layout and character of the house.

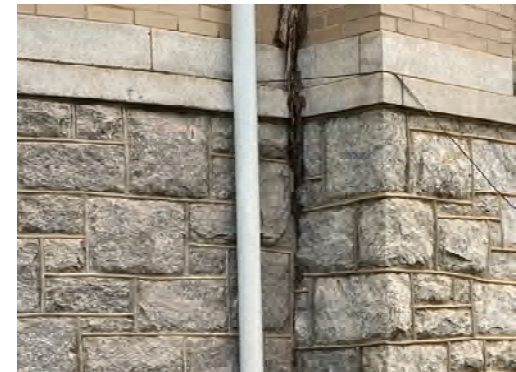
1922-25: Original House

1920-1922 - Original Mansion constructed on 40 + acres on Williams Mill Road. Road later renamed after this “Briarcliff Estate” built by Asa Candler.

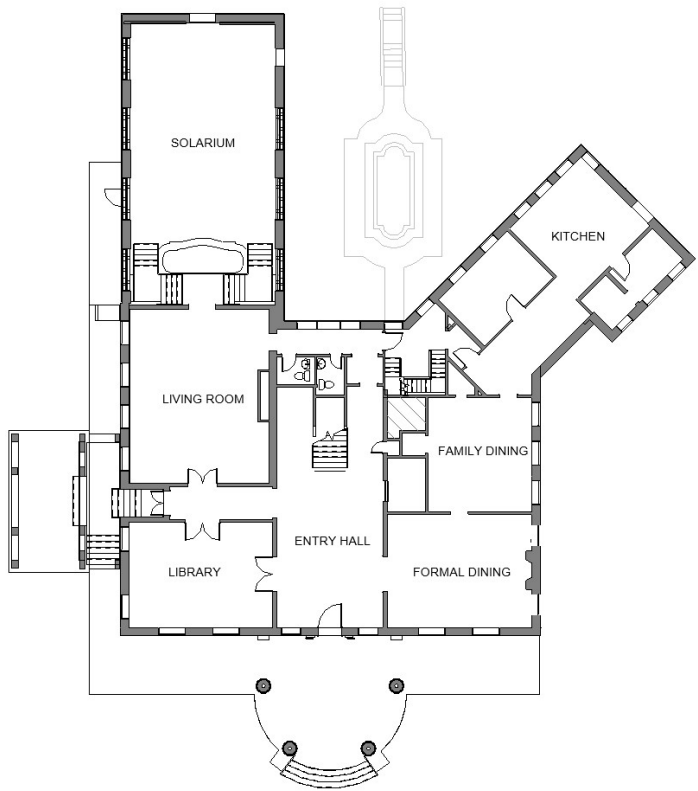
Constructed with load bearing masonry walls and concrete floor structure faced with a buff brick, limestone detailing and a granite foundations.

Originally had a green glazed clay tile roof (similar to the Garden House) which would have been a significant style defining feature of the house.

- The First Floor: Family and entertaining spaces including the Solarium with its vaulted ceilings and an interior fishpond.
- The Second Floor: Seven bedrooms and six bathrooms.
- The Third Floor: Ballroom, accessed by stairs. Staff Spaces
- The Carriage House and Greenhouses: Included in the original construction.



1922-25: Original House







1925-48: Candler Additions

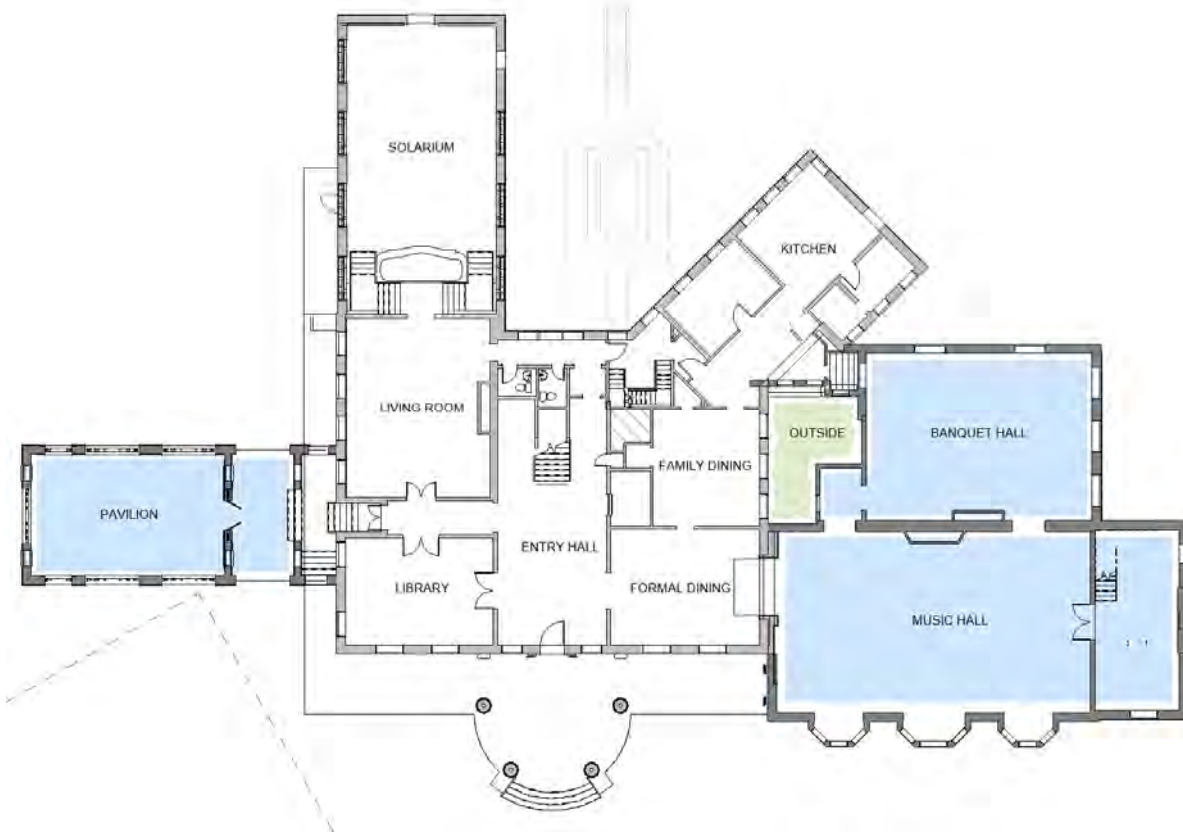
1924 Summer Pavilion constructed for wedding of oldest daughter Lucy. Originally open air, enclosed later (date unknown) by the Candler's.

1925 Music Hall and Banquet Hall Addition completed . The 1,700 square foot music hall, with its three-story-tall vaulted Tudor interior and limestone fireplace contained the largest privately owned Aeolian organ in Ga at the time.

Large dining room had a stained wood paneled ceiling with ornamental moldings and a fireplace of carved white European marble.

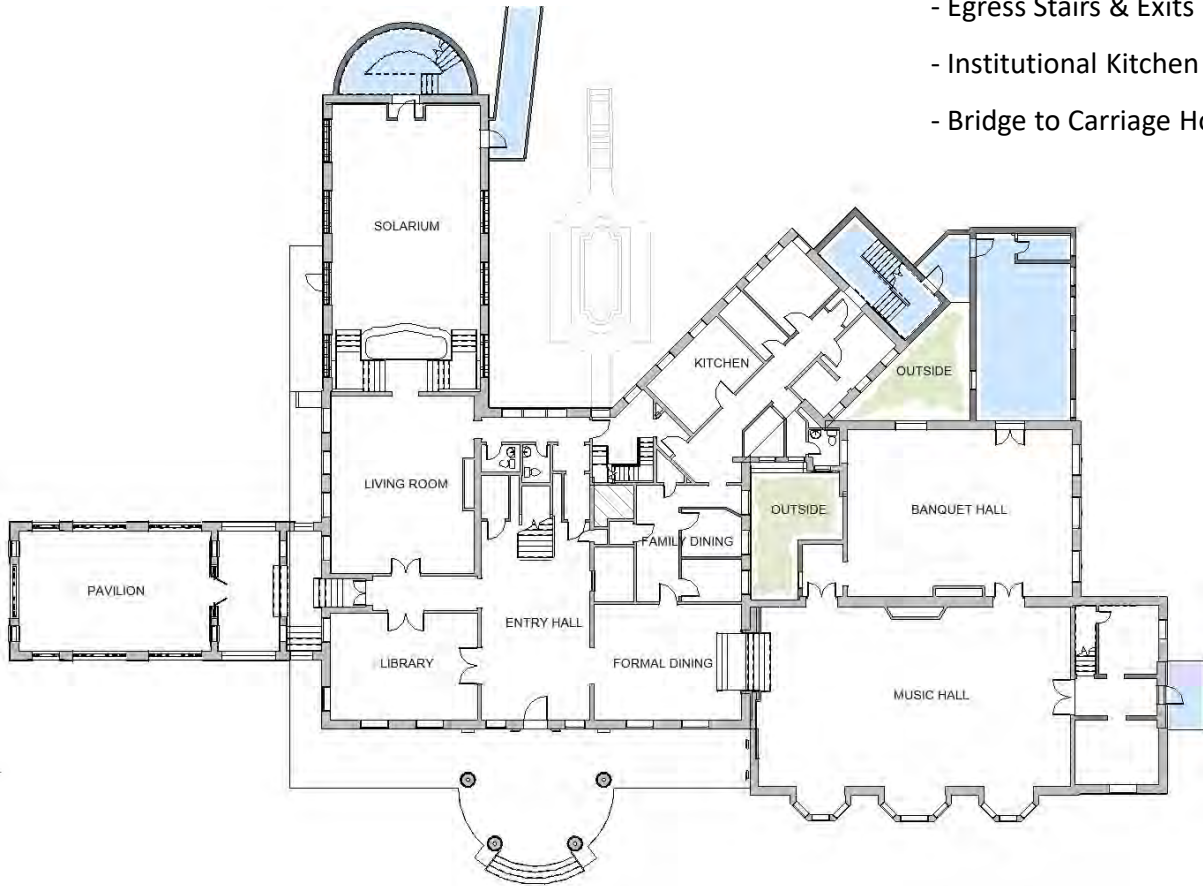


1925-48: Candler Additions





1948-98: Institutional Era



- Egress Stairs & Exits
- Institutional Kitchen
- Bridge to Carriage House



Character Defining Features

Exterior

- Brick and Stone
- Windows and Doors
- Configuration of Main Elevations
- Roof
- Columns and Cornice
- Site Features

Interior

- Volumes and original composition of main spaces
- Size and orientation of secondary rooms
- Finishes
- Stairs
- Fireplaces
- Paneling

Condition - Structure

STRUCTURE

Masonry and Concrete Structure: No cracking, leaning, or other evidence of failures of the structure were observed. Investigative demolition thru damaged finishes and cores thru the structure at the locations of water damage should be performed to verify the integrity of these areas.

Wood Roof Structure: At the house, localized areas of damage caused by water infiltration exist and will need to be repaired. Extensive damage has occurred at the Carriage House Roof.

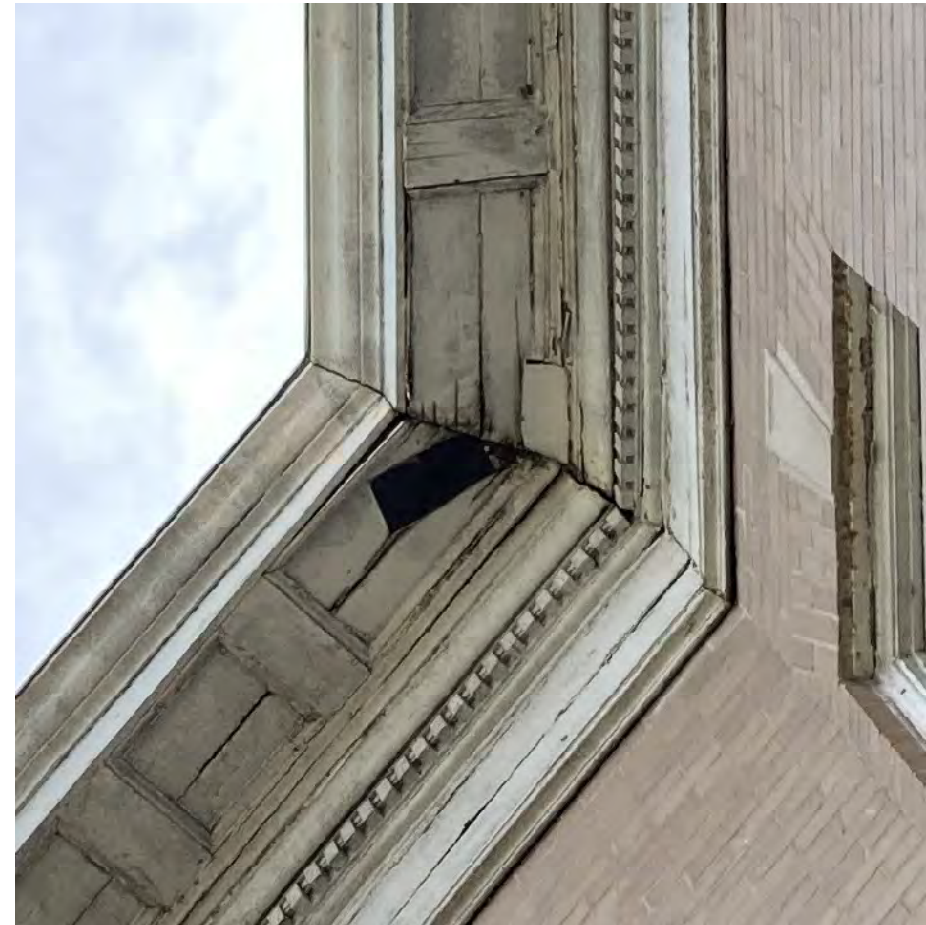


Condition - Exterior

EXTERIOR - MATERIALS

Masonry: Minor repointing and brick/stone replacement needed. At the tile porches & walkways much of the perimeter stone edge needs to be removed and reset.

Woodwork: Portions of all exposed woodwork have deteriorated. Substantial portions of the wood cornices have deteriorated. Removal and reconstruction with matching wood or composition materials will be needed. All exterior woodwork to remain should receive extensive paint preparation before repainting.



Condition - Exterior

EXTERIOR – WINDOWS

Original Wood Windows: Wood windows are largely intact with only minor areas of decay observed. Some openings have been damaged by vandalism and building stabilization measures. Approximately 75% of glass needs to be replaced.

Original Steel Windows: The steel window systems at the Summer Pavilion and Music Hall/Banquet Hall addition appear to be in good enough condition that they can be stripped, repaired and remain in place. Full glass replacement should be anticipated as part of the restoration of these windows.

Replacement Windows: Non-conforming replacement windows should be removed and replaced with historically accurate windows as part of the rehabilitation.



Condition - Interior

INTERIOR – FLOORS

Wood Floors - First Level: 1 ½” tongue and groove oak floors at the main house and the 7” wide decorative plank floors at the Music Hall addition should be replaced, repaired and restored where damaged.

Wood Floors – Second and Third Level: Traffic Coatings and adhesives on the wood floors may be impractical to remove for refinishing original wood flooring.

Tile Floors – All Levels: Remove any coatings and restore.



*Condition - Interior

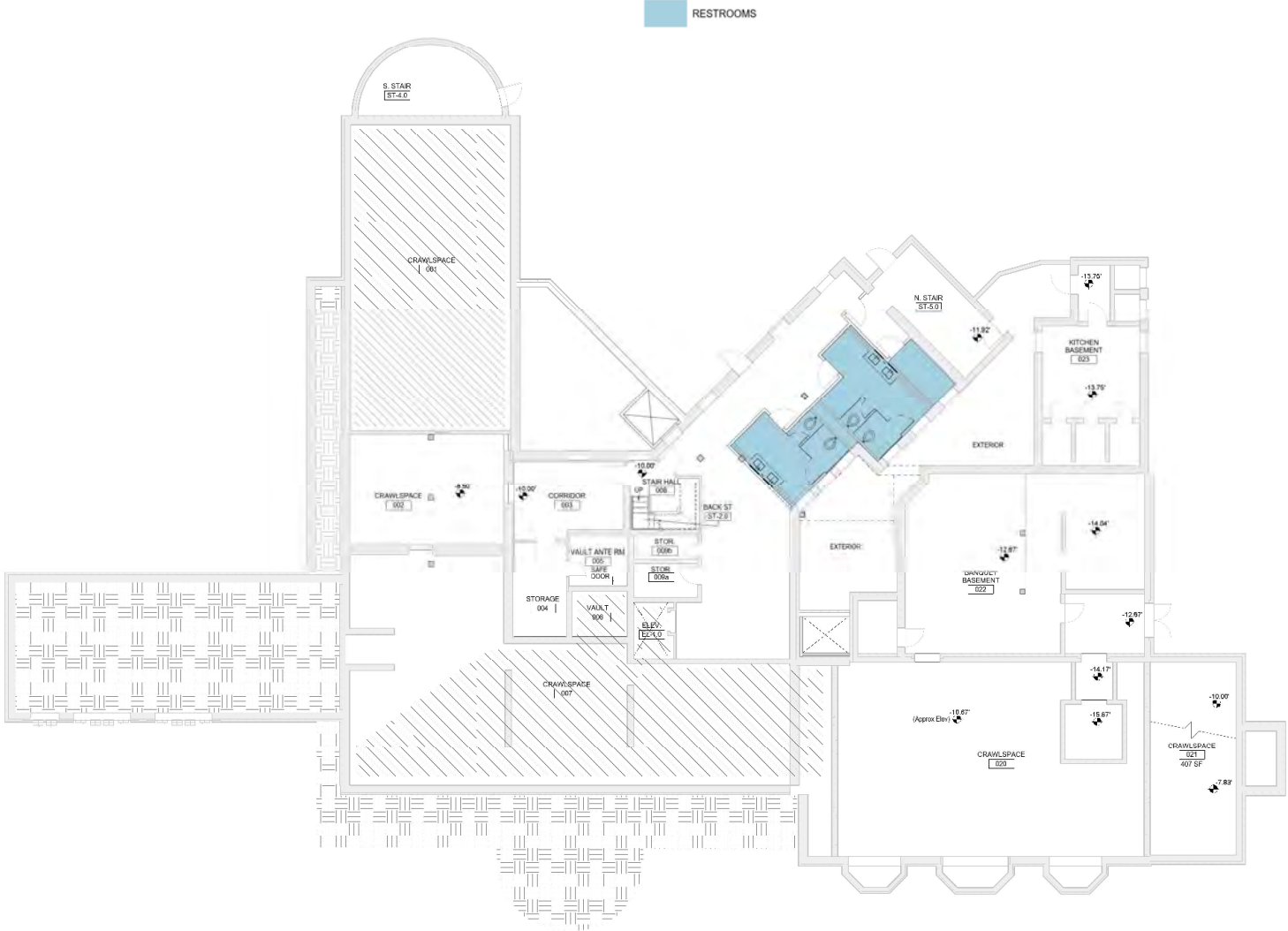
INTERIOR – WALLS & CEILINGS

Plaster Walls & Ceilings: Plaster walls, ceilings, and ornamental features are largely intact, They have been damaged slightly by institutional modifications made, and damaged severely in selected locations where water infiltration has occurred.

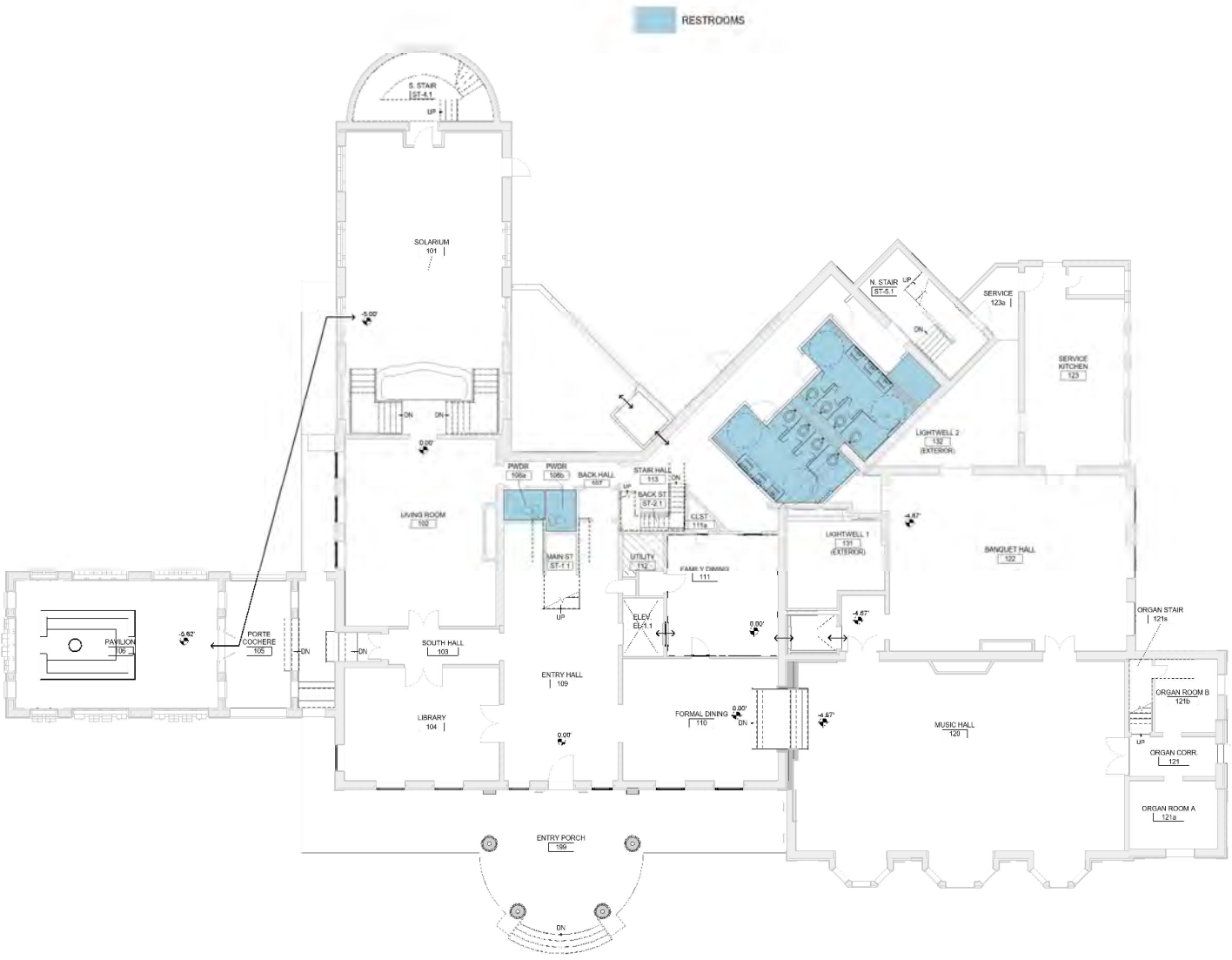
Wood Paneling: Wall and ceiling paneling at the Library and Music Hall have been subject to the same damage as the plaster walls/ceilings but have also been affected by 25 years of temperature and humidity in the unconditioned building.



Basement



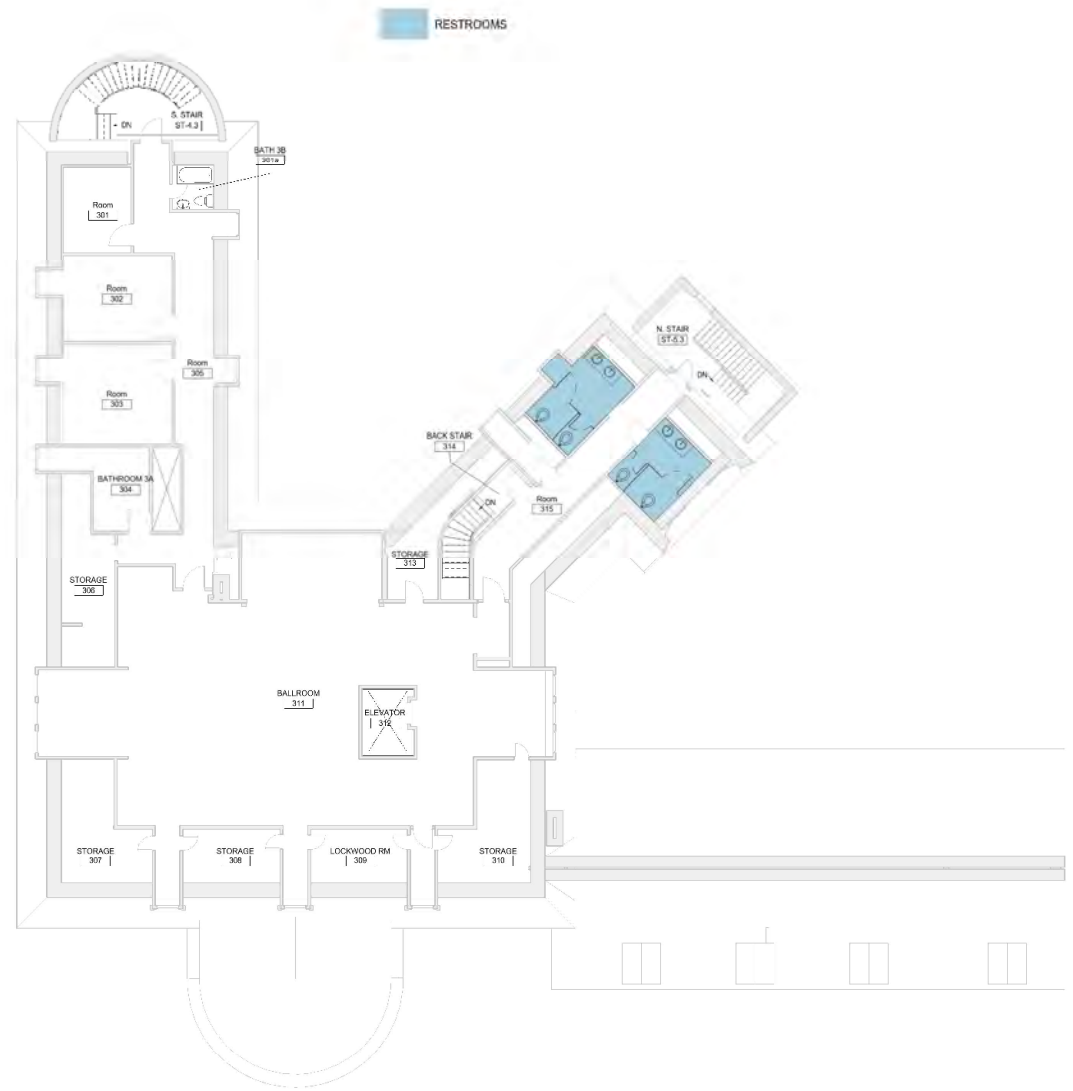
First Floor






Second Floor



Third Floor



Accessibility

-  FLOORS: BASEMENT, FIRST, SECOND, THIRD.
-  FLOORS: FIRST, MUSIC HALL LEVEL.
-  FLOORS: BASEMENT, FIRST, SOLARIUM LEVEL.



Basement

Accessibility

- FLOORS: BASEMENT, FIRST, SECOND, THIRD
- FLOORS: FIRST, MUSIC HALL LEVEL
- FLOORS: BASEMENT, FIRST, SOLARIUM LEVEL



First Floor

Family Breakfast Room



Restoration of decorative wall trim
Historic decorative trim reinterpreted
New elevator entrance and pair of doors

Vertical Circulation



Accessibility

- FLOORS: BASEMENT, FIRST, SECOND, THIRD
- FLOORS: FIRST, MUSIC HALL LEVEL
- FLOORS: BASEMENT, FIRST, SOLARIUM LEVEL



First Floor



STAIR HALL

LOWER WRKRM




ADDITION

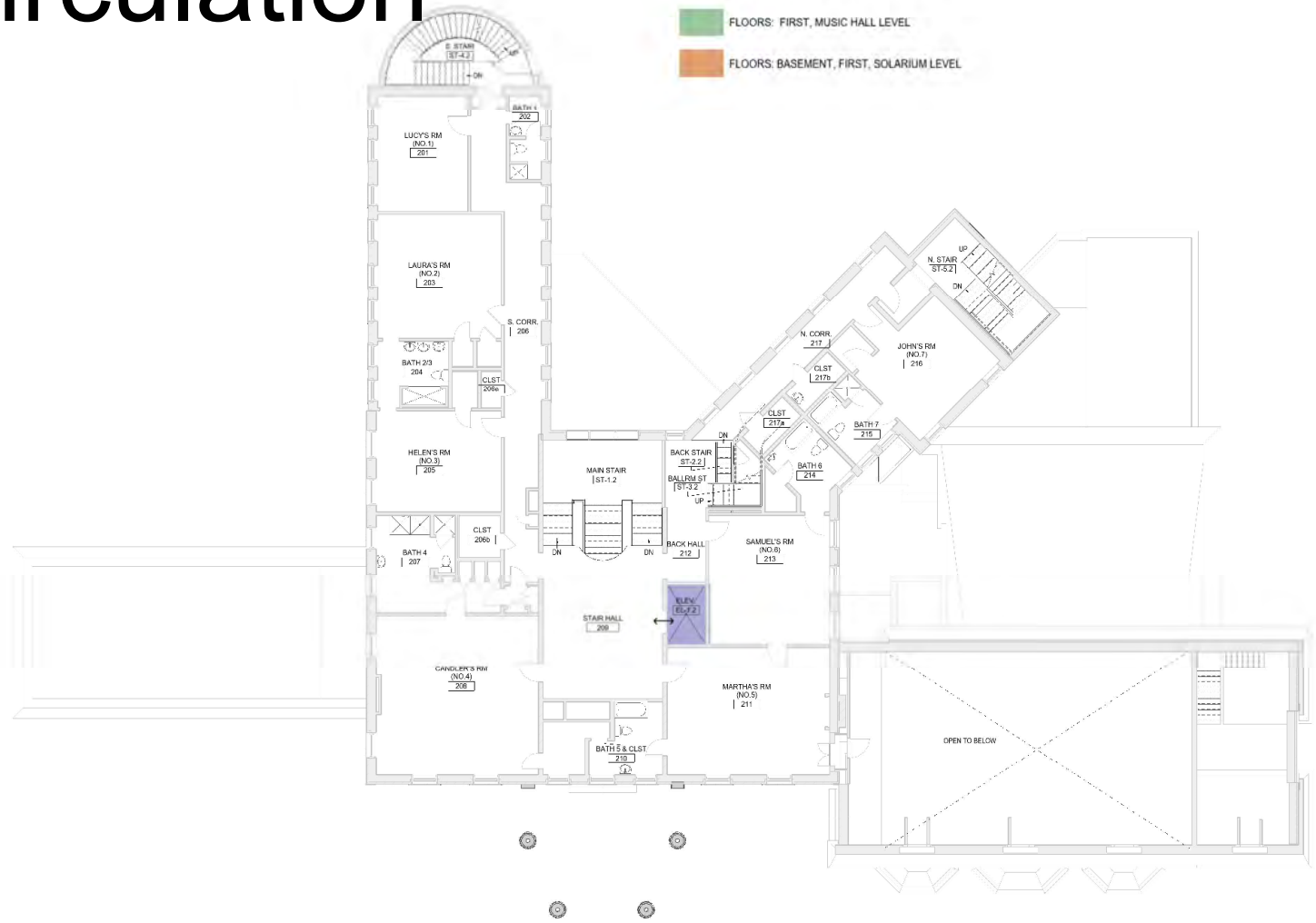
SOLARIUM








Vertical Circulation

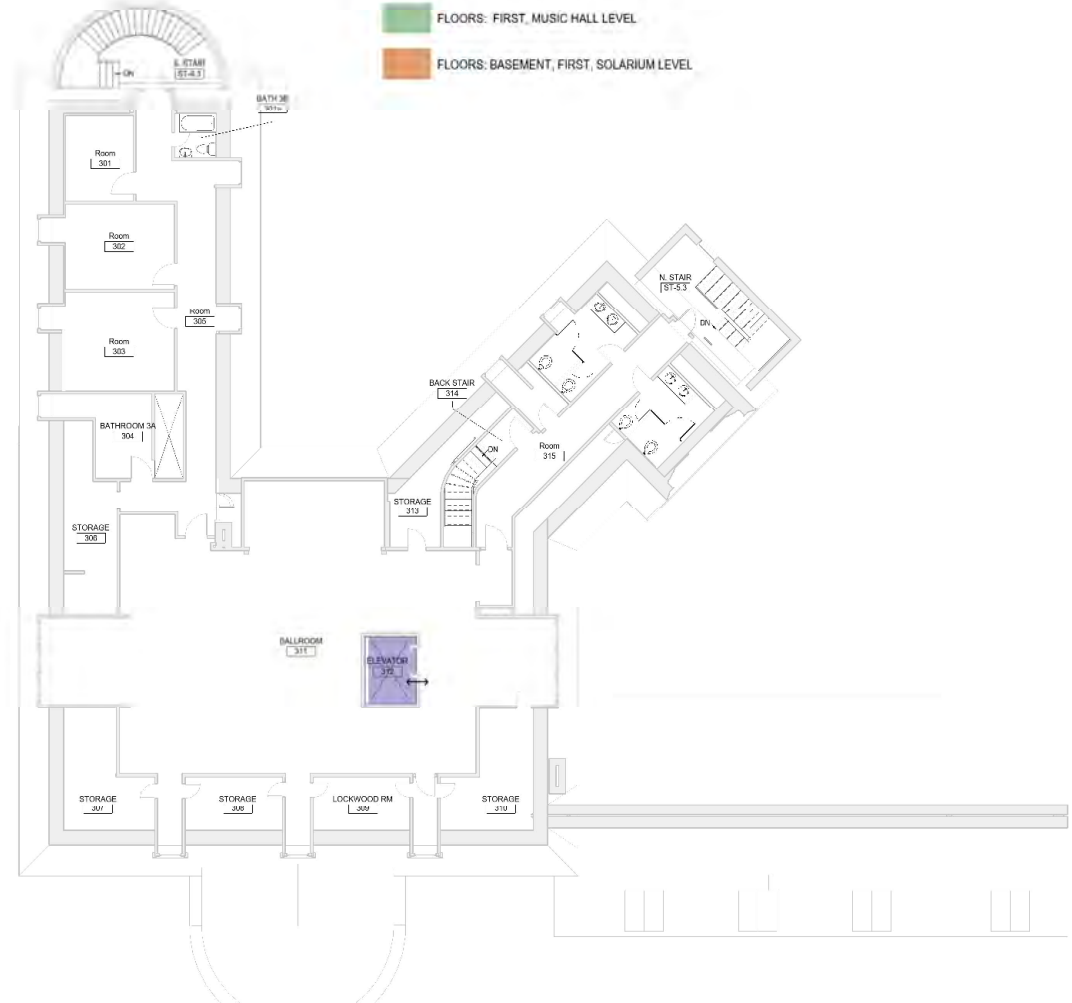
-  FLOORS: BASEMENT, FIRST, SECOND, THIRD.
-  FLOORS: FIRST, MUSIC HALL LEVEL
-  FLOORS: BASEMENT, FIRST, SOLARIUM LEVEL



Second Floor

Vertical Circulation

-  FLOORS: BASEMENT, FIRST, SECOND, THIRD.
-  FLOORS: FIRST, MUSIC HALL LEVEL.
-  FLOORS: BASEMENT, FIRST, SOLARIUM LEVEL.



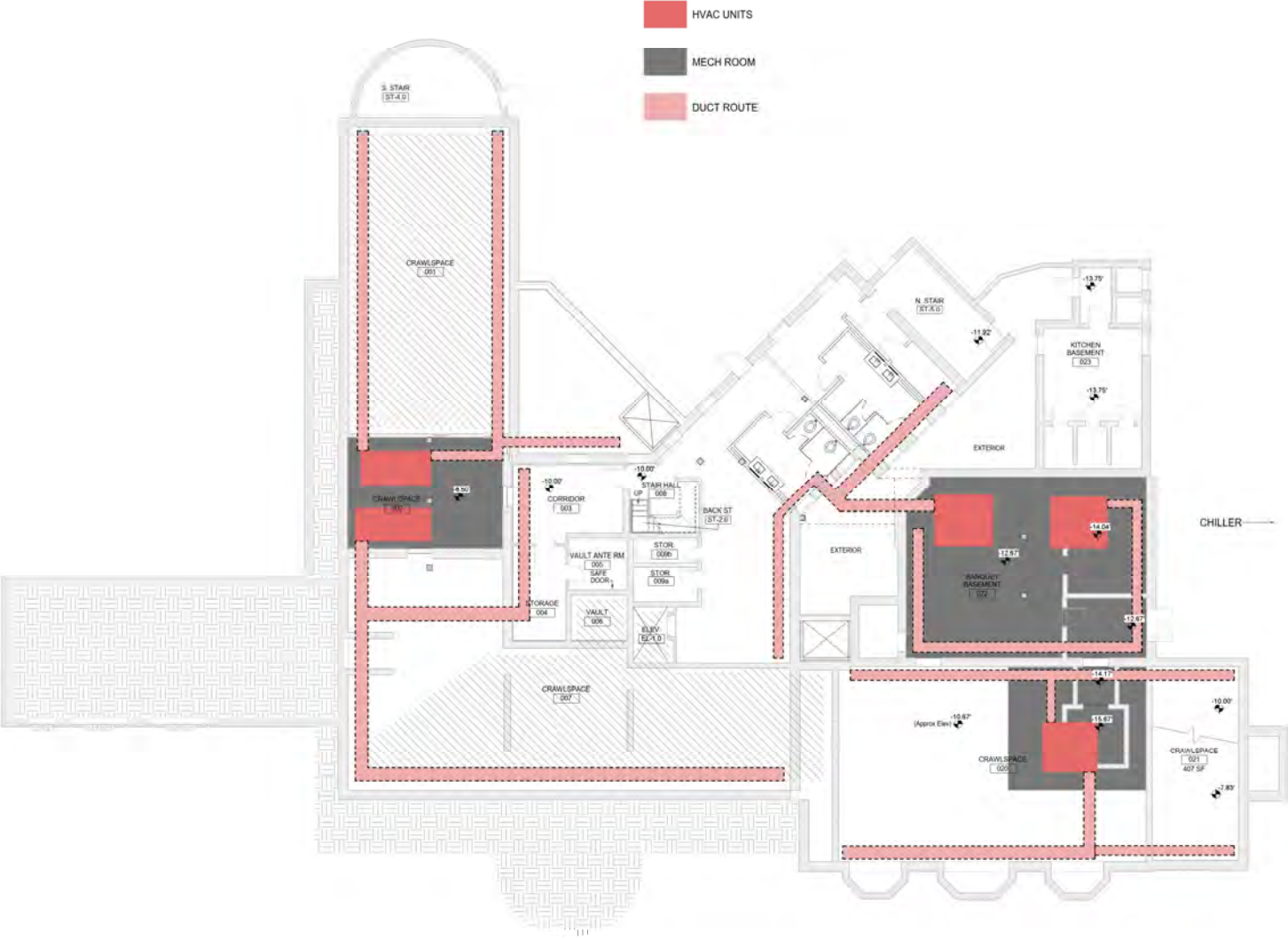
Third Floor

Ballroom



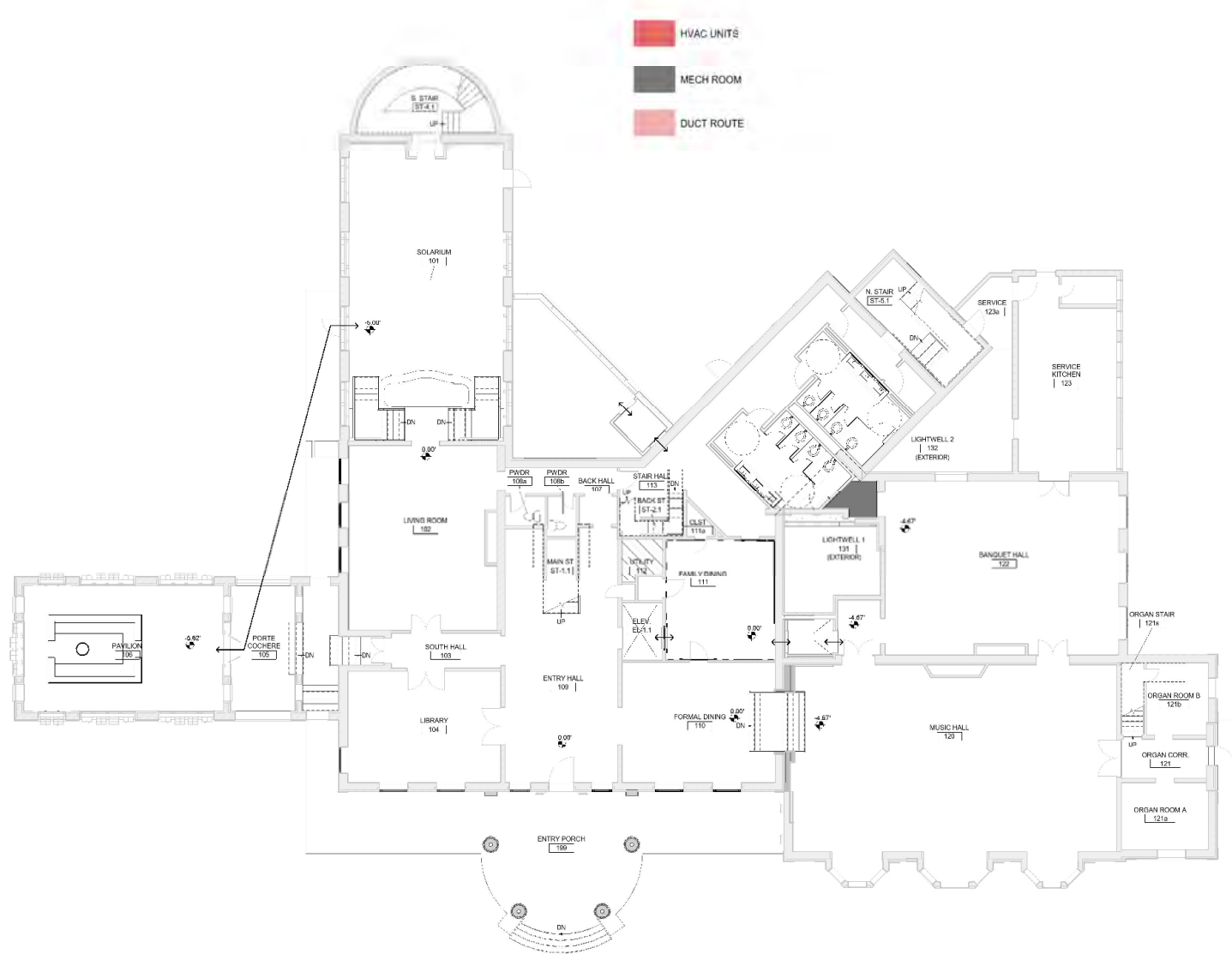
Restoration of floor, wall and ceiling finishes

Systems



Basement

Systems



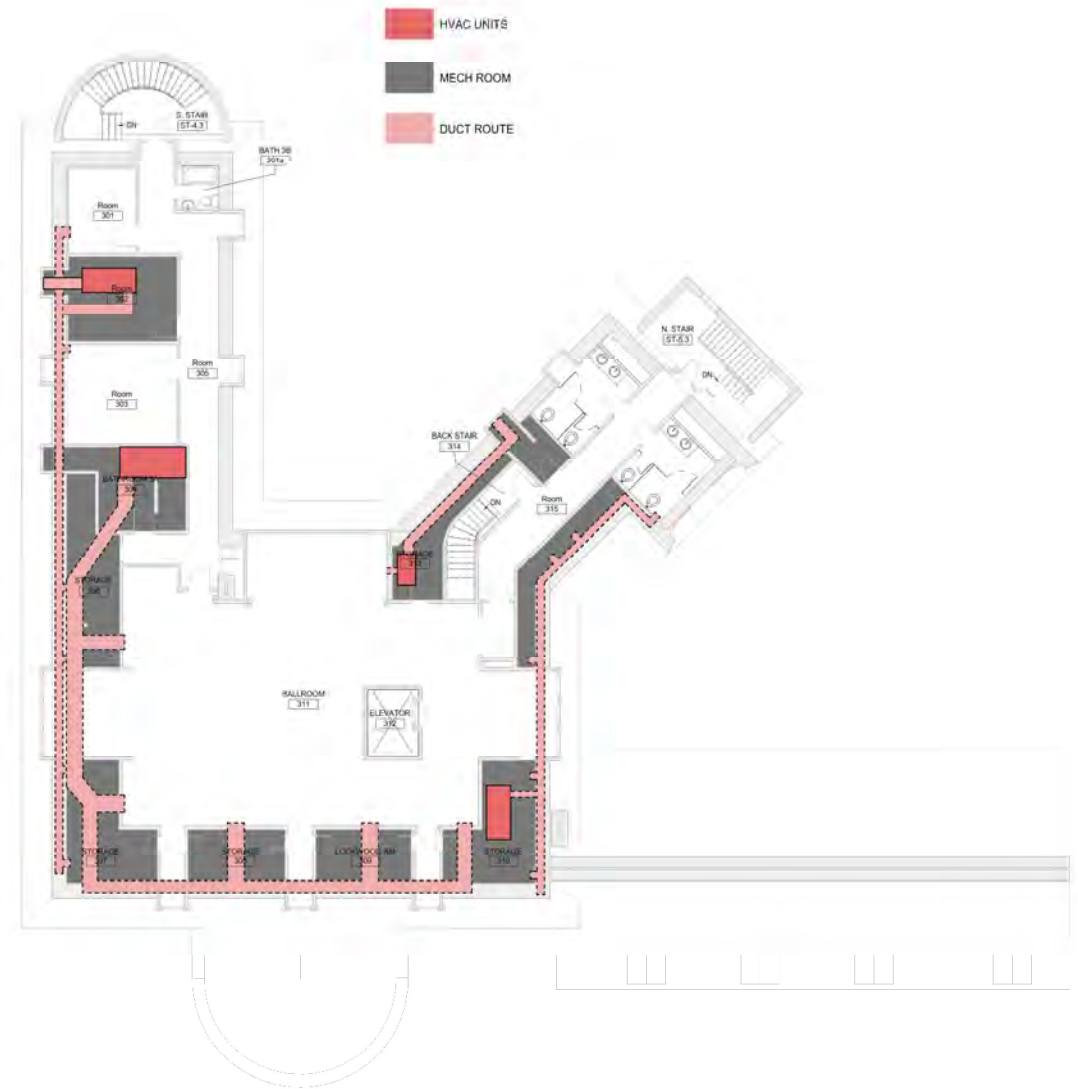
First Floor

Systems



Second Floor

Systems



Third Floor

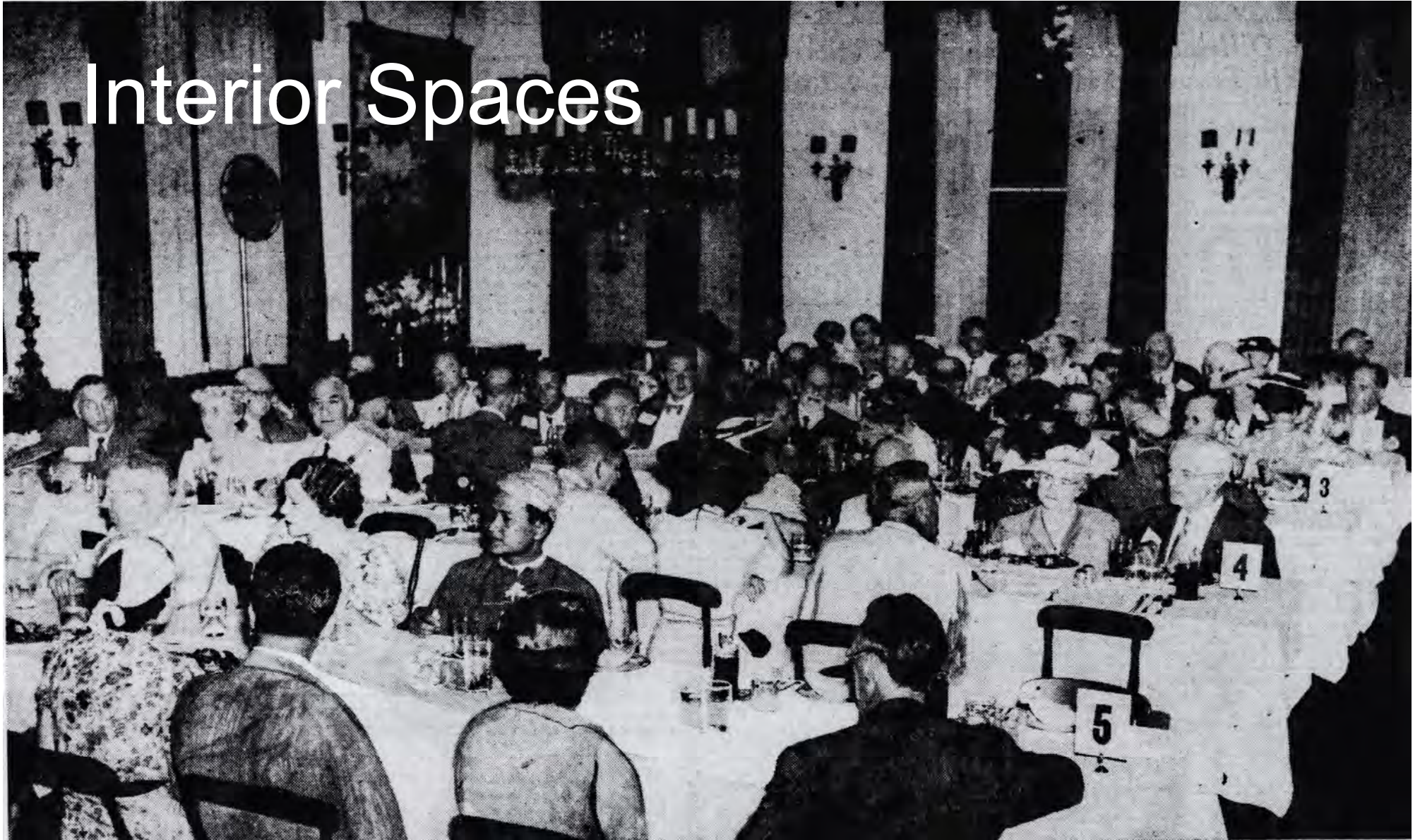
Interior Spaces

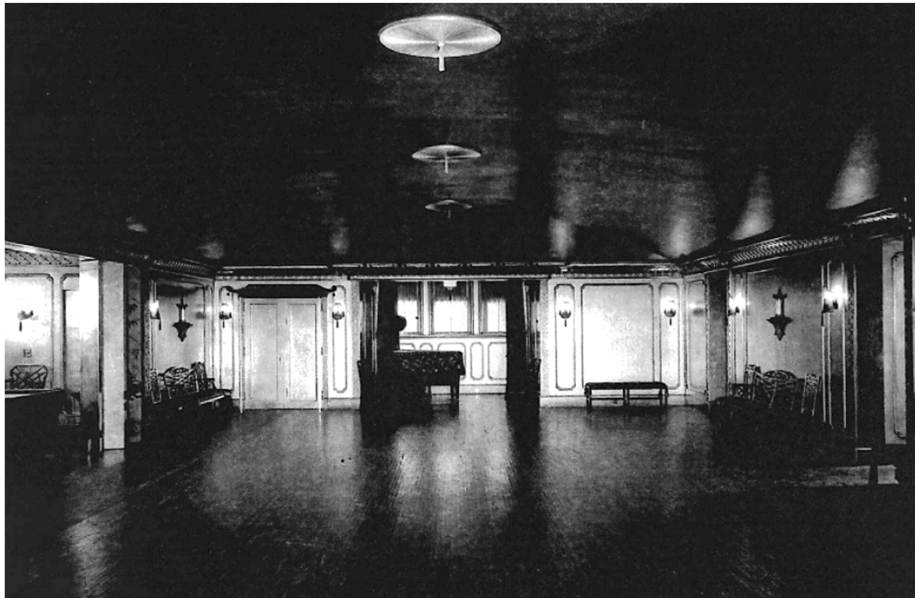


Interior Spaces



Interior Spaces





Ballroom



Restoration of floor, wall and ceiling finishes



Ballroom



Restoration of floor, wall and ceiling finishes



Master Bathroom



Restoration of floor, wall and ceiling finishes
Renovation of plumbing fixtures

Master Bathroom



Restoration of floor, wall and ceiling finishes
Renovation of plumbing fixtures

Master Bathroom



Restoration of floor, wall and ceiling finishes
Renovation of plumbing fixtures

Martha Bathroom



Restoration of floor, wall and ceiling finishes
Renovation of plumbing fixtures



Martha Bathroom



Restoration of floor, wall and ceiling finishes
Renovation of plumbing fixtures



Family Breakfast Room



Restoration of decorative wall trim
Historic decorative trim reinterpreted
New elevator entrance

Summer Pavilion



Restoration of floor, wall, ceiling finishes
Restoration of windows and light fixtures
Addition of new permanent bar









Candler Mansion

Condition Assessment & Schematic Design Proposal

1256 Briarcliff Road, Atlanta Georgia
August 18, 2023



Candler Mansion Conditions Assessment & Schematic Design Scope

Prepared For:

Galerie Living

Project number 12169-00

Prepared By:

Lord Aeck Sargent, Planning + Design

1175 Peachtree Street Northeast, Suite 2400

Atlanta, Georgia 30361

August 18, 2023

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Architectural Summary

The following is a brief summary of the major work to be included in the scope of this package for the restoration and rehabilitation of the Historic Candler Mansion.

THE MANSION

The current mansion consists of the original 1922 “Main House”, the “Summer Pavilion” and “Music & Banquet Hall” additions executed later by the Candler’s, and the additions of Egress Stairs and an Institutional Kitchen completed in the 1950’s and 60’s during the buildings use as a healthcare facility. The mansion has a total of 27,000 net square feet of habitable space on 3 upper floors of varying sizes over partial basement areas and crawl spaces. The program for the restored and rehabilitated mansion is for it to serve as a publicly rentable events and education facility to be utilized by the surrounding Atlanta community and neighborhoods.

Demolition Scope in this Package

Remove the footbridge structure connecting the mansion to Carriage House in its entirety including support structures and foundations.

Remove non-historic interior walls and applied finishes wherever possible if elements are not necessary for the mansions future use.

Remove original construction elements and materials only where damaged or deteriorated beyond repair, or as required to accommodate the mansion’s new program and services.

See Engineering narratives for scope of utilities demolition.

Exterior Restoration and Rehabilitation Scope

Clean, repair, and restore all exterior masonry. Strip and repair the wood cornice and exterior wood trim/paneling.

Remove and replace all roofing, gutters and downspouts. Replace water damaged framing and decking.

Restore the original wooden and steel windows. Replace damaged or deteriorated frames and sashes in-kind. Replace all exterior doors.

Interior Restoration and Rehabilitation Scope

Repair and refinish original wood and tile flooring on the first floor and in the circulation spaces on the second floor. Replace wood flooring to match original where damaged beyond repair. Carpet to be installed at second floor classrooms over original wood flooring covered by fluid applied traffic coatings.

Strip paint from all woodwork and ornamental plaster to reveal original trim profiles and ornament character. Repair or replace damaged wood trim and ornamental plaster elements to match existing original material.

Repair or replace damaged or missing plaster at walls and ceilings. Remove failing paint finishes and prepare plaster walls and ceilings for new paint.

The original family bathrooms at the 2nd floor are remarkably intact and will be renovated for reuse in the renovated house. Strip coatings and restore intact original tile floor, wall, and trim with minimal tile replacement required. Install new fixtures, fittings and accessories in these bathrooms with items similar in style to original historic elements.

