

# DeKalb County Historic Preservation Commission

Monday, April 15<sup>th</sup>, 2024- 6:00 P.M.

## Staff Report

### Consent Agenda

D. 1781 Dyson Drive, Nichelle Bell. Demolish and construct porch on rear of nonhistoric home.  
**1246962.**

Built in 1951 (18 004 08 012)

This property is located in the Chelsea Heights Character Area and is not located in a National Register Historic District.

### **Summary**

Applicant proposes demolishing and constructing a nonhistoric porch on the rear of a corner-lot property. The new porch will be a 312 square feet enclosed wood porch, constructed with wood columns on concrete footers and with an asphalt-shingle roof to match the roofing on the house. The porch will be enclosed with wood railing and screen panels between wood columns, with a screen door opening onto stairs leading to the backyard. The wood stairs will be constructed from wood with a concrete pad installed at the base of the bottom step.

### **Recommendation**

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval.

### **Relevant Guidelines**

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 6.1.3 *Entrances and Porches* (p53) Guideline - Original porches and steps should be retained. Repair of porches should not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless they are seriously deteriorated. If replacement materials must be introduced, the new should match the old in design, color, texture, and, where possible, materials. Replacement of missing features should be substantiated, if possible, by documentary and physical evidence.
- 6.1.3 *Entrances and Porches* (p53) Guideline - The enclosure of front porches and side porches visible from a right-of-way should utilize transparent materials, such as screen or glass, which will help maintain the original open character of the design.
- 11.0 *Nonhistoric Properties* (p93) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.

Chief Executive Officer  
Michael Thurmond

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Interim Director  
Cedric Hudson

**Application for Certificate of Appropriateness**

Date submitted: 2/29/2024 Date Received: \_\_\_\_\_

Address of Subject Property: 1781 Dyson Drive, Decatur, GA 30030

Applicant: Nichelle Bell E-Mail: paatl1968@gmail.com

Applicant Mailing Address: P.O. Box 115404, Atlanta, GA 30310

Applicant Phone: 678-900-4772

Applicant's relationship to the owner: Owner  Architect  Contractor/Builder  Other

\*\*\*\*\*

Owner(s): Kathryn Moore Email: moorek2140@gmail.com

Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s) Mailing Address: 1781 Dyson Drive, Decatur, GA 30030

Owner(s) Telephone Number: 678-357-9781

Approximate date of construction of the primary structure on the property and any other structures affected by this project: 04/2024

Nature of work (check all that apply):

|                   |                                     |                        |                          |                             |                          |
|-------------------|-------------------------------------|------------------------|--------------------------|-----------------------------|--------------------------|
| New construction  | <input type="checkbox"/>            | New Accessory Building | <input type="checkbox"/> | Other Building Changes      | <input type="checkbox"/> |
| Demolition        | <input checked="" type="checkbox"/> | Landscaping            | <input type="checkbox"/> | Other Environmental Changes | <input type="checkbox"/> |
| Addition          | <input checked="" type="checkbox"/> | Fence/Wall             | <input type="checkbox"/> | Other                       | <input type="checkbox"/> |
| Moving a Building | <input type="checkbox"/>            | Sign Installation      | <input type="checkbox"/> |                             |                          |

Description of Work:

Demolition of existing wood deck with stairs, construction of new screen porch with stairs

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) and [pjvennings@dekalbcountyga.gov](mailto:pjvennings@dekalbcountyga.gov). An incomplete application will not be accepted.

*Nichelle Bell*

Signature of Applicant: \_\_\_\_\_

DEPARTMENT OF PLANNING & SUSTAINABILITY

---

**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Kathryn Moore

being owner(s) of the property at: 1781 Dyson Drive, Decatur, GA 30030

hereby delegate authority to: Nichelle Bell

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): 

Date: 03 / 04 / 2024

**Please review the following information**

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

## DEPARTMENT OF PLANNING & SUSTAINABILITY

---

### How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) AND [rlbragg@dekalbcountyga.gov](mailto:rlbragg@dekalbcountyga.gov), telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>.
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) AND [rlbragg@dekalbcountyga.gov](mailto:rlbragg@dekalbcountyga.gov). If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting or coordinate sign posting with the applicant.
4. The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

## DEPARTMENT OF PLANNING & SUSTAINABILITY

---

### Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov) and [rlbragg@dekalbcountyga.gov](mailto:rlbragg@dekalbcountyga.gov).

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

#### 1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

#### 2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

#### 3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

**4. Fences & Retaining Walls**

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

**5. Elevations and Floor Plans:** <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

**6. Additions**

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

**7. Roof Plan**

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

**8. Dormers**

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

**9. Skylights**

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

**10. Façade**

- a. Consistency in style;
- b. Materials and their combinations
  - brick size and color
  - stone type and color
  - fiber-cement (e.g., Hardie-plank) or wood siding
  - shake or shingle
  - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

**11. Entrance**

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

**12. Windows**

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

**13. Materials**

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

DEPARTMENT OF PLANNING & SUSTAINABILITY

---

**14. Garages / Accessory Buildings**

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

**15. Demolitions**

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

**Application Process Checklist**

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

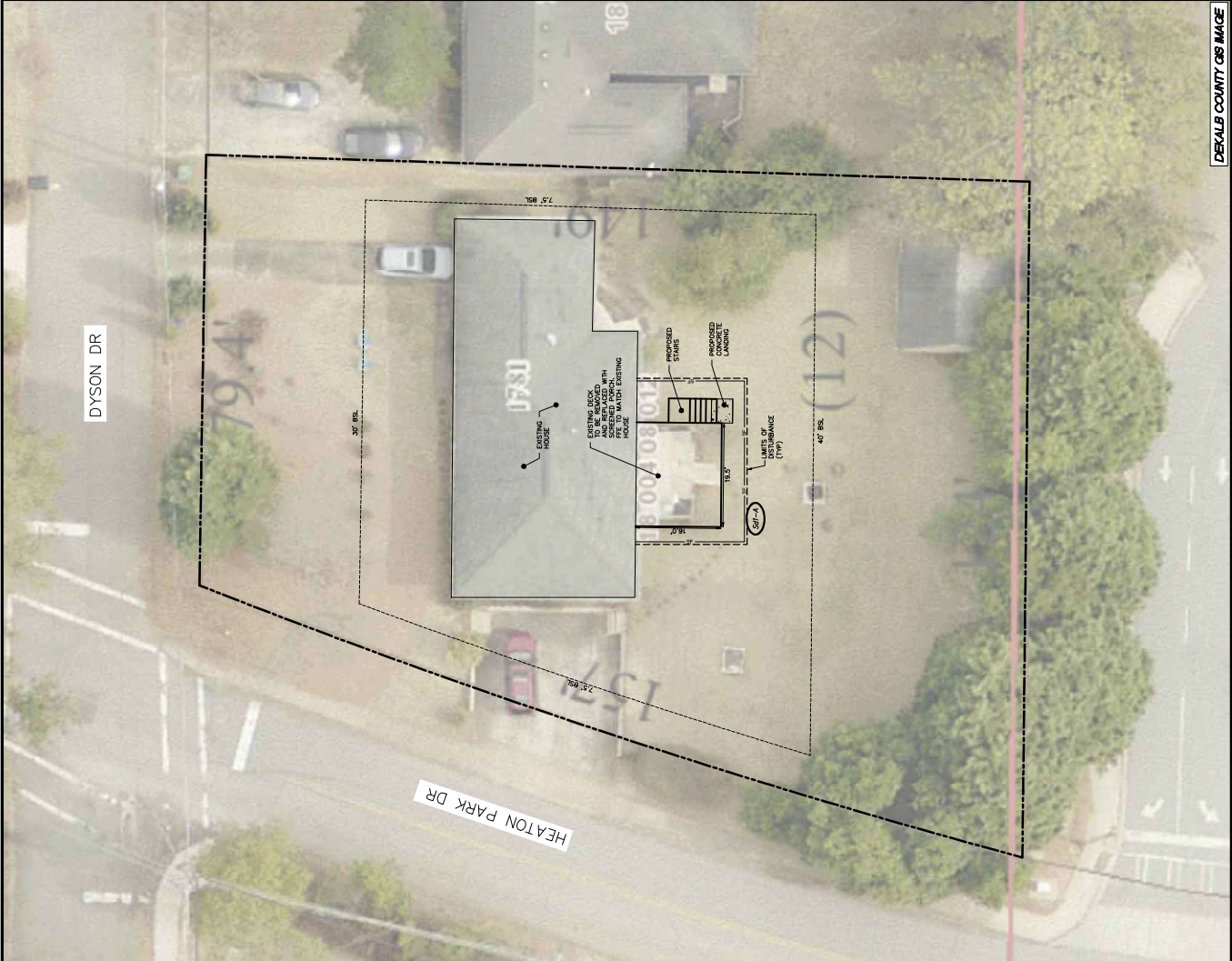
- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month’s commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff’s report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff’s report for the application.
- Any additional materials submitted after the staff’s report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
  - Representative photos
  - Letters of support/opposition
  - Architectural drawings
  - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month’s commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.



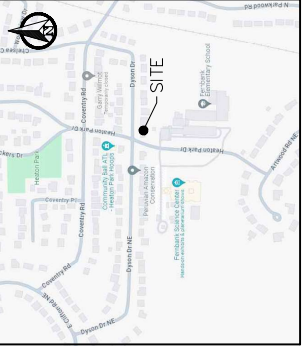
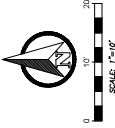


**SITE AREA SUMMARY**

EXISTING AREA (IRRAW DOWN) (SF) = 15,682 SF (0.36 AC)  
 TOTAL SITE AREA = 648 SF  
 DISTURBED AREA = 648 SF

|                                 |                         |
|---------------------------------|-------------------------|
| CONCRETE DRIVEWAY               | 74                      |
| CONCRETE WALKWAY                | 200                     |
| REAR DECK W/ STAIRS             | 466                     |
| SEASLED                         | 466                     |
| <b>TOTAL</b>                    | <b>3,312</b>            |
| PROPOSED AREA (IRRAW DOWN) (SF) | 15,682                  |
| HOUSE                           | 1,227                   |
| CONCRETE DRIVEWAY               | 806                     |
| CONCRETE WALKWAY                | 74                      |
| REAR DECK W/ STAIRS             | 200                     |
| SEASLED                         | 285                     |
| <b>TOTAL</b>                    | <b>4,977 (0.115 AC)</b> |

LOT COVERAGE PROPOSED 4.077 SF (0.08)



**PROJECT NARRATIVE:**  
 THE PROPOSED PROJECT CONSIDERS THE REMOVAL OF THE EXISTING HOUSE AND REPLACEMENT WITH A 1200 SQ FT MATCH EXISTING HOUSE. THE DISTURBED AREA IS LIMITED TO 648 SQ FT. SEE THE PROPOSED PLANS FOR CONSTRUCTION DETAILS.

