DeKalb County Historic Preservation Commission

Monday, April 15th, 2024- 6:00 P.M.

Staff Report

Consent Agenda

D. 1781 Dyson Drive, Nichelle Bell. Demolish and construct porch on rear of nonhistoric home. **1246962.**

Built in 1951 (18 004 08 012)

This property is located in the Chelsea Heights Character Area and is not located in a National Register Historic District.

Summary

Applicant proposes demolishing and constructing a nonhistoric porch on the rear of a corner-lot property. The new porch will be a 312 square feet enclosed wood porch, constructed with wood columns on concrete footers and with an asphalt-shingle roof to match the roofing on the house. The porch will be enclosed with wood railing and screen panels between wood columns, with a screen door opening onto stairs leading to the backyard. The wood stairs will be constructed from wood with a concrete pad installed at the base of the bottom step.

Recommendation

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 Design Review Objective (p45) When making a material change to a structure that is in view from a public right-ofway, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 6.1.3 Entrances and Porches (p53) <u>Guideline</u> Original porches and steps should be retained. Repair of porches should not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless they are seriously deteriorated. If replacement materials must be introduced, the new should match the old in design, color, texture, and, where possible, materials. Replacement of missing features should be substantiated, if possible, by documentary and physical evidence.
- 6.1.3 Entrances and Porches (p53) <u>Guideline</u> The enclosure of front porches and side porches visible from a right-of-way should utilize transparent materials, such as screen or glass, which will help maintain the original open character of the design.
- 11.0 Nonhistoric Properties (p93) <u>Guideline</u> In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.



Development Services Center 178 Sams Street Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director Cedric Hudson

Application for Certificate of Appropriateness

Applicant: Nichelle Bell Applicant Mailing Address: P.O. Bo Applicant Phone: 678-900-4772 Applicant's relationship to the owner: Ov			_{Е-Маіl:} <u>р</u> ta, GA 30310	aati 1968	s@gmail.com	
Applicant Phone: 678-900-4772	x 115404	, Atlan	ta, GA 30310			
Applicant's relationship to the owner: Ov						
inpproduct relationship to the owner.	wner	Archite	ct Contract	or/Builder	Other	
**********	******	*****	********	*****	*******	
Owner(s): Kathryn Moore		I	Email: moorek21	40@gm	ail.com	
Owner(s):		I	Email:			
Owner(s) Mailing Address: 1781 Dys	son Drive	, Deca	tur, GA 30030			
Owner(s) Telephone Number: 678-35	57-9781				_	
Approximate date of construction of the p	rimary structur	e on the p	roperty and any other s	structures aff	ected by this project: $\frac{04/2}{2}$:024
Nature of work (check all that apply):	w construction	П	New Accessory Building		Other Building Changes	П
Den	nolition		Landscaping		Other Environmental Changes	
Add	lition	<u></u>	Fence/Wall		Other	
Description of Work:	ving a Building		Sign Installation			
Demolition of existing wood de	ck with stai	rs, cons	struction of new	screen p	orch with stairs	

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

N	i c G	elle	Ro	00

Signature of Applicant:



Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is $\underline{\mathbf{not}}$ the owner of the property.

I/We: Kathryn Moore	
being owner(s) of the property at: 1781 Dys	son Drive, Decatur, GA 30030
hereby delegate authority to: Nichelle Be	
to file an application for a certificate of appropriaten	
Signature of O	owner(s):
03 / 0 Date:	04 / 2024

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



How to Obtain a Certificate of Appropriateness

- 1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at https://www.dekalbcountyga.gov/planning-and-sustainability/forms.
- 2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
- 3. The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting or coordinate sign posting with the applicant.
- 4. The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
- 5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
- 6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
- 7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
- 8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.



Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pvjennings@dekalbountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".	Yes	V
I have reviewed the DeKalb County Tree Ordinance.	Yes	V
I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.	Yes	—

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width



4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: << Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale



10. Façade

- a. Consistency in style;
- b. Materials and their combinations

brick size and color

stone type and color

fiber-cement (e.g., Hardie-plank) or wood siding

shake or shingle

other

- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- i. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials



14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

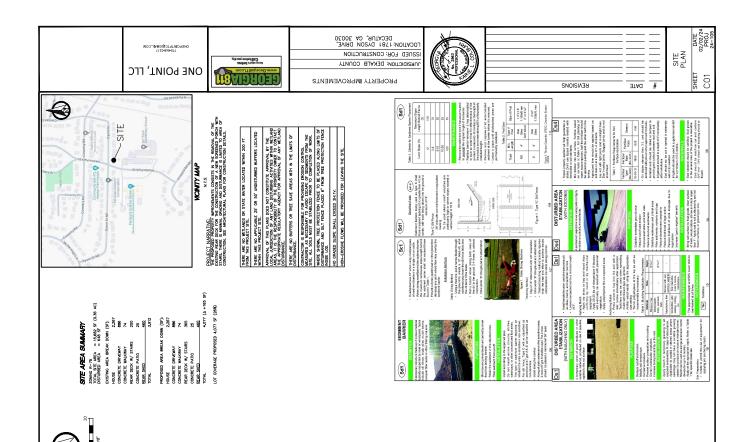
- Applications may only be submitted during the period specified on the calendar for each month. Once the filing
 deadline has passed and that period has expired, no new applications will be accepted to be heard at that
 month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be
 submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be
 taken into consideration for the staff report. Staff reports will not be edited once finalized and published any
 new materials may be submitted for the record for the commission but will not affect the staff's report for the
 application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.









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	PROJECT DATA INFORMATION	SterlingWorks

SCREEN PORCH PROJECT 1781 DYSON DR Dekalb County, Georgia 30030

	APPLICABLE CODES
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TECTS INC. 6/18/643/5944 ppolite6@16gmail.com	INTERNATIONAL MECHANICAL CODE; 2018 EDITION, W/ GEORGIA AMENDMENTS (2020) (2024)
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618-116-4144 greg ⁸³ ipengineering.com	2010 EDITOR, W. EDMOUN MENDMENTS (2020) (2022) NATIONAL ELECTRICAL CODE, 2222 EDITON, W/ NO GEORGA AMENDMENTS (2021)
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onspointptc agmail.com	INTERNATIONAL SMAMMING POOL AND SPA CODE, 2018 EDITION, W/ GEORGIA AMENDMENTS (2020)
	FOR INFORMATION AND QUESTIONS REGARDING THE LIFE SAFETY CODE (AFPA), IFC GEORGIA ADMENDARIS OR THE GEORGIA ACCESSIBILITY CODE PLEASE CONTACT THE STATE FIRE MARSHAL'S OFFICE.

	AT.	678 357 9781 moore.k2140@gmail.cam		404.992.4030	Østerlingworks.net	CTS INC. 678 643 5944 ppolite@@gmail.com		678-776-4744 greg#Jipengineering.com		770-648-3317 onspointptc@gmail.com		
JURISDITION	UNICORPORATED DEKALB COUNTY	KATHRYN MOORE 678 357 moore.k21	CONTRACTOR	STERLIN WORKS CONTACT: PHIL TRAPKIN 404	ARCHITECT info	POLITES ASSOCIATES ARCHITECTS INC. PETER POLITES	STRUCTRUAL ENGINEER	3LP ENGINEERING LLC GREG GOULDTHREAD	SURVEYOR	ONE POINT, LLC JUAN PABLO del RIO	SITE DATA	ZONING: R-75

SCOPE OF WORK THE DEMOLITION OF AN EXISTING 208 SF WOOD DECK W/STANES THE CONSTRUCTION OF A NEW 310 SF SCREEN PORCH W/ STANES,

