

DeKalb County Historic Preservation Commission

Monday, April 15th, 2024- 6:00 P.M.

Staff Report

Regular Agenda

H. 831 Clifton Road, Monty Dannenberg. Install dormers and modify windows. **1246926**

Built in 1930; garage built in 1965 – Nonhistoric (15 243 02 015)

This property is in the Druid Hills Character Area 1 and the Druid Hills National Register Historic District.

11-23 831 Clifton Road, Lucinda Bray. Construct swimming pool and install fence and gate. 1246732. **Approve**

Summary

April 2024

The applicant submitted new information to further explain the proposed work that was deferred from the March 2024 meeting. This includes the following:

1. Add a shed dormer with 5 double-hung wood windows on the left side of the new roof. The dormer will be clad with Hardie siding and roofed with standing-seam metal. This will be hidden by the main roof. The windows will be wood double-hung with 4-over-4 true divided lites with raised muntins, the same as the bank windows directly below on the second floor of the property. The windows will match the pane, fenestration, and casing as those located on the second floor.
2. Add a steel frame door unit with windows to replace the current windows and doors on the back of the house. The steel windows and door unit will be similar in design and materials as the steel windows and door unit located in the "sunroom" located on the first floor of the home. The steel unit opening straight back into the yard will be 4 panes tall by 12 panes wide and the steel unit facing the back yard from the right side will be 4 panels tall by 16 panel wide. The door opening will be centered on both steel frame units opening out to the back yard. The doors will also be steel, painted white, and will appear as one unit
3. Replace the French doors, windows, and attic louvered openings on the back of the house with wood windows and a steel frame door unit. The louvered openings for the attic will be replaced with wood windows built to match the windows on the floor directly below – the window in the lower gable will be replaced with a 1x3 pane casement window with true divided lites with raised muntins in lower gable, and the window in the upper gable will be replaced with a double-hung window with 4-over-4 true divided lites with raised muntins.

March 2024

The house is set back about 95' to 100' from the right-of-way and rests on a shelf on the front of the ridge, about 26' above street grade. The house is clad with painted brick. Of the work described below only the new roof rising above the existing one and the replacement of the stoop on the right side will be visible from the street. The right-side stoop being removed is visible from the street from

directly in front but is screened by evergreen shrubs/trees on the side. All other changes will be screened behind the bulk of the house.

At least the back part, and possibly all of the rear wing appears to be an addition.

The applicant proposes to:

1. Combine the double gables on the rear of the house into a single gable with a slate roof matching the roof of the house. (Although one of the rear gables may be original, the current roof configuration in back is not original.) The new roof will rise five feet higher than the front ridge as a hip in front and gable at the rear. The roof pitch will be 12/12, continuing that of the existing front roof. The visibility will probably be limited because of the distance from the right-of-way, the rise above street grade, and the slope of the roof. The purpose is to provide additional living space in the attic.
2. Add a shed dormer with five casement windows on the left side of the new roof. The dormer will be clad with Hardie siding and roofed with standing-seam metal. This will be hidden by the main roof.
3. On the left side add a steel frame door unit with windows. This will be hidden behind the main section of the house.
4. Add a dormer with three casement windows on the right side of the house. The dormer will be clad with Hardie siding and roofed with standing-seam metal. This will be hidden behind the front roof.
5. On the right side replace the side stoop with windows. Replace a nonhistoric window near the end of the rear wing with casement windows.
6. Build two small brick additions at the back of the house. These will be roofed with standing-seam metal.
7. French doors, windows, and attic louvered openings on the back of the house will be replaced with windows and a steel frame door unit.
8. Add shutters to the garage/carriage house and repair the siding, replacing some of the elements as necessary.

Recommendation

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

6.1.3 *Entrances and Porches* (p53) Guideline - Original porches and steps should be retained. Repair of porches should not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless they are seriously deteriorated. If replacement materials must be introduced, the new should match the old in design, color, texture, and, where possible, materials. Replacement of missing features should be substantiated, if possible, by documentary and physical evidence.

6.1.3 *Entrances and Porches* (p54) Guideline - Original doors should be retained unless deteriorated beyond repair. Screen and storm doors should not detract from the character of the house and should be designed to be compatible with

original doors. In the case of a replacement for a deteriorated door, the new door should be similar to the original in design and materials.

- 6.1.4 **updated** Guideline- Existing historic windows, including sashes, lights, lintels, sills, frames, molding, shutters, and all hardware may be repaired or replaced. If repaired or replaced, alterations should be made with in-kind material and in the same design. Historic windows that have separate panes of glass should be replaced with simulated or true divided lights. Non-historic windows should be replaced with in-kind material and design or wood or wood-composite material in the same design. Material exceptions may be made for preexisting aluminum or steel framed windows. Should it be necessary to replace an entire window, the replacement should be sized to the original opening and should duplicate all proportions and configurations of the original window.
- 6.1.5 *Roofs, Chimneys, and Dormers* (p56) Guideline - The original roof form should be retained to the greatest extent possible. No addition to a house should greatly alter the original form of a roof or render that form unrecognizable. Original or historic roof dormers should also be retained. Skylights should be installed so as to be as unobtrusive as possible. If additional upper-story space is required, consider using dormers placed out-of-view of public right-of-way—to create this space.
- 7.3.1 *Additions* (p74) Guideline - Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- 7.3.1 *Additions* (p74) Guideline - Additional stories should be set well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.



DeKalb County
GEORGIA

Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: 2/7/2024 Date Received: _____

Address of Subject Property: 831 Clifton Rd NE Atlanta GA 30307

Applicant: Monty Dannenberg E-Mail: buildingrevolutions@gmail.com

Applicant Mailing Address: 876 Clifton Rd NE Atlanta GA 30307

Applicant Phone: 770-294-3913

Applicant's relationship to the owner: Owner Architect Contractor/Builder Other

Owner(s): Dustin Goossens Email: dustin.goossens@gmail.com

Owner(s): Kelly Goossens Email: kellymonical@fourrecordsmusic.com

Owner(s) Mailing Address: 876 Clifton Rd NE Atlanta GA 30307

Owner(s) Telephone Number: 404-398-4496

Approximate date of construction of the primary structure on the property and any other structures affected by this project: 1930

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input checked="" type="checkbox"/>	Landscaping	<input checked="" type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input checked="" type="checkbox"/>	Fence/Wall	<input checked="" type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

Main Home - minor exterior additions: Rear of main home - change from two gable to one gable roofline; back entrance extending the mud entry (approx 9ft x 5.5ft). Rear right corner of main home next to mud room to receive an approx 2ft x 6ft addition off of scullery and mud room. Dormer added on right side of main home with standing seam metal roof, smooth hardy panel veneer painted to match brick and the addition of 3 windows. Right side of main home - deleting entry and adding 5 new windows. Left side of home to receive new dormer on attic level. Left side first floor level delete entry and windows and install new steel frame door unit. All Exteriors of additions and any necessary brick and siding repairs will be matched to existing with like materials.

Carriage House - New louvered shutters with t hinge and shutter dog. Any necessary repairs to siding will be with like materials to match existing.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: 

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/We: Kelly & Dustin Goossens

being owner(s) of the property at: 831 Clifton Rd NE, Atlanta, GA 30307

hereby delegate authority to: Monty Dannenberg

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):



Date: 1/20/24

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov, telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <https://www.dekalbcountyga.gov/planning-and-sustainability/forms>
2. Complete and submit the application. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND rlbragg@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
3. The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting or coordinate sign posting with the applicant.
4. The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail pviennings@dekalbcountyga.gov and rlbragg@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

DEPARTMENT OF PLANNING & SUSTAINABILITY

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale



10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

DEPARTMENT OF PLANNING & SUSTAINABILITY

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.



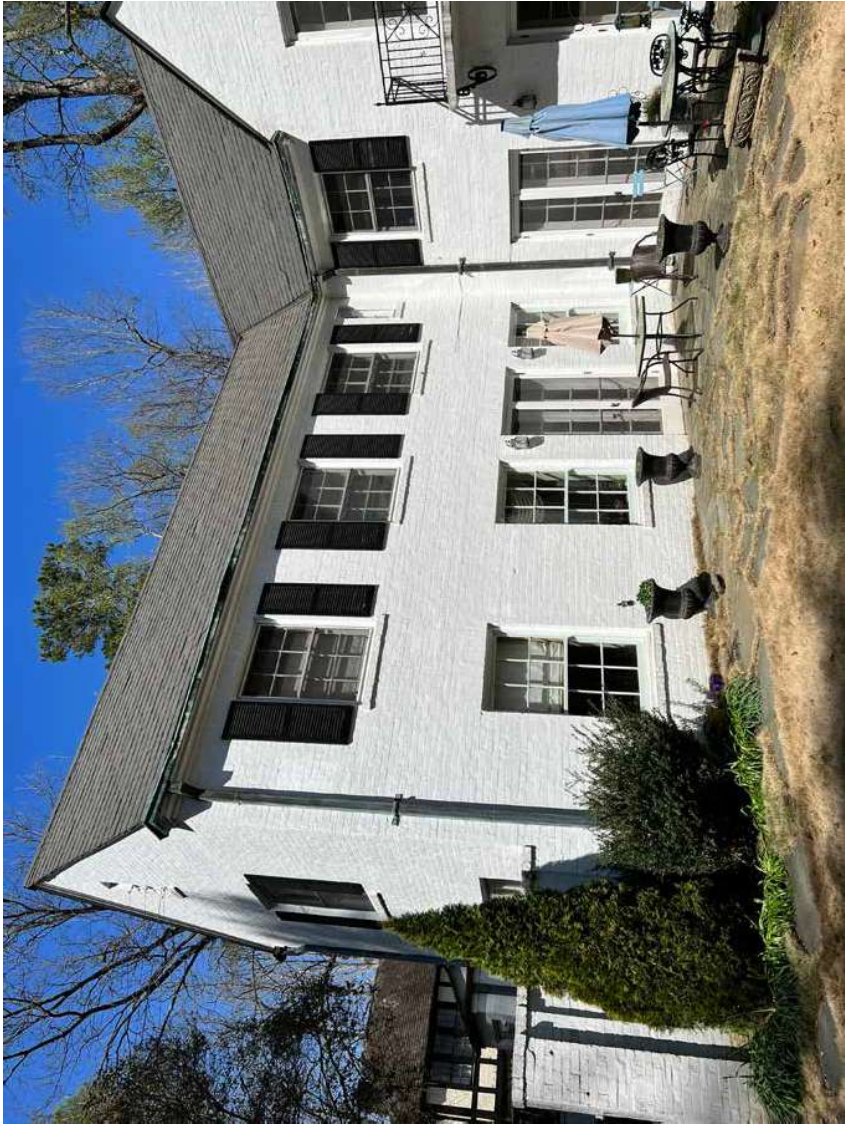
VIEW OF THE EXISTING MAIN HOUSE FROM THE STREET



VIEW OF THE EXISTING MAIN HOUSE FROM THE STREET

EXISTING MAIN HOUSE
FRONT OF THE HOME

831 CLIFTON DR. NE
ATLANTA, GA 3007A



VIEWS OF THE MAIN HOUSE FROM BACKYARD

**EXISTING MAIN HOUSE
REAR OF THE HOME**

**831 CLIFTON DR. NE
ATLANTA, GA 3007A**



EXISTING SIDE ENTRY TO REMOVED AND RENOVATED TO MATCH EXISTING



EXISTING MUD ROOM @ SIDE TO BE REMOVED AND RENOVATED



EXISTING MUD ROOM @ REAR TO BE REMOVED AND RENOVATED

**EXISTING MAIN HOUSE
SIDE/REAR OF THE HOME**

**831 CLIFTON DR. NE
ATLANTA, GA 3007A**



CARRIAGE HOUSE UPPER LEVEL



CARRIAGE HOUSE UPPER LEVEL ENTRY



CARRIAGE HOUSE EXTERIOR MATERIAL



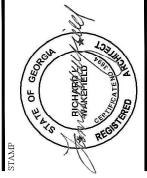
CARRIAGE HOUSE FROM EXISTING MOTOR COURT