**PROJECT NARRATIVE:**  
 THE PROPOSED PROJECT CONSIDERS THE REMOVAL OF THE EXISTING HOUSE AND REPLACEMENT WITH A 1200 SQ FT MATCH EXISTING HOUSE. THE DISTURBED AREA IS LIMITED TO 648 SQ FT. SEE THE PROPOSED PLANS FOR CONSTRUCTION DETAILS.

**PROJECT NARRATIVE:**  
 THE PROPOSED PROJECT CONSIDERS THE REMOVAL OF THE EXISTING HOUSE AND REPLACEMENT WITH A 1200 SQ FT MATCH EXISTING HOUSE. THE DISTURBED AREA IS LIMITED TO 648 SQ FT. SEE THE PROPOSED PLANS FOR CONSTRUCTION DETAILS.

|           |   |               |                                 |
|-----------|---|---------------|---------------------------------|
|           | JURISDICTION: DEKALB COUNTY<br>ISSUED FOR: CONSTRUCTION<br>LOCATION: 1781 DYSON DRIVE,<br>DECATUR, GA 30030 |               | PROPERTY IMPROVEMENTS           |
|           | ONE POINT, LLC<br>ONEPOINT@GMAIL.COM<br>770.644.0317  |               | REVISIONS<br># _____ DATE _____ |
| SHEET C01 |   | DATE 02/02/24 |                                 |
| SITE PLAN |   | SCALE 7"=10'  |                                 |

**SEDIMENT BARRIER**

**MAINTENANCE**

- Check for proper installation and secure fastenings.
- Check for proper installation and secure fastenings.
- Check for proper installation and secure fastenings.

**DISTURBED AREA (WITH HOODING)**

**MAINTENANCE**

- Check for proper installation and secure fastenings.
- Check for proper installation and secure fastenings.
- Check for proper installation and secure fastenings.

**DISTURBED AREA (WITH HOODING)**

**MAINTENANCE**

- Check for proper installation and secure fastenings.
- Check for proper installation and secure fastenings.
- Check for proper installation and secure fastenings.

# SCREEN PORCH PROJECT

## 1781 DYSON DR

DeKalb County, Georgia 30030

**JURISDICTION**

UNINCORPORATED DEKALB COUNTY

**OWNER**

KATHRYN MOORE  
678.357.9781  
moorek2142@gmail.com

**CONTRACTOR**

STERLING WORKS  
404.699.0350  
info@sterlingworks.net

**ARCHITECT**

POLLERS ASSOCIATES ARCHITECTS, INC.  
678.443.9444  
pollers@aiaa.com

**STRUCTURAL ENGINEER**

SJP ENGINEERING LLC  
GREG GOLTBREDD  
678.710.4744  
gsj@sjpeengineering.com

**SURVEYOR**

JOHN PASELO DEL RIO  
770.649.5311  
delrio@jpaselo.com

**SITE DATA**

ZONING: R-75

**SCOPE OF WORK**

EXISTING 708 SF DECK BEING WESTERLY  
THE CONSTRUCTION OF A NEW 310 SF SCREEN PORCH W/ STAIRS.

**APPLICABLE CODES**

- INTERNATIONAL BUILDING CODE (IBC) 2018 EDITION, WITH GEORGIA AMENDMENTS (2009) (2022) (2024)
- INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 EDITION, WITH GEORGIA AMENDMENTS (2009) (2022) (2024)
- INTERNATIONAL MECHANICAL CODE (IMC) 2018 EDITION, WITH GEORGIA AMENDMENTS (2009) (2022) (2024)
- INTERNATIONAL FIRE CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2022)
- CONSTRUCTIVE SOLID WASTE MANAGEMENT ACT (CSWA) (2002)
- INTERNATIONAL PLUMBING CODE 2018 EDITION, WITH GEORGIA AMENDMENTS (2009) (2022) (2024)
- INTERNATIONAL MECHANICAL CODE 2018 EDITION, WITH GEORGIA AMENDMENTS (2009) (2022) (2024)
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2022)
- INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2022)
- INTERNATIONAL ELECTRICAL CODE, 2017 EDITION, WITH GEORGIA AMENDMENTS (2020) (2022) (2023)
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE 2018 EDITION, WITH GEORGIA AMENDMENTS (2009) (2022) (2024)
- CODE PLEASE CONTACT THE STATE FIRE MARSHAL'S OFFICE.

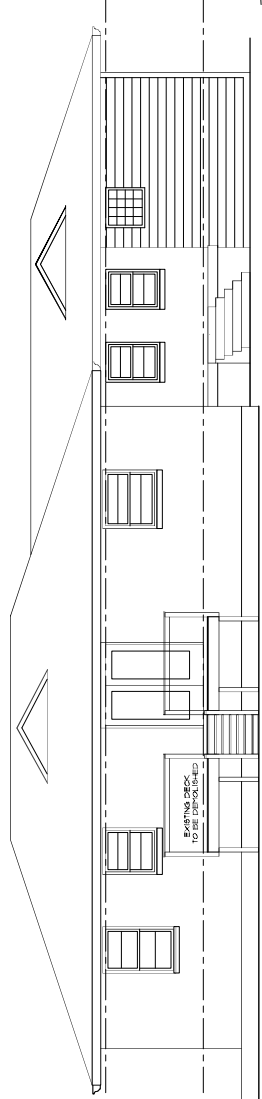
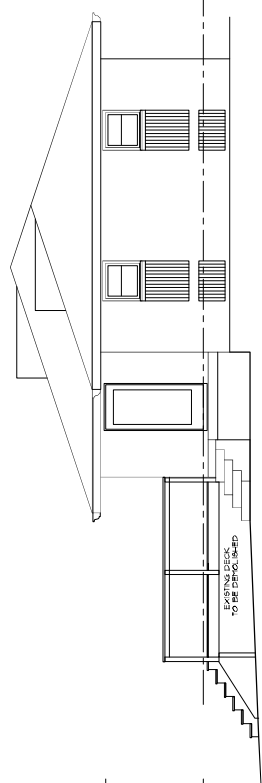
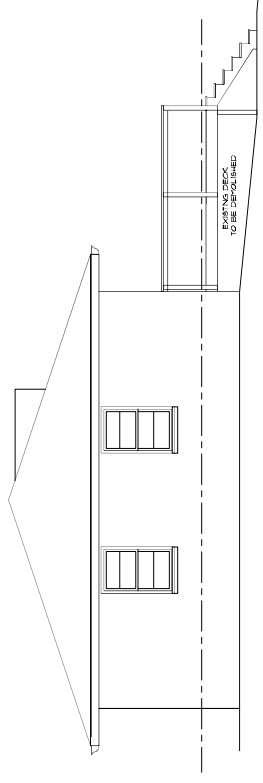
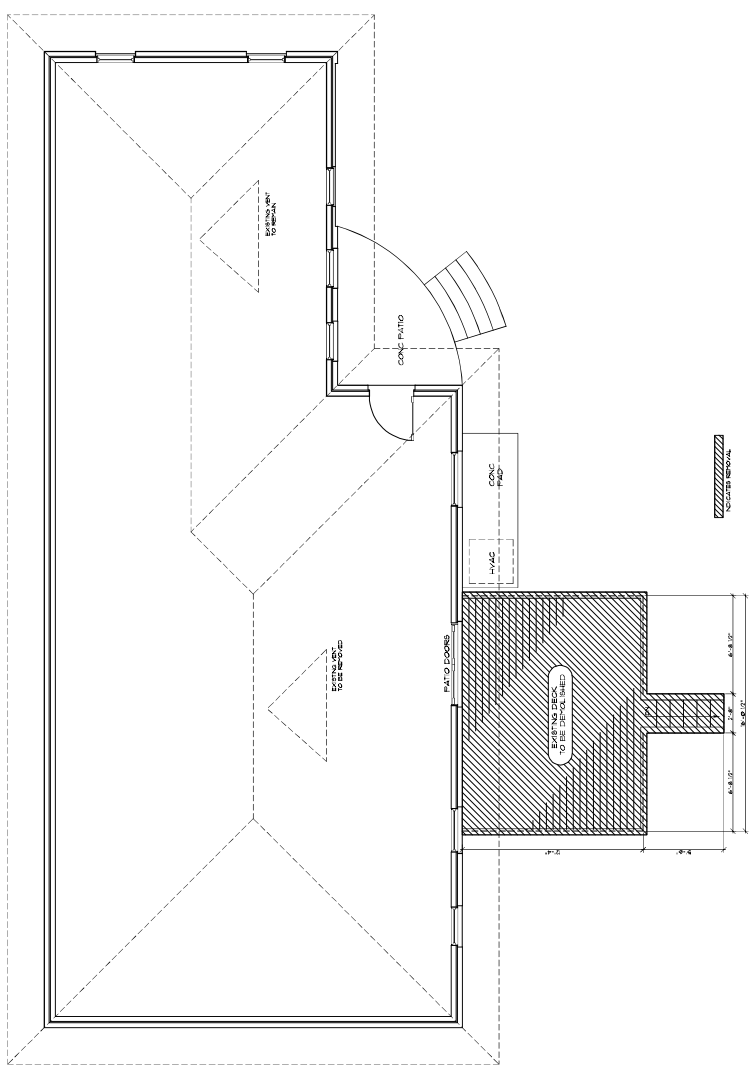
**LISTS OF DRAWINGS**

- COV-1 PROJECT DATA INFORMATION
- EX-1 EXISTING PLANS & ELEVATIONS
- EX-2 EXISTING ELEVATIONS
- A-2.0 PROPOSED ROOF & FOUNDATION PLANS CURB/RAIL DETAILS
- A-3.0 BUILDING SECTION