LISTS OF DRAWINGS

COV-1 PROJECT DATA INFORMATION
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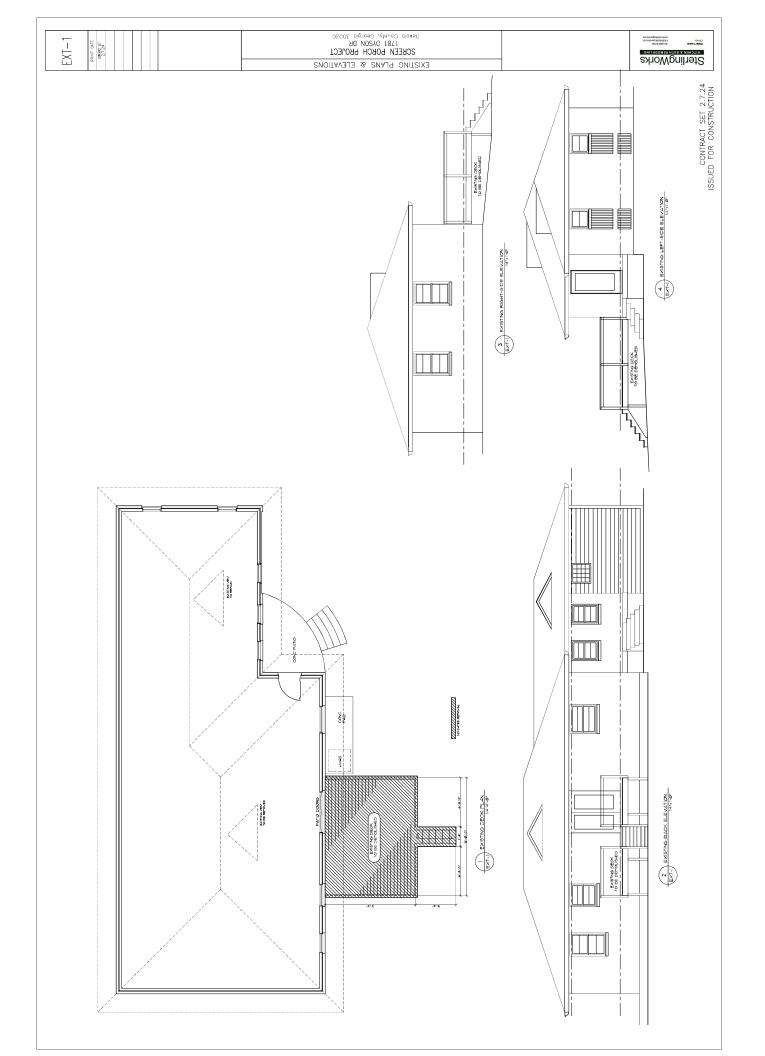
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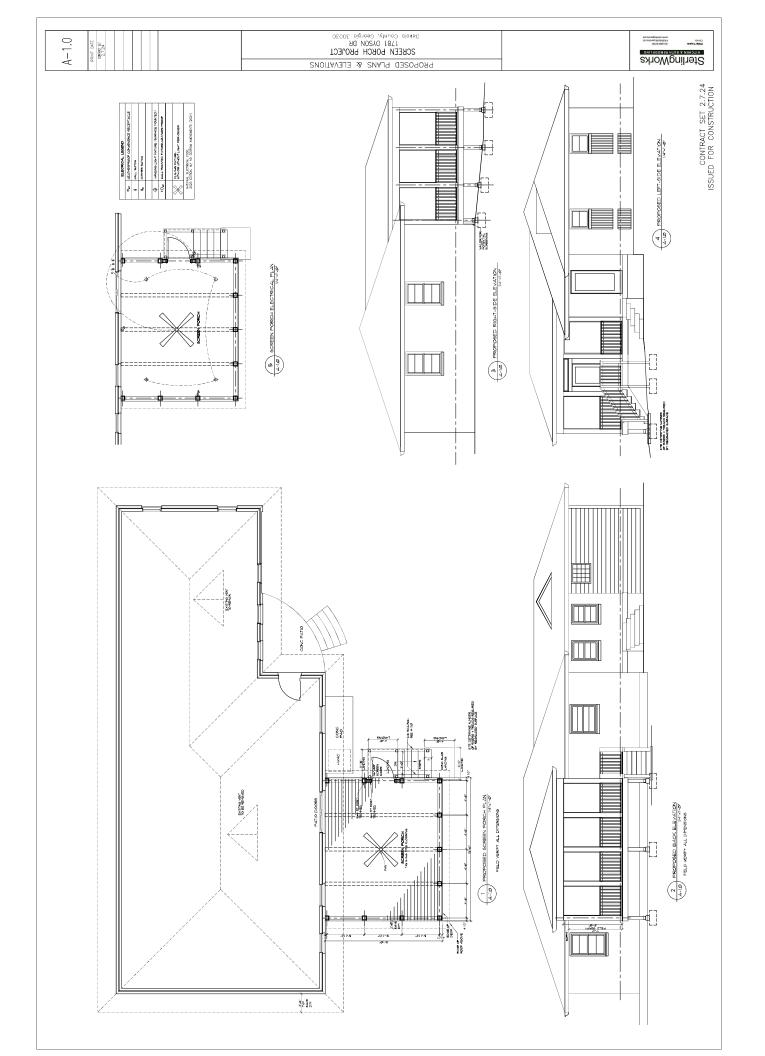
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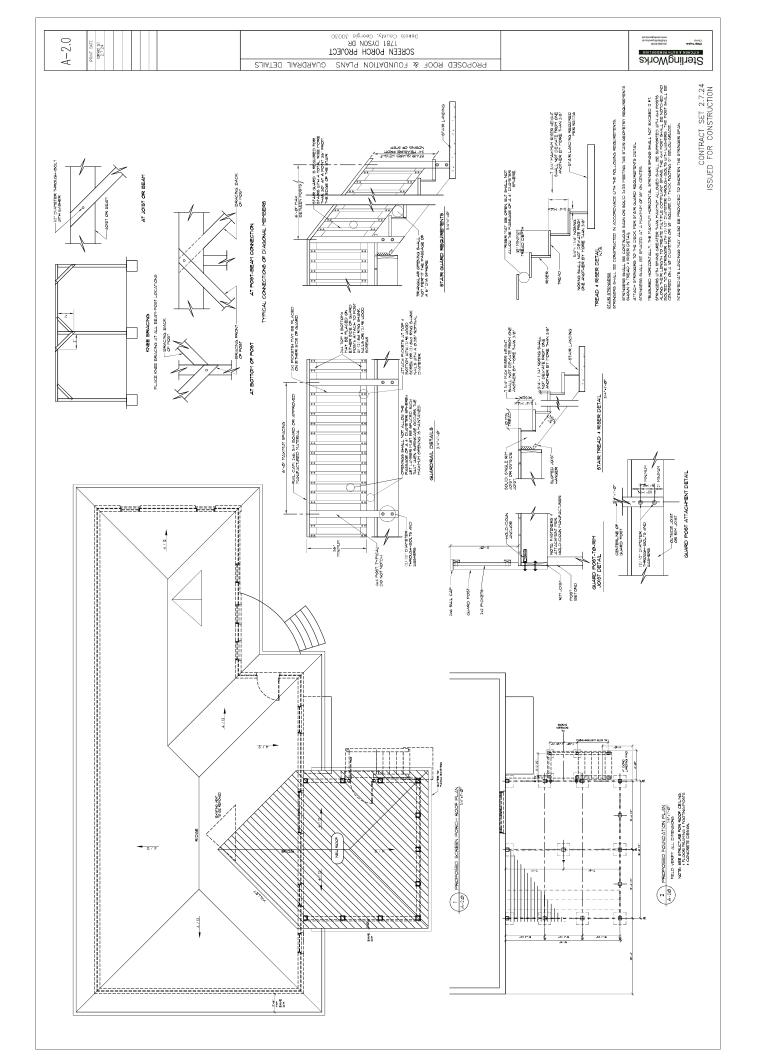
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PROJECT 2CKEEN PORCH

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100 WEATHERSONE DRIVE, STE'S 100 WEATHERSONE DRIVE, STE'S 30 188 (1675) The 4.74 and 188 steel DRIVE DRIVE STEEL S	HEEE DRAWNGS, DEGOGA, AND SECRETARY OF A STATE OF A STA	THEE DRAWNIGS, DEGREE, AND SECRECATION THEE DRAWNINGS, DEGREE, AND SECRET OF THE STREAM SECRET OF THE SECRE	REPRESENTO ARE HER PROPERTY OF HES TRICO BACABOLLES OF RECORD, MAN HOT BE REPRODUCED OF UNDSTRUCTOR OF THE STANDARD OF THE STANDARD ACCUBATE AND HAT THE STANDARD ACCUBATE AND THAT THE STANDARD ACCUBATE AND THAT THE STANDARD ACCUBATE AND THE STANDARD ACCUBATE AND THAT THE STANDARD ACCUBATE AND THAT THE STANDARD ACCUBATE AND THAT THE STANDARD ACCUBATE SHILDING COORDS, DOWNERSION STANDARD ACCUBATE SHILDING COORDS, DAVING AND THE STANDARD ACCUBATE AND THAT THE STANDARD ACCUBATE SHILDING COORDS, DAVING AND THE STANDARD ACCUBATE SHILDING ACCUBATE AND THAT THE STANDARD ACCUBATE SHILDING ACCUBATE SHIP AND THAT THE STANDARD ACCUBATE SHIP AND THE SHIP AND THAT THE STANDARD ACCUBATE SHIP AND THAT THE SHIP AND THAT T	ENGNERE OF RECORD, AND MAY NOT BE REPRODUCED OR USED FOR CONTRUCTOR AS FER DRAWING DATE, BUIDER SALL BE SO REPONDED TO THE BUIDER SALL BE SO RESPONSES FOR BUIDER SALL BE SO RESPONSES TO BATTLE FRANCINE TO CONTRUCTED IN ACCORDANCE WITH ALL CONTRUCTED IN A	REPROJUCED OR USE D'OR CONSTRUCTION PURPOSES WITHOUT WRITTEN CONSENT. COPY AND SPER DEAVING BUILDER SHALL BEST AND REPORTS EVENT OF THE SHALL BEST PARK PORTANT HE SHALL BEST PARK PORTANT HE SHALL BEST PARK PORTANT HE SHALL THE SHALL BEST PARK PORTANT HE SHALL THE SHALL BEST PARK PORTANT HE SHALL THE BILL BUILDING CODES. DIMERSIONS SHALL BUILDING CODES.	PURPOSES WITHOUT WRITEN COONSENT, COPPY AS PER DRAWING DATE. BUILDER SHALL BE SO RESPONSIBLE FOR ENSURING THAT THESE PAIN ACCURATE AND THAT THE STRUCTURE IS CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABE BUILDING CCODES. DIMENSIONS SI	AS PER DRAWING DATE. BUILDER SHALL BE SC RESPONSBLE FOR ENSURING THAT THESE PLAN. ACCURATE AND THAT THE STRUCTURE IS CONSTRUCTED IN ACCORDANCE WITH AL APPLICABLE BUILDING CODES. DIMENSIONS SI
100 MEATHER/ONE DRIVE, SET 28 100 MEATHER/ONE DRIVE, AS 3018 100 MEATHER/ONE DRIVE, AS 3018 100 MEATHER/ONE DRIVE, AND SPECTAL MEATHER DRIVE, AND SPECTAL	HEE DRAWNG, DEGOSA, AND SECRETARY SERVICES TO SECRETARY SERVICES TO SECRETARY SERVICES TO SECRETARY SERVICES TO SECRETARY SERVICES SERVICES SECRETARY SERVICES SERVICES SECRETARY SERVICES SERVI	REPROMANCE STORES AND SECRECTAL BEST PROVIDED BY A CONSTRUCTION OF THE STORES AND SECRECAL STORES AND SECR	REPRESENTED ARE THE REPRESENTED THE STRECT BRIGHTED OF RECORD, AND MAY NOT BE REPRESENTED THE CONSTRUCTION OF RECORD, AND MAY NOT BE REPOSED WITHOUT WRITHEN CONSTRUCTION OF THE REPOSED WITHOUT WRITHEN CONSTRUCTION OF STREET BRIGHTED IN ACCORDANCE BRIGHTED IN ACCORDANCE WITH ALL PRESENCE BRIGHTED AND ACCORDANCE WITH ALL PRESENCE AND ACCORDANCE WITH ACCORDANCE	BICHRER OF RECODA, AND MAY NOT BE REPRODUCED OR USED FOR CONSTRUCTION PURPOSE, MINIOUT MENTER CONSTRUCTION AC PER DAWNING DAY EN LINES FOR CONSTRUCTION S CONSTRUCTED IN ACCORDANCE WITH ALL APPLICATED IN ACCORDANCE WITH ALL BE READ OR CALCULATED AND INCHES STATES.	REPRODUCED OR USED FOR CONSTRUCTION AS PER DAY WHITCH WHITEN CONSENT. COPY AS PER DAY WHICH CAN SHARL BE SO RESPONSIBLE FOR BESIRENCE THAT BE THE PER PARA CACCURATE AND THAT BE THE CURE TO CACCULATED AND WELL BE THE THAT THE THE THAT THE PRODUCE DIMENSIONS SINGER BE FRAD OF CACCULATED AND WHER SCALL BE FRAD OF CACCULATED AND WHER SCALL THE CONTROLLED AND THE THAT THA	PURPOES WINGOUT WRITHOLOUSERLY COPY AS PER DRAWINGD DATE. BUIDER SALL I BES RESPONSEE FOR BESURENCE THAT HEEFE PLAN ACCURATE AND THAT THE STRUCTURE IS CONSTRUCTED IN ACCORDIANCE WITH A BERAD OF CAUCULATED AND NEWER SCAL.	AS PER DRAWING DATE. BUILDER SHALL BESO RESPONSBLE FOR ENSURING THAT THESE PLAN ACCURATE AND THAT THE STRUCTURE IS CONSTRUCTED IN ACCORDANCE WITH AL APPLICABLE BUILDING CODES. DIMENSIONS SH BE READ OR CALCULATED AND INVERS SCAL
100 MEATHERSONE DRAWS : STEASONE STEASO	HEEE DRAWNGS, DEGOGA, AND SECRETORY OF SECRE	SOURCHOOT IN, ALBAN, THYRE SOLDWAINOC TO STANDARD OF THE ALBAN, THYRE SOLDWAINOC THE STANDARD OF THE ALBAN, THYRE SOLDWAIN STANDARD OF THE ALBAN, THYRE SOLDWAIN AS THE STANDARD OF THE ALBAN, THYRE SOLDWAIN AS THE ALBAN, THYRE SOLDWAIN AS THE STANDARD OF THE ALBAN, THYRE SOLDWAIN AS THE ALBAN, THE ALBAN, THYRE SOLDWAIN AS THE ALBAN, THYRE SOLDWAIN AS THE ALBAN, THE ALBA	RESENTID ARE THE PROPERT OF HE STRO- RESENTID ARE THE PROPERT OF HE STRO- REGIONAL OF HER DAY OF HE STRO- REGIONAL OF HER DAY OF HER DAY RESPONDED DO HER DAY OF HER DAY RESPONDED DO HER DAY OF HER DAY RESPONDED DO HER DAY RESPONSE DO HER	BICHERE OF RECORD, AND MAY NOT BE PROCOUCED OR USES THE CONTRACTOR AND MAY NOT BE REPRODUCED OR USES THE CONTRACTOR SAFE READ HAT THE BEAUTH AND THAT THE BEAUTH AND THE BE	REPRODUCED ON EARS FOR CONSTRUCTING AS PER DAMINIO THAT BE AND THAT BE AND ACCURACE AND THAT BE STRUCTIME TO ACCURACE AND THAT HE STRUCTIME TO ACCURACE AND THAT HE STRUCTIME TO ACCURACE BUILDING COOSE, DIMENSION SI BEREAD OR CALCULATED AND THAT BEST COMPILACION SHALL WERE SCAL CONTRACTOR SHALL WERE TALL TO COMPILACION SHALL WERE TO STRUCTIME TO ACCURACE TO STRUCTIME TO ACCURACE AND THAT THE STRUCTIME TO ACCURACY ACO	PHIPPOSES WITHOUT WRITHOUSEST, COPPA AS PER DRAWING DATE, BUIDER SALL BE SO RESPONSES FOR BEST, BEST BANK BEST BANK CONSTRUCTED IN ACCORDANCE WITH AL POPILICABLE BUILDING CODES, DIMENSIONS BY BE FRADO OR CALCULA MED AND INFERSIONS OF READ OR CALCULA MED AND INFERSIONS OF READ OF CALCULA MED AND INFERSIONS BY CONTRACTOR SHALL VERIFY ALL CONDITIONS	AS PER DAWING DAFE BEIDTER SHALL BEIS RESPONSIBLE FOR BUSIENCE THAT THE SEF PAIN CONSTRUCTED IN ACCORDANCE WITH AL APPLICABLE BUILDING COODE. DIMENSIONS SI BE READO OF CALCULANED AND INVERSIGNAL CONTRACTOR SHALL VERFIT ALL CONDITIONS