CARRIAGE HOUSE & MAIN HOUSE FROM EXISTING MOTOR COURT

EXISTING CARRIAGE HOUSE

831 CLIFTON DR. NE
ATLANTA, GA 3007A



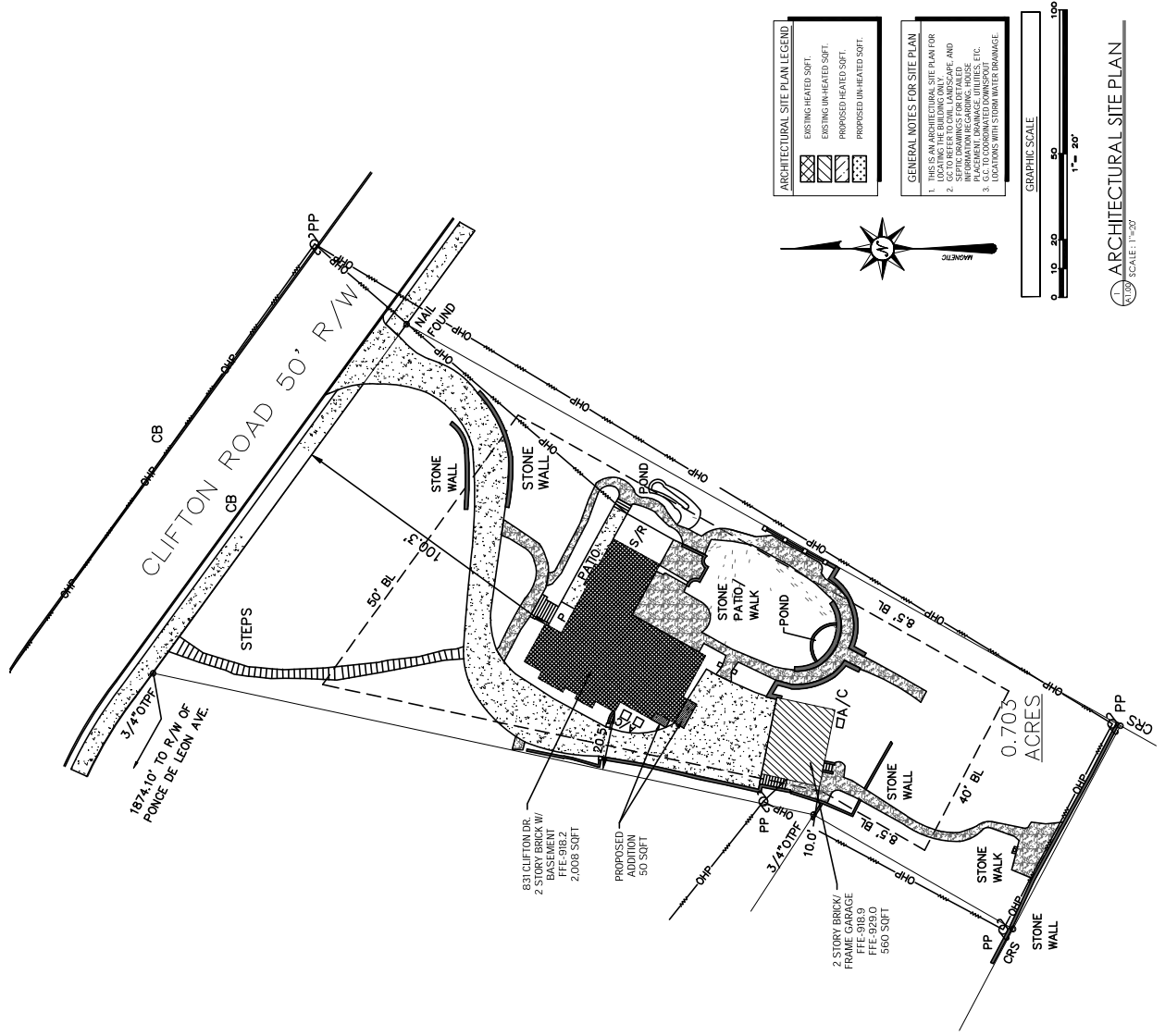
STAMP

Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE: _____
 0 10/24/23 ISSUED FOR PERMIT
 REVISION: _____
 PROJECT NO.: 20230105
 DRAWN BY: ATB
 CHECKED BY: SWJ/DD
 ISSUED FOR PERMIT
 10-09-2023

SUBJECT: _____
 ARCHITECTURAL
 SITE PLAN
 SHEET NO.: _____

A 1.00

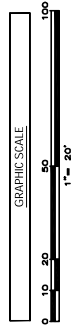


ARCHITECTURAL SITE PLAN LEGEND

- EXISTING HEATED SOFT
- EXISTING UNHEATED SOFT
- PROPOSED HEATED SOFT
- PROPOSED UNHEATED SOFT

GENERAL NOTES FOR SITE PLAN

- THIS IS AN ARCHITECTURAL SITE PLAN FOR LOCATING THE BUILDING ONLY.
- GO TO REFER TO LEVEL, LANDSCAPE, AND INFORMATION REGARDING HOUSE, PATIO, POOL, AND PLANTINGS, ETC.
- S.C. TO COORDINATED DRAINAGE LOCATIONS WITH STORM WATER DRAINAGE.



ARCHITECTURAL SITE PLAN
 SCALE: 1"=20'



Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE: _____ REVISED: _____

0: 10/04/23 ISSUED FOR PERMIT

PROJECT NO. 202301005

DRAWN BY: ATB

CHECKED BY: SWJ/DD

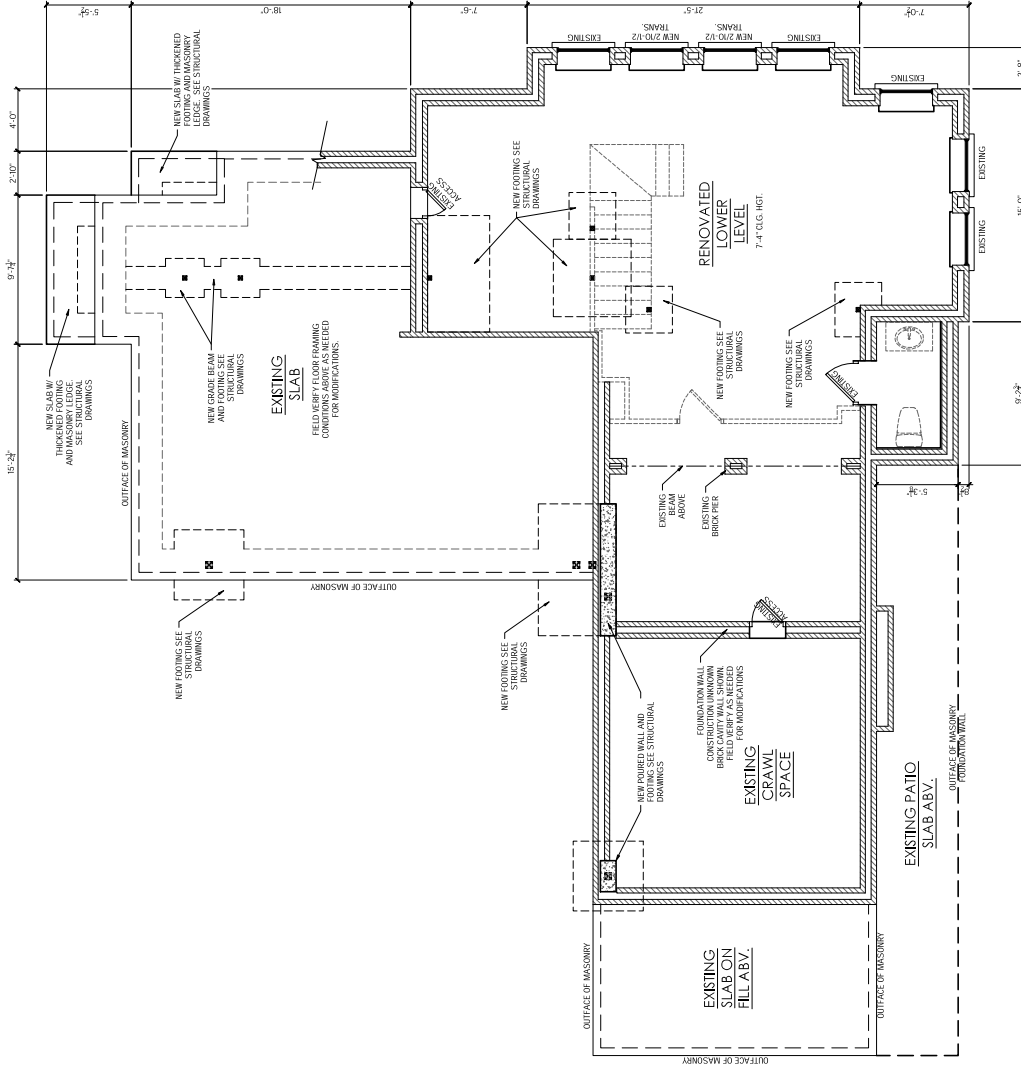
ISSUED FOR PERMIT

10-09-2023

SHEET TITLE:
FOUNDATION PLAN

SHEET NO.

A.2.10



WALL LEGEND

	NEW POURED WALL PER STRUCTURAL DRAWINGS
	EXISTING BRICK WALL
	NEW COLUMN PER STRUCTURAL DRAWINGS
	NEW FOOTINGS PER STRUCTURAL DRAWINGS

- FOUNDATION PLAN GENERAL NOTES**
1. ALL CEILING HEIGHTS ARE AT 7'-4" UNO
 2. THE DOOR AND WINDOW HEIGHTS ARE AS FOLLOWS:
 - 2.1. FOLLOWING LEVEL: 6'-9"
 - 2.2. MAIN LEVEL: 7'-0"
 - 2.3. UPPER LEVEL: 7'-0"
 3. THE NO. OF STAIR TREADS AND THE HT. OF CHANGE BASED ON SITE CONDITIONS. GO TO ARCHITECT'S DRAWINGS FOR STAIRS. FIELD PRIOR TO INSTALLATION. CC TO MTRBY ARCHITECT IF AMENDED DRAWINGS ARE REQUIRED.
 4. ALL FOUNDATION FOOTINGS SHOWN ARE FOR STRUCTURAL DRAWINGS FOR ALL FOOTING DIMENSIONS AND REINFORCEMENT SPECIFICATIONS.

- CRAWL SPACE GENERAL NOTES**
1. THE CRAWL SPACE SHALL BE SELECTED TO PROVIDE PROPER VENTILATION AND DRAINAGE.
 2. CRAWL SPACE GRADE SHALL BE ORGANIC MATERIAL AT LEAST 6" ABOVE USED FOR PLACING CONCRETE. ALONG WITH THE CONCRETE, THE WASTE SHALL BE REMOVED BEFORE BUILDING IS OCCUPIED OR USED FOR STORAGE.
 3. CRAWL SPACE FLOOR TO BE COVERED WITH 1/2" POLYETHYLENE SHEET OR EQUIVALENT BY THE CONCRETE CONTRACTOR.

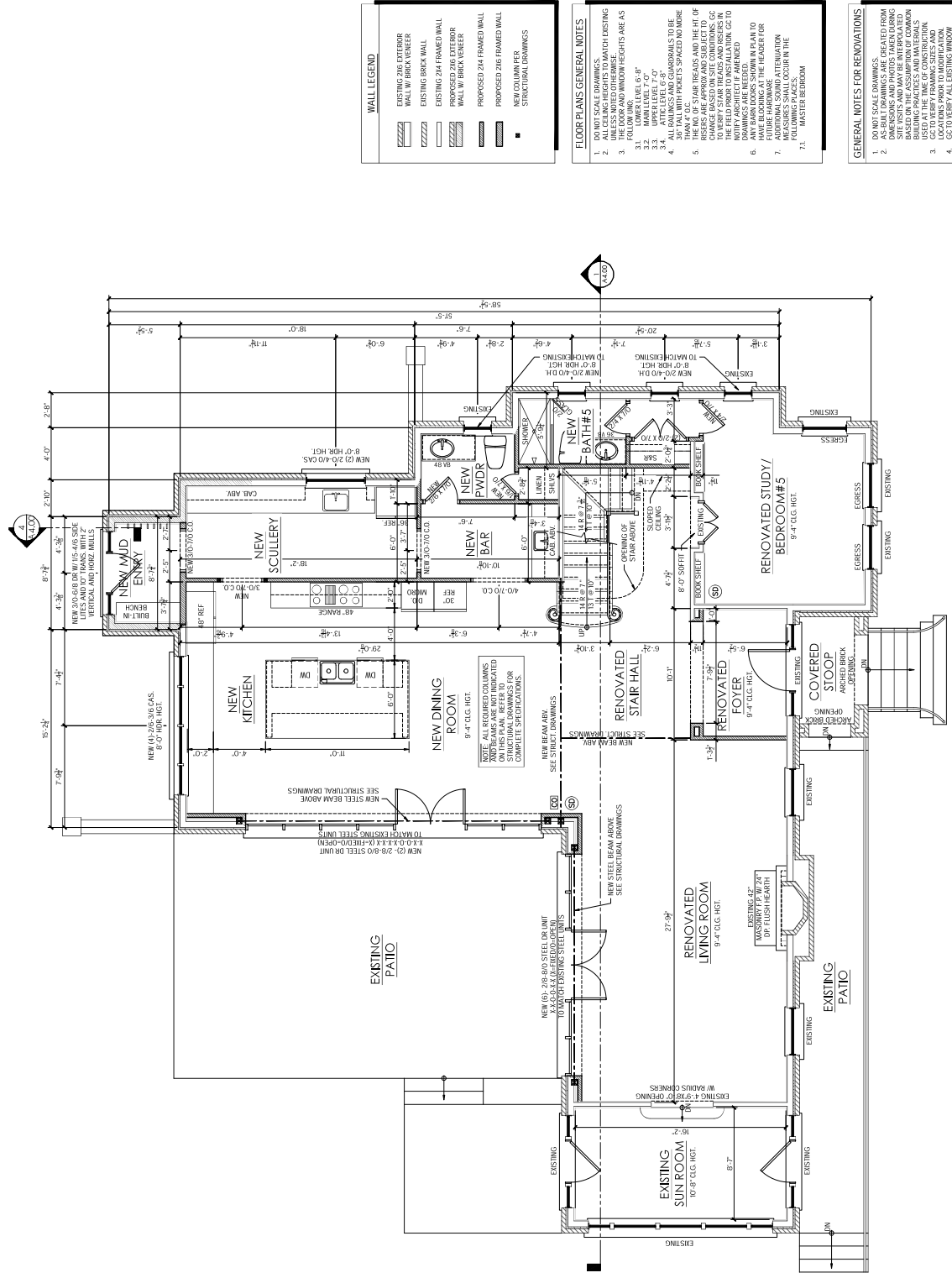
- GENERAL NOTES FOR RENOVATIONS**
1. DO NOT SCALE DRAWINGS.
 2. AS-BUILT DRAWINGS ARE CREATED FROM FIELD VISITS AND MAY BE INTERPOLATED BASED ON THE ASSUMPTION OF COMMON SENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS USED AT THE TIME OF CONSTRUCTION.
 3. LOCATIONS PRIOR TO MODIFICATION.
 4. CC TO VERIFY ALL EXISTING WINDOW AND DOOR SIZES PRIOR TO PLACING WINDOW ORDER.
 5. STRUCTURAL ENGINEER ANY CHANGES IN THE FIELD REQUIRE AMENDMENT TO THESE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CONDITIONS USED AT THE TIME OF CONSTRUCTION PRIOR TO ORDERING MATERIALS AND ORDERING BUILDING MATERIALS.