**GENERAL NOTES**

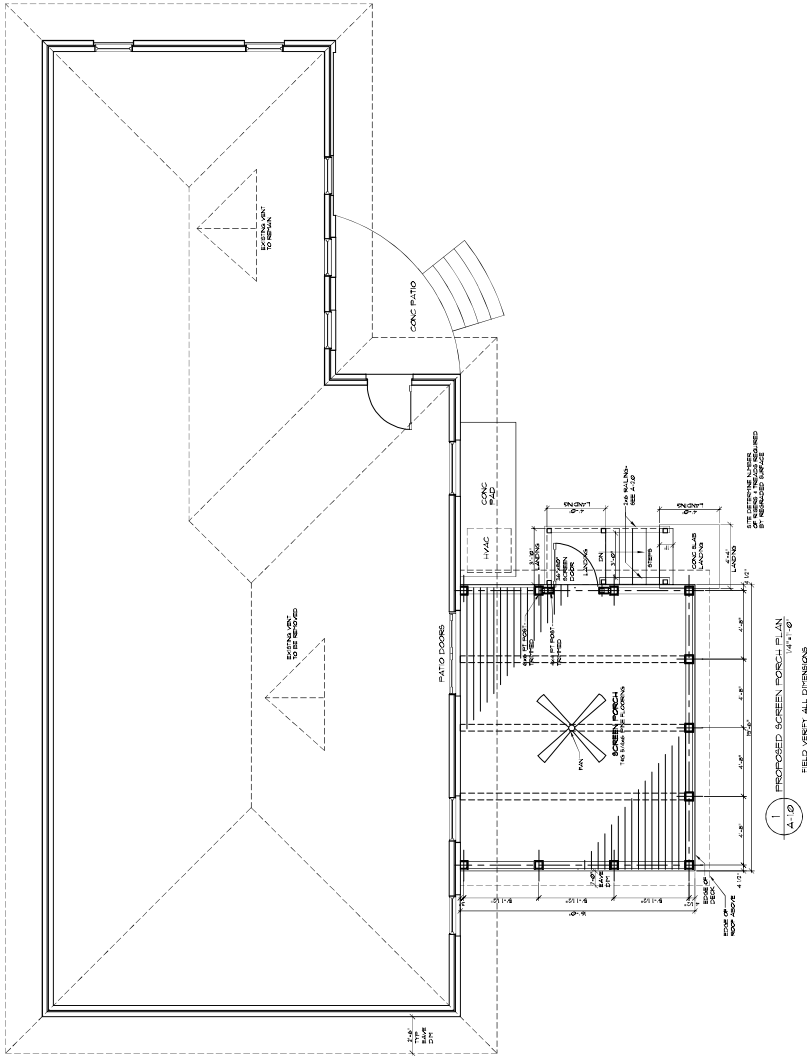
- 1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 6 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.



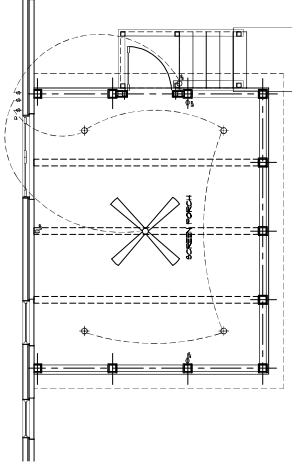


CONTRACT SET 2.7.24  
ISSUED FOR CONSTRUCTION

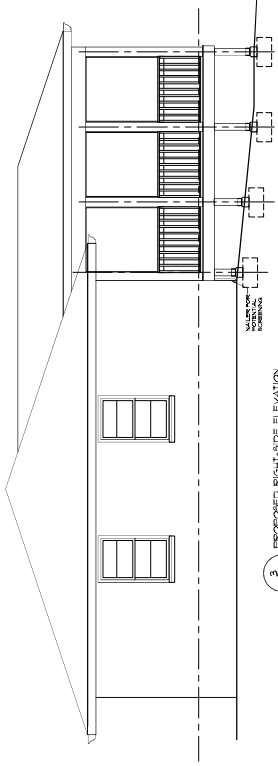
CONTRACT SET 2.7.24  
 ISSUED FOR CONSTRUCTION



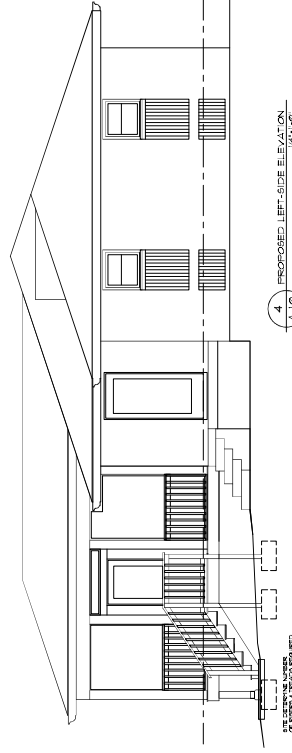
| ELECTRICAL LEGEND |                           |
|-------------------|---------------------------|
| (Symbol)          | 1. 120V 15A GFCI BREAKER  |
| (Symbol)          | 2. 120V 20A GFCI BREAKER  |
| (Symbol)          | 3. 120V 20A GFCI BREAKER  |
| (Symbol)          | 4. 120V 20A GFCI BREAKER  |
| (Symbol)          | 5. 120V 20A GFCI BREAKER  |
| (Symbol)          | 6. 120V 20A GFCI BREAKER  |
| (Symbol)          | 7. 120V 20A GFCI BREAKER  |
| (Symbol)          | 8. 120V 20A GFCI BREAKER  |
| (Symbol)          | 9. 120V 20A GFCI BREAKER  |
| (Symbol)          | 10. 120V 20A GFCI BREAKER |
| (Symbol)          | 11. 120V 20A GFCI BREAKER |
| (Symbol)          | 12. 120V 20A GFCI BREAKER |
| (Symbol)          | 13. 120V 20A GFCI BREAKER |
| (Symbol)          | 14. 120V 20A GFCI BREAKER |
| (Symbol)          | 15. 120V 20A GFCI BREAKER |
| (Symbol)          | 16. 120V 20A GFCI BREAKER |
| (Symbol)          | 17. 120V 20A GFCI BREAKER |
| (Symbol)          | 18. 120V 20A GFCI BREAKER |
| (Symbol)          | 19. 120V 20A GFCI BREAKER |
| (Symbol)          | 20. 120V 20A GFCI BREAKER |
| (Symbol)          | 21. 120V 20A GFCI BREAKER |
| (Symbol)          | 22. 120V 20A GFCI BREAKER |
| (Symbol)          | 23. 120V 20A GFCI BREAKER |
| (Symbol)          | 24. 120V 20A GFCI BREAKER |
| (Symbol)          | 25. 120V 20A GFCI BREAKER |
| (Symbol)          | 26. 120V 20A GFCI BREAKER |
| (Symbol)          | 27. 120V 20A GFCI BREAKER |
| (Symbol)          | 28. 120V 20A GFCI BREAKER |
| (Symbol)          | 29. 120V 20A GFCI BREAKER |
| (Symbol)          | 30. 120V 20A GFCI BREAKER |



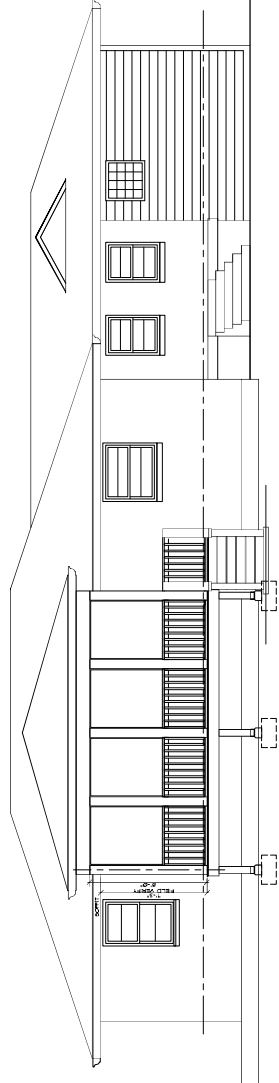
5 SCREEN PORCH ELECTRICAL PLAN  
 1/4" = 1'-0"