3LP	3LP ENGINEERING 03 WEATHERSTONE DRIVE, STE 730 WOODSTOCK, GA 30188 (678) 776 - 4744	E DRAWINGS, DESIGNS, AND SPECIFICATIONS SENTED APETHE PROPERTY OF THE STRUCTURAL	0 6	120	DASBLE FOR ENSURING THAT THESE PLANS ARE	HESI	DNSTRUCTED IN ACCORDANCE WITH ALL	
alinit is no	88	E DRAW	NGINE	DSES W	NSBLI	ACCL	ONSTR	

BHI-SHI BHI-HI-MAN BOIL BHI-HI	PURPOSES WIT AS PER DRAW RESPONSIBLE I ACCUR

ENCINER ENGINEERING NEEDS

1.000000000000000000000000000000000000		FASTENER SCHEDULE FOR STRUCTURAL MEMBERS	SUCTURAL MEMBERS		
1987	DESCRIPTION OF BUILDING	BEMENTS	TYPE OF	FASTBABBS ^{or b, c}	SPACING OF FASTBABBS
Colored Bills	1. BLOCKING BETWEEN JOISTS OR RAFTERS 1	TO TOP PLATE, TOE NAIL	4-8d (2)(7×0.1137)	Ī	
19	2. CBLING JOSTS TO PLATE, TOE NAIL		8		***
PARTICIPATION OF THE CONTROL OF THE	S. CBLING JOSTS NOT ATTACHED TO PARA PARTITIONS: FACE NAIL	LLEL RAFTER, LAPS OVER	4-10d (3'x 0.128')		:
70 - 100	A. COLLAR TETO RAFTER, FACE NALL OR U.	\$120 GAGE RIDGE STRAP	4-10d (3"x 0.128")		
100.000 August 100.	I. RAFIER OR ROOF TRUSS TO PLATE. TOEN	AI.	316d BOX NAUS (38" x 0.1 OR 3-TOD COMMON NAUL (3" x 0.148)	150	2 TOE NAUS ON ONE SIDE & 1 TOE NAU ON OPPOSITE SIDE OF EACH RAFTBY TRUS
100 100		WATERS:	416d [387×0.1357]		
100 200	CONTROL PROFITE		3-100 [3-x 0.146]		0000
1617 1617		CONNESS FACE	160136 x 0.1351		24 O.C.
International Communication International Communicational Communication International Communication International Communication International Communication International Communication International Communication International Communicational Communication International Communicational Communicatio	. BULLIUP HEADER, TWO PECES WITH SP.		16d [36" × 0.162]		16" O.C. ALONG BACH EDGE
19 18 18 18 18 18 18 18			14d (3K × 0.135)		18" O.C. ALONG BACH EDGE
Colonia Colo			5-8d (2%×0.1131)		
100			160 (367 × 0.162)	Ī	16' O.C.
100 100	DOUBLETOP	PSETOF	816d [36] ×0.16Z]		
1 100		CENAI	18d (3K1×0.1821	Ī	16.00
10 10 10 10 10 10 10 10		BRACED WALL PANELS	3-14d(%×0.135)		16'0.0.
1			4 - 8d [26" × 0.113] OR 3 - 8d [26" × 0.135]		:
1	1		3-16d[367×0.135]	Ī	1
	TOP PLATES, LAPS AT CORNERS	ERSECTIONS, FACE NAIL	3-10d(3"x0,128")		***
The strained to local manner, sections, and sections are strained by the strai		KCENAL	3-8d[2/f/x0.113] 255ARES, 1/f/		
1998/05/10/10/10/10/10/10/10/10/10/10/10/10/10/		ACE NAL.	3 - 8d (2)(7 × 0.1131) 2 51 APUES, 12(7		1
1997 1997	×	ACE NAE	3-84 (25'×0.115') 351APLES 192'		1
WATER WATE	1 .	H BEARING, FACE NAL.	4-80(28'×0.113) 451APES, 18'		:
10 10 10 10 10 10 10 10	A LORTTO SIL CE CARGO TOFOAL		484 1281 v 0 11311		
No COLD 10 10 10 10 10 10 10 1	5. RM JOST TO TOP PLATE, TOR NAIL INCO	OF APPLICATIONS ALSO)	Bd (2007 x 0.1377	Ī	6'0.C.
The control of the co	RM JOST OR BLO	TOENAL	84 (2K x 0.1131		#.O.C
		ST, FACE NAL.	3-84(3%×0.113°) 251APLES 1%		
		D AND FACE NAL	3-16d (367×0.135)		
		John John	1040010		NAL BACHLAYER AS
		dex LATES	100 (5) X (17) (5)		NOTION AND STAGGORD. TWO NAILS AT IBUDS AND AT EACH SPLICE.
	1. LEDGER STRP SJPPORTNG JOSTS OR R.	WIES	4-16d(3g(x0,135)		AT EACH JOST OR RATER
18 18 18 18 18 18 18 18	DESCRIPTION OF BUILDING BLEMBATS	DESCRIPTION OF FA	STB-ER b.c.e	EDGES (INCHES)	IG OF PASIBNESS ES) INTERMEDIATE SUPPORTS INCHESIC-8
A CONTRACTOR COOR CONTRACTOR COOR CONTRACTOR COOR CONTRACTOR CONTR	WOOD STRUCTURAL PANELS, SUBFLOC			HS TTWM GBWS	AND PARTICLESCARD WALLSHEATHNO TO PRAKING
TRM PRIDUIDIDO		SERVAN			Ī
10 10 10 10 10 10 10 10		SERVA			
A CONTRACTOR CONTRACTO		SERVAN			1
TRAN PRODUCCION CONTROL DE CONTR		OTHER WALL SH	SATHINGT		
Notation and Community of Commu		W. GALVANZED ROOFING NALL J	8	100	*
MODDISCORPANIA PARABOA MODDISCORPANIA PARABOA MODDISCORPANIA PARABOA MODDISCORPANIA PARABOA PA		1% CALVANDED ROOFING NAL. 3 CROWN STARF 14 CA. 1% 10NG	G CROWN OR T	n	,
W OPFUM BEARING WOOD STRUCTER I PARKE. W.P.	1 .	W. GALVANZED ROORING NALLS	TAPLE GALVANIZED.	-	7
THE PART OF THE CONTRACT SHAPE	is:	1X' GALVANGED ROORING NAL. 3 1X' LONG: 1X' SCREWS, TPE W O	TAPLE GALVANZED.	۲.	7
1817-105 1817-105 1917-105	WOOD STRE	UCTURAL PANELS, COMBINATION SI	BELOOR UNDERLAYMENT TO	PRAMING	
SEEPLANS - SEEPLANS - SEEPLANS -		SERVAN			I
- SEE PANS		SEPLAN			
90,000					
		461100			Ī