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"



Renovation Plans For:
the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE: 01/04/23 ISSUED FOR PERMIT
 DRAWN BY: ATB
 CHECKED BY: SWJ/DD
 PROJECT NO.: 202301005
 10-09-2023
 SHEET TITLE: **MAIN LEVEL FLOOR PLAN**
 SHEET NO.: **A.2.12**



WALL LEGEND

[Pattern]	EXISTING 2X6 EXTERIOR WALL W/ BRICK VENEER
[Pattern]	EXISTING BRICK WALL
[Pattern]	EXISTING 2X4 FRAMED WALL
[Pattern]	PROPOSED 2X6 EXTERIOR WALL W/ BRICK VENEER
[Pattern]	PROPOSED 2X4 FRAMED WALL
[Pattern]	PROPOSED 2X6 FRAMED WALL
[Pattern]	STRUCTURAL DRAWINGS

- FLOOR PLANS GENERAL NOTES**
- UNLESS NOTED OTHERWISE, ALL CEILING HEIGHTS TO MATCH EXISTING.
 - FOLLOW UNDO WINDOW HEIGHTS ARE AS SHOWN.
 - LOWER LEVEL 6'-0"
 - UPPER LEVEL 7'-0"
 - SET TALL WITH PICKETS SPACED NO MORE THAN 48" ON CENTER.
 - ALL RAILINGS AND GUARDRAILS TO BE 36" TALL WITH PICKETS AND THE HT. OF THE NO. OF STAIR TREADS AND THE HT. OF THE NO. OF STAIR RISES TO BE VERIFIED TO VERIFY STAIR TREADS AND RISES IN ACCORDANCE WITH THE LOCAL CODES TO NOTIFY ARCHITECT IF AMENDED.
 - ANY WALKS SHOWING IN PLAN TO HAVE BLOOMING AT THE HEAD OF OR AT THE TAIL OF THE STAIRS SHALL OCCUR IN THE MIDDLE OF THE STAIRS.
 - MASTER BEDROOM

- GENERAL NOTES FOR RENOVATIONS**
- DO NOT SCALE DRAWINGS.
 - AS-BUILT DRAWINGS ARE CREATED FROM PHOTOGRAPHS AND FIELD SURVEYING. THESE DRAWINGS ARE TO BE INTERPOLATED BASED ON THE ASSUMPTION OF COMMON SENSE AND SHOULD NOT BE USED FOR CONSTRUCTION LOCATIONS PRIOR TO MODIFICATION.
 - GO TO VERIFY ALL EXISTING WINDOW LOCATIONS PRIOR TO PLACING WINDOW ORDER.
 - STRUCTURAL ARCHITECT AND STRUCTURAL ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL DIMENSIONS AND CONDITIONS IN THE FIELD REQUIRE AMENDMENTS AND ORDERING BUILDING MATERIALS.

MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

STAMP



STAMP

Renovation Plans For:
the Residence at:
831 Clifton Dr Northeast
Atlanta, GA 3007A

RELEASE: _____ REVISED: _____

0: 10/09/23 ISSUED FOR PERMIT

PROJECT NO. 202301005

DRAWN BY: ATB

CHECKED BY: SWJ/DD

ISSUED FOR PERMIT

10/09/2023

SHEET TITLE

ATTIC LEVEL FLOOR PLAN

SHEET NO.

A.2.14

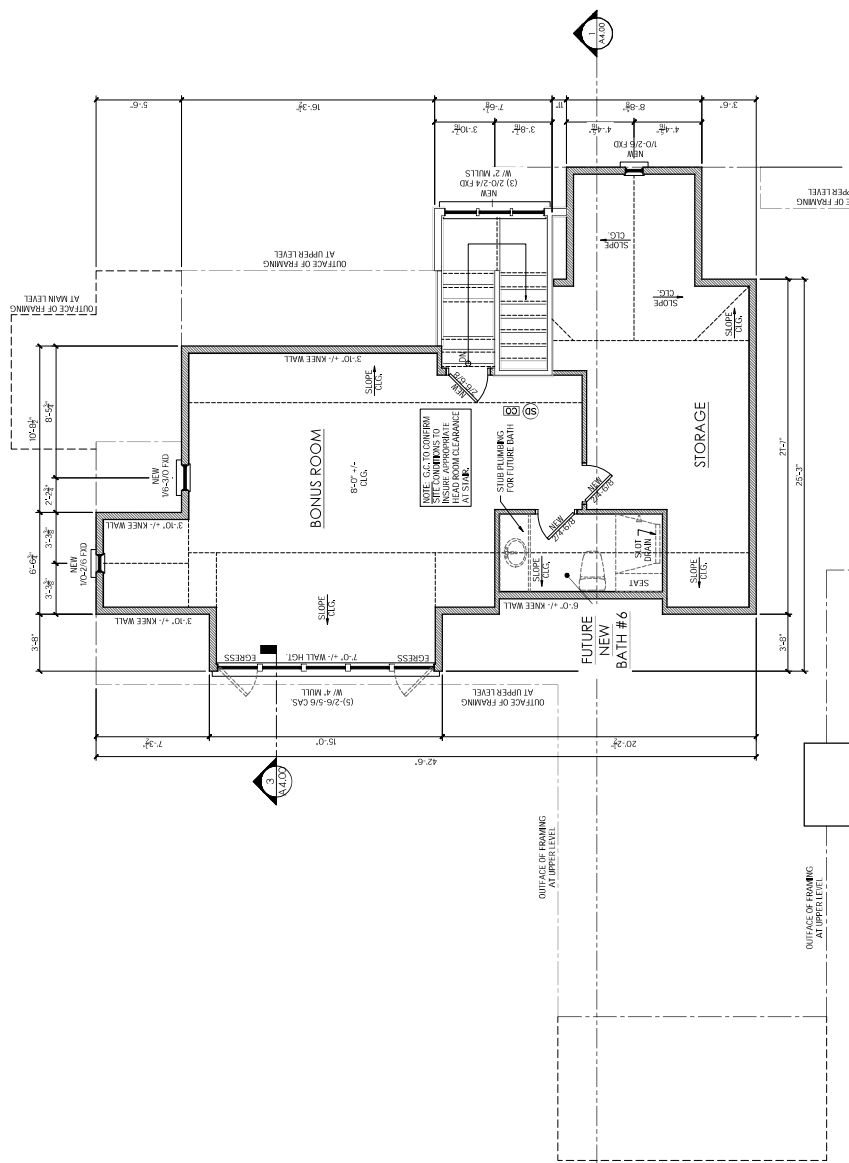
WALL LEGEND	
	EXISTING 2x6 EXTERIOR WALL W/ BRICK VENEER
	EXISTING BRICK WALL
	EXISTING 2x4 FRAMED WALL
	PROPOSED 2x6 EXTERIOR WALL W/ BRICK VENEER
	PROPOSED 2x4 FRAMED WALL
	PROPOSED 2x6 FRAMED WALL

FLOOR PLANS GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- UNLESS NOTED OTHERWISE, FOLLOWING DIMENSIONS ARE AS SHOWN.
- LOWEST LEVEL 6'-0" FIN.
- UPPER LEVEL 7'-0" FIN.
- ALL DIMENSIONS AND SPACINGS TO BE SHOWN ON DRAWINGS TO BE THE NO. OF STUD TRENDS AND THE HT. OF STUD TRENDS AND SUBJECT TO APPROVAL BY THE LOCAL HEALTH DEPARTMENT. ALL STUD TRENDS AND RESPIRS IN TOILETS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- DRAWINGS ARE REVISIONS. ANY CHANGES TO BE MADE SHALL BE INDICATED BY A REVISION CIRCLE AND NUMBER.
- ADDITIONAL SOUND ATTENUATION MEASURES SHALL OCCUR IN THE MASTER BEDROOM.
- MASTER BEDROOM.

GENERAL NOTES FOR RENOVATIONS

- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND SPACINGS TO BE SHOWN ON DRAWINGS.
- SEE VISITS AND DRAWINGS FOR SPECIFICATIONS, BUILDING PRACTICES AND MATERIALS TO BE USED. VERIFY ALL DIMENSIONS AND SPACINGS TO BE SHOWN ON DRAWINGS.
- LOCATIONS PRIOR TO WORK SHALL BE VERIFIED BY THE CONTRACTOR. VERIFY ALL DIMENSIONS AND SPACINGS TO BE SHOWN ON DRAWINGS.
- WINDOW OPENINGS, ARCHITECT AND STRUCTURAL ENGINEER. ANY CHANGES TO BE MADE SHALL BE INDICATED BY A REVISION CIRCLE AND NUMBER.
- GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SPACINGS PRIOR TO BEGINNING CONSTRUCTION AND OBTAINING ALL NECESSARY PERMITS AND OBTAINING ALL NECESSARY BUILDING MATERIALS.



1. ATTIC LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

STAMP



STAMP

Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE
 DATE: 10/09/23 ISSUED FOR PERMIT

PROJECT NO. 202301005

DRAWN BY: ATB

CHECKED BY: SW/DO

ISSUED FOR PERMIT

10/09/2023

SHEET NO.

