#### **DeKalb County Historic Preservation Commission**

Monday, April 15<sup>th</sup>, 2024- 6:00 P.M.

Staff Report

<u>Regular Agenda</u>

H. 831 Clifton Road, Monty Dannenberg. Install dormers and modify windows. **1246926** 

Built in 1930; garage built in 1965 – Nonhistoric (15 243 02 015)

This property is in the Druid Hills Character Area 1 and the Druid Hills National Register Historic District.

11-23 831 Clifton Road, Lucinda Bray. Construct swimming pool and install fence and gate. 1246732. Approve

#### <u>Summary</u>

#### <u>April 2024</u>

The applicant submitted new information to further explain the proposed work that was deferred from the March 2024 meeting. This includes the following:

- 1. Add a shed dormer with 5 double-hung wood windows on the left side of the new roof. The dormer will be clad with Hardie siding and roofed with standing-seam metal. This will be hidden by the main roof. The windows will be wood double-hung with 4-over-4 true divided lites with raised muntins, the same as the bank windows directly below on the second floor of the property. The windows will match the pane, fenestration, and casing as those located on the second floor.
- 2. Add a steel frame door unit with windows to replace the current windows and doors on the back of the house. The steel windows and door unit will be similar in design and materials as the steel windows and door unit located in the "sunroom" located on the first floor of the home. The steel unit opening straight back into the yard will be 4 panes tall by 12 panes wide and the steel unit facing the back yard from the right side will be 4 panels tall by 16 panel wide. The door opening will be centered on both steel frame units opening out to the back yard. The doors will also be steel, painted white, and will appear as one unit
- 3. Replace the French doors, windows, and attic louvered openings on the back of the house with wood windows and a steel frame door unit. The louvered openings for the attic will be replaced with wood windows built to match the windows on the floor directly below the window in the lower gable will be replaced with a 1x3 pane casement window with true divided lites with raised muntins in lower gable, and the window in the upper gable will be replaced with a double-hung window with 4-over-4 true divided lites with raised muntins.

#### March 2024

The house is set back about 95' to 100' from the right-of-way and rests on a shelf on the front of the ridge, about 26' above street grade. The house is clad with painted brick. Of the work described below only the new roof rising above the existing one and the replacement of the stoop on the right side will be visible from the street. The right-side stoop being removed is visible from the street from

directly in front but is screened by evergreen shrubs/trees on the side. All other changes will be screened behind the bulk of the house.

At least the back part, and possibly all of the rear wing appears to be an addition.

The applicant proposes to:

- 1. Combine the double gables on the rear of the house into a single gable with a slate roof matching the roof of the house. (Although one of the rear gables may be original, the current roof configuration in back is not original.) The new roof will rise five feet higher than the front ridge as a hip in front and gable at the rear. The roof pitch will be 12/12, continuing that of the existing front roof. The visibility will probably be limited because of the distance from the right-of-way, the rise above street grade, and the slope of the roof. The purpose is to provide additional living space in the attic.
- 2. Add a shed dormer with five casement windows on the left side of the new roof. The dormer will be clad with Hardie siding and roofed with standing-seam metal. This will be hidden by the main roof.
- 3. On the left side add a steel frame door unit with windows. This will be hidden behind the main section of the house.
- 4. Add a dormer with three casement windows on the right side of the house. The dormer will be clad with Hardie siding and roofed with standing-seam metal. This will be hidden behind the front roof.
- 5. On the right side replace the side stoop with windows. Replace a nonhistoric window near the end of the rear wing with casement windows.
- 6. Build two small brick additions at the back of the house. These will be roofed with standingseam metal.
- 7. French doors, windows, and attic louvered openings on the back of the house will be replaced with windows and a steel frame door unit.
- 8. Add shutters to the garage/carriage house and repair the siding, replacing some of the elements as necessary.

#### **Recommendation**

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval.

#### **Relevant Guidelines**

- 5.0 Design Review Objective (p45) When making a material change to a structure that is <u>in view from a public right-of-</u> way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is <u>not in view from</u> <u>the public-right-way</u>, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- *6.1.3 Entrances and Porches* (p53) <u>Guideline</u> Original porches and steps should be retained. Repair of porches should not result in the removal of original materials (such as balusters, columns, hand rails, brackets, and roof detailing) unless they are seriously deteriorated. If replacement materials must be introduced, the new should match the old in design, color, texture, and, where possible, materials. Replacement of missing features should be substantiated, if possible, by documentary and physical evidence.
- *6.1.3 Entrances and Porches* (p54) <u>Guideline</u> Original doors should be retained unless deteriorated beyond repair. Screen and storm doors should not detract from the character of the house and should be designed to be compatible with

original doors. In the case of a replacement for a deteriorated door, the new door should be similar to the original in design and materials.

- *6.1.4* updated Guideline- Existing historic windows, including sashes, lights, lintels, sills, frames, molding, shutters, and all hardware may be repaired or replaced. If repaired or replaced, alterations should be made with in-kind material and in the same design. Historic windows that have separate panes of glass should be replaced with simulated or true divided lights. Non-historic windows should be replaced with in-kind material and design or wood or wood-composite material in the same design. Material exceptions may be made for preexisting aluminum or steel framed windows. Should it be necessary to replace an entire window, the replacement should be sized to the original opening and should duplicate all proportions and configurations of the original window.
- *6.1.5 Roofs, Chimneys, and Dormers* (p56) <u>Guideline</u> The original roof form should be retained to the greatest extent possible. No addition to a house should greatly alter the original form of a roof or render that form unrecognizable. Original or historic roof dormers should also be retained. Skylights should be installed so as to be as unobtrusive as possible. If additional upper-story space is required, consider using dormers placed out-of-view of public right-of-way—to create this space.
- *7.3.1* Additions (p74) <u>Guideline</u> Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- *7.3.1* Additions (p74) <u>Guideline</u> Additional stories should be set well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.

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**Development Services Center** 178 Sams Street Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

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lichael Inurmond					Cedite Hudson
Арр	lication for (	Certific	cate of Approp	riateness	
Date submitted: 2/7/2024			eived:		
Address of Subject Property: 831 C	Clifton Rd N	E Atla	inta GA 30307	7	
Applicant: Monty Dannenbe	erg	2	E-Mail:	buildingrev	olutions@gmail.com
Applicant Mailing Address: 876 C	Clifton Rd N	E Atla	inta GA 30307	,	
Applicant Phone: 770-294-391	3		_		
Applicant's relationship to the owner:	Owner	Archi	tect Contra	ctor/Builder	Other
Owner(s): Dustin Goosser	**************************************	kakakakakakakaka	<sub>Email:</sub> dustin.go	ossens@	gmail.com
Owner(s): Kelly Goossens	and a little		Email. kellymon	ical@fou	rrecordsmusic.com
Owner(s) Mailing Address: 876 C	lifton Rd NE	E Atlar	nta GA 30307		1.4588-14 (4.889 ISO D. 1).5
Owner(s) Telephone Number: 404		· · · ·	ter en el com		and the state of the
Approximate date of construction of t		ire on the	property and any othe	r structures aff	ected by this project: 1930
Nature of work (check all that apply):	New construction		New Accessory Buildin	ig 🗖	Other Building Changes
	Demolition	~	Landscaping		Other Environmental Changes
	Addition		Fence/Wall		Other
			Sign Installation		
Description of Work:	Moving a Building		-		
Description of Work: Main Home - minor exterior additions: Re 9ft x 5.5ft). Rear right corner of main hom side of main home with standing seam m home - deleting entry and adding 5 new y windows and install new steel frame door materials.	ear of main home - cl ne next to mud room etal roof, smooth ha windows. Left side o	hange from to receive rdy panel	an approx 2ft x 6ft addi vaneer painted to match receive new dormer on a	tion off of sculler brick and the ad attic level. Left si	y and mud room. Dormer added on ri dition of 3 windows. Right side of mai de first floor level delete entry and

photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pivennings@dekalbcountyga.gov. An incomplete application will not be accepted.



#### Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/We: Kelly & Dustin Goossens	х 11
being owner(s) of the property at: 83/ Clifton Rd NE, atlanta, GA 30307	
hereby delegate authority to: Monty Dannen berg	
to file an application for a certificate of appropriateness in my/our behalf.	

Signature of Owner(s): Date: 1/20/24

#### Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



#### How to Obtain a Certificate of Appropriateness

- 1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by email <u>plansustain@dekalbcountyga.gov</u> AND <u>rlbragg@dekalbcountyga.gov</u>. telephone (404) 371-2247, or fax (404) 371-2813, or visit the website at <u>https://www.dekalbcountyga.gov/planning-and-sustainability/forms</u>
- 2. Complete and submit the application. Please provide as much supporting material as possible,(plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3 (HPC Calendar). Email the application and supporting documents to <u>plansustain@dekalbcountyga.gov</u> AND <u>rlbragg@dekalbcountyga.gov</u>. If all documents are not provided the application will not be complete and will not be accepted.
- 3. The Preservation Planner will post a sign on the property at least ten days before the preservation commission meeting or coordinate sign posting with the applicant.
- 4. The Preservation Planner will visit the property as part of their review. The commission members may view the property from the right-of-way.
- 5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
- 6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
- 7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
- 8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

#### **Design Checklist for a Certificate of Appropriateness**

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945, e-mail <u>pvjennings@dekalbountyga.gov</u> and <u>rlbragg@dekalbcountyga.gov</u>.

Applicants are also referred to the DeKalb County website, <u>http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability</u>.