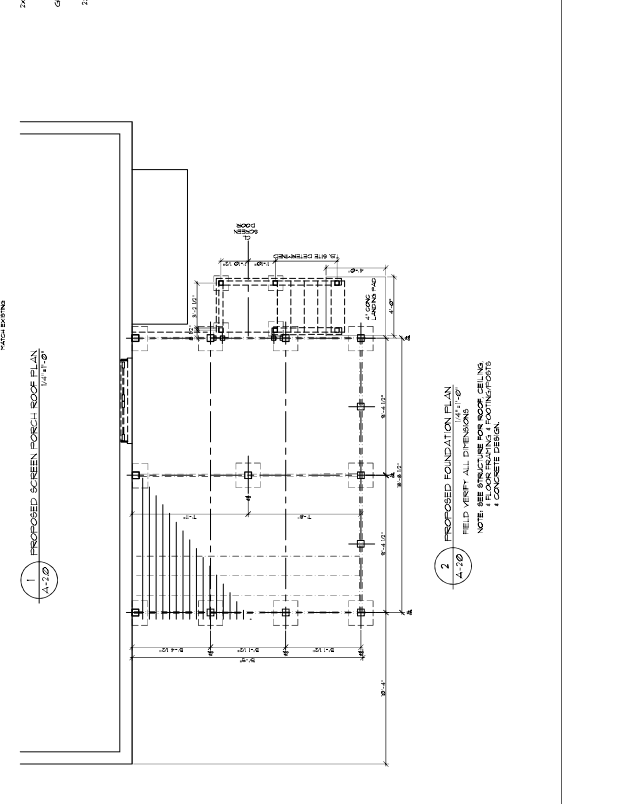
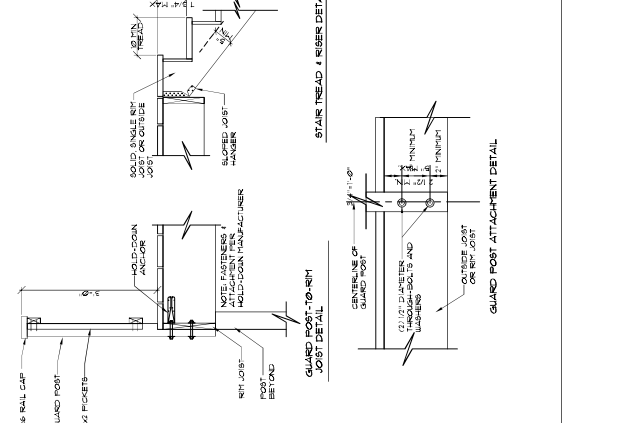
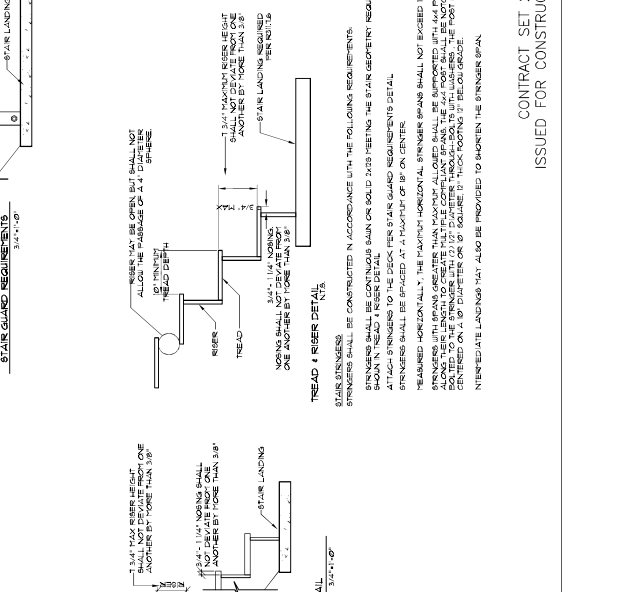
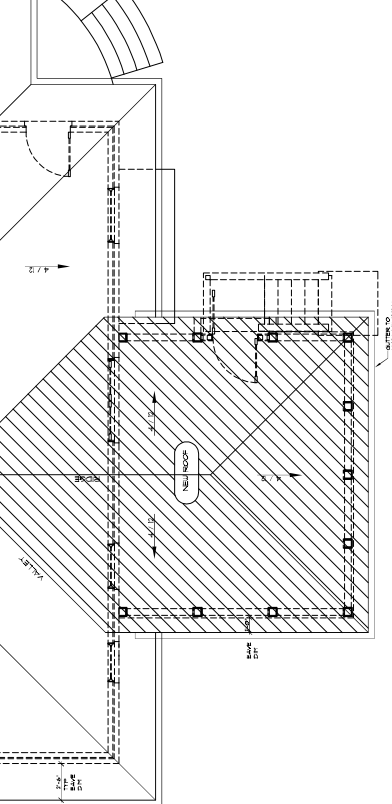
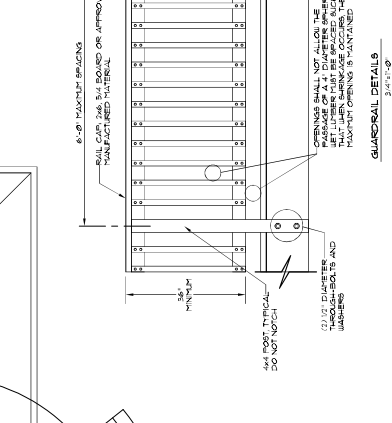
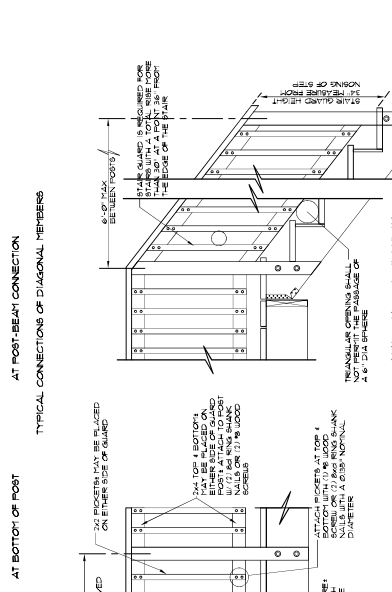
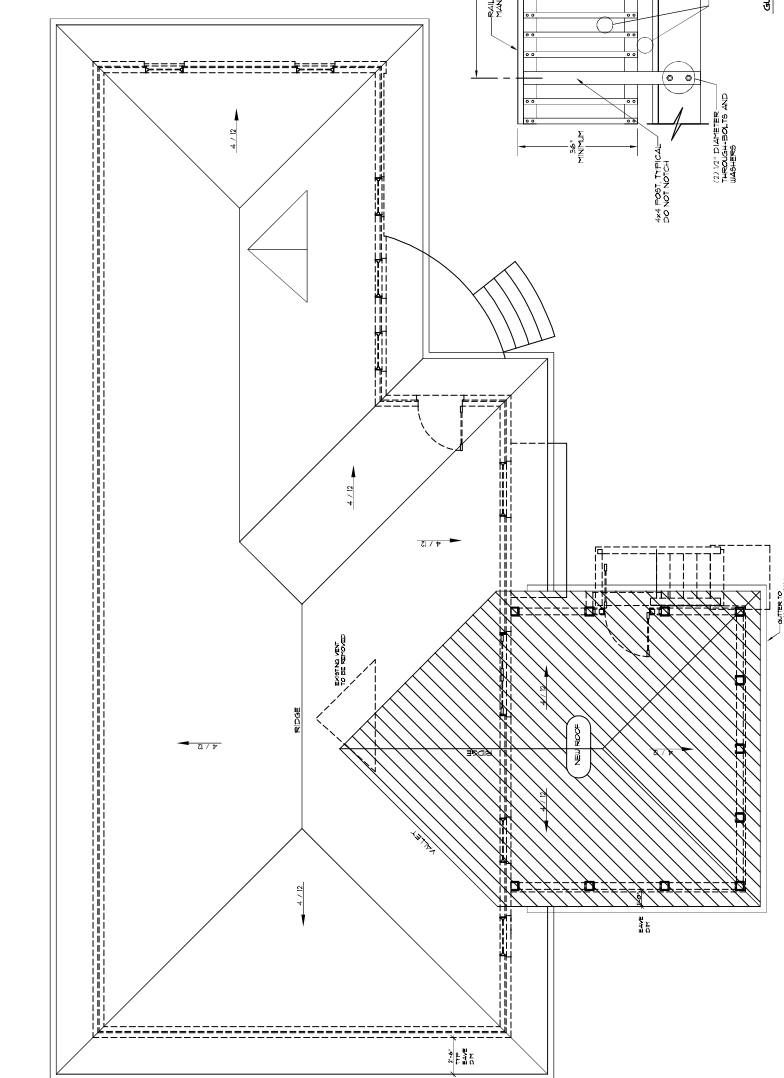
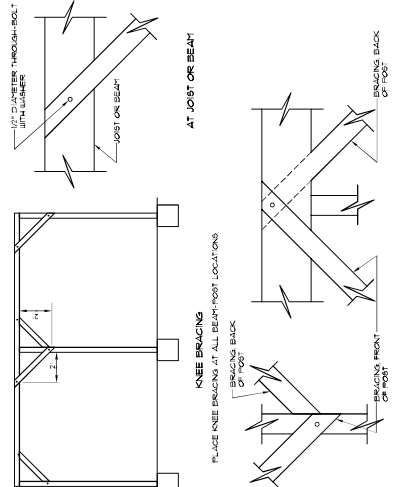
3 PROPOSED RIGHT-SIDE ELEVATION  
 1/4" = 1'-0"



4 PROPOSED LEFT-SIDE ELEVATION  
 1/4" = 1'-0"



2 PROPOSED BACK ELEVATION  
 1/4" = 1'-0"  
 FIELD VERIFY ALL DIMENSIONS

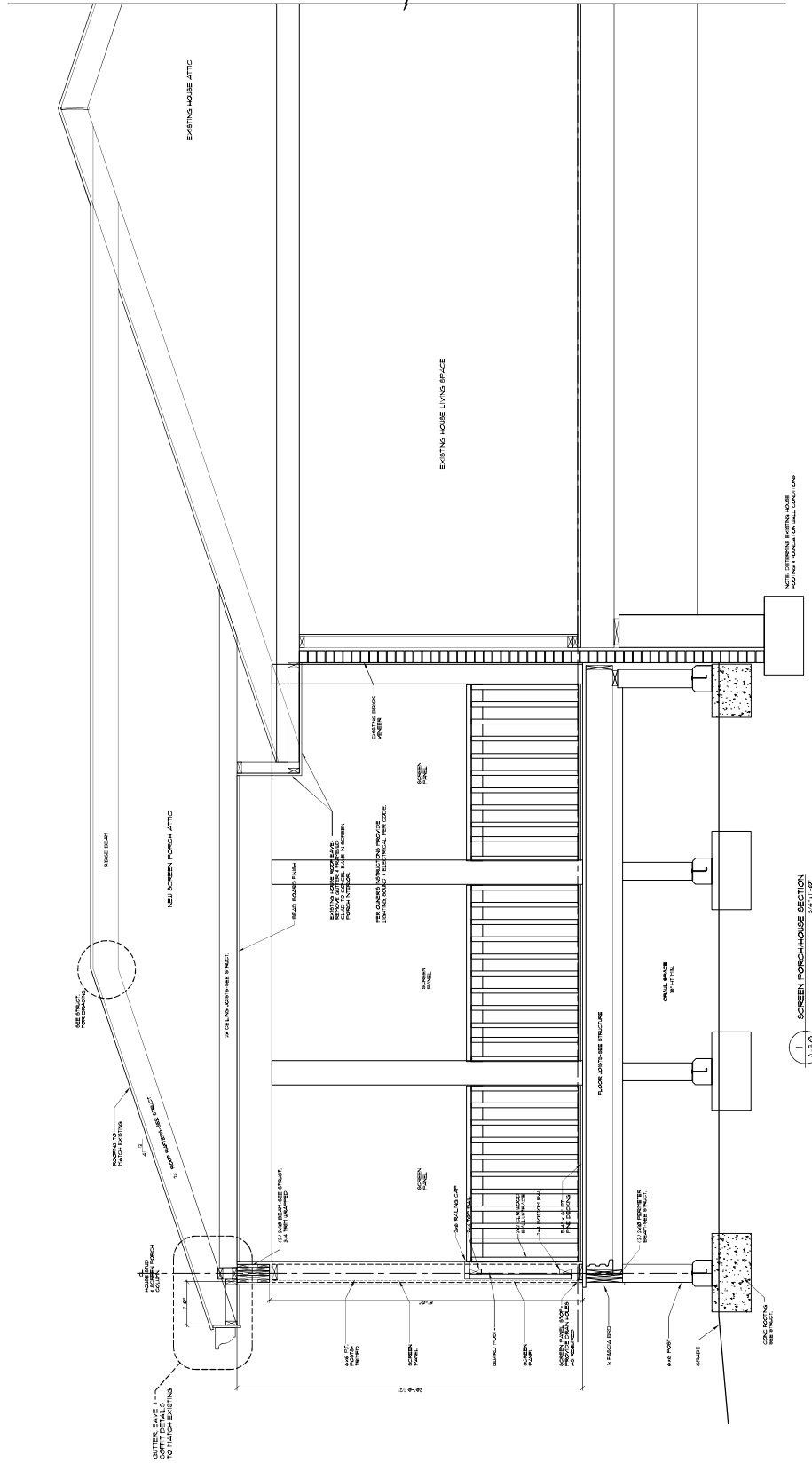


CONTRACT SET 2.7.24  
 ISSUED FOR CONSTRUCTION

SCREEN PORCH PROJECT  
1781 DYSON DR  
DeKalb County, Georgia 30030

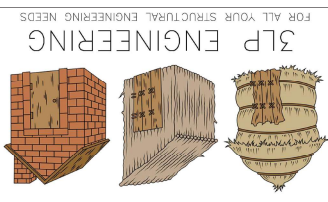
BUILDING SECTION

**SterlingWorks**  
SCREEN & PATIO MODELING  
404.333.9000  
www.sterlingworks.com



1 SCREEN PORCH HOUSE SECTION  
3/4" = 1'-0"





**3P ENGINEERING**  
 103 WEATHERSTONE DRIVE, STE 730  
 WOODBRIDGE, VA 22191  
 (703) 776-4744

FOR ALL YOUR STRUCTURAL ENGINEERING NEEDS

| 1ST LEVEL FRAMING LEGEND           |  |
|------------------------------------|--|
| EXISTING IND. WALL                 |  |
| 1ST LEVEL WALLS ABOVE              |  |
| HEADERS OR BEAMS                   |  |
| 2x10 SYP #2 P.T. DECK JOISTS       |  |
| COLUMN OR STUD PACK BELOW          |  |
| COLUMN OR STUD PACK ABOVE          |  |
| VENNER ABOVE                       |  |
| EXISTING STRUCTURE TO REMAIN AS IS |  |