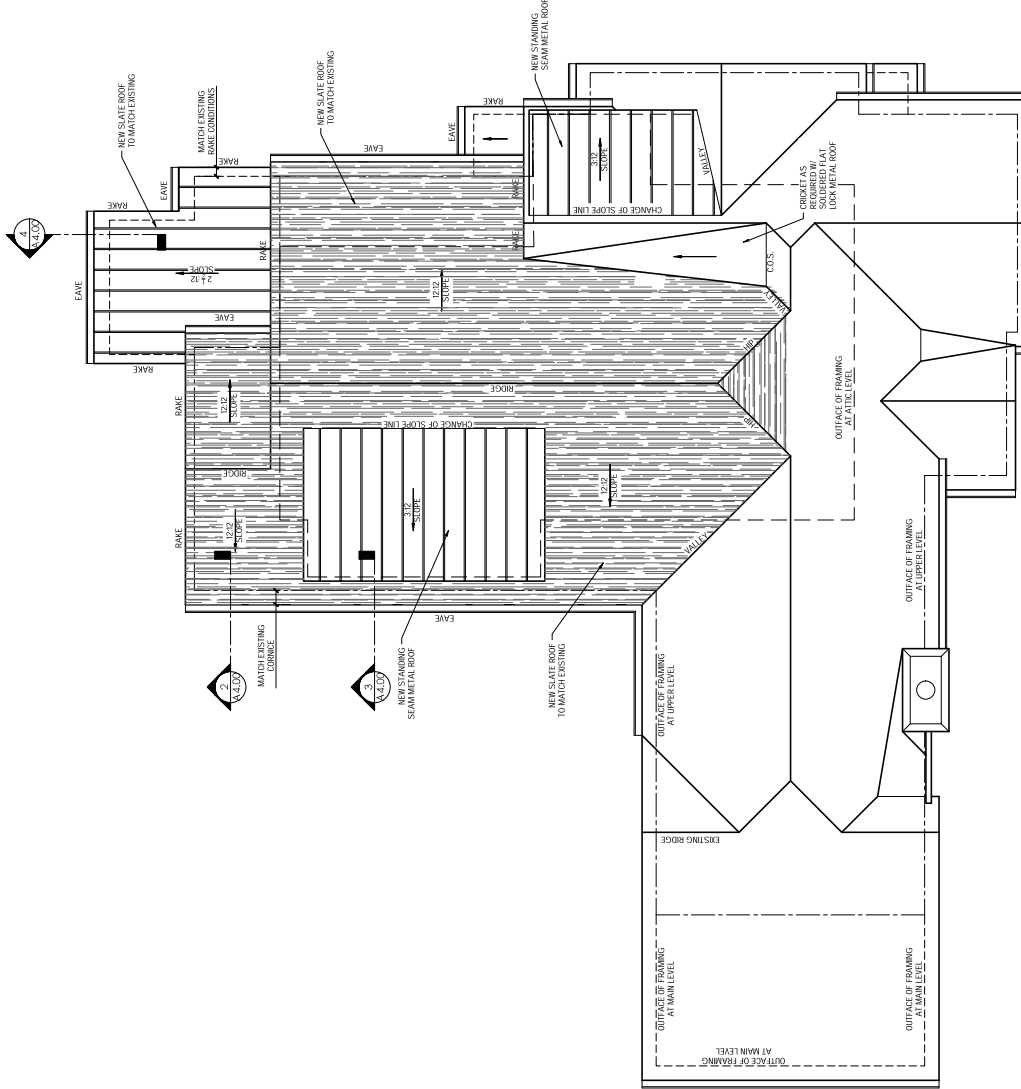
ROOF PLAN

SHEET NO.

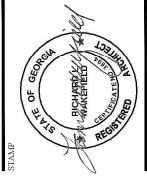
A2.15

ROOF PLAN GENERAL NOTES

- GUTTER LOCATIONS ARE SHOWN IN PLAN AND SECTION. ALL CUTTER AND DOWNSPOUTS.



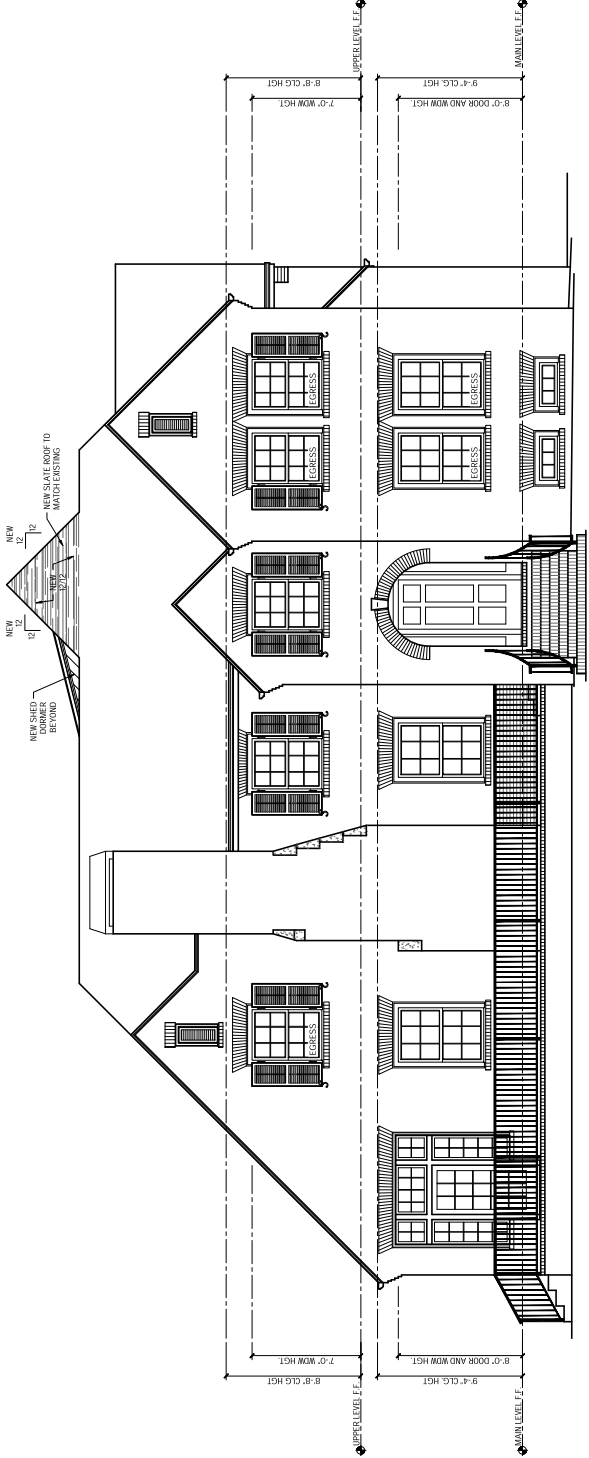
ROOF PLAN
 SCALE: 1/4"=1'-0"



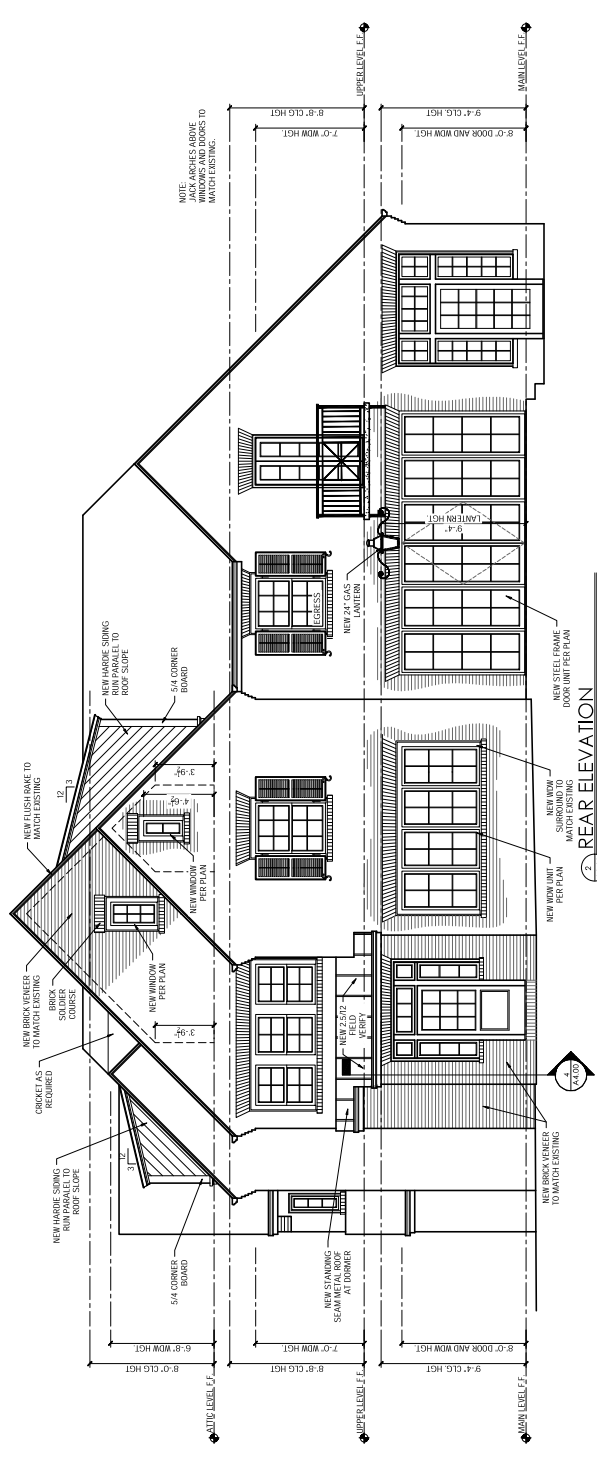
Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE	REVISED
0 10/04/23	ISSUED FOR PERMIT
PROJECT NO.	202301005
DRAWN BY:	ATB
CHECKED BY:	SW/DD
ISSUED FOR PERMIT	10-09-2023

SUBJECT: FRONT AND REAR ELEVATIONS
 SHEET NO. A3.00



1 FRONT ELEVATION
 SCALE: 1/4"=1'-0"



2 REAR ELEVATION
 SCALE: 1/4"=1'-0"

NOTE: FINISHES ABOVE WINDOWS AND DOORS TO MATCH EXISTING.





STAMP

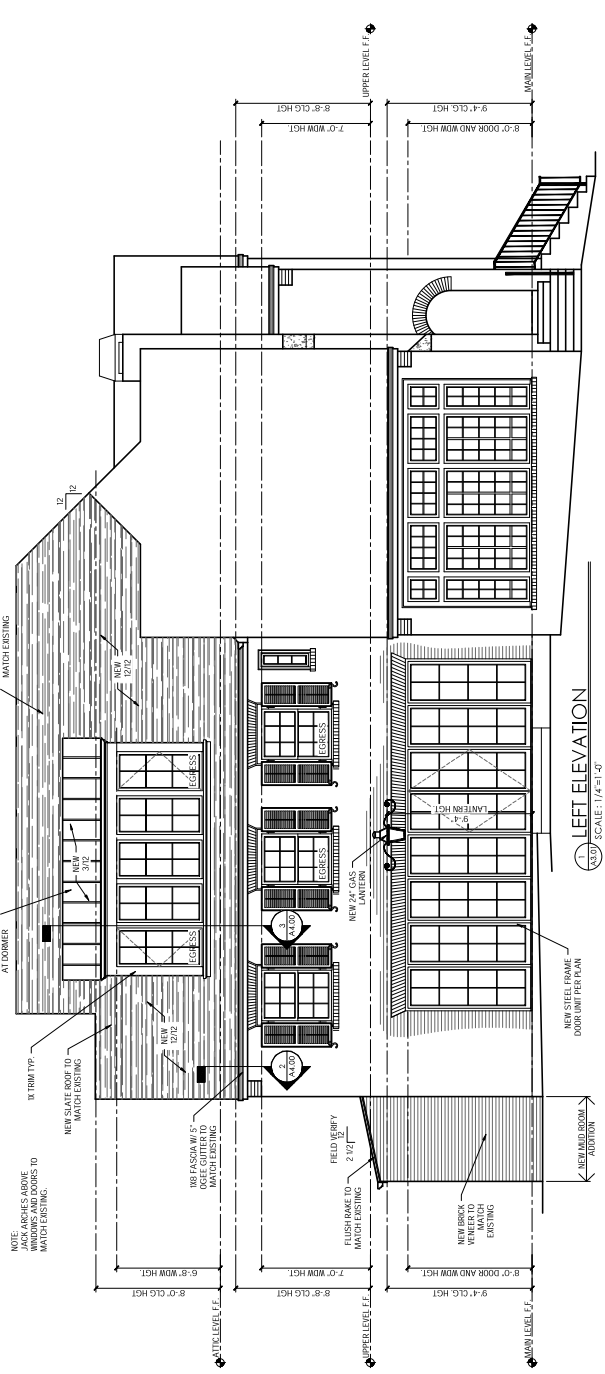
Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE
 0 10/04/23 ISSUED FOR PERMIT
 REVISED
 PROJECT NO. 202301005
 DRAWN BY: ATB
 CHECKED BY: SWJ/DD
 ISSUED FOR PERMIT