No

No

No

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

- 1. General
  - a. Label all drawings with the address of the site, owners' name, and contact phone number.
  - b. Number all drawings.
  - c. Include a graphic scale on reductions.
  - d. Date all revisions.
  - e. Indicate all unverified numbers with +/- signs
  - f. Include photos of the existing condition of the property.
- 2. Site Plan (existing and proposed) to include:
  - a. Topographical plan with significant trees sized and located;
  - b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
  - c. Distance between houses;
  - d. Façade width to finished face of material;
  - e. Grading and elevations across site;
  - f. Dirt removal or regrading if more than 18";
  - g. Tree protection plan;
  - h. Tree removal and replacement plan

#### 3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width



#### 4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary
- 5. Elevations and Floor Plans: << Indicate all unverified numbers with +/- signs>>
  - a. Plans for all floors (drawn to scale, ¼"=1' preferred);
  - b. House orientation on site plan;
  - c. Scalable elevations for front, rear, left, right;
  - d. Height, grade to ridge;
  - e. Streetscape comparison showing heights of two flanking houses on each side;
  - f. Height from grade to first floor level at all four corners;
  - g. Height from grade or finished floor line to eaves at all four corners;
  - h. Ceiling heights of each floor, indicating if rough or finished;
  - i. Height of space between the ceiling and finished floor above;
  - j. Two people of 5'-6" and 6' height shown;
  - k. Landscaping plan

#### 6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

#### 7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

#### 8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

#### 9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale



#### 10. Façade

- a. Consistency in style;
- b. Materials and their combinations brick size and color stone type and color fiber-cement (e.g., Hardie-plank) or wood siding shake or shingle other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

#### 11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

#### 12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the f. glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- Dimensions of windows and doors. j.

#### 13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials



#### 14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

#### **15. Demolitions**

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

#### **Application Process Checklist**

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing
  deadline has passed and that period has expired, no new applications will be accepted to be heard at that
  month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be
  submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
  - o Representative photos
  - Letters of support/opposition
  - Architectural drawings
  - o Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

No

I have reviewed the information above and understand the Certificate of Appropriateness process. No

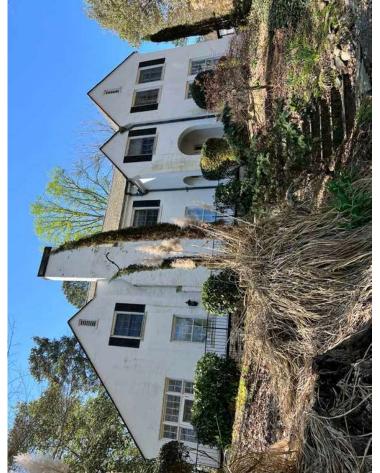
I have reviewed the HPC calendar.



VIEW OF THE EXISTING MAIN HOUSE FROM THE STREET

EXISTING MAIN HOUSE FRONT OF THE HOME

831 CLIFTON DR. NE Atlanta, ga 3007a



VIEW OF THE EXISTING MAIN HOUSE FROM THE STREET



VIEWS OF THE MAIN HOUSE FROM BACKYARD

EXISTING MAIN HOUSE REAR OF THE HOME

831 CLIFTON DR. NE Atlanta, ga 3007a



EXISTING SIDE ENTRY TO REMOVED AND RENOVATED TO MATCH EXISTING

EXISTING MAIN HOUSE SIDE/REAR OF THE HOME

831 CLIFTON DR. NE Atlanta, GA 3007A



EXISTING MUD ROOM @ SIDE TO BE REMOVED AND RENOVATED



EXISTING MUD ROOM @ REAR TO BE REMOVED AND RENOVATED











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CARRIAGE HOUSE FROM EXISTING MOTOR COURT



CARRIAGE HOUSE & MAIN HOUSE FROM EXISTING MOTOR COURT

EXISTING CARRIAGE HOUSE

831 CLIFTON DR. NE Atlanta, ga 3007a

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Renovation Plans The Residence <sup>831</sup> CLIFTON ROAD NE AILANTA, GEORGIA 30307	INDEX TO DRAWINGS INDEX TO DRA
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	MATERIAL LEGEND         SECTION/DEFAUL         SECTION/DEFAUL         SECTION/DEFAUL         SECTION/DEFAUL         SERINAL         SERINAL         SERINAL         SECTION/DEFAUL         SECTION/DEFAUL         SERINAL         SECTION/DEFAUL         SERINAL

THE USE OF THESE PLANS IMPLIES THAT THE OWNER AND CONTRACTOR HAVE READ, UNDERSTOOD AND HAVE ACCEPTED THE CONDITIONS AND STANDARDS SET FORTH BY THESE DOCUMENTS

Content of the Electronic and the electronic section is depleted to reference by the Controct Convenge, with sector of the following Specification Section is depleted to reference by the Controct (Recomption, Find Landon and manufacture) be used are then responsibility of the data rank and and contractor.

## SECTION 01091 - INDUSTRY STANDARDS

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It is the Contractor's responsibility to be inroviedgeable of the industry standards applicable to work and anatoriab performed and not instabled. In this pose: It is course or al standards required for fields use. The anatoriacies related contact the ergandaria to obtain the Standard for site use.

Abbreviations: Where abbreviations or acconyms are used in contract documents, they mean the well escapitzed name of entity in budding controction including; refer to uncertainties to "tracyclopedia of escapitized name of the Breaderich Co. or the following thing:

## and FULL NAME

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ECTION 02281 - TERMITE CONTROL

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ECTION 02710 - FOUNDATION DRAINAGE

that installed materials conforms to specified requirements and tested prior to covering with filtering and drainage filt. Certification: Submit Certification system was successfully checked

Drainage Pipe and Fittings: Funsith pertorated Polyviny Chloride Pipe ASTM D 2729 complete bends, reducers, adapters, couplings, collars, and joint materials. for installation of all mat-Comply with manufacturer's instru

# ECTION 03310 - CONCRETE

Codes and Standards. ACI 301 "Specifications for Skuctural Concrete Buildings", ACI 318, "Builsing Code Sequements the Reinforced Concrete"; comply with applicable provisions for highest quality scene pi a supervise indicated.

Reinforcement Bars: Intermediate grade ASTM A-615, grade 60 as indicated in the drawings. Splices a all indicated reinforcing shall be 48 bar diameters overlap minimum.

extremes during mbing. Protect concrete from physical damage or reduced strength due to weather placement, and curing. In cold weather comply with ACI 305.

rength at 28 days. Slump shall be Concrete is to be 3,000 between 2" and 6".

We flooring recently, with und eight on intectioned in the drawings. Continuous interfaction pors, cost basis, and vertical interfaceing basis structured in the drawings. Continuous bas shall be 12 or o. maximum, cost basis shall be 50 c. maximum and vertical basis stable is 16 or o. maximum and 27 from each shale of all connexis to accordance with local code is and structured profices.

Slab: should not exceed 20 feel in ony dimension without zw. out type controllprint. All shots under building areas that all shots on an information without zw. out the controllprint. All shots under and werken and a free county. This was the howere indicated on driving a referetor entrol down edges on factoriest. Expension points are to an monutor und galantiest steel longue and groove legistic information. This was no drawing.

Reinforcement steal shall be placed and thinly wired before concreting starts. Steal shall be stabled from the earth by 3' minimum of concrete. Comply with lacel tequinements for placement of enforcement or "Cedar" with non-lenous separation from the earth.

Provide %" clameter golvanized anchor bolts and 2" washer at 4-10 o.c. maxhmum not exceeding 6 trom any corner and lates of all goornigs for exister and hinter bacing wall phates on 4bbs and continuous touradian walls where a hown on drawings.

A 4 inch thick (102mm) base course consisting of clean graded sand, gravel, crushed stane or crushed base/mace hag parating a 2 inchi (3 incm) aleves with the placete on prepared subgrade when stab is below grades. Keet is local building codes for additional information.

Work shall include installation of black polyeithylere vapor barrier made of 6-ml carbonated solgethylerithyler film, raised of permo of less under concrete Mb or grade. Place vapor barrier or operate babyritish files as in alcaded on foundation dravings.

ECTION 04000 - CONCRETE MASONRY UNITS

Building Code requirements for concrete masonry structures (A.C.I. 531)

units shall contarm to ASTM C90

All masonry moder shall conform to ASTM C270, type 5. All grout for use in Masonry shall be concrete c type 5 moder with a specified compressive strength of \$000 pil at 28 days. \$Jump shall be between 2 and 6.

oorts per local

Grout shall be a plastic mix suitable fo mixed thoroughly.

Fill all block cells of plets with 3,000 pit concrete or 3,000 pit type 5 monter from top of fooling to the top of the concrete motorny unit (CMU), Four stall be continuous in fills not exceed 4 feet.

Contractor to provide product data, shop drawings, and applicable testing technical, and/sis submittal(s) far review.

and installation to follow manufacture's rec SECTION 04200 - UNIT MASONRY 8. Surface preparation

and ations of Brick Institute of America (BIA). Standards: Comply with re

Mortar joints are to be flattened smooth and flush with the mason's rowel and brushed with soft. Introd-testile touch, Bricks are not to be cleaned with acid. Wipe drappings with builds as the work prodesized

Install maxany units in the bond pattern indicated on it none is indicated, in running bond. Avoid the use [by proper proper project] of leaching-take units calls lies space of Variations 24 or obtained by hold united in patter project project and the proper base of the project as a life units are as a life units are as an another as of the prosenty units of the project of the

Weep Holes: Weep holes shall be created with a cotton wick and loid in the montar joint. A minimum dammeter for a weep hole is ''...Thay should be installed not more than 24 apart horizontally in brick: and 22 apart in concrete maxaw.

Submittals. Contractor to provide a submittal of compiled product data of all maximity wall related components, tractidatiog unit on filmed and branch membrane and accessories, finitely / shell angles, Habing, whicements, and control rise, tratement weeks, market met, etc.

Submit samples of exposed masorry units and pigmented meriter to client for approval. Construct, 4.4.4 sumple partiel of approved brick, motion, and subcoord finitsh coal for clients approval. Allow 4 (four) days of curing before observation by the Architect or client. Submit qualifications of the mason selected for the freptoce construction. i s

Use type "5" montan below grade or in contact with earth. Use type "5" above grade except where indicated otherwise. Natru used with Black montany sponsed to two shallbe mored with Pigmented mored mix used use use centent, perment, or equal. Nother color to be selected by Architect.

Joint Reinforcement: Galvanized truss type verjeded-wire umits prefabricated with 0.18/5' alameter detarmed continuous side rads and plain cross rads with prefabricated corner and tee units, spaced (if verticely).

Masorry veneer Anchors: Two plece assembles consisting of 0.875' diameter whe lie section and 0.1046' thick sheet stellanchar sector, with Briter Incorporating strap stamped into center of anc section as mundactived by Duc-OWal. Inc.

excessive drying, freezing, soiling, backfill, Protect newly laid masonry tron and other harmful elements.