WALL THICKNESS	HORIZONTAL	VERTICAL	LOCATION
\$ TO 6"	#4@16"O.C.	#4816'O.C.	CENTBRED
3.	#4@12'O.C.	#4@ 12" O.C.	CENTERED
10.	#4@16'O.C.	24 B 16 O.C.	EACH FACE
	#4@1Z'O.C.	84812°O.C.	EACH FACE

WALL THICKNESS	HORIZONTAL	VERTICAL	LOCATION
\$ TO 6"	#4@16"O.C.	#4 B 16" O.C.	CENTERED
	#4@12'O.C.	#4@ 12" O.C.	CENTERED
10.	#4 @ 16" O.C.	24 B 16" O.C.	EACH PAGE
	#4@1Z'O.C.	24 S 12 O.C.	EACH FACE

CENTERED FACH FACE FACH FACE	44 48 2 2 0 C CENTERD 44 8 12 0 C CENTERD 44 8 12 0 C BACH FACE 44 8 12 0 C BACH FACE 14 8 12 0 C BACH FACE 14 8 12 0 C C BACH FACE 14 8 12 0 C C CACRETE SURFACES SHALL 8	#4@ 12'0.C. #4@ 15'0.C. #4@ 12'0.C.		pi.
CENTERED	#4@16"O.C. #4@16"O.C. CENTRED	#4@16"O.C.	4.TO 6"	
O ENTROOP	000000	0001000	11/2/21	

		100	000010074	0000000	SACULDANCE	
NNECTIONS EXCEPT AS		25	#4@1Z'O.C.	## 12 O.C. EACH FACE	EACH FACE	
D SHEAK FORCES OR LOAD AND RESISTANCE D STHERWISE ALL ROLLS						
	<u>ri</u>		JENTLY EXPOSED	CONCRETE SURF	all edges of permanbility exposed concrete surfaces shall be chamfered unless noted otherwise.	
LECTRODES. UNIESS PER AWS REQUIREMENTS.	2		PECIFIED IN THE A	PPUCABLE BULD	HE CONTRACTOR SHALL PROVIDE DOCUMENTATION THAT ALL MATERIALS CONFORM TO THE QUALITY STANDARDS SPECIFIED IN THE APPLICABLE BULDING CODE.	10.0
LL BE PROVIDED WITH S NOT PERMITTED.	*		THE APPLICABLE COWNER / CONT D SPECIAL INSPEC	CODE, SPECIAL RACTOR WILL HE STIONS.	IN ACCORDANCE WITH THE APPLICABLE CODE, SPECIAL INSPECTIONS ARE REQUIRED FOR THE CONCINED WORK. THE OWNER I CONTRICTOR WILL HIRE SPECIAL INSPECTION TO	iii.
D TO VIEW SHALL BE SHOP 3 AND BRACING (SEE	49		ONCRETE SHRINK TTERN. THE MAXI TO 80 FEET.	AGE OR CRACKI MUM LENGTH OF	IN ORDER TO AVOID CONCRETE SHRIKKAGE OR CRACKING, PLACE CONCRETE SLASS IN ALTIENSMEN OAKE PRINTEN HEMAZIMIAN LENGTH OT SLAS CAST IN ANY ONE CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS CAST IN ANY ONE CONTINUOUS CONTINUOUS CAST IN ANY ONE CAST IN ANY ONE CAST IN ANY ONE CONTINUOUS CAST IN ANY ONE CAST IN A	5
G BACOUNTERED DURNG	9		MAIN INPLACE U BNGTH, THE COP	NTL CONCRETE ATRACTOR SHALL	OORA WORK SMALL REMAIN IN PLACE UNTIL CONCRETE HAS OBTAINED AT LEAST 1955 OF 115 28 DAY COMPRÉSAYES STERVOTH, THE COMPINACTOR SHALL PROYDE ALL SHOKING, AND	an .
MASTRUCTION PROCESS IS	5		ON JOINTS IN ALL	CONCRETE WOL	PROVIDE CONSTRUCTION JOINTS IN ALL CONCRETE WORK AS REQUIRED BY THE ACLI CODE OR AS SHOWN ON THE INDIVIDUAL DETAILS.	œ
IG. AND RELD WELDING COATING.	<u>ai</u>		WATER, MOSTUR INE APPROVED (E, AND / OR CO	ALL STEE, EXPOSED TO WATER, MOSTIRE, AND / OR CORROSIVES SHALL BE COVERED WITH APPROPERATE PROTECTIVE APPROVED COATING MATERIALS.	
D FRAMED OR SEATED N. UNLESS GREATER	3	MASONRY NOTES				
L DEVELOP AT LEAST ONE OF THE MANUAL FOR THE LBNGTH OF THE FRAME A WEB.	_	MASONRY CONSTRUCTHE SPECIFICATIONS F	DON SHALL CON	CORM TO THE REC RUCTURES" (ACLS	MAXONRY CONSTRUCTION SHALL CONFIGEN TO THE REQUISEMENTS OF THE LATEST EDITION OF THE "SPECIAL ATOMS FOR MASONRY STRUCTURES" (ACL 530) FUBLISHED BE THE AMERICAN CONCRETE INSTITUTE.	ñ
IBR AT POINTS OF JM STIFFENER THICKNESS	ri	HOLLOW LOAD-BEARING MASONRY LIMIS SHALL CONFO MINIMUM PRSM. COMPRESSIVE STRENGTH (I' ''') SHALL BE DETERMINED BY THE UNIT STRENGTH METHOD OF ACT SSQ.	IG MASONRY UN PRESSIVE STRENG! IIT STRENGTH MET	ITS SHALL CONFO TH (I'''M) SHALL BE HOD OF ACI 530	MODITOW LOAD BEARNING MAKKONINY WAT SHALL CONTORN TO ASTAN REGUISEMENTS. THE MODITOW LOAD BEARNING MAKKONINY WAS SHALL CHANGEN TO SHALL BE IS SO PSI AT AN AGE OF 28 DAYS, AS DETENHINDS IN THE UNIT SIRRENGTH METHOD OF AGE 350.	1/2
WITH THE LARGER OF X". DEDGES AND PERMETERS AL DETAILS.	ri	FLL ALI BOND BEAMS. TO ASTA REQUIREMEN 2.500 PSI.	AND REINFORCE IS AND SHALL OB	CELLS SOUDLY TAIN A MINIMUM	est, al bond senas and rehtgreggede ocels scalary with grout grout grout spall conform 2.800 Psi.	DC UL
BE COVERED WITH	4	REINFORCING STEEL SH FABRICATE REINFORCII MINIMUM LAP OF 48 TI	ALL BEIN ACCO. 4G BARS WHICH. 46S THE BAR DIA	ARE SHOWN TO B WETERS AT ALL SP	REBITORCING STEE SHALL BE IN ACCORDANCE WITH ASSAR REQUIREMENTS, CRADE 60. SHOP SHARICATE RESPONDENCE DESTANDED HER STOWN TO BE PROVIDED OR BEST PROVIDE A NAME SHARICATE RESPONDED HER SHARIFIES AT ALL SHUCES, UNIESS NOTIED OTHERWISE.	0.

OR THE		MACONET CONTROLL CONTROLL CONFORM TO THE REQUIREMENTS OF THE UNIEST EDITION OF THE SPECIAL FOR MAJONET STRUCTURES (ACL SSI) FUBLISHED BE THE AMERICAN CONCRETE INSTITUTE.
SOMESS	14	HOLIOW TO DE BERNYS MASONEY INNTS SHALL CONFORM TO ASTIN REQUIREMENTS. THE MINIMUM PROM. COMPRESSES STRENGTH I'M SHALL BE ISSO TELAT AN ACE OF 28 DAYS, AS DIREMBLY BO BY THE UNIT SIRENCETH METHOD OF ACE 350.
OF X:	rí	FEL ALI BOND BEAMS AND REINFORCED CELLS SOUDLY WITH GROUT. GROUT SHALL CONFORM. TO ASTAN EQUIPMENSIVE STRENGTH OF 2500 PM. COMPRESSIVE STRENGTH OF 2500 PM.
	4	RENTORING STEEL SHALL BE IN ACCORDANCE WITH ASTA REQUIREMENTS, CRADE 46. SHOP ARRENT RENTORING AND ANNIHILA ARE SHANNIN TO BE HOOKED OR BEAT, PROVIDE A MANIMALIN HOP OF AN ANNIHILA HOP SHANNIS. MANIMALIN HOP OF BEAT AND SHOULD SHANDE.
D BE	vá	THE USE OF MASONRY CEMENT MORTAR IS STRUTLY PROHBITED. MORTAR SHALL CONFORM TO

MAY		REQUIREMENTS AND BE MADE WITH PORTLAND CEMENT LIME (NON AIR-ENTRAINED).
	чó	UNIESS NOTED OTHERWISE, ALL WALLS SHALL BE LAID IN RUNNING BOND. BOND CORNERS AND INTERSECTIONS OF LOAD BEARING WALLS.
<	6	VERICAL REINORGABERT OF AT LEAST 1) A 4 BAR SHALL BE PROVIDED AT CORNERS, WITHIN 16" TO ACCIDENCE AND AT A MANDRIM PRACTICAL OF CONTROL OF THE OWNER OF THE REDOC OF WALLE. AND AT A MANDRIM PRACTICAL OF THE OWNER OF THE STATE OF THE OWNER OWNE
4	eó	PROVIDE REBAR DOWELS FROM FOUNDATIONS TO MATCH VERTICAL REINFORCING SIZE AND SECKINGS, DOWELS SHALL HAVE STANDARD 90 DEGREE HOCKS AND LAP WITH THE PRIST LET OF RENTORCING.