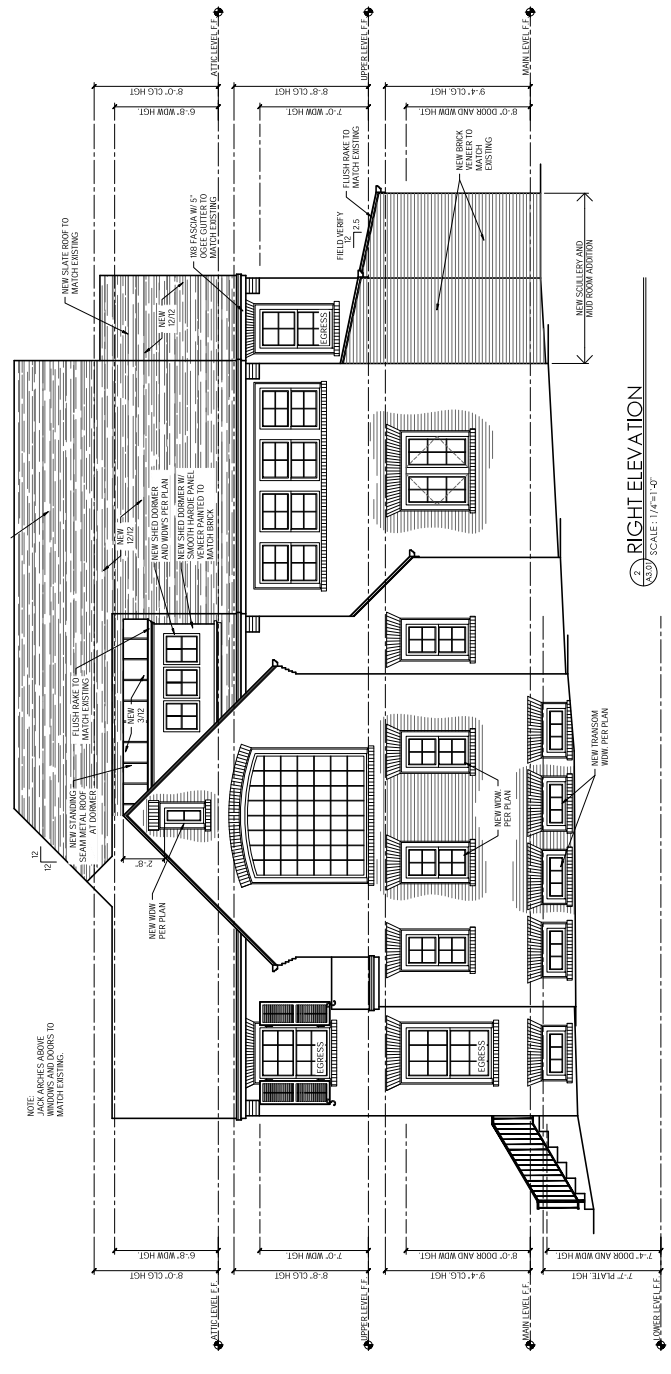
10-09-2023

SHEET TITLE
 LEFT AND RIGHT
 ELEVATION

SHEET NO.
 A3.01



LEFT ELEVATION
 SCALE: 1/4"=1'-0"



RIGHT ELEVATION
 SCALE: 1/4"=1'-0"

NOTE:
 JACK ARCHES ABOVE
 WINDOWS AND DOORS TO
 MATCH EXISTING.

NEW SLATE ROOF TO
 MATCH EXISTING

NEW 1/2\"/>

NEW 1/2\"/>

NEW 1/2\"/>

NEW 1/2\"/>

NEW 1/2\"/>

NEW 1/2\"/>

NEW 1/2\"/>

NEW 1/2\"/>

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STAMP

Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE
 01/04/23 ISSUED FOR PERMIT

PROJECT NO. 202301005

DRAWN BY: ATB

CHECKED BY: SWJ/DD

ISSUED FOR PERMIT

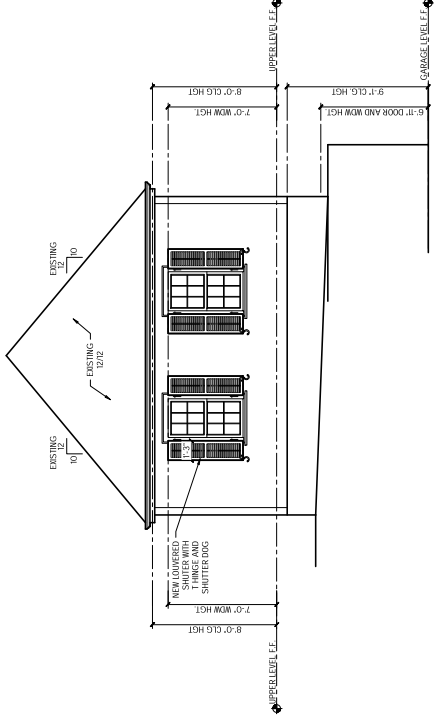
10/09/2023

SHEET TITLE

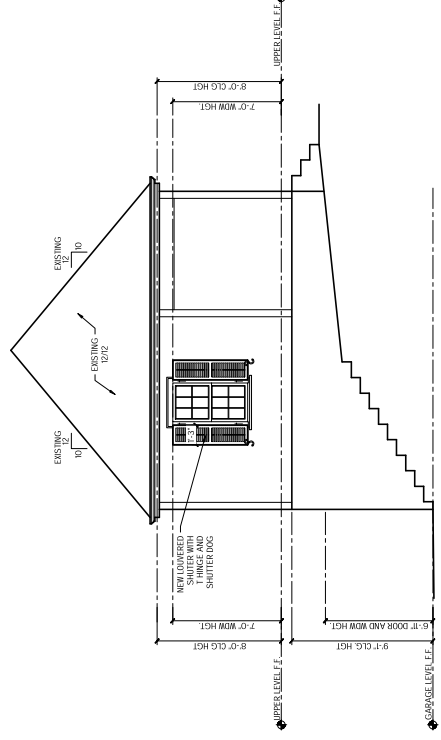
CARRIAGE HOUSE
HOUSE
ELEVATIONS

SHEET NO.

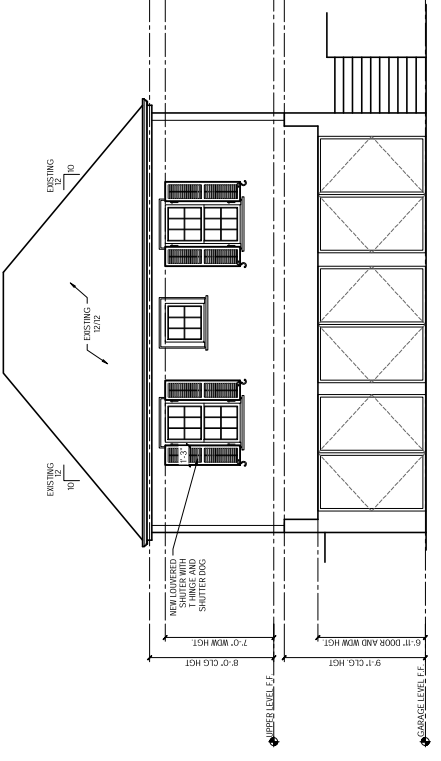
A.3.02



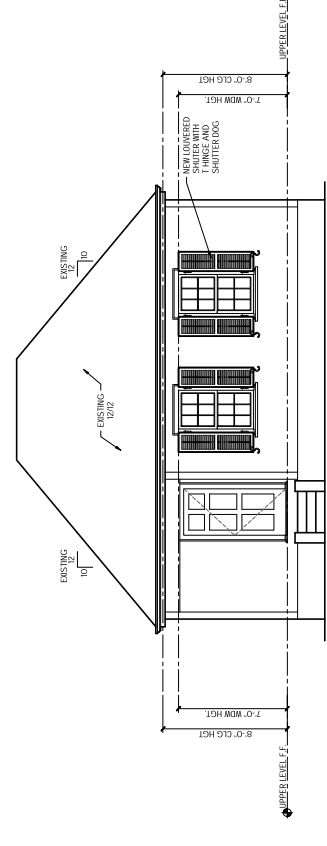
1 CARRIAGE HOUSE LEFT ELEVATION
 SCALE: 1/4"=1'-0"



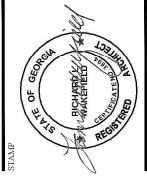
2 CARRIAGE HOUSE RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



3 CARRIAGE HOUSE FRONT ELEVATION
 SCALE: 1/4"=1'-0"



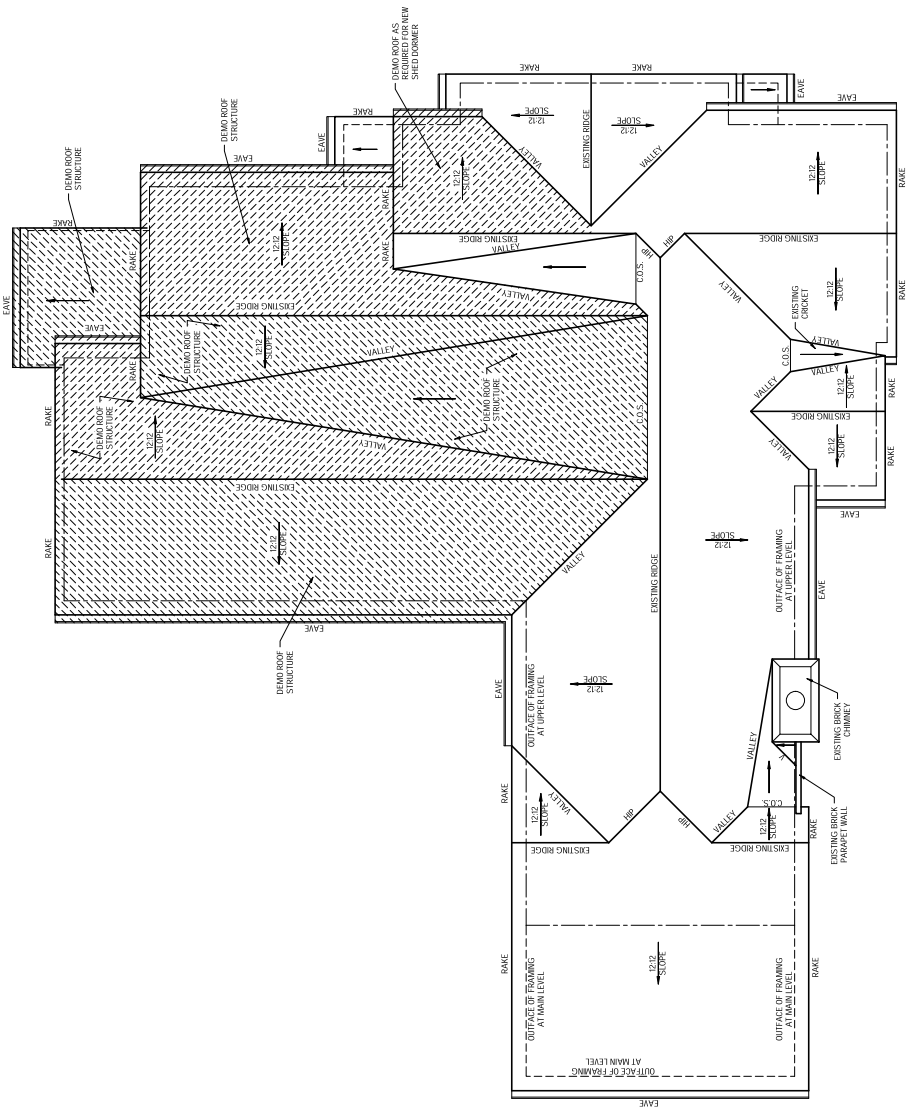
4 CARRIAGE HOUSE REAR ELEVATION
 SCALE: 1/4"=1'-0"



Renovation Plans For:
the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE	REVISION
0 10/04/23	ISSUED FOR PERMIT
PROJECT NO. 200301005	
DRAWN BY: ATB	
CHECKED BY: SWJ/DD	
ISSUED FOR PERMIT	
10-09-2023	

SHEET TITLE
ROOF AS-BUILT/DEMO PLAN
 SUBMIT NO. **X_215**



PLAN LEGEND

AREA OF ITEMS TO BE DEMO

- GENERAL NOTES FOR RENOVATIONS**
- DO NOT SCALE DRAWINGS. CREATE DIMENSIONS AND PHOTOS TAKEN DURING CONSTRUCTION. VERIFY ALL DIMENSIONS BASED ON THE ASSUMPTION OF COMMON BUILDING PRACTICES AND MATERIALS.
 - GO TO VERIFY FRAMING SIZES AND LOCATIONS PRIOR TO DEMO.
 - SIZES AND LOCATIONS PRIOR TO FRAMING.
 - GO TO NOTIFY ARCHITECT AND STRUCTURAL ENGINEER IF ANY CHANGES ARE REQUIRED.
 - VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 - ACTUAL DIMENSIONS AND CONDITIONS INDICATED ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED FOR THIS RENOVATION AND ARCHITECT AND STRUCTURAL ENGINEER WITH ANY QUESTIONS PRIOR TO CONSTRUCTION.