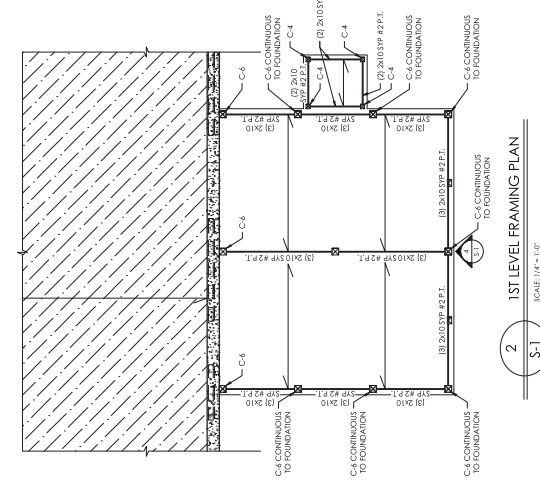
| FLOOR DESIGN LOADS |        |
|--------------------|--------|
| LIVE LOAD          | 40 PSF |
| DEAD LOAD          | 10 PSF |

| COLUMN SCHEDULE |                        |
|-----------------|------------------------|
| C-4             | 4x4 SYP #2 P.T. COLUMN |
| C-6             | 6x6 SYP #2 P.T. COLUMN |

| MINIMUM PACKED STUD SCHEDULE* |                |
|-------------------------------|----------------|
| (1) 2x10                      | (1) 2x4 SYP #2 |
| (2) 2x10                      | (2) 2x4 SYP #2 |
| (3) 2x10                      | (3) 2x4 SYP #2 |
| (4) 2x10                      | (4) 2x4 SYP #2 |

\* 4" OF FIBER IN STUD PACKS IN JOIST REQUIRED MIN. 1" OF JACK STUDS (I.D.A.O.)

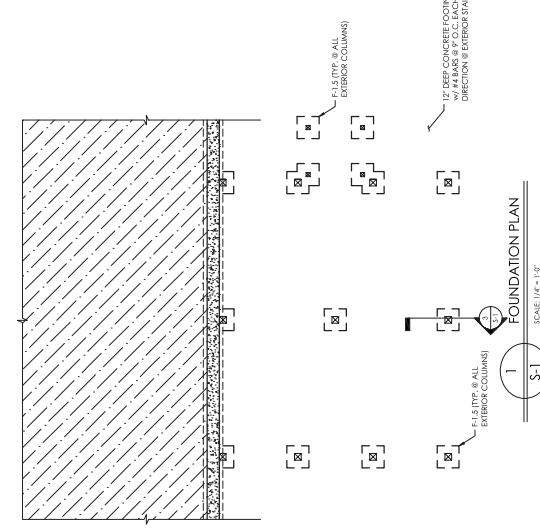
\* FOR USE WHERE MEMBER SUPPORTS ARE NOT OTHERWISE CALLED OUT ON PLAN



**2 1ST LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

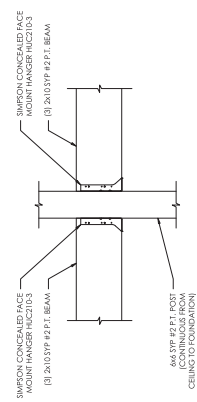
| FOUNDATION LEGEND                                      |  |
|--|--|
| EXISTING IND. WALL                                     |  |
| NEW FOOTING OR EXISTING FOOTING ON FOUNDATION (F.B.V.) |  |
| COLUMN OR STUD PACK ABOVE                              |  |
| EXISTING STRUCTURE TO REMAIN AS IS                     |  |

| FOOTING SCHEDULE |  |
|------------------|--|
| F-1.5            | 1'-6" x 1'-6" x 12" DEEP FOOTING W/ #4 BARS @ 9" O.C. EACH |

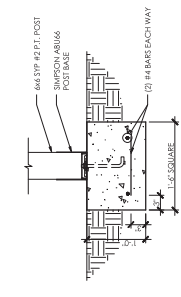


**1 FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

STRUCTURAL CONNECTIONS IN CONTACT WITH PRESS-TREATED LUMBER OR EXPOSED TO WEATHER SHALL BE PROTECTED FROM WEATHERING. THEREFORE, 2" MAX. COATING (NOT DIPPED) GALV. OR OTHER MATERIAL ON SIMILAR IS REQUIRED.  
 STRUCTURAL FRAMING MEMBERS EXPOSED TO EXTERIOR TO BE PROTECTED FROM WEATHERING ELEMENTS.



**4 SECTION**  
 1" = 1'-0"



**3 SECTION**  
 1" = 1'-0"

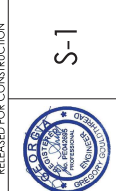
- 1ST FLOOR FRAMING NOTES:**
- ALL DECK JOISTS TO BE 2x10 SYP #2 P.T. @ 16" O.C. (UNLESS NOTED OTHERWISE).
  - ALL DECK JOISTS TO BE CONTINUOUSLY BRACED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES.
  - USE APPROVED SIMPSON HANGERS W/ MAX. ATTACHMENT ON ALL WOOD JOISTS. DO NOT USE MULTI-BEARING JOISTS (UNLESS NOTED OTHERWISE). LAP JOISTS BEHIND THE WALL UNLESS NOTED OTHERWISE.
  - IN FLOOR CAVITIES, PROVIDE BLOCKING UNDER ALL CONCEALED BEAMS WHERE REQUIRED. PROVIDE ADEQUATE AND PROPER FLASHING AGAINST WATER IN TRIGGERS (ITP 1).

- FOUNDATION NOTES:**
- FOUNDATION IS DESIGNED BASED ON ASSUMED 2000 PSF ALLOWABLE SOIL BEARING CAPACITY.
  - SEE SHEET 5.0 FOR ADDITIONAL NOTES.

**SCREEN PORCH PROJECT**  
 1781 DYSON DRIVE  
 ATLANTA, GEORGIA 30030

|              |              |
|--------------|--------------|
| 3P #:        | 24008        |
| DATE ISSUED: | 1/30/2023    |
| SCALE:       | 1/4" = 1'-0" |
| ENGINEER:    | CJG          |
| REVIEWER:    | GDC          |
| DRAWER:      | CJG          |

**FOUNDATION & 1ST LEVEL FRAMING PLANS**  
 RELEASED FOR CONSTRUCTION



S-1



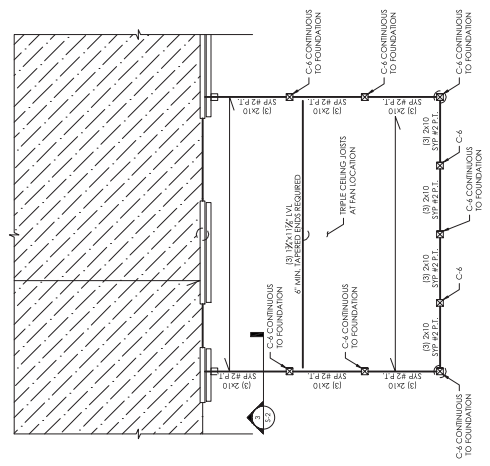
| CEILING DESIGN LOADS |        |
|----------------------|--------|
| LIVE LOAD            | 20 PSF |
| DEAD LOAD            | 10 PSF |

| CEILING FRAMING LEGEND |                           |
|------------------------|---------------------------|
|                        | 1ST LEVEL WALLS           |
|                        | NEW HEADERS OR BEAMS      |
|                        | EXISTING HEADERS OR BEAMS |
|                        | NEW 2x10 SPP #2 BEAMS     |
|                        | CEILING JOISTS            |
|                        | EXISTING CEILING JOISTS   |
|                        | COLUMN OR STUD PACK       |
|                        | VENEUR BELOW              |
|                        | ROOF BRACING ABOVE        |
|                        | EXISTING STRUCTURE        |

| COLUMN SCHEDULE |                        |
|-----------------|------------------------|
| C-4             | 4x4 SPP #2 P.T. COLUMN |
| C-6             | 6x6 SPP #2 P.T. COLUMN |

| MINIMUM PACKED STUD SCHEDULE* |                |
|-------------------------------|----------------|
| (2) P1Y BEAM                  | (3) 2x4 SPP #2 |
| (3) P1Y BEAM                  | (3) 2x4 SPP #2 |
| (4) P1Y BEAM                  | (4) 2x4 SPP #2 |