Repair and restore the three original staircases. Two wood staircase and one marble staircase

Architectural Additions and Modifications

The design goal for the additions and alterations to the historic mansion is to limit these interventions to what would be minimally required to meet the new functional program as well as building code and accessibility requirements.

Two small additions will be constructed on the exterior of the mansion. One in the west V-courtyard and a second an interior lightwell. Both will accommodate LULA (Limited Use-Limited Application) elevators providing handicap access to the Solarium and Music Hall floor levels.

A new 4 story elevator will be installed in the location of an existing elevator.

Existing steel egress stairs will be removed and replaced with current code compliant stairs in the existing masonry shafts.

Additional large restrooms to accommodate the greater assembly occupant loads of the new uses will be added into the existing north wing of the mansion.

The existing Institutional Kitchen space and exterior access to that space will be modified to function as a Catering Service Kitchen for events in the renovated mansion.

Creation of two new Mechanical Rooms in the basement of the mansion will require minor excavation, construction of walls including retaining walls, and installation of new concrete floor slabs.

Minor alterations will be required in the mansion to accommodate the ductwork and piping for the modern HVAC systems and other utilities being installed. See Engineering narratives and drawings for descriptions of these systems.



CARRIAGE HOUSE

The Carriage House was one of the original 1922 estate structures. It is a 3-story masonry and concrete structure with a wood frame roof. The structure consists of a lower-level walkout basement that was used for storage and services, a main level 3 vehicle garage and an upper level that originally served as servant living quarters.

Scope of Work in This Package

Work on the Carriage House will be limited to the stabilization and rehabilitation of the exterior of the structure. Interior demolition of non-historic walls and elements will be included in the scope but no interior rehabilitation or new construction. Electrical service may be installed for temporary interior and exterior lighting, but no permanent services or other utilities are included in this scope.

Exterior Rehabilitation Scope

Work will include:

- Exterior Masonry cleaning and restoration. Including repairs where bridge is removed.
- Repairing damaged roof framing, installing new roofing, gutters and downspouts.
- Replacement of wood cornices.
- Removal and replacement of exterior wood finishes at upper-level bays.
Repairing damaged structure.
- Installation of new aluminum clad casement windows at all openings.
- Installation of residential grade paneled garage doors, or construction of infill walls at the three garage openings with trim imitating traditional garage doors.
- Removing 2nd level floor framing blocking original stairs and restoring this access path to the 2nd floor.

GREENHOUSES AND SERVICE BUILDING

The Greenhouses and their Service Building were constructed as part of the original 1922 estate. They were designed and constructed by the Lord and Burnham company based in New York and some of the original construction drawings are available. (Note the green glazed barrel tile roof on the Service Building is called out on its original construction drawings to be the same as the original material of the roof on the mansion.)

Scope of Work in This Package

Scope does not include work on the Greenhouses and their attached Service Building.



SITE DEVELOPMENT

The original estate comprised of over 40 acres of developed land with the mansion situated on one of its highest points. An extensive network of retaining walls, terraced gardens, and water features surrounded the area around the original mansion. Site improvements and alterations during the institutional use of the property demolished many of these features. Some of the historic retaining walls, steps and garden features closest to the mansion still exist in varying states of disrepair.

Scope of Work in This Package

Scope does not include: Major site development work such as site feature demolition, rough grading, new site retaining walls, paving, driveways, or landscaping.

Scope does include: Construction of new handicap access ramps, exit discharge landings and steps to grade from egress stair towers, and exterior improvements related to accessing the Catering Service Kitchen.

END OF DOCUMENT



Architectural Exterior Restoration and Rehabilitation

Content

EXTERIOR RESTORATION SUMMARY

Content

02 SELECTIVE DEMOLITION

See Architectural Additions and Modifications Section

04 STONE AND CLAY MASONRY CLEANING

Clean entire exterior of structure. Clean all masonry after repair work. Provide mock-up(s) starting with least abrasive first and increasing after evaluation with Architect.

04 MASONRY REPAIR AND REPOINTING

Provide mock-ups of each proposed mortar color and samples of each masonry material for replacement and patching.

Provide mortar analysis to determine aggregate and ratios of existing mortars.

Includes general repairs such as removal of ferrous materials, extraneous anchors, patching of small openings.

04 GRANITE MASONRY RESTORATION

Content

05 REPAIR AND TREATMENT OF HISTORIC METALS

- Remove paint, coatings, and rust from metal elements with gentlest means possible.
- Repair all deteriorated components with compatible materials and re-coat with high performance coating to match historic finishes.

Railings at Pavilion small SE entrance steps.

Mock wood panels below four (4) windows at exterior of Banquet Hall.



06 EXTERIOR ARCHITECTURAL WOODWORK

Replace deteriorated wood elements at exterior of house. See Elevations for scope.

Wood Cornice

Wood door & window surrounds, paneling below windows, Misc. wood trim

Two story structural wood columns and pilasters @ Entry Portico

Portico columns are hollow wood structural members. Repair bases of three(3) columns where decay is occurring. Repairs must be structural in nature, not just aesthetic.

Reconstruct original balustrades previously removed from roof

Historic photographs show balustrades on the edges of flat roofs on the front, east side of the house. The photographs indicate turned balusters. Interspersed with solid piers. These balustrades were located at:

- Front Entry Portico
- Summer Pavilion
- Music Hall Bays

New balustrades would be constructed of fiberglass or PVC material's resembling the currently undocumented original elements in scale and proportion.

07 SLOPED ROOFING

The new sloped roofing is to be priced as green barrel tile to resemble the original roof type of the house and optionally as architectural grade asphalt shingles. Roof work would include reconstructing the original integral gutters at the sloped roofs.

Option 1 – Glazed Terra Cotta Tile

Option 2 – (Imitation Barrel Tile, Metal or Cement?)

Option 3 – Asphalt Shingles

07 LOW SLOPE ROOFING

The flat roof areas are to be priced as single ply membrane roof materials. A combination of perimeter gutters and internal drains would be provided at flat roof areas to match original/existing drainage configurations.



TPO Membrane Roofing

Fully adhered membrane installation of 60 mil TPO membrane roofing over coverboard on R-25 Rigid Mineral Wool Fiber Insulation over existing structure. Minimum slope 1/4" per foot. Roofing membrane to be 0.060 inches thick. Manufacturers and products are as follows:

Provide walk pads for mechanical equipment access at Pavilion and Kitchen Roofs

Provide flashing for new balustrade support elements penetrating thru roof.

08 STILE AND RAIL EXTERIOR DOORS

See Interior Restoration and Rehabilitation section.

08 CLAD WOOD WINDOWS

Extruded Aluminum clad wood window units custom sized to fit existing masonry and wood framed openings. Kolbe or Marvin.

Carriage House Windows Only

- 12 french double casement style units
- 3 double hung units at garage level
- See Architectural elevations for locations of openings only. Style of windows not drawn at this time.

08 WOOD WINDOW RESTORATION

See Drawings for sizes and configurations of windows, identification of damaged window scope requiring repair/replacement.

- Abatement of hazardous materials is to be assumed.
- Sashes to be cleaned, stripped, repair joints, replace deteriorated features, install new glazing where missing.
 - o 1 3/4" sash thickness
 - o 1/4" thick float glass typical at wood windows
 - o Glazing is set with wood stops at exterior, not glazing compound.
- Replace damaged sashes to match existing.
- Reattach counter weight chains as required and verify operability of counterweights in pockets.
- Provide new weatherstripping, all operable windows.
- Refinish with paint.



08 STEEL WINDOW RESTORATION

See Drawings for sizes and configurations of windows, identification of damaged window scope requiring repair/replacement.

- Abatement of hazardous materials is to be assumed.
- Sashes to be cleaned, stripped, and repaired with in-kind materials.
- Remove existing glazing and install new glazing to match original.
- Provide high performance paint finish. See Article 09 HIGH PERFORMANCE COATINGS
- Provide new weatherstripping, all operable windows.

09 CERAMIC TILE RESTORATION

See A740 Drawings

09 EXTERIOR PAINTING

Paint all non-masonry materials at exterior of house.

Preparation

Remove existing paint as required to achieve sound substrate.

Finish Paint

Primer based on material plus two coats of semi-gloss latex enamel.

09 HIGH-PERFORMANCE COATINGS

High performance coating system (primers and top coats) for exterior of steel windows.

High performance coating system to protect exposed steel lintels.

Preparation

Remove all paint to fully expose surface where high-performance paint is called for.

END OF SECTION



Architectural Interior Restoration and Rehabilitation

02 SELECTIVE DEMOLITION

See Architectural Additions and Modifications Section

04 STONE AND CLAY MASONRY CLEANING

See Exterior Rehabilitation and Restoration Section for description of work at Pavilion exposed “interior” masonry. (matches exterior)

Walls and Stone Trim Matching Exterior

@ Pavilion interior walls

Limestone and cast stone Walls and Trim

@ Solarium and Music Hall

Stone Fireplace Mantels and Surrounds

Music Hall Fireplace

Library Fireplace

05 REPAIR AND TREATMENT OF HISTORIC METALS

- Remove paint, coatings, and rust from metal elements with gentlest means possible.
- Repair all deteriorated components with compatible materials and re-coat with high performance coating to match historic finishes.

Railings at Solarium steps.

Ornamental steel railings at each side of small set of steps from main house down into solarium around fountain.

Railings at marble staircase

Ornamental steel posts and balusters surface mounted to stringers of marble stairs, supporting wood handrail.

Radiator Screens

Cast iron & steel panels, varying in style and size throughout residence.



06 ARCHITECTURAL WOODWORK RESTORATION

Repair and replace damaged or missing wood trim elements throughout house to match original intact elements. See 09 Interior Paint section and Finish Schedules in drawings for additional information.

Painted Trim and Paneling

Assume total of 300 linear feet of new baseboard, door casings, chair rail, etc at 1st and 2nd floor of mansion.

Painted Raised Panel Wainscot

Assume replacement of twelve (12) 2ft x 4ft raised panels and frames to replace damaged wainscot elements.

Stained Wood trim and Paneling

- Library: assume replacement of 75 square feet of flat wood paneling and 100 ft of profiled trim to match existing in space.
- Music Hall: Assume replacement of 100 square feet of flat wood paneling and 200 feet of profiled trim to match existing in space.

06 WOOD STAIRCASE RESTORATION

Repair and refinish wood treads, remove existing wood handrails, balusters and newel posts, replace with new custom newel posts, curved railings, and custom turned balusters to match original historic elements.

- Main Stair from 1st Floor to 2nd Floor. Assume replacement of 10 treads.
- 3rd Floor Stair from 2nd floor to 3rd floor. Assume replacement of 10 treads
- Original stairs from Main House down to Music Hall (currently covered). Assume replacement of all treads.

Include installation of post mounted contemporary steel handrails at each stair to meet code requirements.

08 STILE AND RAIL WOOD DOORS

See Architectural Alterations and Additions Section for this work.

08 DOOR HARDWARE

See Architectural Alterations and Additions Section for this work.

09 PLASTER REPAIR AND CONSERVATION

See Finish Schedules for estimated quantities and types of historic plaster material repairs.



- Plaster to be tested to confirm existing material and compatible repair materials.
- Plaster is assumed to be primarily gypsum plaster.
- Repair all damaged plaster at walls, ceilings, and detailing to match sound material.
- Where clay tile supporting plaster has been removed or damaged, repair substrate to reapply plaster.

09 ORNAMENTAL PLASTER REPAIR AND REPLACEMENT

See Finish Schedules and photographs for estimated quantities and types of historic plaster crown and ornament to be restored or replaced.

- Solarium Ceiling Medallions at large recessed light openings: Restore one (1) existing and replace two(2) to match.
- Family Living Room Crown: Highly ornate with molded features and corbels.
- Entry hall Crown: Extruded Plaster crown
- Formal Dining Room: Highly ornate with molded plaster and compo features.
- Banquet Hall: Band of molded plaster and compo features below beamed wood ceiling.
- Main Stair Hall:
- Second Floor Corridors and Bedrooms: Extruded plaster crown with applied wood trim/picture moulding at wall below crown and wood trim on ceiling above.

09 REMOVAL OF COATINGS AND RESTORATION OF CERAMIC TILE

- Remove Epoxy paint coatings at full height wall tile and heavy-duty Traffic Coating on floor tile.
- See A740 series of sheets and Finish Schedules for descriptions of work and scope.
Content

09 WOOD FLOOR REPAIR AND REFINISHING

Perform testing to document existing finishes on stained wood flooring throughout house to determine best approach to refinishing. Investigation needs to also document thickness of flooring above tongue and groove to determine if additional sanding is advisable as part of refinishing process.

Typical Type W1 Flooring

1 ½" wide face, ¾" thick, quarter sawn oak, tongue and groove flooring. Installed on ¾" wood subfloor. See Architectural Finish Details sheet A704 drawings for flooring type W6 with similar installation system over concrete structural floor slab.



Type W6 Ornamental Wood Flooring @ Music Hall and Banquet Hall

Approx. 6 inch wide x 1 inch thick wood plank oak flooring with contrasting color hardwood (possibly mahogany?) liner strips between each board. Flooring is screwed to substrate with recessed wood screws covered by square imitation contrasting wood pegs matching liner strips. See Architectural Finish Detail sheet A704 for section detail and plan view of flooring.

09 NEW WOOD FLOORING AND FINISHING

Match original flooring as described above where wood floor replacement is called for in Finish Schedules.

09 MARBLE RESTORATION

Clean and Refinish decorative marble features.

Marble Staircase

Restore marble treads, risers and stringers at 3 story back stair. (Basement to 2nd Floor)

Marble Fireplace Mantels and Hearths

Bedroom Fireplaces (two)

Banquet Hall Fireplace

09 INTERIOR PAINTING

Paint all exposed interior finish materials previously painted unless noted otherwise.

Preparation

- Wood Trim: Remove all paint to bare wood surfaces at interior woodwork in preparation for repainting.
- Ornamental Plaster elements: Remove all paint to bare plaster and compo surfaces in preparation for repainting
- Walls and Ceilings: Remove paint to achieve sound substrate at plaster walls and ceilings.

Finish Paint

- Primer based on material plus two coats of semi-gloss latex enamel.
- Ceilings, including ceiling ornament: Flat finish
- Walls, plaster crown moulding, plaster ornament: Eggshell finish



- Wood Trim: Semi-gloss finish

09 INTERIOR TRANSPARENT FINISHES

Testing

Perform testing to document existing finishes on stained paneling and millwork at Library and Music Hall

Preparation and New Finish

Prepare and Refinish all stained millwork surfaces in a manner determined to be compatible with existing finishes and assumed historic appearance.

END OF SECTION



Architectural Additions and Modifications

02 SELECTIVE DEMOLITION IN HISTORIC STRUCTURES

See Demolition Plans and Interior Finish Materials Schedules for descriptions of demolition scope. Work includes:

General

- Removal of interior walls, floorcoverings, drop ceilings, and general materials as indicated on demolition plans and schedules.

Equipment

- Removal of obsolete elevator equipment.
- Removal of Institutional Kitchen Equipment including rooftop equipment

Removal of abandoned Electrical, Plumbing and HVAC systems.

- Remove all equipment and distribution conduits, wiring, piping and ductwork where exposed and accessible after general demolition.
- Document fixtures and vents connected to all sanitary drain lines and verify which are to be removed prior to demolition of these elements.
- See Engineering narratives for additional information.

Historic Radiators

Radiators will only be removed where necessary to accommodate new HVAC systems or other utilities being installed.

03 CAST-IN-PLACE CONCRETE

Structural elements and Architectural exposed concrete. Retaining walls, slabs on grade, elevated floor and roof slabs at addition

Exterior

- Retaining walls and slabs at Service Kitchen exterior access improvements
- Topping slab and ramp at south walkway between Solarium and Porte Cochere.
- Ramp to Entry Portico
- Landings and stairs from egress stair doors to grade.
- Foundations for additions

Interior

- Foundations for Elevators and slabs for their Pits. (see 03 Waterproofing Additives)
- Floor slabs at new Mechanical Rooms
- Topping slabs under tile where existing tile finishes have been removed



03 WATERPROOFING ADDITIVES IN CONCRETE

Crystalline waterproofing additives at new Elevator and LULA pit walls and slabs

05 STRUCTURAL STEEL FRAMING

West Addition

2 story structural steel frame at addition w/ composite concrete slab at Solarium floor level and roof level

Equipment

- Removal of obsolete elevator equipment.
- Removal of Institutional Kitchen Equipment including rooftop equipment

Removal of abandoned plumbing and HVAC piping and ductwork.

See Engineering narratives for additional information.

05 STEEL STAIRS AND RAILINGS

Content

Interior egress Stairs in existing stair towers

Design and install new code compliant egress stairs to replace existing in the stair towers on the end of each wing.

Exterior stairs at Service Kitchen Entrance.

Steel stairs and railings with pre-cast concrete treads.

05 ROOF ACCESS LADDERS

Two (2) steel roof access ladders.

- Ladder 1 from grade to Kitchen Roof with cage and climbing barrier affixed to masonry walls at south side of Service Kitchen. 7 ft ht.
- Ladder 2 from Kitchen roof to Banquet Hall Roof . 21 ft ht.
- Pavilion rooftop HVAC equipment will be accessed via operable window from 2nd floor



06 ROUGH CARPENTRY

Repair of existing damaged materials, miscellaneous blocking for new construction.

Main House.

- Replace deteriorated roof rafters and decking.
- 3rd floor wall construction and wall modifications for new room arrangements.
- Modifications to existing walls and framing of chases for new HVAC systems ductwork and piping.

Carriage House.

- Replace deteriorated roof rafters and decking
- Repair deteriorated framing and sheathing at 2nd level bays.
-

06 FINISH CARPENTRY

See Treatment of Historic Wood elements for finish carpentry.

07 BOARD & BATT INSULATION

Additions

Provide code required batt and continuous board insulation at exterior walls

Roof insulation

See Roofing Sections

07 MEMBRANE ROOFING

Fully adhered membrane installation of 60 mil TPO membrane roofing over coverboard on R-25 polyisocyanate over new sloping concrete or metal roof deck. Minimum slope 1/4" per foot. Minimal tapered insulation required.

Roofing at West Courtyard Solarium Access Addition

Content

Roofing at LULA addition in Lightwell

Content



07 SHEET METAL

Provide kynar coated aluminum flashing and trim at all roofing transitions and edge terminations.

Fabricate aluminum integral gutters at cornices of sloped roofs to replace original installation.

Fabricate and install new custom metal chimney caps at four(4) chimneys

07 JOINT SEALANTS

Remove any existing sealants and provide new joint sealants for all, but not limited to, the following conditions:

- Intersection of the building and paving.
- Perimeter Intersection of windows and doors
- Intersections of differing wall material.
- Penetrations for piping or other elements through building envelope.

08 STILE AND RAIL WOOD DOORS

Existing Interior Wood Doors

Repair all existing frames to remain with in-kind material.

Interior 6 panel wood doors to remain: where doors exist and are indicated to remain, repair doors with in-kind material. Where existing doors opening direction is to be adjusted, carefully remove door from frame and reverse hinge. Minimally adjust frame to receive reverse swing.

Interior wood doors to be replicated: when at all possible, reuse salvaged doors at these locations. If not possible, replicate historic doors with in-kind materials

New Interior Wood Doors

Where new doors in existing frames or new door openings are in “public” spaces, new door types are to be of the same configuration as typical openings including panels and lites. New frames and door profiles are to be simplified with no decorative molding.

- o Typical Door height is 7’-0” at the second floor of the mansion.
- o All doors to be 1 ¾” thickness

New Exterior Wood Doors

All exterior doors will be replaced as part of the work. Assume 6 panel mahogany doors at existing and new openings in historic mansion.



08 METAL DOORS AND FRAMES

Exterior Egress Stair and Exterior Utility openings

Provide stamped metal doors imitating 6 panel wood doors at these locations.

08 DOOR HARDWARE

There were very few doors on the 1st floor of the mansion separating major spaces. Historical photographs indicated curtains were used at most locations where doors may have been expected on the 1st level. Original oval knobs and hardware are still intact on many of the original second floor doors. While some of the original hardware on secondary doors may remain in place, to meet the accessibility requirements of renovated mansion all primary access doors into spaces will be modified to accept contemporary latch-sets with ADA compliant lever handles having a traditional residential appearance.

Exterior Doors

All exterior doors will be new and will receive new mortised latch-sets and fittings. Egress doors will require emergency egress hardware.

Interior Doors

- For the purposes of this pricing exercise assume all interior doors, existing and new, will receive new cored latchsets with traditional ADA compliant hardware fittings.
- Egress doors will require emergency egress hardware and fittings.

09 GYPSUM BOARD ASSEMBLIES

Provide metal studs and 5/8" type X gypsum wall board for new walls.

09 TILING (NEW INSTALLATIONS)

Install new floor tile using thin set installation method over new concrete topping slabs where existing tile or wood flooring is removed.

Install new wall tile on new gypsum board wall assemblies.

Materials: See A740 series of drawings for tile selections not indicated below

Basement Corridors and Restrooms.

Floor and 5 ft wainscot wall tile



First Floor North Wing Restroom Corridor and Restrooms.

Floor and 5ft wainscot wall tile

Solarium Access Addition.

Floor Tile on new Concrete Floor Slab:

Material: 6x6 quarry tile similar to terraces at front of house.

Service Kitchen Lower and Upper Levels

Floor and 5ft wainscot wall tiles on existing masonry walls and new walls

Material: Floors - 6x6 red quarry tile, Walls -12x18 glazed ceramic wall tile.

09 EXTERIOR AND INTERIOR PAINTING

Prepare and Paint all exposed new construction materials as appropriate for material.

10 TOILET COMPARTMENTS

Floor mounted and overhead braced phenolic partitions with stainless steel hardware, continuous hinges and gap free partitions.

10 TOILET AND BATH ACCESSORIES

Provide decorative residential style chromed and nickel finish accessories in restored 2nd floor bathrooms.

Provide and install standard institutional grade, decorative stainless steel accessories in new public area toilet rooms.

Provide and install standard institutional grade, decorative stainless steel accessories in all janitor closets.

10 FIRE EXTINGUISHERS, CABINETS AND ACCESSORIES

Semi-recessed fire extinguisher cabinets, three (3) per floor.

11 EQUIPMENT

Not in SD pricing Scope



12 WINDOW TREATMENTS

Not in SD Pricing scope.

12 COUNTERTOPS

- Restrooms: Quartz countertops and splashes with steel supports. Undermount sinks. See A740 sheets for detailed information.
- Service Kitchen: Stainless Steel countertops and backsplashes

14 ELEVATORS AND LIFTS

One (1) 4 story, 4 stop, front-rear opening, hydraulic machine-room-less elevator. Custom size to fit in existing shaft.

Two (2) Limited Use-Limited Application (LULA) elevators. By Graventa or similar.
No. 1: 2 story, 3 stop, front-side opening model. Hydraulic with machine room adjacent on bottom level.

No. 2: 1/2 story, 2 stop, front-rear opening model. Hydraulic with machine room adjacent on bottom level.

21 FIRE PROTECTION SYSTEMS

Sprinkler system piping will be exposed in a majority of locations due to the nature of the existing construction with finishes applied directly to the concrete and masonry structure. Piping routes will be carefully planned and coordinated to minimize visual impact in historically significant areas.

See Fire Protection Narrative for additional information.

22 PLUMBING SYSTEMS

Plumbing supply and waste piping will attempt to be concealed as much as possible. Piping routes will be carefully planned and coordinated to minimize visual impact in historically significant areas. Documenting locations and conditions of existing sanitary lines concealed in structure will be required to facilitate their re-use if possible. Trenching of existing masonry walls for piping will be employed where existing finishes can be repaired in kind. Small chases and soffits will be employed to cover piping in some locations where necessary.

See Plumbing Narrative for additional information.



See A740 Architectural Drawings for information regarding plumbing fixtures and fittings. Where conflicts in documents exist regarding fixtures and fittings, information in A740 drawings will take precedence.

23 HVAC SYSTEMS

See Mechanical Systems Narrative for additional information.

26 ELECTRICAL SYSTEMS

Service and Distribution.

Electrical wiring distribution will attempt to be concealed as much as possible. Conduit routes will be carefully planned and coordinated to minimize visual impact in historically significant areas. Documenting locations and conditions of existing conduits concealed in structure will be required to facilitate their re-use to serve existing switch, outlet and lighting junction box locations in 1st floor significant spaces wherever possible. Trenching of existing plaster on masonry walls and removal and reinstallation of wood trim for concealed installations of raceways and conduits will be employed where existing finishes can be repaired in kind. Small chases and soffits will be employed to cover conduits in some locations where necessary. Exposed conduit will be acceptable in specific locations.

See Architectural drawing ELECT 1 for documentation of areas where differing approaches to concealing Electrical distribution will be employed. These drawings would also correlate to treatments of lighting fixture types to be installed as described in following lighting articles.

Lighting at Historically Significant Spaces

Existing Rooms: Documentation of the existing lighting fixtures in the mansion to determine which fixtures are original and have the potential to be restored and re-used has not been completed. For the purpose of SD pricing we will assume that all decorative fixtures installed at the original fixture locations will be new fixtures compatible in style to what the original fixtures may have been. Typical first floor spaces contained a single ceiling fixture and multiple wall sconces. Options will be explored for how to supplement this decorative lighting with general lighting.

See A740 series of sheets for information on lighting in historic bathrooms and some renovated interior spaces.

Lighting at Less Significant Spaces

Existing and New Rooms: More flexibility in the selections of fixture types and locations will be permitted in these spaces to prioritize functionality. and Documentation of the existing lighting fixtures in the mansion to determine which



fixtures are original and have the potential to be restored and re-used has not been completed. For the purpose of SD pricing we will assume that all decorative fixtures installed at the original fixture locations will be new fixtures compatible in style to what the original fixtures may have been. Typical first floor spaces contained a single ceiling fixture and multiple wall sconces. Options will be explored for how to supplement this decorative lighting with general lighting.

27 TELECOM SYSTEMS

See Systems Narrative for additional information.

28 ELECTRONIC SAFETY AND SECURITY SYSTEMS

See Systems Narrative for additional information.

END OF SECTION



Structural Scope of Work

The structural scope of work includes modifications to the existing structure and new construction. Following is an outline of our understanding of the existing structure and what structure work will be required in this project. Coordinate this scope with other disciplines as this section does not identify the number of occurrences of a structural modification for minor structural work such as openings for architectural, electrical, mechanical or plumbing.

EXISTING STRUCTURAL SYSTEMS

The existing structure has several phases of construction. It appears the various phases were constructed using similar systems. While we have a good understanding of the structure, we don't yet have a specific understanding of the structure due to the finishes that remain in place. While we did not see indications of significant structural deterioration, there may be some areas revealed during demolition that require some degree of repair or reinforcement.

Following are description of the various structural components:

Roof

The Roof appears to be constructed with wood roof rafters and roof deck boards. The rafters may be of different sizes and may vary from rough cut dimensions to nominal dimensions. There are areas of decay that will need repair. We anticipate less than 300 SF of roof framing and sheathing repair/replacement.

Floors

The existing floors consist of concrete slabs with clay tile void forms. The actual thickness, concrete strength, reinforcing, and reinforcing strength is unknown at this time. The floors appear to be performing well and have been used as residence and office use, giving us confidence that the floor capacity is adequate for the future intended use. There were soft spots noted in several areas of the floors. We believe this is just the wood finishes on top of the concrete floor structure.

Walls, Columns, and Foundations

Walls appear to be constructed of load bearing solid brick. The structural brick walls appear to be in good condition. We observed several concrete columns in the interior of the basement space. It is possible there are other columns on other floors currently concealed by the finishes. We did not observe any distress in the structural walls or columns. The foundations appear to be and are likely to be cast in place concrete. Loads on existing structure are not likely to change significantly in the proposed renovation, therefore we do not anticipate repair or reinforcing to these components unless altered by proposed modifications.

Lateral System

The existing lateral force resisting system appears to be unreinforced masonry walls. The seismic design category of this site is Category C. A Geotechnical investigation could, but is unlikely in this geologic area, to identify a better soil Site Classification to reduce our Seismic Design Category to Category B. As such, Unreinforced Masonry shear walls is not



a permitted system in Seismic Design Category C. However, our analysis of the building and building code exceptions for existing buildings will permit us to use the existing lateral system. If the building modifications reduce the capacity of the existing lateral force resisting system, or increase the lateral loads on the existing system, additional lateral system upgrades will be required.

MODIFICATIONS TO EXISTING STRUCTURE

Following are anticipated structural requirements to address typical modifications to accommodate other disciplines and systems:

Openings

There are likely to be several new roof, wall, and floor openings to accommodate various uses. Following is the likely structural approach to accommodate these openings:

- Roof openings less than 5'-0" x 5'-0" will likely be framed out by sistering the sides of the openings with 2 LVL rafters, full length, and 2 solid sawn 2x member headers at the top and bottom of the opening. Members to match depth of existing.
- Wall openings for conduit less than 5" diameter can be cored through the wall. multiple conduits will be looked at in total and may require headers as noted below.
- Wall openings 3'-0" and less will be supported at the opening head with a steel angle on each side 8" longer than opening on each side. Assume L6x6x3/8 angles.
- Wall openings 3'-0" to 6'-0" will likely require 12" steel channels each side of wall and through bolted with a 1/4" steel bent plate covering the jambs and bolted to the walls with 5/8" epoxy anchors 24" on center.
- Floor openings 12" and less can be cut through the slab provided they are located between the concrete ribs. The clay tile is the area between ribs where these holes can be made.
- Floor openings greater than 12" or cutting the concrete ribs will require steel wide flange beams to support the slab. Size of beams depends on size of openings and span length of beams. For floor openings up to 4'-0", assume 4 beams, W10x19 each 10'-0" long for pricing purposes.
- Floor openings greater than 4'-0" will likely be supported by columns and beams or cmu load bearing walls.

Elevators

Elevators cut into existing floors will have the following:

- 12" concrete footing, 16" wider than the elevator shaft on each side.
- 8" cmu walls at each level supporting a floor opening. Cmu wall to be F'm = 2,000 psi, with #4 bars 24" on center and 9-gauge horizontal wire reinforcement a16" on center. Grout all cells at reinforcing and below grade.
- Core elevated slab to provide continuous reinforcing and attachment to floor.
- 24" x24" x24" sump pit unless not required by elevator design.
- Elevator designs requiring hoist beams will have cmu walls to the top of the shaft.
- The elevator in the existing areaway will be similar construction with the new cmu wall tied to the existing walls with epoxied rebar dowels. The roof will consist of C4 channels 30" on center with 1 1/2' 22 gauge metal roof deck.



Mechanical Rooms

There are two areas of anticipated mechanical rooms in the basement. Following is anticipated for the mechanical rooms:

Mechanical Room 002:

- Excavate 12"-16" of soil from base of room.
- Provide shoring of existing footings exposed by up to 12" until slab on grade is in place.
- Install vapor barrier and 5" concrete slab on grade (4,500 psi) with 6x6 W2.9xw2.9 WWF 1" below top of slab. Extend slab to extent of room. Provide 12" thick x 16" tall curb along exterior walls with #4 dowels into existing footings 16" on center.

Mechanical room 020:

- Anticipate excavation of 27 yards of earth.
- Anticipate 60'-0" of 10" thick 10'-0" tall concrete basement wall with #4, 6" on center, each way. 60'-0" of L4x4x5/16 bolted to slab with 5/8" diameter epoxy anchors 16" on center.
- 12" x 24" concrete footing with 3#4 continuous.
- Slab on grade: see above.
- Include foundation drain and sump pit.

Stairs

Original stairs to Music room will be uncovered. We do not anticipate structural repairs will be required as part of the proposed renovation of the original stairs.

Walls

Existing solid masonry walls are not conducive for running electrical conduit. Recessing the conduit into the wall, also known as trenching, should be minimized and needs to be laid out to maintain the structural integrity of the walls. Trenching reduces the capacity of the walls for both gravity and lateral loads. Excessive or poorly laid out trenching could reduce the existing capacity of the walls that require reinforcement to resist gravity or lateral loads. Possible reinforcement is likely to be more intrusive than surface mounted conduit.

STRUCTURAL SYSTEMS FOR ADDITIONS

West Courtyard Addition

The West Courtyard addition is a triangular space between the entry foyer and solarium.

Following are the anticipated structural components:

- All concrete = 4,000 psi.

Foundations

- 12" thick concrete elevator pit slab, 16" wider than shaft on each side, with #4 12" on center each way top and bottom.
- 8" concrete pit walls up to floor slab with #4, 12" on center each way.
- 8" concrete foundation wall along west wall with #4, 12" on center each way. Footing to be 12" x 24" with 3 #4 continuous.



- (5) 16" x 16" concrete piers with 8 #5 verticals and #3 ties 6" on center from footing to floor framing (6'-0"), on 4'-0" x 4'-0" 12" thick footings with 5#5 each way.

Floor Framing

- (5) HSS 6x6 x5/16 column 20'-0" tall, with (4) $\frac{3}{4}$ " anchor rods, 16" long.
- 8" cmu elevator shaft wall. reinforce with #4, 24" on center and 9-gauge horizontal wire reinforcing 16" on center. Grout all cells with reinforcing.
- 40' of W18x35 girder beams with $\frac{1}{2}$ " x 5" shear studs 12" on center.
- W14x22 floor beams, 5'-0" on center, with $\frac{1}{2}$ " shear studs 12" on center.
- 4 $\frac{1}{2}$ " concrete slab with 6x6 W2.9 x W2.9 WWF on 1 $\frac{1}{2}$ " 20-gauge composite galvanized steel deck (total thickness = 6").

Roof Framing

- 80' of W18x35 roof girders.
- W12x22 roof beams 5'-0" on center.
- 2" concrete slab reinforced with 6x6 W2.1xW2.1 WWF on 1 $\frac{1}{2}$ " 20-gauge composite steel deck, with L3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x $\frac{1}{4}$ " edge angle around perimeter of roof.

Exterior Slabs

4" slab on grade on prepared subgrade. Provide contraction joints 6'-0" on center in each direction.



HVAC Scope of Work

1.01 Quality Assurance:

- A. All heating, ventilating, and air conditioning will be designed in accordance with the following codes and standards:
1. The 2018 Edition International Mechanical Code, with Georgia Amendments (2020 and 2022).
 2. NFPA 90A, 2018 Edition, Standard for the Installation of Air-Conditioning and Ventilating Systems.
 3. NFPA 101 – 2018 Edition, Life Safety Code.
 4. ASHRAE 62.1-2016 Ventilation for Acceptable Indoor Air Quality.
 5. The 2015 Edition International Energy Conservation Code, with Georgia Amendments (2020, 2022 and 2023).
 6. All City, County, State, Regional, and other ordinances applicable to the work.
- B. The new mechanical systems will provide heating, cooling, ventilating, filtration, and exhaust for all occupied spaces. Minimum outdoor design conditions will be 95°F dry bulb, 74°F wet bulb in the summer and 10°F dry bulb in the winter. Equipment will have freeze protection designed to an outside temperature of 0°F.
- C. Indoor design conditions will be listed as below:
1. Area Design Conditions:

	<u>Winter</u>		<u>Summer</u>	
	°F	%RH	°F	%RH
Event Spaces	70	25	75	60
Ballroom	70	25	75	60
Kitchen / BOH	70	25	75	60
Classrooms	70	35	75	60
Data Rooms	65	--	75	60
Mech-Ele Space	65	--	80	--
 2. Space temperatures will be maintained at ± 2°F.
- D. Insulation on mechanical equipment installed in unconditioned spaces will be designed to prevent condensation for conditions up to 95°F dry bulb and 40% relative humidity.
- E. The total expected project area is approximately 20,000 square feet of renovated program space plus MEP and storage rooms.
- F. The test and balance of all new HVAC systems shall be provided. The test and balance company will be contracted with the mechanical contractor.



1.02 Proposed Demolition:

- A. All existing HVAC systems shall be removed from the building. Removed equipment/systems include, but are not limited to, split systems, exhaust fans, steam radiant heaters, all interior steam and steam condensate piping, steam boilers, condensate return set, refrigerant and condensate piping, ductwork and air distribution devices associated with removed equipment, and controls related to removed equipment.

1.03 Proposed New HVAC Systems:

A. Building Cooling Systems

1. One rotary scroll air-cooled chiller of 90 ton nominal cooling capacity shall serve the renovated building. Screw type air cooled chiller is not acceptable. The chiller shall utilize R-410A refrigerant and shall have a minimum full load efficiency of 10 EER. The chiller will be located on 6" thick concrete pad adjacent to the building in the location shown on the architectural plans. The chiller shall be a complete assembly consisting of condenser, cooler, compressors, piping controls, and weatherproof casing factory assembled, tested, packaged, and charged ready for operation. The chiller shall be furnished with an open protocol control interface card for connection to a building automation system. Cooler shall be an accessible brazed plate type covered with 1½" thick closed cell, foam plastic, vapor barrier insulation, protected against freeze-up by a thermostat controlled electric heater cable wrapped around the heat exchanger under the insulation. Condenser shall be constructed of aluminum fins mechanically bonded to seamless copper tubes pressure tested at 450 psig. Condenser fans shall be vertical discharge propeller type, statically and dynamically balanced with wire safety guards driven by direct drive motors. Condensing fans shall be low sound type. Chiller shall be provided with NEMA 3R weatherproof steel control panel, containing starters, power and control wiring, control transformer, factory wired with single point power connection. For each compressor, provide a wye-delta or VFD type starter, non-recycling compressor overload and starter relay. An acoustical blanket shall be installed around each compressor. Each chiller shall be furnished with a dual pump and internal pipe package with heat trace and insulation applied over all cold surfaces.
2. A 150 gallon buffer tank shall be provided either under the chiller or in the basement mechanical room. The tank shall be sized to prevent short cycling of the chilled water between the chiller and the cooling coils in the air handling units.

B. Building Heating Systems

1. Two natural gas high efficiency condensing boilers, 725 MBH input capacity each, along with dedicated variable speed in line boiler circulation pumps shall serve the renovated building. The boiler shall be located in a basement mechanical room. A category IV exhaust flue and a galvanized combustion air intake shall be provided for each boiler and terminated in the exterior wall. Boiler terminations shall be located a minimum of 15' away from outside air intakes.
2. Hot water will be distributed throughout the building via two end suction pumps located in the basement mechanical room. The pumps will be used in a lead/standby configuration. Each pump will have an approximate capacity of 180 GPM @ 80 feet of developed head pressure. Loose variable frequency drives (VFD) will be furnished for use with each pump motor.



C. Point of Use HVAC Systems

1. The base building shall be served by horizontal, draw-thru air handling units (AHU). Each unit shall be comprised of a 6" high base rail, a mixing box section with integral outside air and return air motor operated dampers, a filtration section with MERV 8 pre filters and MERV 13 final filters, a pre-heat hot water coil section, a 24" access section, a chilled water cooling coil section, a UVA light section, re-heat coil section and a direct drive plenum supply fan section. The chilled water coil face velocity shall not exceed 500 FPM, and the chilled water coils will be sized for 2.0 GPM of chilled water-per-ton. Entire unit casing will be insulated and of double wall construction. The drain pan and cooling coil casing will be stainless steel and the internal liner downstream of the cooling coil will be all-stainless steel. Fans will have internal vibration isolation, and fan motors will be premium efficiency type. Loose variable frequency drives (VFD) will be furnished for use with each supply fan motor. The AHUs shall be located in new mechanical rooms and mounted on 6" high concrete housekeeping pads. Units shall be ordered with "shipping splits" at each coil and fan section to facilitate installation and future repair/replacement. New outside air intake louvers will be provided for ventilation air. Wall louvers will be furnished under the general construction scope of work. Estimated AHU capacity and location for each zone is as follows:
 - a. Music Hall (Zone 1) - 4,000 CFM located in the basement crawl space.
 - b. Banquet Hall (Zone 2) – 2,400 CFM located in basement mechanical room
 - c. Original Kitchen & Workrooms (Zone 3) - 6,000 CFM located in basement mechanical room
 - d. Entry Hall, Library, Formal Dining, & Living Room (Zone 4) 6,500 located in basement mechanical room
 - e. Solarium (Zone 5) - 4,000 CFM located in basement mechanical room
 - f. Ballroom (Zone 9) – 5,000 CFM located in third floor mechanical room
2. The classrooms on the second floor and storage areas on the third floor will be served by a vertical four pipe fan coil units (FCU) with double wall construction and a stainless steel drain pan. FCUs shall be located in the mechanical closets adjacent to or within the space served. Chilled water, heating hot water, and condensate piping will be connected to each FCU. Limited low pressure supply and return ductwork will be used for air distribution from the fan coil unit to feed this space. The nominal capacity of a fan coil unit shall be 1,200 CFM. A total of 10 fan coil units are estimated to be required for this project.



3. A dedicated high efficiency packaged rooftop unit with natural gas heat will serve the Pavilion and Service Kitchen. The unit shall be capable of proper operation at high outside air conditions and shall be provided with a modulating hot gas reheat coil for dehumidification of the outside air. Units shall be factory fabricated, tested and assembled single zone direct expansion type complete with digital scroll compressor(s), condenser fan(s), evaporator fan, filters, weatherproof housing, gas heating section, modulating hot gas reheat section, economizer with powered exhaust, microprocessor controls with BACnet serial interface card, and piping ready for operation. The Pavilion unit shall be capable of single zone VAV operation with CO2 demand control ventilation. Unit shall utilize R-410A refrigerant. The units shall be located on the flat roof above the spaces served. The design basis RTU shall be Daikin Rebel. The estimated nominal capacities are as follows:
 - a. Pavilion = 6 tons
 - b. Service Kitchen = 5 tons
4. Electric-type wall heaters with 4 kW nominal capacity shall be provided in North and South Stairs. Recessed type heaters will be used where wall construction allows.
5. 24/7 Cooling Areas such as Elevator Machine Room and Main Data Room shall be conditioned with ductless direct expansion mini-split systems in lieu of chilled water type units. Units configured for wall mounting shall include a two speed direct drive fan and blower assembly, washable filter, adjustable diffuser, DX type copper coil, drain pan and single point power connection, all housed in an enclosure intended for wall mounting with the conditioned space. Outdoor cooling only condensing units shall consist of a galvanized steel waterproof cabinet with baked enamel finish, coil and fan guards, spring mount hermetic compressor, condenser fan, fan motor, condenser coil, compressor contactor, low ambient wind baffle, and operating controls. Condensing unit shall be located on the roof. Unit shall utilize R410A refrigerant. Unit controls shall consist of a wired remote controller that shall stage the condensing unit to maintain setpoint. Indoor and outdoor units shall be connected with brazed ACR copper piping. Two mini-split systems with nominal 1 ton capacity are estimated to be required for this building.

D. Outside Air and Exhaust Systems

1. For the spaces served by AHUs and RTUs, ventilation air for the building will be introduced directly from the AHUs. Outside air intake will be via either new wall louvers provided under the architectural scope. Ventilation air will be provided as required by ASHRAE 62.1-2019.
2. Restrooms with single toilets shall be exhausted with ceiling exhaust fans with 100 CFM capacity and tied into an occupancy sensor for control. A total of 10 ceiling exhaust fans are estimated to be required for this project. Exhaust will be terminated into wall louvers provided under the general construction scope of work or wall caps (Seiho SFX or equal).
3. Gang restrooms on the basement and first floor shall be exhausted by an inline centrifugal exhaust fan with a nominal capacity of 1,000 CFM located in the basement. Exhaust will be terminated into a wall louver located in the adjacent light well. The wall louver will be furnished under the general construction scope of work.



4. Gang restrooms on third floor shall be exhausted by a by an inline centrifugal exhaust fan with a nominal capacity of 350 CFM located in the janitor's closet. Exhaust will be terminated into a grille located in the underside of the eave.
5. Two dedicated outside air systems (DOAS) will be utilized to provide outside air to the areas of the building conditioned by FCUs. The DOASs will be located in third floor mechanical rooms. The DOAS will match the construction and layout described for the AHUs and include a hot water preheat coil, a chilled water coil and a hot water reheat coil. Fans will have internal vibration isolation, and fan motors will be premium efficiency type. Loose variable frequency drives (VFD) will be furnished for use with each supply fan motor. The AHUs shall be located in new third mechanical rooms and mounted on 6" high concrete housekeeping pads or I-beams. Units shall be ordered with "shipping splits" at each coil and fan section to facilitate installation and future repair/replacement. New outside air intake louvers will be provided for ventilation air. Wall louvers will be furnished under the general construction scope of work. Each DOAS shall have a 1,000 CFM capacity.
 - a. Room neutral outside air will be directly ducted from the DOAS supply discharge to each space served by an FCU.
6. Relief air for the base building shall be provided via wall louvers or louvered penthouses with motorized dampers that open during occupied hours.
7. Service Kitchen
 - a. A grease (Type I) exhaust hood related to the kitchen shall be provisioned as part of the kitchen equipment scope of work. The estimated hood capacity is 1,200 CFM exhaust. Make up air will be provided by the RTU serving this space.
 - b. The exhaust hood in the kitchen shall be exhausted by dedicated spun aluminum upblast exhaust fan that is UL listed for grease extraction. The exhaust fan shall be located on the roof above the kitchen. Capacities of the exhaust fan shall match the hood airflow requirements. The exhaust fan shall be furnished with an EC motor or variable frequency drive (VFD) for airflow balancing.
8. Exhaust from clothes dryer will be routed directly out of the side of the building and terminated with a decorative high temperature rated wall cap – Seiho SFB or equal. Wall cap color finish shall be selected by the Architect. Clothes dryer vents shall be constructed of stainless steel.

1.04 Ductwork and Accessories:

- A. All supply, return and exhaust ductwork will be sheetmetal, unless noted otherwise, fabricated in compliance with the latest SMACNA Duct Construction Standard. All supply ductwork, return ductwork, outside air ductwork, and exhaust ductwork shall be low pressure, galvanized steel of 2" pressure class construction. Care to route and conceal as much ductwork as possible will be required inclusive of extensive use of the crawl spaces. The contractor shall provide a time and material premium in their cost estimate regarding this. When required, any ductwork exposed to view shall be paint grip type and shall be painted in color finish determined by the Architect. A ducted type return is expected to be utilized in the building.



- B. Clothes dryer vents shall be constructed of 20 gauge (minimum) stainless steel factory fabricated low-pressure spiral lock seam type. Dryer vent systems shall be welded to eliminate any protrusions in the air stream.
- C. Grease ductwork shall be 16 gauge black steel with all joints continuously welded and ground smooth. Grease duct shall be insulated with 3" thick flexible UL listed foil encapsulated, non-combustible, flexible fireresistant wrap with a thermal resistance R value of 4.15 per inch at 70°F per ASTM C 518. Flame spread shall not exceed 5 and smoke developed rating shall not exceed 5. Duct wrap must comply with NFPA 96, 1994 edition and tested in accordance with UL 1978 (Sections 12 & 13).
- D. Outside air and supply air ductwork in concealed spaces will be insulated with an exterior 2-inch fiberglass insulation blanket with a vapor barrier backing. Outside air, supply and return ductwork in mechanical rooms will be insulated with two inches of exterior mounted rigid fiberglass duct board with a VentureClad vapor barrier jacketing.
- E. For sound attenuation in sound sensitive areas, the specific scope is TBD, but a construction allowance should be provided for this aspect of the design. Duct silencers or duct liners is anticipated in the some of the supply and return ductwork mains prior to any air distribution take-offs. Silencers shall be straight dissipative type with inorganic glass fiber filler material. The filler material shall be packed under not less than 5% compression to eliminate void and be inert, vermin and moisture proof. Silencers shall be provided with high transmission loss outer casings.
- F. Ceiling diffusers will be steel, 24"x24", plaque-face type or aluminum linear slot type with mud-in frame suitable for drywall installation. Ceiling return/exhausts grilles will be aluminum eggcrate or steel single deflection type. A spin-in fitting with an integral damper will be provided at each take-off from the main ductwork that serves each ceiling diffuser. Sidewall supply grilles shall be double deflection register, linear bar, or jet nozzle type depending on architectural preference. Sidewall exhaust and return grilles will be single deflection type.
- G. Fire, smoke, and fire/smoke dampers shall be provided at all appropriate floor and rated wall penetrations as required by code.
- H. All new ductwork shall be sealed to SMACNA Class "B".
- I. All new ductwork will be leak tested to Class 24 for rectangular ducts and Class 12 for round ducts. All leak testing shall be performed with all fire dampers, manual dampers, access doors, and other duct accessories installed.

1.05 Chilled Water Piping System:

- A. Chilled water piping shall be routed from the new air cooled chillers to the air handling units, fan coil units, and DOAS. Supply and return piping between the chiller and the entry in the basement mechanical room will be routed underground. It is estimated that 40 feet of 4"Ø underground piping will be required. The piping will be routed in the basement/crawlspace to AHUs and up through the building to AHUs, FCUs, and DOAS. Care to route and conceal as much piping as possible will be required inclusive of extensive use of the crawl spaces. The contractor shall provide a time and material premium in their cost estimate regarding this.



- B. Underground pre-insulated piping shall be composed of integrally-sealed piping insulated with polyurethane foam and covered with a jacket as specified below. Last six inches (6") of piping shall be exposed for welding. Pipe anchors shall be provided where noted on the drawings. Elbows and tees shall be pre-insulated and jacketed as specified with a minimum of two feet (2') of straight pipe with the last six inches (6") of piping exposed for welding. Insulation ends shall be protected with a factory applied moisture barrier and pipe ends covered with an end cap. The pipe ends shall be factory beveled and coated to prevent rusting. The polyurethane foam insulation shall completely fill the annular space between the piping and the outer protective jacket. The insulation shall be rigid, closed-cell with a core density of a minimum of 1.9 pounds per cubic foot and a maximum coefficient of thermal conductivity (k) of .14 BTU/(SQ.FT.) (F./In.) at 73 degrees Fahrenheit. Minimum insulation thickness shall be two inches (2"). The piping jacket shall be extruded, high-density polyethylene (HDPE) with a minimum jacket wall thickness of 150 mils. Field joints shall consist of a split jacket field applied at piping joints. Insulation shall then be poured in place into the field weld area. All field applied insulation shall be placed only in straight sections. Field insulation of fittings shall not be acceptable. Fittings shall be pressure tested and shrink wrapped with waterproof vapor barrier prior to backfilling.
- C. Interior chilled water piping will be Type L copper for piping 2 inches and smaller and schedule 40, ASTM A53-97b Grade B, black steel for piping 2 ½ inches and larger.
- D. All equipment and water coils will be isolated with valves and provided with pipe unions. Butterfly and ball valves will be used in chilled water system in sizes 2½" and larger or 2 inch and smaller, respectively. A control valve will be provided at each chilled water coil connection. Y-type strainers will be provided at each chilled water inlet coil connection. All valves, specialties and miscellaneous components in the chilled water piping system will be rated for a minimum of 150 psig service.
- E. New interior chilled water piping insulation will be foamglas with vapor barrier and all-service jacket with cut and fitted insulation at all pipe fittings and valves. Piping 4" or less will have 1½ inch insulation thickness, and piping greater than 4 inch will have 2" insulation thickness. Interior exposed chilled water piping shall have a PVC jacket.
- F. All cold surfaces on interior HVAC equipment, including the chilled water pumps, will be insulated with elastomeric insulation with a double layer of mastic finish.
- G. The chilled water piping system will be provided with a high efficiency air/dirt separator and 2" tees and ball valves at the building entry to allow flush out of the new chilled water piping system.
- H. Piping systems shall be cleaned prior to the application of water treatment. Clean all piping systems with a degreaser as recommended by the chemical treatment supplier. Flush piping completely after cleaning. The length of time between the end of the cleaning procedure and the refilling of the system with the final fill shall be a maximum of twenty-four hours.



1.06 Heating Hot Water Piping Systems

- A. Building heating hot water piping shall be routed from the boilers in the basement mechanical room in the basement/crawlspace to AHUs and up through the building to AHUs, FCUs, and DOAS. Care to route and conceal as much piping as possible will be required inclusive of extensive use of the crawl spaces. The contractor shall provide a time and material premium in their cost estimate regarding this.
- B. Heating hot water piping will be Type L copper for piping, 2 inches and smaller, schedule 40, ASTM A53-97b Grade B, black steel for piping 2 ½ inches and larger.
- C. All water coils will be isolated with new valves and pipe unions. Gate and globe valves will be used in the hot water heating piping system. Manually-adjusted balancing valves and two-way control valves will be provided at each hot water heating coil connection including at the heating coils at each fan coil unit. Isolation valves and check valves will be provided as separate piping items at each pump. Y-type strainers or suction diffusers will be provided at each pump. All valves, specialties and miscellaneous components in the hot water piping system will be rated for a minimum of 150 psig service.
- D. Hot water heating piping insulation will be fiberglass with ASJ finish and with cut and fitted insulation at all pipe fittings; loose fill of insulation at fittings will not be acceptable. Insulation thicknesses will be as required by the applicable Energy Code or where greater insulation thicknesses are otherwise required.
- E. The hot water piping system will be provided with a high efficiency air/dirt separator, bladder type expansion tank, and shot feeder for water treatment. A reduced pressure backflow preventer will be installed in the domestic water make-up line.
- F. Piping systems shall be cleaned prior to the application of water treatment. Clean all piping systems with a degreaser as recommended by the chemical treatment supplier. Flush piping completely after cleaning. The length of time between the end of the cleaning procedure and the refilling of the system with the final fill shall be a maximum of twenty-four hours.

1.07 HVAC Condensate Piping:

- A. Condensate piping shall be provided at all HVAC equipment that has a chilled water coil. Condensate will be terminated into new mechanical room floor drains, hub drains associated with sinks, or service sinks.
- B. All HVAC condensate piping shall be Type M copper and shall be insulated with 3/4" elastomeric type insulation.

1.08 HVAC Controls:

- A. Controls for the HVAC system shall be electronic Direct Digital Control (DDC) type by ALC, Control Concepts, Siemens, Johnson Controls or approved equal. Control communication shall be open BACnet protocol type used at all levels of the control network architecture. All equipment and hardware shall carry a BACnet Testing Laboratories (BTL) label.
- B. The DDC system shall be capable of operation after programming from a web browser user interface served from the building controller. A building specific CPU shall not be acceptable.



- C. The software and hardware components will include alarm inputs, monitoring and dynamic graphic displays of all monitored equipment and inputs including fan coil unit discharge temperature and fan status.
- D. All control wiring will be installed in conduit.
- E. The chilled water and hot water plants shall be controlled by the DDC system. Controls include staging of the equipment, toggling lead/stand by equipment, and monitoring equipment performance and alarms. Chilled water instrumentation and control will include: chiller enable/disable, chiller monitoring via serial interface card, chilled water supply and return temperature, chilled water pump control, and building chilled water system pressure. Heating hot water instrumentation and control will include: boiler enable/disable, boiler monitoring via serial interface card, hot water supply and return temperature, building hot water system pressure, and hot water pump control and motor current.
- F. The AHUs shall be controlled by the DDC system. The DDC system will modulate the chilled water and hot water control valves based on space temperature set point. The DDC system shall monitor the following points in the AHU: mixed air temperature, discharge air temperature, VFD alarms, and fan motor currents. The AHU will have a freezestat attached to the cooling coil to shutdown the unit down upon activation. Supply air smoke detectors and freeze thermostats will be wired directly into the motor starter circuit, in addition to reporting to the building DDC system. Control algorithms shall include high pressure cut out and morning warm up/cool down. An airflow monitoring station will be mounted in outside air duct of each AHU.
- G. The FCUs shall be controlled by DDC system. Wall mounted DDC temperature sensors will relay space temperature to the equipment controllers associated with each fan coil unit. In turn, the controllers shall modulate the chilled water and hot water control valves associated with their respective fan coil units to maintain space set points. The evaporator fans will operate continuously and be monitored by a CT switch.
- H. The DOASs will be controlled by the DDC system. The DDC system will modulate the chilled water and hot water control valves based on leaving outside air temperature and dew point. The DDC will monitor the following points in the DOAS: differential pressure across each set of filters, entering outside air temperature, VFD alarm contracts, and fan current. The DOAS will have a freezestat attached to the cooling coil to shutdown the unit down upon activation. Supply air smoke detectors and freeze thermostats will be wired directly into the motor starter circuit, in addition to reporting to the building DDC system.
- I. The RTUs shall be enabled/disabled by the DDC system but shall otherwise operate under its internal controls. The DDC will monitor the following points in the RTU via a BACnet serial interface card: discharge air temperature, discharge air relative humidity, and fan motor current. Supply air smoke detectors will be wired directly into the motor starter circuit, in addition to reporting to the building DDC system. An airflow monitoring station will be mounted in outside air intake opening of the RTU.
 - 1. Each space shall have a space humidity sensor communicating with the RTU's integral controller. The compressors will stage and the hot gas reheat coil will modulate via the controller to maintain the design humidity set point.
 - 2. The Pavilion shall have a carbon dioxide (CO₂) sensor communicating with the RTU's integral controller to reduce outside air during unoccupied times.