SECTION 05120 - STRUCTURAL STEEL

THREADED ROD ANCHORING SYSTEM 1. Go-Balt, Inc., Tie Max or equivalen

Washer: 3 " x % " thick plate washer from steel hat rolled ASTM A 569

Nuts: 5/8" Hex Nut, width across flats= %", thickness = 7/16", Type Grade 2, Lov steel SAE 1995.

Couplet: 5/8" x 1-3/4", Grade A Carbon Steel ASTM A 563 Grade A.

Carbon Steel, tensile strength Threaded Rod: ASTM A 36 and ASTM A 307 Grade C 5/8 "- 13, 1008 Low of 84,700 psi, minimum yield stress 60,000 psi, zinc plating ASTM B 633

SECTION 06100 - ROUGH CARPENTRY

All lumber shall be as shown on drawings or as called for in this section. If shall be thoroughly seasoned and free from warp that cannot be corrected by bridging or nating. Woodwark exposed to view shall be designed. One and does a direct carpenity work, the work under this action includes the general supervision of the Controllocation and contentiating to action action includes the activation by performed in the observes with the supervision frame and the activation of the formal scheme scheme activation the formal scheme activation in the supervision of the supervision of the formal scheme activation the formal scheme activation in the supervision of the scheme activation of HVAC register (applied protex, performance).

Forming Lumber to be #2.5 outhern Yellow Plne [5YP] 2" Norn. thickness, unless otherwise indicated, with minimum fiber stress of 1,200 psl.

Provide seasoned Surfaced Four Sides (\$45) Jumber with 15 percent moisture content at time of dressing and shipment in grades and species indicated.

Studs (Z=4" thick, Z=4" wide. 10" and shorter) "Stud" or No.3 structural light framing grade, any species graded under SPIB or NLGA rules - not for use as plates.

inder SPIB rules. arade complying with Cancealed Light Framing (2"-4"thick, 2"-4"wide): No.2 Southern Pine graded

Structural Joists and Planks (21-4"thick, 5"and wider): Any requirements for allowable unit stresses.

Thouse hoped servers and bo vapor barriers onto other work of edges of coverage and at perivarilyno in other by other work, scale lopped samp and boy how the work with subsetive or sub-contenties to be other perivariant or and the point of the scale coverage over work to barrier with other points of the perivariant or and work with applied barrier motionation transmission to be an other and barrier and barrier and barrier motionation transmission to be an other and barrier and barrier and barrier motionation transmission to be an other and barrier and barrier and barrier and barrier and motionation transmission to be an other and barrier and barrier and barrier and barrier and barrier and barrier

of vapor barries

Ar hittinction Barrier: Install vapor permeable, water-resistant fabric composed of polyeithylene fibers. V. P. M. Bruck, Ifyves equal in complement with complexitient direction to addition to the poly V. P. P. M. Ver P. M. van pei all dore qual without polyeithy in complexities with manufacturers pintaled directions by the polyeithyle complexities of the polyeithyle and the polyeithyle complexities of the polyeithyle and the polyeithyle complexities of the polyeithyle com

Roof Felt Underlayment: ASTM D-228, 30 b. type or as indicated on drawings. Apply each layer of underlayment horizontally; lapping succeeding courses not less than Z'.

Fb (minimum extreme fiber stress bending): 1,200 FSI E (minimum modulus of elasticity): 1,600,000 FSI Fv (horizontal shear): 100 FSI

under SPB rules. Cancealed Boards: No.2 grade Southern Pine graded

nstalled according to Pre-engineered wood "T joils can be substituted for nominal framing when i manufacturers specifications.

ith ANSI/AITC A 190.1 'Stru Laminated Veneer Lumber (LVL): Shall co Timber' as noted on drawings.

Bending [Fb], 2400 PS]
 Harizontal shear [Fv], 94 PS]
 Compression [Fc], 385 PS]

SHEFT TTLE GENERAL SPECIFICATIONS

10-09-2023

Disimilar barrier membranes including theets, fluids, accessories, and sealants that come in contact with each other must be compatible and deemed a suitable substrate for the overlapping membra.

Continuity and consistency of vaper, alr, and toot barries throughout the building enclosure are critical. Any/off compression more continuous parties contains much be excursaries and bar to the artientication of the Architect and Building Enclosure Consultant part to being concessed.

Wood Peech Decking: shall be Nominal 5/4" x # Tangue & Grove [18.6] boards and shall be clear select pine, certified sin redied site: CA: Redied: (Paoring shall be kept dry to preserve moliture content of 17%. Use galaxiese finish natu, Discard split boards. Standing and Running Timr, Intalli with minimum number of joints postble, using full-length places for maximum length of lumber availables. Frime all states periore installation. Shim are required to cover ends of stating. Capea are lumin and miller of comers to produce light fitting joints. Use scart joints for each-beneficient.

ECTION 06402 - INTERIOR W OODW ORK

Contracter is to assume a complete millionic pockage as implied by the specifications and dowings. Contracter is to assume query workand of sheat to be the time for is construction to oppoord. Generally, inheriar work time fuelding does made windows contragt, backboards, molifing the construction is to assume the assume sheat to be the time of the construction for approxed. Generally, which we appending systems, sheat works, molifing the construction for the construction of the construction for an ending the construction of the construction of the construction of the construction for the construction of the const

Includ finite competity work plants, level. Une and stronght with no distortions. Shim as required using conceded partial scales or and mit competing them to adjoining work. Actions this to competing work securely to support on a contractions, using concereded transmera and blact anding where possible use free finaliting notifs for exposed noting except on indicated, counterwark and filled fully with finitive values.

Exterior Standing and Running Trim: Boards of material and size indicated. Use 6/4 materials as a min

Exterior windows and doors trim to be pattern and size as indicated on drawings.

Exterior Lattice: 1 ¼" x 1 ¼" square edged Cypress.

Vertical board and batten systems shall be nominal 1" x 12" boards with beveled edge from 1" x x as indicated. Siding: Board Type as indicated on drawings, worked to pattern and size indicated.

A0.01

4. Subboring indites YT 15 physical with advice glue (Eposure 1) Platfor arYTG Advintech flooring contentityment (- Subglade Ersbring), aglied must strate with middla budglade blank. How areas to reserve the shafthrow additional bryot of YT Benglade without additional brank and areas to reserve the shafthrow additional bryot of YT Benglade without additional brank additional additionant or any additional brank of YT Benglade shafthrow additional brank additional additionant or additional brank of YT Benglade shafthrow additional brank additional physics. Salutabiologi with homopoin Vader Sed. Provide YT weep) to blank of tropped bory spok.

Replace any water dam

Wet Sheething: Wet Jheething and tee 3° phywood 5%-PA attructuroff. Root Sheething and the 58° Phywood 5%-PA ketwish Sheething to be accessed with "Yake" and a conduct and an analysis of the sheething and the source of any two sheething and the source device that are shown and the source access and in Yake" and source device and a sub-stanting and a source of a source access and in Yake" and source device and the source access and any and a source access and any and a source access and any and a source shown and a source access and any access access and and a source access and a source access and any access access and and a source access and and a source access and a source access access and a source access and a source access and and a source access and a source access and a source access and a source access access

Standards:

AMI Quality Standard: Comply with applicable requirements of "Architectural Woodwark Quality Standards: by AMI.

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nents of "Manual of Milwork" by WIC. 4. WIC Quality Standard: Comply with applicable requirer Fasteners and Anchorager: Provide hol-clip galvanized metal hangers and framing anchors of size and type recommended for intended use typ minutatorulers. Solid shocking at point loads to be 3 studs galed and material (or 3/8 Fag bale) at 16° oc.

Butt-Board Paneling: Surfaced A Grade #1 white pine at size and spacing indicated on drawings.

Ship-Lap Paneling: Surfaceed A Grade #1 while pine at spacing indicated on drawings. Wood paneling shall be applied over %" htywood backing or drawall.

Interior Standing and Running Trim: Grade-P 1.1. Paint grade= Poplar or MDF board 1.2. Stain grade= Cypress

Treated Lumber: All framing to come in contract with concrete or masorry, to be exposed to weather or in control with earth mable CCK headed with preservative elevation level of a d0 bu, cu, nt, os relationships to white 3 produces 6.2.0% for ground contract. No woodwork or framing exposed on the interior of the building shall be treated.

ed by client:

The following items (to be finished clear) are to be fabricated of hard 3.1. Stair treads (interior) Nominal 5/4" Heart Pline 3.2. Handralls (interior) 2" diameter Heart Pline (See Detal Drawings) omply with AWPA Preservative pressure treat lumber and plywood with water-borns C2 and C9, respectively, and with requirements indicated below

Do not install any interior trim before HVAC systems have been operating for a minimum of one v Trim material should be stared within the air conditioned building one week prior to installation.

10. Fabricate custom wood floor gafles and celling gafles where required and applicable by HVAC. Per startio intratedial to material to matter woodware. Coordinate with HVAC contractes the rand boardins. Starting gafle design starticit to Activities for final paparoval prior to tablication.

Wood for Ground, Concrete or Masonry Use: AWPB4.P-22.
 Wood for Jowe Ground use: AWB.P-2.
 Decks (Innder rood): Perindirectied T&P.
 Decks (exposed): "SunBoard" or opproved equal

19. Treat cants notes: blocking, huring, stripping and similar items in conjunction with rooting. Itishing, vapor barriers and value practing. The stripping and similar items in direct contact with maximity or concrete.

THOMAD A

 Coordinate work with applicable mechanical trades and rough-in. Verity adequacy of backing support frammy, Verity mechanical, electrical, and bulking items affecting work of this section placed and ready to reactive link work. 12. Set and secure materials and components in place, plumb and level. Scribe work abutting other components with minimum gaps. Maximum use additional overlay trim to conceal larger gaps. Charlenge harmon work to compare the human of human per hybrane full models through a compare work to compare work to compare through the human per hybrane full model. The human per h

gap tolerance is 1/64". Do no

Warranty: Submit a 5 year withen warranty, executed by manufacturer, agreeting to trapbace at repo period. Warranty evaluation of bit midleted by a manufacturer, and the specified warranty petiod. Warranty evaluation of bit in midleted and trapbacement of online werk that concern petieve Warranty and the second on to activate the Canada of the fight that cancel petieve expending the Contraction work the a cudator to activate at the fight the clear many house against the Contraction work the Canada to contraction of the fight the clear

Installation: Except as otherwise indicated, and whether or not shown on drawings, apply wateprocepts and protection bacard to all existion below.grade surfaces of interior under in contract with earthwork or other backitt.

ofing not less than 64 mils thick, with protect

SECTION 07110 - MEMBRANE WATERPROOFING

1. Rubberized Asphalt Sheet Waterp

Scarely function coperative vacue to calculate and experiment memory more than the way in premiumer reminers where opposite and the exposed to see a mease final models. Indeed therease, the sound primer sector sector and the separation of the sector and the sector meases and the sector the sector and the sector and the sector and the sector and the sector meases and the sector and the sector and the sector and the sector sector and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector and the sector descent and the sector and the sector and the sector descent and the sector and the sector descent and the sector de

Provide wood framing members of size and spacing indicated; do not spice shuctural members between supports; Fischo conceoled spaces with wood blocking not less than 2 thick, If not block to online transfers. 26. 27.