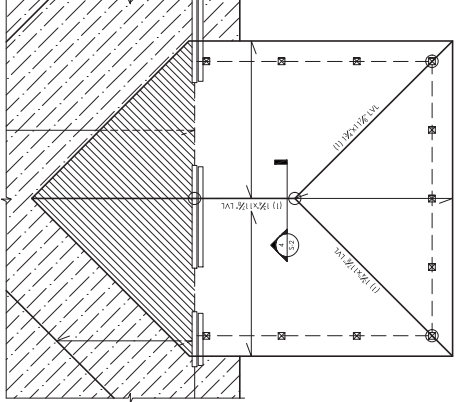
\* FOR USE WHERE MEMBER SUPPORTS ARE NOT OTHERWISE CALLED OUT ON PLAN



1 CEILING LEVEL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

| ROOF DESIGN LOADS |        |
|-------------------|--------|
| LIVE LOAD         | 20 PSF |
| DEAD LOAD         | 10 PSF |

| ROOF FRAMING LEGEND |                           |
|---------------------|---------------------------|
|                     | ROOF LINES                |
|                     | 1ST LEVEL WALLS           |
|                     | NEW HEADERS OR BEAMS      |
|                     | EXISTING HEADERS OR BEAMS |
|                     | NEW 2x6 SPP #2 RAFTERS    |
|                     | EXISTING RAFTERS          |
|                     | DIRECT MEMBER BRACING     |
|                     | 2x4 MIN. LIN. C.          |
|                     | VENEUR BELOW              |
|                     | OVER-FRAMING              |
|                     | EXISTING STRUCTURE        |

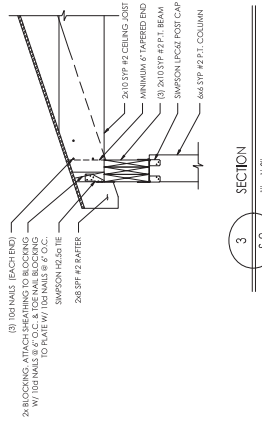


2 ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

STRUCTURAL CONNECTIONS IN CONTACT WITH EXISTING STRUCTURE SHALL BE PROTECTED FROM WEATHERING. THEREFORE, A MAINTENANCE COATING OR DIPPED GALV. SHALL BE APPLIED TO ALL EXPOSED MATERIAL ON SIMILAR SITUATIONS.  
STRUCTURAL FRAMING MEMBERS EXPOSED TO EXTERIOR TO BE PROTECTED FROM WEATHERING ELEMENTS.

CEILING FRAMING NOTES:

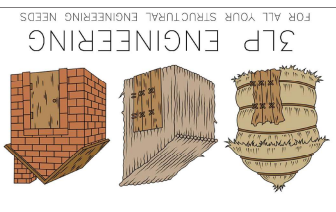
- ALL CEILING JOISTS TO BE 2x10 SPP #2 @ 16" O.C. (UNLESS NOTED OTHERWISE).
  - NEW WINDOW AND DOOR HEADERS IN EXISTING LOAD BEARING WALLS TO BE 2x10 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C.
  - WALL BRACE FINISHES & RAFTERS ON CEILING BEAMS OR LOAD BEARING WALLS TO BE 2x4 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C. AT INTERMEDIATE WALLS.
  - THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROT. ALL END JOISTS ARE TO BE CONTINUOUSLY BRACED TO THE SIDES.
  - USE APPROVED SIMPSON HANGERS W/ MAX. ATTACHMENT ON ALL WOOD BEAM / JOIST CONNECTIONS. (UNLESS NOTED OTHERWISE) LAP JOISTS BY THE THICKNESS OF BEARING WALL (MINIMUM 3") AND DO NOT EXTEND IN CEILING CAVITIES. PROVIDE SMOOCHING UNDER ALL CONCENTRATED LOADS.
  - WATER INTRUSION TYP. IN PLAN ARE TO BE 1/2" PER IN. AND ARE TO HAVE AN ANNUAL SIZE MODULUS OF ELASTICITY (UNLESS NOTED OTHERWISE) OF 1000.
  - CONNECTION BETWEEN FIBER GLASS INSULATION AND MANUFACTURER'S GUIDE.
- 1ST LEVEL WALL BELOW CEILING FRAMING NOTES:
- NEW WINDOW AND DOOR HEADERS IN EXISTING LOAD BEARING WALLS TO BE 2x10 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C.
  - WALL BRACE FINISHES & RAFTERS ON CEILING BEAMS OR LOAD BEARING WALLS TO BE 2x4 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C. AT INTERMEDIATE WALLS.
  - THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROT. ALL END JOISTS ARE TO BE CONTINUOUSLY BRACED TO THE SIDES.
  - USE APPROVED SIMPSON HANGERS W/ MAX. ATTACHMENT ON ALL WOOD BEAM / JOIST CONNECTIONS. (UNLESS NOTED OTHERWISE) LAP JOISTS BY THE THICKNESS OF BEARING WALL (MINIMUM 3") AND DO NOT EXTEND IN CEILING CAVITIES. PROVIDE SMOOCHING UNDER ALL CONCENTRATED LOADS.
  - WATER INTRUSION TYP. IN PLAN ARE TO BE 1/2" PER IN. AND ARE TO HAVE AN ANNUAL SIZE MODULUS OF ELASTICITY (UNLESS NOTED OTHERWISE) OF 1000.
  - CONNECTION BETWEEN FIBER GLASS INSULATION AND MANUFACTURER'S GUIDE.



3 SECTION  
1" = 1'-0"

- ROOF FRAMING NOTES:
- ALL NEW RAFTERS TO BE 2x6 SPP #2 @ 16" O.C. (UNLESS NOTED OTHERWISE). EXISTING RAFTERS TO BE 2x6 SPP #2 @ 16" O.C. (UNLESS NOTED OTHERWISE).
  - NEW WINDOW AND DOOR HEADERS IN EXISTING LOAD BEARING WALLS TO BE 2x10 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C.
  - WALL BRACE FINISHES & RAFTERS ON CEILING BEAMS OR LOAD BEARING WALLS TO BE 2x4 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C. AT INTERMEDIATE WALLS.
  - THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROT. ALL END JOISTS ARE TO BE CONTINUOUSLY BRACED TO THE SIDES.
  - USE APPROVED SIMPSON HANGERS W/ MAX. ATTACHMENT ON ALL WOOD BEAM / JOIST CONNECTIONS. (UNLESS NOTED OTHERWISE) LAP JOISTS BY THE THICKNESS OF BEARING WALL (MINIMUM 3") AND DO NOT EXTEND IN CEILING CAVITIES. PROVIDE SMOOCHING UNDER ALL CONCENTRATED LOADS.
  - WATER INTRUSION TYP. IN PLAN ARE TO BE 1/2" PER IN. AND ARE TO HAVE AN ANNUAL SIZE MODULUS OF ELASTICITY (UNLESS NOTED OTHERWISE) OF 1000.
  - CONNECTION BETWEEN FIBER GLASS INSULATION AND MANUFACTURER'S GUIDE.
- 1ST LEVEL WALL BELOW CEILING FRAMING NOTES:
- NEW WINDOW AND DOOR HEADERS IN EXISTING LOAD BEARING WALLS TO BE 2x10 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C.
  - WALL BRACE FINISHES & RAFTERS ON CEILING BEAMS OR LOAD BEARING WALLS TO BE 2x4 SPP #2 @ 16" O.C. & 12" NAIL BRACING TO PLATE W/ 10D NAILS @ 6" O.C. AT INTERMEDIATE WALLS.
  - THE ENDS OF ALL BEAMS AND JOISTS ARE TO BE RESTRAINED TO PREVENT ROT. ALL END JOISTS ARE TO BE CONTINUOUSLY BRACED TO THE SIDES.
  - USE APPROVED SIMPSON HANGERS W/ MAX. ATTACHMENT ON ALL WOOD BEAM / JOIST CONNECTIONS. (UNLESS NOTED OTHERWISE) LAP JOISTS BY THE THICKNESS OF BEARING WALL (MINIMUM 3") AND DO NOT EXTEND IN CEILING CAVITIES. PROVIDE SMOOCHING UNDER ALL CONCENTRATED LOADS.
  - WATER INTRUSION TYP. IN PLAN ARE TO BE 1/2" PER IN. AND ARE TO HAVE AN ANNUAL SIZE MODULUS OF ELASTICITY (UNLESS NOTED OTHERWISE) OF 1000.
  - CONNECTION BETWEEN FIBER GLASS INSULATION AND MANUFACTURER'S GUIDE.

4 SECTION  
1" = 1'-0"



FOR ALL YOUR STRUCTURAL ENGINEERING NEEDS

3P ENGINEERING  
103 WATERSTONE DRIVE, STE 730  
WOODBRIDGE, VA 22191  
TEL: (703) 776-4744  
FAX: (703) 776-4744  
THESE DRAWINGS, REVISIONS, AND SPECIFICATIONS SHALL BE THE PROPERTY OF 3P ENGINEERING. NO REPRODUCTION OR USE FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF 3P ENGINEERING. AS PER DRAWING DATE, BUILDERS SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE BUILDING CODES. DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER ASSUMED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. CONNECTIONS AT THE SITE BEING RESPONSIBLE TO THE CONTRACTOR.

SCREEN PORCH PROJECT  
1781 DYSON DRIVE  
ATLANTA, GEORGIA 30030

|             |                        |                     |                  |                  |                |
|-------------|------------------------|---------------------|------------------|------------------|----------------|
| 3P #: 24008 | DATE ISSUED: 1/30/2023 | SCALE: 1/4" = 1'-0" | ENGINEER: C.J.G. | REVIEWER: G.D.C. | DRAWER: C.J.G. |
| SUBMITTALS  | STRUCTURAL             |                     |                  |                  |                |

CEILING LEVEL & ROOF FRAMING PLANS



S-2

RELEASED FOR CONSTRUCTION

**Dekalb County Historic Preservation Committee  
Certificate of Appropriateness Applicant  
1781 Dyson Drive, Decatur, GA 30030**

Dekalb County

Historic Preservation – Certificate of Appropriateness

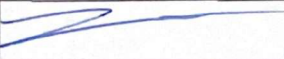
Meeting: Monday, April 15, 2024

Summary:

Zoning: R-85

Homeowner seeks to demolish existing dilapidated deck at rear of property in favor of a screen porch with stairs. This improvement requires a Certificate of Appropriateness by Dekalb County Historic Preservation Committee.

We the undersigned support of the variance and have no objections with the project going forward.

| Date      | Signature   | Printed Name  | Address                               | Comment  |
|-----------|---|---------------|---------------------------------------|--|
| 3/16/2024 |  | Donna Vassone | 1787 Dyson Dr<br>Decatur, GA<br>30030 | I support their<br>plan to add or<br>repair the<br>deck. |

Questions??