3. The Pavilion RTU's integral controller shall be capable of performing single zone variable air volume operation to satisfy part load conditions.
- J. The kitchen hood exhaust fan shall be directly controlled from a toggle switch mounted face of the grease exhaust hood with no DDC interface.
- K. The ceiling exhaust fans shall be directly controlled via occupancy sensors with no DDC interface.
- L. The in line exhaust fans shall be started/stopped and monitored by the DDC system based on the building occupancy schedule.
- M. Each densely occupied space served by an AHU shall have a carbon dioxide (CO₂) sensor reporting to the DDC system for demand control ventilation.
- N. Space temperature will be monitored by the DDC system in critical spaces served by independent DX ductless split systems.
- O. The DDC system shall monitor the space humidity on each floor.
- P. Energy meters shall be provided to monitor the building utilities including natural gas, domestic water, and power. The meters will be located near the building entry for each utility. Each meter will be connected to the DDC system for monitoring and trend logging.
- Q. Ambient temperature and humidity will be monitored by the DDC system.



Plumbing Scope of Work

1.01 Quality Assurance:

- A. All heating, ventilating, and air conditioning will be designed in accordance with the following codes and standards:
 - 1. International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)
 - 2. International Fire Code, 2018 Edition (with Fire Marshal Amendments)
 - 3. International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022), (2023)
 - 4. International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
 - 5. International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)
 - 6. National Electrical Code, 2020 Edition, with Georgia Amendments (2021)
 - 7. International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022), (2023)
 - 8. All City, County, State, Regional, and other ordinances applicable to the work.

1.02 Proposed Demolition:

- A. All plumbing systems shall be removed from the building except for current sanitary lines serving historic level 2 bathrooms. The systems to be removed include, but are not limited to all plumbing fixtures, domestic water supply, drainage systems, rainwater system, natural gas system, and water heating equipment.
- B. The current sanitary lines serving historic level 2 bathrooms are encased in concrete and masonry. The existing sanitary lines from this area shall be examined by video and a copy of the video shall be reviewed to determine the existing pipe condition. Piping shall remain if possible and shall be replaced if determined to be in poor condition.

1.03 Proposed New Plumbing Systems:

- A. The plumbing systems will include plumbing fixtures, domestic water distribution system, soil waste and vent system, rainwater system, natural gas piping system, and will be in accordance with applicable codes.



1.04 Plumbing Fixtures *(See Architectural A740 Series Drawings for current basis of design plumbing fixtures to be utilized for Pricing purposes)*

- A. Plumbing fixtures shall include a retro or period look and shall be vitreous china type. Water Closets shall be floor mounted tank type fixtures. Lavatories should be wall hung or countertop as appropriate. Drinking fountains shall be wall-mounted with all stainless steel housing. ~~Fixtures shall be based on American Standard; comparable Kohler fixtures will be acceptable. Water Closet seats will be based on Church; comparable Beneke or Bemis seats are acceptable. Fixture trim will be based on American Standard manufacturer, comparable Chicago, Delta, Sloan, or Zurn trim will be acceptable.~~ Stops, traps and tailpieces shall be by one manufacturer, McGuire, or Engineered Brass. Drain, trap, and supply insulation under ADA fixtures may be provided by TrueBro, Plumberex, or McGuire Prowrap.
- B. Water Closets will be vitreous china, floor-mounted, two-piece, tank type with maximum 1.28 gallon per flush. ~~Fixture shall be similar to American Standard 212AA104.~~
- C. Urinals will be vitreous china, floor-mounted, flush valve type with maximum 0.5 gallon per flush. Flush valves will be chrome plated, manually operated, diaphragm type.
- D. Lavatories will be wall hung or countertop, vitreous china with overflow. Faucets will be manually operated, 4" or 8" center set with cross handles and ½ GPM flow rate. Drain, trap and water supplies under ADA lavatories will be insulated. Fixtures shall be similar to the following:
 - 1. ~~Pedestal lavatory, American Standard 0282.800 with 0066.000 pedestal leg.~~
 - 2. ~~Console table lavatory 0282.008 with 8711.000.295 legs.~~
 - 3. ~~Counter lavatory, American Standard 0291008.020.~~
- E. Break Room / Kitchen areas shall include a two compartment, 18 gauge, self rimming, type 304 stainless steel sink with basket strainers. Faucets shall be 8" center set, 8" spout. The Kitchen areas will also have a cold water connection for refrigerator icemakers.
- F. Service type janitor sinks 24"x24"x12" deep, floor type, terrazzo mop sink with stainless steel caps and wall guard. Faucet shall include vacuum breaker spout with hose thread outlet, pail hook, wall support, integral stops, lever handles, and rough chrome finish.
- G. ~~Tub / Shower to include integral apron bathtub will tile wall surround, Fixtures shall be similar to American Standard 2573102 with TU018501 shower trim with 2.5 GPM shower head.~~

1.05 Kitchen Fixtures

- A. It is anticipated the kitchen area will include at least a hand sink and 3-compartment sink. Depending on the operation, it is possible a prep sink, a mop basin, and ice machine will be included.
- B. Kitchen fixtures shall be provided by others. Provide supply and drainage at each fixture and equipment in the Kitchen which require plumbing utilities. Provide floor sink at each fixture and ice machine.



1.06 Domestic Water

- A. The domestic water distribution system will include cold water, hot water, and hot water circulating systems.
- B. The new building water service will connect to the campus domestic water main downstream of a water meter and backflow preventer assembly. The water system will provide potable water to all plumbing fixtures and provide make-up water to all non-potable systems through separate backflow preventers.
- C. The water entry is anticipated to be 2" size based on tank type water closets.
- D. Water will enter a basement crawl space area and include a pressure reducing station at the building water entry location.
- E. All new above-grade domestic water piping will be Type 'L', hard drawn copper with press-fit joints. Below grade water piping will be Type 'K' hard drawn copper with solder joints. No lead solder will be allowed. Silver alloy solder will be used for buried piping. Flux will meet the requirements of ANSI/NSF Standard 61.
- F. Hot water and hot water circulating piping will be insulated with fiberglass insulation with an all-purpose jacket. Cold water piping will be insulated with fiberglass insulation with a vapor barrier and all-purpose jacket. Insulation thickness shall meet Georgia State Energy Code requirements.
- G. Isolation valves will be provided at each room or area.
- H. Hose bibbs will be provided in each mechanical room. Non-freeze wall hydrants will be provided at grade around the exterior of the building.

1.07 Water Heating Systems

- A. New domestic water heaters will include multiple water heaters to serve various areas of the building. It is anticipated there will be 3 water heater locations/systems:
 - 1. The kitchen will include its own water heating system. This system would be located in a basement mechanical room. Kitchen water heater(s) will be natural gas condensing tank type water heaters. Kitchen water heater is estimated to be 160 gallon heater with 130,000 BTU/ input. This heater would need to include ASME rating. Two water heaters may be used in lieu of a large heater with 80 gallon, 65,000 BTU/H capacity each.
 - 2. Basement and Level 1 Toilet facilities would include a separate water heater located in a basement mechanical room. This system would include vertical water risers from the Basement to Level 1 restrooms and a circulating system. Basement and Level 1 water heater could be natural gas or electric since it is estimated to be a 30 gallon, 4 KW (16,000 BTU/H) heater.



3. Levels 3 and 4 would include a water heating system located in the heated and ventilated attic. This system would include vertical water risers from the Attic to Level 4 and Level 3 restrooms and a circulating system. The attic system is anticipated to be electric to avoid routing natural gas to the attic. If any HVAC equipment within the attic requires natural gas, then the water heating system could also be natural gas. This system is estimated to be 125 Gallons 24 KW to account for shower load. This heater would need to include ASME rating. Two water heaters may be used in lieu of a large heater with 60 gallon, 12 KW (50,000 BTU/H) capacity each.
4. Hot water shall be stored at 140°F in the tanks and temperature mixing valves will provide 110°F water to public and hand washing areas. 140°F hot water shall be supplied to sanitation areas within the kitchen, including but not limited to, 3-compartment sink and dishwasher.
5. A recirculating domestic hot water system, complete with in-line circulating pump, will be provided for each system. The kitchen area shall include circulating systems for 140°F water and 110°F water systems. Circulating pumps shall be high efficiency variable speed circulators.

B. Water Heaters

1. Natural gas fired, high efficiency, condensing type with minimum thermal efficiency of 95%. Water heaters shall be high efficiency type with power burner with direct vent sealed combustion. PVC Intake and exhaust shall be piped to the exterior of the building. The tank shall be of glass-lined steel and rated for 150 psi. The heater shall be complete with automatic thermostat, foam insulation and steel jacket with baked enamel finish and cold water connection in lower part of tank. Heaters will be A.O. Smith, Bradford White, or State.
2. Electric type U.L. listed, vertical storage tank type, meeting UL Standard 1453 with non-simultaneous element operation. The tank shall be of glass-lined steel and rated for 125 psi. The heater shall be complete with automatic thermostat, magnesium rod, dip tube, fiberglass insulation and steel jacket with baked enamel finish and cold water connection in lower part of tank. Water heaters shall meet or exceed ASHRAE 90.1-2015 Performance Requirements. Provide CSA/ASME rated temperature and pressure relief with water heater. Relief valve shall be set to relieve at 210°F or 125 PSIG. The heaters shall be A.O. Smith, Bradford White, Rheem. or State.

1.08 Sanitary, Waste and Vent

- A. All new soil, waste, and vent pipe and fittings below grade will be Schedule 40 PVC with glued joints. Soil, waste and vent pipe and fittings above grade will be no-hub cast iron with stainless steel and neoprene couplings. As an alternative, soil, waste and vent pipe and fittings above grade may be Schedule 40 PVC with glued joints.
- B. Kitchen grease waste piping from the building shall be a separate system from the sanitary system. The grease waste piping shall drain into exterior grease interceptor(s) with an estimated capacity of 1500 gallons prior to discharging into the campus sewer system. Exterior grease interceptor shall be provided under the scope of work described by the Civil Engineer.



- C. Grease waste pipe and fittings below grade shall be service weight coated hub & spigot cast iron, Charlotte Pipe Edge HP Iron. Grease waste pipe and fittings above grade will be no-hub cast iron with stainless steel and neoprene couplings.
- D. A sump pump shall be installed in the elevator sump. The pump shall be a close coupled submersible type simplex pump with cast iron motor housing and volute, bronze impeller, stainless steel shaft, 10 foot armored power cord and operating switch of waterproof construction. Pump shall be Aurora, Myers, or Weil. Each sump pump shall contain an oil sensing system such that the pump will not pump oil. An alarm panel shall be located in a mechanical area within 100 feet of the elevator sump.
- E. Hub drains, floor drains, or floor sinks will be installed in the vicinity of equipment requiring drains. Cast iron floor drains will be provided in mechanical rooms, restrooms, service janitor closets, and Kitchen areas.
- F. Vents through roof shall be installed a minimum of 10 feet away from any air intake.
- G. Cleanouts will be provided as required by the Plumbing Code.
- H. New soil and waste piping will terminate 5 feet outside the new building and be picked up by the site utilities.

1.09 Rainwater

- A. All new rainwater pipe and fittings below grade will be Schedule 40 PVC with glued joints. Rainwater pipe and fittings above grade will be no-hub cast iron with stainless steel and neoprene couplings. As an alternative, rainwater pipe and fittings above grade may be Schedule 40 PVC with glued joints.
- B. Roof drains will be provided as necessary to properly drain the building roof. Drains will be cast iron type complete with flashing collar and large aluminum roof dome. All existing roof drains shall be replaced.
- C. Secondary (emergency) roof drains shall be piped separately from the primary drains and terminate above grade at an exterior wall with a downspout nozzle.
- D. Horizontal rainwater will be insulated with 1-1/2" thick fiberglass foil backed insulation.
- E. New rainwater piping will terminate 5 feet outside the new building and be picked up by the site utilities.

1.10 Natural Gas

- A. Gas piping downstream of the meter shall be Schedule 40 Black steel pipe conforming to ASTM A53. Fittings shall be threaded malleable iron in sizes 2" and under and welding type in sizes 2½" and over.
- B. Any natural gas pipe below grade exterior to the building will be medium density polyethylene meeting ASTM D-2513. All gas piping above grade will be Schedule 40 black steel pipe.
- C. Gas meter shall be upgraded by the local utility company and deliver 2 PSI gas to the building. Provide a gas pressure regulator vented to the out-of-doors as required at each piece of equipment.



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- D. The natural gas system will include gas piping supply to all gas-fired equipment, including kitchen equipment, mechanical equipment, and natural gas water heaters.
- E. A gas cock, dirt leg and union will be provided at each connection to equipment.

Fire Protection Scope of Work

1.01 Quality Assurance

- A. The fire protection system(s) will be designed in accordance with the following codes and standards:
1. 2018 International Building Code (IBC 2018) with State of Georgia Amendments
 2. 2018 International Fire Code (IFC 2018) with State of Georgia Amendments
 3. 2020 National Electrical Code (NEC) with State of Georgia Amendments
 4. NFPA 13, 2019 Edition, *Standard for the Installation of Sprinkler Systems*
 5. NFPA 101 – 2018 Edition, *Life Safety Code*
 6. Georgia Rules and Regulations Chapter 120-3-3-.04 State Minimum Fire Safety Standards with Modifications
 7. All products and components installed in the system shall be Factory Mutual (FM) approved and listed by Underwriters Laboratories (UL).

1.02 Site Data

- A. Building Types:
1. (existing) Three-Story Residential/Institutional with a basement
- B. Areas: (approximately 27,000 sqft total)
- | | |
|---------------|--|
| Basement: | 4,500 sqft (plus some crawl space areas) |
| First Floor: | 11,000 sqft |
| Second Floor: | 6,000 sqft |
| Third Floor: | 5,500 sqft |
- C. Construction Type: IIB
1. Under 75 ft “unprotected” with non-combustible materials, not currently sprinklered.
- D. Seismic Code Requirements (based on project address and Risk Category II):
1. Site Class: **D** (default)
 2. Seismic Design Category: **C**

American Society of Civil Engineers (ASCE) Structural Engineering Institute (SEI)
ASCE/SEI 7, Minimum Design Loads for Buildings and Other Structures, 2016

Chapter 13 – Seismic Design Requirements for Nonstructural Components

13.6.7.2 Fire Protection Sprinkler Piping Systems. Fire protection sprinkler piping, pipe hangers, and bracing designed and constructed in accordance with NFPA 13 shall be deemed to meet the force and displacement requirements of this section. Clearances for sprinkler drops and sprigs and other equipment shall conform to 13.2.3.1.



13.2.3.1 Clearances between Equipment, Distribution Systems, Supports, and Sprinkler System Drops and Sprigs. The installed clearance between any sprinkler drop or sprig and the following items shall be at least 3 in. in all directions:

1. Permanently attached equipment including their structural supports and bracing; and
2. Other distribution systems, including their structural supports and bracing.
3. Seismic Coefficient C_p : 0.35 (based on estimated spectral response (S_s) of 0.187) [NFPA 13: Table 18.5.9.3 (2019)]

E. Occupancy:

A-2 – Assembly

B – Business (Offices)

S-2 – Storage Low-Hazard

F. Approximate Floor Elevations (relative to fire department vehicle access):

Basement: -10'-0" ft

First Floor 0'-0" ft

Second Floor: 13'-8" ft

Third Floor: 25'-5" ft (highest occupied floor)

G. Flow Test Data: not available

1.03 Existing Conditions

A. Currently no automatic sprinkler system(s) installed.

1.04 Proposed Scope of Work

A. A new sprinkler system will be provided and sized to serve the renovated building. The sprinkler piping system shall be supplied via a new underground fire main tapped into the nearest municipal water distribution piping system with a backflow preventer located in an underground vault near the connection to the underground water main. A new underground fire main serving the building will be extended to a basement-level water entry room. Refer to civil plans for proposed routing to the building and architectural plans for room location.

B. The sprinkler systems will be wet-type design and installed in accordance with NFPA 13.

C. Design and installation shall consider the building's historic status.

1. Piping and sprinklers shall be concealed wherever possible.

2. Finish (paint color) of sprinklers and sprinkler escutcheons and/or cover plates shall be coordinated with architect.

D. Two (2) sprinkler zone control valves anticipated: 1 wet and 1 dry (for areas subject to freezing)

E. Design Approach:

1. **Light Hazard** - Offices, Bathrooms, Lobbies, Corridors:



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- a. Density: 0.10 gpm/sqft over a 1,500 sqft area of operation.
 - b. Sprinkler K-Factor: 5.6
 - c. Sprinkler Type: Pendent, Standard/Extended Coverage*, Quick Response.
 - d. Minimum Sprinkler Temperature Rating: minimum 150 deg. F
 - e. Spacing: maximum protection area of 225 sqft/sprinkler.
** FM Approved extended coverage sprinklers permitted in accordance with NFPA 13: 8.4.3.*
2. **Ordinary Hazard Group I** - Mechanical Rooms, Electrical Rooms, Storage Rooms:
- a. Density: 0.15 gpm/sqft over a 1,500 sqft area of operation.
 - b. Sprinkler K-Factor: 5.6
 - c. Sprinkler Type: Pendent, Extended Coverage, Quick Response.
 - d. Minimum Sprinkler Temperature Rating: minimum 150 deg. F
 - e. Spacing: maximum protection area of 130 sqft/sprinkler.
3. **Ordinary Hazard Group II** – Storage Rooms:
- a. Density: 0.20 gpm/sqft over a 1,500 sqft area of operation.
 - b. Sprinkler K-Factor: 5.6 or larger
 - c. Sprinkler Type: Pendent, Extended Coverage, Ordinary Hazard, Quick Response.
 - d. Sprinkler Temperature Rating: minimum 150 deg. F
 - e. Spacing:
 - (1) Ordinary Coverage: maximum protection area of 130 sqft/sprinkler.
 - (2) Extended Coverage: maximum protection area of 256 sqft/sprinkler.

Standpipes

- F. Standpipes are not required (per **IBC Section 905**) as the height of the highest occupied floor above fire department vehicle access is less than 30'-0".

Fire Pump

- G. A fire pump is not anticipated to be required.

Materials

- H. Piping:
1. Exposed
 - a. Wet piping: All normally wet sprinkler piping 1-1/4" or less shall be black steel, schedule 40 and shall meet ANSI/UL 852 Metallic Sprinkler Pipe for Fire Protection Service, FM-1630, ASTM A795, ASTM A-135 or ASTM A-53.
 - b. All grooved black steel piping shall be Schedule 10.
 - c. All threaded black steel piping shall be Schedule 40.



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2. Concealed
 - a. Wet piping: All CPVC piping shall be Schedule 80.
3. All normally-dry pipe shall be schedule 40 black steel only – regardless of pipe size.
4. Sprinkler Control Valve:
 - a. All sprinkler control valves shall be monitored/supervised.
 - b. A single, wet-type Alarm Check Valve: Cast iron, bronze trimmed alarm check valve with vertical, variable pressure trim.
 - c. A single dry pipe valve with maintenance air supplied via a wall-mount nitrogen generator (to minimize interior pipe corrosion).
5. Sprinklers:
 - a. All sprinklers shall be listed and shall be the product of one manufacturer.
 - b. All sprinklers shall have half-inch ($\frac{1}{2}$ ") orifice and half-inch ($\frac{1}{2}$ ") threaded connections unless otherwise noted.
 - c. All sprinklers in finished (smooth) gypsum ceilings shall be concealed type.
 - d. All sprinklers in lay-in ceilings shall be recessed type.
 - e. All sprinklers in areas exposed to decking/slab above shall be brass upright type.
 - f. Temperature ratings shall be as recommended by NFPA 13.
6. Hangers and Supports: Installation and spacing of hangers for sprinklers shall conform to NFPA 13.



Electrical Scope of Work

The renovation of the Candler Mansion and adjacent buildings should include the removal of existing electrical infrastructure and devices including:

- Removal of existing electrical service conductors.
- Removal of electrical service and distribution equipment and associated wiring and conduit.
- Removal of branch circuit panelboards and associated wiring and conduit.
- Removal of wiring devices including receptacles and switches along with associated wiring.
- Removal of lighting fixtures and associated wiring.
- Removal of fire alarm devices and associated wiring.
- Disconnect motors, heaters, or other equipment as required for the demolition of other trades. Remove wiring back to panelboards.

The renovation should include the design for a new electrical service from a new Utility pad mounted transformer consisting of underground secondary conductors, service & distribution equipment, branch circuit panelboards, devices, and wiring. A complete building fire alarm system shall be provided as part of the design.

This document provides a preliminary general outline of the electrical systems design for renovation of the Candler Mansion. The recommendations herein represent the preliminary design direction and considerations for the electrical systems for the project. However, final design determinations will be based on additional detailed evaluation of the project objectives.

Ratings and capacities, where identified herein for any equipment, are preliminary conservative estimates based on construction of similar facilities and include preliminary design information obtained from the other project design disciplines. Adjustments in ratings and capacities of equipment will be made as the final design progresses.

Existing Electrical Systems

The existing electrical service and distribution equipment has exceeded the expected life span, is in poor condition, and is recommended for complete replacement.

Many existing receptacles are broken, painted over, and missing. In many areas, the existing receptacles were installed in the base molding and would not currently meet ADA height requirements.

The existing lighting consists of incandescent and fluorescent lamping and is in poor condition.

The fire alarm system is dated and does not comply with current code requirements.



Utility Service Equipment

The main building is currently fed overhead from Utility pole mounted transformers. The service conductors enter at the back of the main building. A second pole mounted transformer provides single phase power to a building in the back of the property, most likely the Carriage House.



Figure 1: Existing Overhead Electrical Service - Main Building



Figure 2: Existing Single-Phase Overhead Electrical Service – Back Buildings

The main building is served by a 208Y/120V, 3-phase, 4 wire service switchboard with an 800A main circuit breaker. The switchboard is aged and in poor condition. Feeder breakers distribute power to branch circuit panelboards.



Figure 3: Existing Building Main Switchboard



Figure 4: Branch circuit panelboards on Basement Level

New Electrical Service

Coordinate with the Utility to provide 208Y/120V, 3-phase, 4 wire, grounded, wye connected service to the main building. In the future, as part of a separate project, electrical service will be provided to the Carriage House.

Pad mounted transformer must be located at least 10 feet from the building (min. 14' from any door or window) and there must be a minimum of 10 feet clear in front of the transformer.

Provide underground secondary service derived from the utility transformer to the main electrical room. Estimated (6) sets 4-500kCMIL CU in 4.00" concrete encased PVC conduit.

Main Service Switchboard

Provide new 1600A, 208Y/120V, 3-phase, 4-wire, grounded service entrance switchboard in the Main Electrical Room, located in the Basement.

- Individually mounted, 100% rated main circuit breaker, insulated case power circuit breaker with electronic trip functions (LSI), minimum 65kAIC interrupting rating, service entrance rated with (SE) label.
- Front accessible, group mounted molded case distribution circuit breakers.
- Main bussing shall be plated copper, rated 1000 amps/sq.in.
- Digital display meter which displays volts, amperes and kW demands for each phase and the totals. Dedicated output connected to the energy management system.
- Feeder breakers for panelboard distribution
- Feeder breakers for large mechanical equipment and elevator.
 - (1) 600A/3p breaker for exterior air-cooled chiller
 - (1) 100A/3p breaker for elevator
- Integrally mounted service entrance rated Surge Protective Device.
- Provide with arc energy reduction per NEC 240.87.

Main Electrical room will require two exits with doors opening outward in the direction of egress.

Main Electrical room size, minimum 8FT x 10FT.

New Electrical Distribution

Power panels, lighting, and miscellaneous branch circuit receptacle panelboards: Fully rated, utilizing bolt-in molded case circuit breakers, copper bus, integral SPD module in all panels, all panels furnished with the optional finish cover hinged to the enclosure.

Electrical rooms will be provided to house branch circuit panelboards and fire alarm equipment.

Ideally, electrical rooms will be stacked. Minimum electrical room size: 4FT x 6FT.



Basement Level Estimated Equipment

Main Electrical Room

- Main Switchboard
- (1) 125A, 208Y/120V panelboard dedicated for lighting
- (1) 400A, 208Y/120V panelboard dedicated for mechanical equipment
- (1) 225A, 208Y/120V panelboard for receptacle loads
- Lighting Control Panel
- Fire Alarm Control Panel

Electrical Room Kitchen Basement

- (1) 225A, 208Y/120V panelboard for receptacle loads

First Floor Estimated Equipment

Electrical Room near Elevator

- (1) 125A, 208Y/120V panelboard dedicated for lighting
- (1) 225A, 208Y/120V panelboard dedicated for mechanical equipment
- (2) 225A, 208Y/120V panelboards for receptacle loads

Electrical Room near Kitchen/Restrooms

- 125A, 208Y/120V panelboard dedicated for lighting
- (2) 225A, 208Y/120V panelboards for receptacle loads

Kitchen

- (1) 225A, 208Y/120V panelboard dedicated for kitchen equipment

Second Floor Estimated Equipment

Electrical Room near Elevator or two rooms on opposite sides of Main Stair

- (1) 125A, 208Y/120V panelboard dedicated for lighting
- (1) 225A, 208Y/120V panelboard dedicated for mechanical equipment
- (2) 225A, 208Y/120V panelboards for receptacle loads

Third Floor Estimated Equipment

Electrical Room near Elevator or two rooms on opposite sides of Ballroom

- (1) 125A, 208Y/120V panelboard dedicated for lighting
- (1) 225A, 208Y/120V panelboard dedicated for mechanical equipment
- (2) 225A, 208Y/120V panelboards for receptacle loads

Wiring Methods

Provide separate system raceways for normal lighting, normal power, emergency power, and fire alarm system.

Unless otherwise specifically approved, all feeders and branch circuits shall be concealed. Exposed wiring methods are acceptable only in mechanical equipment and electrical equipment spaces.

Refer to sheet Electrical Diagrams – Distribution for areas requiring concealed conduit and devices.

General

Wiring methods: Type THHN-2/THWN insulated copper conductors in EMT conduit within building.

Common neutral circuits are not permitted.

Use galvanized rigid steel conduit, or intermediate steel conduit, where exposed on the exterior of the building.

Use PVC conduit underground.

Metal-clad (Type MC) cable may be used where allowed by code. MC cable shall not be used for direct connections to surface or flush mounted branch circuit panelboards. Homerun conduits shall be installed from branch circuit panelboards out to the area where the MC will be utilized.

Liquid-tight flexible metal conduit (LFMC) shall be used for all connections to vibrating equipment, such as motors.

All major feeders and branch circuit homerun wiring shall be Type EMT conduit in interior locations except where alternate wiring methods are otherwise indicated.

Convenience duplex receptacle devices: 5-20R configuration, rated 20amp, 125 Volt, 3-wire grounding type, specification grade construction, tamper resistant type.

Wall switch: 20 Amp rated heavy-duty; design basis shall be Hubbell HBL1221.

Device covers (faceplates) shall be as selected by the Architect.

Minimum ¾" conduit size with compression fittings.

A/V: Provide power for A/V equipment including projectors, flat panels, motorized screens, and other equipment.

GFCI receptacles will be installed in all restrooms, within 6' of wet sinks, and in kitchen areas.



Provide shunt trip for equipment located under kitchen hoods.

Provide GFCI protection for receptacles in kitchen as required by NEC.

Special Accommodations: Conduit installation in masonry and plaster for reduced visual impact

Existing Masonry & Plaster Walls: the desire is that all conduit and receptacles shall be recessed; trench and patch existing walls to accommodate new conduit and boxes for devices including receptacles and lighting control devices. Coordinate with structural engineer for trenching of loadbearing masonry walls. Refer to sheet Electrical Diagrams – Distribution for areas requiring concealed conduit and devices.

Power for HVAC/Plumbing Equipment

Provide power feeds and equipment power connections for new mechanical equipment. Provide heavy-duty local safety disconnect switches at equipment locations.

Power feeders for HVAC mechanical and plumbing equipment will be sized and scheduled per actual mechanical equipment schedules. Refer to Mechanical Systems and Plumbing Systems Narratives for additional information.

Individually-mounted motor starters and variable frequency drive (VFD) controllers will be specified and furnished under Division 23 – Mechanical. Under Division 26 – Electrical, receive (loose) equipment, mount and make all power connections. Controls by mechanical division.

Preliminary list of HVAC and Plumbing Equipment

- One domestic water heater in the Kitchen; natural gas tank type – Provide 120V/1ph power for heater controls & 120V/1ph power for circulating pump.
- One domestic water heater for Basement/Level 1; natural gas or electric tank type, 4kW – Provide 208V/3ph power for heater & 120V/1ph power for circulating pump.
- One or two domestic water heaters for Levels 3/4, located in the attic; natural gas or electric tank type, 24kW total – Provide 208V/3ph power for heater(s) & 120V/1ph power for circulating pump.
- One exterior located air-cooled chiller – Provide single point power from main service switchboard - 208V/3ph, 600A.
- Natural gas condensing boilers with circulation pumps will require 120V/1ph power.
- Hot Water Distribution pumps – Provide single point power from nearby panelboard, 208V/3ph.
- Packaged roof top units – Provide single point power from main service switchboard – 208V/3ph.
 - Pavilion
 - Service Kitchen
- Electric type wall heaters with 4kW nominal capacity will be provided in North and South stairs.



- Multiple air handling units with fans, 5hp-15hp in size – 208V/3ph from nearby panelboards.
 - Music Hall – basement crawl space
 - Banquet Hall – basement mechanical room
 - Kitchen & Workrooms – basement mechanical room
 - Entry Hall, Library, Formal Dining & Living Room – basement mechanical room
 - Solarium – basement mechanical room
 - Ballroom – third floor mechanical room
- Chilled water fan coil units with hot water heating to serve the classrooms on the second floor and storage areas of the third floor, approximately 10.
- Ductless direct expansion mini-split systems will be provided in the elevator machine room and data room.
- Two inline centrifugal exhaust fans for toilet and other general building exhaust
- Two TERV for outside air and general exhaust for the building will be located either in the basement or a fifth floor mechanical room.
- Grease hood for the Service Kitchen
- Exhaust fan for commercial dishwasher

Grounding

Provide a building single-point ground system incorporating a minimum of (3) driven ground rods in a Triad layout exterior to the building. All rods interconnected with AWG 4/0 bare stranded (7-Strand) copper. Extend AWG 4/0 cable to main electrical room connected to main ground bus (MGB). From MGB, extend building ground to each electrical room. Bond to main water pipe entry.

Bond telecommunications ground system to building main ground bus (MGB). Refer to Telecommunications narrative for additional grounding information.

Integral SPDs will be applied as determined appropriate based on power distribution system configuration.

New Electrical Lighting

Provide new LED lighting and lighting controls throughout the building. Refer to Architectural Narrative for additional information.

General

Illumination levels in the interior spaces will be based on recommendations contained in IESNA standards per function and category.

Lighting power density allowances and lighting control will be designed in accordance with the edition of International Energy Conservation Code (IECC) in effect for this project.

LED light sources will be selected to minimize both energy usage and minimize required future maintenance.



Exterior lighting, coordinated with the building architecture, will be provided for the following areas: Public Main Entrance; Secondary Entrances and Exits.

Exit luminaries shall be architectural grade edge illuminated LED in specific finished areas and industrial grade in non-finished open ceiling lab and mechanical room areas.

Life Safety Emergency Lighting

Designated LED type emergency egress lighting will be powered from integral battery ballasts and/or a UL Listed central emergency inverter system to provide minimum 90-minutes emergency illumination.

Exit signs will be provided with nickel cadmium batteries and self-diagnostics.

Lighting Controls

Lighting controls will be provided to minimize energy consumption. Controls will include a combination of occupancy sensors, daylight sensors, and room dimming controllers.

Corridor lighting will be controlled via occupancy sensors.

Group restroom lighting will be controlled via ultrasonic type occupancy sensors.

Stair lighting will be dimmed to 50% when unoccupied and turn on to 100% via occupancy sensor.

Digital timer switches will be provided in mechanical rooms, and data rooms.

Wall mounted occupancy sensor switches will be provided in storage rooms.

Where required to interface, and communicate with A/V system control components, small-scale local intelligent lighting controls will be utilized.

All outdoor fixtures must have an integral or shared photocell for controls.

A small lighting control panel will be provided for exterior lighting control where individual fixture photocell is not available.

Upon completion of the installation, the system shall be completely commissioned by the manufacturer's factory authorized technician. Verify all adjustments and sensor placement to ensure a trouble-free occupancy-based lighting control system.

The manufacturer's factory authorized technician shall upon completion of the commissioning, provide a written report to the indicating completion of the Work. This report shall also indicate any corrective actions required on the part of the Contractor.

New Lightning Protection System

Provide a UL listed lightning protection system with Master Label.



Coordination Study

Provide a time-current coordination and short circuit study prepared by a Registered Professional Electrical Engineer, licensed in the State of Georgia.

Arc Flash Study

Provide an arc flash study prepared by a Registered Professional Electrical Engineer, licensed in the State of Georgia. Provide and apply labels with calculated incident energy to all new electrical equipment.

Electrical Identification

Provide engraved plastic identification nameplates for switchboard and overcurrent devices in switchboards.

Provide engraved plastic identification nameplates for all panelboard equipment and disconnect switches.

Provide adhesive backed label on each wall switch and receptacle device outlet cover plate indicating panelboard source fed from and circuit number (i.e.: Panel LP-6).

Underground warning tape: 4 inch wide plastic tape, detectable type, colored red with suitable warning legend describing buried electrical lines. Install along length of each underground conduit or direct buried cable or duct bank.

New Fire Alarm System

Provide a new NFPA code-compliant microprocessor controlled, intelligent, addressable fire alarm control panel with voice evacuation and cellular communications.

Devices

Addressable detection devices to include area type smoke detectors, duct-mounted smoke detectors, addressable manual pull stations.

Monitor valve tamper and water flow switches for sprinkler system integrity.

Notification devices to include audible (speaker), visual, and combination audible/visual appliances (speaker/strobes).

Remote annunciation panel located as determined necessary based on final design of architectural floor plan.

Smoke dampers: Where used, provide control modules for new smoke dampers provided by Mechanical HVAC Division of Work.

Interface with new elevator.



Telecom Scope of Work

Currently there is no telecom (network) infrastructure in place except for old telephone cable (CAT 3 or less). The renovation of the Candler Mansion and the construction of new buildings should include:

- The removal of all old and unused telephone / low voltage cable and the installation of new CAT 6 data cable in the Candler Mansion based on the intended use of the building.
- The design and installation of a Telecom Infrastructure for each newly constructed building based on the intended use of the building and based on CAT 6 data cable.
- The design and installation of an outside plant Telecom Infrastructure to bring services into each building and provide inter-connectivity between buildings if needed.

CAT 6 or better for data cable (horizontal cable between MDF / IDF Rooms and data outlets). Then fiber optic cable should be installed vertically between the MDF and IDF Rooms and / or media enclosures in Units.

Existing Telecom Infrastructure

There is no usable telecom (network) infrastructure in place.

New Internet / Data and Communication Services

New internet / Data and communication services cables should be routed from the nearest Service Provider point-of-service (at the street). Typically, services are routed from the Service Provider point-of-service (at the street) to each building and into each building's Telecom / MDF Room.

Main Distribution Frame (MDF) Room

Architect to select location for the Telecom / MDF Room(s). These rooms shall be the Service Provider's termination point for incoming telecom and communication services and is typically on the Basement or 1st Floor Level. A dry, secure, conditioned space is required. Also, power circuits will also be necessary.

Independent Distribution Frame (IDF) Rooms

Architect to select rooms or closets on upper floors of the building to be used as IDF Rooms. Fiber optic cable routed from the MDF Room and to each IDF Room shall serve as network connectivity into each IDF Room. A dry, secure, conditioned space is required. Also, power circuits will also be necessary.



Intrusion Detection System Scope of Work

Currently there is not an Intrusion Detection (Burglary Alarm) System in the Candler Mansion. The renovation of the Candler Mansion should include the deployment of a wired Intrusion Detection System with alarm control keypads and detection devices such as door position switches, motion detectors, and glass break sensors. The keypads would allow the system to be “ARMED” and “DISARMED”. The detection devices would allow the system to monitor entrances, common areas, and hallways for intruders. An Alarm Control Panel with cellular dialer would be needed to serve as the system headend and power supply.

Newly constructed buildings may or may not require Intrusion Detection (Burglary Alarm) Systems relative to the intended use. Therefore, a determination will be made to include or not include Intrusion Detection (Burglary Alarm) Systems in the new buildings once more is known about what type of structures will be built.

Existing Intrusion Detection System

There is no existing Intrusion Detection (Burglary Alarm) System.



Electronic Security Scope of Work

Currently there are no electronic security systems in place. The renovation of the Candler Mansion and the construction of new buildings should include electronic security systems such as card access control, security surveillance cameras and possible telephone entry systems. These security devices would be installed at the front, side, and back doors as well as back-of-house entrances and possibly vehicular entrances, to control and monitor access into the buildings and parking lots. Security surveillance cameras might also be required inside the Candler Mansion and inside newly constructed buildings relative to the use of each building's interior spaces.

Existing Electronic Systems

There are no existing electronic systems.



APPENDICES

- Appendix A: Interior Photo Documentation**
- Appendix B: Exterior Photo Documentation**
- Appendix C: Carriage House Photo Documentation**

APPENDIX A
Candler Mansion
Interior Photo Documentation

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First Floor Documentation



Candler Mansion – Photo Documentation



IMG 109-1: Entry Hall Main Stairs. Remove Non-Historic infill under 2nd stair runs. Remove/replace non-historic rail and balusters. Visible flooring is loose laid LVT plank over original 1 1/2" T&G wood flooring.



IMG 109-2: Front door and opening into wood paneled Library 104. Paint and textured plaster finish to be removed.



IMG 109-3: Interior facing the front door of the mansion.



IMG 109-4: Entry Hall view north into Formal Dining and Elevator entry.

Candler Mansion – Photo Documentation



IMG 110-1: Formal Dining Rm- Intact plaster molding.



IMG 110-2: Paneling on walls- Formal Dining Rm.



IMG 110-3: Damaged/Missing trim elements.



IMG 110-4: Stairs over Original to be removed.



IMG 110-5: Formal Dining to Music Hall.



Candler Mansion – Photo Documentation



IMG 104-1: Wood paneled Library at SE corner of mansion.



IMG 104-2: Filled in fireplace with paneled radiator covers below windows.



IMG 104-3: Heavily detailed trim in good condition.



IMG 104-4: Built in shelves. Shelves at right in photo water damaged. Back of shelf to be replaced in-kind.



IMG 122-1: Banquet Hall – Original floors assumed lost. 6” ornamental plank similar to Music Hall.



IMG 122-2: Opening to Music Hall (remove non-historic doors) Carved marble fireplace to be cleaned and restored.



IMG 122-3: Large steel double hung windows in this room only.



IMG 122-4: Paneled ceiling with hand painted detailing.

Candler Mansion – Photo Documentation



IMG 120-1: Music Hall looking south towards Main House. Wood paneled walls and vaulted ceiling, balcony.



IMG 120-2: Music Hall looking north towards original Organ Room. 6" ornamental wood plank flooring, stone arched openings to tall bay windows front of mansion.



IMG 120-3: Underside of balcony and carved paneling details.



IMG 120-4: Stone Fireplace and stone veneer walls above paneling.





IMG 111-1: Family dining room original crown molding which depicts the garden lattice theme of the original space. Similar wall applied elements are missing but historic photographs are available.



IMG 111-2: The space is currently divided up into various office spaces used in the institution era. This wood window will be removed to create an opening to a new LULA elevator in Lightwell 1.



IMG 11-3: Rendering of restoration intentions based off the historic photographs. Note: new opening into existing elevator shaft. Existing opening into Entry Hall to be infilled.

Candler Mansion – Photo Documentation



IMG 102-1: Family Living Room with water damage located on the left side of the image, effecting both the wall and ornate plaster crown molding with corbels. Tile floor section not original. 1 ½" T&G oak typical at Main House 1st Floor



IMG 102-2: Family Living Room looking west towards Solarium. Black and white tile, paneling, and textured paint are non-historic movie set additions.



IMG 102-3: Previous fireplace location.



IMG 102-4: Family Living Room looking west toward South Hall and Library. Again, the textured plaster and doors are not original. Note: water damage in back right corner mentioned in image 1.



IMG 101-1: Solarium looking west from stair landing. Door and vestibule "box" leading to egress stair to be removed. Mirrored imitation of typical window to be installed in arched opening original arched opening.



IMG 101-2: Concrete stairs and original railing leading down into Solarium. Fountain element integrated into stair design.



IMG 101-3: Cast stone radiator enclosures with cast iron grilles.



IMG 101-4: Rusticated stone veneer pilasters and typical arched opening carved detailing.



IMG 114-1: Original Kitchen was divided up into many rooms during the institution era. Tile @ floors, full height walls and even ceilings appear to be original materials. Area of mansion to contain new restrooms serving future event/assembly uses.



IMG 123-1: Institutional Kitchen addition off of the Banquet Hall in poor condition.



IMG 123-2:



IMG 123-3: Steel awning windows were used in this addition.

IMG 123-4: Exhaust hood and equipment to be removed.



Second Floor Documentation



Candler Mansion – Photo Documentation



IMG 208-1: Candler's bedroom which showcases water damage on the front side of the mansion in between two windows.



IMG 208-2: Directly above the Library, marble mantle at closed-up fireplace. (Original chimney at this location has been removed from structure).



IMG 208-3: Majority of the second floor T&G wood flooring and bathroom tile is covered in a heavy-duty fluid applied traffic coating.



IMG 208-4: Typical smooth plaster walls with applied wood moulding creating panels. Looking north at doors leading to Stair Hall and Bath 4 & Closet. Typical ceiling damage visible after removal of ACT ceiling systems.

Candler Mansion – Photo Documentation



IMG 203-1: Typical bedroom on the second floor of the mansion. The radiator enclosures are typical for most of the enclosures throughout.



IMG 203-2: Paneling on the walls and crown molding hidden by institutional installation of ACT ceilings in all second-floor rooms and wing corridors.



IMG 203-3:



IMG 203-4:



IMG 204-1: Typical bathroom with epoxy coated original tile walls and Traffic Coating on original tile floors covering specific bathroom floor tiles.



IMG 204-2: Recessed radiator enclosures with cast iron grilles below windows. Ornamental tile casing at windows and doors. Ornamental tile crown mouldings. (all with epoxy coatings to be removed)



IMG 204-3: Tiles in a typical bathroom in good condition covering the walls. Existing plumbing fixtures to be removed and replaced.

Candler Mansion – Photo Documentation



IMG 209-1: Stair Hall from first floor entry hall ascending to second floor. Non-historic faux stained-glass panels to be removed and replaced with new sashes. Fixed or double hung to-be-determined.



IMG 209-2: Applied Panel molding on plaster over raised panel wainscot in Stair Hall runs throughout second floor circulation hallways.



IMG 209-3: Elevator installed at former Bedroom closet location on this floor. Door on left leads into Back Stair Hall and North Hallway. Both with severe water damage to plaster and wood paneling finishes.



IMG 209-4: existing ACT flooring on plywood installed over original tongue and groove wood flooring. Areas of water damage revealing layers shown here.



IMG 206-1: South Hallway with typical radiator enclosure as seen in most of the mansion. (this window was originally in end bedroom on this wing but became part of egress corridor when stair was added to end of wing.)



IMG 206-2: South Hallway paneled wainscot and wall panel molding. Glazing “removed” at majority of windows to install exterior plywood security coverings.

Third Floor Documentation



Candler Mansion – Photo Documentation



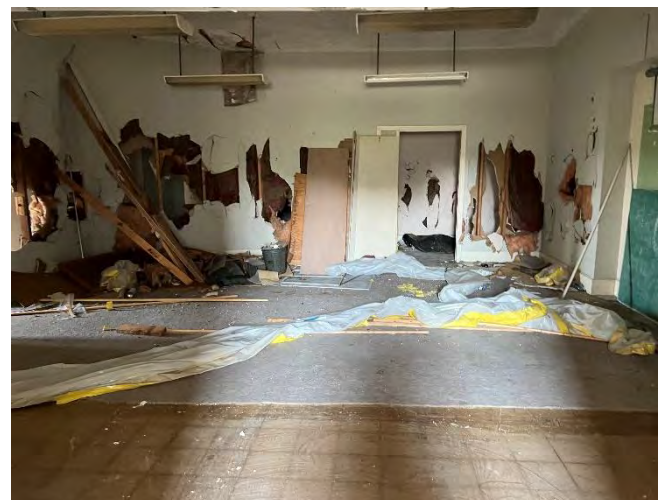
IMG 311-1: Ballroom: Historic image showing the Ballroom in its original state. Currently subdivided with smaller rooms for institutional use. Note: vaulted ceiling.



IMG 311-2: Water damaged plaster ceiling in South Alcove. Aluminum replacement windows to be removed and replaced with historically accurate wood sashes.



IMG 311-3: Interior rendering showing restored space. Non-historic elevator shaft to remain in current location. Ornamental cove crown moulding is still intact for restoration. The majority of original wall panel trim is also intact.



IMG 311-4: Current condition of one of the subdivided rooms in the middle of the ballroom. Note ACT flooring over original wood flooring to be removed. Wood floors may be restorable if plywood subfloor was utilized under tile but assume carpet finish for SD pricing.

APPENDIX B
Candler Mansion
Exterior Photo Documentation

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Overall Exterior Views



Candler Mansion – Photo Documentation



IMG EX1-1: Northeast portion of the Candler Mansion outside of the service kitchen. Overgrowth in the back.



IMG EX1-2: Banquet Hall with large steel windows only present on the Northeast addition of the house.



IMG EX1-3: Both the Banquet Hall and Service Kitchen addition shown together.



IMG EX1-4: Organ Room addition along with Music Room behind.

Candler Mansion – Photo Documentation



IMG EX2-1: Northwest courtyard on the back of house. Broken windows are to be fixed, and the bridge the carriage house is to be removed. This is the location of the new addition to the house which includes a new elevator.



IMG EX2-2:



IMG EX2-3: Boarded up windows cover the East Wing of the Candler Mansion, largely protecting the broken windows that lie behind.



IMG EX2-4: Closer look at the Solarium half circle stair addition as well as the addition of the bridge that connects to the Carriage House.

Candler Mansion – Photo Documentation



IMG EX3-1: Southeast view of the arched windows only present in the Solarium. Door will be inserted onto closest window per ADA requirements.



IMG EX3-2: Arched Porte Cochere leading from the Side Hall into the Pavilion.



IMG EX3-3: South Stair addition onto Solarium.



IMG EX3-4: Jack arch windows in the children's rooms above the Solarium. Brick on Southeast side is largely in good condition.

Candler Mansion – Photo Documentation



IMG EX4-1: South angle approaching the Candler Mansion.



IMG EX4-2: Boarded up, damaged windows of the Music Room.



IMG EX4-3: Detailed trim of brick-filled door that leads to nothing on the interior side. Trim needs repair.



IMG EX4-4: Entry patio for main door. Column bases need to be addressed.

Typical Materials and Details





IMG EX5-1: Typical arched window lining the Solarium.



IMG EX5-2: Steel window and panel insertion in the Banquet Hall showcasing the material specificity in the addition on the mansion's north side.



IMG EX5-3: Stone base moving from logical to random pattern on the north side.



IMG EX5-4: Dormer type above the music hall. Other dormers on the third floor are similar but with arched trim.



IMG EX5-5: Corner of entry patio containing many typical materials used extensively around the Candler Mansion.

Typical and Notable Deterioration Issues





IMG EX6-1: Extensive overgrowth around the exterior. Here seen in Lightwell Two.



IMG EX6-3: Crumbling wood on the top corner of a jack arched window.



IMG EX6-5: Broken steel window on the Organ Room; typical for many steel and wood windows around the property.



IMG EX6-4: Deteriorating roof trim on west side of mansion.



IMG EX6-6: Stone retaining wall breaking away from tile walkway; needs to be redone.

APPENDIX C
Candler Mansion
Carriage House
Photo Documentation

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Overall Exterior Views



Candler Mansion – Photo Documentation



IMG CH1-1: East facing, front portion of Carriage House. Deteriorating roof trim and paneling need to be fixed.



IMG CH1-3: Connection point between bridge from Solarium to second floor. Previous entry below now boarded up.



IMG CH1-4: West side entry to basement which contains many examples of deterioration. There is a large topographical change in this area.



IMG CH1-2: North side with stairway down to back of Carriage House. Replace door with window matching adjacent.



IMG CH1-5: Bridge connection from Main House to Carriage House which is to be demolished.



Typical Materials and Details





IMG CH2-1: Typical size of brick in both the Main House and Carriage House.



IMG CH2-2: Close up of stone on Carriage House with fixture and pipe running along. Original fixtures are going to be maintained in restoration.



IMG CH2-3: Garage door trim connection with brick arch leading into stone base.



IMG CH2-4: Corner where deteriorating paneling connects with trim as well as brick wall.

Typical and Notable Deterioration Issues



Candler Mansion – Photo Documentation



IMG CH3-1: Missing and cracked stone on basement level.



IMG CH3-3: Replacement needed on chimney with bricks missing on the top.



IMG CH3-4: Patched up entry and staircase on first floor.



IMG CH3-2: Hole, one of two, in roof allowing structural deterioration. Framing repairs needed before roof replacement.



IMG CH3-5: Chipped paint and wood on windows. Window is missing windowpanes.