1. ROOF AS BUILT / DEMO PLAN
 SCALE: 1/4"=1'-0"

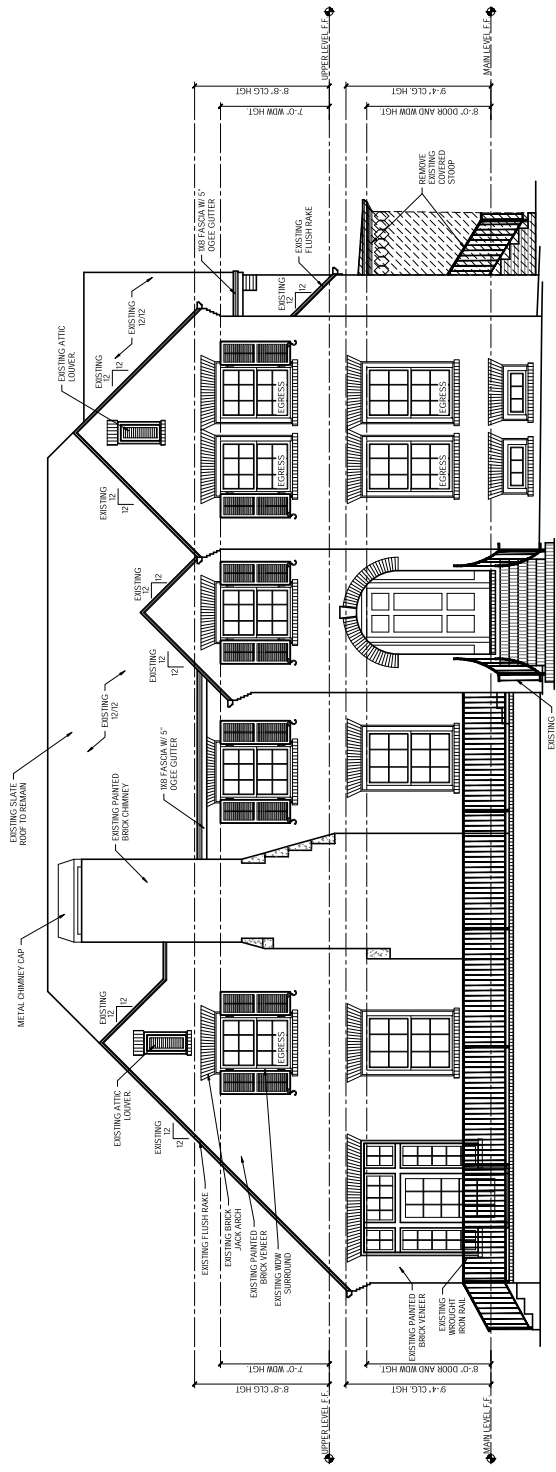


Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

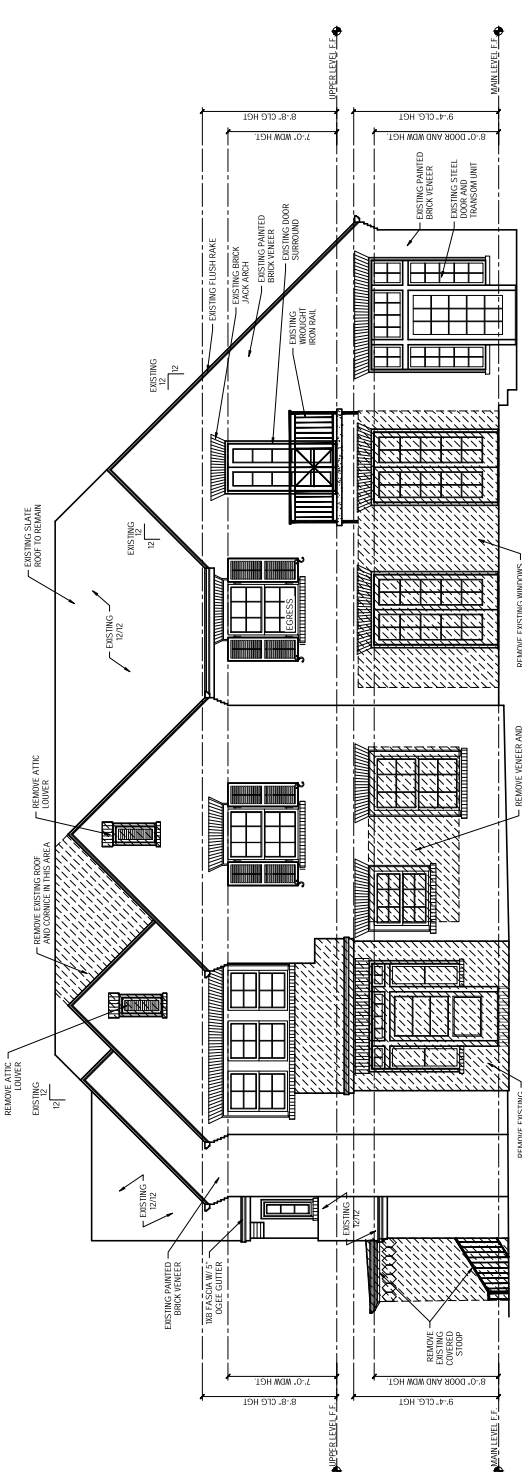
PROJECT NO.	202301005
DRAWN BY:	ATB
CHECKED BY:	SW / JDO
ISSUED FOR PERMIT	10-09-2023
ISSUED FOR PERMIT	
RELEASE	
DATE	
BY	
FOR	

SUBJECT TITLE
AS-BUILT DEMO FRONT AND REAR ELEVATIONS

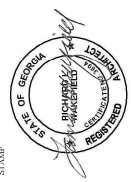
SHEET NO.
X_300



1. AS-BUILT / DEMO FRONT ELEVATION
 SCALE: 1/4"=1'-0"



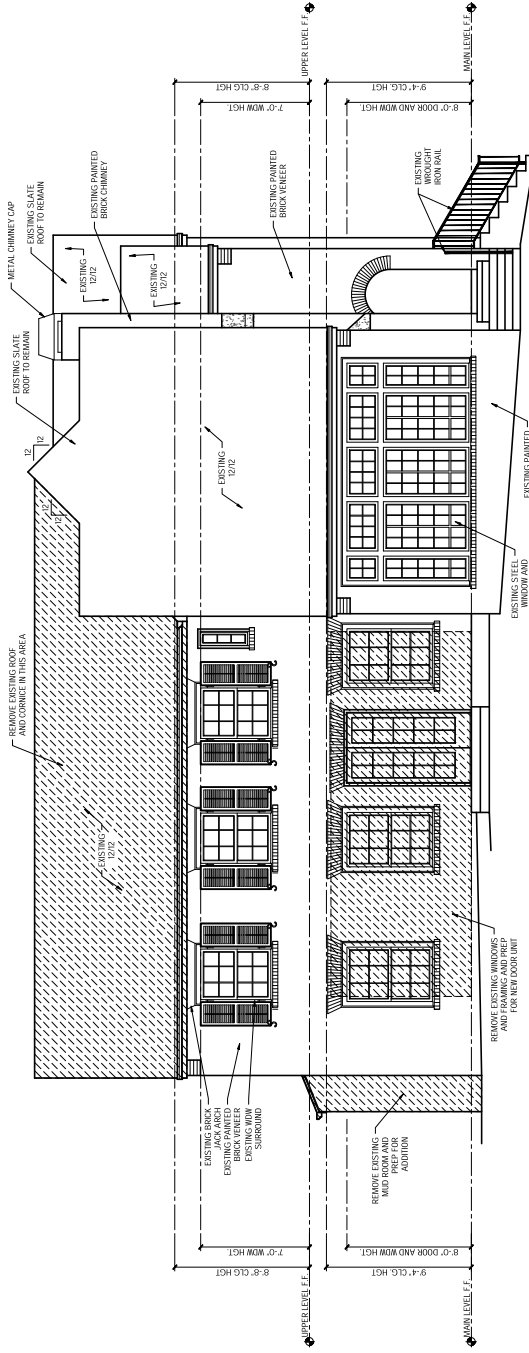
2. AS-BUILT / DEMO REAR ELEVATION
 SCALE: 1/4"=1'-0"



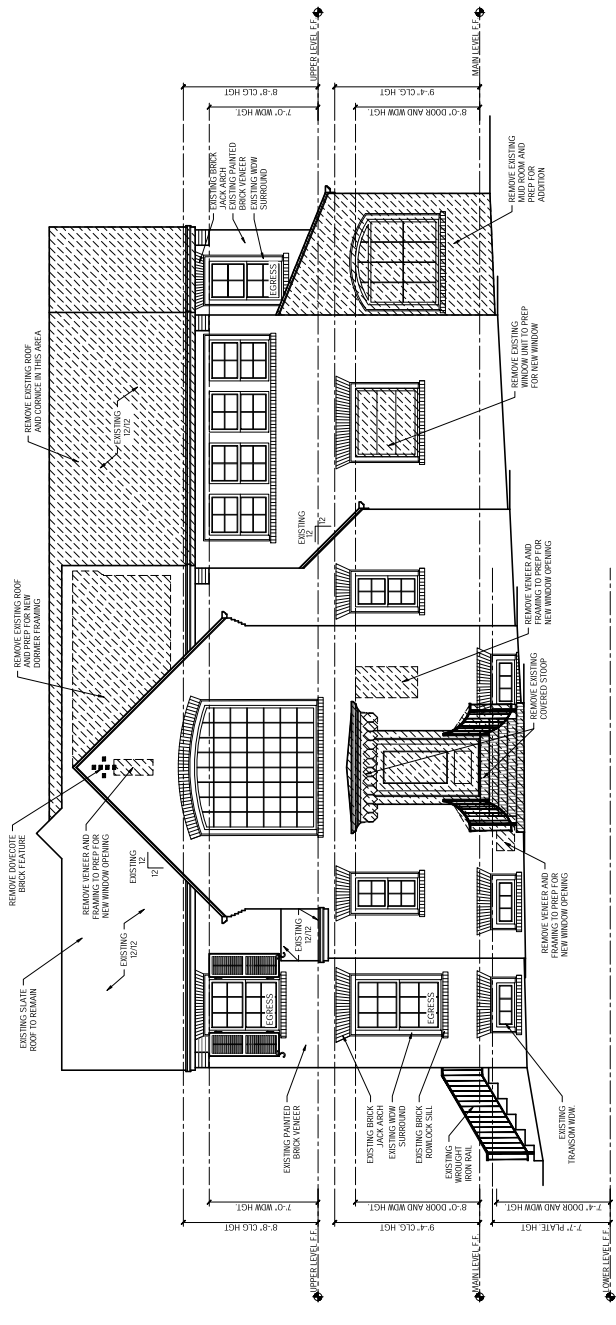
Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 3007A

RELEASE	RECORD
0 10/26/23	ISSUED FOR PERMIT
PROJECT NO.	202301005
DRAWN BY:	ATB
CHECKED BY:	SW / DJ
ISSUED FOR PERMIT	10/19/2023

SUBJECT TITLE
AS-BUILT / DEMO LEFT AND RIGHT ELEVATION



1. AS-BUILT / DEMO LEFT ELEVATION
 SCALE: 1/4"=1'-0"



2. AS-BUILT / DEMO RIGHT ELEVATION
 SCALE: 1/4"=1'-0"

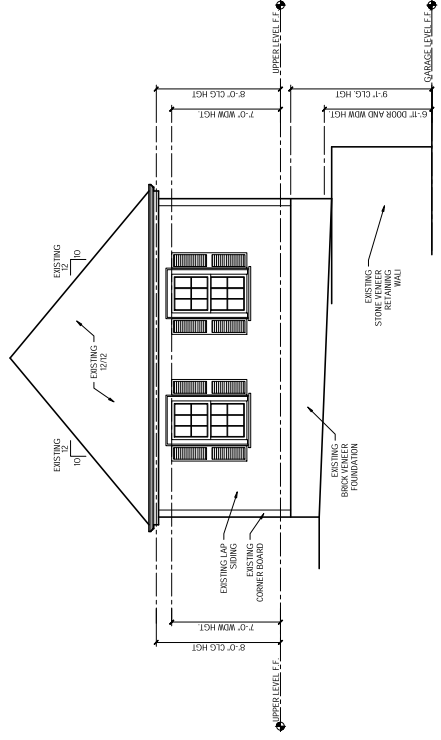


Renovation Plans For:
 the Residence at:
 831 Clifton Dr Northeast
 Atlanta, GA 30074