Initializition: Except or otherwise indicated, and whether or not shown on drawings, thruth/gray apply semi-florated caphedic curbacic mastic, [5 gal) (100,5, min, 30 mills hink), domne proofing and protection board to datakins below-grade suffices of exterior undergraund walk in contract with earthword or other backfill.

Cold Applied Applied Lot-Back Damp Proding: Provide heavy fibrated type mattic non-aubertos compoundi, complying with FS SS-C-153, Type 1, except containing not-aubertos, inarganic fibrious enhorcement morefuldi.

SECTION 07140 - BITUMINOUS DAMPPROOFING

All exterior wood exposed to weather such as relifs, lattice, babrater, tim, cellings, railing systems, etc. Shall be researchive beather the sume more as earliers common and abarative Members with loaze to that, a check greater than 1.10° wave, warped, or which are a cherwise as obviously detormed shall be culted out. All headed wood to be partied shall be kin died after freatment (IZDAT).

Headers at interfor and exterior walk shall be double or hiple 2x123 or as indicated on drawings, with continuous 1s" phynood to equal the thickness of wall framing.

Provide full solid multit stud bearing (solid blocking -5.8.) under all beam bearing points ( loads to sold foundation conditions below.

Atlanta, GA 3007A

831 Clifton Dr Northeast

the Residence at: Renovation Plans For:

solvents, complying with

Instollation: Apply a heavy soturation spray coating of water repellent on surfaces indicated for theatment using low pressure spray equipment. Comply with manufacturer's instructions.

Apply a second saturation spray coating, repeating first instructions for limitations on drying time between coats.

SECTION 07190 - VAPOR BARRERS ctor to follow local re-

Coordination with Seakahs. Where feasible, delay application of water repellents until it seatants has been completed in joints adjoining surfaces to be coated with repellent.

WIC Quality Standard: Comply with applicable requirements of "Manual of Millwork" by WIC. Softwood Lumber: Manufacture to sizes and patterns using seasoned lumber. Use pieces solid lumber.

Standards: AWI Quality Standard: Comply with applicable r Quality Standards: by AWI.

SECTION 06200 - EXTERIOR FINISH CARPENTRY

Exposed exterior concrete surfaces. Exterior unit masorry surfaces. Exterior and Interior stonework surfaces. Exterior cement plaster or strucco surfac

<u>= 4 5 7</u>

SECTION 07175 - WATER REPELLENTS Following applications of water Provide a 5.0% concentration or polyme \$5-w-110.

### ECTION 07200 - INSULATION

- Unlaced fiberglass Blankel/Batt Insulation: ASTM C 665 for Type I (Blankets without membrane facing used in floor plenums).
  - Faced Fiberglass Blanket/Batt Insulation ASTM C 665 for Type III, Class A (blanket) tacing used in wall cavities).
- Install insulation at locations in thickness shown ar required to meet the highest level recommended by local building authorities.
- Etterior nucli: Focued Resignin.R-10
   Etterior nucli: Focued Resignin.R-10
   Root Resigning Not Oriced Wireks that in supplicits. Use of both Barves with the entry of a concellence of the entry of a concellence of the analysis of the entry of
  - Insulation shall be installed per manufacturer's recorr
- Insulate interior walk and/or floor construction for sound attenuation with 3-1/2" fiberglass R-1 ( Faced blankets as applicable or shown on drawings:

  - Floor/ceiting structure between habitable spaces.
     Wall structure around any bedroom and around any bath or powder 5.3. Wall structure around any laundry room.
- meter insulation installed to meet ar exceed local energy effici
- Insulate water heaters, plumbing pipes in unheated areas, and HVAC ductwark as descrit plumbing and HVAC specifications attached.
- Continuity and consistency of the thermal barrier throughout the building enclosure is critical. Any comprovided of the net-continuous partier conditions must be excommented and brought to the driftention of the Architect and subling Enclosure Consultant prior to balling conceeded. Provide accessories and supplemental components to ensure continuity of membrane facing barrier, especially used at exterior wall conditions. Install per manufacturer requirements.
  - ECTION 07311 ASPHALT SHINGLES
- csenet: Corrupt, with publicate recommendations of higher moundscrutes details and recommandations of MGC X Steep Roading archio of MGC Roading and Widerproving Manuel for instabilishis of investigament and altingles, using number of noily and counting thingles in accordance with monutacturer's standards.
  - Job Conditions: Proceed with stringle installation only when all penetrating work has been completed and when substrate is dry and weather conditions are favorable.
- 3Dimensional cominated Skip Shingle, UL Class 'W': Minerol-aurhorad, self-analing, Izminated multityp, and exponentiation theoglass based and publiels complying with ASIMD 2018, bearing UL Class 'W' external the exposure label and U. 'Wind Restitian' fabel, weighing not less than 200 bis per autom. 'Colex or selected by claim!
- Hip and Ridge Shingles. Manufacturer's standard factory pre-job-fabricated units cut from actual shingles used.
- Roofing Feit. No. 30, asphal-saturated vir-perforated organic roofing Feit, complying with ASTM D 226, Type 1, 36 wide, approximate weight 18 lbs./square. Asphalf Plastic Cement: Fibrated asphalt cement complying with ASTMD 2822, designed for trave application.
- Metal drip edge: Minimum .024" mill finish metal sheet, brake formed to provide roof deck flange and fascia flange with drip at lower edge. Furnish in 8" or 10" lengths. See detals.
  - Final Adjustment: Replace any damaged shingles and remove shingle installation debris from site Metal Flashing: .024" mill finish metal sheet. Job-cut to sizes and configuration
    - SECTION 07317 WOOD SHINGLES AND SHAKES
- Wood Shingles: Grade ) Blue Label (Red Cedar Shingle & Handsplit Shake Bureau) western red cedar savn shingles, 18' jength.
- Nails: Hot-dipped zho-coated or aluminum, of type and size recommended by RCS & HS Bureau
- med to sizes and configurations shown or Metal Flashing: Minimum 20-gage copper sheet | required.
- Inside thrigher, beginning or lower end with a double layer statter course, projecting shingles 3/4 beyood hereingly, besoer doubler and were the for a statter or a software with the only spaced 3/4 frame register of hereight and 1 shower bourk free of subsequent for an iso-posed 3/4 frame register of hereight and 1 shower bourk free of subsequent for an approxed 3/4 frame register of hereight and 1 shower bourk free of subsequent for an approxed 3/4 frame register of hereight and 1 shower bourk frame register to provide monthermotoxer as indicated. Cut and the hereight of indiger and eights to provide montherm vectories proveder indicated. Cut and the hereight of indiger and eights to provide monthermone weather proveder indicated. Cut and the hereight of indiger and eights to provide monthermone weather proveder indicated. Cut and the hereight of indiger and eights to provide monthermone weather proveder and the statter of the statter and eights to a statter and the statter indicated.
  - Install metal flashing and veril flashing as indicated and in accordance with details and recommendations of Virabile and Wood Shake section of The VRCA Rooting and Violeprophy Johnud.

ated organic roofing felt. Complying with

- Roofing FeB: No. 30, asphalt saturate D226, Type 1, 36 " wide.
  - ECTION 07318 WOOD SHINGLE SIDING
- Nails: Hot-dipped zinc-coated ar aluminum, of type and size recommended by RCS & HS Bureau Wood Shingles: Grade 1 Blue Label (Red Cedar Shingle & Handsplit Shake Bureau) western red cedar sawn shingles, 18' length.
  - Metal Hashing: Whimum 20-gage copper sheet job-formed to sizes and configurations shown or required.
- anic roofing felt, complying with Felt Underlayment: No. 15, axphalt -saturated un-pertorated organi ASTM D 226, Type 1, 36" wide, approximate weight 18 [bs./square.
- Intell Mingles, beginning or lower end with a double layer starter course. Space adjoining shingles 10 of "coperative course", Stagete edite historial partier course, Space adjoining and it of colove bus line of use adjoint course, Stagete edite plant on minimum of "Life" algo editarge and it course. Justice Stagetes to provide weathere exponence on indicated. Cut and III shingles und edges to provide monimum weathere planeton.
  - Install metal flashing as indicated and in accordance with detalk and recommendati Shingle and Wood Shake section of "The NRCA Rooting and Waterproofing Manual".
- Provide high temperature ice and vrater shield membrane at all valley and eave conditions as well as any area at less than 3:12 stope under all roots.
- CTION 07410 PREFORMED METAL ROOFING