Galerie Living

CANDLER MANSION REHABILITATION

Schematic Design

08/18/2023

LAS Project No. 12169-00

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REVISION:

SHEET TITLE
COVER SHEET

JOB NAME
Galerie Living

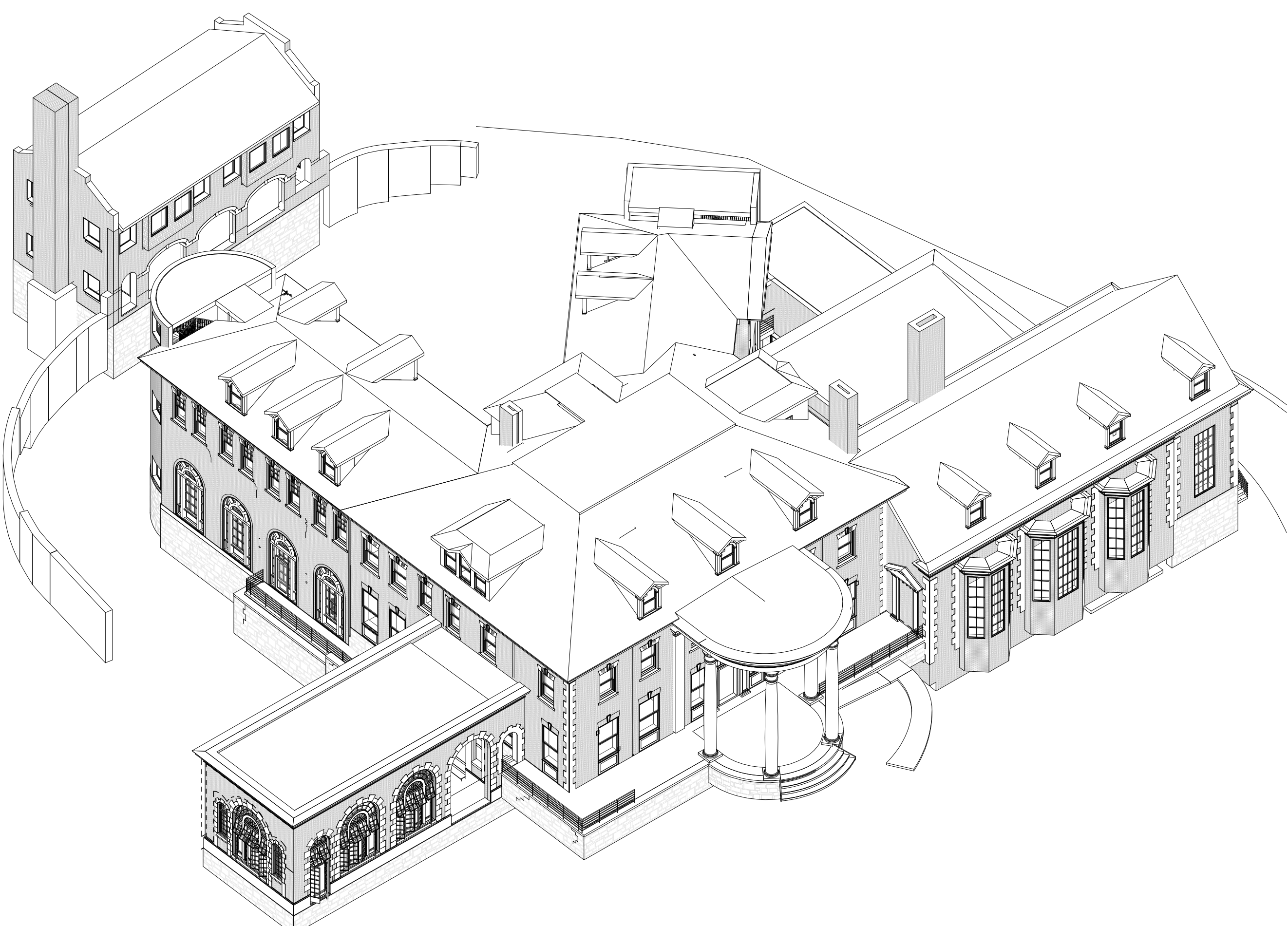
LOCATION
1256 Briarcliff Road NE Atlanta, GA 30306

ISSUE DATE
08/18/2023

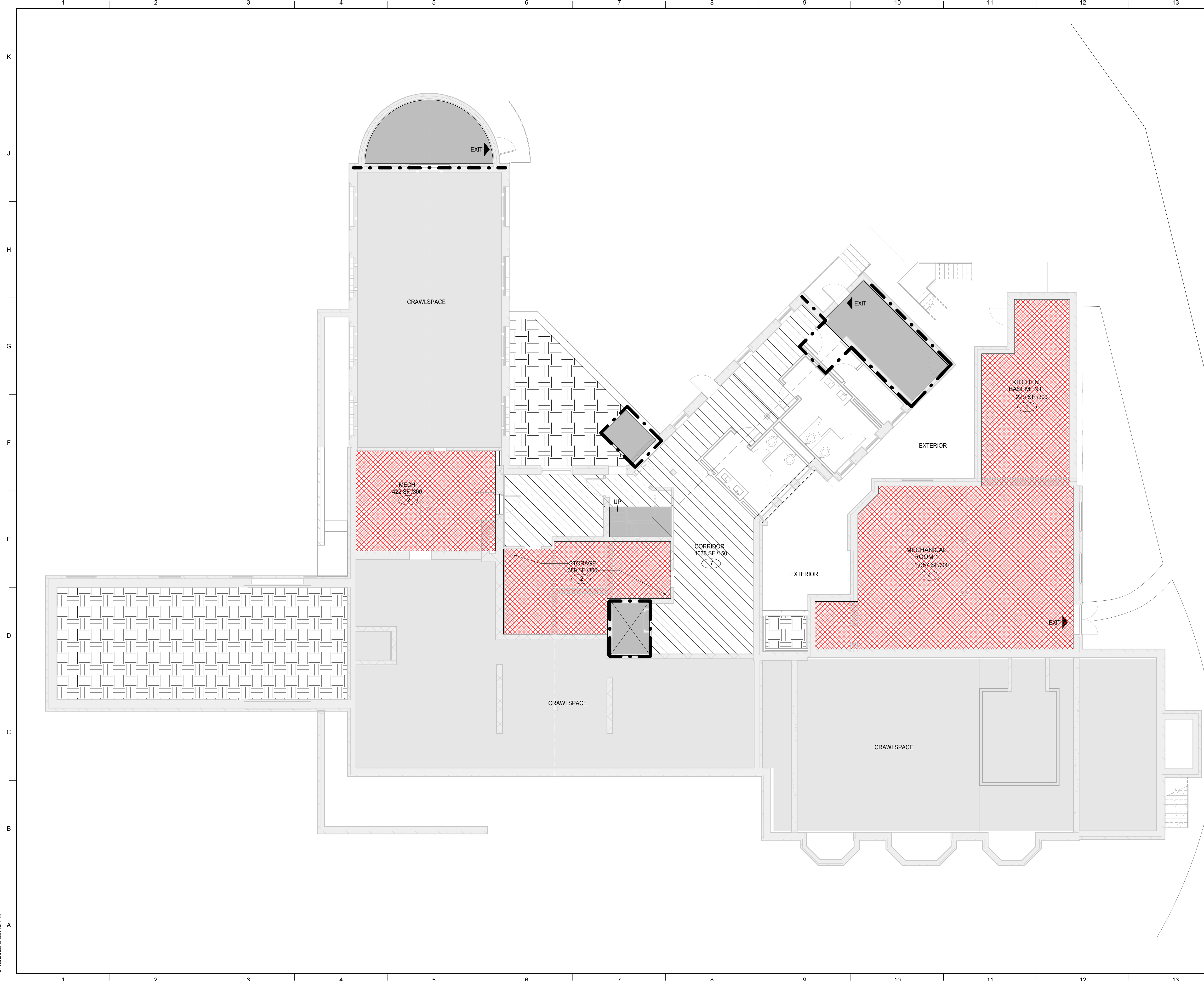
JOB NO.
12169-00

DWG. NO.
G001

NOT FOR CONSTRUCTION



- GENERAL
 - G001 COVER SHEET
 - G100 LIFE SAFETY PLAN - LEVEL 00
 - G101 LIFE SAFETY PLAN - LEVEL 01
 - G102 LIFE SAFETY PLAN - LEVEL 02
 - G103 LIFE SAFETY PLAN - LEVEL 03
- ARCHITECTURAL
 - A001 KEYNOTE LIST / SYMBOLS / LEGEND / GENERAL NOTES
 - A100 FLOOR PLAN - LEVEL 00
 - A101 FLOOR PLAN - LEVEL 01
 - A102 FLOOR PLAN - LEVEL 02
 - A103 FLOOR PLAN - LEVEL 03
 - A104 ROOF PLAN
 - A110 CARRIAGE HOUSE PLANS & ROOF PLAN
 - A111 CARRIAGE HOUSE ELEVATIONS
 - A201 EXTERIOR ELEVATIONS
 - A202 EXTERIOR ELEVATIONS
 - A203 EXTERIOR ELEVATIONS
 - A204 EXTERIOR ELEVATIONS
 - A205 ADDITION EXTERIOR ELEVATIONS
 - A211 BUILDING SECTIONS
 - A212 BUILDING SECTIONS
 - A608 WINDOW SCHEDULE
 - A609 WINDOW ELEVATIONS
 - A702 INTERIOR FINISH SCHEDULE
 - A703 INTERIOR FINISH SCHEDULE
 - A704 INTERIOR FINISH DETAILS
 - A740 EXISTING BATHROOM RENOVATION MASTER BATHROOM
 - A741 EXISTING BATHROOM RENOVATION MARTHA BATHROOM
 - A742 FAMILY BREAKFAST ROOM RENOVATION
 - A743 SUMMER PAVILION RENOVATION
 - A744 BALLROOM RENOVATION
 - A745 PUBLIC RESTROOMS
- ARCHITECTURAL DEMO
 - AD100 DEMOLITION PLAN - LEVEL 00
 - AD101 DEMOLITION PLAN - LEVEL 01
 - AD102 DEMOLITION PLAN - LEVEL 02
 - AD103 DEMOLITION PLAN - LEVEL 03
- SCHEMATIC DESIGN
 - ELECT 1 ELECT DIAGRAMS - DISTRIBUTION



LIFE SAFETY LEGEND	
	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)
	BUILDING EXIT AT GRADE
	SMOKE PARTITION
	1-HOUR RATED WALL
	2-HOUR RATED WALL
	3-HOUR RATED WALL
	GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/ EXIT ENCLOSURE
	H.E. → HORIZONTAL EXIT
	FIRE EXTINGUISHER CABINET
	35 — ACTUAL NUMBER OF OCCUPANTS 65 — CAPACITY OF DOOR OR EXIT
	8'-0" — WIDTH OF STAIR OR CORRIDOR 640 — CAPACITY OF STAIR OR CORRIDOR
	A 400 SF — OCCUPANCY TYPE AND AREA OF SPACE
	10 — NUMBER OF OCCUPANTS

OCCUPANCY TYPES:	
	S- STORAGE & MECH 300 GSF / OCCUPANT
	A- ASSEMBLY (UNCONCENTRATED) 7 NET / OCCUPANT
	B- BUSINESS 150 GSF / OCCUPANT
	C- CLASSROOM 20 NET / OCCUPANT
	K- KITCHEN 200 GSF / OCCUPANT

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REVISION:

SHEET TITLE
LIFE SAFETY PLAN - LEVEL 00

SCALE (UNO.)

SHEET SPECIFIC NOTES	
KEY PLAN	SEAL
PROJECT NORTH	

JOB NAME
Galerie Living

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
G100

LOCATION
CANDLER MANSION REHABILITATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

NOT FOR CONSTRUCTION

- Applicable Codes**
- International Building Code, 2018 Edition, with Georgia Amendments
 - International Fire Code, 2018 Edition, with Georgia Amendments
 - International Plumbing Code, 2018 Edition, with Georgia Amendments
 - International Mechanical Code, 2018 Edition, with Georgia Amendments
 - International Fuel Gas Code, 2018 Edition, with Georgia Amendments
 - National Electrical Code, 2020 Edition (No Georgia Amendments)
 - International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments
 - Life Safety Code, 2018 Edition, with Georgia Amendments
 - International Existing Building Code, 2018 Edition, with Georgia Amendments

BUILDING CODE SUMMARY:

CONSTRUCTION TYPE: IIB / SPRINKLERED (NEW SPRINKLER SYSTEM)

OCCUPANCY TYPE: ASSEMBLY AND BUSINESS. ASSEMBLY IS THE MOST RESTRICTIVE OCCUPANCY TYPE.

ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER IBC TABLE 504.3: 75' ACTUAL BUILDING HEIGHT: 50' - 7"

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER IBC TABLE 504.4: 3 ACTUAL BUILDING STORIES: 3 STORIES ABOVE GRADE PLANE AND A BASEMENT

ALLOWED BUILDING AREA PER IBC TABLE 506.2: OCCUPANCY CLASSIFICATION A-2 / SPRINKLERED: 28,500 SF

ACTUAL BUILDING AREA:

BASEMENT	3,995 SF
1ST FLOOR	10,213 SF
2ND FLOOR	5,220 SF
3RD FLOOR	5,573 SF
TOTAL	25,003 SF

LIFE SAFETY CODE SUMMARY:

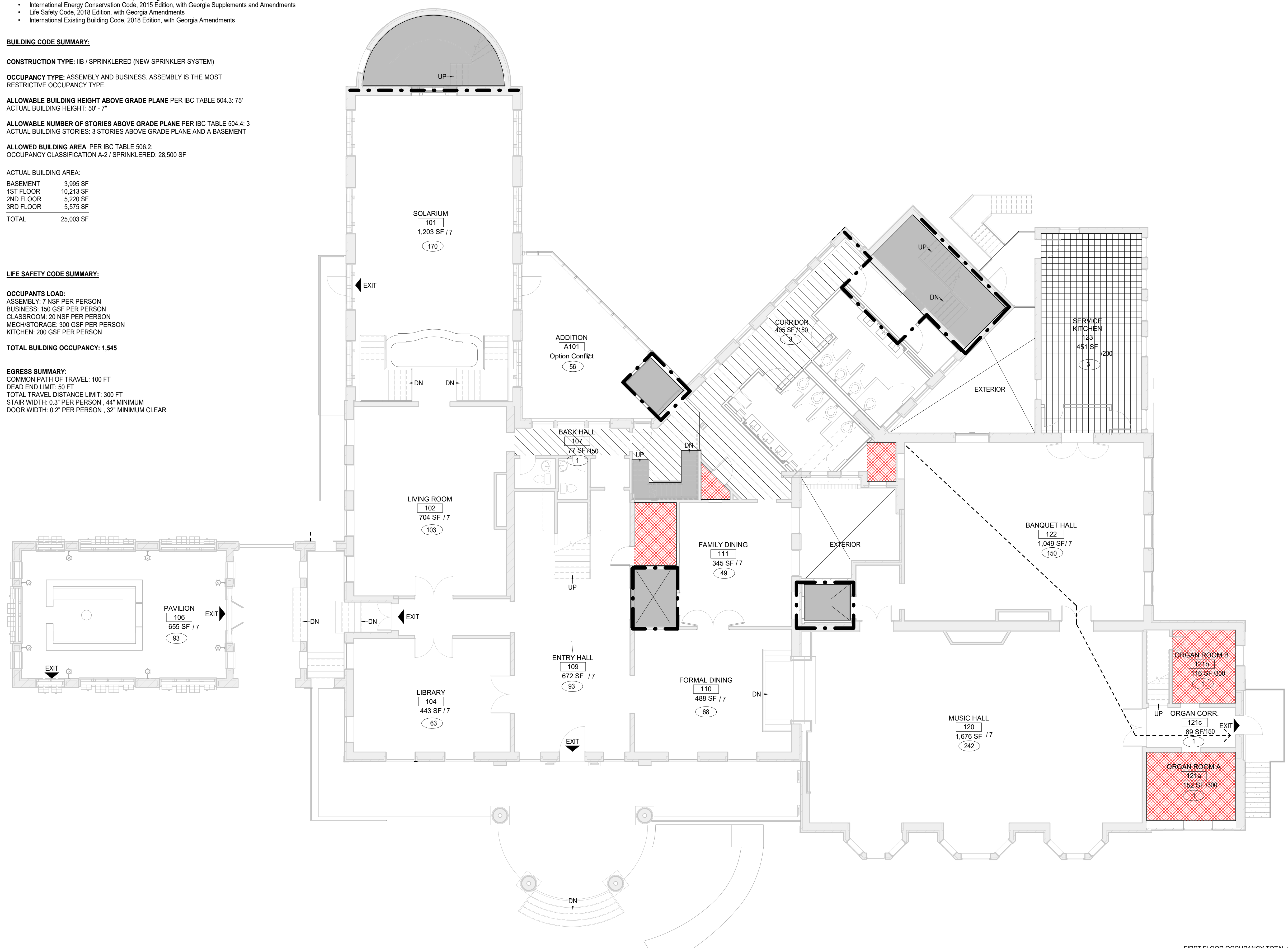
OCCUPANTS LOAD:

- ASSEMBLY: 7 NSF PER PERSON
- BUSINESS: 150 GSF PER PERSON
- CLASSROOM: 20 NSF PER PERSON
- MECH/STORAGE: 300 GSF PER PERSON
- KITCHEN: 200 GSF PER PERSON

TOTAL BUILDING OCCUPANCY: 1,545

EGRESS SUMMARY:

- COMMON PATH OF TRAVEL: 100 FT
- DEAD END LIMIT: 50 FT
- TOTAL TRAVEL DISTANCE LIMIT: 300 FT
- STAIR WIDTH: 0.3" PER PERSON, 44" MINIMUM
- DOOR WIDTH: 0.2" PER PERSON, 32" MINIMUM CLEAR



LIFE SAFETY LEGEND

	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)
	BUILDING EXIT AT GRADE
	SMOKE PARTITION
	1-HOUR RATED WALL
	2-HOUR RATED WALL
	3-HOUR RATED WALL
	GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/EXIT ENCLOSURE
	H.E. → HORIZONTAL EXIT
	FIRE EXTINGUISHER CABINET
	35 65 — ACTUAL NUMBER OF OCCUPANTS — CAPACITY OF DOOR OR EXIT
	8' - 0" — WIDTH OF STAIR OR CORRIDOR 640 — CAPACITY OF STAIR OR CORRIDOR
	A 400 SF — OCCUPANCY TYPE AND AREA OF SPACE
	10 — NUMBER OF OCCUPANTS

OCCUPANCY TYPES:

	S- STORAGE & MECH	300 GSF / OCCUPANT
	A- ASSEMBLY (UNCONCENTRATED)	7 NET / OCCUPANT
	B- BUSINESS	150 GSF / OCCUPANT
	C- CLASSROOM	20 NET / OCCUPANT
	K- KITCHEN	200 GSF / OCCUPANT

SHEET SPECIFIC NOTES

KEY PLAN	SEAL
PROJECT NORTH	

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REVISION:

SHEET TITLE
LIFE SAFETY PLAN - LEVEL 01
SCALE (1/8" = 1'-0")

JOB NAME
Galerie Living

LOCATION
CANDLER MANSION REHABILITATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

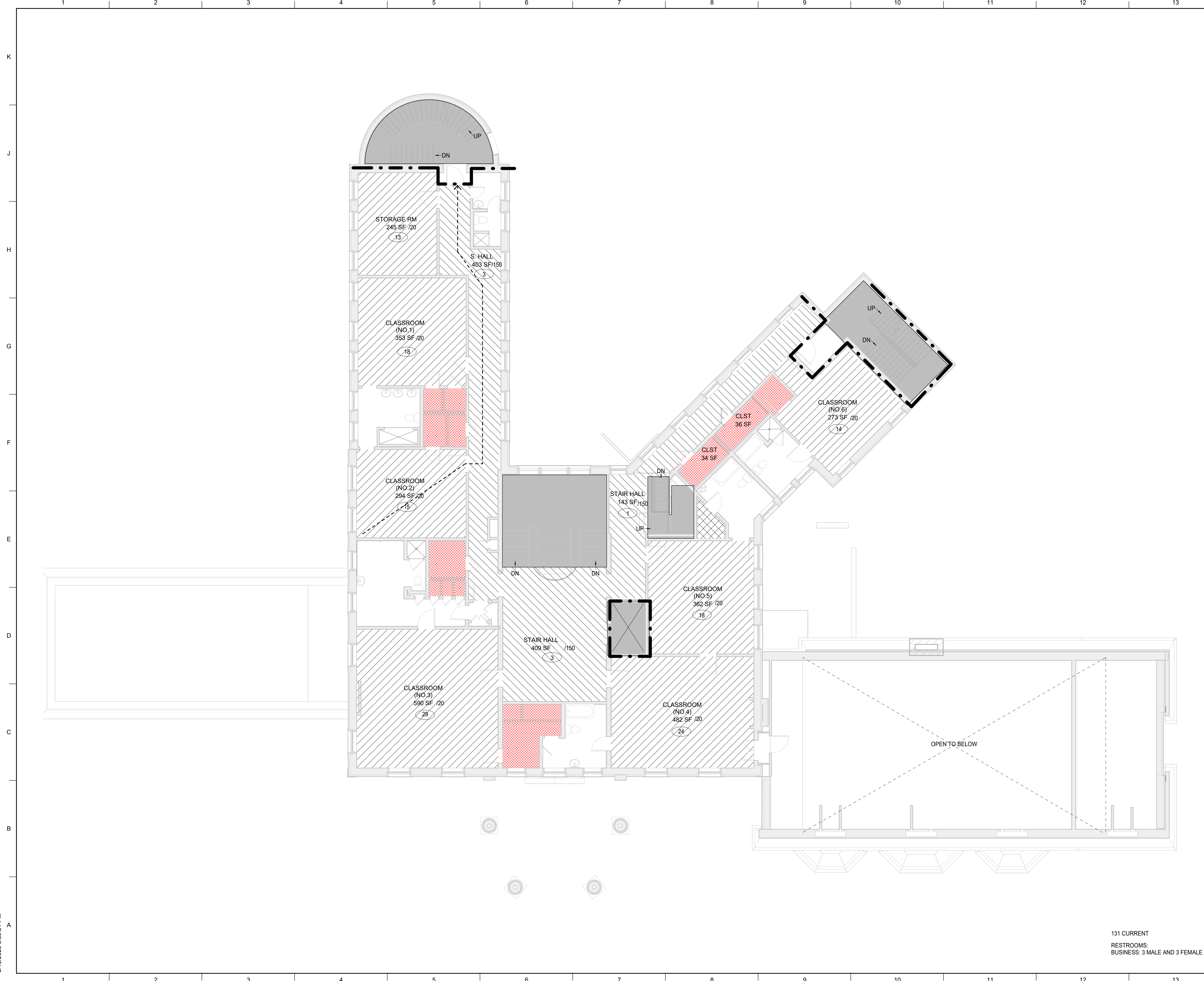
JOB NO.
12169-00

DWG. NO.

G101

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LIFE SAFETY LEGEND

	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)				
	EXIT				
	SMOKE PARTITION				
	1-HOUR RATED WALL				
	2-HOUR RATED WALL				
	3-HOUR RATED WALL				
	GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/ EXIT ENCLOSURE				
	H.E. → HORIZONTAL EXIT				
	FIRE EXTINGUISHER CABINET				
	<table border="0"> <tr> <td>35</td> <td>— ACTUAL NUMBER OF OCCUPANTS</td> </tr> <tr> <td>65</td> <td>— CAPACITY OF DOOR OR EXIT</td> </tr> </table>	35	— ACTUAL NUMBER OF OCCUPANTS	65	— CAPACITY OF DOOR OR EXIT
35	— ACTUAL NUMBER OF OCCUPANTS				
65	— CAPACITY OF DOOR OR EXIT				
	<table border="0"> <tr> <td>8'-0"</td> <td>— WIDTH OF STAIR OR CORRIDOR</td> </tr> <tr> <td>640</td> <td>— CAPACITY OF STAIR OR CORRIDOR</td> </tr> </table>	8'-0"	— WIDTH OF STAIR OR CORRIDOR	640	— CAPACITY OF STAIR OR CORRIDOR
8'-0"	— WIDTH OF STAIR OR CORRIDOR				
640	— CAPACITY OF STAIR OR CORRIDOR				
	<table border="0"> <tr> <td>A 400 SF</td> <td>— OCCUPANCY TYPE AND AREA OF SPACE</td> </tr> <tr> <td>10</td> <td>— NUMBER OF OCCUPANTS</td> </tr> </table>	A 400 SF	— OCCUPANCY TYPE AND AREA OF SPACE	10	— NUMBER OF OCCUPANTS
A 400 SF	— OCCUPANCY TYPE AND AREA OF SPACE				
10	— NUMBER OF OCCUPANTS				

OCCUPANCY TYPES:

	S- STORAGE & MECH	300 GSF / OCCUPANT
	A- ASSEMBLY (UNCONCENTRATED)	7 NET / OCCUPANT
	B- BUSINESS	150 GSF / OCCUPANT
	C- CLASSROOM	20 NET / OCCUPANT
	K- KITCHEN	200 GSF / OCCUPANT

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

LORD AECK SARGENT

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REVISION:

SHEET TITLE
LIFE SAFETY PLAN - LEVEL 02

SCALE (1/8"=1'-0")

JOB NAME
Galerie Living

ISSUE DATE
08/18/2023

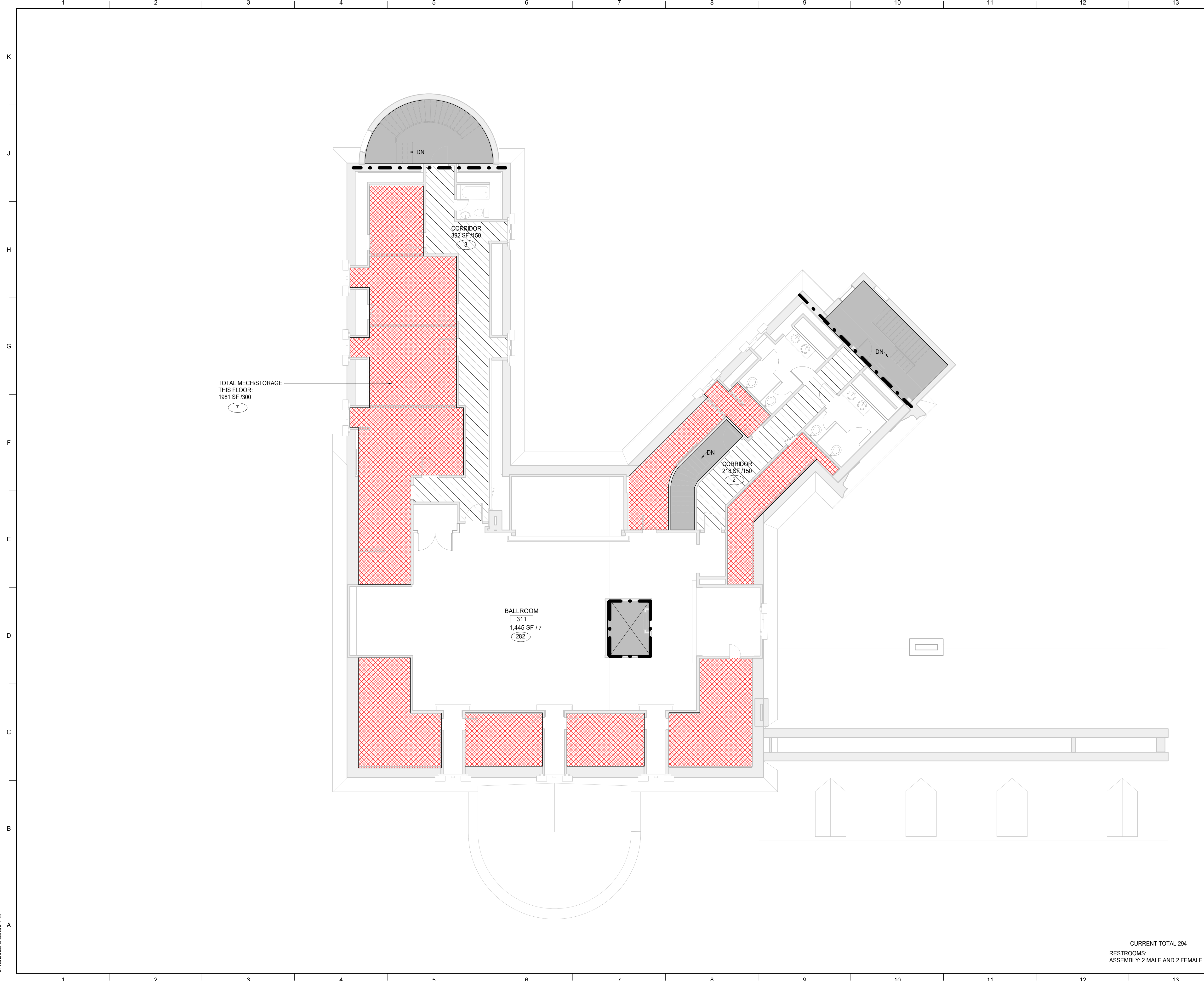
JOB NO.
12169-00

DWG. NO.
G102

LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

CANDLER MANSION REHABILITATION

NOT FOR CONSTRUCTION



CURRENT TOTAL 294
RESTROOMS:
ASSEMBLY: 2 MALE AND 2 FEMALE

LIFE SAFETY LEGEND

	VERTICAL ELEMENTS (SHAFTS, ELEVATORS, STAIRS)
	EXIT
	BUILDING EXIT AT GRADE
	SMOKE PARTITION
	1-HOUR RATED WALL
	2-HOUR RATED WALL
	3-HOUR RATED WALL
	GREATEST MINIMUM EGRESS TRAVEL DISTANCE AND PATH TO EXIT/ EXIT ENCLOSURE
	H.E. → HORIZONTAL EXIT
	FIRE EXTINGUISHER CABINET
	— ACTUAL NUMBER OF OCCUPANTS
	— CAPACITY OF DOOR OR EXIT
	— WIDTH OF STAIR OR CORRIDOR
	— CAPACITY OF STAIR OR CORRIDOR
	A 400 SF — OCCUPANCY TYPE AND AREA OF SPACE
	— NUMBER OF OCCUPANTS

OCCUPANCY TYPES:

	S- STORAGE & MECH	300 GSF / OCCUPANT
	A- ASSEMBLY (UNCONCENTRATED)	7 NET / OCCUPANT
	B- BUSINESS	150 GSF / OCCUPANT
	C- CLASSROOM	20 NET / OCCUPANT
	K- KITCHEN	200 GSF / OCCUPANT

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REVISION:

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

SHEET TITLE
LIFE SAFETY PLAN - LEVEL 03

SCALE (N/A)

JOB NAME
Galerie Living

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
G103

PROJECT NORTH

LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

CANDLER MANSION REHABILITATION

NOT FOR CONSTRUCTION

PROJECT KEYNOTE LIST

07 90 00.JS
08 11 00.SF
09 24 00.PCP

ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, and Unit/Notes. Includes entries like A AND, EWH ELECTRIC WATER HEATER, KIT KITCHEN, POL POLISHED, VERT VERTICAL, etc.

GENERAL PROJECT NOTES

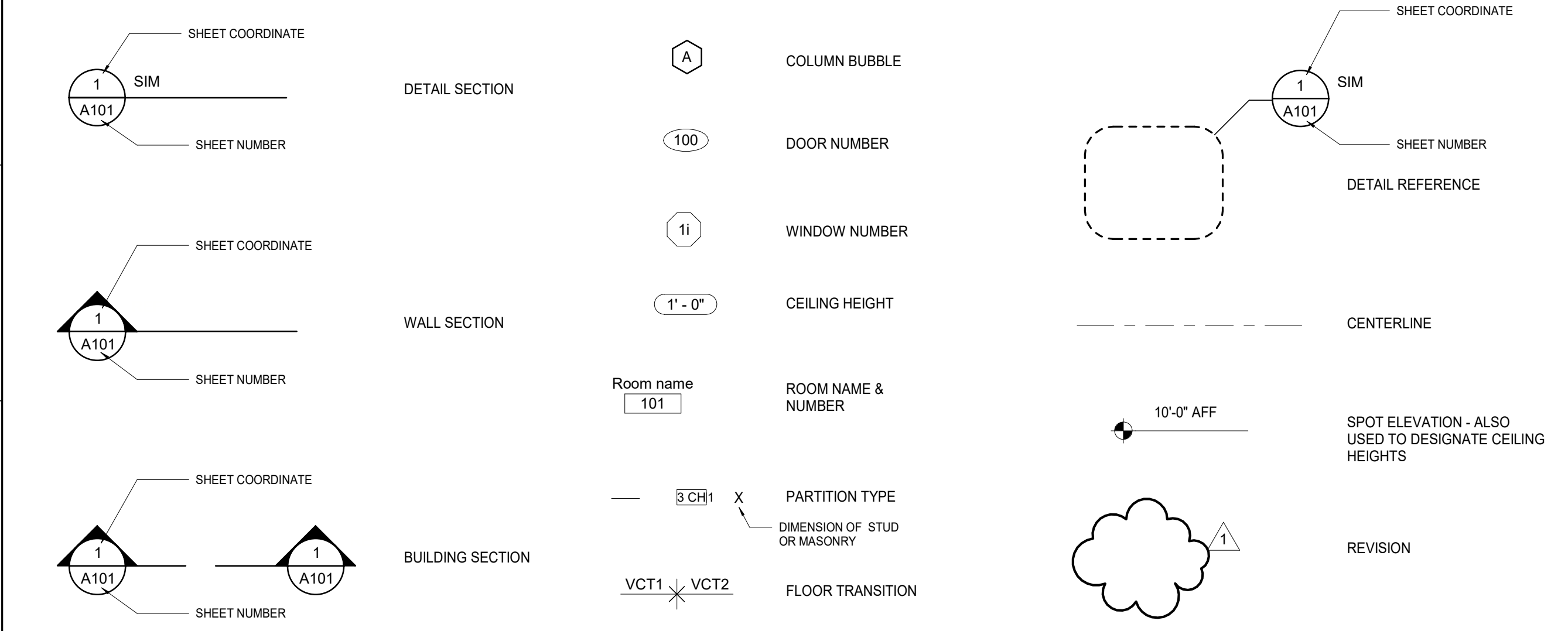
- DIMENSIONING
1. DIMENSIONS ON PLANS ARE TO FACE OF CMU OR FACE OF GWB UNLESS NOTED OTHERWISE.
2. MASONRY DIMENSIONS SHOWN ARE ACTUAL DIMENSIONS.
3. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
4. DIMENSIONS RELATED TO THE EXISTING BUILDING SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
5. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO THE OUTSIDE FACE OF GLAZING, MASONRY OR EIFS.
PARTITIONS/FINISHES/GENERAL
6. SEE LIFE SAFETY PLANS, FLOOR PLANS & PARTITION TYPES FOR LOCATION OF FIRE RATED WALLS.
7. PROVIDE CONTINUOUS HORIZONTAL BLOCKING IN ALL PARTITIONS WHERE INDICATED AND WHERE REQUIRED FOR EQUIPMENT AND CASEWORK ATTACHMENT.
8. ALL INTERIOR AND EXTERIOR WOOD BLOCKING SHALL BE TREATED AS CALLED FOR IN SPECIFICATIONS.
9. IN GENERAL, THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE OR OTHER OUTLETS. OUTLET HOLES SHALL BE PACKED WITH ACOUSTICAL SEALANT.
10. WHEN OUTLETS ARE INDICATED AS OCCURRING BACK-TO-BACK THEY SHOULD BE SEPARATED BY 16 INCHES HORIZONTALLY. WHERE DIMENSIONS ARE SHOWN WHICH CONFLICT WITH THIS, OBTAIN DIRECTION FROM ARCHITECT.
11. PROVIDE A SEALANT JOINT AT ALL INTERSECTIONS OF GWB WALLS OR GWB CEILINGS WITH CMU PARTITIONS.
12. MAINTAIN INTEGRITY OF ALL RATED PARTITIONS AT INSTALLATION OF RECESSED FIRE EXTINGUISHER CABINETS, CABINETS, TOWEL DISPENSERS, RECEPTACLES, ELECTRICAL PANELS AND OTHER RECESSED ITEMS. AT GWB WALLS, OBTAIN THIS INTEGRITY BY INSTALLING AN ADDITIONAL LAYER OF GYPSUM BOARD WITHIN WALL AROUND ALL SIDES OF ITEM AND AN ADDITIONAL LAYER BEHIND ITEM.
13. WHERE HVAC OR OTHER MECHANICAL, ELECTRICAL AND PLUMBING ITEMS PENETRATE PARTITIONS, STUDS SHALL BE BRACED AND FRAMED TO STRUCTURE AS REQUIRED TO PROVIDE ADEQUATE SUPPORT. ALL PENETRATIONS THROUGH WALLS SHALL BE SEALED TO PROVIDE FIRE, SMOKE AND/OR ACOUSTIC ISOLATION SPACES.
14. BEFORE PATCHING ANY FIRE-RATED CMU PARTITION, FILL ANY EXPOSED CELLS SOLID WITH GROUT.
15. PROVIDE FINISHED WALL UNDER AND BEHIND WALL EQUIPMENT AND CASEWORK.
COORDINATION/INDICATION OF ENGINEERING WORK ON ARCHITECTURAL DRAWINGS:
16. WORK OF ENGINEERING DISCIPLINES IS SHOWN ON ARCHITECTURAL DRAWINGS FOR COORDINATION AND CONVENIENCE PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK.
17. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR LOCATION OF CEILING MOUNTED MECHANICAL, ELECTRICAL AND PLUMBING FIXTURES.
18. WHERE EXPOSED STRUCTURE CEILING AREAS OCCUR IN ARCHITECTURAL REFLECTED CEILING PLANS, FULL DELINEATION OF STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS IS NOT PROVIDED, SELECTED ELEMENTS AND DEVICES MAY BE SHOWN FOR LOCATION OR COORDINATION (E.G. LIGHT AND SPRINKLER SPACING)



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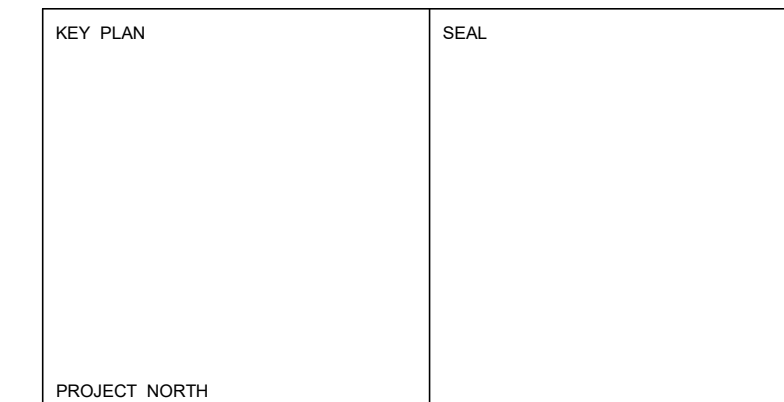
REVISION table with columns for revision number and description.

SYMBOLS



DRAWING KEYNOTING SYSTEM

A KEYNOTING SYSTEM IS USED ON THE DRAWINGS FOR MATERIAL REFERENCES AND NOTES. REFER TO THE KEY LEGEND ON THE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE SYMBOL ON THE RESPECTIVE DRAWING.
EACH KEYNOTE SYMBOL CONSISTS OF A 6-DIGIT NUMBER FOLLOWED BY AN ALPHA-NUMERIC SUFFIX. THE 6-DIGIT NUMBER RELATES TO THE SPECIFICATION SECTION WHICH GENERALLY COVERS THE ITEM THAT IS REFERENCED AND THE SUFFIX COMBINED WITH THE 6-DIGIT NUMBER CREATES A KEYNOTE SYMBOL WHICH IDENTIFIES THE SPECIFIC REFERENCE NOTATION USED ON THE DRAWING. THE SUFFIX DOES NOT RELATE TO ANY CORRESPONDING REFERENCE LETTER OR NUMBER IN THE SPECIFICATION.
THE ORGANIZATION OF THE KEYNOTING SYSTEM ON THE DRAWINGS, WITH THE KEYNOTING SYSTEM REFERENCE NUMBER RELATED TO THE SPECIFICATIONS SECTIONS NUMBERING SYSTEM, SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
THE KEYNOTE LIST IS NOT A COMPLETE LIST OF THE CONTRACT SPECIFICATIONS NOR IS IT A COMPLETE LIST OF ALL MATERIALS CALLED FOR.

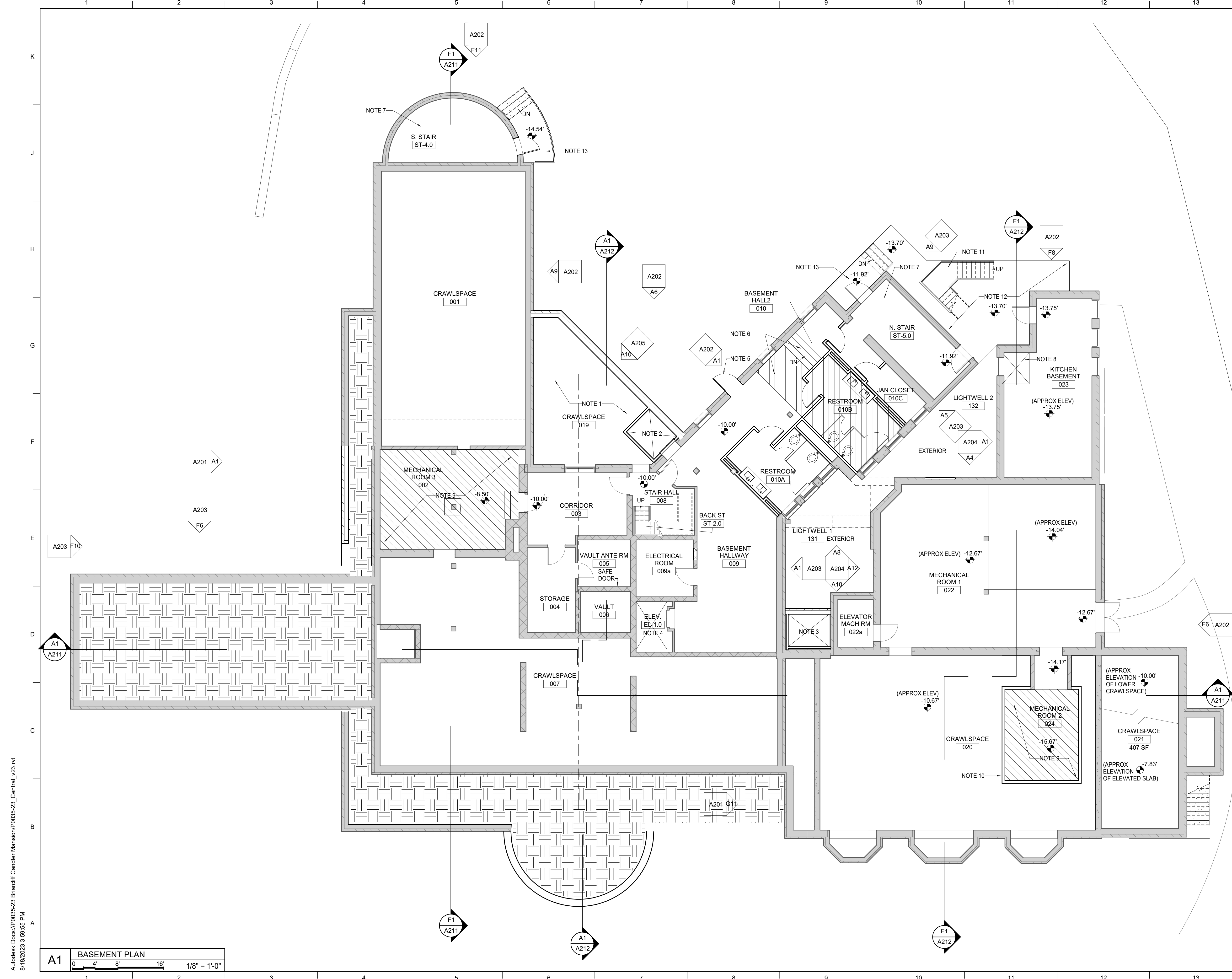


SHEET TITLE: KEYNOTE LIST / SYMBOLS / LEGEND / GENERAL NOTES
SCALE: (N/A)

JOB NAME: Gallerie Living
CANDLER MANSION REHABILITATION
LOCATION: 1266 Briarcliff Road, NE Atlanta, GA 30306

ISSUE DATE: 08/18/2023
JOB NO.: 12169-00
DWG. NO.: A001

NOT FOR CONSTRUCTION



MATERIAL KEYNOTES

[Hatched Pattern]	EXISTING WALLS TO REMAIN
[Solid Grey]	NEW WALLS

GENERAL NOTES

- EXISTING WALLS TO REMAIN
- NEW WALLS

SHEET SPECIFIC NOTES

- NEW ADDITION.
- NEW 3 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR.
- NEW 2 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR, NEW EXTERIOR BRICK WALL ON ONE SIDE, AND NEW STUD WALLS OVER EXISTING BRICK WALL ON THREE SIDES, NEW ROOF SYSTEM.
- NEW 4 STOP, OPPOSITE SIDE DOORS RETROFIT ELEVATOR IN EXISTING ELEVATOR SHAFT.
- NEW EXTERIOR DOOR IN EXISTING WINDOW OPENING, OVERBUILD NEW FLOOR TO -10'-0" ELEVATION TO MATCH ADJACENT FLOOR ELEVATION, NEW STAIRS DOWN TO -11.92' ELEVATION.
- NEW STEEL STAIRS AND RAILINGS IN EXISTING STAIR SHAFT.
- NEW 2 STOP DUMBWAITER.
- NEW CONCRETE SLAB ON GRADE FLOOR.
- NEW CONCRETE BLOCK WALL.
- NEW EXTERIOR STEEL STAIR.
- NEW CONCRETE SLAB ON GRADE.
- NEW EXTERIOR STAIR, CONCRETE SLAB ON GRADE WITH GRANITE WALL.

KEY PLAN

SEAL

PROJECT NORTH



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REVISION:

FLOOR PLAN - LEVEL 00

SCALE (UNO.)

CANDLER MANSION REHABILITATION

JOB NAME: Galerie Living

LOCATION: 1256 Briarcliff Road, NE Atlanta, GA 30306

ISSUE DATE: 08/18/2023

JOB NO.: 12169-00

DWG. NO.:

A100

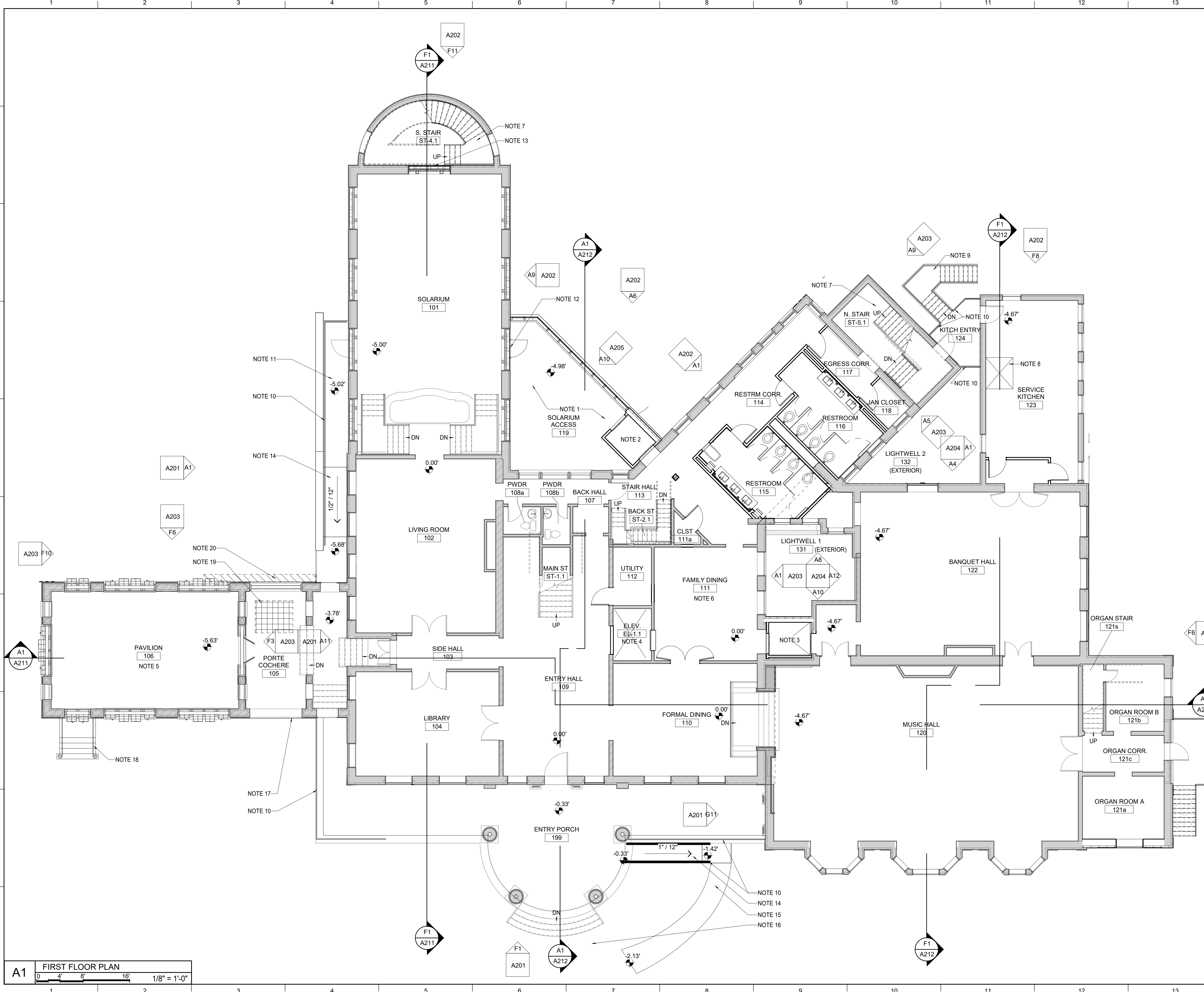
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A1 BASEMENT PLAN

0 4 8 16 1/8" = 1'-0"

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MATERIAL KEYNOTES

	EXISTING WALLS TO REMAIN
	NEW WALLS

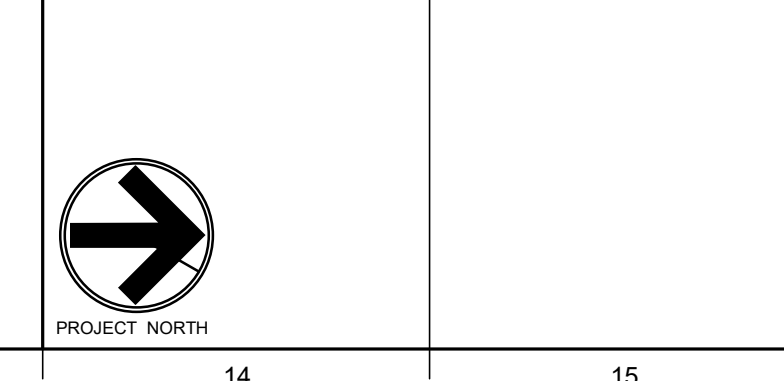
GENERAL NOTES

	EXISTING WALLS TO REMAIN
	NEW WALLS

SHEET SPECIFIC NOTES

1. NEW ADDITION.
2. NEW 3 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR.
3. NEW 2 STOP, OPPOSITE SIDE DOORS LULA ELEVATOR. NEW EXTERIOR BRICK WALL ON ONE SIDE, AND NEW STUD WALLS OVER EXISTING BRICK WALL ON THREE SIDES. NEW ROOF SYSTEM.
4. NEW 4 STOP, OPPOSITE SIDE DOORS RETROFIT ELEVATOR IN EXISTING ELEVATOR SHAFT.
5. SEE A743 FOR SCOPE OF WORK IN PAVILION.
6. SEE A742 FOR SCOPE OF WORK IN FAMILY DINING.
7. NEW STEEL STAIRS AND RAILINGS IN EXISTING STAIR SHAFT.
8. NEW 2 STOP DUMBWAITER.
9. NEW EXTERIOR STEEL STAIR.
10. NEW 42 INCH STEEL GUARDRAIL WITH HANDRAILS AT RAMP.
11. 7 INCH THICK CONCRETE TOPPING SLAB ON EXISTING WALKWAY TO MATCH SOLARIUM FLOOR LEVEL.
12. NEW DOOR IN MODIFIED EXISTING WINDOW OPENING. REMOVE RADIATOR.
13. NEW MILLWORK FEATURE TO MATCH EXISTING WINDOWS.
14. INSTALL CONCRETE RAMP.
15. WALKWAY ON BUILT UP GRADE LEADING TO STAR OF NEW RAMP.
16. ON GRADE LANDINGS AND WALKWAYS FROM PORTICO STEPS TO DRIVES NOT IN THIS SCOPE.
17. RESTORE AND REINSTALL STEEL FENESTRATION FROM SITE AT ARCHED OPENING TO MATCH OPPOSITE SIDE.
18. STRIP RESTORE, PREPARE AND REPAINT HISTORIC STEEL RAILINGS.
19. INSTALL TILE FLOORING ON SLAB WHERE ASPHALT IS REMOVED.
20. REPAIR DRIVE AND STONE WHERE SURFACE UTILITY TRENCH IS REMOVED.

KEY PLAN



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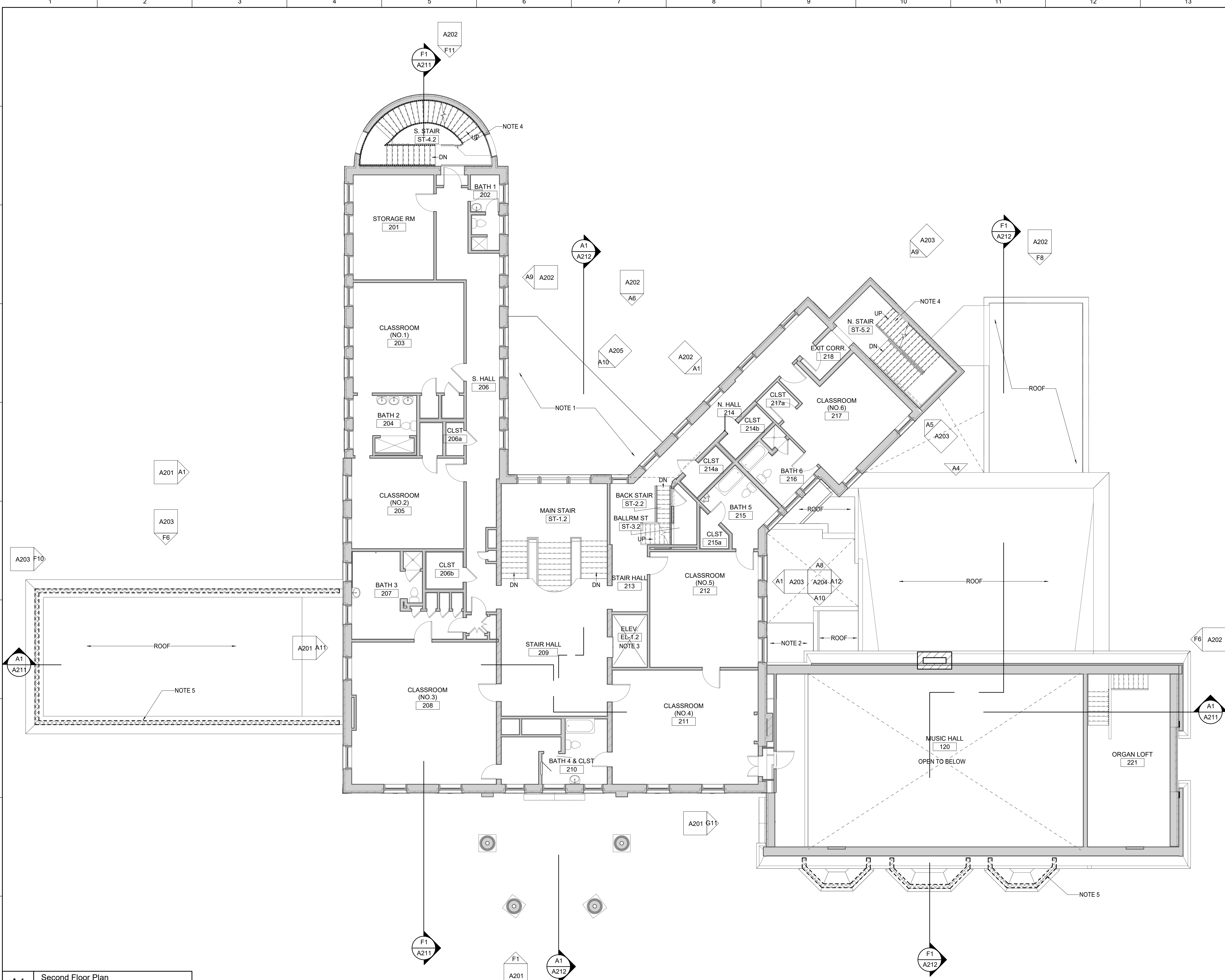
REVISION:

SHEET TITLE
FLOOR PLAN - LEVEL 01
SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.
A101

NOT FOR CONSTRUCTION



MATERIAL KEYNOTES



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REVISION:

GENERAL NOTES

- EXISTING WALLS TO REMAIN
- NEW WALLS

SHEET SPECIFIC NOTES

1. NEW STONE BALLAST ROOF.
2. NEW ROOF.
3. NEW 4 STOP, OPPOSITE SIDE DOORS RETROFIT ELEVATOR IN EXISTING ELEVATOR SHAFT.
4. NEW STEEL STAIRS AND RAILINGS IN EXISTING STAIR SHAFT.
5. FABRICATE AND INSTALL ROOFTOP BALUSTRADE.

SHEET TITLE
FLOOR PLAN - LEVEL 02

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.