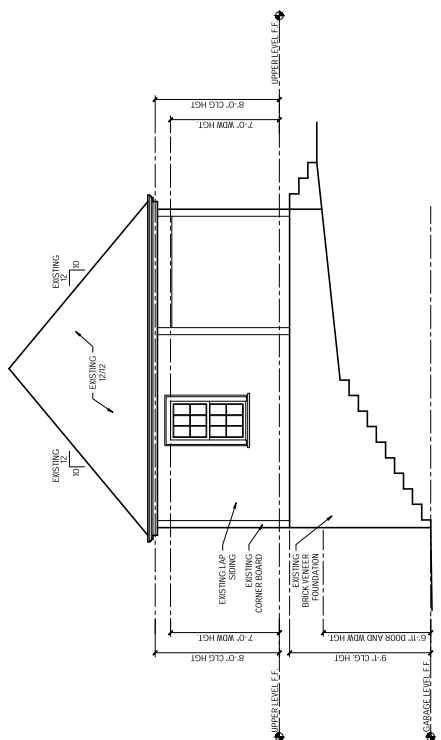
PROJECT NO. 202301005
 DRAWN BY: ATB
 CHECKED BY: SWJ/DD
 ISSUED FOR PERMIT

10-09-2023
 SUBMIT TITLE
CARRIAGE HOUSE
AS-BUILT / DEMO
ELEVATIONS

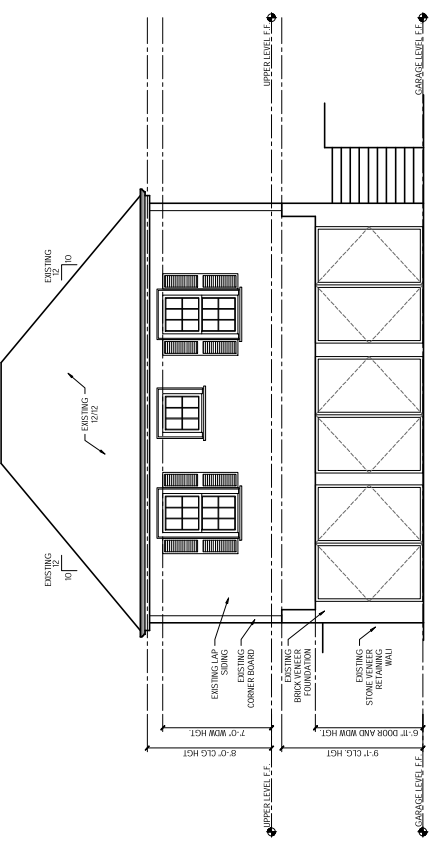
SHEET NO.
X3.02



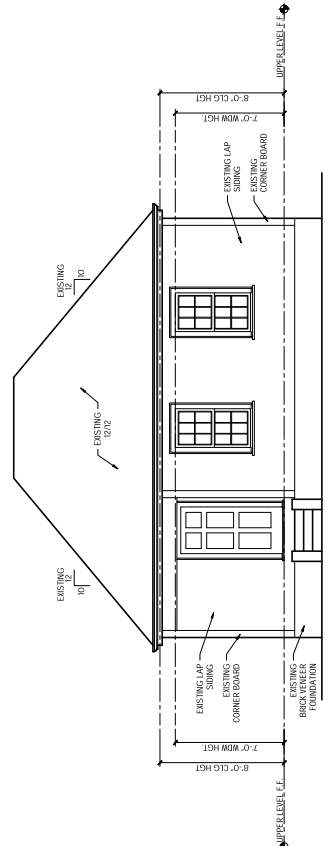
2 AS-BUILT / DEMO LEFT ELEVATION
 SCALE: 1/4"=1'-0"



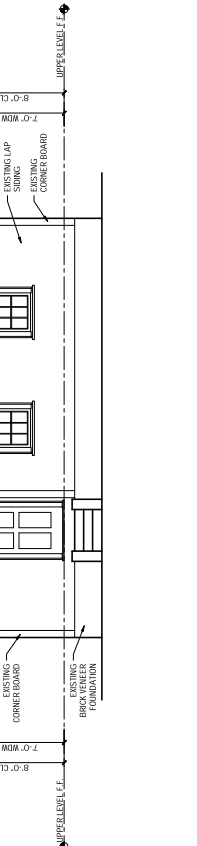
AS-BUILT / DEMO RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



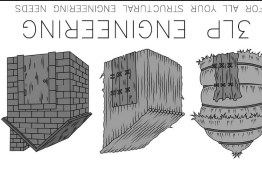
1 AS-BUILT / DEMO FRONT ELEVATION
 SCALE: 1/4"=1'-0"



3 AS-BUILT / DEMO REAR ELEVATION
 SCALE: 1/4"=1'-0"



AS-BUILT / DEMO LEFT ELEVATION
 SCALE: 1/4"=1'-0"



3LP ENGINEERING
FOR ALL YOUR STRUCTURAL ENGINEERING NEEDS

GOOSSENS RESIDENCE
831 CLIFTON ROAD
ATLANTA, GA 30307

PROJECT #:	23294
SCALE:	1/4" = 1'-0"
ENGINEER:	MSA
REVIEWED BY:	GDS
PLANS ISSUED:	9/18/2023
DRG/FSMAN:	MSA
PLANS ISSUED:	10/11/2023



ATTIC LEVEL FRAMING LEGEND	
2ND LEVEL WALLS	[Symbol]
ATTIC LEVEL WALLS	[Symbol]
2ND LEVEL FLOOR	[Symbol]
2ND LEVEL BEAMS	[Symbol]
2ND LEVEL JOISTS	[Symbol]
2ND LEVEL STUDS	[Symbol]
2ND LEVEL FLOOR FINISH	[Symbol]
2ND LEVEL ROOFING	[Symbol]
2ND LEVEL ROOFING ABOVE	[Symbol]
2ND LEVEL ROOFING BELOW	[Symbol]
2ND LEVEL ROOFING ABOVE AND BELOW	[Symbol]
2ND LEVEL ROOFING ABOVE AND BELOW (WITH FINISH)	[Symbol]
2ND LEVEL ROOFING ABOVE AND BELOW (WITH FINISH AND INSULATION)	[Symbol]
2ND LEVEL ROOFING ABOVE AND BELOW (WITH FINISH AND INSULATION AND VENT)	[Symbol]
2ND LEVEL ROOFING ABOVE AND BELOW (WITH FINISH AND INSULATION AND VENT AND FLASHING)	[Symbol]
2ND LEVEL ROOFING ABOVE AND BELOW (WITH FINISH AND INSULATION AND VENT AND FLASHING AND GUTTER)	[Symbol]

COLUMN SCHEDULE	
C-1	18S 30X30 STEEL COLUMN
C-2	18S 30X30 STEEL COLUMN
C-3	18S 30X30 STEEL COLUMN
C-4	18S 30X30 STEEL COLUMN
C-5	18S 30X30 STEEL COLUMN
C-6	18S 30X30 STEEL COLUMN

JOIST SCHEDULE	
J-1	24S 12 SP 42
J-2	24S 12 SP 42
J-3	24S 12 SP 42
J-4	24S 12 SP 42

* IF OF STEEL JOIST PACKS INDICATE REQUIREMENT OF JOIST SPACING

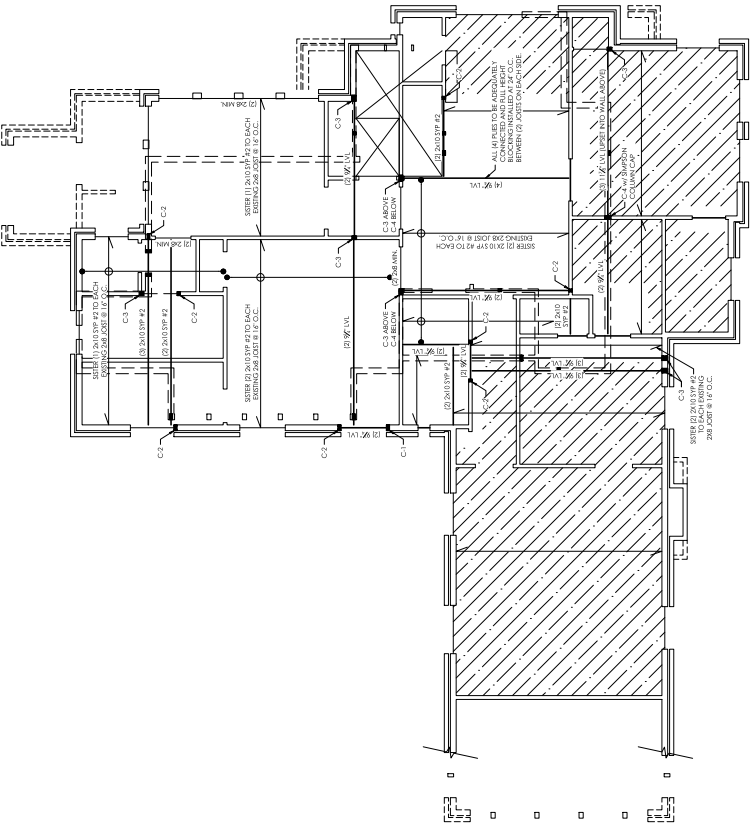
FOR USE WHEN MEMBER SUPPORTS ARE NOT OTHERWISE CALLED OUT IN PLAN

ATTIC LEVEL FRAMING NOTES:

- ALL NEW ROOF JOISTS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- WHERE JOIST ARE PARALLEL TO EXISTING WALLS PROVIDE FULL DEPTH END BRACING AT THE END OF ALL BEAMS AND JOISTS ARE TO BE REINFORCED TO PREVENT TWISTING. ALL SUPPORTED BEAMS ARE TO BE CONTINUOUSLY BRACED.
- USE APPROVED WOOD HANGER W/ WAX. ATTACHMENT ON ALL WOOD JOISTS TO BE MADE WITH JOIST BRACES (UNLESS NOTED OTHERWISE). LAY JOIST BRACES TO BE MADE WITH JOIST BRACES (UNLESS NOTED OTHERWISE).
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.

RELATIVE WALL BEARING CAPACITY MANUFACTURER SPECIFIC GUIDE.

- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
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- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LOAD BEARING WALLS TO BE 24S 12 SP 42 @ 16" O.C. UNLESS NOTED OTHERWISE.



STRUCTURAL CONNECTIONS IN CONTACT WITH EXISTING CONCRETE SHALL BE PROTECTED FROM WEATHERING BY A MINIMUM OF 1/2" GALVANIZED STEEL SHEET METAL OR 1/4" ALUMINUM ANGLE. ALL CONNECTIONS TO EXISTING CONCRETE SHALL BE PROTECTED FROM WEATHERING BY A MINIMUM OF 1/2" GALVANIZED STEEL SHEET METAL OR 1/4" ALUMINUM ANGLE.

1 ATTIC LEVEL FRAMING PLAN
SCALE: 1/4" = 1'-0"

From: [building modifications](#)
To: [Paige V. Jennings](#), [Caitlyn Davis](#), [David Grace](#)
Cc: [building modifications](#)
Subject: Re: Historic Preservation Committee (HPC) Staff Report and January Meeting Agenda - 831 Clifton Road
Date: Monday, March 18, 2024 1:56:25 PM
Attachments: [831 Clifton Road.pdf](#), [831 Clifton Road - Overview - 3/15/24](#)

Good Afternoon Paige,

Thank you very much for sending over the Committee's report for 831 Clifton Rd. My apologies on the delay of response—we needed to coordinate with our architect, David Grace of Classical Design Studios, to make sure that we fully understood the issues at hand. Dave will also be joining us in the meeting this evening so that he can personally address any additional concerns or questions the Committee may have, however, we wanted to address your initial questions below:

- 1) We are proposing to remove the stoop on the right side of the house for a few reasons. The house has severe drainage issues in the basement with water seeping in from the right side of the house. There was significant mold damage, and the owners would like to remediate this by adding additional drainage and waterproofing the side of the home at the foundation. Additionally, there is little clearance between the stoop and the retaining wall on the other side of the driveway. The stoop has already been damaged and hit several times by the landscape trucks that have come to service the yard. We have attached a picture of the current damage that has not yet been repaired. Finally, the side porch is not very visible from the street, and wouldn't have a substantial impact on the historical appearance of the home. We have attached a video (linked below) walking from the sidewalk to show this. While we agree that it is a lovely detail, it is not functional in its current status.
- 2) We are proposing to replace the rear left windows and door with a bank of steel windows and doors that will be true divided light, and we are doing this to create a stronger indoor/outdoor connection. These new windows and doors will be modeled after the steel windows and doors currently in the sunroom on the left side of the house, and will create a uniform and cohesive look from both the interior and exterior. The proportional fenestration between the old and new windows and doors are nearly identical.
- 3) The windows in the proposed dormer on the right side will be wood simulated divided light window to match the historic wood windows present in the majority of the house. Our intent is to remain as true to the beautiful historic charm of the home in every way possible, and to preserve every detail we can, both for design and cost-saving measures. This is a continued effort of ours to make every new detail consistent with the existing historic design. We are only using designs and materials that are currently present in the historic structure.

Thank you very much for your consideration, and for your efforts to preserve the integrity of this neighborhood. As a note, the owners are very vested in maintaining the continuity and craftsmanship of old, as they also own and currently live in another historic home in the neighborhood.

Thank you again,

Mari
404-630-1096



On Mar 15, 2024, at 1:36 PM, Paige V. Jennings <pvjennings@dcahpcocountyga.gov> wrote:

Good Afternoon,

Please see the staff report attached to this email regarding the application for 831 Clifton Road, for the upcoming HPC Meeting on Monday, March 18th, at 6pm. The agenda, including a link for the Zoom meeting, has been attached to this email as well.