- summar: scientification includes: All material labor, and equipment to complete installation of roofing system as shown on the drawings and herein spacefled, include all copings and flashings configuous with the panels.
  - Materials: Base metal shall be 26 Ga. Calvalem steel, with custom ridge cap & flashings, clowe this and accessions as manufactured by MBCL Inc.or approved equal with Kynar 500 based-on cooling system. Metal roof: To be installed in accordance manufacture's sp "Architectural Sheet Metal Manual (Fitth Edition)" guidelnes.
- ous from the ridge to the eave without
  - Roof Felt Underlayment: ASTM D-228, 30 b. type or as indicated on drawings. Apply each layer o underlayment horizontally, lapping succeeding courses not less than 21. Raofing material shall be confir
    - Submit profile and color to client for approval.
- Waranite: Promet monutochere intelli provide a herenty (20) year waranny on he patel finish covering challing, crossing, interling, chipping, bibering, peeling, bibang, and laufing. Alteriate shall kuran witten waranna (a to a kar) zi year pated heran date et vastantial completion of budding occompti pepata request on rominish nod cind dahniga in wateringhi controlleton.
  - Accessories: Provide manufacturent standard accessories as required for a complete histalist including fashing, ridge obsures, citips, seam clasures, battern, buvers, gasteris, sectants, and items.
- (2) Provide high temperature ice and water shield membrane at all valley and eave condition as any area at less than a 3:12 stope under all metal roots.
- 13. Separate meld greet fram contract with wood mozony and steel (structure, parele or traiteners) by effere of Traitecting of the structure of the structur
- SECTION 07530 SINGLE PLY MEMBRANE RODFING
- Fully Adhered BPDM Membcane: Ethylene propylene diene monomer (EPDM). formed into uniform Hexble streets, complying with ASTMD 4837, Type 1: 60 mils, nominal.
  - Installer: A ftm with successful experience in installation of roading systems similar to those required for this project and acceptable to or Icensed by manufacturer of primary roading materials. Warranty period is 10 years after date of Substantial Completion.
- Sheel Seaming System: Manufacturer's standard materials for seafing lapped jaints, including edge seder to cover exposed spliced edges as recommended by manufacturer of single ply membrane system.
- Can Stife, Tapered Edge Stifes, Insidition, Hashing and Accessories: Types recommended by monutactured of high PA participant motels provided to locations interformed and al Acadio recommended by mix, including adheve lapes, Rahing acrement, and section.
  - Conform to profiles and sizes shown on drawings, and comply with "Arch Manual" by SMACNA, far each general category of work required. SECTION 07600 - FLASHING AND SHEET METAL
    - Fabricate sheet metal with flat-lack seam solder with type solder and flux recommunicaturer.
- Coal back-side of fabricated sheet metal with 15-mil subur-free bituminous coating, 55PC-Point 12, where required to separate media from corrovisor submirds, including e-memilious materials, wood or online taborbent materials, or provide online permanent separation.
- Provide for thermal expansion of running sheet metal work by overlaps of expansion joints in tablocated work. Where required for worker right constructions, provide hooked langas filled with solivabulither exactly in their metadriment of thanges. Space joints of hervold for more than 24 feet. Conceed expansion provides where possible
- Anchor work in place with non-conside fastenes, achesives, setting compounds, tapes and other with an adversarial and device an experimentated by manufacturer of each material provides fast thermal expansion and building movements. Comply with recommendations of "Architectural Shee Merial Manuol by SMACNA.
  - Seal moving joints in metal work with elastomeric joint sealants.
- ance of flashing and sheet metal work is Performance: Water-light and required.
- Types of Flashing. 12 ounce copper flashing at wood slaing, fascio, door and window ritm, and all other exercis at londer on advingue, all exposed metal flashings of or in contract with roor for match media contract groups and finits. SECTION 07900 - JOINT SEALERS
- C compatibility. Provide joint sealers, joint fillers and other rebired materials that are compatible with non-another and with joint Justiatives under service and application contations, as demonstated by testing and reduce experime.
  - Colors: Provide color of exp
- Elastomeric Sealant Standard: Provide manufacturer's standard chemically curing, elastomeric sedent of tose polytimeri relacioned, complying with ASIM C 920 requirements. Actylic and silicone could shall the benefitted.
- One-Part Midew-Resistant Silicone Sealant: Type 5, Grade NS; Class 25, formulated with fungicide.
- Plastic Foam Joint Fillers: Preformed, open-cell polyurethane foam.
  - manufacturers instructions applicable to General: Comply with joint sealer applications indicated.
- SECTION 08212 PANEL WOOD DOORS
- See plans and elevations for door algaments, types and munitip pathems. Doar sizes are nominal sath openings. Notify the client if serified size is and ovalable from manufacturer being considered. To conditing with client for operable swing direction, etc.
- Manutacturers: Subject to compliance with NWWDA 15.6. requirements, provide exterior and Interior panel wood doors (panel type as shown on drawings).

SPECIFICATIONS

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Exterior Doors: Maimum 1 % exterior grade, plain sown/sitead. Full monite and terron with % inubling tempered gata, xamella door with "weater's dataware and comply with NWMOA Premum a sete of cadae. Provided by door rand window manufacturer induring imea.org is indurate, weather-shipping, aid, per door and window manufacturer specification. Door and tordware, weather-shipping, aid, per door and window manufacturer specification. Door and

Gypsum Board Joint Treatment Materials: Factory-prepactioged, viry-based products complying with ASTM C 475 and ASTM C 840, and paper reinforcing tape, unless otherwise indicated.

oard to comply with ASTM C 840. All wall board to be screw

Install and finish gy!

Tifm Accessories: ASTM C 840; manufacturer's standard non-ferrous tifm accessories, including corrierbead and edge tifm of beaded type with face flanges for concediment in joint compou

Exposed Gyptum Board: - ASIN C54, 3' thickness at walk as indicated on drawings - ASIN C54, 30' thickness at all collings or at indicated on - Type Regular, locaret Water-Festiliant In well aread). - Edges: Tapeedd.

GYPSUM DRYWALL

SECTION 09250

Interior Doors: 1%Premium or select. Wood Species: Poplar or Pine, plain zawn/4ked.: Panel Canfiguration: Per Drawings. Doar jambs to be constructed of 5/4 stock material minimum.

window manufacturer shall fabricate units with Heart Pine thresholds per detail drawing:

5. Install %" cement board at all ceramic tile locations.

SECTION 09550 - WOOD FLOORING General: Comply with flooring

o.c. max with manufacturer's reco to painting.

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6 0 4 M a c y D r i v Roswell, Georgia 3007

- iterials, profile, finish Transom and Side Panels: Fabricate panels to match acjoin quality of construction.
- Factory-treat exterior doors after tabrication with water repellent to comply with NWWDA LS.4. Flash top of out swhighing doors with manufacturer's standard metal Hashing.
- Instal doors to compty with manufacturer's instructions, applicable requirements of referenced quality standard and instructional page and file doors in farmers with uniform clearances and bevels. Machine doors for hardwares. Seal cut surfaces offer filting and machining.
  - Soreened Doors, Fabricate 1-3/4" thick, according to elevation. Pressue treated Western or souther Pre-with montle and teriori style and rat construction. Screening shall be Revealatis me type. color gray, Provide al stativless steel hardware (hinger, Jatches, etc.), Submit hardware for approval.

Stain: Interior wood flooring and thresholds to receive (1) coal of penetrating type non-facing wood stain of color required to match clent's sample.

Wood Filler: Paste type wood filler, pigmented if necessary to match sample.

Rick seder: Penetrating type, plable, wood-backening finish/seder: Penetrating Seal #21 by Hillyaad Cherach Co. or Penetrating Tigles XXX.sed-CXX no by Hurthington Laboratories, Inc., or equivalent seder as recommended by Honting manufacturer.

Conditioning: Do not proceed with wood floor work or delivery of materials until building is enclose and humidity has stabilized for seven days minimum at approximate level anticipated for sustained

Protect completed wood flooting during remainder of construction period with heavy farilt paper or other utlable covering, so that flooting and thish will be without damage or deteriordism of time of acceptomers.

Fabricate custom wood floor grifles where required by HVAC system to match flooring material and color. Coordinate with HVAC contractor for sizes and locations.

Wood Stip Flooring: Manufacturer's standard shaget edge tongued-and -groored and enchronicities talk wood lefting. 23:27:14:28:14:28:27: "Trainium english and encoging 4-8 flow, acude chrometed base, plan sown, unimities in species as selected by owner.

- Provide weather-stripping for all exterior doors for head, jamb and sill.
- nastic sealant. Remov Set thresholds for exterior doors in full bed of butyk-tubber or polyisobutylen excess sediant and clean adjacent surfaces.
  - Sectional Overhead Doors: Provide complete automatic operating door assemblies including frames, sections, brackets, guides, tracks, counterbalance, hardware, operators, and installation SECTION 08333 - OVERHEAD DOORS
- Installation: Set door, track and operating equipment complete with necessary hardware, jamb and head mad stops, anchors, instagar and equipment supports in accordance with manufacturers installation instructions.

SA RCHROCK

- SECTION 09900 PAINTING AND STAINING Effectile: Door Operators: Size and copacity as recommended by door manufacturer, complete with IRMA approved effectile: molor and factory pre-whed molor controls, remole control station and accessrations

Paint colors, stains, surface treatments, and finishes are to be selected by client. client to provide the Contractor a final set of painting instructions with complete color schedule before painting wor

begins.

Exterior woodwork including doors and windows: 1 oll base prime coat; 2 finish coats exterior akyd enamel.

3. Interior Wood Trim: Use two coats of semicglass alkaloid enamel over one coat of primer under

- Provide safety edge device extending full width of door bottom
- SECTION 08610 WINDOWS
- See plans and elevations for window alignments, types and munitin patterns. Window sizes are roominal axis popertups, Nointy the Centrif Tapacteria Sizes into rootlicher form manufacturer being considered. Coordinates with clearth for operable window, wing direction, egress windows, etc.
- Comply with ANSI/NWMA 'Industry Standard for Wood Window Units I.S. 2-80° by National Woodwork/Annutactures Association (NWMA), except to extent more stringent requirement indicated.
- Wood Windows: Comply with door and window manufacturer's clad, wood or primed window. Typical graceffications: Windows to be manufactured to sizes as indicated on the drawings and meet or exceed local davign pressure raining.

Sampler for verification purposes. Provide sampler of each color and material to be applied, with leavine to simulate actual contilions, on representative samples of the actual ubstratus; define acch sparse acco. Including illes and primer. Use representative colors when preparing sampler for revew. Restanti unitilizatives them color, and leaving a colors when preparing sampler for revew. Restanti unitilizatives them color, and leaving a colors when preparing sampler for revew. Restanti unitilizatives them color, and leaving a colors when preparing sampler for revew. Restanti unitilizatives them colors and leaving account of the colors when preparing sampler for revew. Restanti unitilizatives them colors and leaving account of the colors when preparing sampler for revew. Restanti unitilizatives them colors and leaving account of the colors when preparing account of the colors when prepared ac

Material Qualty: Provide the manufacturer's best quality trade sale type paint/oppaque stain material of the various coorting types specified. For an or stain material controlers not display manufactures product listentification will not be accessibility. Accessible Manufacturer:

Final acceptance of colors will be from job applied samples.