A102

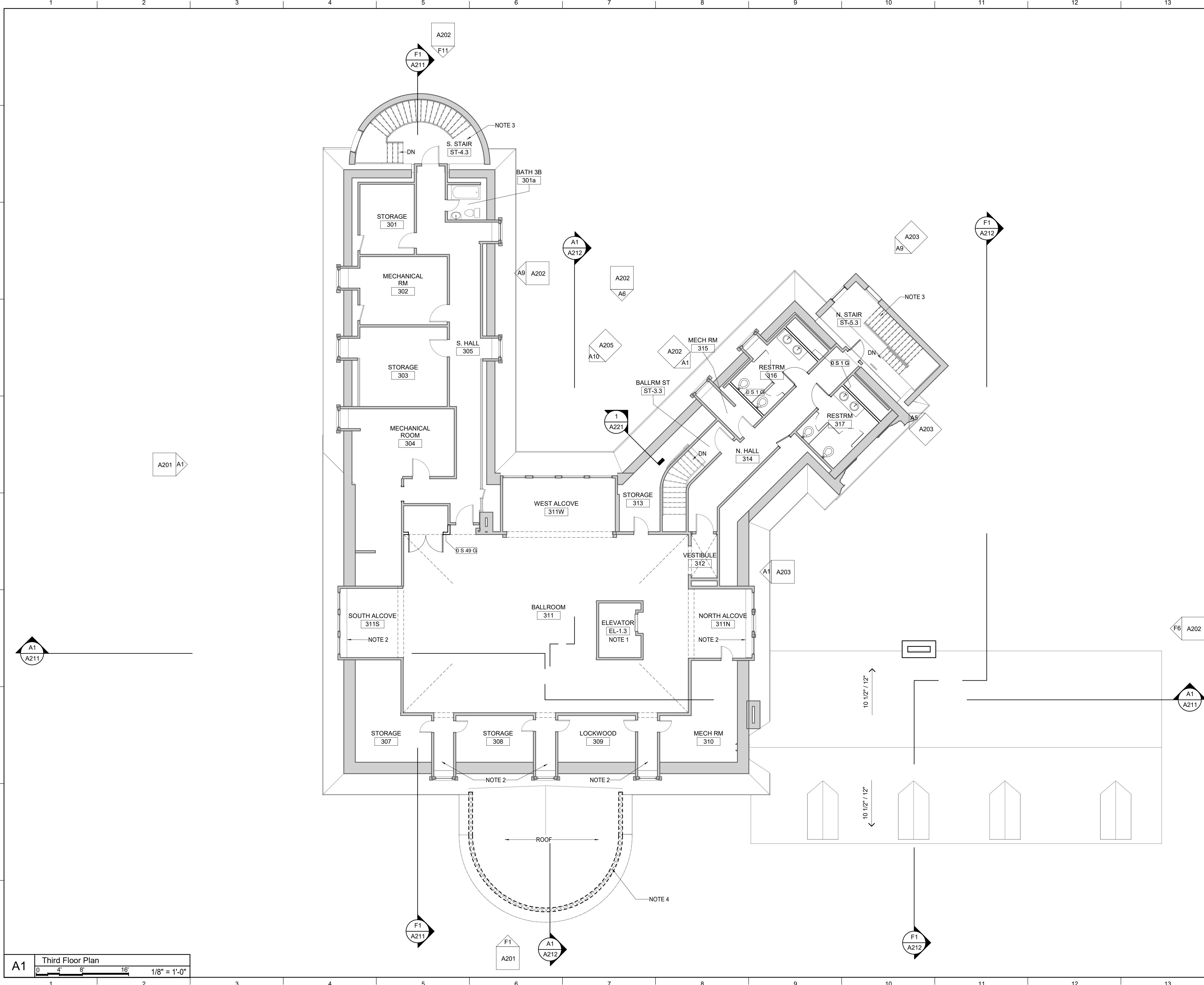
KEY PLAN SEAL



PROJECT NORTH

A1 Second Floor Plan
0 4 8 16 1/8" = 1'-0"

NOT FOR CONSTRUCTION



A1 Third Floor Plan
 0 4 8 16 1/8" = 1'-0"

MATERIAL KEYNOTES

GENERAL NOTES

- EXISTING WALLS TO REMAIN
- NEW WALLS

SHEET SPECIFIC NOTES

1. INSTALL 4 STOP, OPPOSITE SIDE DOORS RETROFIT ELEVATOR IN EXISTING ELEVATOR SHAFT.
2. CONSTRUCT LOW BENCHES BELOW WINDOWS OVER NEW DUCTWORK.
3. INSTALL STEEL STAIRS AND RAILINGS IN EXISTING STAIR SHAFT.
4. FABRICATE AND INSTALL ROOFTOP BALUSTRADE

	KEY PLAN	SEAL
	ISSUE DATE 08/18/2023	
	JOB NO. 12169-00	
DWG. NO. A103		

LORD AECK SARGENT

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REVISION:

SHEET TITLE
FLOOR PLAN - LEVEL 03

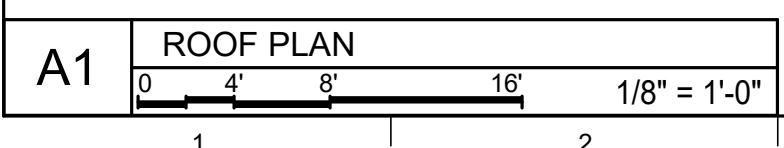
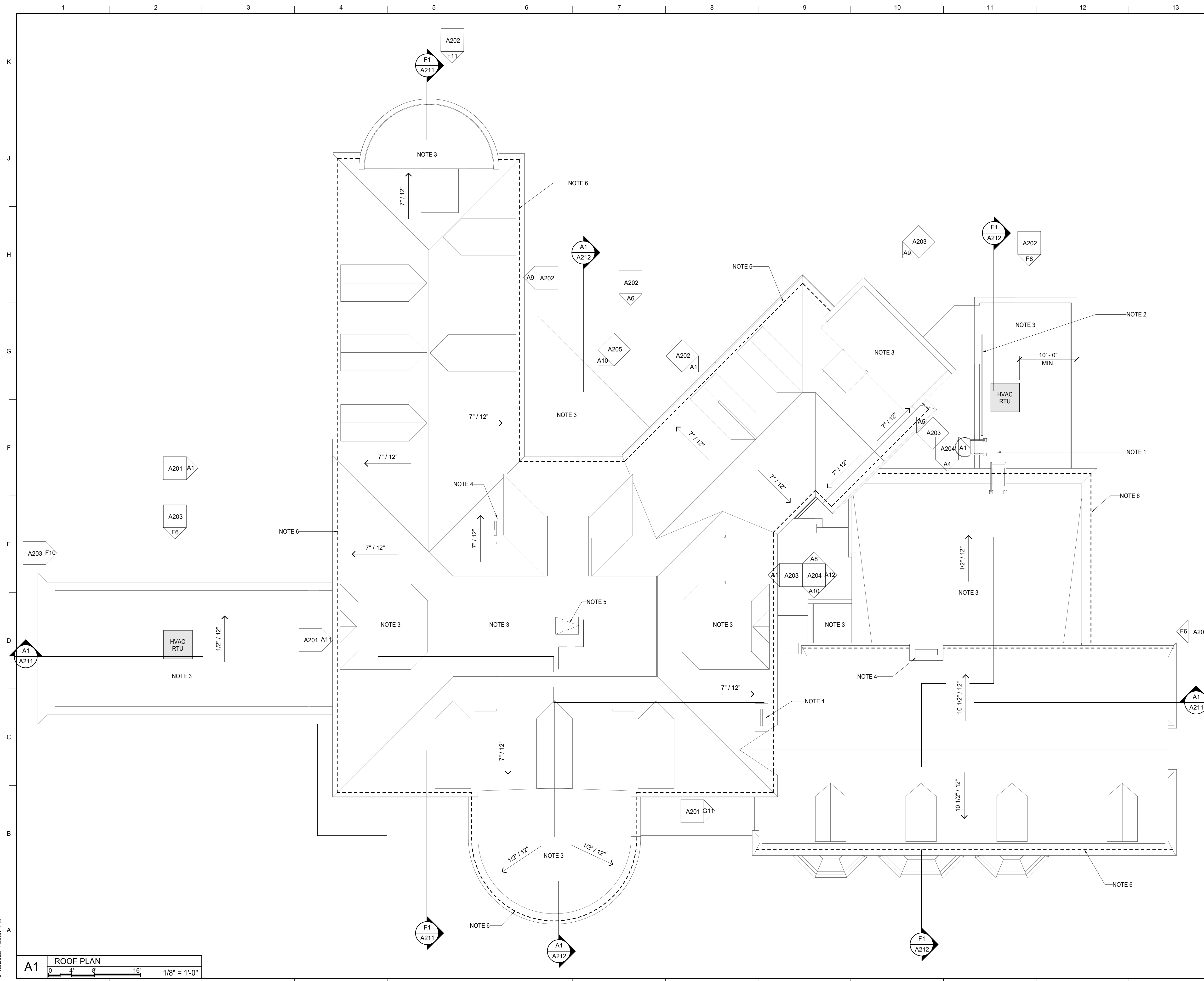
SCALE (UNO.)

JOB NAME
Galerie Living

LOCATION
CANDLER MANSION REHABILITATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

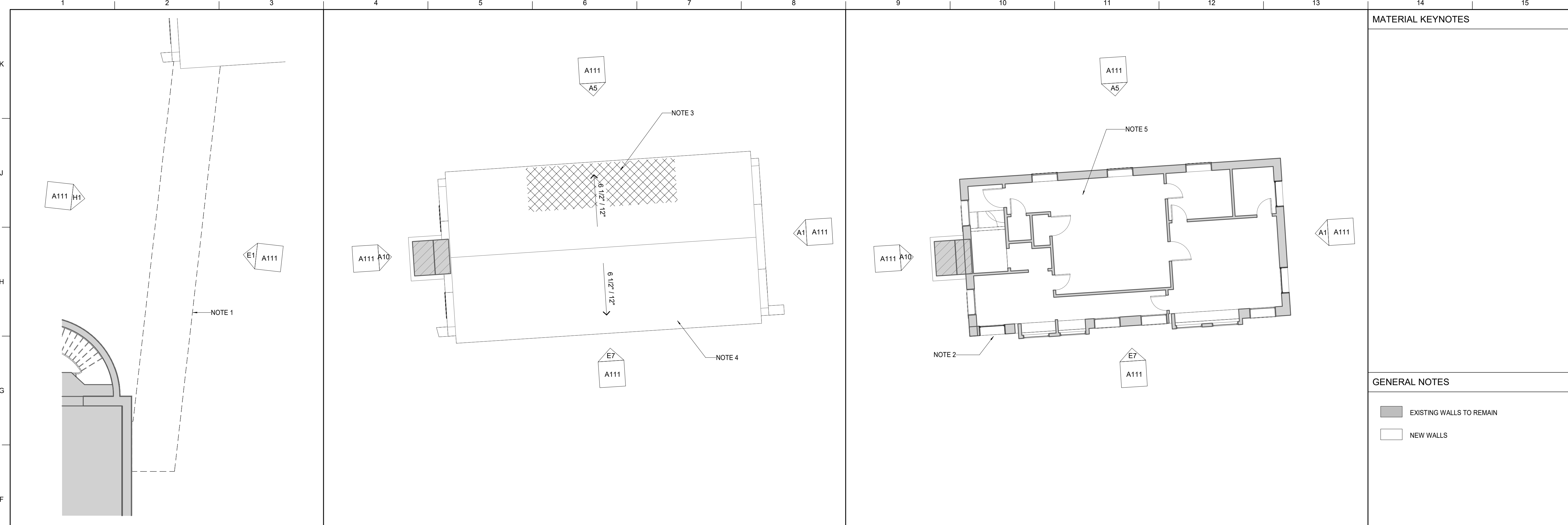
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Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
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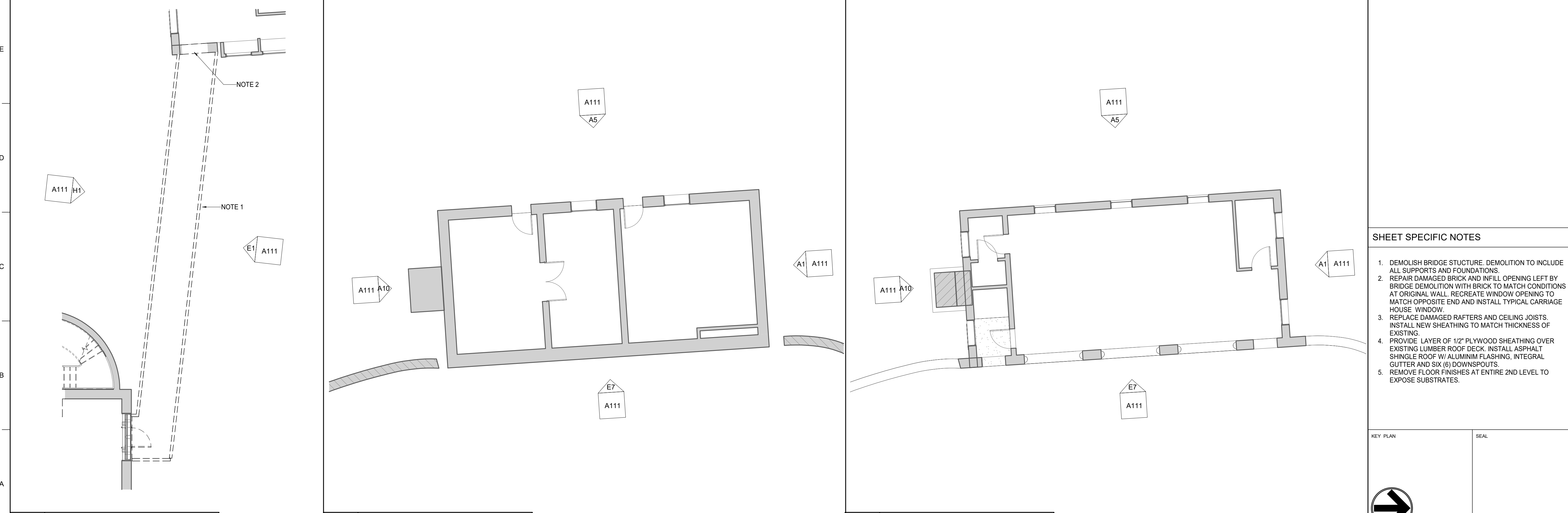


MATERIAL KEYNOTES		 © 2023 Lord Aeck Sargent Planning & Design, Inc. LordAeckSargent.com REVISION:
GENERAL NOTES		
SHEET SPECIFIC NOTES		
KEY PLAN		
SEAL		SHEET TITLE ROOF PLAN SCALE (UNO.)
JOB NAME Gallerie Living		
PROJECT NORTH		
ISSUE DATE 08/18/2023		
JOB NO. 12169-00		PROJECT NAME CANDLER MANSION REHABILITATION LOCATION 1256 Briarcliff Road NE Atlanta, GA 30306
DWG. NO. A104		
NOT FOR CONSTRUCTION		

Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
8/18/2023 4:00:09 PM



F1 BRIDGE ROOF PLAN	F4 CARRIAGE HOUSE ROOF PLAN	F9 CARRIAGE HOUSE LVL2 PLAN
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A1 BRIDGE PLAN	A4 CARRIAGE HOUSE BSMNT PLAN	A9 CARRIAGE HOUSE LVL 1 PLAN
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MATERIAL KEYNOTES	

GENERAL NOTES	
<div style="display: flex; justify-content: space-between;"> <div style="width: 15px; height: 10px; background-color: #cccccc; border: 1px solid black;"></div> EXISTING WALLS TO REMAIN </div>	
<div style="display: flex; justify-content: space-between;"> <div style="width: 15px; height: 10px; border: 1px solid black;"></div> NEW WALLS </div>	

- | SHEET SPECIFIC NOTES | |
|--|--|
| <ol style="list-style-type: none"> 1. DEMOLISH BRIDGE STRUCTURE. DEMOLITION TO INCLUDE ALL SUPPORTS AND FOUNDATIONS. 2. REPAIR DAMAGED BRICK AND INFILL OPENING LEFT BY BRIDGE DEMOLITION WITH BRICK TO MATCH CONDITIONS AT ORIGINAL WALL. RECREATE WINDOW OPENING TO MATCH OPPOSITE END AND INSTALL TYPICAL CARRIAGE HOUSE WINDOW. 3. REPLACE DAMAGED RAFTERS AND CEILING JOISTS. INSTALL NEW SHEATHING TO MATCH THICKNESS OF EXISTING. 4. PROVIDE LAYER OF 1/2" PLYWOOD SHEATHING OVER EXISTING LUMBER ROOF DECK. INSTALL ASPHALT SHINGLE ROOF W/ ALUMINUM FLASHING, INTEGRAL GUTTER AND SIX (6) DOWNSPOUTS. 5. REMOVE FLOOR FINISHES AT ENTIRE 2ND LEVEL TO EXPOSE SUBSTRATES. | |

KEY PLAN	SEAL
PROJECT NORTH	

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REVISION

SHEET TITLE
CARRIAGE HOUSE PLANS & ROOF PLAN
SCALE (1/8"=1'-0")

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION

LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

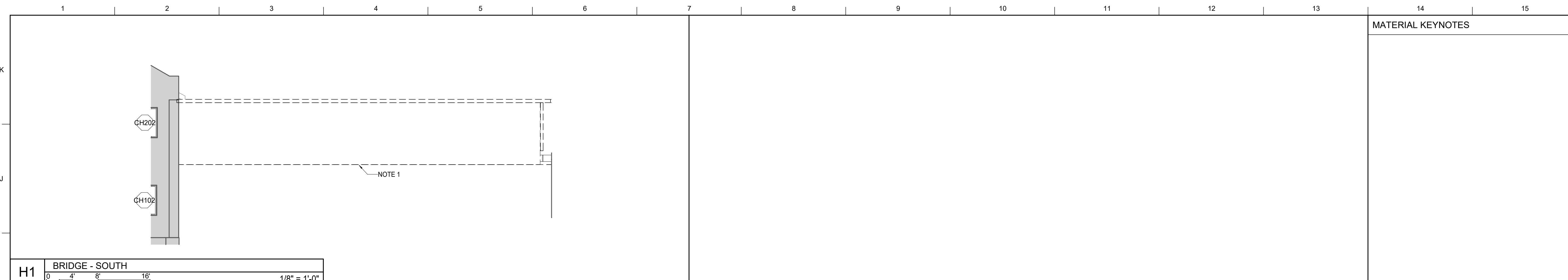
ISSUE DATE
08/18/2023

JOB NO.
12169-00

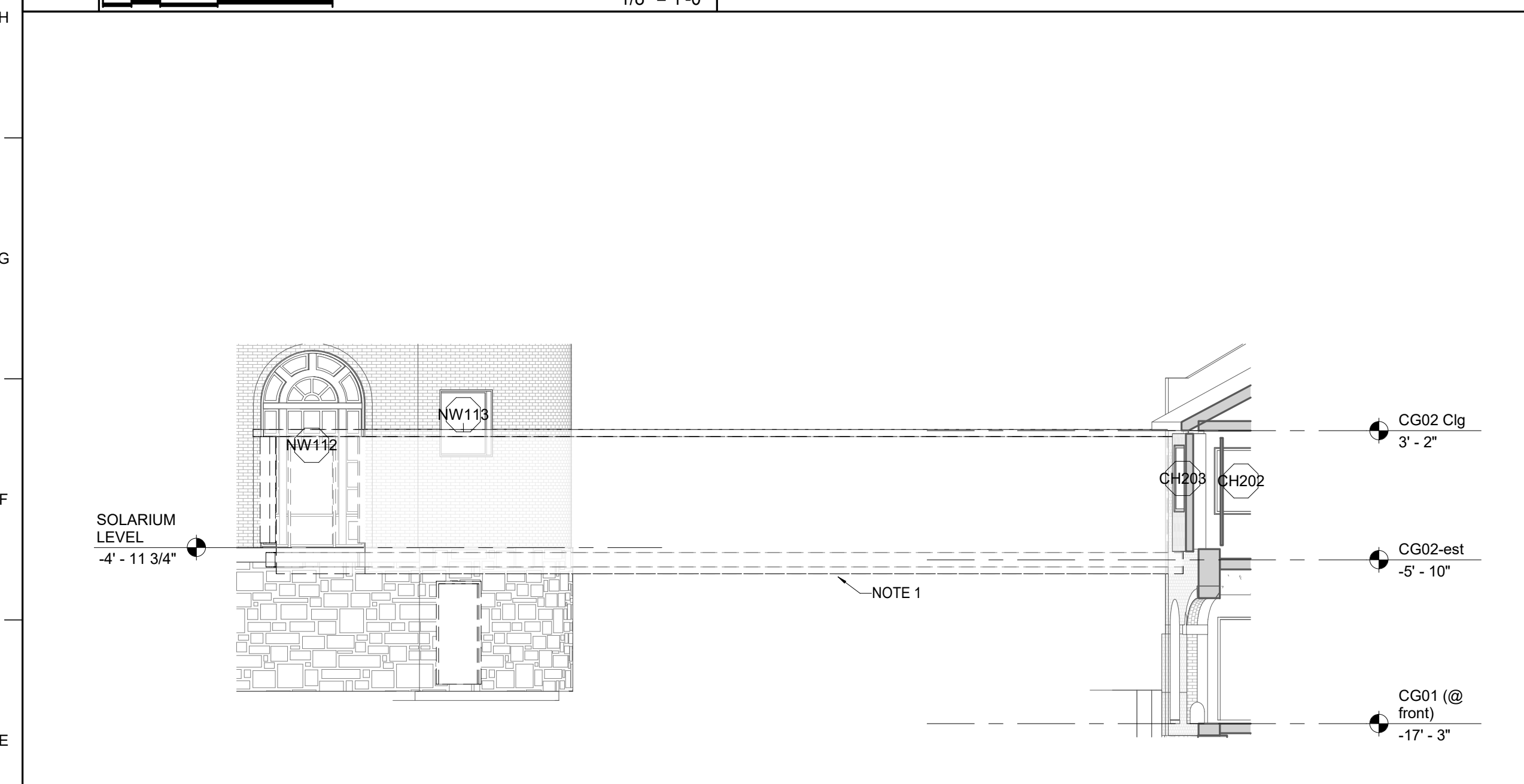
DWG. NO.

A110

NOT FOR CONSTRUCTION



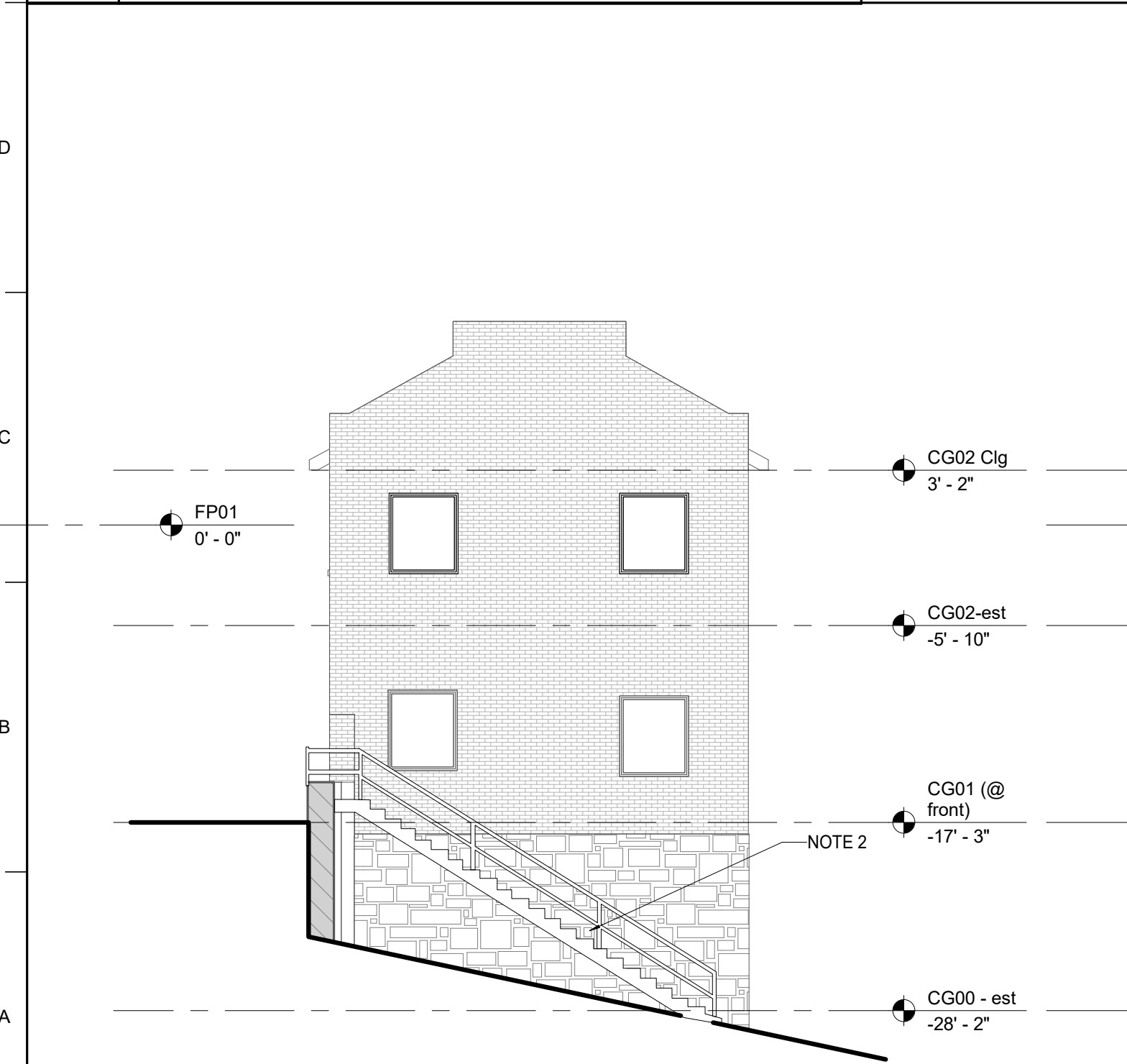
H1 BRIDGE - SOUTH
 0 4' 8' 16' 1/8" = 1'-0"



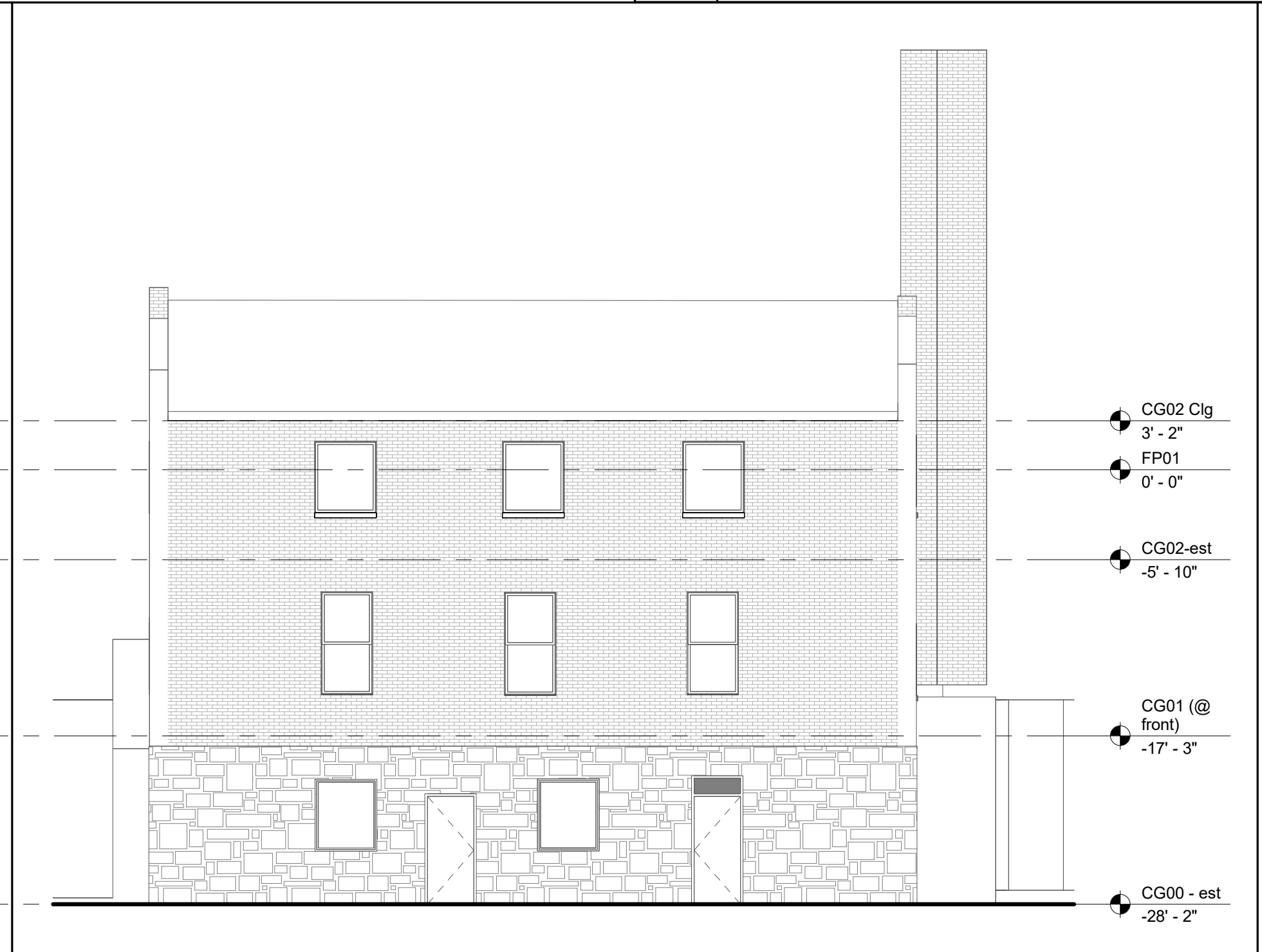
E1 BRIDGE - NORTH
 0 4' 8' 16' 1/8" = 1'-0"



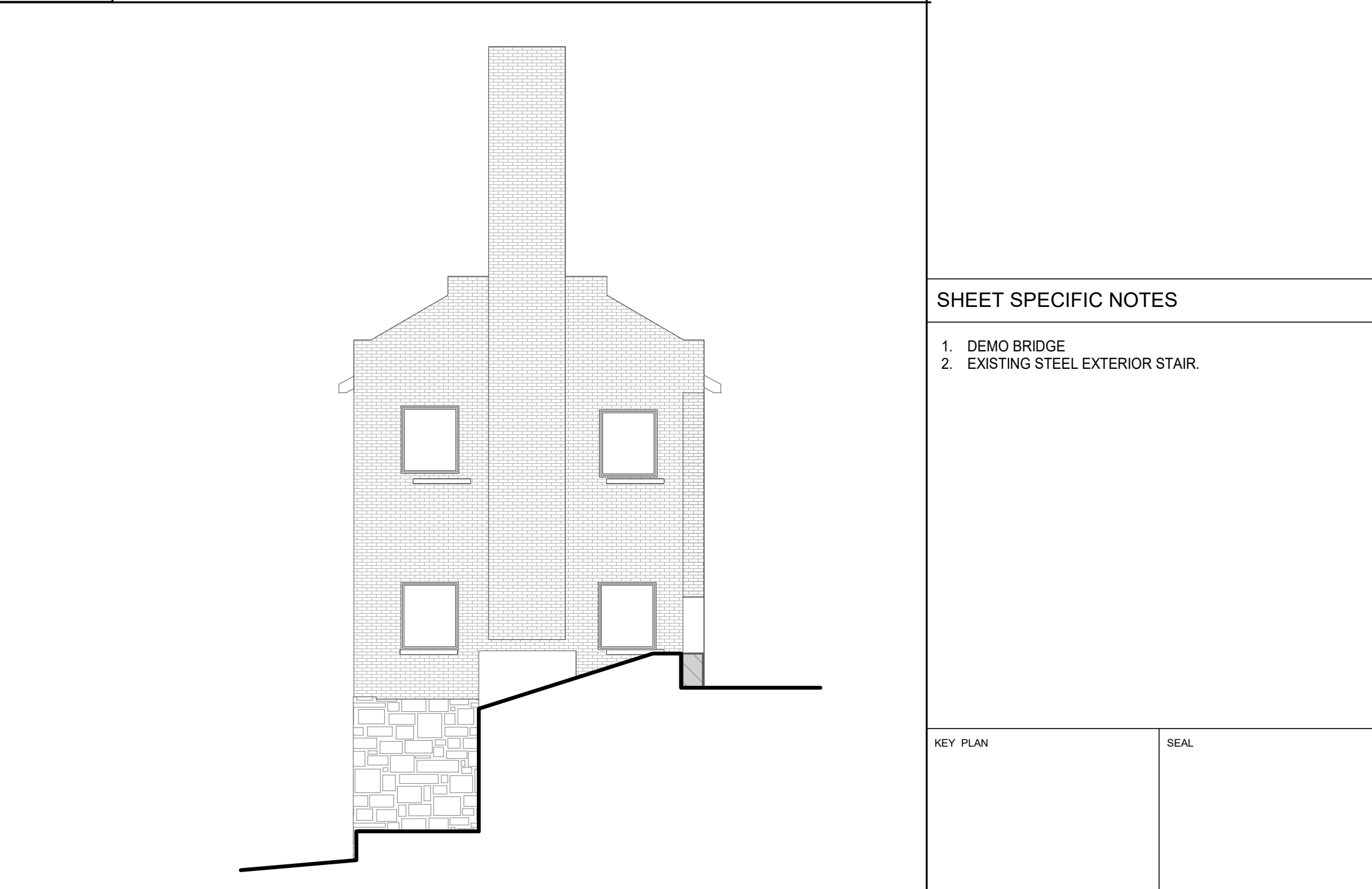
E7 CARRIAGE HOUSE EAST ELEVATION
 0 4' 8' 16' 1/8" = 1'-0"



A1 CARRIAGE HOUSE NORTH ELEVATION
 0 4' 8' 16' 1/8" = 1'-0"



A5 CARRIAGE HOUSE WEST ELEVATION
 0 4' 8' 16' 1/8" = 1'-0"



A10 CARRIAGE HOUSE SOUTH ELEVATION
 0 4' 8' 16' 1/8" = 1'-0"

MATERIAL KEYNOTES

GENERAL NOTES

- SHEET SPECIFIC NOTES**
- 1. DEMO BRIDGE
 - 2. EXISTING STEEL EXTERIOR STAIR.

KEY PLAN SEAL

PROJECT NORTH

**LORD
AECK
SARGENT**

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REVISION:

SHEET TITLE
CARRIAGE HOUSE ELEVATIONS
 SCALE (1/8")

JOB NAME
Galerie Living

ISSUE DATE
08/18/2023

CANDLER MANSION REHABILITATION
 LOCATION
 1256 Briarcliff Road NE
 Atlanta, GA 30306

JOB NO.
12169-00

DWG. NO.
A111

NOT FOR CONSTRUCTION

REVISION:

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE (I.N.O.)

JOB NAME
Galene Living
CANDLER MANSION REHABILITATION

LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

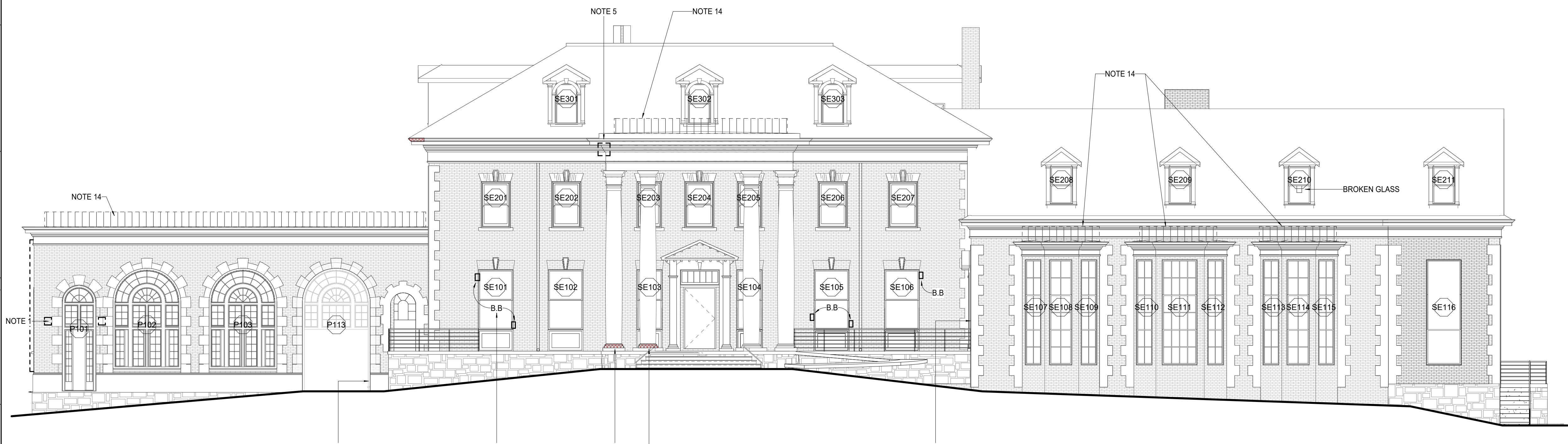
ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.

A201

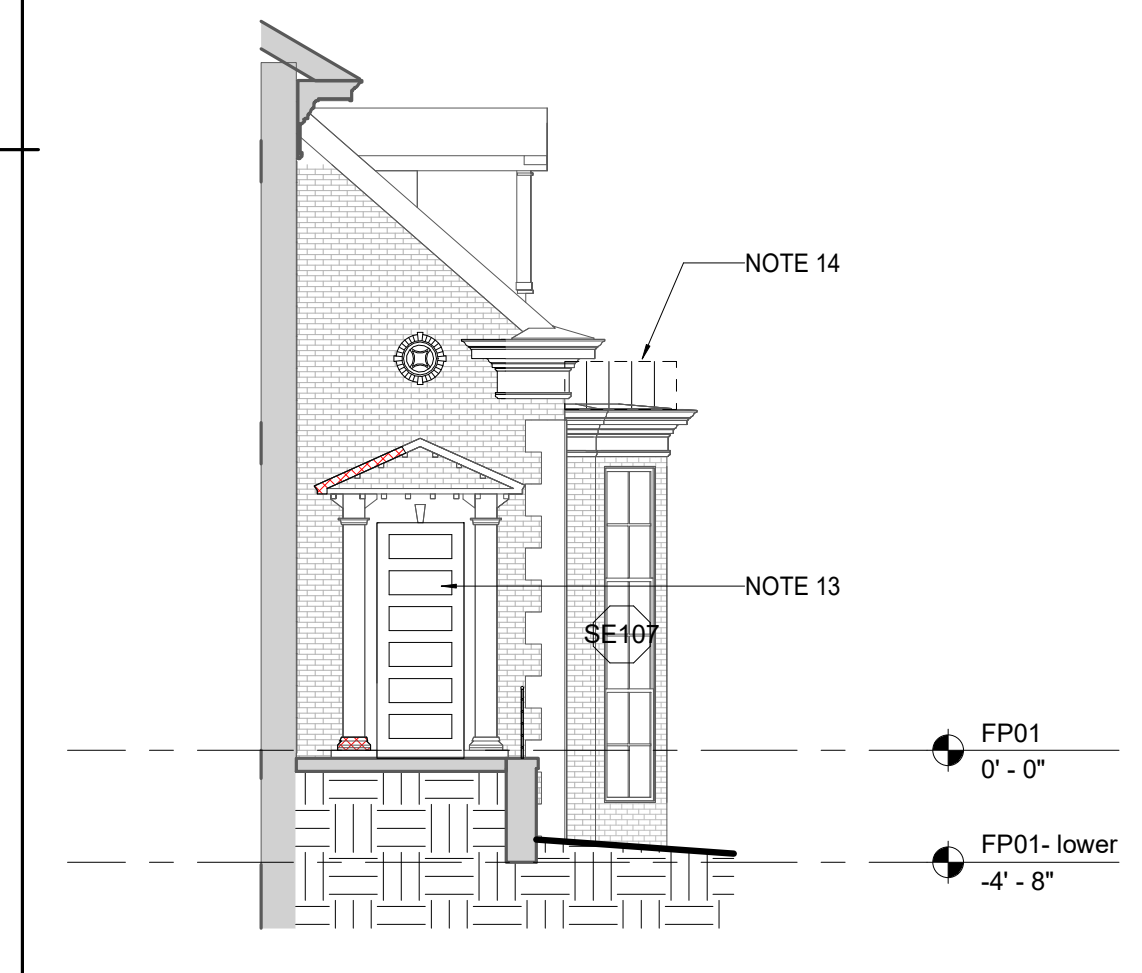
NOT FOR CONSTRUCTION



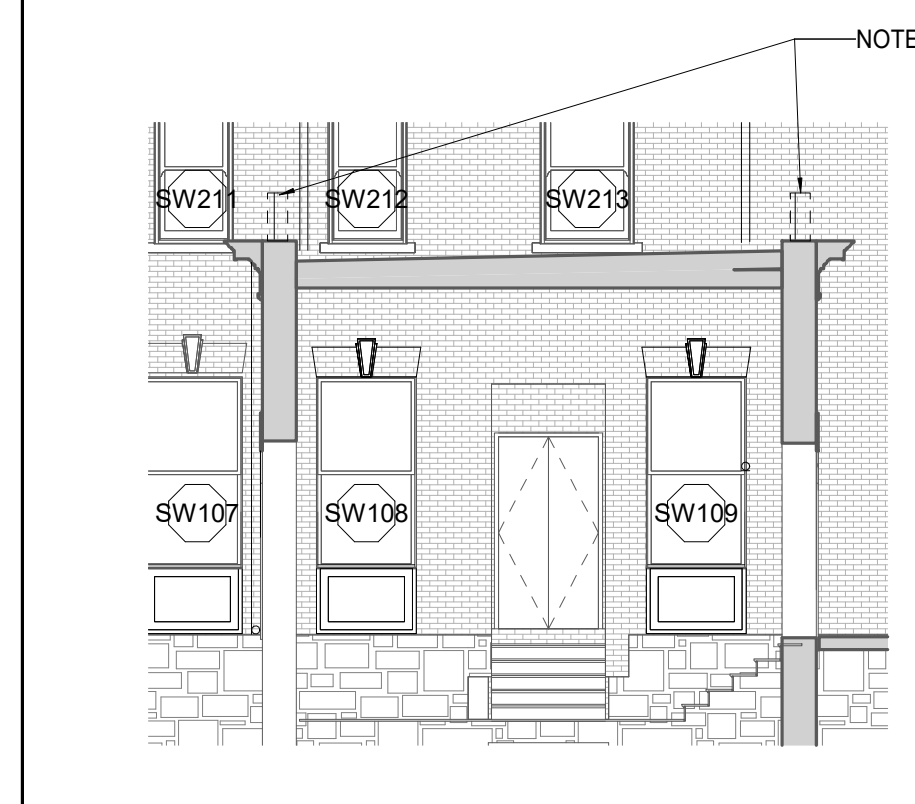
F1 EAST ELEVATION
0 1/8" = 1'-0"



A1 SOUTH HOUSE ELEVATION
0 1/8" = 1'-0"



G11 SOUTH ELEVATION MUSIC HALL



A11 WALKWAY @ PORTE COCHERE

MATERIAL KEYNOTES

GENERAL NOTES

AREA OF REPLACEMENT

SHEET SPECIFIC NOTES

1. RENOVATE AND SALVAGE LIGHT FIXTURE HARDWARE; INSTALL COVER PLATES AT THESE LOCATIONS.
2. CLEAN AND REPAIR STONE WHERE STEEL ENCLOSURE PREVIOUSLY EXISTED IN OPENING.
3. B.B. = BROKEN BRICK
4. NEW BASE AT PLASTER FAB. TO MATCH ORIGINAL.
5. REPLACE 12 DETERIORATED CORBELS.
6. NOT USED.
7. REMOVE MORTAR AND SEAL 1/4\"/>

KEY PLAN

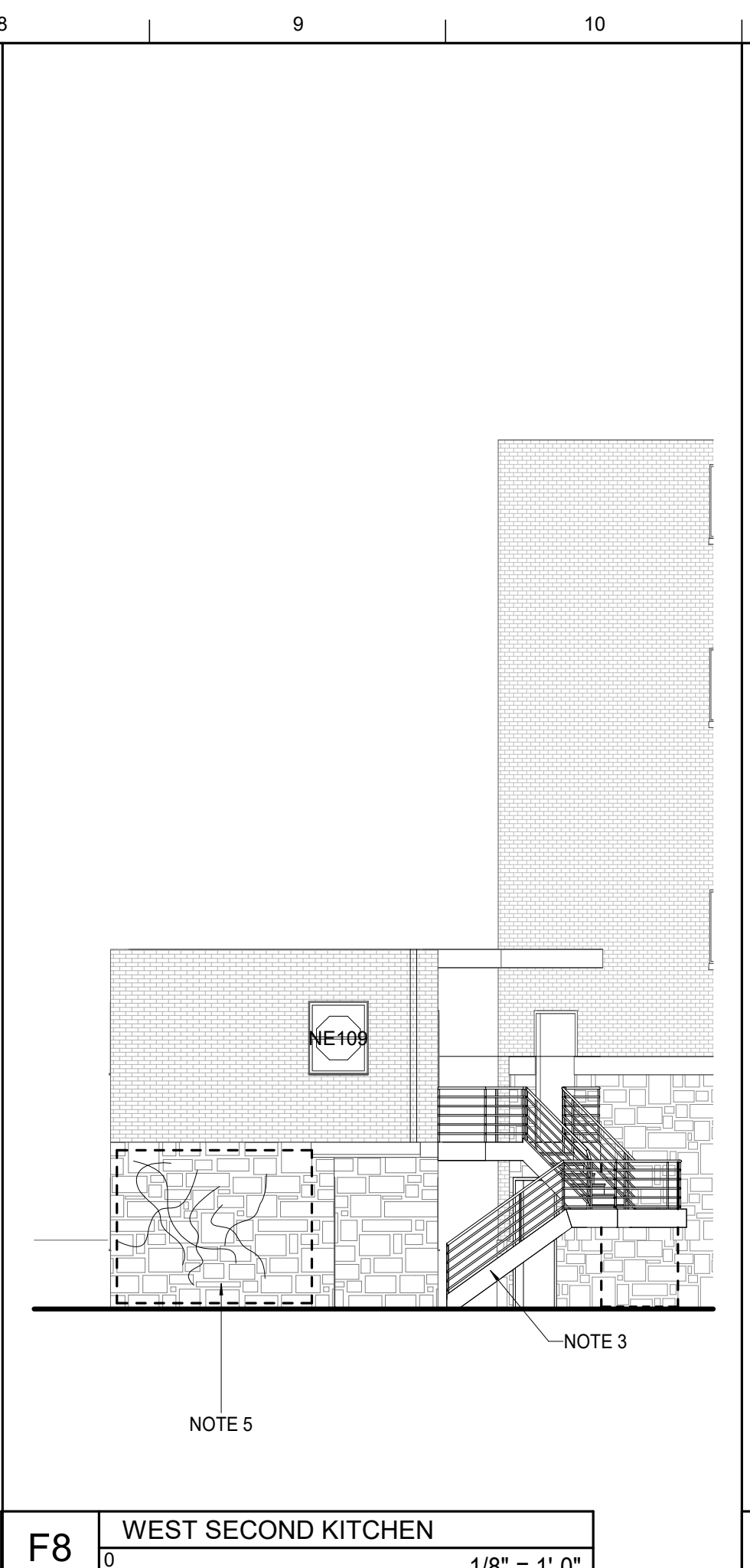
SEAL

PROJECT NORTH

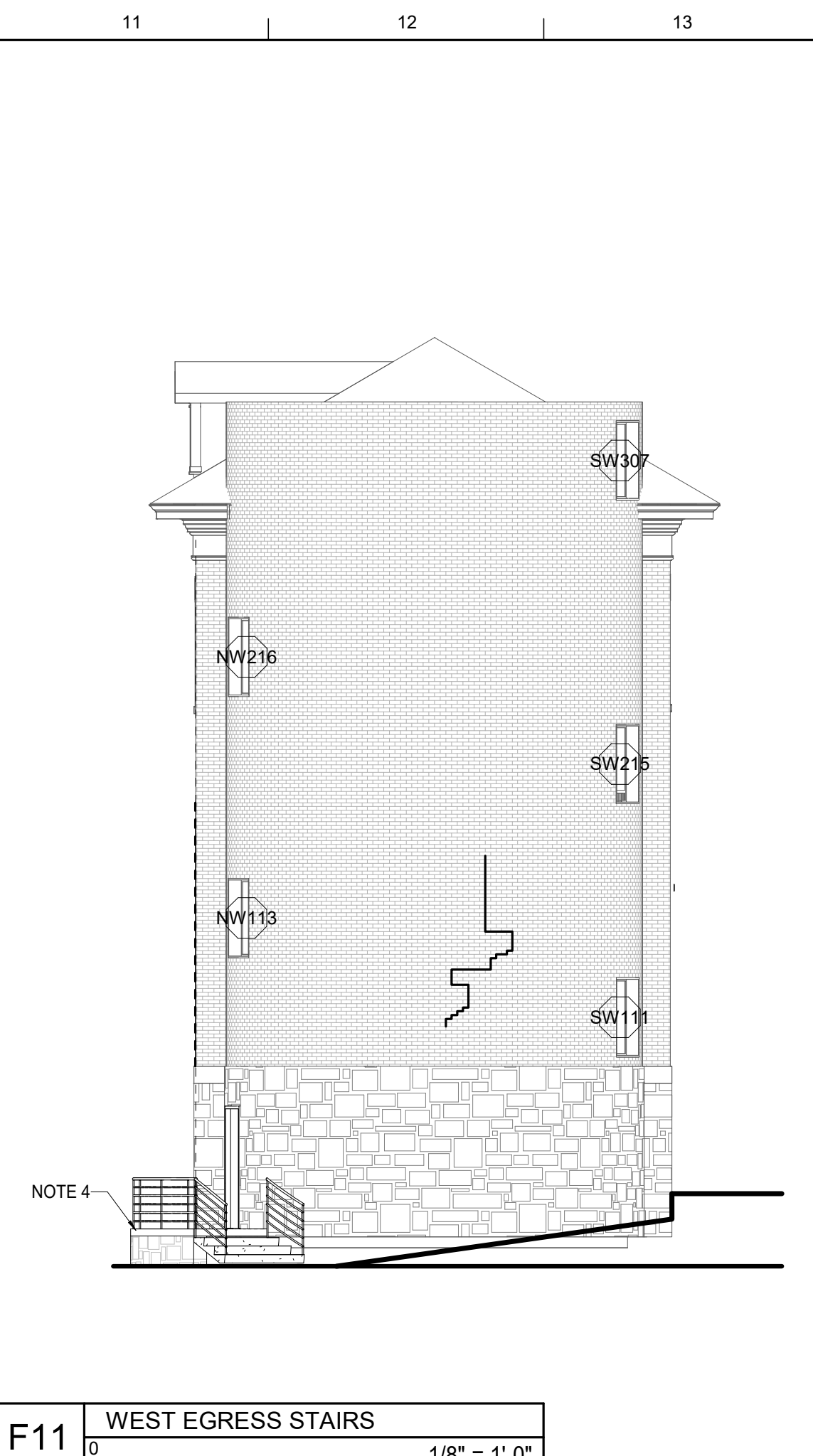
Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
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F6 NORTH ELEVATION
0 1/8" = 1'-0"



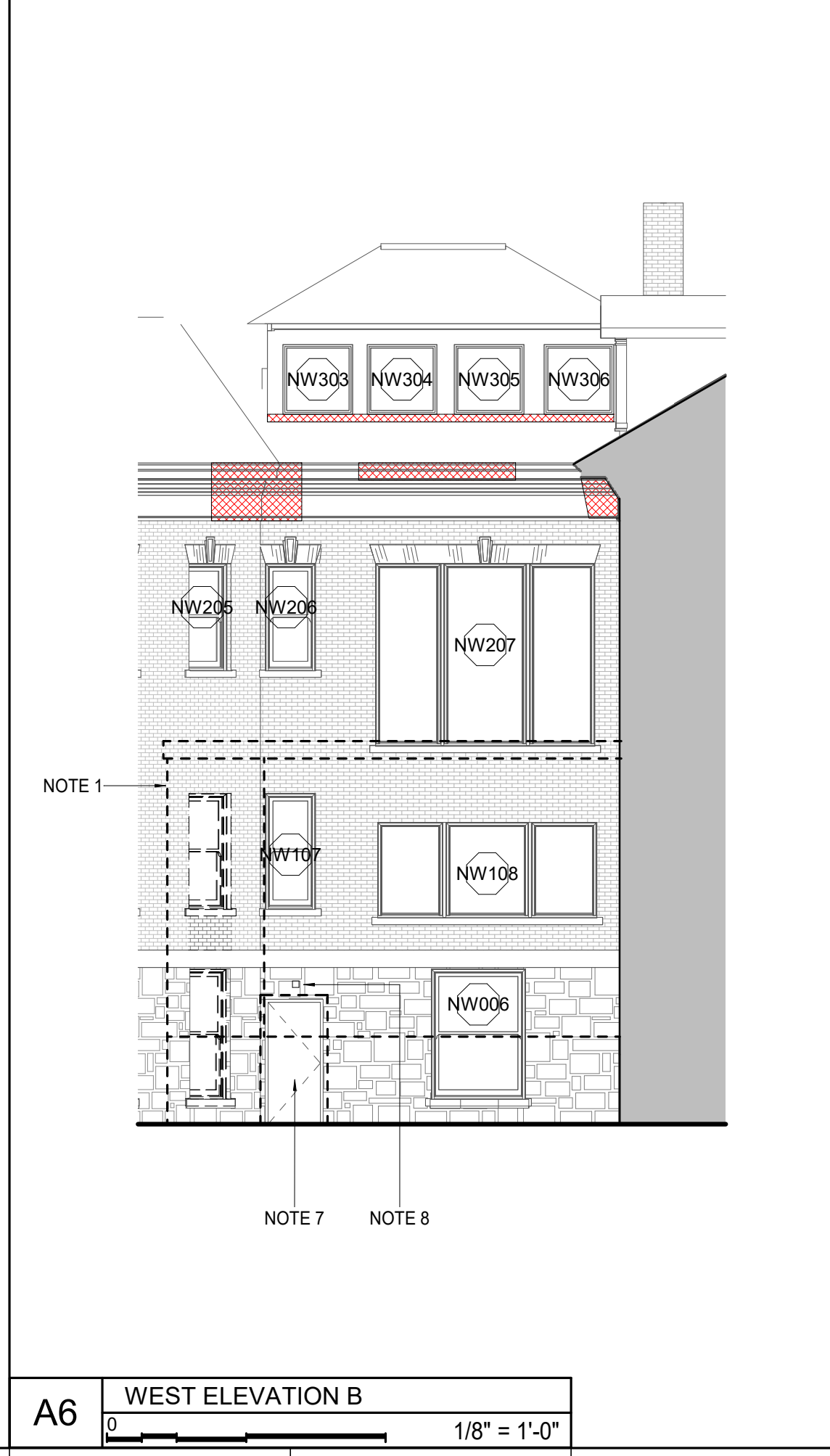
F8 WEST SECOND KITCHEN
0 1/8" = 1'-0"



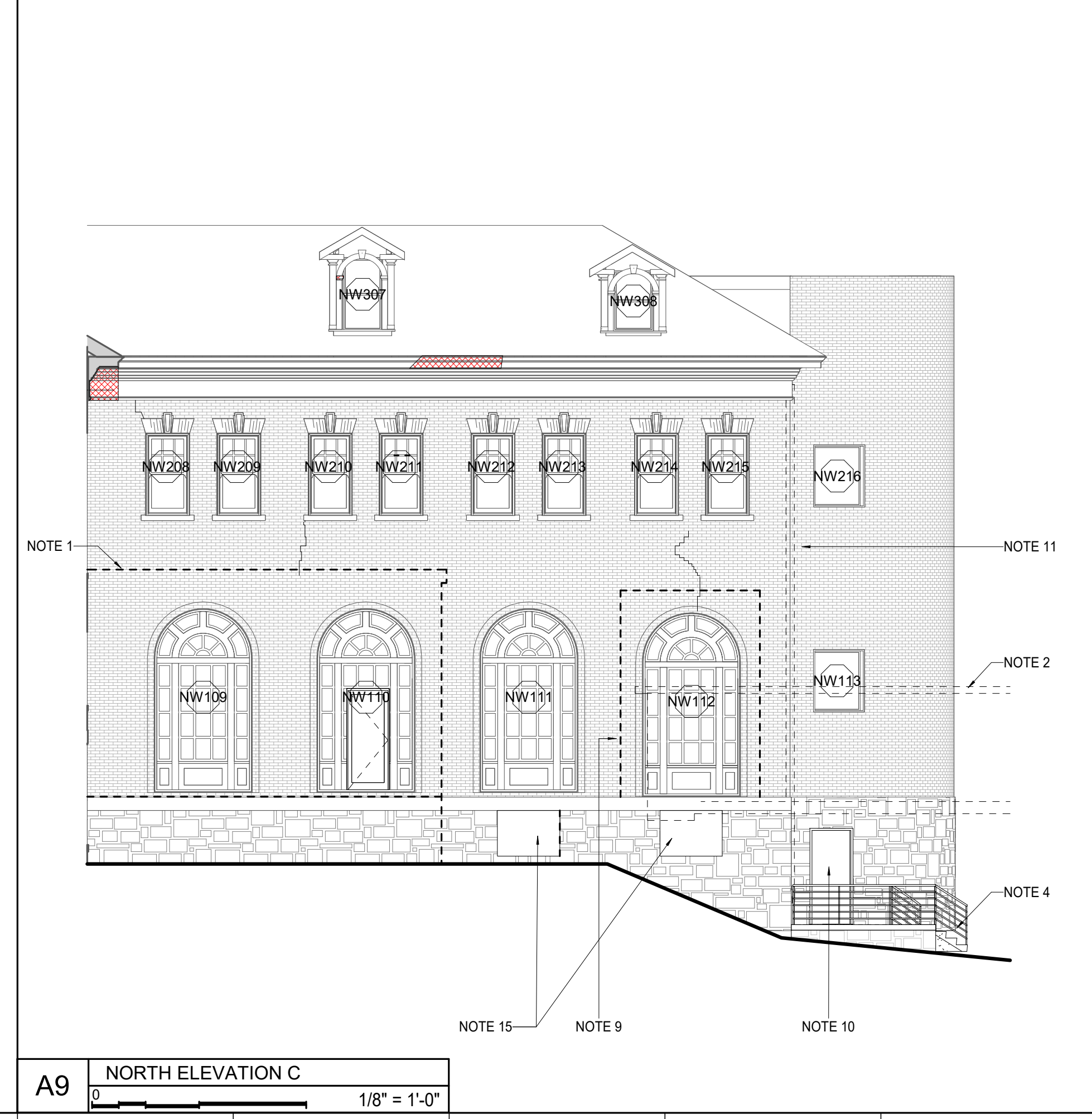
F11 WEST EGRESS STAIRS
0 1/8" = 1'-0"



A1 SOUTHWEST ELEVATION A
0 1/8" = 1'-0"



A6 WEST ELEVATION B
0 1/8" = 1'-0"



A9 NORTH ELEVATION C
0 1/8" = 1'-0"

MATERIAL KEYNOTES


GENERAL NOTES

AREA OF REPLACEMENT

SHEET SPECIFIC NOTES

1. LOCATION OF NEW ADDITION. SEE ELEVATION A10/A205.
2. DEMO EXISTING BRIDGE. BRIDGE HIDDEN FOR CLARITY.
3. NEW EXTERIOR STEEL STAIR.
4. NEW EXTERIOR STAIR. CONCRETE SLAB ON GRADE WITH GRANITE WALL.
5. RANDOM RUBBLE FOUNDATION.
6. REPOINT (MINOR).
7. REWORK REVIT OPENING TO ALLOW FOR INFILL AFTER DEMOLITION.
8. ORIGINAL SURFACE MOUNTED ELECTRICAL BOX.
9. REPAIR BRICK WHERE BRIDGE WAS REMOVED.
10. DEMO DOOR, FRAME, SILL, AND REPLACE.
11. REMOVE MORTAR AND SEALED; INSTALL NEW SEALED (BOTH SIDES WHERE STAIR MEETS BUILDING).
12. LOCATIONS OF POSSIBLE ROOF TOP BALUSTRADE RECONSTRUCTION.
13. INSTALL NEW CODE COMPLIANT GUARDRAIL AND HANDRAILS ON EXISTING LANDING AND STEPS.
14. RESTORE METAL PANELS BELOW WINDOWS.
15. INFILL EXISTING OPENING WITH SOLID WOOD PANEL.