ž			
E K	o.	PROVIDE HORIDOMAL BOND WITH COMINIOUS RENFORCING AS INDICATED. BOND BEAM REINFORCEMENT STATE OF ELECTRONINE ALL HORIZONAL BEAUCH TO CL. DISCONTINE ALL HORIZONAL SHENDEDGE AT COMING, LIGHT SECRET FOR HER BOND BEAMS AT BEARNO ELEVATIONS. INTERMEDIATE BOND BEAMS SHALL BE TROVIDED AS REQUIRED.	
F FVE	0	10. PROVIDE STANDARD 9 CAUJGE HORIZONTA, JOHN REINFORCING, ATI 6 INICHES ON CENTER IN ALL MALS, I REVOUE MALS, TYPE LOUR VERENDECHNE OF BALL CONCERNE MALS/ORW, COORDINATE BRICK THE-ARCK REQUIREMENTS WITH THE ARCHITECTURAL DANNINGS, LIALESS NOTIED OTHERWISE, SUCH ALL MORIZONINAL JOHN REHOREME, AT CONTROL JOHNS.	
SI	Ξ	 PROVIDE BOND BEAM LIVELS AND BRICK SHELF ANGLES ABOVE ALL WALL OPENINGS PER TYPICAL DEFALS. SEE ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS OF WINDOW AND DOOR 	

PROVIDE THREE COURSES OF SOUDLY GROUTED CANUBLION WIDTH OF 2"4", CBNTERED ON THE WALL, UNLESS NOTED OTHER	 PROVIDE CANU CONTROL JOINTS AS INDICATED, WITH ADDITION BETWEEN DUNIST DOES NOT EXCEED A SPACING, OF 3 x THE WY WHERE BEAAS OR LINEIS BEAR AT CAUJ CONTROL JOST OFFS REINFORCING AS INDICATED. 	14. THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TI
	ei ei	-
WRITEN	PACH WIED.	

A ALI PLUMBURO AND MICHANICAL, IP POSSBIE. OTHERWISE ALI HOLES, NOTICHES, AND YOR SO RATERATIONS TO LIOSITS OF FLOOR JOSIS ARE TO MEET THE MANUFACTURERS, TAINDONS AND REQUIREMBURD.	15TS SUPPORTING NON-STACKING LOAD BEARING WALLS NED TO BE REINFORCED FOR AND 7 OR BENDING ACCORDING TO THE MANUFACTURERS SPECTHCATIONS AND
NATIONS OR ALTERATIONS TO ELECATIONS OF ALTERATIONS TO ELECATIONS AND REQUIREMENTS.	ASTS SUPPORTING NON-STACK!! AND / OR BENDING ACCORD!

ALL SCASIS SUPPORTING NON-STACKING LOAD BEARING WALLS NEED TO BE KRINGORGED FOR SHOW SHEAR AND JOR BENDING ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND	16. ALLS	NALNOTES. APPR
ALL JOSES SUPPORTING NUMBER CRIMG TO SHEAR AND J OR BENDING ACCORDING TO	RECOMMENDATIONS.	REFER TO THE FRAMING PLANS FOR ADDITIONAL NOTES.

 PROVIDE CONSTRUCTION JOINTS IN ALL MASONRY WORK AS REQUIRED BY THE SHOWN ON THE INDIVIDUAL DETAILS. 	 ALL STEE, EXPOSED TO WATER, MOISTIME, AND 7 OR CORROGNES SHALL BE CO. APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.
BEREINFORCED FOR FICATIONS AND	

INIS SO THAT THE SPACING	7/10/14	.0:8	.0:9	
LAP THE VERTICAL	sc#s%,	10:01	8:0.	
ARY WALL BRACING	643636	14:-0	2.6	
D RV THE ACT COOR OP AS	2-643636	20.0.	12:0.	
	OLONG LEG OF THE ANGLE SHALL BE PLACED IN A YERTI	E SHALL BE PL	ACED IN A VE	ΙÐ

 WEST, ANTER GARGINETO DA ALADACTICA PARALLE CHESTOS COFFIENCIAS AND TOE MULI PROMINIC CRIMOS JOST TO TOP PLATEIN ACCORDANCE WITH THIS SCHEDULE, THE TOP OPPOSITE SIZE OF THE RAPITE SHALL NOT BE REQUIRED. 	2018 IRC TABLE R7058.8.3.1
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14004	8:0.	.0:9	.9-9
scaliniti.	10.01	8:0.	D:9
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CS FFT MAXIMIN	7 Acrona	2	2	
THE VERTICAL	scalish.	10:01	8:0.	
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	A LONG LEG OF THE ANGLESHALL BE PLACED IN A YERTICAL	E SHALL BE PL	ACED IN A VE	RTICAL
SE COVERED WITH				

	FASTE	DESCRIPTION OF BUILDING BLEMENTS
CASTINIPLACE CONCRETE NOTES	 CONCRETE MIXES SHALL BE DESIGNED PER ACL 301 USING PORTLAND CEAREN. ACCRETEGATES AND ADMICTIRES CONPORTANTS OF ORALINES CONCRETE SHALL BE READY-MIXED IN ACCOUNT MACE WITH ACTUAL ACTUAL RESIDENCE ACTUAL ACTU	IN ACCURATION OF THE FOREIGNED TO SET THE FOREIGN OF THE STATE OF THE FOREIGN OF THE FO
	SOIL CAPABLE TO	GENCY PRIOR

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URAL SOLL OR ENGINEERED SOLL CAPABLE OF 2,000 FSF UNLESS DATA TO DAVID APPROVED. ALL FOLUMATION OF THE CAPABLE SOLVEY AND THE CAPABLE SOL	=	CONCRETE AMES SHALL IE DESCRIPTOR PER ACT 301 USNG POPILAND COMPANI, ACCREGATES AND ADMINISTED CONFORMATO TO ASTA REQUIREMENTS. CONCRETE SHALL BE READY-MAKED IN ACCORDANCE WITH ASTA REQUIREMENTS.	
COL BAGINERA / IESTING AGENCI TAKON	ci	CONCRETE SHALL CONFORM TO THE FOLLOWING COMPRESSIVE STRENGTH, SLUMP AND WATER-CENERT RATIO REQUIREMENTS:	
COMPRESSIVE STRENGTH OF 3,000 PSI.			

	ı				
NATURAL SOLL OR ENGINEERED SOLL CAPABLE SSURE OF 2,000 PSF UNLESS DATA TO AMPROVED ALL POUNDATION OF ANY ENGINEER OF THE SAME		CONCRETE MIXES SHALL BE DESIGNED PER ACI 301 USING PORTLAND AND ADMIXTURES CONFORMING TO ASTAR REQUIREMENTS. CONCRET IN ACCORDANCE WITH ASTAR REQUIREMENTS.	BE DESIGNED PER ORMING TO ASTA ASTA REQUIREME	A REQUIREMENTS.	4G PORTLAND NTS. CONCREI
CHIRCAL DAGINGS / IGNING AGENC LANGE	6	CONCRETE SHALL CONFORM TO THE FOLLOWING COMPRESSIVE STRE WATER/CEMENT RATIO REQUIREMENTS:	ORM TO THE FOUR	OWING CO	MPRESSIVE STRE
DAY COMPRESSIVE STRENGTH OF 3,000 PSI.		CONCRETE	MIN, P.C. (28 DAYS) SULMP* W/C. RATIO	SISLUMP*	W/CRATIO
A A-615. GRADE 60.		COLUMNS	4,000 PSI	2.10.4	-46
COVER SHALL BY PROVIDED IN ACCORDANCE		CONCRETE NOT NOTED	3,000 PSI	2704	4 8
		FOUNDATION	3,000 PSI	2.104	99
		SLABSHUNIGRADE	3,000 PSI	2 104	8

1 SOLL OR ENGNEERED SOLL CAPABLE 2,000 PSF UNLESS DATA TO AND APPROVED, ALL FOUNDATION		CONCRETE MIXES SHALL BE DESIGNED PA AND ADMORTURES CONFORMING TO AS IN ACCORDANCE WITH ASTAN REQUIREM	BE DESIGNED P CORMING TO AS ASTM REQUIREN
DWGINDER / IBSIING AGENUT PRIOR	64	CONCRETE SHALL CONFORM TO THE FO WATER/CEMENT RATIO REQUIREMENTS:	ORM TO THE FO
PRESSIVE STRENGTH OF 3,000 PSI.		200100100	
SRADE 60.		COLUMNS	4,000 PSI
		BLEVATED SLABS	4,000 PSI
ALL BY PROVIDED IN ACCORDANCE		CONCRETE NOT NOTED FOUNDATION	3,000 PSI
		SLABS-ON-GRADE	3,000 PSI

A RICHE VALUE ARE SUBMITTED AND APPROVED. ALL FOUNDATION ANALYMED BY THE GEOFFICHNICAL ENGINEER / TESTING AGENCY PROR IN CONCRETE.
RETE SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PS1.
HALL CONFORM TO ASTM A-615, GRADE 60.
E, MINIMUM CONCRETE COVER SHALL BY PROVIDED IN ACCORDANCE 7.1.
D CONTINUOUS (CONT.) ON THE PLANS AND DEFALS SHALL BE BENT ULM OF 48 TIMES THE BAR DIAMETER AT ALL SPLICES, CORNESS, AND ANY

IG STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.	THEWISE, MINIMUM CONCRETE COVER SHALL BY PROVIDED IN ACCORT CTION 7.7.1.	IG MARKED CONTINUOUS (CONT.) ON THE PLANS AND DEFALS SHALL BE B SO A MINIMAL OF ASTIMES THE BAR DIAMETER AT ALL SPLICES, CORNERS, A SO AND RECONDEDUTE MOTION.
	IG STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.	HE SHALL CONTORM TO ASTA A-415, GRADE 40. DHERWISE, MINIMUM CONCRETE COVER SHALL BY PROVIDED IN ACCORE (CHON 72.1).