Point or state exposed surfaces whether or not codes one designated in "checkels," except where a under or manufact haddward to be applied or to be main routing to where on them or under-tor membrane, pain the arm as smallar deposed more land with or bowder workwork faulting doon and windows to be primed with of bowd primer on all skets plot to fatabilition.)

- 3.1. 3.5.4.3. 3.5.4.3.
- 3.6.
- Controp type and profile or high-balled on disordy damage profile and fixed plant on the second profile and plant 3.7.
  - 3.8.
    - 4. Glazing: Provide simulated divided file units with spacer bar. Provide tempered glass where requible code. Provide full replacement warrantly in the event of clouding for ten years.

Atlanta, GA 3007A

831 Clifton Dr Northeast

the Residence at: Renovation Plans For:

10. Faining contractor shall fit countersurk rali holes of clear vamished woodwork areas with Inted wood filler sharing hand watcree to loan for exemulation factering at the wood due to aging sample shall be approved by the Architect before proceeding with the work.

Preparation: Remove hordware and hordware accessories, pples, machined unfoces, lighing factors, and many places fails and the posting statistic processor in the second of additional and the processor authore propagation and posting as training its Remove familiar free second variable participa. The here and adjacent authore, Rewing completion of positing, ensingle participa volument skilled in the foods involved.

Examine substrates and conditions under which painting or starting will be performed for compliance with requirements. To not begin application until unsatitation conditions have corrected.

Sherwin-Williams Co.
 PPG Paints
 Benjamin Maare Paints

Clean and prepare surfaces to be painted in accordance with manufacturer's instructions for each particular substate condition heter applying paint as under a sectoments. Such actions for and pointings and and other condaminativ with or full on wey, newly pointed surfaces.

Application: Apply paint or statin in accordance with manufacturer's directions. Use application techniques best sived for substrate and the of marketine papels best papels and one or datin best groups mostlues, southed substrate and the other application of adminimal to formation of a duroble part iffm. Anti-midew agent shall be used or all existion bactions in accordance with or recomment the marketine accordance with or recomment and accordance with or recomment and accordance with or recomment accordance with a station accordance with a station accordance with or recomment accordance with or recomment accordance with or recomment accordance with or recomment accordance with a station accordance accordance

Provide total dry film thickness of the system as recommended by the manufacturer. Apply additional costs when wreatened as other conditions show through final cost, until point thin is of uniform finity. Cabc, and appearance.

n Coating Thickness: Apply materials at the

by manufacturer.

shall match other

All additional hardware such as hinges for double folding shutters and hold-backs hardware in terms of color and material. 8. Alternate solid vinyl shutters may be provided by New Horizon or J&L Shutters.

 Exterior surfaces shall be prepared and primed on all four sides using metho recommended by the finish coat manufacturer. 15. All treated wood to be painted shall be kiln dried after treatment (KDAI).

8. Paint all rather tails black prior to installation of soft vents

17. All roof vents, etc. shall be painted to match the roo

Provide temporary construction hindes with same configuration as the final hinge. Install final hinges only after all painling operations are completed.

Fumish templates to each fabricator, as required for preparation to receive hordware or accessory Install each hardware item to comply with manufacturer's instructions and recommendations.

Client to submit to the contractor a hardware schedule organized by harr specifically the product to be furnished for each location.

SECTION 08710 - FMSH HARDWARE & BATH/CLOSET ACCESSORIES

are sets to indicate

SECTION 08668 - EXTERIOR SHUTTERS

Shutters shall be designed for actual operation, suitable for use in both open and closed positions and constructed in a manner to allow find lifekt tim to proper size for such purpose.

Contractor shall furnish and install wooden shutters as shown on plans a manufacturer by Cobblestone Shutters, Vixen Hill or approved equal.

Shutters shall be installed with James Peters & Son, Inc. (215-739-9500) hardw

Shutter hinge: #4200 black wrought over zinc plating Shutter dogs: #95-L'Rarlat' black wrought steel Shutter balls: #707 black wrought steel



- Appliances are to be selected and supplied by the client. The contractor is to coordinate necessary rough-in information to facilitate the construction process final installation and connections to be by the contractor.
- ons are to be present and posted at i commendations prior to construction hd/vdud manufacturers recommunities job site. The contractor should review rec installation of such material or appliance.
  - Extent and types of residential equipment required include the following but n Imited to:
- Rehtgerator/freeser Ringe or Cook Top and Oven Verti Houd or Down Draft Microware Microware Wosher Microware Dryar
- SECTION 12390 CABINETS
- Once clent has made appliance selections and selected cabinet style contractor is to obtain a professional cabinet ((stichen & bath) layout. Contractor to submit to client for approval.
- Concereded Colore I reviewers: voide a contribit revieware and concentent metiendia cuacicatera vina caritite cuarta contrate. Compti vina ANG(B)MA ALSA "American Visional Statistica and a contrate vina and an Harved-Timaxovy Noci Statiga Doer Fitting with relatera cuarterity of each the cobiest. Azamaty to be provided by MAREL Architectural Producti Group, SBX-2022.
  - vare as selected by client/d Exposed Cabinet Hardware: Provide har
- hadelation: Anchor cabinet units securely in place with concealed (when and down and down care cables) fasteness, and chose the place of the place and contraction. Comply with monutacturer's instruction and contractions for support of units.
- Counter Tops: Provide stone counter tops with undermount bowls in baths. Attach counter tops securely to base units. Provide cut-outs for fixtures and appliances as indicated.
  - Complete hardware installation and adjust doors and drawers for proper operation. Coordinate work with applicable mechanical trades and rough in
- naterials with ample al
  - When necessary to cut and fit on site, provide for cutting. Provide trim for scribing and site cutting.
    - ECTION 15400 PLUMBING
- A local plumbing contractor shall provide plumbing plans and document may be required for permits and construction.
- All work will conform with the requirements of the Standard Plumbing Coc adopted by Local County Bullaing Department Regulations.
- Woler heaters to be set in part with low-inch high sidewalk. Parts are to to be nearby waters of attream heater and any high sidewalk. Parts are plantes and activities (for directive host water system dargs, for 10 states plantes and activities (for directive host water system dargs, for 10 states plantes and activities (for directive host water system dargs, for 10 states plantes and activities of a directive host water host on the fore and the water heaters is because an information of the form water host on the fore water heaters.
  - Vain water inlet shall be located in an easily accessible location and haw shut-off valve easily operable by the client with out the use of secondary t
    - All plumicing faitures and filtings to be (coher or equal as selected by clear/dispinse. All filtings to be as strown on drawings (or if no hown, as required for a complete and operational initializion in conforme with applicable codes and regulations).
      - Plumbing service to be PVC with Cast Iron waste stacks and horizontal n 2nd thoor system. Supply pipes are to be copper or PEX.
- Plumbing in unheated areas and crawl spaces are to be 'nsulated with %' Armatles. All hat water piping shall be insulated except stop valve and fina connection to fixture.
- Plumbing items to be included in work are sof waste, vent, connection to : Ines, valves, traps, clean-outs, hose bibs, fixtures, floor drains, installation of and cold woter lines, applances, etc.
- Provide exterior hose bibs in locations as indicated on the drawings. In none indicated, provide at least 4 hose bibs equally spaced around the structure
  - rovide lemporary and final water service.
- Provide capped 72' stub-outs for connection to thure ingation system as independent of the study outs shall be admining the sector ingoing control in the designed and instead by brackcaped control control modiling in a coording with migration insteads are and volve and modiling control metal recording with migration material and ingoing system connecting as request. Provide backby prevention of ingoing system connection.
  - - Drain Valvex: Provide valves at bottom of system near grade as necessary that the entire plumbing system can be drained.
      - Provide connections to Water and Sewer Systems. Satisty requirements o SCDHEC and local authorities. Provide temporary and final water service
- Minimum varier piping izes shall be ¼ except final connection to fixtures, w that be the same as the fixture connection. Minimum supplies at investri 1.<sup>1</sup>. Make intensitiens at or after stop valors. Support piping to avoid stagging Maximum support spacing shall be å fee
- Find connection to ship, layotating, and value closets may be made with vacies Johness shell existe connection. Platic Realls: connection shall no used. Allow work piping shall be builded ascept show yorks and that connection fature.

- All shower valves shall be anti-scald, pressure balance type; style and finish selected by clent. Where hot water pipha length exceeds 40 feet from water heater, provi insulated hot water recirculating piping and pump.
- All plumbing and mechanical vents strall be grouped within the attic space whenever possible to minimize the number of rook penetrations. All such ve sublib located arows from public view and shall be properly pirmed and painted to match rook color.
- CIJON 15500 HEATING, VENTLATING & AIR CONDITIONING
- A local mechanical engineer, or contractor shall provide the as they may be required for permits and construction.
- In checkins with the sume dataset contrained in space and a sum of the elabority ended interpretation of a significant time of the labority of the elabority of the state of the state of the state of the state interpretation of the elabority of the state of the state of the state of the state of the elabority of the state of the state of the state of the state of the elabority of the state of the state of the state of the state of the elabority of the state of the state of the state of the state of the elabority of the state is the state of the s
- System shall be balanced and adjusted to provide for the distribution of heat 1 an inbibitable fooms in accordance with the heat loss of the spaces to be heat or adoled.
- In charge and a could end guider and the life memory could end with the intermediate level of could end guider in second env rough the intermediate level is exact of the second env rough and the primary vocame of a neurose possible in the level of the second end of the system Contraction to provide hundliation eventies in conjunction with Intermediate care per advection in a second env of the provider second env of the second end of the second environment of the second end of the second end of the second environment of the second end o
- - The second secon
    - Prior to final acceptance, the contractor shall prepare and fumish maintenance instructions to clent.
- The contractor shall furnish a written guarantee that his work is thee from defer for a period of one year from the date of the frol acceaptores of the building the defects in equipment of workmanking shall be promptly repared or replaced by the contractor without additional expense to the client.
- Able Control. The controctor and current exponently for entroping defi-ted alling non-relation in a supervised of a supervised of the supervised of the supervised of the non-relative transferred to the hobitable spaces. All holding until in alls in all is and be more to in ballion point point or supervised by hongers equipped with vibration leads grand granding until a supervised.
- Ductwork: Provide metal air tait furning vanes or provide full radius turns in all degree turns and intersections of ductwork. Provide adjustable damper in a branch ducts.
  - Mechanical Contractor shall be licensed in the state where construction i place.
    - Ductwork beneath the first floor is to be installed Hight up against floor joists Insulate and inspect vapor barrier absure before pulling up fight to joists.
- 11. HVUC register sond gelles sond has certitered under of technologies and certity and an explore and an explore the mere analysis (see a Arice Aria) expendent and the sond and an explore and the meritered in the aria of the arial and an explored and the meritered and are are array to certify affect before multiplication and comparison and analysis of a comparison of the explored and arian and another and multiplication and the entrember of the explored and hour of period and an array of the arian and array and are and and and an array and the entrember of the explored and array of the arian and array of the entrember of the explored and array of the array of the array of the entrember of the explored and array of the array of the array of the entrember of the explored and array of the array of the array of the array of the entrember of the array of the array
- HVAC contractor shall provide and install all ductwork required by exhaust th indicated. All exhaust tans shall be selected for minimum noise, bathroom 1 maximum 1.5 zones; kitchen hood tans, maximum 5.0 zones on high speed.
  - - Locate outdoor HVIC contensing units as indicated in the dowings, Labor method is indicated and the considered on to the score of this contract. Thosoughly mudate considered on to the score of this contract. Thosoughly mudate and ared at the Hegeron score of this contract. A score score and a set of the score of the sco