KEY PLAN	SEAL
PROJECT NORTH	



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REVISION

SHEET TITLE
EXTERIOR ELEVATIONS
SCALE (1/8" = 1'-0")

JOB NAME
Gallerie Living

LOCATION
CANDLER MANSION REHABILITATION
1256 Briarcliff Road NE
Atlanta, GA 30306

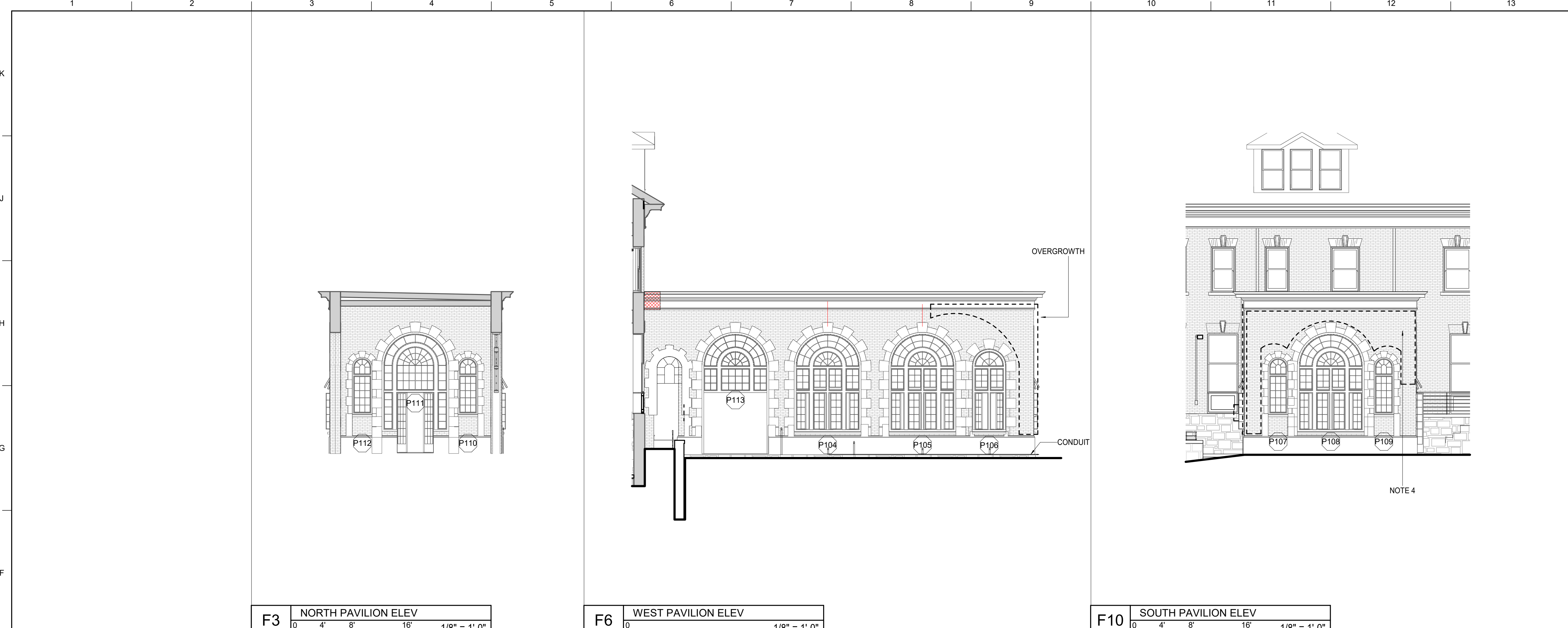
ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
A202

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8/18/2023 4:00:57 PM



F3 NORTH PAVILION ELEV
0 4' 8' 16' 1/8" = 1'-0"

F6 WEST PAVILION ELEV
0 4' 8' 16' 1/8" = 1'-0"

F10 SOUTH PAVILION ELEV
0 4' 8' 16' 1/8" = 1'-0"



A1 NORTH CENTER HOUSE COURTYARD
0 4' 8' 16' 1/8" = 1'-0"

A5 SOUTHWEST ELEV NORTH WING
0 4' 8' 16' 1/8" = 1'-0"

A9 SOUTHWEST ELEV NORTH WING EGRESS STAIRS
0 4' 8' 16' 1/8" = 1'-0"

MATERIAL KEYNOTES	

GENERAL NOTES	

- SHEET SPECIFIC NOTES**
1. LOCATION OF NEW ADDITION FOR LULA ELEVATOR.
 2. NEW EXTERIOR STEEL STAIR.
 3. NEW EXTERIOR STAIR. CONCRETE SLAB ON GRADE WITH GRANITE WALL.
 4. CONDITION UNKNOWN UNDER OVERGROWTH.
 5. STUCCO OR CONCRETE.

KEY PLAN	SEAL
PROJECT NORTH	

LORD AECK SARGENT

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REVISION:

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE (UNO.)

JOB NAME
Galerie Living

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.

A203

LOCATION
1256 Briarcliff Road NE
Atlanta, GA 30306

CANDLER MANSION REHABILITATION

NOT FOR CONSTRUCTION

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MATERIAL KEYNOTES	
GENERAL NOTES	
KEY PLAN	SEAL

LORD AECK SARGENT

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REVISION:

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE (U.N.O.)

JOB NAME
Galerie Living

LOCATION
1256 Briarcliff Road NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

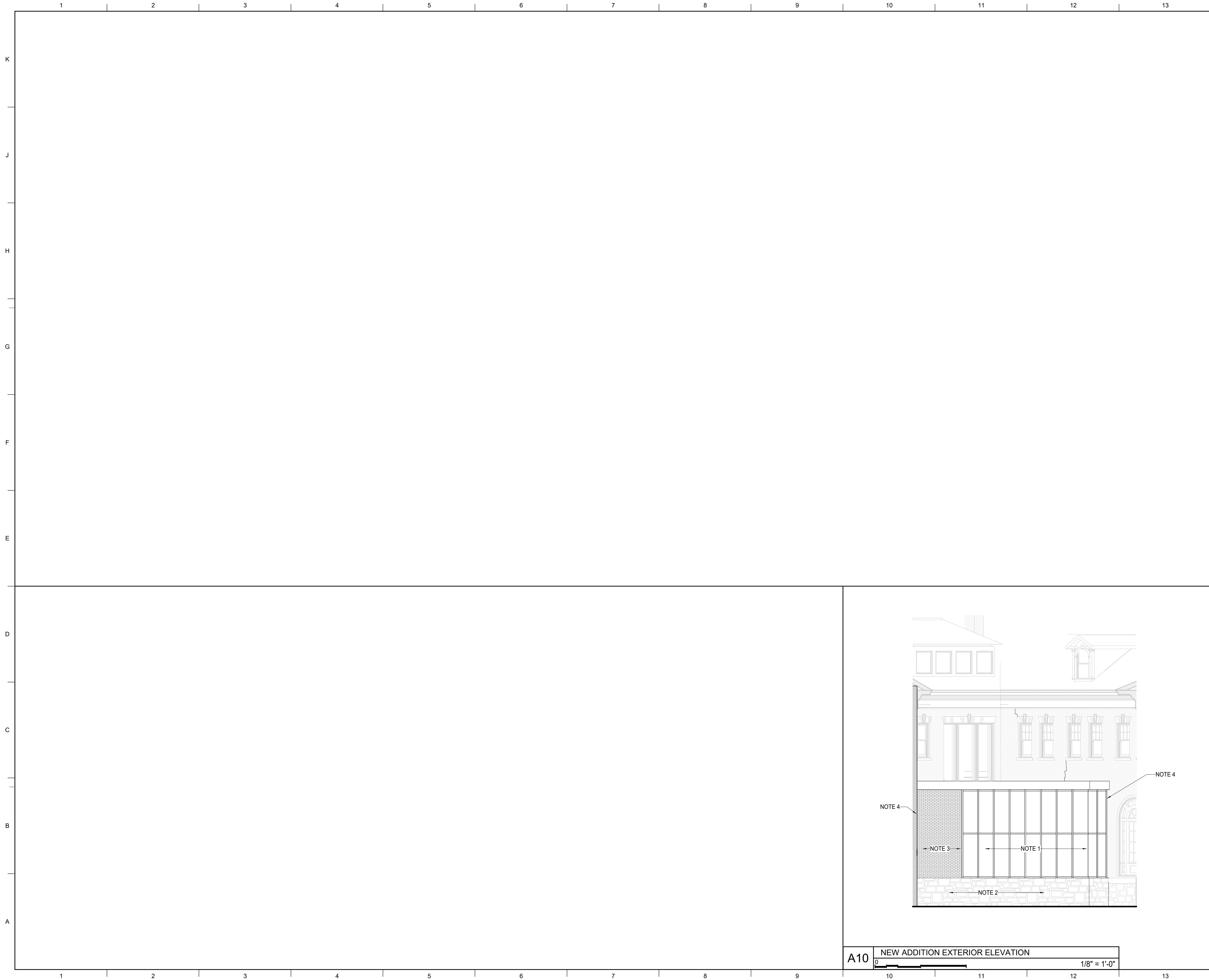
JOB NO.
12169-00

DWG. NO.

A204

PROJECT NORTH

NOT FOR CONSTRUCTION




A10 NEW ADDITION EXTERIOR ELEVATION
0 11 12 13
1/8" = 1'-0"

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES
<ul style="list-style-type: none"> 1. CURTAINWALL. 2. STONE ON METAL STUD WALL. 3. BRICK ON METAL STUD WALL. 4. EXPANSION JOINT BETWEEN NEW ADDITION AND EXISTING BUILDING.

KEY PLAN	SEAL

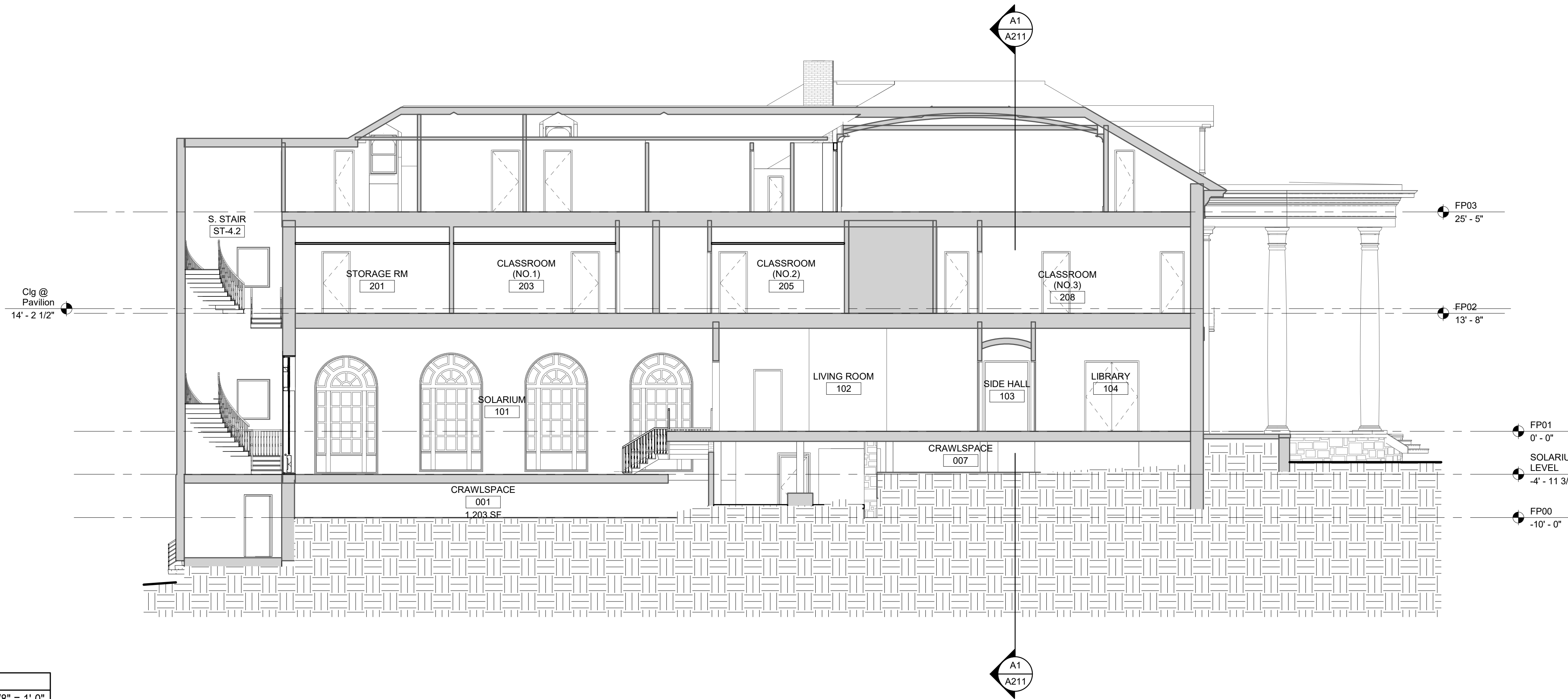


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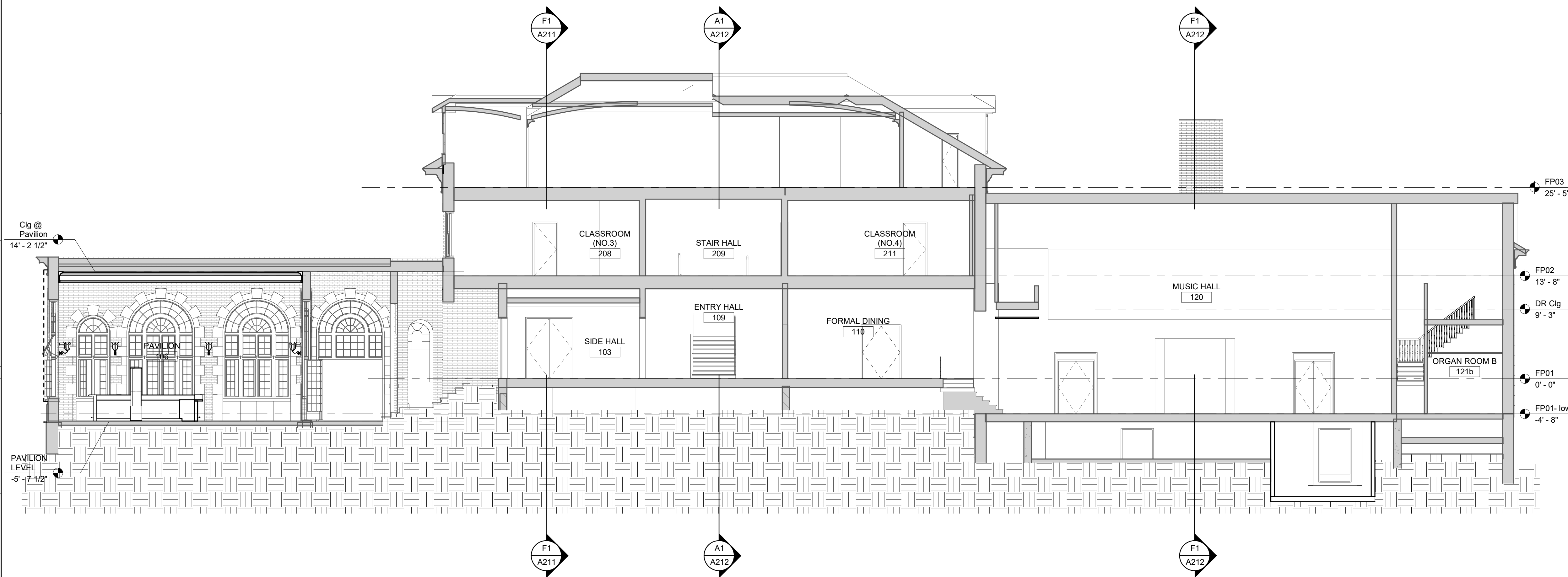
REVISION:

SHEET TITLE	ADDITION EXTERIOR ELEVATIONS
SCALE (UNITS)	
JOB NAME	Gallerie Living
ISSUE DATE	08/18/2023
JOB NO.	12169-00
DWG. NO.	A205
LOCATION	CANDLER MANSION REHABILITATION 1256 Briarcliff Road NE Atlanta, GA 30306

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F1 SOUTH WING SECTION
 0 4' 8' 16' 1/8" = 1'-0"



A1 SECTION - NORTH/SOUTH
 0 4' 8' 16' 1/8" = 1'-0"

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

LORD AECK SARGENT

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REVISION:

SHEET TITLE: BUILDING SECTIONS

SCALE (UNO.):

JOB NAME: Galerie Living

LOCATION: 1256 Briarcliff Road, NE Atlanta, GA 30306

PROJECT: CANDLER MANSION REHABILITATION

ISSUE DATE: 08/18/2023

JOB NO.: 12169-00

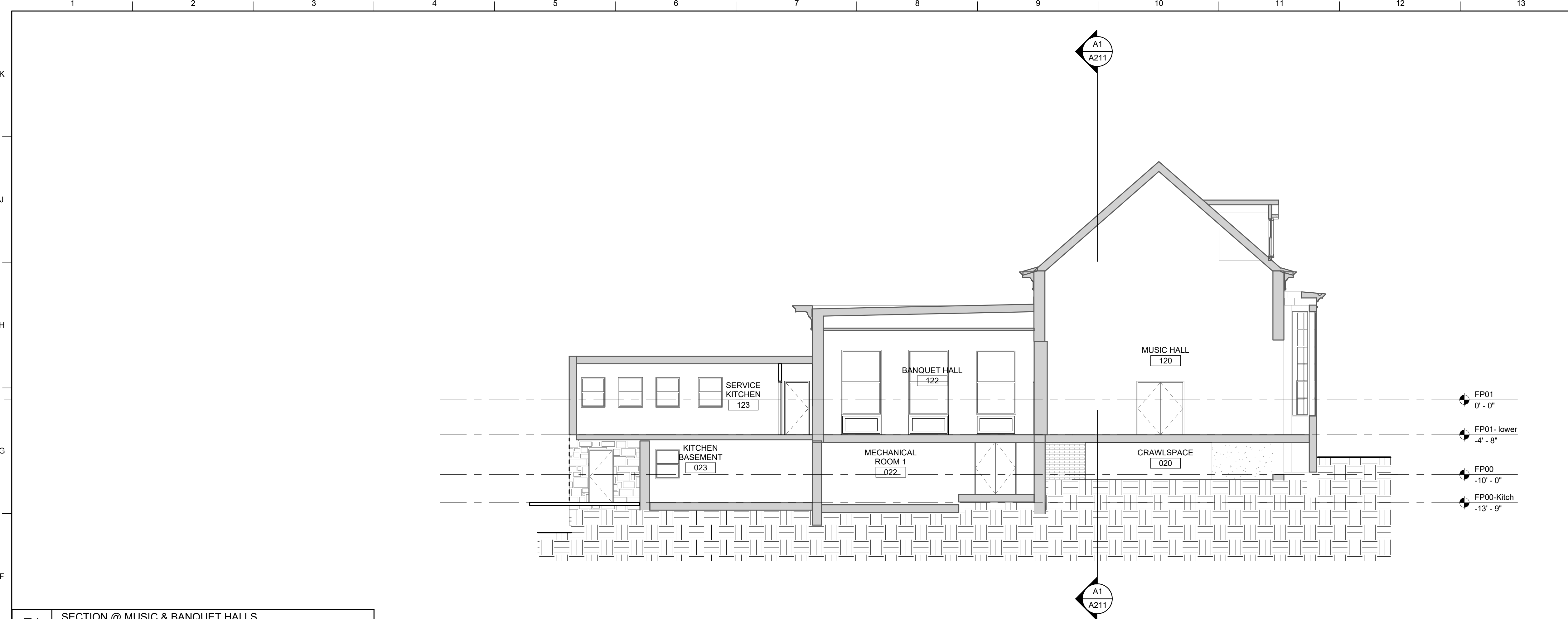
DWG. NO.: A211

PROJECT NORTH

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Autodesk Docs//P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
8/18/2023 4:01:10 PM



F1 SECTION @ MUSIC & BANQUET HALLS
0 4 8 16 1/8" = 1'-0"



A1 SECTION @ CENTER OF MAIN HOUSE
0 4 8 16 1/8" = 1'-0"

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

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 REVISION:

SHEET TITLE
BUILDING SECTIONS
SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
A212

NOT FOR CONSTRUCTION

Autodesk Docs://P0035-23 Briarcliff Candler Mansion/P0035-23_Central_V23.rvt
8/19/2023 4:01:11 PM

Window Schedule - SW					
Mark	Type Mark	HEAD	JAMB	EXTERIOR SILL	Comments
SW101	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
SW102	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
SW103	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
SW104	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
SW105	W3	BRICK JACK ARCH		WOOD TRIM	
SW106	W3	BRICK JACK ARCH		WOOD TRIM	
SW107	W3	BRICK JACK ARCH		WOOD TRIM	
SW108	W3	BRICK JACK ARCH		WOOD TRIM	
SW109	W3	BRICK JACK ARCH		WOOD TRIM	
SW110	W3	BRICK JACK ARCH		WOOD TRIM	
SW111	S5	STEEL LINTEL		BRICK	
SW133	S5	STEEL LINTEL		BRICK	need pics
SW134	S5				
SW135	S5				
SW136	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	NOTE 6
SW201	W6	BRICK JACK ARCH		CAST STONE	
SW202	W6	BRICK JACK ARCH		CAST STONE	
SW203	W6	BRICK JACK ARCH		CAST STONE	
SW204	W6	BRICK JACK ARCH		CAST STONE	
SW205	W6	BRICK JACK ARCH		CAST STONE	
SW206	W6	BRICK JACK ARCH		CAST STONE	
SW207	W6	BRICK JACK ARCH		CAST STONE	
SW208	W6	BRICK JACK ARCH		CAST STONE	
SW209	W7	BRICK JACK ARCH		CAST STONE	
SW210	W7	BRICK JACK ARCH		CAST STONE	
SW211	W5	BRICK JACK ARCH		CAST STONE	
SW212	W5	BRICK JACK ARCH		CAST STONE	
SW213	W4	BRICK JACK ARCH		CAST STONE	
SW214	W4	BRICK JACK ARCH		CAST STONE	
SW215	S5	STEEL LINTEL		BRICK	
SW301	69	WOOD TRIM		WOOD TRIM	NOTE 2
SW302	69	WOOD TRIM		WOOD TRIM	
SW303	69	WOOD TRIM		WOOD TRIM	NOTE 2
SW304	R1	WOOD TRIM		WOOD TRIM	NOTE 1
SW305	R1	WOOD TRIM		WOOD TRIM	
SW306	R1	WOOD TRIM		WOOD TRIM	NOTE 1
SW307	S5	STEEL LINTEL		BRICK	

Window Schedule - SE					
Mark	Type Mark	HEAD	JAMB	EXTERIOR SILL	Comments
SE101	W1	BRICK JACK ARCH		WOOD TRIM	
SE102	W1	BRICK JACK ARCH		WOOD TRIM	
SE103	W2	BRICK JACK ARCH		WOOD TRIM	
SE104	W2	BRICK JACK ARCH		WOOD TRIM	
SE105	W1	BRICK JACK ARCH		WOOD TRIM	
SE106	W1	BRICK JACK ARCH		WOOD TRIM	
SE107	S4	WOOD TRIM		WOOD TRIM	
SE108	S4	WOOD TRIM		WOOD TRIM	
SE109	S4	WOOD TRIM		WOOD TRIM	
SE110	S4	WOOD TRIM		WOOD TRIM	
SE111	S3	WOOD TRIM		WOOD TRIM	
SE112	S4	WOOD TRIM		WOOD TRIM	
SE113	S4	WOOD TRIM		WOOD TRIM	
SE114	S4	WOOD TRIM		WOOD TRIM	
SE115	S4	WOOD TRIM		WOOD TRIM	
SE116	S3	CAST STONE		WOOD TRIM	
SE201	W4	BRICK JACK ARCH		CAST STONE	
SE202	W4	BRICK JACK ARCH		CAST STONE	
SE203	W5	BRICK JACK ARCH		CAST STONE	
SE204	W4	BRICK JACK ARCH		CAST STONE	
SE205	W5	BRICK JACK ARCH		CAST STONE	
SE206	W4	BRICK JACK ARCH		CAST STONE	
SE207	W4	BRICK JACK ARCH		CAST STONE	
SE208	S3	WOOD TRIM		WOOD TRIM	MUNTINS
SE209	S3	WOOD TRIM		WOOD TRIM	MUNTINS, BROKEN GLASS
SE210	S3	WOOD TRIM		WOOD TRIM	MUNTINS
SE211	S3	WOOD TRIM		WOOD TRIM	MUNTINS
SE301	R1	WOOD TRIM		WOOD TRIM	NOTE 1
SE302	R1	WOOD TRIM		WOOD TRIM	NOTE 1
SE303	R1	WOOD TRIM		WOOD TRIM	NOTE 1
SE TRANSOM	T1	WOOD TRIM		WOOD TRIM	

Window Schedule - P					
Mark	Type Mark	HEAD	JAMB	EXTERIOR SILL	Comments
P101	A5	CAST STONE		CAST STONE	
P102	A1	CAST STONE		CAST STONE	
P103	A1	CAST STONE		CAST STONE	
P104	A1	CAST STONE		CAST STONE	
P105	A1	CAST STONE		CAST STONE	
P106	A2	CAST STONE		CAST STONE	
P107	A3	CAST STONE		CAST STONE	
P108	A1	CAST STONE		CAST STONE	
P109	A3	CAST STONE		CAST STONE	
P110	A3	CAST STONE		CAST STONE	
P111	A6	CAST STONE		CAST STONE	
P112	A3	CAST STONE		CAST STONE	
P113	A4	CAST STONE		CAST STONE	

Window Schedule - NW					
Mark	Type Mark	HEAD	JAMB	EXTERIOR SILL	Comments
NW001	W11	CAST STONE		STONE	
NW002	W11	CAST STONE		STONE	
NW003	W11	CAST STONE		STONE	
NW004	W11	CAST STONE		STONE	
NW005	W11	CAST STONE		STONE	
NW006	W13	CAST STONE		STONE	
NW101	W15	STEEL LINTEL		CAST STONE	
NW102	W12	STEEL LINTEL		CAST STONE	
NW103	W15	STEEL LINTEL		CAST STONE	
NW104	W15	STEEL LINTEL		CAST STONE	
NW105	W15	STEEL LINTEL		CAST STONE	
NW106	W15	STEEL LINTEL		CAST STONE	
NW107	W14	STEEL LINTEL		CAST STONE	
NW108	W18	STEEL LINTEL		CAST STONE	
NW109	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
NW110	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
NW111	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
NW112	A7	BRICK ROUNDED ARCH		CAST STONE (WATER TABLE)	
NW113	S5	STEEL LINTEL		BRICK	
NW201	W9	BRICK JACK ARCH		CAST STONE	
NW202	W9	BRICK JACK ARCH		CAST STONE	
NW203	W9	BRICK JACK ARCH		CAST STONE	
NW204	W9	BRICK JACK ARCH		CAST STONE	
NW205	W9	BRICK JACK ARCH		CAST STONE	
NW206	W8	BRICK JACK ARCH		CAST STONE	
NW207	W19	BRICK JACK ARCH		CAST STONE	NOTE 5
NW208	W6	BRICK JACK ARCH		CAST STONE	
NW209	W6	BRICK JACK ARCH		CAST STONE	
NW210	W6	BRICK JACK ARCH		CAST STONE	
NW211	W6	BRICK JACK ARCH		CAST STONE	
NW212	W6	BRICK JACK ARCH		CAST STONE	
NW213	W6	BRICK JACK ARCH		CAST STONE	
NW214	W6	BRICK JACK ARCH		CAST STONE	
NW215	W6	BRICK JACK ARCH		CAST STONE	
NW216	S5	STEEL LINTEL		BRICK	
NW301	R1	WOOD TRIM		WOOD TRIM	
NW302	R1	WOOD TRIM		WOOD TRIM	NOTE 2
NW303	W17	WOOD TRIM		WOOD TRIM	
NW304	W17	WOOD TRIM		WOOD TRIM	
NW305	W17	WOOD TRIM		WOOD TRIM	
NW306	W17	WOOD TRIM		WOOD TRIM	
NW307	R1	WOOD TRIM		WOOD TRIM	
NW308	W20	WOOD TRIM		WOOD TRIM	

Window Schedule - NE					
Mark	Type Mark	HEAD	JAMB	EXTERIOR SILL	Comments
NE001	S2	CAST STONE		CAST STONE	
NE002	S2	CAST STONE		CAST STONE	
NE003	S2	CAST STONE		CAST STONE	
NE004	S2	CAST STONE		CAST STONE	
NE005	W11	CAST STONE (WATER TABLE)		STONE	NOTE 3
NE006	W11	CAST STONE (WATER TABLE)		STONE	
NE007	W11	CAST STONE (WATER TABLE)		STONE	
NE008	W12	STEEL LINTEL		STONE	
NE009	W12	STEEL LINTEL		STONE	
NE010	W12	STEEL LINTEL		STONE	
NE101	S2	BRICK	STEEL	BRICK	NOTE 4
NE102	S1	BRICK JACK ARCH	STEEL	WOOD TRIM	
NE103	S1	BRICK JACK ARCH	STEEL	WOOD TRIM	
NE104	S1	BRICK JACK ARCH	STEEL	WOOD TRIM	
NE104	S2	STEEL LINTEL	STEEL	CAST STONE	
NE105	S2	STEEL LINTEL	STEEL	CAST STONE	
NE106	S2	STEEL LINTEL	STEEL	CAST STONE	
NE107	S2	STEEL LINTEL	STEEL	CAST STONE	
NE108	S2	STEEL LINTEL	STEEL	CAST STONE	
NE109	S2	STEEL LINTEL	STEEL	BRICK	
NE110	S2	STEEL LINTEL	STEEL	CAST STONE	
NE111	S1	STEEL LINTEL	STEEL	WOOD TRIM	
NE112	W3	BRICK JACK ARCH		WOOD TRIM	
NE112	S6	STEEL LINTEL		CAST STONE	
NE113	W3	BRICK JACK ARCH		WOOD TRIM	
NE114	W3	BRICK JACK ARCH		WOOD TRIM	
NE115	S6	STEEL LINTEL		CAST STONE	
NE116	S6	STEEL LINTEL		CAST STONE	
NE116	S6	STEEL LINTEL		CAST STONE	
NE117	W10	STEEL LINTEL		STONE	
NE118	W10	STEEL LINTEL		STONE	
NE119	W12	STEEL LINTEL		STONE	
NE120	S2	STEEL LINTEL		BRICK	
NE121	W14	WOOD TRIM		CAST STONE	
NE201	S2	BRICK		BRICK	
NE202	S2	BRICK		BRICK	
NE203	W7	BRICK JACK ARCH		CAST STONE	
NE204	W7	BRICK JACK ARCH		CAST STONE	
NE205	W7	BRICK JACK ARCH		CAST STONE	
NE206	W9	BRICK JACK ARCH		CAST STONE	
NE207	W9	BRICK JACK ARCH		CAST STONE	
NE208	W9	BRICK JACK ARCH		CAST STONE	
NE209	W9	STEEL LINTEL		CAST STONE	
NE210	W9	STEEL LINTEL		CAST STONE	
NE211	S2	STEEL LINTEL		BRICK	
NE301	R1	WOOD TRIM		WOOD TRIM	
NE302	R1	WOOD TRIM		WOOD TRIM	
NE303	R1	WOOD TRIM		WOOD TRIM	
NE304	S2	STEEL LINTEL		BRICK	NOTE 3
NE305	S2	STEEL LINTEL		BRICK	NOTE 3

MATERIAL KEYNOTES

GENERAL NOTES

- A. BASIS OF DESIGN IS TO RESTORE EXISTING WINDOWS.
- B. ASSUME REPLACEMENT OF ONE SASH WHERE WOOD DETERIORATION IS NOTED ON SCHEDULE.
- C. PROTECT, MAINTAIN, AND RESTORE ALL INTERIOR WINDOW CASINGS AND SILLS. REPLACE DAMAGED MATERIAL IN KIND.
- D. PAINT ALL WOOD WINDOWS.
- E. PAINT ALL STEEL LINTELS.
- F. INSTALL NEW GLASS IN WOOD WINDOWS WHERE GLASS IS CURRENTLY MISSING. ASSUME 70% OF WOOD WINDOWS NEED NEW GLASS INSTALLED.

SHEET SPECIFIC NOTES

- 1. EXISTING WINDOW IS A NON-HISTORIC ALUMINUM REPLACEMENT WINDOW. REPLACE WINDOW WITH NEW WOOD WINDOW OF EQUAL SIZE.
- 2. REPLACE EXISTING WINDOW WITH ALUMINUM LOUVER.
- 3. WINDOW HAS BEEN INFILLED WITH BRICK.
- 4. REPLACE WINDOW WITH NEW STEEL WINDOW OF EQUAL SIZE.
- 5. MAINTAIN AND PROTECT EXISTING GLASS IN WINDOW.
- 6. NEW MILLWORK FEATURE TO MATCH EXISTING WINDOWS. GLAZING TO BE OPAQUE.



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REVISION:

SHEET TITLE
WINDOW SCHEDULE
SCALE (I.N.O.)

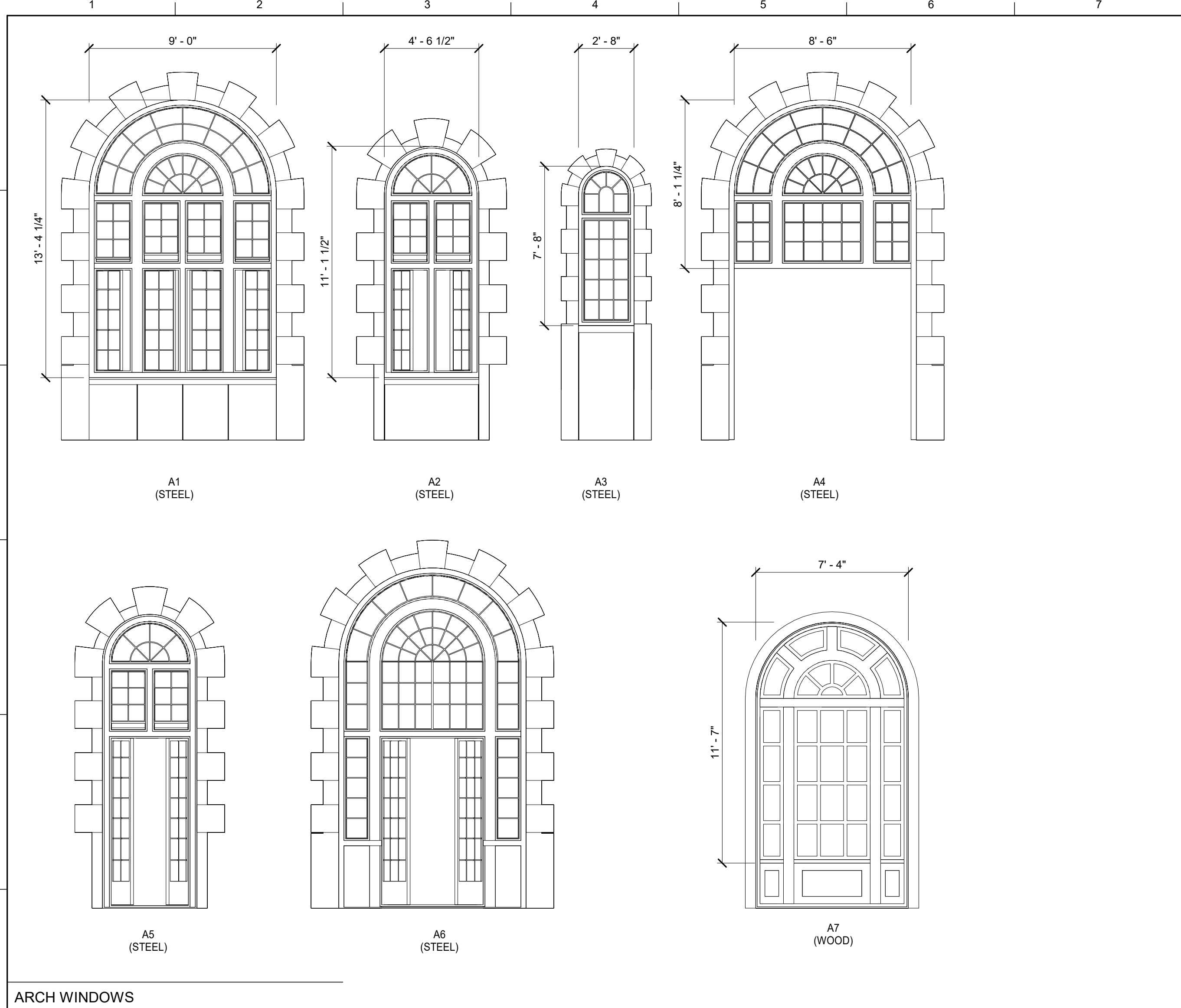
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Galérie Living
CANDLER MANSION REHABILITATION
LOCATION
1266 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.
A608

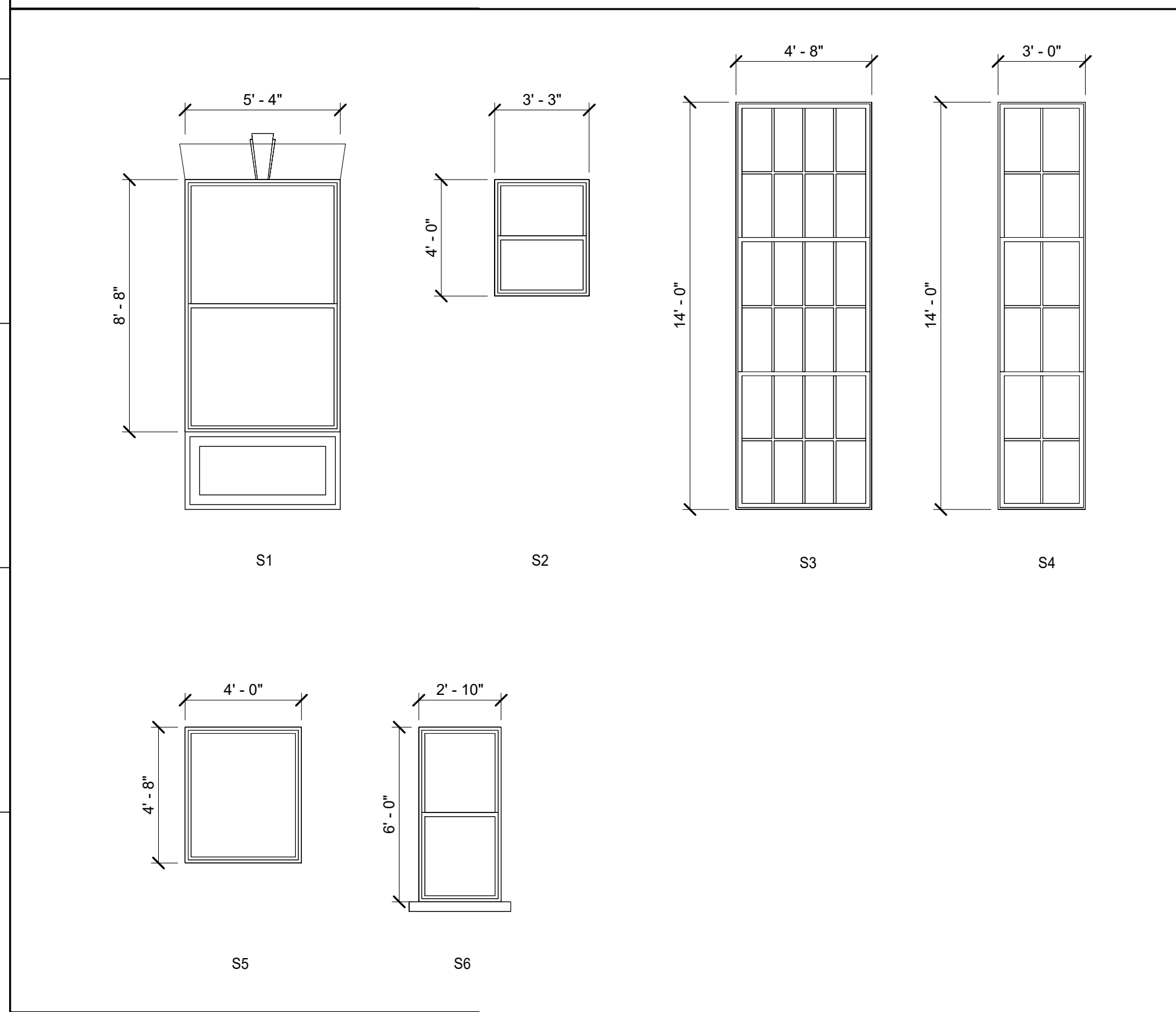
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KEY PLAN
PROJECT NORTH

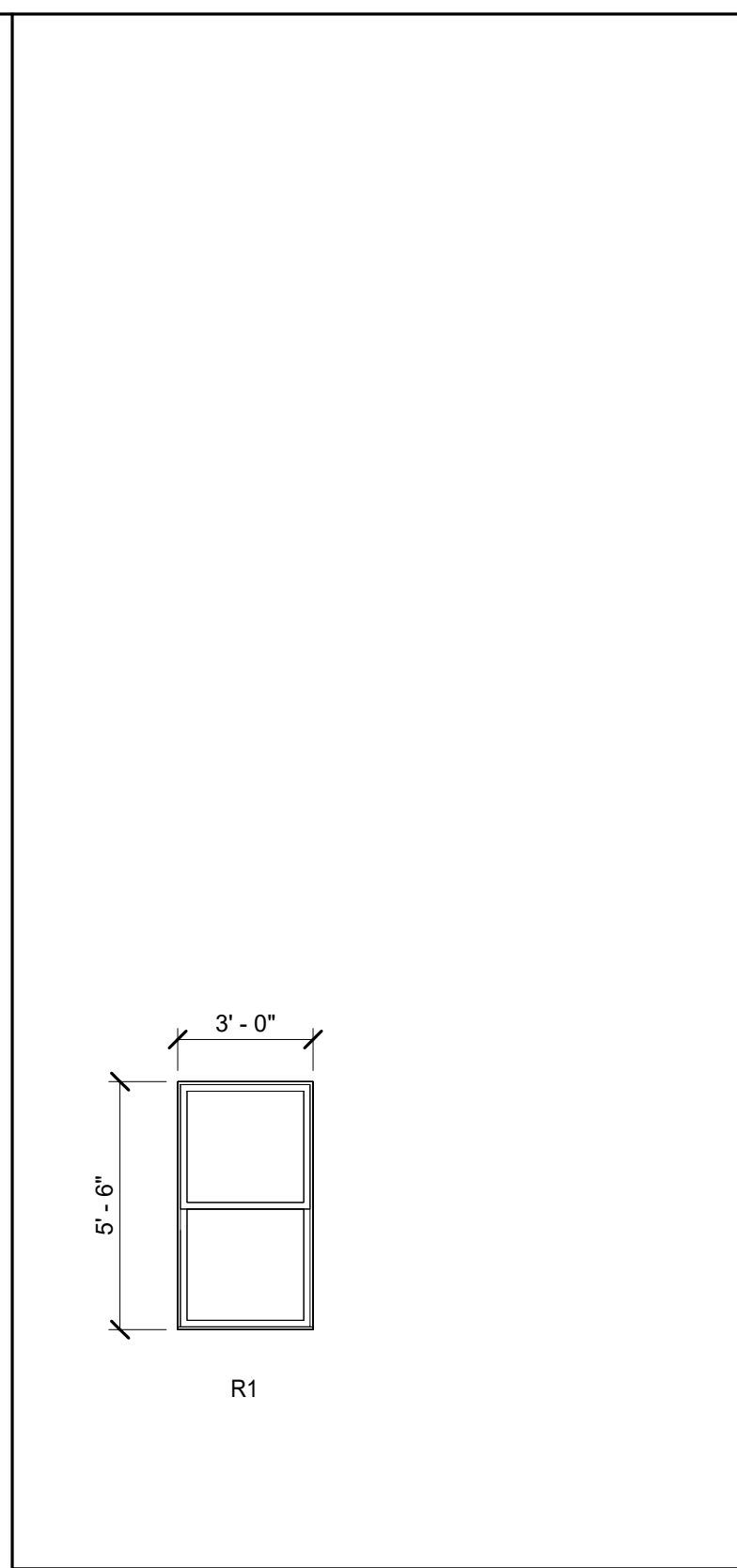
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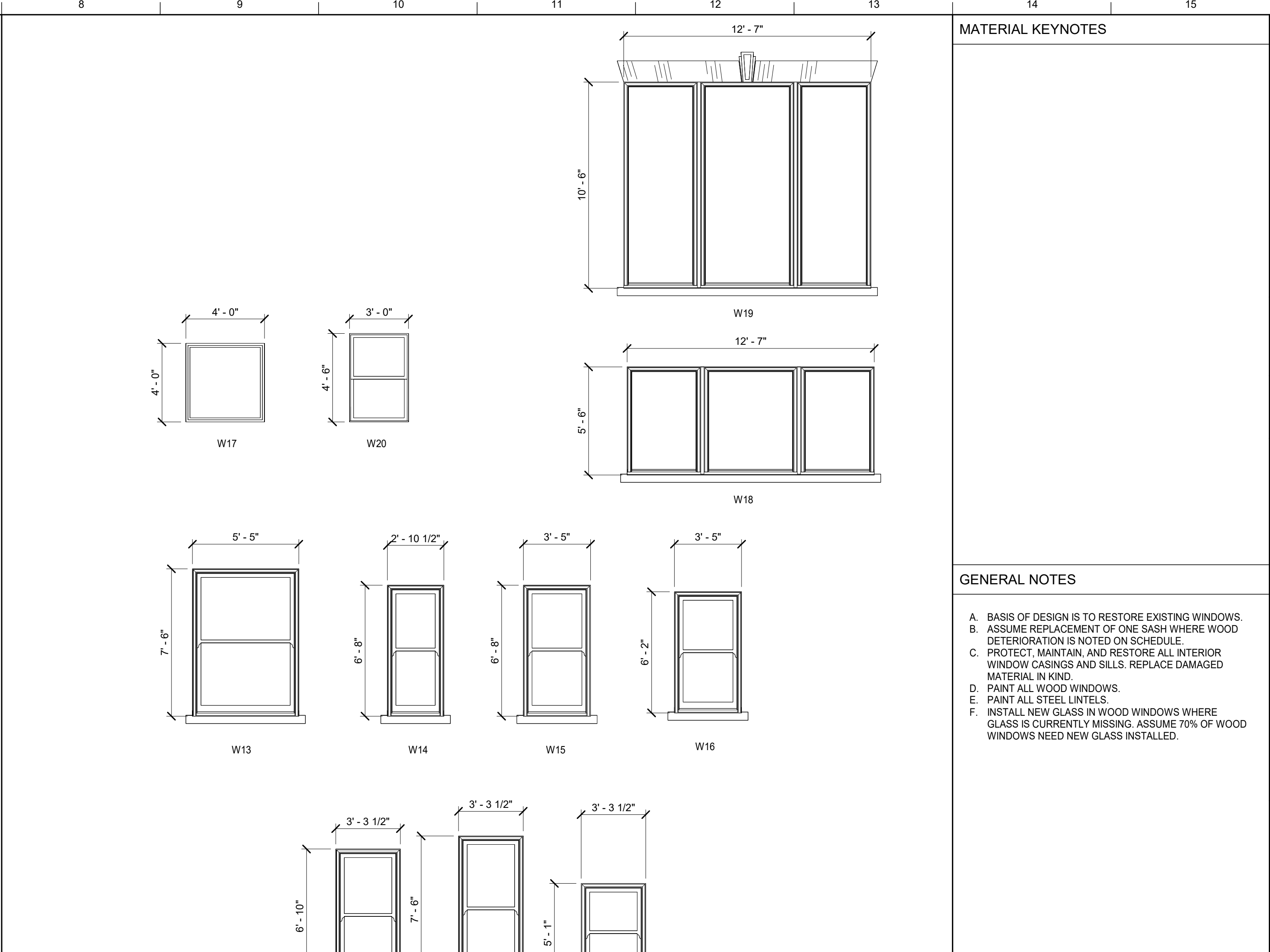
ARCH WINDOWS



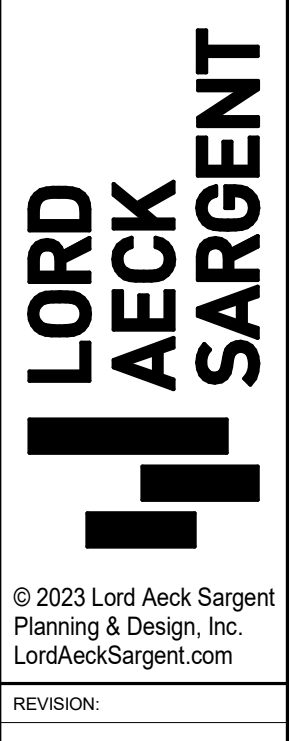
STEEL WINDOWS



ALUMINUM REPLACEMENT WINDOWS



WOOD WINDOWS

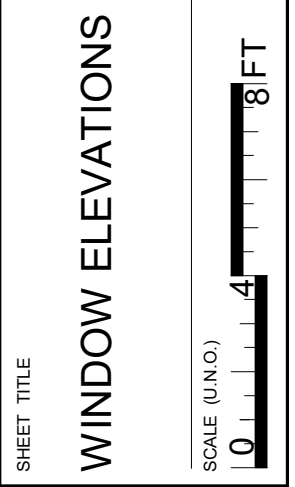


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REVISION:

MATERIAL KEYNOTES

- GENERAL NOTES
- A. BASIS OF DESIGN IS TO RESTORE EXISTING WINDOWS.
 - B. ASSUME REPLACEMENT OF ONE SASH WHERE WOOD DETERIORATION IS NOTED ON SCHEDULE.
 - C. PROTECT, MAINTAIN, AND RESTORE ALL INTERIOR WINDOW CASINGS AND SILLS. REPLACE DAMAGED MATERIAL IN KIND.
 - D. PAINT ALL WOOD WINDOWS.
 - E. PAINT ALL STEEL LITTELS.
 - F. INSTALL NEW GLASS IN WOOD WINDOWS WHERE GLASS IS CURRENTLY MISSING. ASSUME 70% OF WOOD WINDOWS NEED NEW GLASS INSTALLED.