FORCING STELL SHALL CONFORM TO ASTM A-615, GRADE 40.	ORCING MARKED CONTINUOUS (CONT) ON THE PLANS AND DETALS SH LAPPED A MINIMUM OF 48 TIMES THE BAR DIAMETER AT ALL SPUCES, COR NOTIONS UNLESS OTHERWISE NOTED.	ALANCED BACK BILING SUALI BEDONE AGAINST SOUNDATION WALLS IN
		FORCING MARKED CONTINUOUS (CONT) ON THE PLANS AND DETALS SH. LAPPED AMINIMUM OF 48 TIMES THE BAR DIAMETER AT ALL SPUCES, COR. JACTIONS UNLESS OTHERWISE NOTED.

mi.	ALL REINFORCING STELL SHALL CONFORM TO ASTM A-615, GRADE 60.
-	UNIESS NOTED OTHERWISE, MINIMUM CONCRETE COVER SHALL BY PROVI WITH ACL 318 SECTION 7.2.1.
ri.	ALL RENFORCING MARKED CONTINUOUS (CONT.) ON THE PLANS AND DE AND/OR LAPPED A MINIMUM OF 48 TIMES THE BAR DIAMETER AT ALL SPLIC OTHER LUNCTIONS UNLESS OTHERWISE NOTED.
ed.	NO UNBALANCED BACK FILING SHALL BE DONE AGARNST FOUNDATION W SECURELY BRACED AGAINST OVERTURNING BITHER BY TEMPORARY BRACE CONSTRUCTION.

|--|

7. PRIOR TO COMMENCING ANY FOUNDATION WORL, COORDINATE WORK WITH ANY EXISTING UTLIFES. FOUNDATIONS SHALL BE LOWERD WHERE REQUIRED TO AVOID UTLIFES.	PROVIDE CONSTRUCTION JOINTS IN ALL CONCRETE WORK AS REQUIRED BY THE ACL CODE OR AS SHOWN ON THE INDIVIDUAL DEFAILS.	 PROVIDE PROPER AND ADEQUATE DRANAGE BEHIND ANY TYPE OF REFAINING AND/OR BASEMENT WALLS AS THE SITE CONDITIONS REQUIRE IN THE RELD. 	IN AND SEEVES. 10. ALL FOOTINGS AND FOUNDATIONS SHALL BE PLACED BELOW THE TROST - DEPTH" OF THE STRUCTURAL WORK. GEODGRAPHIC AREA OF THE PROJECT.
ĸ	œi	o.	0
AND/OR	DRDING TO DADS.	2011 00 0310	DES AS TO SLEEVES. STRUCTURAL WORK.

BE INCREASED IF IT IS REQUIRED BY ANY RATING (Le. ULSSS, etc.) ACCORDING TO ENDATION. CONTACT STRUCTURAL BNGINEER IN CASE OF INCREASED LOADS.	oj.	 PROVIDE CONSTRUCTION JOINTS IN ALL CONCRETE WORK AS REQUIRED BY THE ACI CODE OI SHOWN ON THE INDIVIDUAL DETAILS.
SIII	o.	 PROVIDE PROPER AND ADEQUATE DRAINAGE BEHIND ANY TYPE OF RETAINING AND/OR BASE WALLS AS THE SITE CONDITIONS REQUIRE IN THE RELD.
INTO STATE & BELLO MANDALINGH THE COMPANDED FOR ALL UITED BUGGINGS AND FOUNDATIONS SHALL BE PLACED BEOW THE TROST - DEFIT OF THE MANDAL SHALL SH	0	ALL FOOTNGS AND FOUNDATIONS SHALL BE PLACED BROW THE FROST - DEPTH" OF THE GEOGRAPHIC AREA OF THE PROJECT.
AAL 8E RESPONSBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REQULATIONS THE BNGHER WILL NOT ADVISE ON NOR ISSUE DRECTION AS TO SAFETY PRECAUTIONS AND	=	 In the Presiduce of the ground water fable above any footing or foundation. The General Contractors shall notify the Structural Engineer of record for any dis Proport.
MINICE HERE IN REPRESENT THE TRIGHED STRUCTURE. THE CONTRACTORS SHALL PROVIDE ALL 12. ALL STELL ENTOKED TO WATER, MOBILING, AND / ON CORROSAYES SHALL BL COVERED WITH AND SPACING. PRECURED TO PRECURE A LICENSENT AND THE TRIGHER.	2	ALL STELL EXPOSED TO WATER, MOSTURE, AND / OR CORROSNES SHALL BE COVERED WITH APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.

G OR FOUNDATION, THE RECORD FOR ANY DESIGN

R SHALL PROVIDE ALL PER AUGNAMENT UNTIL DESIGN, SAFETY, C. IS THE SOLE	24	S SHALL PROVIDE ALL STELL ENCOSID TO WAIRE, MOSTIFIEL AND YOR CORROSNOS SI SHALL PROVIDE ALL I. APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS. EDEGRAS, SAMET,	DSTURE, AND / OR CORRC OVED COATING MATERIALS	S SWES SH
and and second and are		STRUCTURAL STEEL NOTES		
CONTRACTOR.	-	1. ALL STRUCTURAL STEEL SHALL CONFORM TO THE THIRTEENTH EDITION	4FORM TO THE THIRTEENTH	EDMON
DNS ARE NOT ROVAL BY THE	ri	CONSTRUCTION OF THE MISC. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE IN ACCORDANG SPECIAL AND MIS.	ATERIALS SHALL BE IN ACC	ORDANG
CTED SHALL BE 4D ERECTION IN		MEMBER STRUCTURAL TUBING	A-500 (GRADE B)	46 KSI
EXCEED THE SAFE		CONNECTION BOLTS	A-36 A-325 [MIN. TYPE N]	288

HE BNGINER SHALL NOT BE RESPONSIVE FOR THE METHODS, TECHNIQUES, AND : O PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBIL

		A-325 (MIN. TYPE N) 92 F1554 36		C-1107	SHALL BE SHEAR T
	A-772 A-36	A-325 IM F1554	A-36	ö	CONNECTIONS
MEMBER STRUCTURAL TUBING	ROLLED SHAPES PLATES	CONNECTION BOLTS ANCHOR BOLTS	THREADED RODS	NONSHRINK GROUT	SE. 3. LINIESS NOTED OTHERWISE ALL CONNECTIONS SHALL BE SHEAR T
					0
					80

		PLATES	A:36	36 83
		CONNECTION BOLTS	A-325 [MIN. TYPE N]	92 KSI
		ANCHOR BOLTS	F1554	36 KSI
Ħ		THREADED RODS	A-36	36 KSI
ul.		NONSHRINK GROUT	C-1107	8,000 PSI
WISE 3,	0	UNLESS NOTED OTHERWISE, ALL CONINECTIONS SHALL BE SHEAR TYPE CONNE	CONNECTIONS SHALL BE SH	EAR TYPE CONNE
3		NOTED OTHERWISE AND DESIGNED BY THE FABRICATOR FOR THE FACTORED S	D BY THE FABRICATOR FOR	THE FACTORED S
ž,		INDICATED ON PLAN IN ACCORDANCE WITH THE ASSC SPECIFICATIONS FOR L. FACTOR DESIGN. MINIMUM BOLT DIAMETER SHALL BE 3/4", UNLESS NOTED OT	DANCE WITH THE AISC SPEC	UNLESS NOTED OF
u.		SHALL BE SHEAR/BEARING TIPE BOLTS AND BE "SNUG-TIGHT".	OLIS AND BE 'SNUG-TIGHT	
	w	ALL WELDING SHALL BE IN ACCORDANCE WITH AWS DITLISING EYOXX BLECT	RDANCE WITH AWS DILL ID	SNG E70XX B.ECT
		ALL FILER MATERIAL SHALL HAVE A MINIMUM YELD STRENGTH OF 38 KS.	A MINIMUM YIELD STRENG	TH OF 58 KS.
	vi	HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE STRE IS NO	OR PUNCHED. ALL SLOTTE DLES AND TORCH CUTTING	D HOLES SHALL BE FAT THE SITE IS NO
NI D	4	OF CHANGE AND CONSTRUCTION OF STREET AND ADDRESS OF STREET AND ADD	DESCRIPTION OF SERVICES	ALTERNATION OF THE PARTY OF THE

2000		SHALL BE SHEAR/BEARING TIPE BOLTS AND BE "SNUG-TIGHT".
	vi	ALL WELDING SHALL BEIN ACCORDANCE WITH AWS DIJLISING EYDXX BLE NOTED OTHERWISE, PROVIDE CONTINUOUS MINIMUM SIZED FILLET WELDS PEALL FILER MATERIAL SHALL HAVE A MINIMUM YELD STRENGTH OF 39 KS.
	vi	HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS N
MBUTTY		 UNLESS NOYED OTHERWISE, ALL STRUCTURAL STEEL, PERMANDATLY EXPOSED PAINTED WITH ONE COAT OF SSPC. 15-68. TYPE 1 (RED OXIDE) PAINT.
20	κ	THE STRUCTURAL STEEL ERECTOR SHALL PROVIDE ALL TEMPORARY CLYING.

'GENERAL STRUCTURAL NOTES').	8. COLUMNA, ANCIONE OUTS, ASSET AND SEET, CHANGE RESTORATED FOR THE WAS CONDITION AND HAVE NOT SEEN MYSTIGATISE. TO ANY ENTREMENTATION OF THE COLUMNS, AND SAKES ANSE SET, FOR ADSTRUCTION OF THE COLUMNS, AND SAKES ANSE SET, FOR ADSTRUCTION OF THE COLUMNS, AND SEET FOR ADSTRUCTION OF THE COLUMNS, AND SAKES ANSE SET, FOR ADSTRUCTION OF THE COMPANCION.	 PROTECTIVE COATINGS DAMAGED DURING THE TRANSPORTING, ERECTING, AND F PROCESSES SHALL BE REPAIRED IN THE FIELD TO MATCH THE SHOP APPLIED COATIN
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Ų.	0022	86.80

ALL JOST, RAFTER, AND MISCELLANEOUS FRAMING SHALL BEING, 2 GRADE SOUTHERN YELLOW PINI FULL-DEPTH FOR METALJ BRIDGING AT MID-SPAN AND AT A MAXIMJUM, SPACING OF 8-0" O.C., IN BET

PREFABRICATED WOOD JOIST NOTES	1. PREFABRICATED WOOD LJOISTS SHALL BE DESIGNED AND FURN CURRAL CODE.ACCEPTED EVALUATION REPORT. STRUCTURAL PROVISIONS SHALL BE ESTABLISHED AND MONITORED IN ACCO	2. WOOD LJOISTS SHALL BE ERECTED IN ACCORDANCE WITH THE

ALL NALING NOT OTHERWISE INDICATED SHALL BE IN ACCORDANCE SCHEDULE 2304.9.1 OF THE BC. NALING SHALL NOT BE OVERDRIVEN

THCK		REQUIREMENTS, DO NOT CUT FLANGES,
OUT	÷	WOOD LOUIS SHALL BE MOUDDLESS AT A LOUID FALLEN IN MENTALUK ROOM LOUIS SHALL BE MOUDDLENG PREPABICATED WOOD LUGISTS, QUI AUDITED BY AN AGENCY ACCEPTED BY THE "BUILDING OFFICIALS & COOE
200	vi	WEB PANES MUST BE JOINED WITH A MACHINE AND GLUED "Y" JOINT TO I MEMBER. ALL JOINTS SHALL BE GLUED USING AN EXTERIOR TIPE ADHESIVE
SUAL.	vi	WOOD FLORIS SHALL BE STORED IN BUNDLES IN AN UPRICHT POSITION AN CONTACT: DAMAGE TO JOISTS SHALL BE BROUGHT TO THE IMMEDIATE AT

BOLT HOLES SHALL BE CARPULLY CENTERED AND DRILLED NOT MORE THAN 1/16" LARGER THAN JODAKETER. BOLTED CONNECTIONS SHALL BE SIUGS - TIGHT BUT NOT TO THE DITENT OF CRUSHING WARHER.