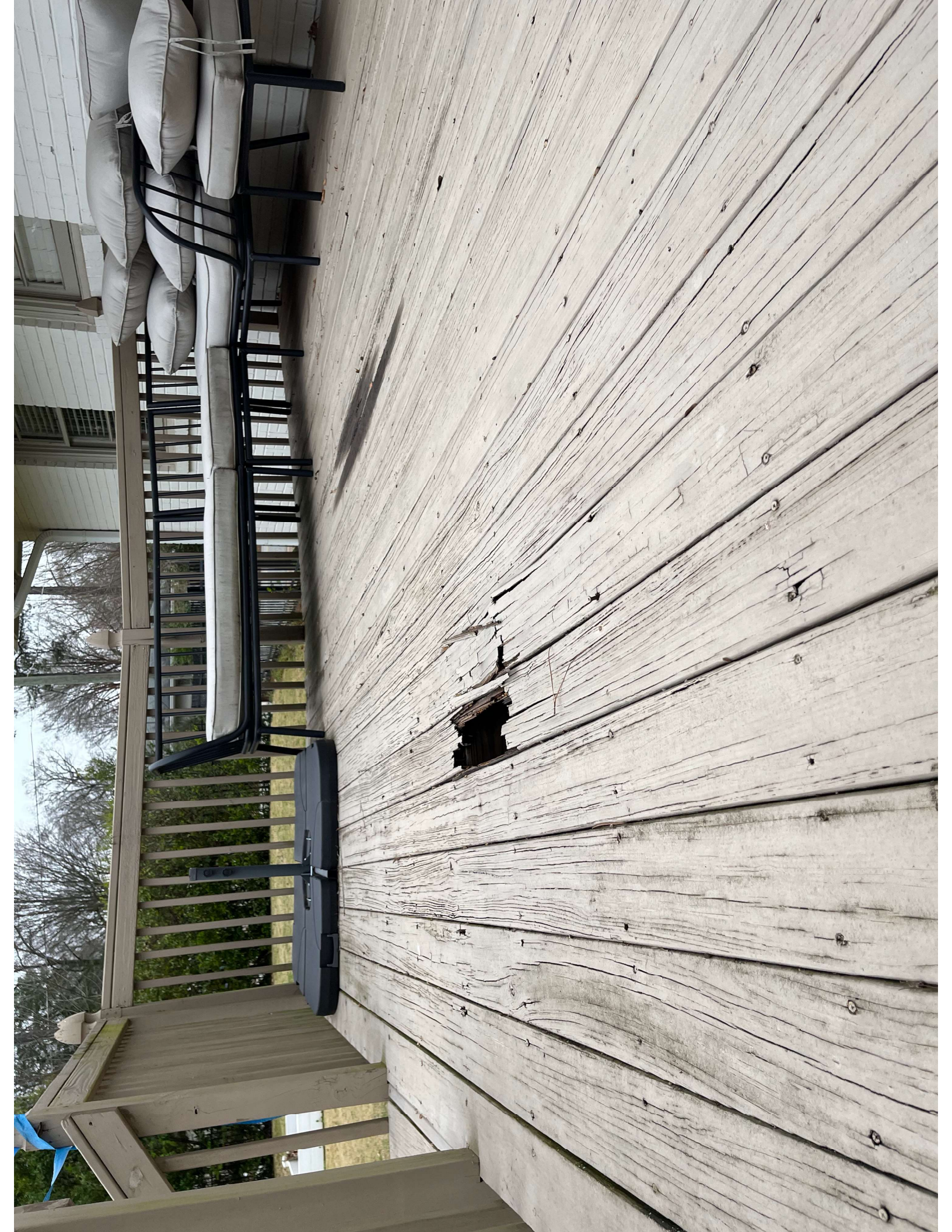
Contact:

Nichelle Bell, ApplicantEmail: [paatl1968@gmail.com](mailto:paatl1968@gmail.com)

**PLEASE SIGN AND EMAIL TO [PAATL1968@GMAIL.COM](mailto:PAATL1968@GMAIL.COM)**











**Dekalb County Historic Preservation Committee  
Certificate of Appropriateness Applicant  
1781 Dyson Drive, Decatur, GA 30030**

**Dekalb County**

**Historic Preservation – Certificate of Appropriateness**

**Meeting: Monday, April 15, 2024**

**Summary:**

**Zoning: R-85**

**Homeowner seeks to demolish existing dilapidated deck at rear of property in favor of a screen porch with stairs. This improvement requires a Certificate of Appropriateness by Dekalb County Historic Preservation Committee.**

**We the undersigned support of the variance and have no objections with the project going forward.**

| Date | Signature | Printed Name | Address | Comment |
|------|-----------|--------------|---------|---------|
|      |           |              |         |         |

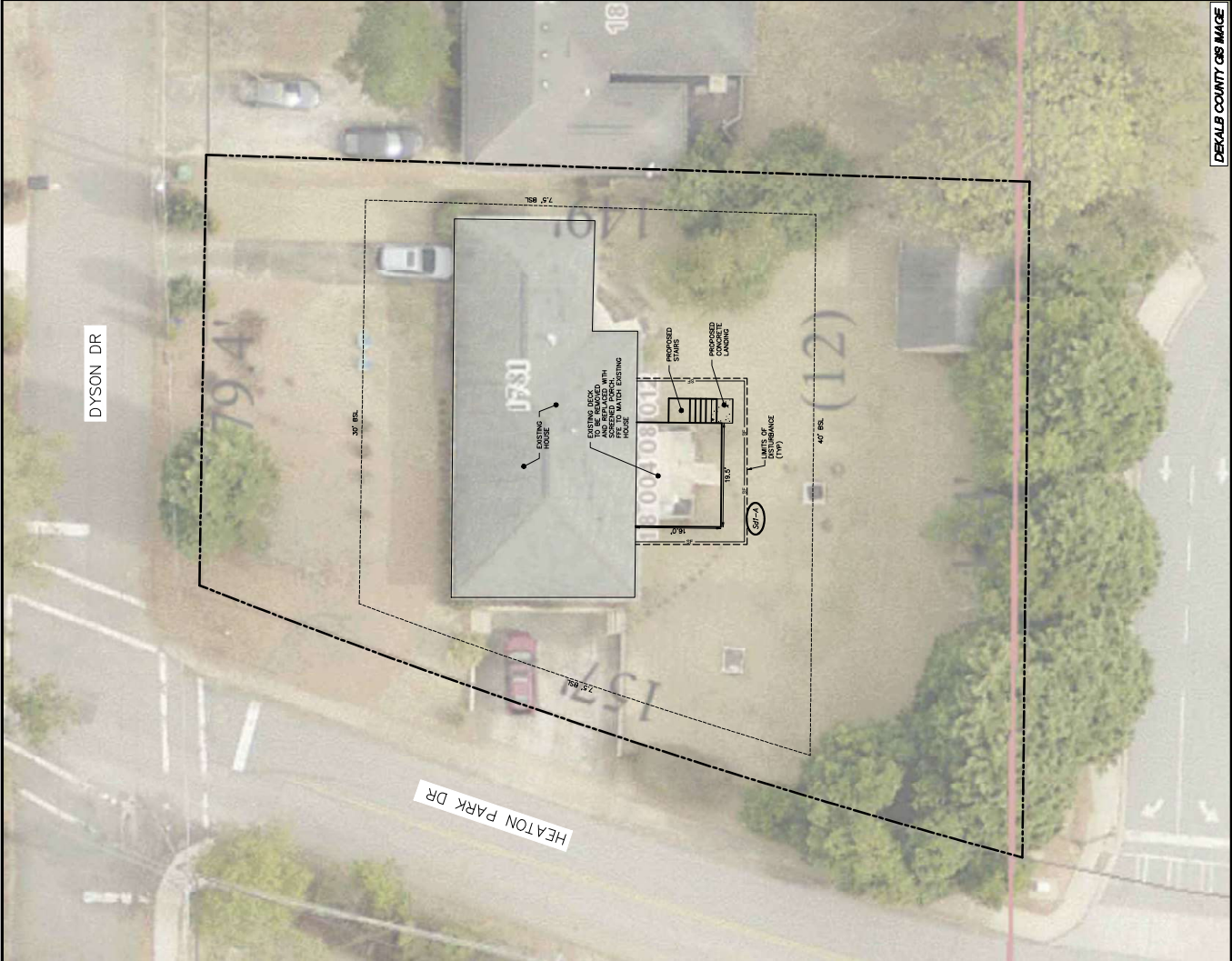
Questions??

Contact:

Nichelle Bell, ApplicantEmail: [paatl1968@gmail.com](mailto:paatl1968@gmail.com)

**PLEASE SIGN AND EMAIL TO [PAATL1968@GMAIL.COM](mailto:PAATL1968@GMAIL.COM)**





DEKALB COUNTY GIS IMAGE

**SITE AREA SUMMARY**

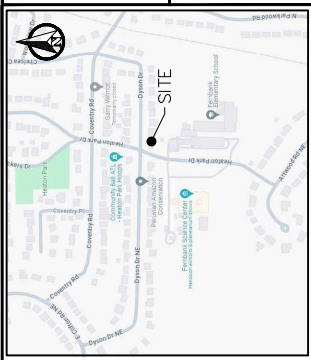
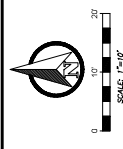
TOTAL SITE AREA = 15,882 SF (0.36 AC)  
 DISTURBED AREA = 648 SF

|                           |                  |
|---------------------------|------------------|
| EXISTING AREA (IRRAWADDI) | 407              |
| CONCRETE DRIVEWAY         | 74               |
| CONCRETE WALKWAY          | 200              |
| REAR DECK W/ STAIRS       | 466              |
| SEAL SHED                 | 3,912            |
| TOTAL                     | 4,977 (0.115 AC) |

PROPOSED AREA (IRRAWADDI)

|                     |                  |
|---------------------|------------------|
| HOUSE               | 2,287            |
| CONCRETE DRIVEWAY   | 806              |
| CONCRETE WALKWAY    | 74               |
| REAR DECK W/ STAIRS | 25               |
| CONCRETE PATIO      | 466              |
| SEAL SHED           | 4,977 (0.115 AC) |
| TOTAL               | 4,977 (0.115 AC) |

LOT COVERAGE PROPOSED 4,077 SF (25%)



**PROJECT NARRATIVE:**  
 THE PROPOSED IMPROVEMENTS CONSIDER THE REMOVAL OF THE EXISTING DRIVEWAY AND WALKWAY. THE REMOVAL OF THE EXISTING DRIVEWAY AND WALKWAY IS LIMITED TO 200' OF THE DRIVEWAY AND WALKWAY. THE REMOVAL OF THE EXISTING DRIVEWAY AND WALKWAY IS LIMITED TO 200' OF THE DRIVEWAY AND WALKWAY. THE REMOVAL OF THE EXISTING DRIVEWAY AND WALKWAY IS LIMITED TO 200' OF THE DRIVEWAY AND WALKWAY.