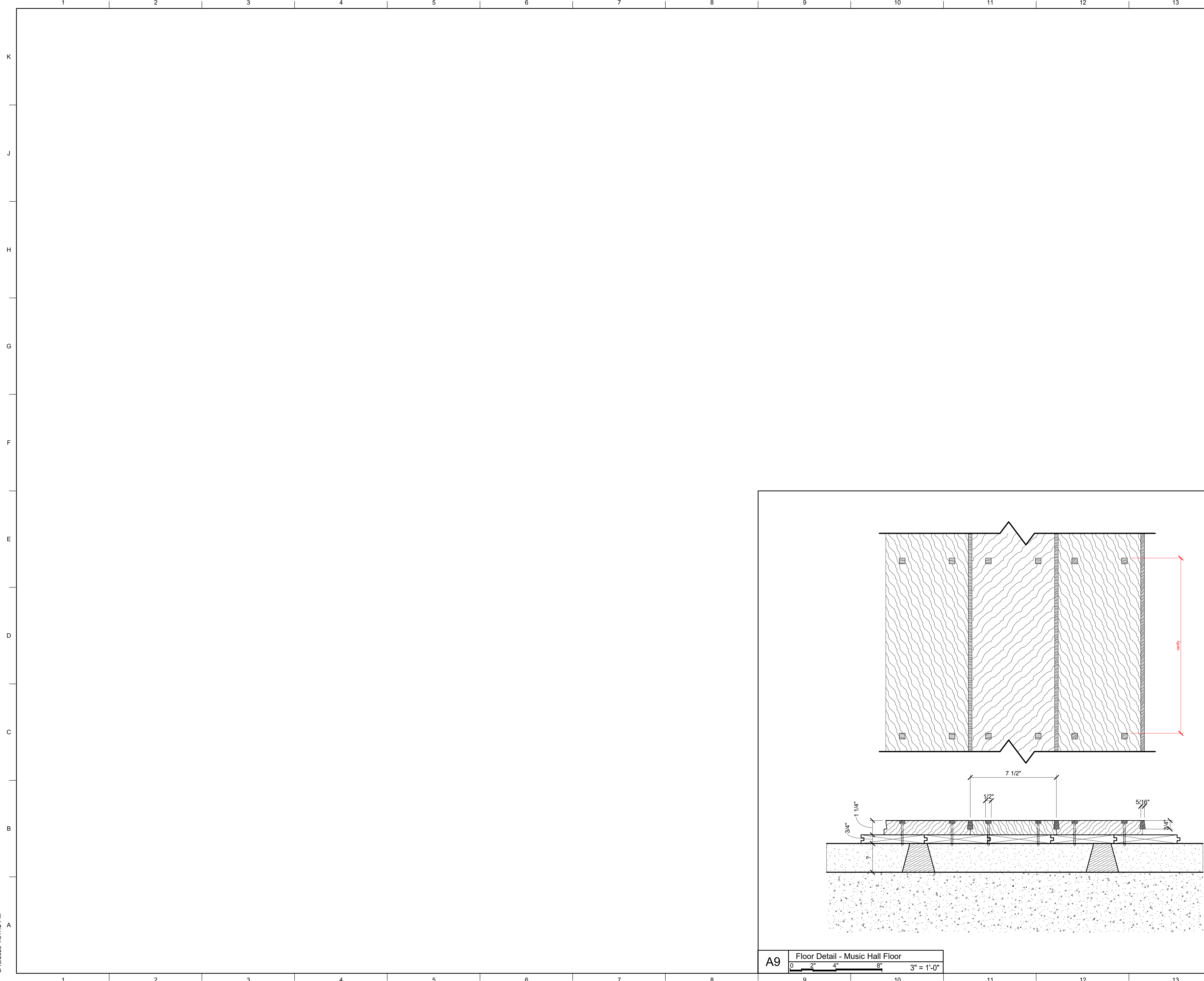


SHEET SPECIFIC NOTES

KEY PLAN	SEAL
PROJECT NORTH	
JOB NAME Galerie Living	ISSUE DATE 08/18/2023
LOCATION CANDLER MANSION REHABILITATION 1256 Briarcliff Road, NE Atlanta, GA 30306	JOB NO. 12169-00
DWG. NO. A609	

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A9 Floor Detail - Music Hall Floor
 0 2 4 8 3" = 1'-0"

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN
 SEAL
 PROJECT NORTH



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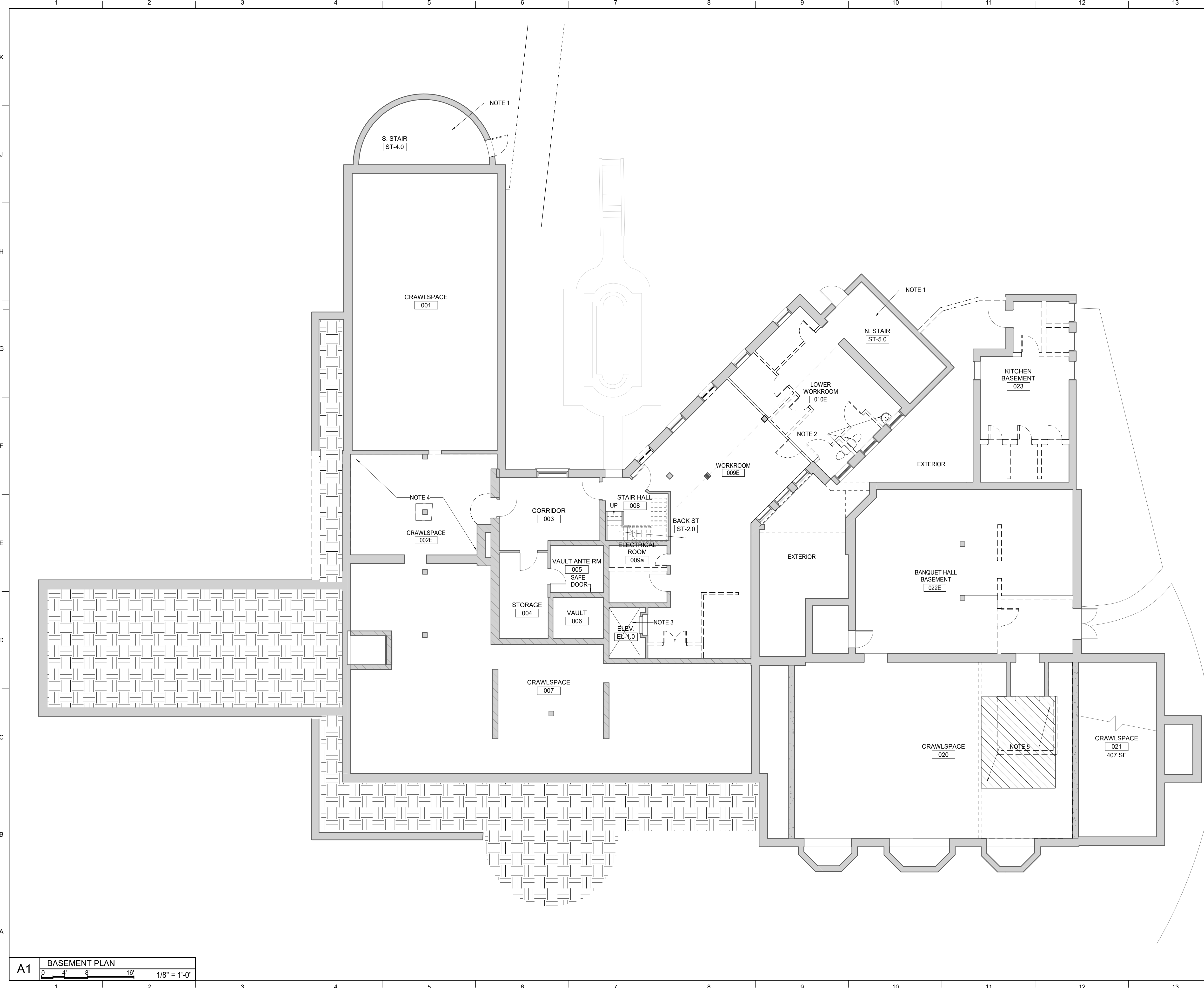
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 SCALE (N.O.)

JOB NAME
 Galerie Living
 CANDLER MANSION REHABILITATION
 LOCATION
 1256 Briarcliff Road NE
 Atlanta, GA 30306

ISSUE DATE
 08/18/2023
 JOB NO.
 12169-00
 DWG. NO.
A704

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MATERIAL KEYNOTES

GENERAL NOTES

- INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH, AND CLEAN ADJACENT FLOORS, WALLS, AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.
- EXISTING WALLS TO REMAIN
- - - - - INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH AND CLEAN ADJACENT FLOORS, WALLS AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.

A. COORDINATE ALL DEMOLITION WITH ENVIRONMENTAL SITE ASSESSMENT. FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS WHEN ABATING HAZARDOUS MATERIALS.

SHEET SPECIFIC NOTES

1. DEMO EXISTING STEEL STAIRS AND RAILINGS.
2. DEMO EXISTING PLUMBING FIXTURE.
3. DEMO EXISTING ELEVATOR
4. EXCAVATE FOR NEW CONCRETE FLOOR SLAB. APPROX. 0'-9" LOWER THAN EXISTING EARTH ELEVATION, MIN.
5. DEMO EXISTING FLOOR. EXCAVATE FOR NEW CONC FLOOR APPROX. 4'-0" LOWER THAN EXISTING EARTH ELEVATION.

KEY PLAN	SEAL

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REVISION:

SHEET TITLE
DEMOLITION PLAN - LEVEL 00

SCALE (I.N.O.)

JOB NAME
Galerie Living

CANDLER MANSION REHABILITATION

LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

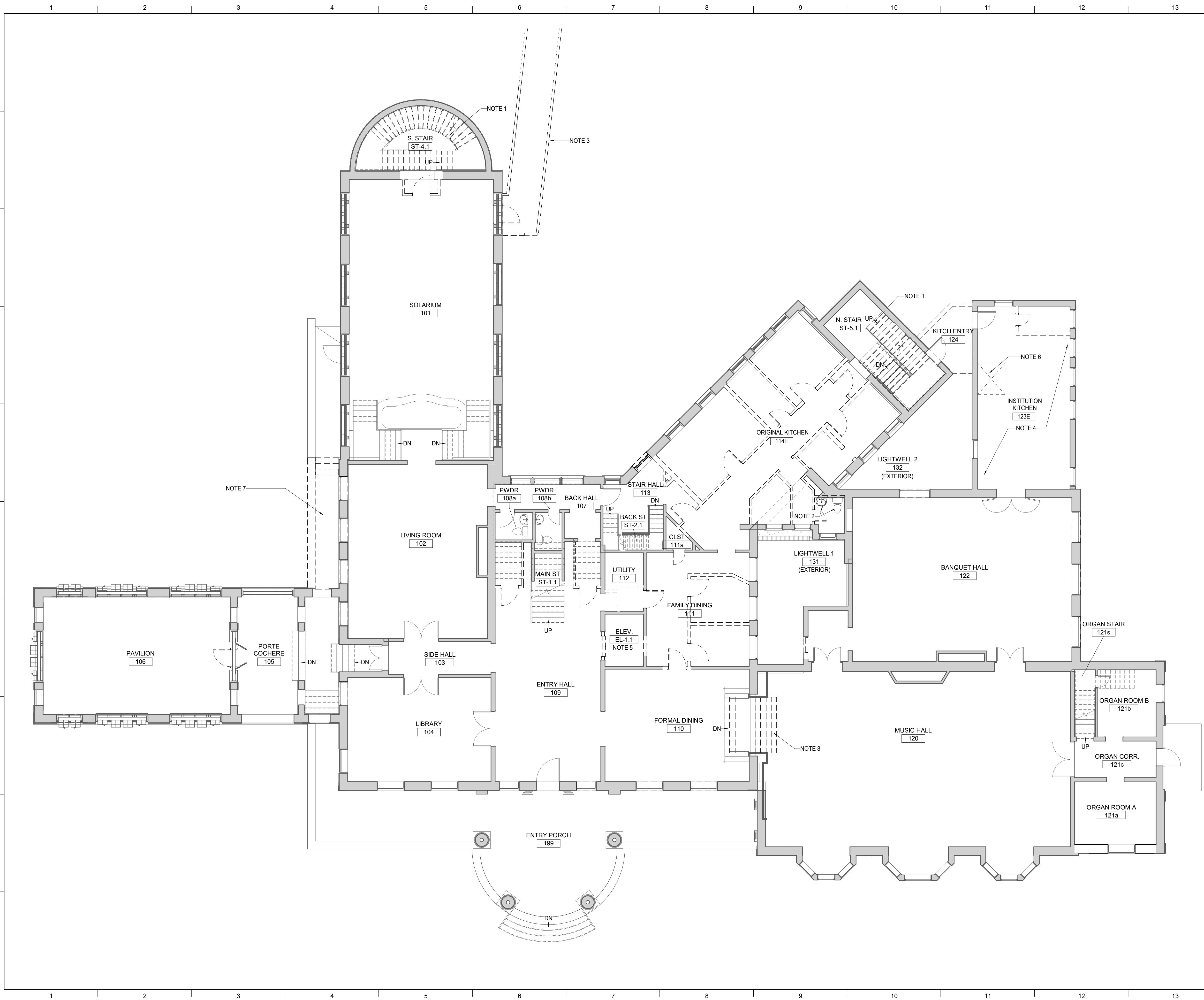
ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
AD100

A1 BASEMENT PLAN
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MATERIAL KEYNOTES

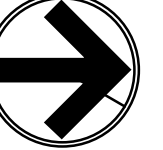
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=====	EXISTING WALLS TO REMAIN
- - - - -	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH, AND CLEAN ADJACENT FLOORS, WALLS AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.

GENERAL NOTES

- A. COORDINATE ALL DEMOLITION WITH ENVIRONMENTAL SITE ASSESSMENT. FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS WHEN ABATING HAZARDOUS MATERIALS.

SHEET SPECIFIC NOTES

1. DEMO EXISTING STEEL STAIRS AND RAILINGS.
2. DEMO EXISTING PLUMBING FIXTURE.
3. DEMO BRIDGE.
4. DEMO EXISTING KITCHEN EQUIPMENT.
5. DEMO EXISTING ELEVATOR.
6. DEMO FLOOR SLAB FOR NEW DUMBWAITER OPENING.
7. REMOVE DAMAGED TILE WALKWAY SURFACE AND SUBSLAB. RECONSTRUCT BOWED STONE WALL AND MODIFY FOR NEW RAMP INSTALLATION.
8. REMOVE NON-HISTORIC STAIRS TO REVEAL ORIGINAL STAIR CONFIGURATION.

KEY PLAN	SEAL
 PROJECT NORTH	



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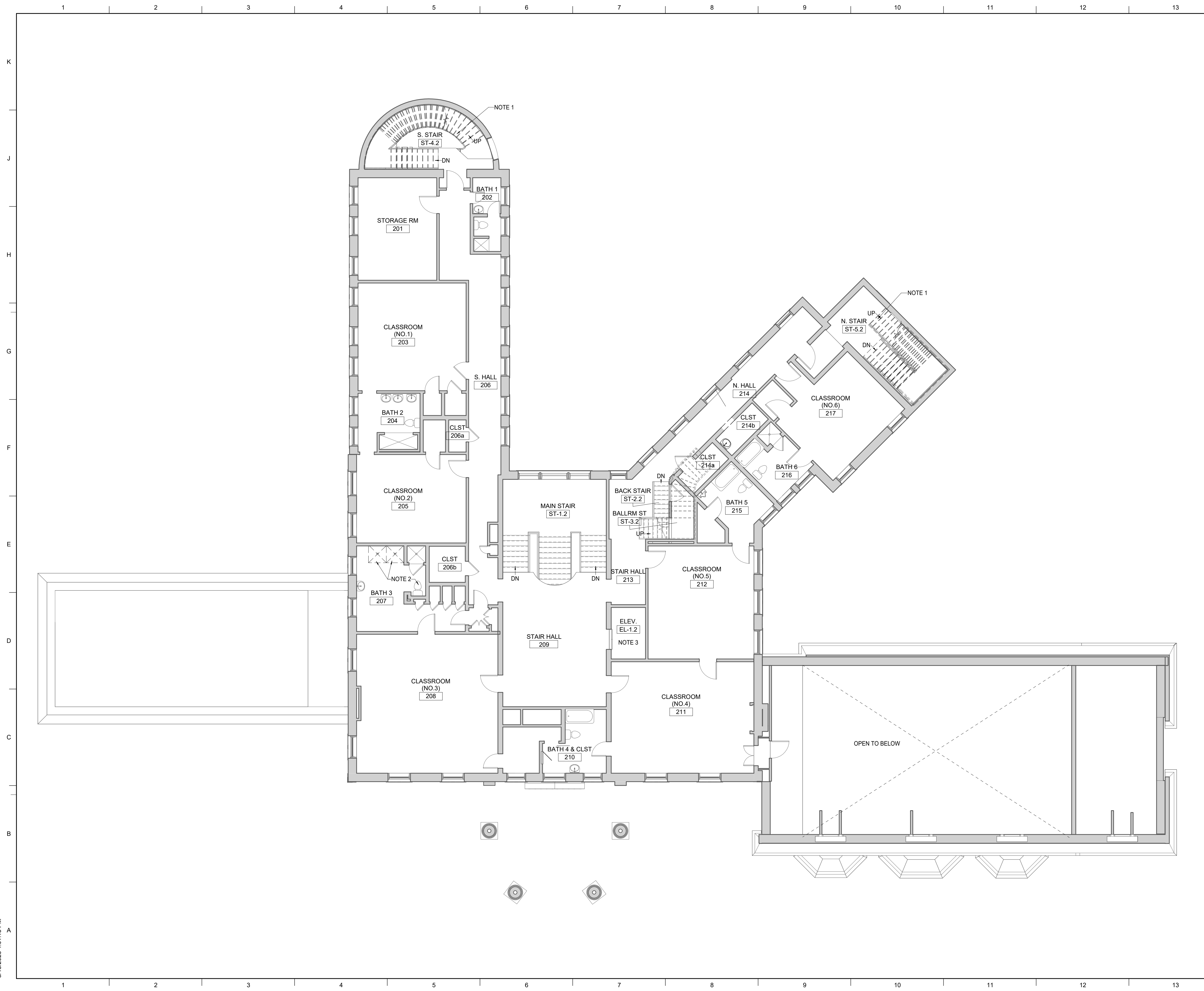
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DEMOLITION PLAN - LEVEL 01
SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
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Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.
AD101

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MATERIAL KEYNOTES	

GENERAL NOTES	
<p>-----</p>	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH, AND CLEAN ADJACENT FLOORS, WALLS, AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.
<p>=====</p>	EXISTING WALLS TO REMAIN
<p>- - - - -</p>	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH, AND CLEAN ADJACENT FLOORS, WALLS AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.

A. COORDINATE ALL DEMOLITION WITH ENVIRONMENTAL SITE ASSESSMENT. FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS WHEN ABATING HAZARDOUS MATERIALS.

SHEET SPECIFIC NOTES	
1.	DEMO EXISTING STEEL STAIRS AND RAILINGS.
2.	DEMO EXISTING PLUMBING FIXTURE.
3.	DEMO EXISTING ELEVATOR.

KEY PLAN	
<p>PROJECT NORTH</p>	SEAL
<p>1. DEMO EXISTING STEEL STAIRS AND RAILINGS.</p> <p>2. DEMO EXISTING PLUMBING FIXTURE.</p> <p>3. DEMO EXISTING ELEVATOR.</p>	

**LORD
AECK
SARGENT**

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REVISION:

DEMOLITION PLAN - LEVEL 02

SCALE (1/4" = 1'-0")

JOB NAME
Galerie Living

PROJECT
CANDLER MANSION REHABILITATION

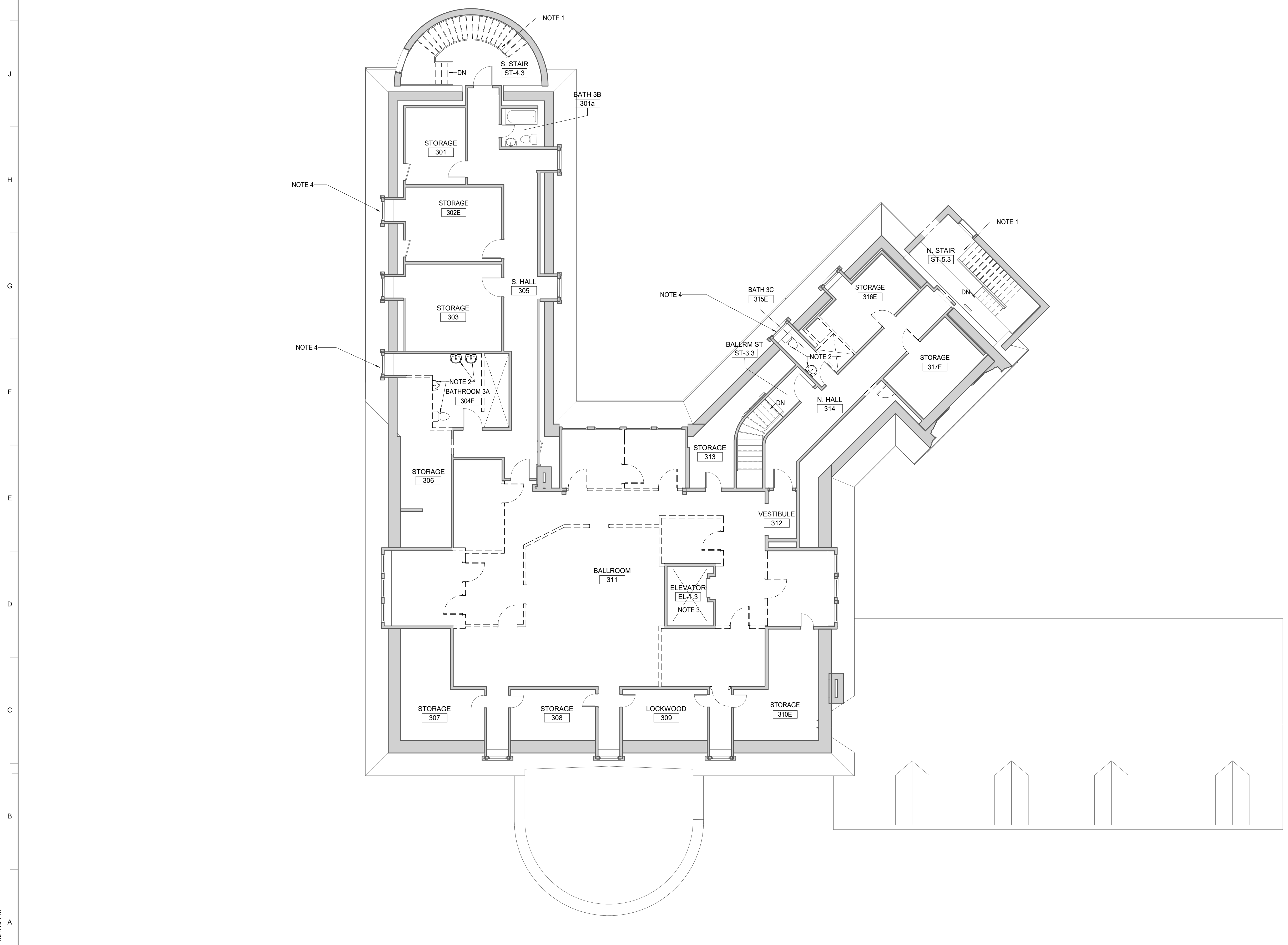
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
AD102

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MATERIAL KEYNOTES

GENERAL NOTES

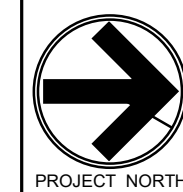
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- ===== EXISTING WALLS TO REMAIN
- - - - - INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED TO LIMITS SHOWN OR DRAWINGS. PATCH, REPAIR, SMOOTH, AND CLEAN ADJACENT FLOORS, WALLS AND CEILINGS AS REQUIRED TO PROVIDE SMOOTH SURFACE FOR NEW FINISHES.

A. COORDINATE ALL DEMOLITION WITH ENVIRONMENTAL SITE ASSESSMENT. FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS WHEN ABATING HAZARDOUS MATERIALS.

SHEET SPECIFIC NOTES

1. DEMO EXISTING STEEL STAIRS AND RAILINGS.
2. DEMO EXISTING PLUMBING FIXTURE.
3. DEMO EXISTING ELEVATOR
4. REMOVE WINDOW SASHES TO PREPARE OPENING FOR MECH LOUVER

KEY PLAN



SEAL



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REVISION:

SHEET TITLE
DEMOLITION PLAN - LEVEL 03

SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE

08/18/2023

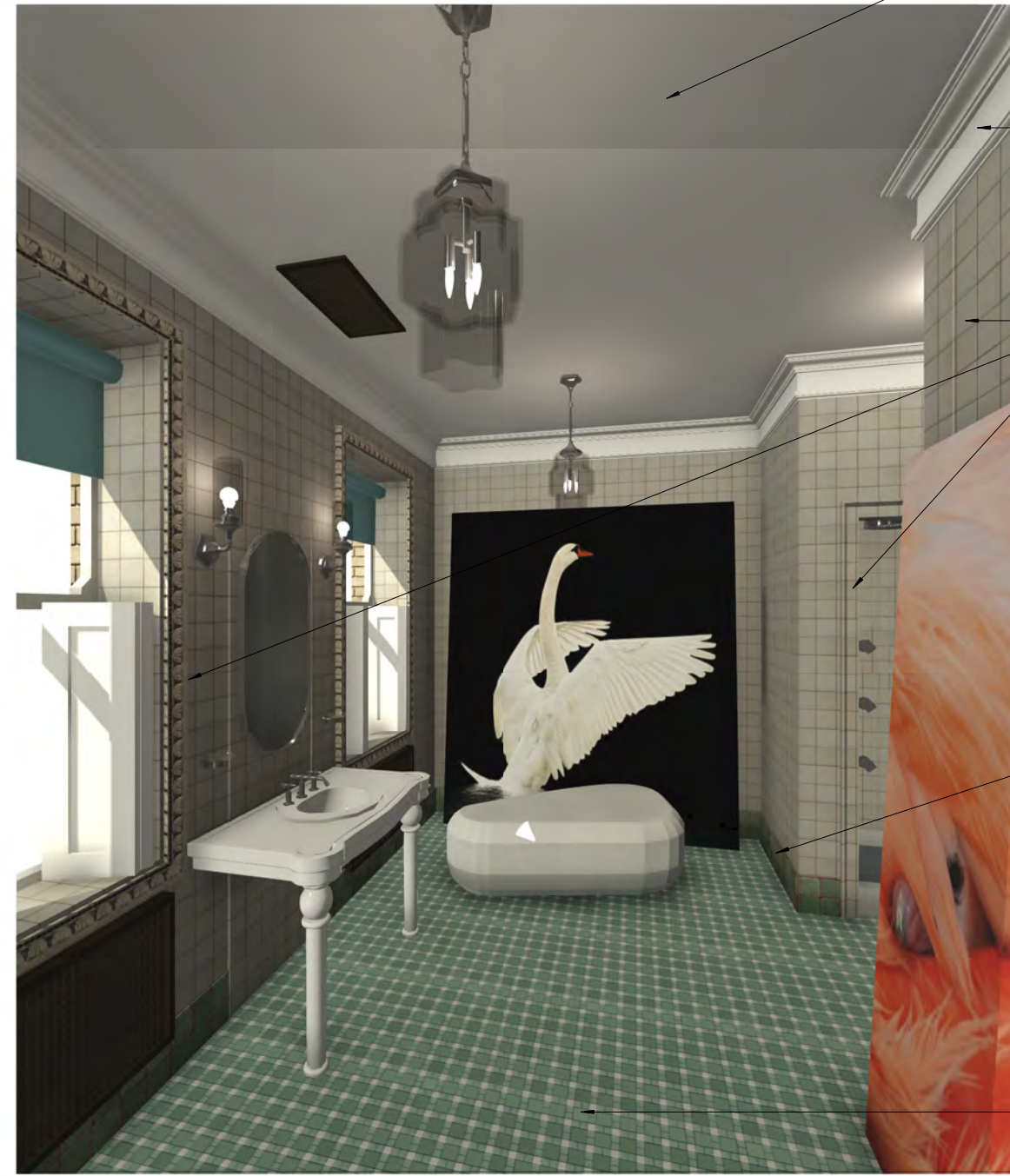
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12169-00

DWG. NO.

AD103

NOT FOR CONSTRUCTION



- REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING. REMOVE ALL CEILING MOUNTED DEVICES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REUSE HISTORIC LIGHT FIXTURE LOCATIONS. PATCH/REPAIR/RECONSTRUCT HISTORIC PLASTER CEILING TO BE CONSISTENT THROUGHOUT ROOM. PRIME AND PAINT CEILING.
- REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING CORNICE. PATCH/REPAIR/RECONSTRUCT HISTORIC CEILING CORNICE TO BE CONTINUOUS AROUND ALL SIDES OF ROOM. PRIME AND PAINT CORNICE.
- REMOVE EXISTING COATING FROM HISTORIC WALL AND CORNER TRIM TILES. CONFIRM WALL TILE PERIOD OF SIGNIFICANCE. REMOVE ALL WALL MOUNTED ACCESSORIES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REVIEW AREAS OF WALL TILE THAT CANNOT BE PATCHED WITH OWNER AND ARCHITECT. REUSE EXISTING DEVICE LOCATIONS WHEREVER POSSIBLE TO MINIMIZE NEW TILE CUTS. COORDINATE THESE LOCATIONS WITH ARCHITECT AND ENGINEER. PATCH/REPAIR/CLEAN HISTORIC WALL TILES AND GROUT. PROTECT HISTORIC FLOOR TILES DURING CONSTRUCTION. COAT WALL TILES AND GROUT WITH APPROPRIATE PROTECTIVE COATING PRIOR TO OCCUPANCY.
- REMOVE EXISTING PAINT FROM HISTORIC BASE TILES. CONFIRM BASE TILE PERIOD OF SIGNIFICANCE. REMOVE ALL BASE MOUNTED ACCESSORIES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REVIEW AREAS OF BASE TILE THAT CANNOT BE PATCHED WITH OWNER AND ARCHITECT. REUSE EXISTING DEVICE LOCATIONS WHEREVER POSSIBLE TO MINIMIZE NEW TILE CUTS. COORDINATE THESE LOCATIONS WITH ARCHITECT AND ENGINEER. PATCH/REPAIR/CLEAN HISTORIC BASE TILES AND GROUT. PROTECT HISTORIC BASE TILES DURING CONSTRUCTION. COAT BASE TILES AND GROUT WITH APPROPRIATE PROTECTIVE COATING PRIOR TO OCCUPANCY.
- REMOVE EXISTING LIQUID APPLIED FLOOR COATING. CONFIRM FLOOR TILE PERIOD OF SIGNIFICANCE. REVIEW AREAS OF FLOOR TILE THAT CANNOT BE EASILY PATCHED WITH OWNER AND ARCHITECT. PATCH/REPAIR/CLEAN HISTORIC FLOOR TILES AND GROUT. PROTECT HISTORIC FLOOR TILES DURING CONSTRUCTION. COAT FLOOR TILES AND GROUT WITH APPROPRIATE ANTI-SKID PROTECTIVE COATING PRIOR TO OCCUPANCY.



- REUSE HISTORIC LOCATIONS FOR NEW LIGHT FIXTURES. PROVIDE \$800.00 LIGHTING ALLOWANCE PER CEILING PENDANT FIXTURE.
- PROVIDE \$800.00 LIGHTING ALLOWANCE PER CEILING FLUSH MOUNT FIXTURE.
- REUSE HISTORIC LOCATIONS FOR NEW LIGHT FIXTURES. PROVIDE \$500.00 LIGHTING ALLOWANCE PER SCONCE FIXTURE.
- CLEAN AND REPAIR AS NEEDED HISTORIC SHOWER DOOR. PROTECT DOOR DURING CONSTRUCTION.
- REUSE HISTORIC LOCATION FOR NEW MIRROR. PROVIDE NEW MOUNTING HARDWARE FOR MIRROR WITH MINIMAL DAMAGE TO HISTORIC WALL TILE. PROVIDE \$500.00 MIRROR ALLOWANCE.
- REUSE HISTORIC LOCATIONS FOR NEW SINK ACCESSORIES.
- REMOVE EXISTING LAVATORY AND RETURN TO OWNER FOR STORAGE. NEW LAVATORY: WATERWORKS BELLE EPOQUE, BECL42, TO BE INSTALLED AT HISTORIC LAVATORY LOCATION. NEW LAVATORY FAUCET/FITTINGS: KOHLER OCCASION SINK FAUCET SPOUT, STRAIGHT DESIGN, 0.5 GPM, 27009-N-CP. KOHLER OCCASION CROSS BATHROOM SINK FAUCET HANDLES, 27010-3-CP. PROVIDE MATCHING TAPS AND PIPING TO COORDINATE WITH THE KOHLER OCCASION PRODUCT LINE AND FINISH. PROVIDE \$2000.00 ACCESSORY ALLOWANCE. ACCESSORIES TO MATCH KOHLER OCCASION PRODUCT LINE.
- ADD ALTERNATE:**
SUBSTITUTE WATERWORKS HIGHGATE PRODUCT LINE FOR ALL KOHLER FAUCET, TAPS AND PIPING PRODUCTS.
SUBSTITUTE WATERWORKS ACCESSORY LINES FOR ALL KOHLER PRODUCTS.
- WATERWORKS CONTACT:**
JACKIE FLORENCE JOLLY
1 WEST PACES FERRY ROAD
ATLANTA, GA 30305
404-312-3480 (MOBILE)
404-266-1080 (OFFICE)

F1 Master Bathroom 1

F7 Master Bathroom 2



- ARTWORK BY OWNER. COORDINATE MOUNTING HARDWARE WITH OWNER TO MINIMIZE DAMAGE TO HISTORIC WALL TILE.
- REMOVE EXISTING TOILET AND RETURN TO OWNER FOR STORAGE. NEW TOILET: KOHLER, KINGSTON, TWO PIECE ELONGATED TOILET, 1.28 GPF, K-25077-SS-0, TO BE PLACED AT HISTORIC TOILET LOCATION. TOILET ACCESSORIES: K-7637 ANGLE SUPPLY WITH STOP, K-20110 BREVIA QUIET-CLOSE ELONGATED TOILET SEAT, K-5420 LOW-PROFILE BOLT CAPS, K-23726 DRAIN TREATMENT



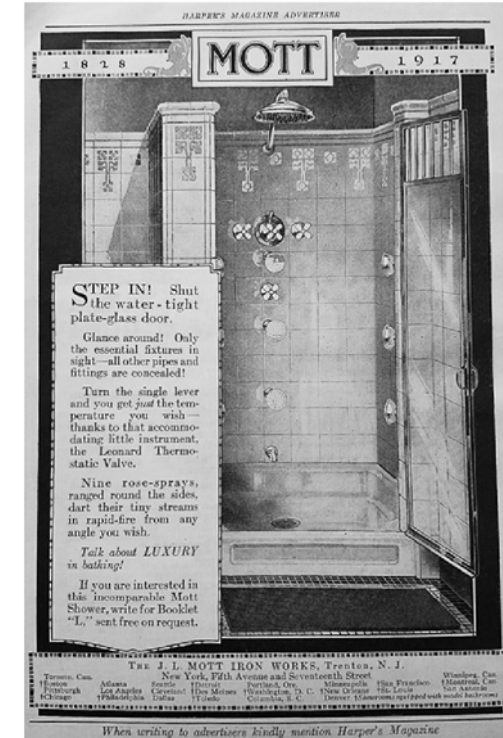
- NEW MECHANICAL GRILLE TO BE CENTERED BETWEEN WINDOWS. GRILLE FINISH AND PERFORATION PATTERN TO MATCH HISTORIC GRILLES UNDER WINDOWS.
- NEW WINDOW TREATMENTS AND ASSOCIATED HARDWARE. EACH WINDOW TO RECEIVE ROLLER SHADE AND PAIR OF SOLID WOOD SHUTTERS.
- HISTORIC MECHANICAL GRILLES TO BE REPAIRED AND CLEANED

A1 Master Bathroom 3

A6 Master Bathroom 4



HISTORIC SHOWER IS THE J.L. MOTT IRON WORKS SHOWER SYSTEM. THIS SYSTEM INCLUDED ALL CONCEALED PIPES AND FITTINGS, WATER-TIGHT PLATE-GLASS DOOR, LEONARD THERMOSTATIC VALVE, NINE ROSE-SPRAYS AROUND THE SIDES AND FRONT, HOT AND COLD VALVE, AND DRAIN VALVE.



- REMOVE EXISTING COATING FROM HISTORIC SHOWER AND CORNER TRIM TILES. REMOVE ALL WALL MOUNTED ACCESSORIES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REVIEW AREAS OF WALL TILE THAT CANNOT BE PATCHED WITH OWNER AND ARCHITECT. REUSE EXISTING DEVICE LOCATIONS WHEREVER POSSIBLE TO MINIMIZE NEW TILE CUTS. COORDINATE THESE LOCATIONS WITH ARCHITECT AND ENGINEER. PATCH/REPAIR/CLEAN HISTORIC WALL TILES AND GROUT. CLEAN HISTORIC SHOWER FLOOR. COAT WALL TILES AND GROUT WITH APPROPRIATE PROTECTIVE COATING PRIOR TO OCCUPANCY. CLEAN EXISTING PLUMBING FIXTURES AND EVALUATE IF MISSING FIXTURES CAN BE RESTORED.

A11 Master Bathroom Shower

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN	SEAL
PROJECT NORTH	

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SHEET TITLE
**EXISTING BATHROOM RENOVATION
MASTER BATHROOM**
SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.

A740

NOT FOR CONSTRUCTION



- PROVIDE \$800.00 LIGHTING ALLOWANCE PER LIGHT FIXTURE.
- REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING. REMOVE ALL CEILING MOUNTED DEVICES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REUSE HISTORIC LIGHT FIXTURE LOCATIONS. PATCH/REPAIR/RECONSTRUCT HISTORIC PLASTER CEILING TO BE CONSISTENT THROUGHOUT ROOM. PRIME AND PAINT CEILING.
- REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING CORNICE. PATCH/REPAIR/RECONSTRUCT HISTORIC CEILING CORNICE TO BE CONTINUOUS AROUND ALL SIDES OF ROOM. PRIME AND PAINT CORNICE.
- REMOVE EXISTING COATING FROM HISTORIC WALL AND CORNER TRIM TILES. CONFIRM WALL TILE PERIOD OF SIGNIFICANCE. REMOVE ALL WALL MOUNTED ACCESSORIES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REVIEW AREAS OF WALL TILE THAT CANNOT BE PATCHED WITH OWNER AND ARCHITECT. REUSE EXISTING DEVICE LOCATIONS WHEREVER POSSIBLE TO MINIMIZE NEW TILE CUTS. COORDINATE THESE LOCATIONS WITH ARCHITECT AND ENGINEER. PATCH/REPAIR/CLEAN HISTORIC WALL TILES AND GROUT. PROTECT HISTORIC FLOOR TILES DURING CONSTRUCTION. COAT WALL TILES AND GROUT WITH APPROPRIATE PROTECTIVE COATING PRIOR TO OCCUPANCY.
- REMOVE EXISTING PAINT FROM HISTORIC BASE TILES. CONFIRM BASE TILE PERIOD OF SIGNIFICANCE. REMOVE ALL BASE MOUNTED ACCESSORIES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REVIEW AREAS OF BASE TILE THAT CANNOT BE PATCHED WITH OWNER AND ARCHITECT. REUSE EXISTING DEVICE LOCATIONS WHEREVER POSSIBLE TO MINIMIZE NEW TILE CUTS. COORDINATE THESE LOCATIONS WITH ARCHITECT AND ENGINEER. PATCH/REPAIR/CLEAN HISTORIC BASE TILES AND GROUT. PROTECT HISTORIC BASE TILES DURING CONSTRUCTION. COAT BASE TILES AND GROUT WITH APPROPRIATE PROTECTIVE COATING PRIOR TO OCCUPANCY.
- REMOVE EXISTING LIQUID APPLIED FLOOR COATING. CONFIRM FLOOR TILE PERIOD OF SIGNIFICANCE. REVIEW AREAS OF FLOOR TILE THAT CANNOT BE EASILY PATCHED WITH OWNER AND ARCHITECT. PATCH/REPAIR/CLEAN HISTORIC FLOOR TILES AND GROUT. PROTECT HISTORIC FLOOR TILES DURING CONSTRUCTION. COAT FLOOR TILES AND GROUT WITH APPROPRIATE ANTI-SKID PROTECTIVE COATING PRIOR TO OCCUPANCY.

F1 Martha Bathroom 1



- PROVIDE \$800.00 LIGHTING ALLOWANCE PER LIGHT FIXTURE.
- CLEAN AND REPAIR HISTORIC MEDICINE CABINET. REPLACE BROKEN MIRROR GLASS WITH SIMILAR BEVEL DESIGN AND TEMPERED GLAZING. PROTECT CABINET DURING CONSTRUCTION.
- REUSE HISTORIC LOCATION FOR NEW MIRROR. PROVIDE NEW MOUNTING HARDWARE FOR MIRROR WITH MINIMAL DAMAGE TO HISTORIC WALL TILE. PROVIDE \$500.00 MIRROR ALLOWANCE.
- REUSE HISTORIC LOCATIONS FOR NEW SINK ACCESSORIES.
- REMOVE EXISTING LAVATORY AND RETURN TO OWNER FOR STORAGE. NEW LAVATORY: WATERWORKS BELLE EPOQUE, BECL36, TO BE INSTALLED AT HISTORIC LAVATORY LOCATION. NEW LAVATORY FAUCET/FITTINGS: KOHLER OCCASION SINK FAUCET SPOUT, STRAIGHT DESIGN, 0.5 GPM, 27009-4-CP. KOHLER OCCASION CROSS BATHROOM SINK FAUCET HANDLES, 27010-3-CP. PROVIDE MATCHING TAPS AND PIPING TO COORDINATE WITH THE KOHLER OCCASION PRODUCT LINE AND FINISH. PROVIDE \$1000.00 ACCESSORY ALLOWANCE. ACCESSORIES TO MATCH KOHLER OCCASION PRODUCT LINE.
- ADD ALTERNATE:**
SUBSTITUTE WATERWORKS HIGHGATE PRODUCT LINE FOR ALL KOHLER FAUCET, TAP AND PIPING PRODUCTS.
SUBSTITUTE WATERWORKS ACCESSORY LINES FOR ALL KOHLER PRODUCTS.
WATERWORKS CONTACT:
JACKIE FLORENCE JOLLY
1 WEST PACES FERRY ROAD
ATLANTA, GA 30305
404-312-3460 (MOBILE)
404-266-1080 (OFFICE)

F7 Martha Bathroom 2



- NEW MECHANICAL GRILLE TO BE CENTERED BETWEEN WINDOWS. GRILLE FINISH AND PERFORMANCE PATTERN TO MATCH HISTORIC GRILLES UNDER WINDOWS.
- NEW WINDOW TREATMENTS AND ASSOCIATED HARDWARE. EACH WINDOW TO RECEIVE ROLLER SHADE AND PAIR OF SOLID WOOD SHUTTERS.
- HISTORIC MECHANICAL GRILLES TO BE REPAIRED AND CLEANED.

A1 Martha Bathroom 3



- ARTWORK BY OWNER. COORDINATE MOUNTING HARDWARE WITH OWNER TO MINIMIZE DAMAGE TO HISTORIC WALL TILE.
- REMOVE EXISTING BATH HARDWARE AND RETURN TO OWNER FOR STORAGE. ACCESS NEW PLUMBING THROUGH ADJACENT CLOSET. DO NOT DISTURB EXISTING WALL TILES. BATHTUB FAUCETS: KOHLER, OCCASION, K-77013-CP. BATHTUB SPOUT: KOHLER, OCCASION, K-27115-CP. BATHTUB MIXER: KOHLER, OCCASION, K-T27044-4-CP. BATHTUB SHOWER ARM AND FLANGE: KOHLER, OCCASION, K-27054-CP. BATHTUB SHOWERHEAD: KOHLER, OCCASION, K-27050-G-CP.
- ADD ALTERNATE:**
SUBSTITUTE WATERWORKS HIGHGATE PRODUCT LINE FOR ALL KOHLER FAUCET, TAP AND PIPING PRODUCTS.
WATERWORKS CONTACT:
JACKIE FLORENCE JOLLY
1 WEST PACES FERRY ROAD
ATLANTA, GA 30305
404-312-3460 (MOBILE)
404-266-1080 (OFFICE)
- PATCH/REPAIR/REFINISH EXISTING HISTORIC BATHTUB WITH COLOR TO MATCH ORIGINAL FINISH.
- REMOVE EXISTING TOILET AND RETURN TO OWNER FOR STORAGE. NEW TOILET: KOHLER, KINGSTON, TWO PIECE ELONGATED TOILET, 1.28 GPF, K-25077-SS-0, TO BE PLACED AT HISTORIC TOILET LOCATION. TOILET ACCESSORIES: K-7637 ANGLE SUPPLY WITH STOP. K-20110 BREVIA QUIET-CLOSE ELONGATED TOILET SEAT. K-5420 LOW-PROFILE BOLT CAPS. K-23726 DRAIN TREATMENT.

A7 Martha Bathroom 4

MATERIAL KEYNOTES

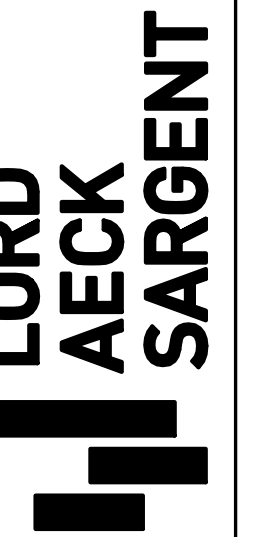
GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

PROJECT NORTH



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REVISION:

SHEET TITLE
EXISTING BATHROOM RENOVATION
MARTHA BATHROOM
SCALE (UNO.)

JOB NAME
Galene Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023
JOB NO.
12169-00
DWG. NO.

A741

NOT FOR CONSTRUCTION



REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING.
REMOVE ALL CEILING MOUNTED DEVICES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE.
REUSE ORIGINAL HISTORIC LIGHT FIXTURE LOCATION.
PATCH/REPAIR/RECONSTRUCT HISTORIC PLASTER CEILING TO BE CONSISTENT THROUGHOUT ROOM.
PRIME AND PAINT CEILING.

REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING FRIEZE AND CORNICE.
PATCH/REPAIR/RECONSTRUCT HISTORIC CEILING CORNICE TO BE CONTINUOUS AROUND ALL SIDES OF ROOM.
PRIME AND PAINT CORNICE.

RECONSTRUCT HISTORIC VERTICAL TRELLIS AND NICHE APPLIED PAINTED WOOD DETAILING ORIGINAL TO BREAKFAST ROOM.
VINYL WALLCOVERING WITHIN NICHE TO BE 4WALLS, LEVEL DIGITAL WALLCOVERINGS, CANVAS EMBOSSED VINYL, TYPE II, 20 OUNCE, CUSTOM FLORAL GRAPHIC.

PATCH/REPAIR HISTORIC BASE TRIM.
PRIME AND PAINT BASE TRIM.

REMOVE EXISTING NON-HISTORIC PARQUET WOOD FLOOR TILES.
EVALUATE CONDITION OF HISTORIC WOOD FLOOR. IF FLOOR CANNOT BE REPAIRED, INSTALL NEW WOOD FLOOR TO MATCH HISTORIC SPECIES, DIRECTION, SIZE AND STAIN.
PROTECT WOOD FLOOR DURING CONSTRUCTION.



PROVIDE \$1500.00 LIGHTING ALLOWANCE PER CEILING PENDANT FIXTURE.

RECONSTRUCT HISTORIC VERTICAL TRELLIS APPLIED PAINTED WOOD DETAILING ORIGINAL TO BREAKFAST ROOM. TRELLIS TO BE APPLIED TO SOME AREAS THAT WERE NOT ORIGINAL.

NEW WINDOW TREATMENTS AND ASSOCIATED HARDWARE.
EACH WINDOW TO RECEIVE ROLLER SHADE AND PAIR OF SOLID WOOD SHUTTERS.

NEW THREE PANEL DOOR AND DOOR TRIM TO MATCH ORIGINAL DETAILING

HISTORIC MECHANICAL CABINET, CABINET DOORS, HARDWARE AND METAL GRILLES TO BE REPAIRED AND CLEANED.
PRIME AND PAINT WOOD PORTIONS OF CABINET ENCLOSURE.

G1 Family Dining Room 1

G7 Family Dining Room 2



DECORATIVE TRIM TO BE REPLICATED

HISTORIC PHOTOGRAPH OF THE FAMILY BREAKFAST ROOM WITH DECORATIVE WOOD TRIM



NEW ELEVATOR DOORS, CALL BUTTONS AND SIGNALS.
MATCH TYPICAL HISTORIC WOOD DOOR FRAME PROFILE.
DOOR FRAME TO BE PRIMED AND PAINTED.

FURNISHINGS AND RUGS TO BE PROVIDED BY CLIENT



NEW DOWNLIGHT FIXTURE TYPICAL ALL CEILINGS:
HALO SMD6 UNV SERIES, 6" SQUARE UNIVERSAL VOLTAGE SURFACE MOUNT DOWNLIGHT
SMD6S12930WH
MATTE WHITE TRIM

REMOVE EXISTING WINDOW, RADIATOR AND RADIATOR CABINET. THIS EXISTING WINDOW OPENING TO BECOME A NEW DOOR OPENING TO NEW ADA LIFT.
NEW PAIR OF FRENCH STYLE WOOD AND TEMPERED GLASS DOORS TO FIT WITHIN HISTORIC WINDOW OPENING. MATCH TYPICAL HISTORIC WOOD DOOR FRAME PROFILE. PROVIDE NEW BRONZE FINISH PASSAGE LEVER HARDWARE.
DOOR AND DOOR FRAME TO BE PRIMED AND PAINTED.

NEW PAIR OF FRENCH STYLE WOOD AND TEMPERED GLASS DOORS TO FIT WITHIN HISTORIC WINDOW OPENING. MATCH TYPICAL HISTORIC WOOD DOOR FRAME PROFILE.
PROVIDE NEW BRONZE FINISH PASSAGE LEVER HARDWARE.
DOOR AND DOOR FRAME TO BE PRIMED AND PAINTED.

A1 Family Dining Room 3

A7 Family Dining Room 4

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

PROJECT NORTH



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REVISION:

SHEET TITLE
FAMILY BREAKFAST ROOM RENOVATION

SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.

A742

NOT FOR CONSTRUCTION



REMOVE EXISTING LOOSE/PEELING PAINT AND DEBRIS FROM HISTORIC CEILING.
REMOVE ALL CEILING MOUNTED DEVICES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE. REUSE ORIGINAL HISTORIC LIGHT FIXTURE LOCATION WHERE POSSIBLE.
PATCH/REPAIR/RECONSTRUCT HISTORIC PLASTER CEILING TO BE CONSISTENT THROUGHOUT ROOM.

REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING FRIEZE AND CORNICE.
PATCH/REPAIR/RECONSTRUCT HISTORIC CEILING CORNICE TO BE CONTINUOUS AROUND ALL SIDES OF ROOM.
PRIME AND PAINT CORNICE.

REMOVE EXISTING PAINT AND DEBRIS FROM HISTORIC BRICK AND STONE TRIM.
REMOVE ALL WALL MOUNTED DEVICES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE.
PATCH/REPAIR HOLES IN HISTORIC BRICK.

CLEAN EXISTING HISTORIC CERAMIC FLOOR TILES AND GROUT. REPAIR GROUT WHERE NECESSARY.
PROTECT TILE FLOOR DURING CONSTRUCTION.



NEW HVAC CEILING SHROUD OVER BAR TO CONCEAL NEW MECHANICAL SYSTEM.
SHROUD CONSTRUCTED OF STAIN GRADE WOOD LUMBER AND WOOD VENEER PANELS. PAINTED METAL LOUVERS SURROUND THE SHROUD.

RESTORE HISTORIC METAL WINDOWS, BROKEN GLASS WINDOW PANE AND WINDOW OPERATORS.
PRIME AND PAINT WINDOW FRAMES, MUNTINS AND WINDOW OPERATORS.

NEW CIRCULAR BOTTLE SHELVING UNIT TO INCLUDE:
FRAMEWORK: DARK BRONZE
SHELVING: STAINLESS STEEL
LIGHTING: BACKLIT ACRYLIC CORE

NEW CENTRAL BAR TO INCLUDE:
BAR TOP: DEX INDUSTRIES, VENIZIA, SALT
BAR COUNTERTOP: CAMBRIA SOLID SURFACE
EXTERIOR BAR FACE: WOOD VENEER PANELS
INTERIOR BAR FACE: STAINLESS STEEL
INTERIOR BAR BASE CABINETS: STAINLESS STEEL
BAR FOOT RAIL: DARK BRONZE
BAR BASE: DARK BRONZE

MATERIAL KEYNOTES

GENERAL NOTES

G1 Summer Pavilion 1

G7 Summer Pavilion 2



SUMMER PAVILION INTERIOR FROM 2010



NEW DOWNLIGHT FIXTURE TYPICAL ALL CEILINGS:
HALO SMD6 UNV SERIES, 6" SQUARE UNIVERSAL VOLTAGE SURFACE MOUNT DOWNLIGHT
SMD6S12830WH
MATTE WHITE TRIM

PROVIDE \$2000.00 LIGHTING ALLOWANCE PER CEILING PENDANT FIXTURE.

EXISTING HISTORIC SCONCE FIXTURE REMAINING AT THIS LOCATION. PHOTOGRAPH FROM 2010 SHOWS THREE SCONCES IN SITU. VERIFY THE EXISTENCE OF OTHER HISTORIC SCONCES. REPLICATE HISTORIC SCONCE TO OUTFIT SPACE WITH A TOTAL OF EIGHT SCONCES.

LUMINII CONTINUOUS LED LIGHT FIXTURE UNDER BAR TOP.
CHANNEL: K45R ALUMINUM CHANNEL WITH BRONZE FINISH
LAMP: LineLED LLWD68 WARM DIM INTERIOR STRIP LIGHT

FURNISHINGS AND RUGS TO BE PROVIDED BY CLIENT



BACK BAR EQUIPMENT MANUFACTURER BASIS OF DESIGN
UNDERCOUNTER BAR SINKS: KROWNE
SODA GUN HOLDERS: KROWNE
UNDERCOUNTER REFRIGERATORS: KROWNE
UNDERCOUNTER ICE MAKERS: SCOTSMAN
COCKTAIL STATIONS: KROWNE
UNDERCOUNTER ICE BINS: KROWNE
UNDERCOUNTER SHELF BINS: KROWNE
ROLLING ICE BINS: REGENCY

BACK BAR EQUIPMENT QUANTITIES:
2 BAR SINKS
2 SODA GUN HOLDERS
2 UNDERCOUNTER REFRIGERATORS
2 UNDERCOUNTER DRINK CAN REFRIGERATORS
2 ICE MAKERS
2 COCKTAIL STATIONS
4 SPEED RAILS
4 UNDERCOUNTER ICE BINS
2 UNDERCOUNTER SHELF BINS
2 ROLLING ICE BINS

A1 Summer Pavilion 3

A7 Summer Pavilion 4

SHEET SPECIFIC NOTES

KEY PLAN

SEAL



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REVISION:

SHEET TITLE
SUMMER PAVILION RENOVATION

SCALE (UNO.)

JOB NAME
Galerie Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.
A743

NOT FOR CONSTRUCTION



REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC CEILING.
REMOVE ALL CEILING MOUNTED DEVICES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE.
PATCH/REPAIR/RECONSTRUCT HISTORIC PLASTER CEILING TO BE CONSISTENT THROUGHOUT ROOM.
PRIME AND PAINT CEILING.

REMOVE EXISTING LOOSE/PEELING PAINT FROM HISTORIC DECORATIVE CEILING CORNICE.
PATCH/REPAIR/RECONSTRUCT HISTORIC CEILING CORNICE AND DECORATION TO BE CONTINUOUS AROUND ALL SIDES OF ROOM.
PRIME AND PAINT CORNICE.

CONFIRM WALL COVERING PERIOD OF SIGNIFICANCE THROUGHOUT ROOM.
REMOVE ALL WALL MOUNTED DEVICES AND RETURN HISTORIC ELEMENTS TO OWNER FOR STORAGE.
REVIEW AREAS OF WALL PANELING AND/OR TRIM THAT CANNOT BE REPAIRED WITH OWNER AND ARCHITECT. READER LOOSE WALL TRIM AS NECESSARY.
REUSE EXISTING DEVICE LOCATIONS WHEREVER POSSIBLE TO MINIMIZE NEW PLASTER AND TRIM CUTS. COORDINATE THESE LOCATIONS WITH ARCHITECT AND ENGINEER.
PROTECT HISTORIC WALL TRIM DURING CONSTRUCTION.
PRIME AND PAINT WALL PLASTER AND WOOD TRIM.

ASSESS CONDITION OF EXISTING FLOORING.
PATCH/REPAIR AS NECESSARY FOR CONSISTENT LEVEL AND FINISH.
SAND/STAIN FLOOR TO MATCH ARCHITECT'S SAMPLE.
PROTECT FINISHED FLOOR DURING CONSTRUCTION.



FOCAL POINT LIGHTS SEEM 2 LED DIRECT LINEAR SURFACE MOUNT FIXTURES. CONFIGURATION TO BE RECTANGULAR WITH CUSTOM SIZE 8'-9" X 13'-3" LENGTHS.
FSM2LS-FL-1000LF-30K-1C-UNV-L11-SM-WH-105X159R

REUSE HISTORIC LOCATIONS FOR NEW SCONCE LIGHT FIXTURES.
PROVIDE \$800.00 LIGHTING ALLOWANCE PER SCONCE FIXTURE.

NEW ELEVATOR SURROUND CLAD WITH GRAPHIC WALLCOVERING. WALLCOVERING TO BE 4WALLS, LEVEL DIGITAL WALLCOVERINGS, CANVAS EMBOSSED VINYL, TYPE II, 20 OUNCE, CUSTOM ASA CANDLER JR. GRAPHIC ALL FOUR SIDES.

REPAIR HISTORIC PAINTED WOOD SHELVEING WHERE PARTITION WAS REMOVED.
SAND/PRIME/PAINT SHELF UNITS AND SURROUNDING CABINETS.

F1 Ballroom 1

F7 Ballroom 2



A1 Ballroom 3



DESIGN INTENT FOR NEW PAINT TREATMENTS THROUGHOUT ROOM:
BASE AND MOULDING TRIM: PAINT COLOR A
GENERAL WALLS: PAINT COLOR B
PANEL INSETS: PAINT COLOR C
COVE MOULDING BACKGROUND: PAINT COLOR D
COVE MOULDING RAISED DETAILING: PAINT COLOR E
CEILING PAINT: PAINT COLOR E

FURNISHINGS AND RUGS TO BE PROVIDED BY CLIENT

A7 Ballroom 4

MATERIAL KEYNOTES

GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

PROJECT NORTH



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REVISION:

SHEET TITLE
BALLROOM RENOVATION

SCALE (UNO.)

JOB NAME
Galene Living
CANDLER MANSION REHABILITATION
LOCATION
1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE
08/18/2023

JOB NO.
12169-00

DWG. NO.