SUPPLIER, HELD REPAIR OR MOCHICATION OF JOISTS MUST NOT BE M. APPROVAL BY THE SUPPLIER, EXCEPT FOR TRIMMING TO CORRECT LEN

JOST SHALL BE AMCHORD AND BRACKLOAD IN EXECUTED UNION SHAM ANCHOROGE NODCAPED (AND PER THE SUPPLIES REQUIREMENTS). SUPPLIES PROJECT NET SHAM SUPPLIES FEQUIREMENTAL LATERAL BRACKING OF THE TOP FLANGE UNIT, SHEA	3. AVOID ALL PLUMBING AND MECHANICAL, IF POSSIBLE. OTHERWISE PENERATIONS OR ALTERATIONS TO FLOSTS OR FLOOR JOSTS ARE SPECIFICATIONS AND REQUIREMENTS.	WALLANDERS OF THE PROPERTY OF THE PERSONS WALLS WE WANTED
	65	0-
WED EQUAL	. BE MADE	CONTINUING IS

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RECOMMENDATIONS.	10. REFER TO THE RRAMING PLANS FOR ADDITIONAL NOTES.	1). ALL SHOP DRAWINGS SUBMITTED FOR APPROVAL (FINGUIDED IN THE CONTRACT) MEED TO BE SHALD SIGNED AND DATED BY A BEGINDED INGUIDED IN THE DROUGH IN TO BE RITTED.	
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1/30/2023	STRUCTURAL PLANS ISSUED	\$CALE:	1/4 = 1.
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1781 DYSON DRIVE

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DRAW NGINED NGIN	CKEEN PORCH

,
3LP ENGINEERIN
103 WEATHERSTONE DRIN
WOODSTOCK, GA :
(678) 776 - 474
THESE DRAWINGS, DESIGNS, AND
REPRESENTED ARE THE PROPERTY OF
ENGINEER OF RECORD, AND I
REPRODUCED OR USED FOR CO
PURPOSES WITHOUT WRITTEN CONS
AS PER DRAWING DATE. BUILDER:
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CONSTRUCTED IN ACCORDAN
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BE READ OR CALCULATED AND I
CONTRACTOR SHALL VERIFY ALL C

min.	3LP ENGINEE 103 WEATHERSTONE I WOODSTOCK, C	- 922 (829)	THESE DRAWINGS, DESIGNS, A REPRESENTED ARE THE PROPERT	ENGINEER OF RECORD, A REPRODUCED OR USED FO PURPOSES WITHOUT WRITTEN C	AS PER DRAWING DATE. BUILT RESPONSIBLE FOR ENSURING TR	APPLICABLE BUILDING CODES.	A CHARLES AND A CHARLES A
Π.	N.O.)		IE.	2	2	2	

	90"				REPRE	PURP	RESP	_
COLUMN SCHEDULE *	4x4 SYP #2 P.T. COLUMN	6x6 SYP #2 P.T. COLUMN	TUD PACKS INDICATE	MIN. # OF JACK STUDS (U.N.O.)	IM PACKED STUD SCHEDULE	(2) 2x4 SPF #2	(3) 2x4 SPF #2	(4) 2xd SPF #2
힝	400.4	9x9	Z Z	ğ	IM P.	3	3	3

2FP ENGINEERING NEEDS

VENEER ABOVE ESSING TO REMAIN AS IS

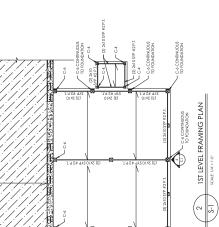
FLOOR DESIGN LOADS

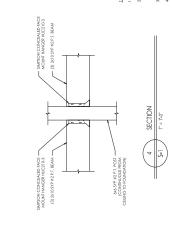
6x6 SYP #2 P.T. COLUMN	# OF STUDS IN STUD PACKS INDICATE REQUIRED MIN. # OF LACK STUDS (U.N.O.)	MINIMUM PACKED STUD SCHEDULE*	(2) 2x4 SPF #2	(3) 2x4 SPF #2	(4) 2x4 SPF #2	FOR USE WHERE MEMBER SUPPORTS ARE NOT OTHERWISE CALLED OUT ON PLAN
6x6 S	OS IN SI	AUM PA	AM	PAM	PAM	WHERE
3	* # OF STUE	MININ	(2) PLY BEAM	WA38 Y19 (8)	(4) PLY BEAM	* FOR USE











TRUCTURAL CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBER OR EXPOSED TO TERIOR TO BE PROTECTED FROM WEATHERING LUMBERORE, ZAMAX COATING, HOT	PED GALVANIZED, STAINLESS STEEL MATERIAL OR SIMILAR IS REQUIRED.	TRUCTURAL FRAMING MEMBERS EXPOSED TO STERIOR TO BE PROTECTED FROM WEATHERING ELEMENTS.

C-6 CONTINUOUS TO FOUNDATION





F. F. IS (ITP: @ ALL		12" DEEP CONCRETE FOOTING w/#4.8 bass @ P.O.C. EACH DIRECTION @ EXTERIOR STAIRS	
[8] -[3] -[4]	~ [3]	r [⊠]	ON PLAN
[⊠]	ا ا	L L-3 \	T FOUNDATION PLAN
[⊠] [□]	∟⊠J	ENTBROR COLUMNS)	Y



SECTION



5/06/L

2LP ENGINEERING NEEDS

OVER - FRAMING TITLES

OVER - FRAMING STRUCTURE
TO REMAIN AS IS

ROOF BRACING ABOVE
EXSTING STRUCTURE
TO REMAIN AS IS

VENEER BELOW

COLUMN SCHEDULE -

OF STUDS IN STUD PACKS INDICATE REQUIRED MIN. # OF JACK STUDS (U.N. C-6 6x6 SYP #2 P.T. COLUMN

DIRECT MEMBER BRACE
OR 42° MIN. BRACE
W/ (3) 244 MIN. U.N.O.

EXISTING RAFFERS [T.B.V.] NEW 2x8 SPF #2 RAFTERS

ROOF LINES

ROOF DESIGN LOADS LIVELOAD 20 PSF DEAD LOAD 10 PSF

1ST LEVEL WALLS

CELLING DESIGN LOADS

PROJECT
РОКЕЕИ РОКС

TLANTA, GEORGIA 30030	٧
1781 DYSON DRIVE	

103 WEATHER ONE DRIVE STATES OF THE STATES O

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(2) 2x4 SPF #2 (3) 2x4 SPF #2 (4) 2x4 SPF #2

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V2023 STRUCTURAL	2CVFE: J\4" = 1"-0"

= t / l	SCALE:	STRUCTURAL PLANS ISSUED	2023
24008	3Fb #:	2JATTI	IBW

CEILING LEVEL & ROOF FRAMING

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CHWENT ON ALL WOOD	ON ALL WOOD	ER FLASHING AGAINST	PLY AND ARE TO HAVE	COMMENDED

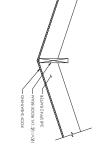
CH FLOOR LEVEL. RRS W/, MAX., ATTACHMENT ON ALL WO TIONS. ASE & POST CAPS ON ALL WOOD	ARE TO BE 1½" PER PLY AND ARE TO HA

-	ALL NEW RAFTERS TO BE 2x8 SPF #2 @ 16" O.C. (UNLESS NOTED OTHERWISE).
2	NO INTERMEDIATE BRACING OF BEAMS OR RAFFERS TO KNEE WALLS OR
	OTHER MEMBERS IS TO BE PROVIDED UNLESS SPECIFICALLY SHOWN OR
	STATED.
ri	ROOF DECKING TO BE 1/2;" APA RATED 4/2, SHEATHING ATTACHED W/ 10d
	NAILS @ 6"O.C. AT SUPPORTED EDGES & 12"O.C. AT INTERMEDIATE
	MEMBERS.
Ψ	ALL RAFTERS THAT ARE LABELED "OVER-FRAMING" SHALL BE EITHER BRACED
	AT THE TOP OR FULLY SHEATHED.
vá	CONNECT CBLING JOISTS TO RAFTERS W/ A MINIMUM OF (3) TO NALLS
	(UNLESS NOTED OTHERWISE).
ó	ONLY BRACE PURLINS & RAFTERS ON CELING BEAMS OR LOAD BEARING
	WALLS.
7.	ALL STUDS TO BE CONTINUOUS BETWEEN DIAPHRAGMS, STUDS IN
	GABLE-END WALLS NOT BRACED BY A CEIUNG SYSTEM MUST BE
	CONTINUOUS FROM FLOOR TO ROOF.
αó	ALL COLUMNS TO BE BRACED AT TOP AND BOTTOM, ALL CONTINUOUS
	COLUMNS TO BE BRACED AT EACH FLOOR LEVEL.
6	USE APPROVED SIMPSON HANGERS W/ MAX. ATTACHMENT ON ALL WOOD
	BEAM / JOIST / RAFTER CONNECTIONS.
10	USE APPROVED SIMPSON POST BASE & POST CAPS ON ALL WOOD
	COLUMNS.
Ξ	
	WATER INTRUSION [TYP.].
12.	
	MINIMUM 2.0E MODULUS OF ELASTICITY JUNLESS NOTED OTHERWISE]
13.	

100 100 100 100 100 100 100 100 100 100	COLUMNS.	HERE REQUIRED, PROVIDE ADEQUATE AND	ATER INTRUSION [TYP.].	LL LVL'S REFERENCED ON PLAN ARE TO BE 1	INIMUM 2.0E MODULUS OF ELASTICITY (UN)	LL SIDE LOADED LVL'S ARE TO HAVE MAXIM	CONNECTION BETWEEN PLIES PER LVL MANU	
1	mo:	HERE	ATER	211	Ĭ	11 SI	NNO:	

SECTION 4 3

11. LOOP BRANCH MALL DO THE STEEL TH



8-2

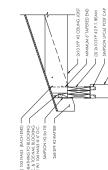
2 ROOF FRAMING PLAN

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STRUCTUBAL CONNECTORS IN CONNECT WITH PREASON TO STRUCTUBAL CONNECTORS TO STRUCTUB WIGHTER STRUCTUB PROWN WEATHERN CELEMENTS. HEREFORE, EAVAN COLANGE, NOT DIPPED CALVANED STRUCTURED.