**CONTRACTOR'S RESPONSIBILITY FOR PROVIDING EROSION CONTROL:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SEDIMENTATION.

**NEEDS**

|                                     |    |
|-------------------------------------|----|
| NEED 1: EROSION CONTROL             | 15 |
| NEED 2: SEDIMENTATION CONTROL       | 15 |
| NEED 3: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 4: MAINTENANCE                 | 15 |
| NEED 5: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 6: MAINTENANCE                 | 15 |
| NEED 7: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 8: MAINTENANCE                 | 15 |
| NEED 9: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 10: MAINTENANCE                | 15 |



**NEEDS**

|                                     |    |
|-------------------------------------|----|
| NEED 1: EROSION CONTROL             | 15 |
| NEED 2: SEDIMENTATION CONTROL       | 15 |
| NEED 3: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 4: MAINTENANCE                 | 15 |
| NEED 5: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 6: MAINTENANCE                 | 15 |
| NEED 7: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 8: MAINTENANCE                 | 15 |
| NEED 9: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 10: MAINTENANCE                | 15 |



**NEEDS**

|                                     |    |
|-------------------------------------|----|
| NEED 1: EROSION CONTROL             | 15 |
| NEED 2: SEDIMENTATION CONTROL       | 15 |
| NEED 3: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 4: MAINTENANCE                 | 15 |
| NEED 5: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 6: MAINTENANCE                 | 15 |
| NEED 7: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 8: MAINTENANCE                 | 15 |
| NEED 9: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 10: MAINTENANCE                | 15 |



**NEEDS**

|                                     |    |
|-------------------------------------|----|
| NEED 1: EROSION CONTROL             | 15 |
| NEED 2: SEDIMENTATION CONTROL       | 15 |
| NEED 3: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 4: MAINTENANCE                 | 15 |
| NEED 5: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 6: MAINTENANCE                 | 15 |
| NEED 7: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 8: MAINTENANCE                 | 15 |
| NEED 9: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 10: MAINTENANCE                | 15 |



**NEEDS**

|                                     |    |
|-------------------------------------|----|
| NEED 1: EROSION CONTROL             | 15 |
| NEED 2: SEDIMENTATION CONTROL       | 15 |
| NEED 3: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 4: MAINTENANCE                 | 15 |
| NEED 5: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 6: MAINTENANCE                 | 15 |
| NEED 7: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 8: MAINTENANCE                 | 15 |
| NEED 9: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 10: MAINTENANCE                | 15 |



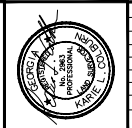
**NEEDS**

|                                     |    |
|-------------------------------------|----|
| NEED 1: EROSION CONTROL             | 15 |
| NEED 2: SEDIMENTATION CONTROL       | 15 |
| NEED 3: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 4: MAINTENANCE                 | 15 |
| NEED 5: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 6: MAINTENANCE                 | 15 |
| NEED 7: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 8: MAINTENANCE                 | 15 |
| NEED 9: DISTURBED AREA (WITH SOILS) | 15 |
| NEED 10: MAINTENANCE                | 15 |

ONE POINT, LLC  
 ONEPOINT@GMAIL.COM  
 770.444.2017



PROPERTY IMPROVEMENTS  
 JURISDICTION: DEKALB COUNTY  
 ISSUED FOR: CONSTRUCTION  
 LOCATION: 1781 DYSON DRIVE,  
 DECATUR, GA 30030



REVISIONS

| # | DATE | DESCRIPTION |
|---|------|-------------|
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |

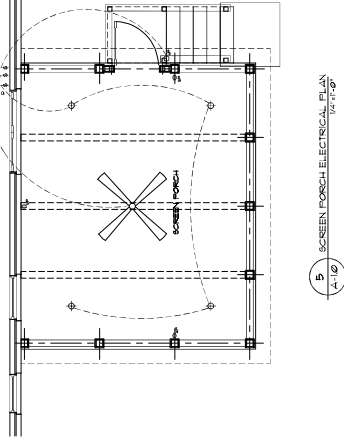
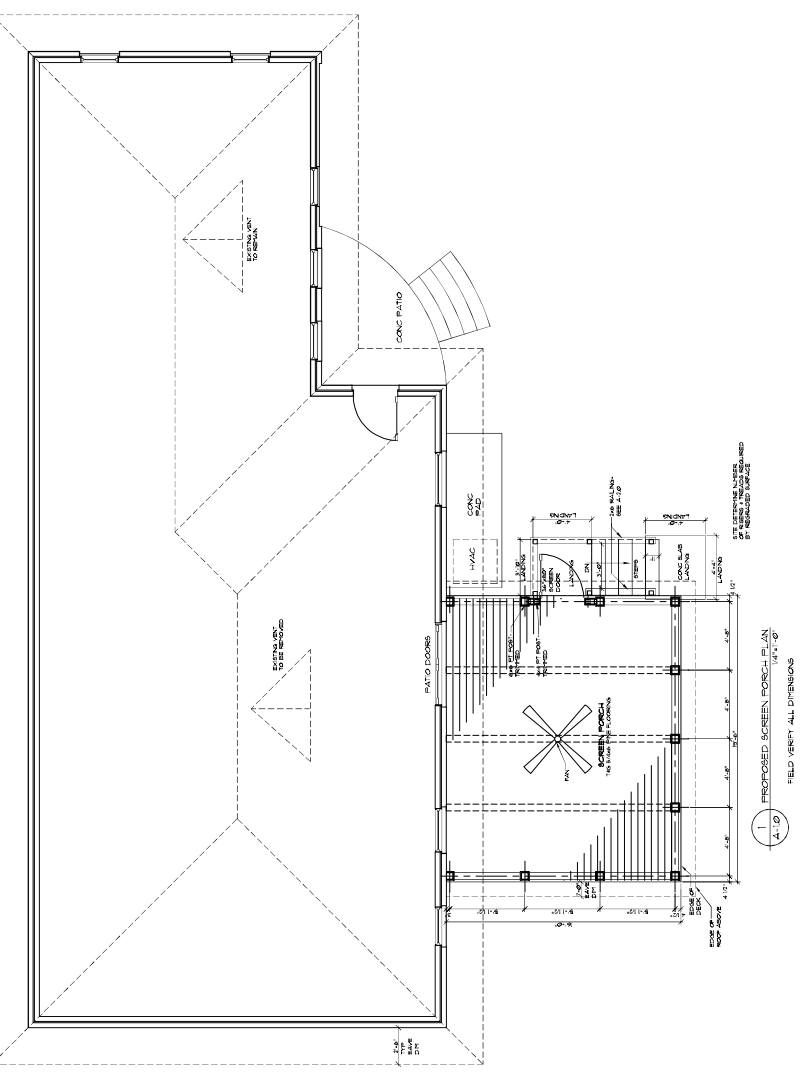
SHEET  
 C01  
 DATE  
 02/02/24  
 24-100

PROPOSED PLANS & ELEVATIONS  
 SCREEN PORCH PROJECT  
 1781 DYSON DR  
 Dekalb County, Georgia 30030

A-1.0

PRINT DATE  
 DESIGNED  
 DRAWN

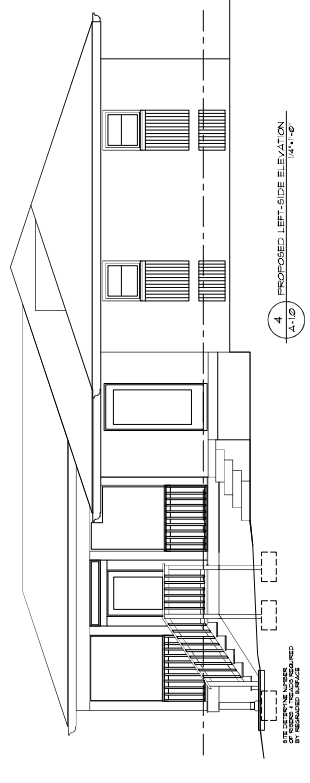
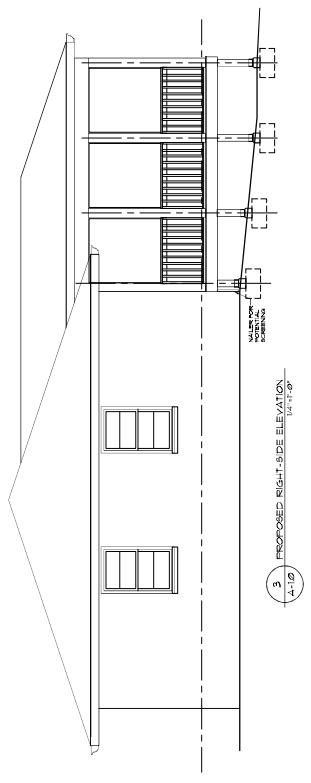
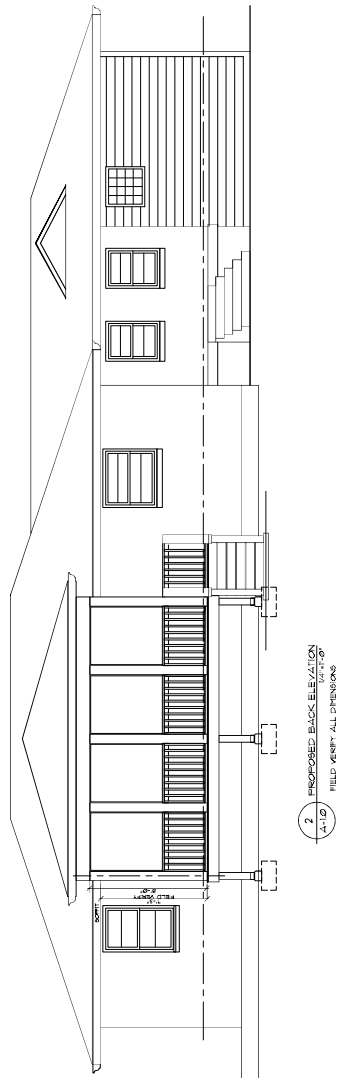
CONTRACT SET 2.7.24  
 ISSUED FOR CONSTRUCTION



ELECTRICAL LEGEND

|  |       |
|--|-------|
|  | 1\"/> |
|  | 1\"/> |
|  | 1\"/> |
|  | 1\"/> |
|  | 1\"/> |
|  | 1\"/> |
|  | 1\"/> |
|  | 1\"/> |

NOTES:  
 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) 2020.  
 2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.  
 3. ALL ELECTRICAL WORK SHALL BE FIELD VERIFIED.



4 PROPOSED LEFT-SIDE ELEVATION 1/4\"/>

2 PROPOSED BACK ELEVATION 1/4\"/>