A744

NOT FOR CONSTRUCTION



- NEW PAINTED GYPSUM BOARD CEILING
- NEW PAINT GRADE CORNICE MOULDING
- NEW DECORATIVE MIRROR WITH PAINTED WOOD MOULDING
- PROVIDE \$500.00 LIGHTING ALLOWANCE PER SCONCE FIXTURE.
- NEW WINDOW TREATMENTS AND ASSOCIATED HARDWARE. EACH WINDOW TO RECEIVE ROLLER SHADE AND PAIR OF SOLID WOOD SHUTTERS.
- BOBRICK B-39747 CLASSICSERIES® AUTOMATIC ROLL TOWEL DISPENSER/WASTE RECEPTACLE EQUIPPED WITH LED LIGHT
- HISTORIC MECHANICAL GRILLES TO BE REPAIRED AND CLEANED
- BRADLEY CORPORATION, VERGE COORDINATED SOAP DISPENSER AND FAUCET SET - METRO SERIES, POLISHED CHROME, P15-PC
- AMERICAN STANDARD STUDIO UNDER COUNTER SINK, O61400.020, WHITE
- COUNTER TOP, SPLASH, TURN DOWN, LEGS: CAMBRIA, CLASSIC SERIES, WHITEHALL,
- WILSONART, SAFI KASBAH, Y0176, 60 MATTE FINISH

F7 Toilet Room 1



- FOCAL POINT DOWNLIGHT ID+ 2.5'X2.5'
- BRADLEY CORPORATION, PHENOLIC PRIVACY PARTITION, CEILING HUNG, SERIES 600, MISSION WHITE, 933
ADD ALTERNATE:
BRADLEY CORPORATION, EURO STYLE PARTITIONS, LOFT SERIES, WHITE 10140
- WALLCOVERING: HOUSE OF HACKNEY, FLORA FANTASIA, VERDIGRIS
- BOBRICK, KOALA KARE, KB111-SSRE VERTICAL RECESSED MOUNTED BABY CHANGING STATION, BRUSHED STAINLESS STEEL FINISH
- WALL TILE: TILEBAR, PORTMORE, 4X4, WHITE
- BASE TILE: TILEBAR, PORTMORE, 4X4, AQUA
- FLOOR TILE:
DAL TILE KEYSTONES PATTERN: DP2033
TILE 1: D617 ARTIC WHITE
TILE 2: D148 SPA
TILE 3: D192 AEGEAN

A7 Toilet Room 2

MATERIAL KEYNOTES

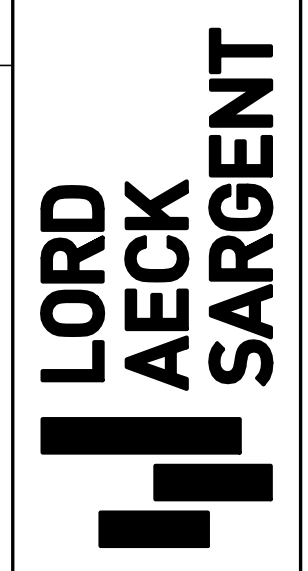
GENERAL NOTES

SHEET SPECIFIC NOTES

KEY PLAN

SEAL

PROJECT NORTH



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REVISION:

SHEET TITLE

PUBLIC RESTROOMS

SCALE (UNO.)

JOB NAME

Galerie Living

CANDLER MANSION REHABILITATION

LOCATION

1256 Briarcliff Road, NE
Atlanta, GA 30306

ISSUE DATE

08/18/2023

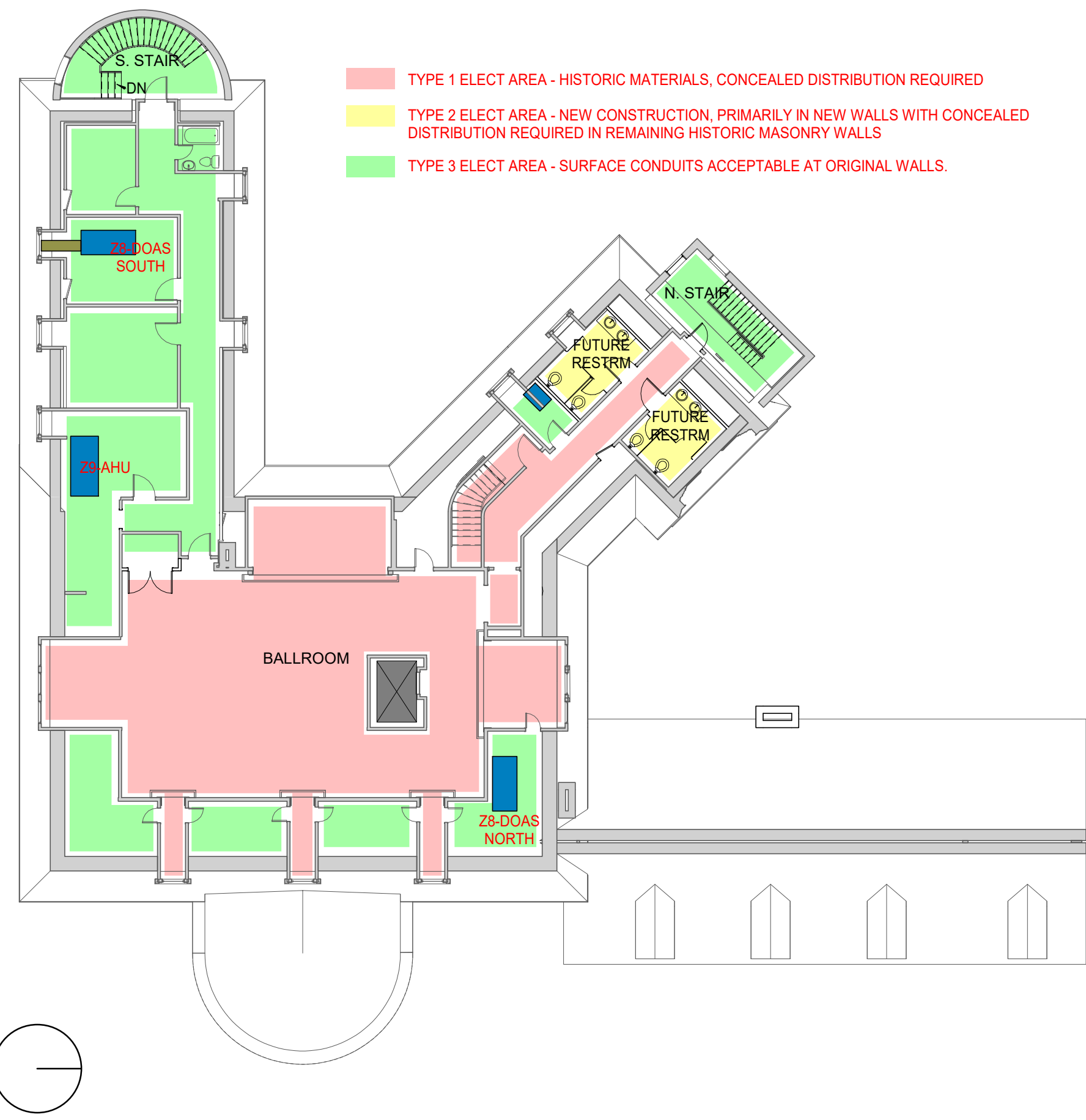
JOB NO.

12169-00

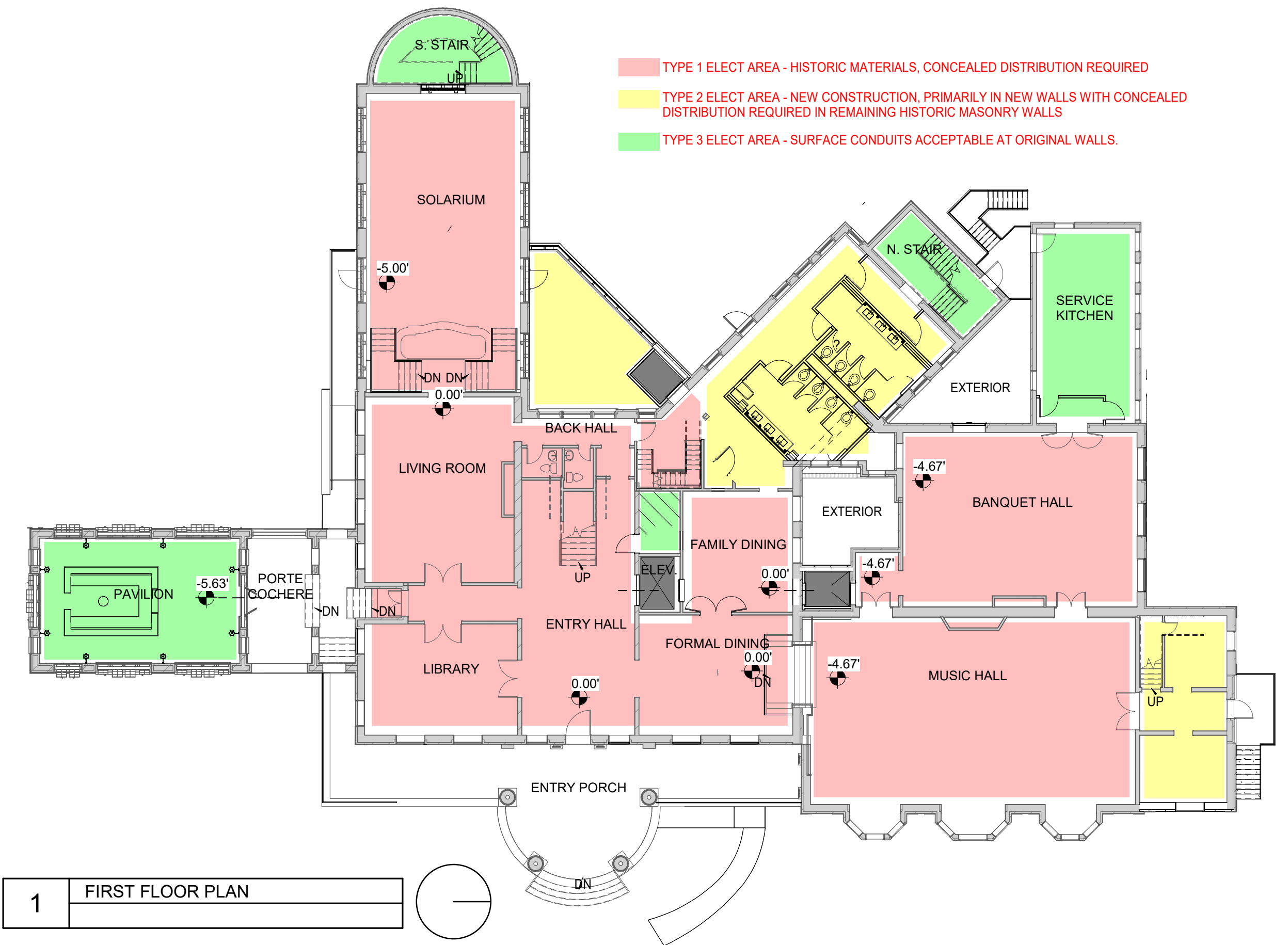
DWG. NO.

A745

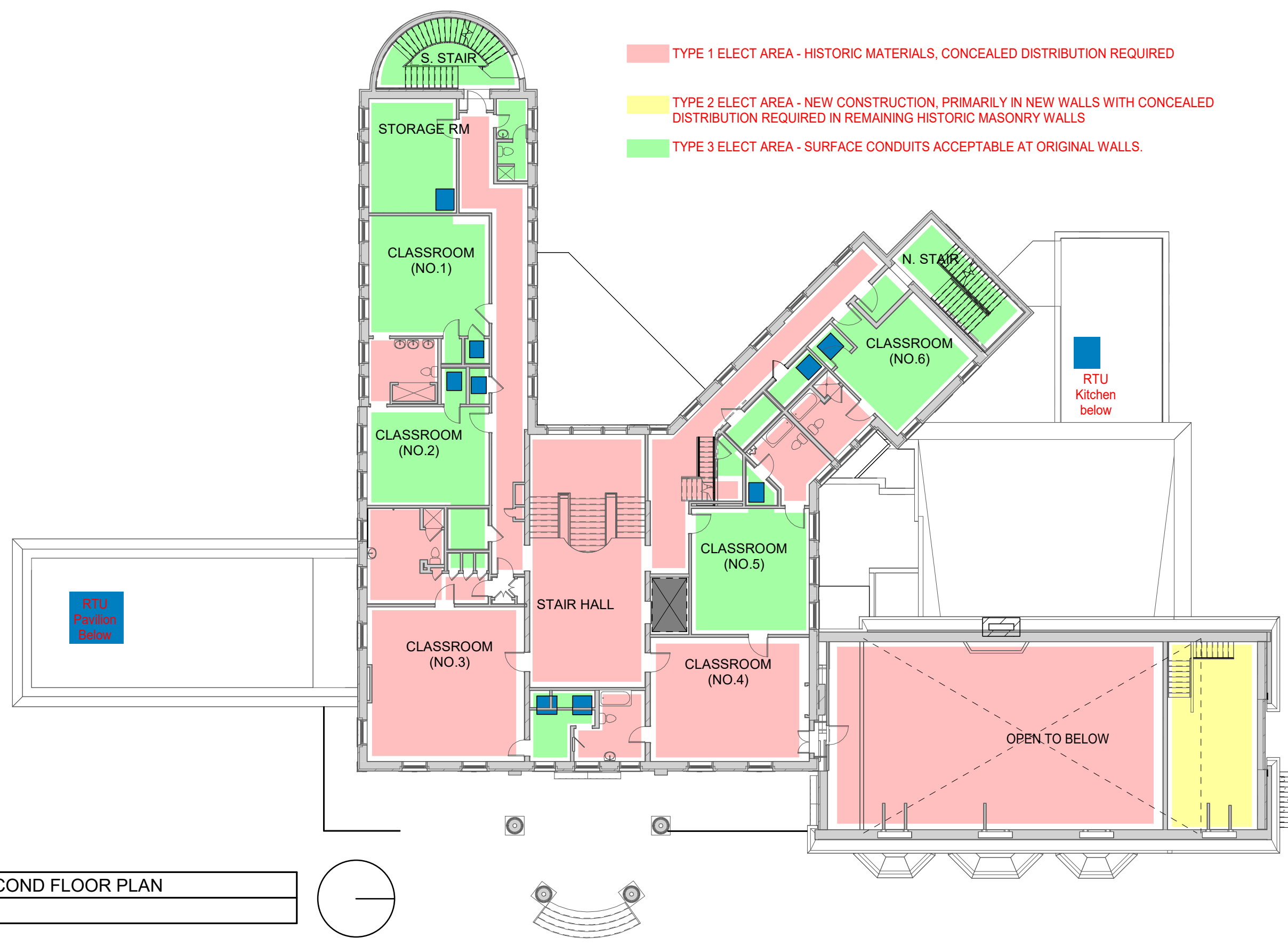
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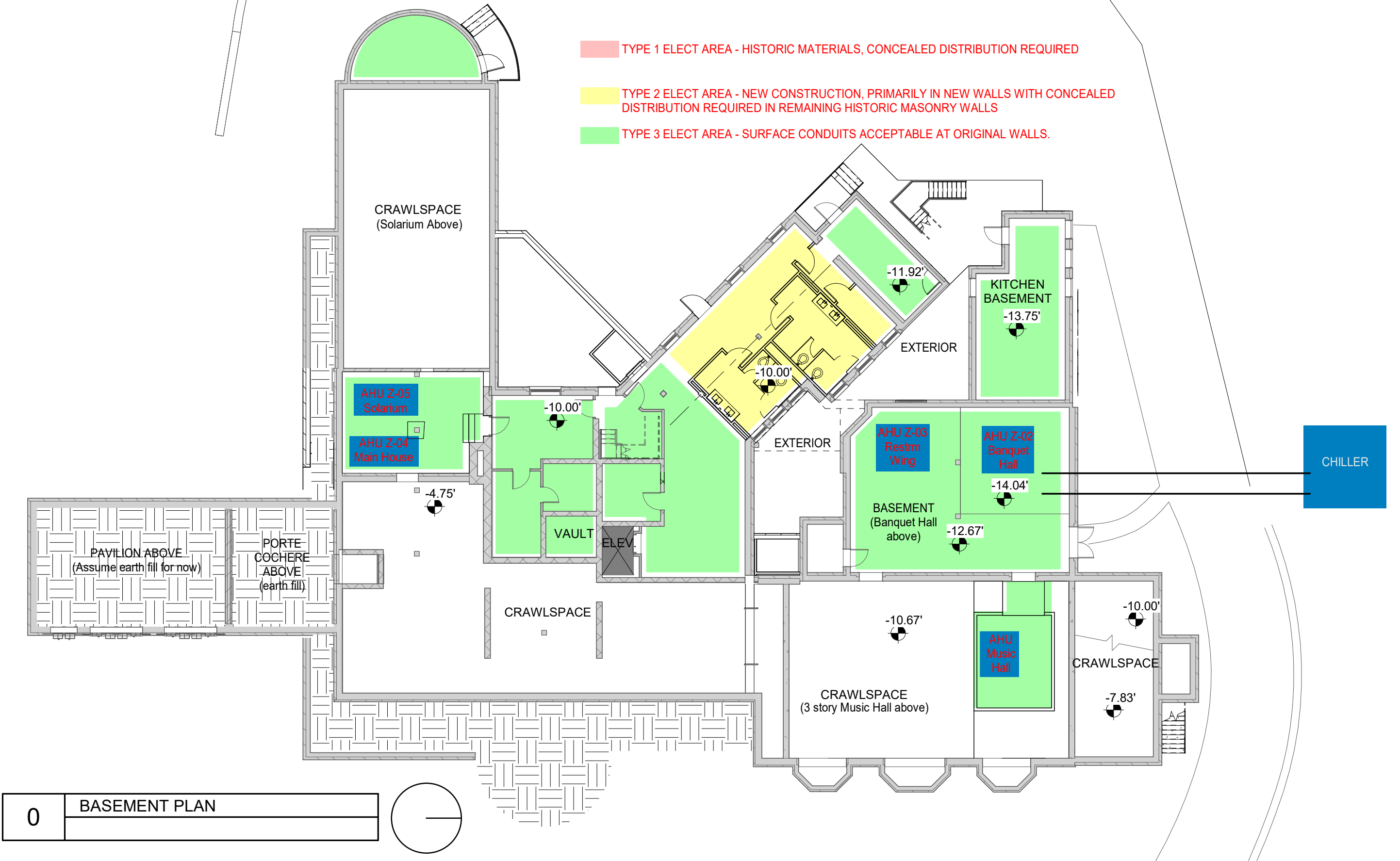
3 THIRD FLOOR PLAN



1 FIRST FLOOR PLAN



2 SECOND FLOOR PLAN



0 BASEMENT PLAN

ELECT DIAGRAMS - DISTRIBUTION

CANDLER MANSION REHABILITATION

1256 Briarcliff Road, NE
 Atlanta, GA 30306
 07/08/23
 LAS #12169-00



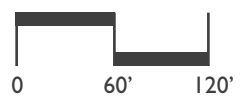


UNIVERSITY DRIVE

HISTORIC POOL
OLD BUILDING FOUNDATION

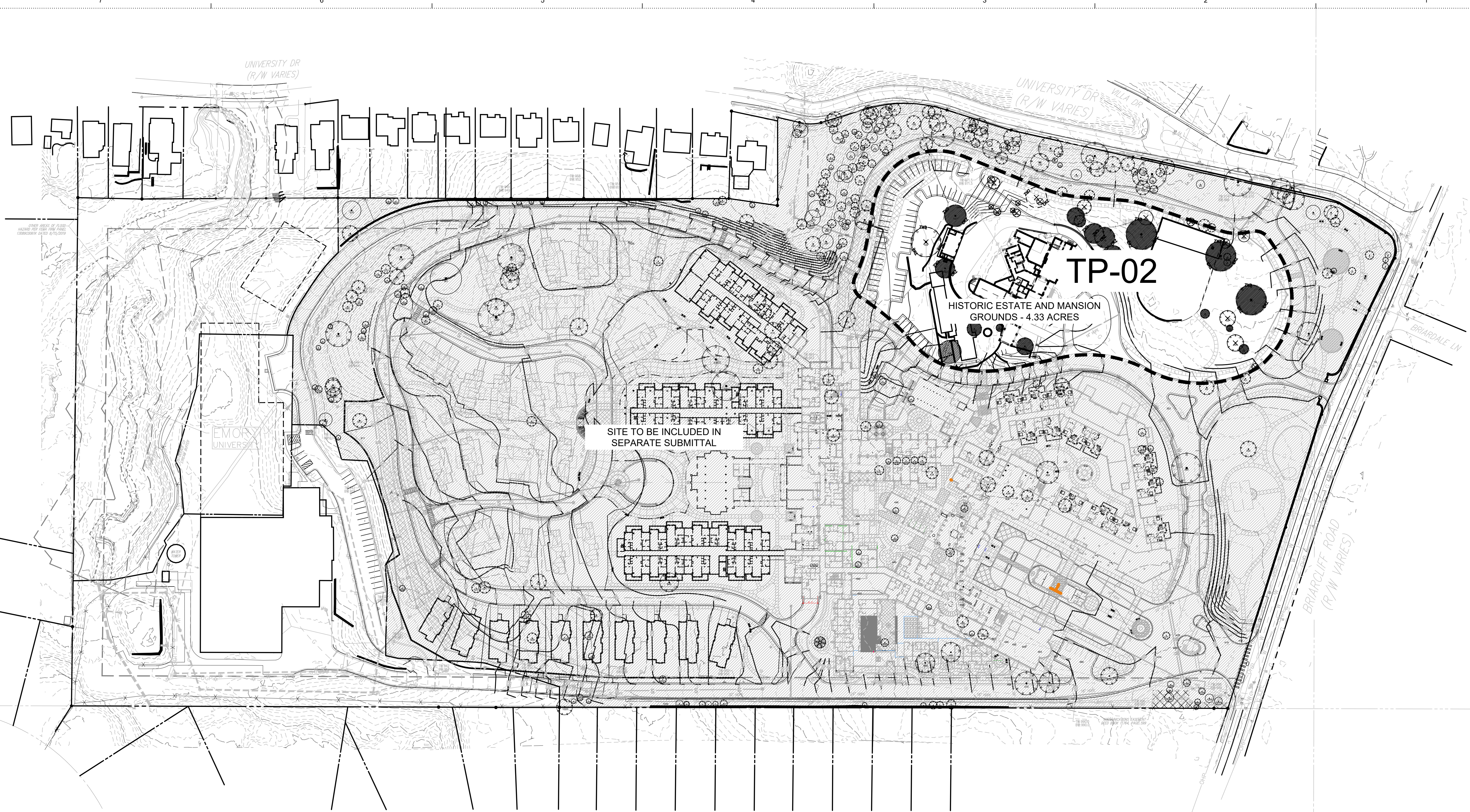
EXISTING TREE
GREENHOUSE
POND
PROPOSED TREE

BRIARCLIFF RD

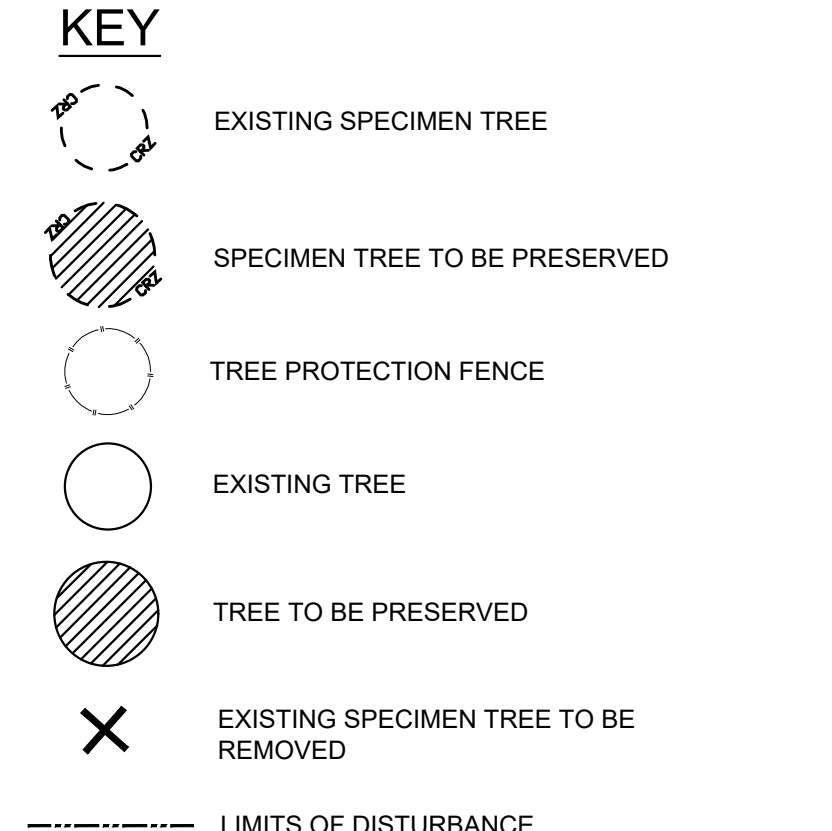


Atlanta, GA
January 19, 2024

CORSO DRUID HILLS
MANSION AND HISTORIC GROUNDS SITE PLAN



- NOTE:**
1. SIZE OF TREE SYMBOL DIRECTLY REFLECTS CRITICAL ROOT ZONE AREA
 2. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
 3. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
 4. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED FOR REPLACED AS NEEDED.
 5. LANDSCAPING IS INSTALLED.
 6. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES TO OCCUR WITHIN TREE PROTECTION AREAS OR WITHIN SIX (6) FEET OF THE CRZ.
 7. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER DATE OF FINAL INSPECTION.



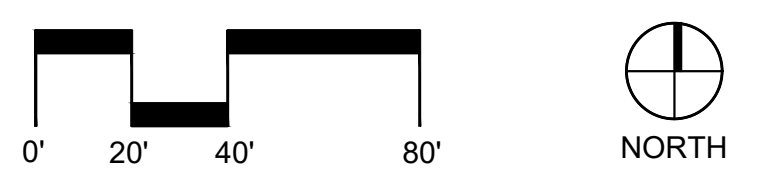
TREE PRESERVATION REQUIREMENTS

- LIMITS OF WORK AREA: 4.33 ACRES
 - REQUIRED PRESERVATION OF SIGNIFICANT TREES: 3,362.4 INCHES (DBH)*
 - INCHES (DBH) OF SIGNIFICANT TREES PRESERVED: 3,191 INCHES
- (*BASED ON DEKALB CO. STANDARD IF SIGNIFICANT TREES EXIST, EITHER 120 INCHES (DBH) PER ACRE OR 25% OF EXISTING SIGNIFICANT TREES PER AREA, WHICHEVER IS LESS, SHALL BE PRESERVED.)

TREE REPLACEMENT REQUIREMENTS



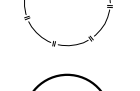
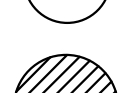
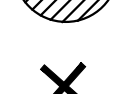
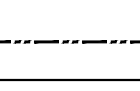

- LIMITS OF WORK AREA: 28.02 ACRES
 - REQUIRED: MINIMUM 30 TOTAL SITE DENSITY FACTOR
 - PROPOSED TOTAL SITE DENSITY FACTOR: 91.2
- (*BASED ON DEKALB CO. STANDARD OF TOTAL SITE DENSITY FACTOR TO EQUAL NO LESS THAN 30 DENSITY UNITS PER ACRE ON NON-RESIDENTIAL DEVELOPMENT.)

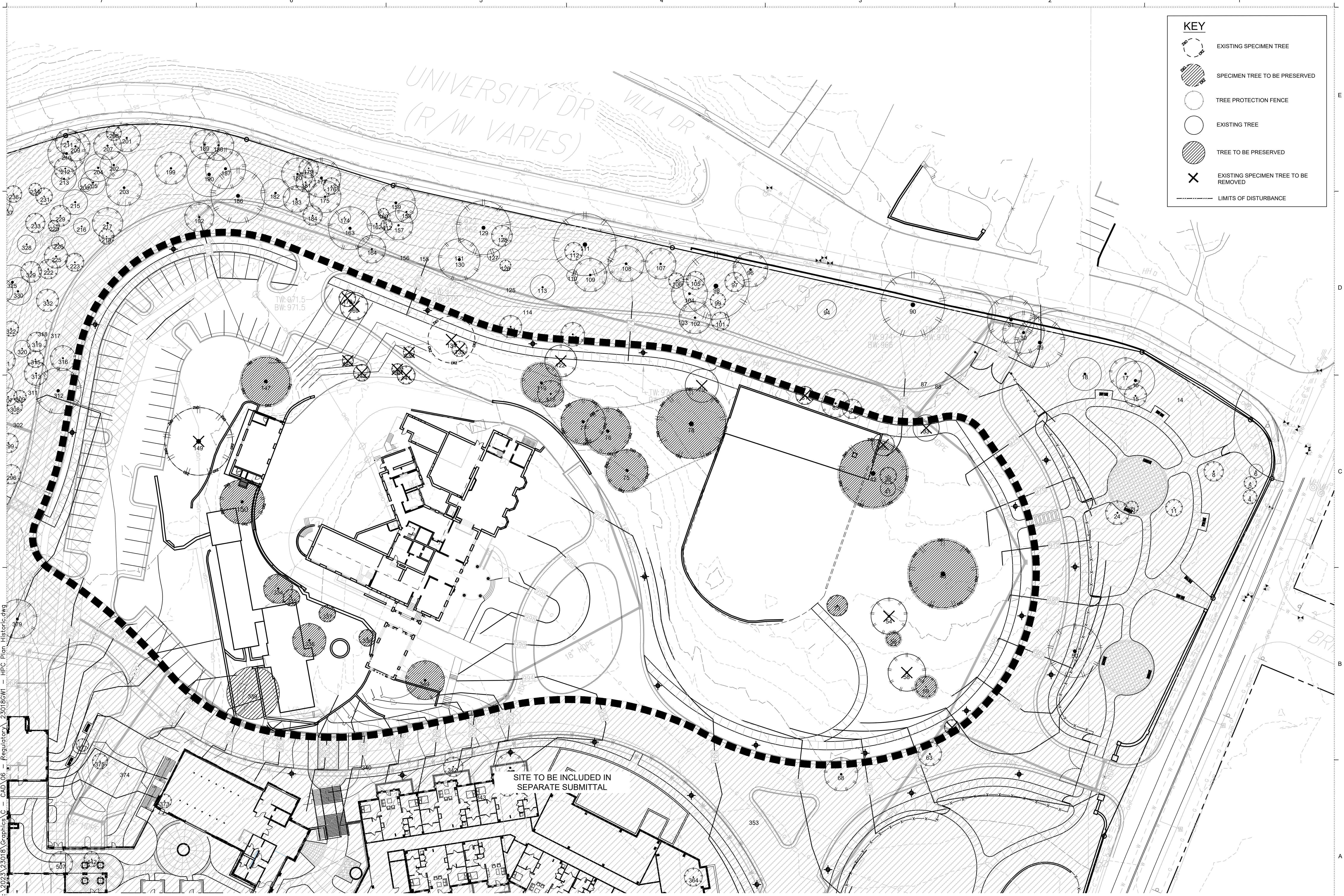
A **TREE PROTECTION KEY PLAN**
 TP-01 SCALE: 1" = 80'-0"



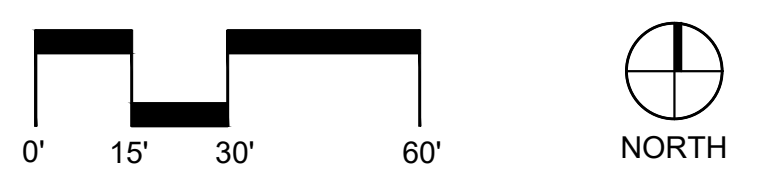
Last modified on 01/19/24 by M.EFFCOAT
 File located in S:\2023\23018\Graphics\CAD\CAD\06 - Regulatory\2301801.dwg - HPC_Plan_Historic.dwg

KEY

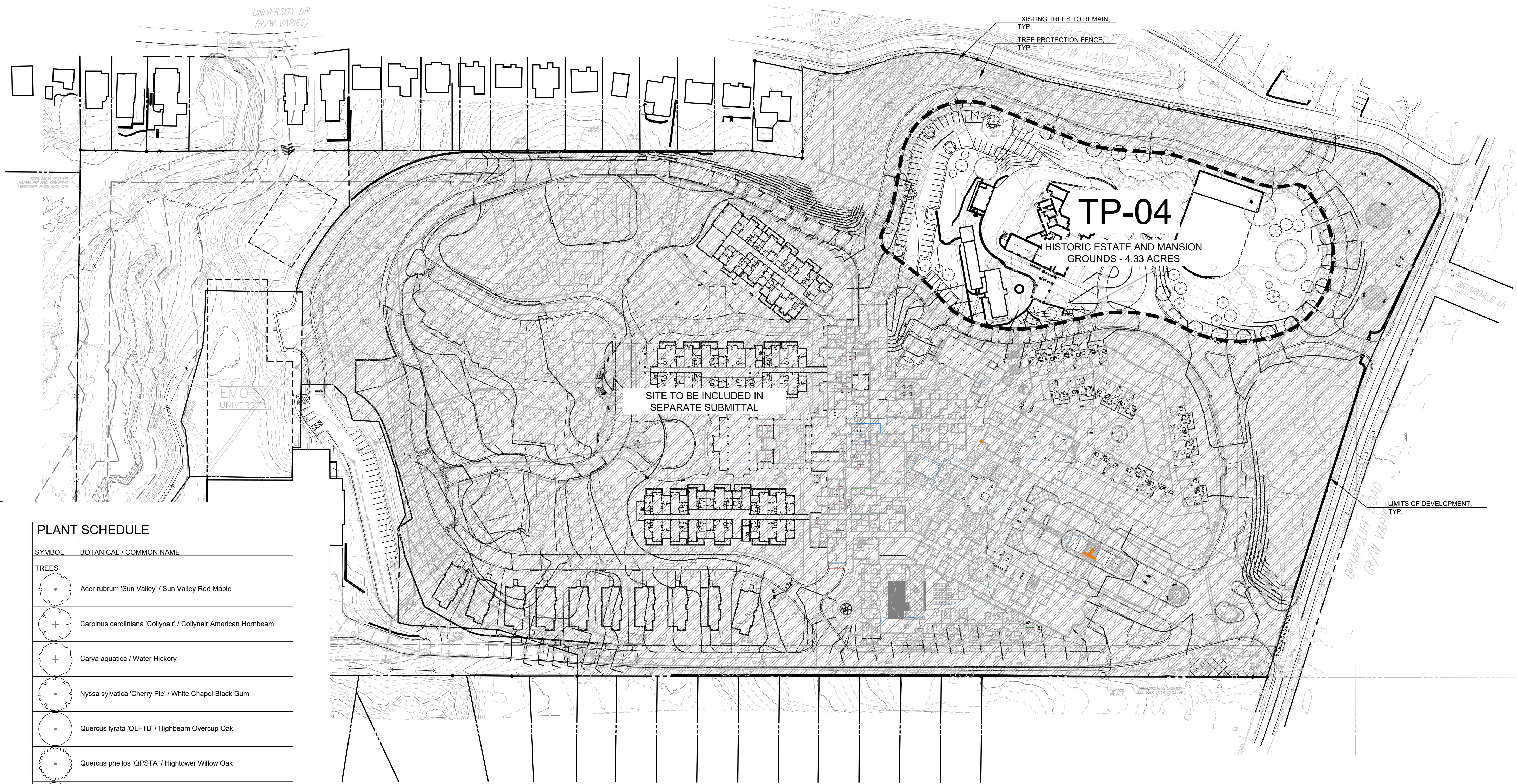
-  EXISTING SPECIMEN TREE
-  SPECIMEN TREE TO BE PRESERVED
-  TREE PROTECTION FENCE
-  EXISTING TREE
-  TREE TO BE PRESERVED
-  EXISTING SPECIMEN TREE TO BE REMOVED
-  LIMITS OF DISTURBANCE



A TREE PROTECTION PLAN
TP-02 SCALE: 1" = 30'-0"



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File located in S:\2023\23018\Graphics\CAD\06 - Regulatory\2301806WI - HPC Plan_Historic.dwg



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
TREES	
	Acer rubrum 'Sun Valley' / Sun Valley Red Maple
	Carpinus caroliniana 'Collinair' / Collinair American Hornbeam
	Carya aquatica / Water Hickory
	Nyssa sylvatica 'Cherry Pie' / White Chapel Black Gum
	Quercus lyrata 'QLFTB' / Highbeam Overcup Oak
	Quercus phellos 'QPSTA' / Hightower Willow Oak
	Quercus x 'Long' / Regal Prince Oak
	Tilia americana 'Continental Appeal' / Continental American Linden
	Ulmus alata 'UAMTF' / Kalysta Winged Elm
	Ulmus americana 'Eisenhower' / Eisenhower American Elm

TREE PRESERVATION REQUIREMENTS

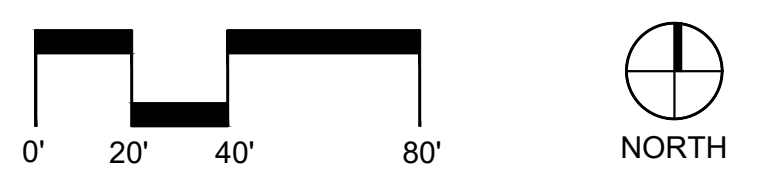
- LIMITS OF WORK AREA: 28.02 ACRES
- REQUIRED PRESERVATION OF SIGNIFICANT TREES: 519.6 INCHES (DBH)*
- INCHES (DBH) OF SIGNIFICANT TREES PRESERVED: 552 INCHES + PROPOSED DBH 1,691

(*BASED ON DEKALB CO. STANDARD IF SIGNIFICANT TREES EXIST, EITHER 120 INCHES (DBH) PER ACRE OR 25% OF EXISTING SIGNIFICANT TREES PER AREA, WHICHEVER IS LESS, SHALL BE PRESERVED.)

TREE REPLACEMENT REQUIREMENTS

- LIMITS OF WORK AREA: 28.02 ACRES
- REQUIRED: MINIMUM OF 30 DENSITY UNITS PER ACRE
- PROPOSED MINIMUM TOTAL SITE DENSITY: 129.9 DENSITY UNITS

(*BASED ON DEKALB CO. STANDARD OF TOTAL SITE DENSITY FACTOR TO EQUAL NO LESS THAN 30 DENSITY UNITS PER ACRE ON NON-RESIDENTIAL DEVELOPMENT.)



A TREE REPLACEMENT KEY PLAN
 TP-03 SCALE: 1" = 80'-0"

Last modified on 01/19/24 by M.EFFCOAT
 File located in: S:\2023\23018\Graphics\CAD\06 - Regulatory\2301860W - HFC_Plan_Historic.dwg

CORSO DRUID HILLS

ATLANTA, GA

HKS
 350 N SAINT PAUL STREET
 SUITE 100
 DALLAS, TX 75201

PROJECT NO:
 23018

ISSUE AND DATE:
 DESIGN DEVELOPMENT
 January 19, 2024

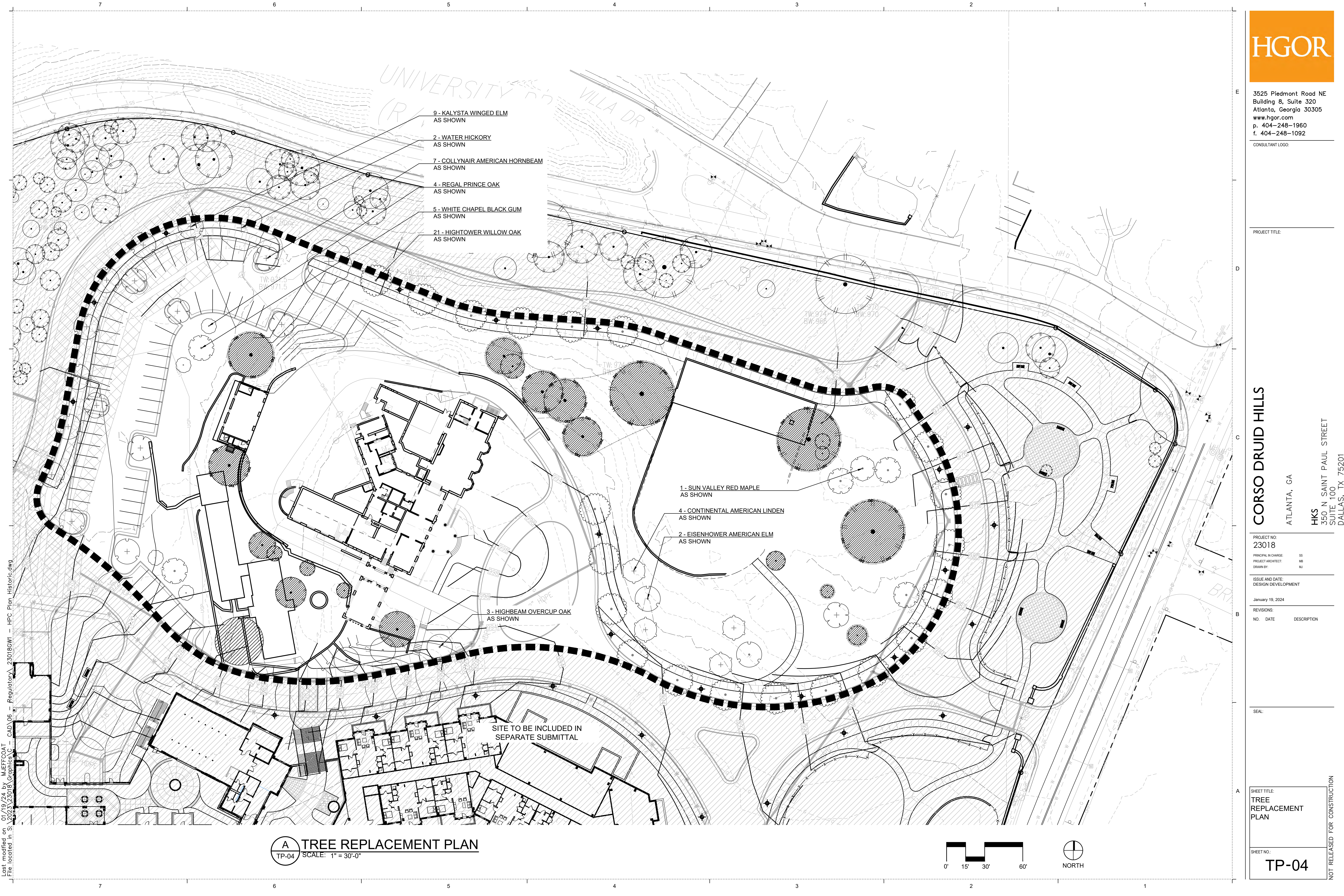
REVISIONS:		
NO.	DATE	DESCRIPTION

SEAL:

SHEET TITLE:
 TREE REPLACEMENT PLAN

SHEET NO:
 TP-04

NOT RELEASED FOR CONSTRUCTION



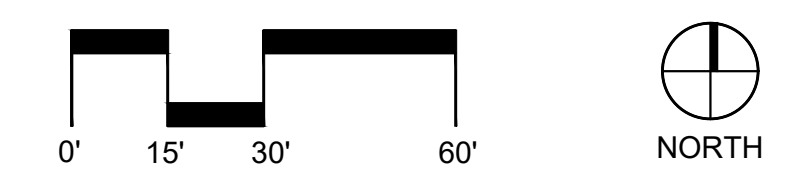
- 9 - KALYSTA WINGED ELM
AS SHOWN
- 2 - WATER HICKORY
AS SHOWN
- 7 - COLLYNAIR AMERICAN HORNBEAM
AS SHOWN
- 4 - REGAL PRINCE OAK
AS SHOWN
- 5 - WHITE CHAPEL BLACK GUM
AS SHOWN
- 21 - HIGHTOWER WILLOW OAK
AS SHOWN

- 1 - SUN VALLEY RED MAPLE
AS SHOWN
- 4 - CONTINENTAL AMERICAN LINDEN
AS SHOWN
- 2 - EISENHOWER AMERICAN ELM
AS SHOWN

3 - HIGHBEAM OVERCUP OAK
AS SHOWN

SITE TO BE INCLUDED IN
 SEPARATE SUBMITTAL

A TREE REPLACEMENT PLAN
 TP-04 SCALE: 1" = 30'-0"



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 File located in S:\2023\23018\Graphics\CAD\06 - Regulatory\2301806WI - HPC Plan_Historic.dwg

EXISTING TREE DATA			
Hardwoods			
QTY.	DBH(IN.)	UNITS EA.	TOTAL UNITS
6	10-12"	3.20	19.20
2	13-15"	4.00	8.00
2	19-21"	5.40	10.80
1	22-24"	6.00	6.00
2	28"	8.60	17.20
1	30"	9.80	9.80
2	32" *	11.20	22.40
1	33" *	11.80	11.80
1	35" *	13.40	13.40
1	38" *	15.80	15.80
1	49" *	26.20	26.20
1	50" *	27.20	27.20

* Specimen trees
TOTAL CREDITS FROM EXISTING HARDWOOD TREES 187.80

Pines			
QTY.	DBH(IN.)	UNITS EA.	TOTAL UNITS
1	34" *	12.60	12.60

* Specimen trees
TOTAL CREDITS FROM EXISTING EVERGREEN TREES 12.60

DENSITY UNIT CALCULATION		
Acres	Density Unit	TOTAL
4.33	30	129.9
TOTAL CREDITS FROM EXISTING TREES		200.40
Requirement Met:		Yes

EXISTING SIGNIFICANT TREE PRESERVATION

EX. QTY.	DBH(IN.)	25% REQUIRED	TREES TO REMAIN
3	8-9"	0.75	0
10	10-12"	2.50	6
4	13-15"	1.00	2
1	16-18"	0.25	0
4	19-21"	1.00	2
3	22-24"	0.75	1
1	26"	0.25	0
1	27"	0.25	0
2	28"	0.50	2
1	30" *	0.25	1
2	32" *	0.50	2
1	33" *	0.25	1
2	34" *	0.50	1
1	35" *	0.25	1
1	38" *	0.25	1
2	49" *	0.50	1
1	50" *	0.25	1
* Specimen trees		TOTAL DBH	886.00
		REMOVED DBH	334.00
		REMAINING DBH	552.00

DBH REQUIREMENT			
Site Acreage	Required	Minimum Required Site DBH	Minimum Proposed DBH:
4.33	120 DBH/acre	519.6	0

PROPOSED PRESERVATION OF EXISTING SIGNIFICANT TREES SATISFIES REQUIREMENT TO PRESERVE 25% OF SIGNIFICANT TREES

TOTAL EXISTING TREES ON SITE: 40 TREES
 SITE ACREAGE: 4.33 ACRES

40 TREES / 4.33 ACRES = 9.23 EXISTING TREES/ACRE

EXISTING TREES/ACRE (9.23) X 25% = REQUIRED SIGNIFICANT TREES TO BE SAVED PER ACRE

EXISTING TREES/ACRE (9.23) X 25% = 2.30 TREES/ACRE

TOTAL REQUIRED TREES = 2.30 X 4.33 ACRES = **10 TREES**
 SIGNIFICANT TREES PROPOSED TO REMAIN: **22 TREES (SATISFIES REQUIREMENT)**

Specimen Tree Recompense

Specimen Trees Removed or Impacted	DBH	x1.5	Total Replacement
1	34		51
1	49		73.5
Total Replacement Needed (in inches)			124.5

REPLACEMENT TREE SCHEDULE

SPECIES %	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	COMMENT	INCHES	
1.7%	1	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	3-3.5"	14-16'	7-8'	B&B	Single straight trunk; dense, uniform branching; single central leader	3	
12.1%	7	Carpinus caroliniana 'Collynair'	Collynair American Hornbeam	4-4.5"	18-20'	6-7'	B&B	Single straight trunk; branching begins above 5'; dense branching	28	
3.4%	2	Carya aquatica	Walter Hickory	4-4.5"	18-20'	8-10'	B&B	Straight trunk; 7' clear trunk; dense branching; one central leader	8	
8.6%	5	Nyssa sylvatica 'Cherry Pie'	White Chapel Black Gum	3-3.5"	14-16'	7-8'	B&B	Single straight trunk; dense branching begins above 6'; central leader	15	
5.2%	3	Quercus lyrata 'QLFTB'	Highbeam Overcup Oak	5-5.5"	22-24'	10-12'	B&B	Single straight trunk; dense branching begins above 6'; central leader	15	
36.2%	21	Quercus phellos 'QPSTA'	Hightower Willow Oak	5.5-6"	24-28'	12-14'	B&B	Single straight trunk; dense branching begins above 6'; central leader	126	
8.9%	4	Quercus x 'Long'	Regal Pinced Oak	4-4.5"	18-19'	5-6'	B&B	Single straight trunk; branching begins above 5'; dense branching	16	
6.9%	4	Tilia americana 'Continental Appeal'	Continental Appeal Linden	3-3.5"	12-14'	5-6'	B&B	Single straight trunk; branching begins above 5'; dense branching	12	
15.5%	9	Ulmus alata 'UAMTF'	Kalysia Winged Elm	5-5.5"	22-24'	8-10'	B&B	Straight trunk; 7' clear trunk; dense branching; one central leader	45	
3.4%	2	Ulmus americana 'Eisenhower'	Eisenhower American Elm	4-4.5"	20-22'	8-10'	B&B	Straight trunk; 7' clear trunk; dense branching; one central leader	8	
									PROVIDED	276
									REQUIRED	124.5

NOTE:
 REPLACEMENT UNITS REQUIRED (IN INCHES): 124.5
 REPLACEMENT UNITS PROVIDED (IN INCHES): **276 (SATISFIES REQUIREMENT)**



3525 Piedmont Road NE
 Building 8, Suite 320
 Atlanta, Georgia 30305
 www.hgor.com
 p. 404-248-1960
 f. 404-248-1092

CONSULTANT LOGO:

PROJECT TITLE:

CORSO DRUID HILLS
 ATLANTA, GA
HKS
 350 N SAINT PAUL STREET
 SUITE 100
 DALLAS, TX 75201

PROJECT NO:
23018
 PRINCIPAL IN CHARGE: SS
 PROJECT ARCHITECT: MB
 DRAWN BY: NU

ISSUE AND DATE:
 DESIGN DEVELOPMENT

January 19, 2024

REVISIONS:
 NO. DATE DESCRIPTION

SEAL:

SHEET TITLE:
TREE CALCULATIONS

SHEET NO.:
TP-05

NOT RELEASED FOR CONSTRUCTION

From: [Karen Gravel](#)
To: [Wells, Debora M](#)
Cc: [Bragg, Rachel L.](#); [Paige V. Jennings](#); [Craig Wertz](#); kelly@galerieliving.com
Subject: RE: Historic Preservation Sign Template and Instructions - 1256 Briarcliff Road
Date: Monday, March 4, 2024 7:56:13 PM
Attachments: [image002.png](#)

Hi Deborah,
I think we'll need to defer on the Mansion again.
Thank you,
Karen

Karen M. Gravel, AIA

Principal & Director of Historic Preservation, LEED AP

D: 404 253 6703 | C: 404 786 3540

LordAeckSargent.com

From: Wells, Debora M <dmwells@dekalbcountyga.gov>
Sent: Monday, March 4, 2024 7:46 PM
To: Karen Gravel <Karen.Gravel@lordaecksargent.com>
Cc: Bragg, Rachel L. <RLBragg@dekalbcountyga.gov>; Paige V. Jennings <pvjennings@dekalbcountyga.gov>
Subject: Historic Preservation Sign Template and Instructions - 1256 Briarcliff Road

You don't often get email from dmwells@dekalbcountyga.gov. [Learn why this is important](#)

Good Morning

This correspondence pertains to the sign posting requirements for your upcoming Historic Preservation Committee (HPC) case. For an effective public notification, please follow these instructions to ensure proper sign posting:

1. The signs can be ordered from a sign company of your choice using the attached template and instructions.
2. Post your sign no later than **March 8, 2024**, ensuring it's positioned for clear visibility to cars approaching from each direction, not merely facing the street.
3. One sign should be posted for each street frontage of your property. If your property fronts on two streets, then two signs are required, and so on.
4. Once the sign is posted, please send a photo as documentation to our planning staff.

Your application is scheduled for review during the **HPC Meeting March 18, 2024, at 6:00 pm via Zoom**. As a reminder, it is mandatory for the

applicant or their representative to attend the meeting. During the session, you will have the opportunity to present your case, respond to any questions from the HPC, and listen to public comments.

Meeting Details

Date: March 18, 2024

Time: 6:00 PM

Location: Zoom (see attached agenda for link)

Should you have any questions or need further assistance regarding sign posting or any other aspect of the process, please do not hesitate to contact us. We are here to support you throughout this process.

Thank You!



Government Services Center
178 Sams Street
Building A, Third Floor
Decatur, GA 30030

Debra M. Wells

Administrative Specialist
Office Management
Planning & Sustainability
Current Planning Division
dmwells@dekalbcountyga.gov
404-371-6267



DeKalbCountyGa.gov/planning

From: [Karen Gravel](#)
To: [Wells, Debora M](#); [Craig Wertz](#); kelly@galerieliving.com
Cc: [Paige V. Jennings](#); [Bragg, Rachel L.](#)
Subject: RE: Historic Preservation Sign Template and Instructions - 1256 Briarcliff Road #1246710
Date: Tuesday, April 2, 2024 11:56:57 AM
Attachments: [image002.png](#)

Hi Debora, Paige,
We will defer this month, too, please, on the Mansion.

Thank you,
Karen

Karen M. Gravel, AIA

Principal & Director of Historic Preservation, LEED AP
D: 404 253 6703 | C: 404 786 3540
LordAeckSargent.com

From: Wells, Debora M <dmwells@dekalbcountyga.gov>
Sent: Tuesday, April 2, 2024 11:52 AM
To: Karen Gravel <Karen.Gravel@lordaecksargent.com>
Cc: Paige V. Jennings <pvjennings@dekalbcountyga.gov>; Bragg, Rachel L. <RLBragg@dekalbcountyga.gov>
Subject: Historic Preservation Sign Template and Instructions - 1256 Briarcliff Road #1246710

You don't often get email from dmwells@dekalbcountyga.gov. [Learn why this is important](#)

Good Morning

This correspondence pertains to the sign posting requirements for your upcoming Historic Preservation Committee (HPC) case. For an effective public notification, please follow these instructions to ensure proper sign posting:

1. The signs can be ordered from a sign company of your choice using the attached template and instructions.
2. Post your sign no later than **April 5, 2024**, ensuring it's positioned for clear visibility to cars approaching from each direction, not merely facing the street.
3. One sign should be posted for each street frontage of your property. If your property fronts on two streets, then two signs are required, and so on.
4. Once the sign is posted, please send a photo as documentation to our planning staff.

5. **If your application has been deferred from a previous meeting**, you may update your existing sign with a sharpie to reflect the new meeting date and other pertinent information. After making these necessary updates, send pictures of the updated sign back to our staff for documentation purposes (new sign template attached)

Your application is scheduled for review during the **HPC Meeting April 15, 2024, at 6:00 pm via Zoom**. As a reminder, it is mandatory for the applicant or their representative to attend the meeting. During the session, you will have the opportunity to present your case, respond to any questions from the HPC, and listen to public comments.

Meeting Details

Date: April 15, 2024

Time: 6:00 PM

Location: Zoom (see attached agenda for link)

Should you have any questions or need further assistance regarding sign posting or any other aspect of the process, please do not hesitate to contact us. We are here to support you throughout this process.

Thank You!

DeKalb County
GEORGIA

Government Services Center
178 Sams Street
Building A, Third Floor
Decatur, GA 30030

Debora M. Wells

Administrative Specialist
Office Management
Planning & Sustainability
Current Planning Division
dmwells@dekalbcountyga.gov
404-371-6267

DeKalbCountyGa.gov/planning