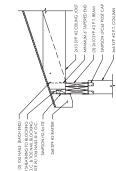
STRUCTURAL FRAMING MEMBERS EXPOSED TO EXTERIOR TO BE PROTECTED FROM WEATHERING FLAMENTY

CEILING LEVEL FRAMING PLAN



OTHER CONTROL COURT OF PUTER WAY A MINISOLUT OF 19 DOTAM CENTROL COURT OF THE CONTROL COURT O

ALL CEILING JOISTS TO BE 2x10 SYP #2 ® 16" O.C. (UNLESS NOTED OTHERWISE).



		DSST ON	A X X	
		2x10 SYP #2 CELING JOIST	SWPSON LPC6Z POST CAP SWPSON LPC6Z POST CAP 666 SYP #2 P.T. COLUMN	
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S SON E	AFTER			
(3) 10d NAILS [EACH END) - CH SEATHEND OR BLOCKING. OR JOCKING STOCKING BLOCKING PLATE W// 10d NAILS 6 6 0.0	2x8 SPF #2 RAFTER -			
STO NAIL NAIL	98.8			
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3) 10 SHEA IC. &				
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	2v10 SYP #2 CELING JOIST	MINIMUM 6' TAFBEED END (3) ZAUSYP #2 P.I. BEAM SWASON LPCAF POST CAP 646 SYP #2 P.I. COLUMN
(3) 10d NAIS [EACH BID) CH SEACHING TO BLOCKING TO CL. STO ENAIL BLOCKING FAIR W. 10d NAILS & 6 O.C. SWASON HZ.SO TE	248 SPF #2 RAFTER	

		2x10 SYP #2 CELING JOIST	SWPSON LPG&T POST CAP	6x6 SYP #2 P.T. COLUMN
(3) TOD YALLS [EACH END) ATTACH SERVINGS TO BLOCKING TO FALEW, I DO HALLS & 6" O.C. SWASON HZ.50 TE SWASON HZ.50 TE	248 SPF #2 RAFTER			

	AND STATE OCHING SOL	
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		2x10 SYP #2 CELING JOST MINIMUM 6' TAPERED END	SWPSON LPC&Z POST CAP	6x6 SYP #2 P.T. COLUMN
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ZA10SYP #2 CELING.X MAINUM 6.TAFERED E SAWSON LPC&E POST C 666 SYP #2 P.T. COLUM		
26.897 #2.2 M/TER	3 SECTION	S-2 " = 1'-0"

2002 2004	ON 646 SYP #2 P.1. COLUMN
	SECTION
(a) Towards Record Books (b) Construction (b) Construction (c) Constructio	(m) 3

IST LEVEL WALL [BELOW CELING] FRAMING NOTES;

	AV 20057F #2 CBLNG 5005 AMBRING F FFEED BD (8) 20057F #21; BEAM SWESCH POST DE SWESCH POST DE SW	
(3) TOR MAILS (EACH FUX) ATTACH SHEAMEN TO BLOCKING TO PLATEW) TORNING # 50 C. SWEYON PLZ-TOF	2.0.5 57 + 2.2 8.47 ER	(

	2x10 SYP #2 CBLNG JOST	MM ANNIAM O'TA'ERED BAD (3) ANIOSY P.2.P.1, BEAA SWESON IPCAL POST CAP 646 STP #2 P.1. COLUMN
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Dekalb County Historic Preservation Committee Certificate of Appropriateness Applicant 1781 Dyson Drive, Decatur, GA 30030

Dekalb County

Historic Preservation – Certificate of Appropriateness

Meeting: Monday, April 15, 2024

Summary:

Zoning: R-85

Homeowner seeks to demolish existing dilapidated deck at rear of property in favor of a screen porch with stairs. This improvement requires a Certificate of Appropriateness by Dekalb County Historic Preservation Committee.

We the undersigned support of the variance and have no objections with the project going forward.

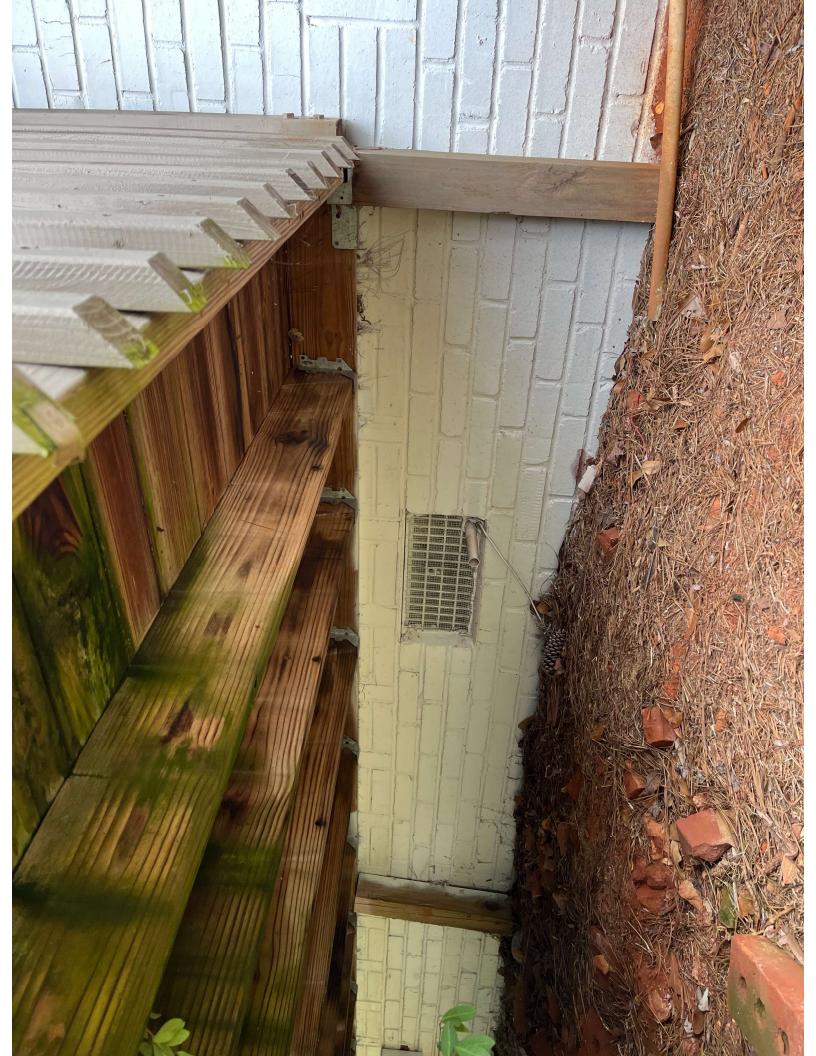
Date	Signature	Printed Nan	ne	Address	Comment	
3/14/2024		Donna	Vassoner	1787 Dyson Pr Nec Stu, GA	I Suppor	= ddor
Questions??				20071		repair the

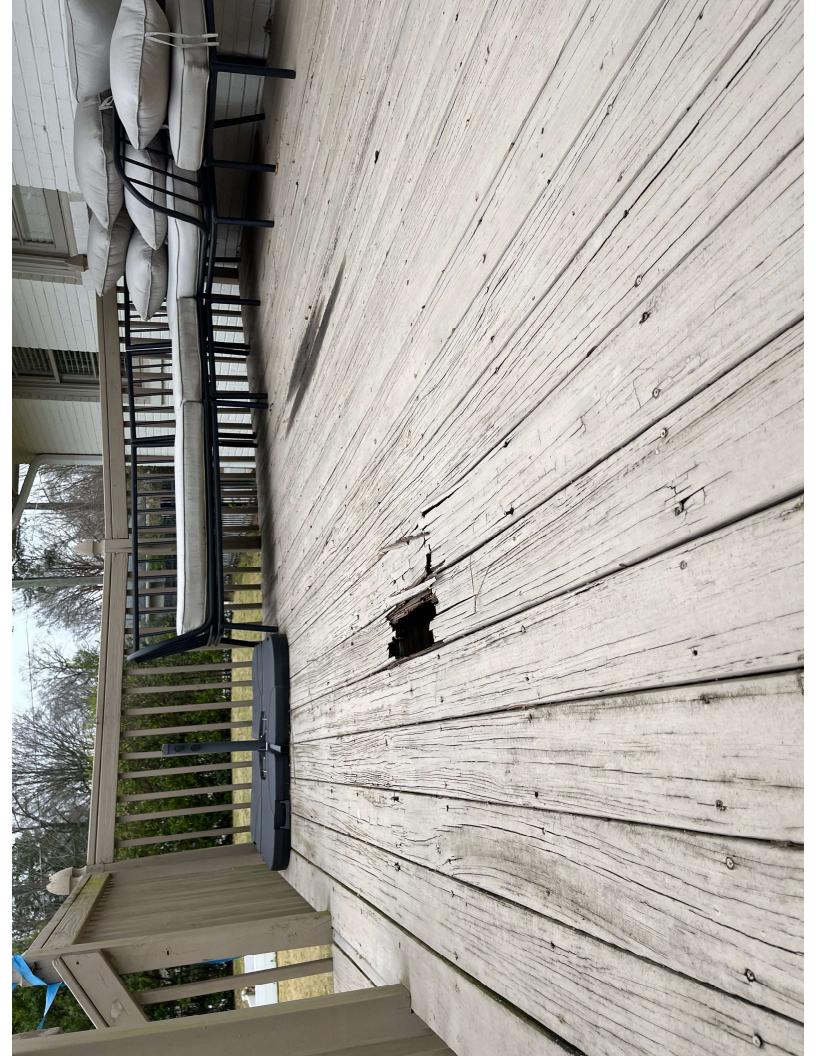
Contact:

Nichelle Bell, ApplicantEmail: paatl1968@gmail.com

PLEASE SIGN AND EMAIL TO PAATL1968@GMAIL.COM











Dekalb County Historic Preservation Committee Certificate of Appropriateness Applicant 1781 Dyson Drive, Decatur, GA 30030

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