- All W/C, optimate and be for independent and expending a compared or even week better and the set of the independent of the set of the set of the set of the better and the set of the set even of genesis of the set of the method of feeling.
  - - Condensate drains. Provide 3' deep pan beneath ar handler units for or of condensate. In the even the primary drain becomes clogged. Instal econdary drain from pan to extertor of the building. Installer all primary condensate drain priptig where routed in unconditional spaces. CIJON 16050 - ELECTRICAL
- All work to comply with National Electric code, SBCC, and local code equirements whether or not such work is specifically shown on these drawings. Mork covered by this section includes the following:

SPECIFICATIONS

10-09-2023

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- Service entrance conductors and equipment shall be of a capacity adequito service entrance conductors and equipment shall be of a capacity and entrance the cabulated load (cabulated by an electrician) in addition to se spare actaults provided for hutve use. (Service entrance to be underground.
- - Branch circuits for lighting and general use: At least two 15 amp circuits shall provided to serve lighting and measured unless for the first 500 st of group thou area. Provide a minimum of one circuit for each additional 500 st or fraction hereact.
    - Provide individual branch circuit for any fixed appliances or equipment more than 1400 watts, or the space specifically provided for such items.
- All receptacles shall be grounded. In addition, ground tault circuit interrupt shall be provided in all locations required by code and when called for an electrical drawings.
- Electrical contractor shall coordinate with mechanical contra complete power for HVAC units.

- BICH KEPTELD

- Provide underground service from the utility company transformer. Verify transformer focation. Coordinate bootion of utility meter away from bubb Minime visual impact of meters by keeping them as low as possible and scientified with Induccopha.
  - - 13. The contractor shall be responsible for obtaining permits and inspections a final acceptance of the complete electrical installation by local electrical inspectars. Contractor to coordinate his work with other tractes.
      - 4. Bericcio fluores: movides entidatifient france, sching dann franken entident'heat, annaur en andrate anterfact, an entidenteral on the compared types, and and and anterfact and entities and an entities of compared to science. The constrict and entities through an entities on local codes and shall provide interfact and entities annote an entities on construction. A superior of the structure and an entities and code detection may be interpolated with socially system. Consult field shared detection may be interpolated with socially system. Consult field, and shared detection may be interpolated with socially system. Consult field, and shared detection may be interpolated with socially system.
- 15. Cable TV Circuits: Provide cable TV outlets as indicated on the drawing
- conduits to outlet 16. Telephone Outlets: Provide c drawings.
- 11. Locate of an environment of each Lip that must be considered and the environment of the constraint protor to protor 11 protors of the constraint protor to protor 11 protors of the constraint protor to protor 11 protors of the constraint protor to protor to protors that protors of the constraint protor to protors the constraint protors the constraint protors the constraint protors the constraint protors and protors and protors the constraint protors and prot
- Outlets to be located in base, except at kitchen counters, appliances, vanities and all wing to be conceded.
  - Provide typed labels at the breaker box indicating use and location of e circuit.
- Provide power for ingation system control on a separate circuit. Ingation is to be adapted by Inducate contraction during Construction. Electrical contraction shall coordinate with landscape contractor and provide power requirements are recessary.

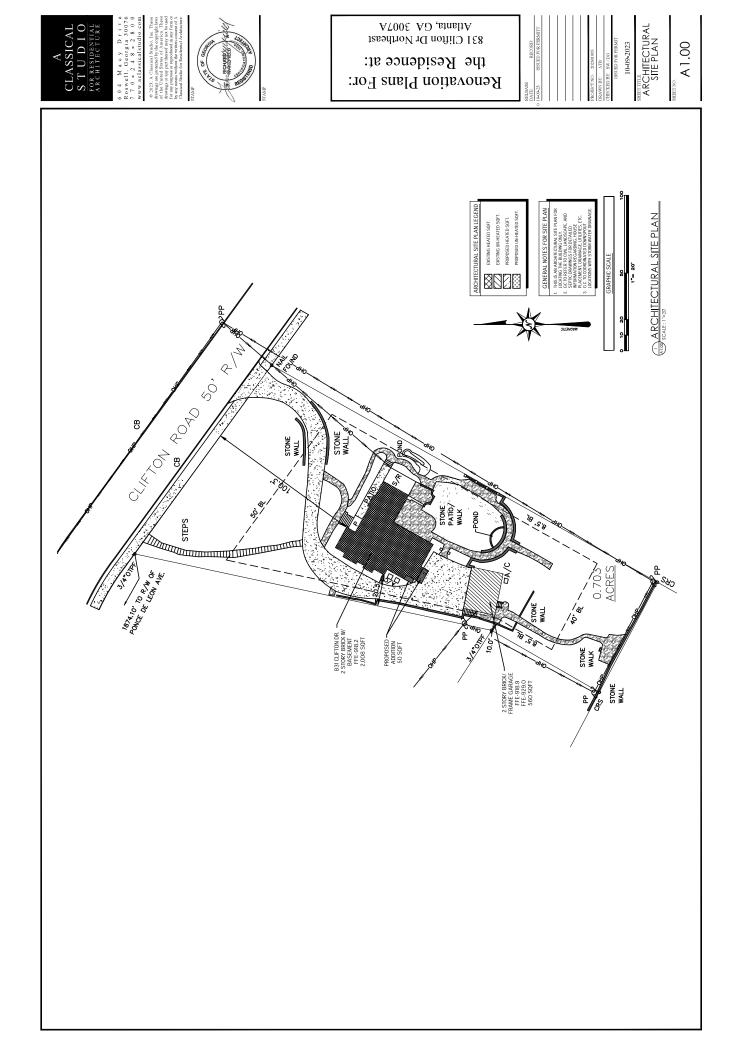
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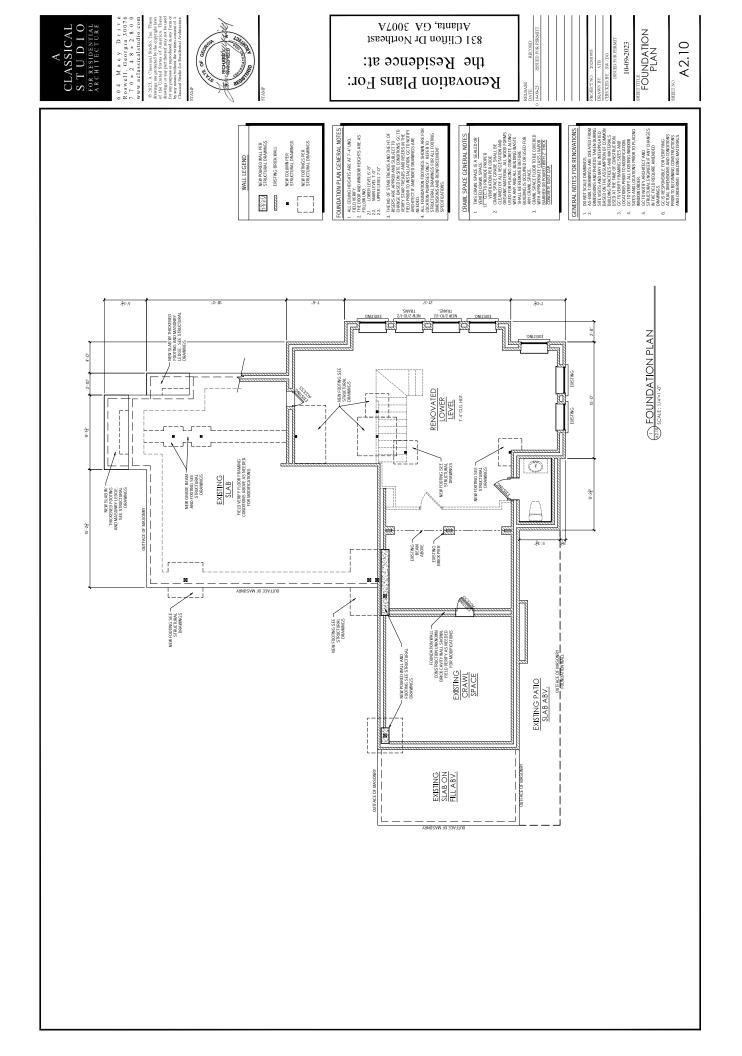
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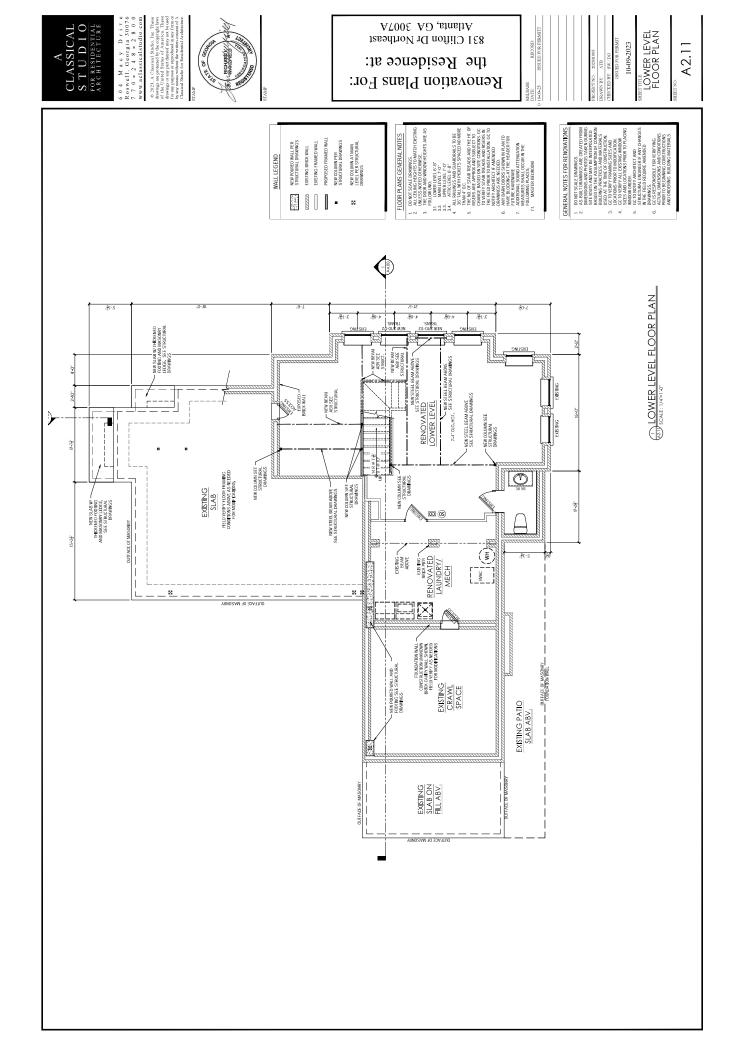
- - Switches shall be logge type, Leviton or equivolent. Dimmers shall be slide typ Submit supples of all switches and outlets to clear for approval. Colors to be selected by client.