If there are any issues or discrepancies with the work summarized in the staff report, please let us know before Monday's meeting so that we may adjust accordingly.

Thank you and have a great day!

Best,
Paige

From: kelly.monical@fourrecordsmusic.com
To: [Paige V. Jennings](mailto:Paige.V.Jennings); dustin.goossens@gmail.com; [Building Revolutions](#); [David Grace](#)
Subject: 831 Clifton
Date: Monday, March 18, 2024 2:23:17 PM

Good Afternoon Paige,

Thank you very much for sending over the Committee's report for 831 Clifton Rd. My apologies on the delay of response--we needed to coordinate with our architect, David Grace of Classical Design Studios, to make sure that we fully understood the issues at hand. Dave will also be joining us in the meeting this evening so that he can personally address any additional concerns or questions the Committee may have, however, we wanted to address your initial questions below:

- 1) We are proposing to remove the stoop on the right side of the house for a few reasons. The house has severe drainage issues in the basement with water seeping in from the right side of the house. There was significant mold damage, and the owners would like to remediate this by adding additional drainage and waterproofing the side of the home at the foundation. Additionally, there is little clearance between the stoop and the retaining wall on the other side of the driveway. The stoop has already been damaged and hit several times by the landscape trucks that have come to service the yard. We have attached a picture of the current damage that has not yet been repaired. Finally, the side porch is not very visible from the street, and wouldn't have a substantial impact on the historical appearance of the home. We have attached a video (linked below) walking from the sidewalk to show this. While we agree that it is a lovely detail, it is not functional in its current status.
- 2) We are proposing to replace the rear left windows and door with a bank of steel windows and doors that will be true divided light, and we are doing this to create a stronger indoor/outdoor connection. These new windows and doors will be modeled after the steel windows and doors currently in the sunroom on the left side of the house, and will create a uniform and cohesive look from both the interior and exterior. The proportional fenestration between the old and new windows and doors are nearly identical.
- 3) The windows in the proposed dormer on the right side will be wood simulated divided light window to match the historic wood windows present in the majority of the house. Our intent is to remain as true to the beautiful historic charm of the home in every way possible, and to preserve every detail we can, both for design and cost-saving measures. This is a continued effort of ours to make every new detail consistent with the existing historic design. We are only using designs and materials that are currently present in the historic structure.

Thank you very much for your consideration, and for your efforts to preserve the integrity of this neighborhood. As a note, the owners are very vested in maintaining the continuity and craftsmanship of old, as they also own and currently live in another historic home in the neighborhood.

Thank you again!

Kelly Monical, JD

(704) 287-2026

https://share.icloud.com/photos/0ed0Vv322Cv0o8H2gQq-d_AZg



2) "Add steel fame door unit with window. "

Answer: We intend to replace current windows/doors on the back of the house with a steel unit to provide more light and better access to the back yard. (See Figures 1.1 & 1.2) The steel windows/door materials are currently existing in the "sun room" of the home, which also faces the back yard. We intend to recreate those doors/windows, with identical materials so that there is a cohesive look on the first floor of the home. Please see images below. Windows will be constructed by Brian Womack of Womack Ironworks. Womack Iron has also created similar windows and doors for several other Druid Hills historic homes as approved by the committee, including keystone properties of 845 Clifton and 841 Clifton. Please see photos below for reference.

Figure 2.1 (Proposed Steel Units Outlined in Red)

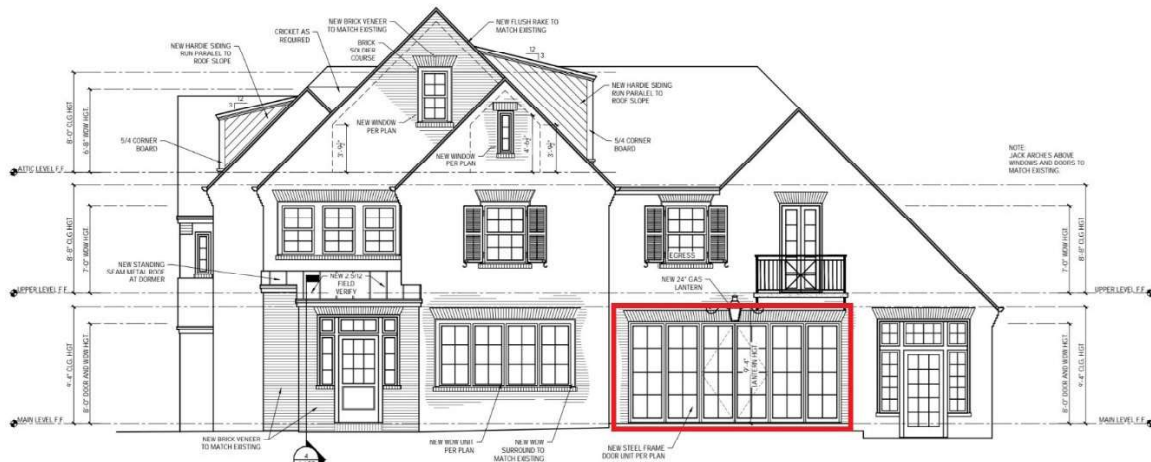


Figure 2.2 (Proposed Steel Units Outlined in Red)



Figure 2.3 (This photo is for inspiration only. We are attempting to achieve a brighter, more functional flow from the outdoor pool area to the indoors in the back of the house only. This will not be visible from the front or side of the property.)



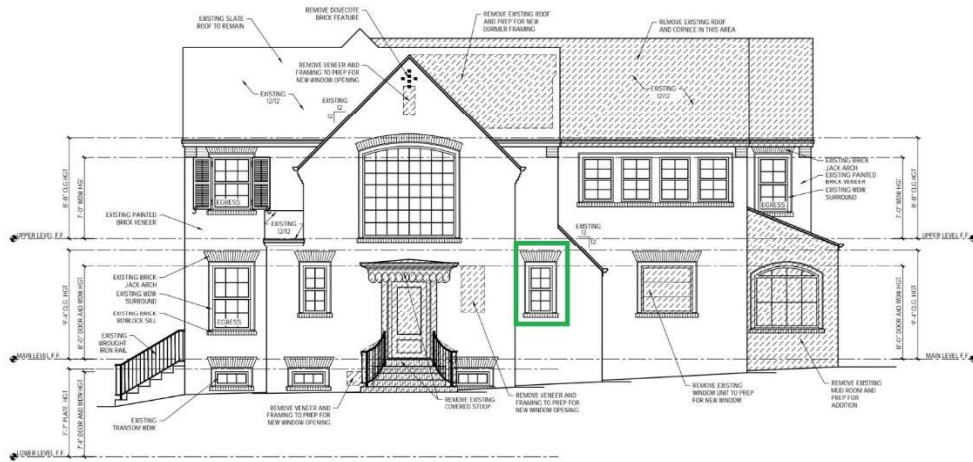
3) “ French Doors, windows, and attic louvered openings on the back of the house will be replaced with windows and a steel frame door unit.”

Answer: Similar to number two above. Our intent is to create more light on the first floor of the home, and to provide easier access to the backyard. Additionally, instead of louvered openings for the attic, we will replace them with windows built to the exact match to the windows on the floor directly below them. (See Figure 3.1 & Figure 3.2)

Figure 3.1 (Proposed Windows are Outlined in Red and Orange. The Proposed Window Outlined in Orange will be Matched to the Existing Window Outlined in Blue. The Proposed Window Outlined in Red will be Matched to the Existing Window Outlined in Green on Figure 3.2)



Figure 3.2



Thank you very much for your consideration and guidance on this property. We hope to restore this beauty to its original glory, and on a personal note, I don't want differing materials, particularly on the windows and doors, throughout the house. We will make all new materials standardized to the existing materials, both for aesthetics and for cost saving purposes.

What material will the windows be constructed with? (Wood, aluminum, steel)

- Windows modeled after the existing windows will be wood to match their historic counterparts.
- The wall of new windows and doors leading to the backyard (shown on Figure 2 in our previous response) will be steel

What is the material of the current windows?

- All windows in the house are wooden, with the exception of the steel windows around the sunroom.

What is the configuration of the windowpanes for the steel frame unit? (4x3 panes, 3x2 panes, etc.)

- There will be two units of steel windows. The unit opening straight back into the yard will be 4 panes tall by 12 panes wide. The unit facing the back yard from the right side will be 4 panels tall by 16 panel wide. These will be fabricated exactly as the steel units previously approved in 845 Clifton Rd and 849 Clifton Rd, using the same supplier.

Where will the door for the steel frame unit be located? What is the proposed material for the door?

- Door opening will be centered on both steel frame units opening out to the back yard. The doors will also be steel, and will appear as one unit. Please see photo below of 845 Clifton Rd as an example. (Ours will be white rather than black).



From: [Dustin Goossens](#)
To: [Paige V. Jennings](#)
Cc: [Tracy Batson](#); [building revolutions](#); [kelly.monical fourrecordsmusic.com](#)
Subject: Re: Fwd: Inquiry Regarding COA Application - 831 Clifton Road
Date: Wednesday, April 10, 2024 3:04:38 PM
Attachments: [image001.jpg](#)
[image002.jpg](#)

Paige,

They will be true divided light with raised muntins.

Thanks,
-Dustin

On Wed, Apr 10, 2024 at 11:49 AM Paige V. Jennings <pvjennings@dekalbcountyga.gov> wrote:

Good Afternoon,

Thank you for the quick response!

We are finalizing the staff reviews now and will distribute our reports to applicants tomorrow morning. One final question before we finalize the report: Will the divided lites for the windows be simulated or be divided with raised muntins?

Please let me know and we will have the finalized report ready as soon as possible.

Thank You,

Paige



From: kelly.monical fourrecordsmusic.com <kelly.monical@fourrecordsmusic.com>
Sent: Wednesday, April 10, 2024 12:31 PM
To: building revolutions <buildingrevolutions@gmail.com>; Dustin Goossens <Dustin.goossens@gmail.com>; Paige V. Jennings <pvjennings@dekalbcountyga.gov>; Tracy Batson <TBatson@aclassicalstudio.com>
Subject: Re: Fwd: Inquiry Regarding COA Application - 831 Clifton Road

Hi Paige,

Please see our answers below. I have also attached a document with the same answers, as well as a photo of an example from our supplier for the steel units. Thanks!

What material will the windows be constructed with? (Wood, aluminum, steel)

- Windows modeled after the existing windows will be wood to match their historic

counterparts.

- The wall of new windows and doors leading to the backyard (shown on Figure 2 in our previous response) will be steel

What is the material of the current windows?

- All windows in the house are wooden, with the exception of the steel windows around the sunroom.

What is the configuration of the windowpanes for the steel frame unit? (4x3 panes, 3x2 panes, etc.)

- There will be two units of steel windows, both facing the back yard. The unit opening straight back into the yard will be 4 panes tall by 12 panes wide. The unit facing the back yard from the right side will be 4 panels tall by 16 panel wide. These will be fabricated exactly as the steel units previously approved in 845 Clifton Rd and 849 Clifton Rd, using the same supplier.

Where will the door for the steel frame unit be located? What is the proposed material for the door?

- Door opening will be centered on both steel frame units opening out to the back yard. The doors will also be steel, and will appear as one unit. Please see photo below of 845 Clifton Rd as an example. (Ours will be white rather than black).

Please let me know if you have any further questions!

Kelly Monical, JD

(c) 704-287-2026

On 04/09/2024 12:03 PM EDT building revolutions
<buildingrevolutions@gmail.com> wrote:

Hi Kelly!

This just came in from Paige and I realized you aren't included. Would you like for me to reply and just cc you so that you can provide details on materials, etc?

I am not 100% on answers to these since you've been working with your supplier. Also happy to respond as well and cc you but will need all the info first. Let me know:)

Begin forwarded message:

From: "Paige V. Jennings" <pvjennings@dekalbcountyga.gov>

Date: April 9, 2024 at 11:56:54 AM EDT

To: building revolutions <buildingrevolutions@gmail.com>

Subject: Inquiry Regarding COA Application - [831 Clifton Road](#)

Good Morning,

Hope that this email finds you well and enjoying the week so far.

We are in the process of completing our staff level review and compiling our report regarding the application for 831 Clifton Road. To complete our review, could you please provide information regarding the following questions:

1. What material will the windows be constructed with? (Wood, aluminum, steel)
2. What is the material of the current windows?
3. What is the configuration of the windowpanes for the steel frame unit? (4x3 panes, 3x2 panes, etc.)
4. Where will the door for the steel frame unit be located? What is the proposed material for the door?

Please provide the requested information as soon as possible, and please let me know if you have any questions.

Thank You,

Paige