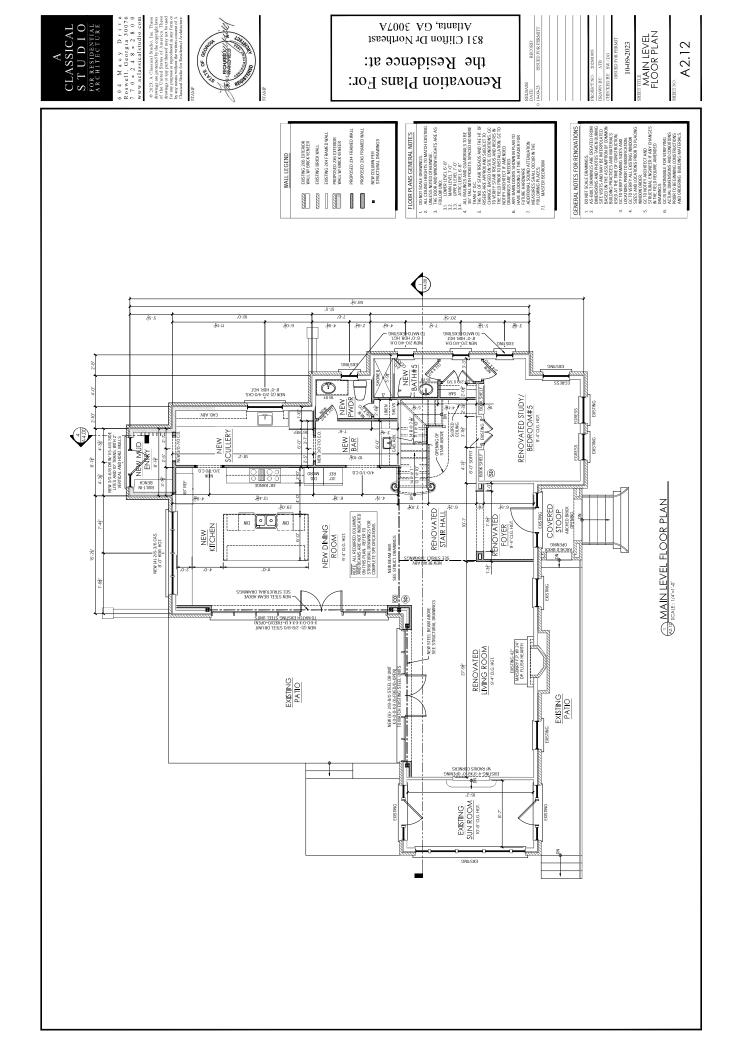
    - 22. Provide withing circuit for security system. Coordinate with security is provider who will be installing concurrently with the electrical work.
- 23. Provide to the clerit's copies of ar-built than plan with each receptacle, Ight future, and places of equipment mankers with it respective circuin number on participants. Copies shall be nearly folded, backet with Electrical' and placed in a monta folder diso bioslet's "A-Built Electrical" and placed in a monta folder diso bioslet's "A-Built Electrical".
- Provide a minimum of four (4) spare 15a circuit breakers. Panel shall have at least two (2) 2-pole spaces in addition to the spares.

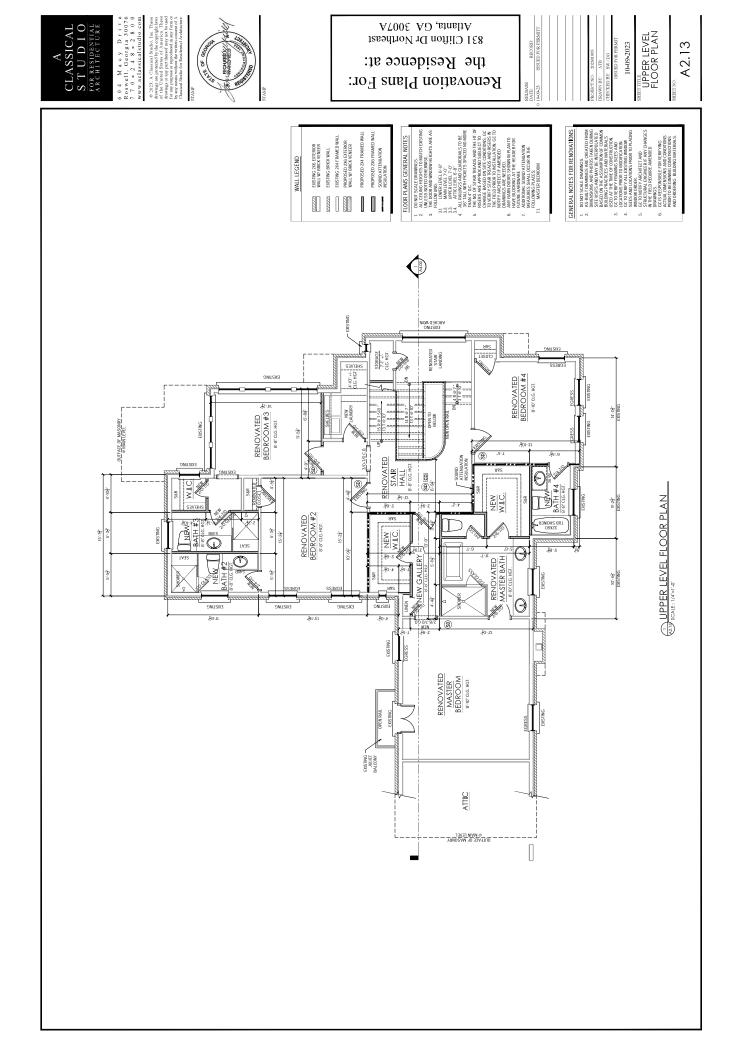
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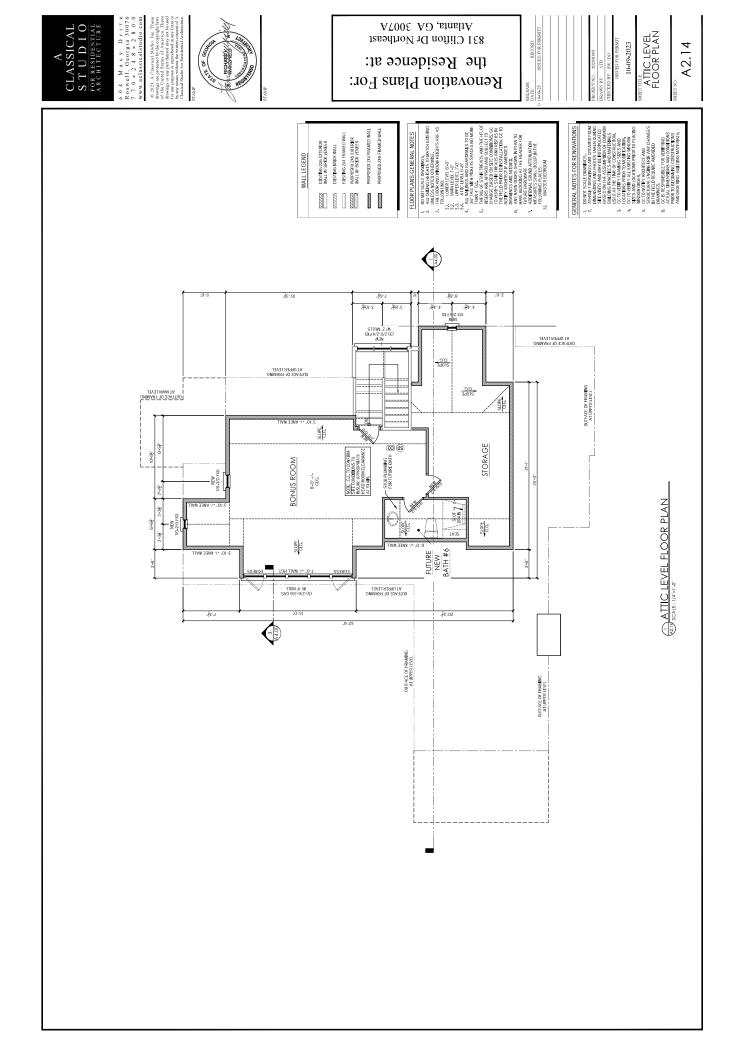


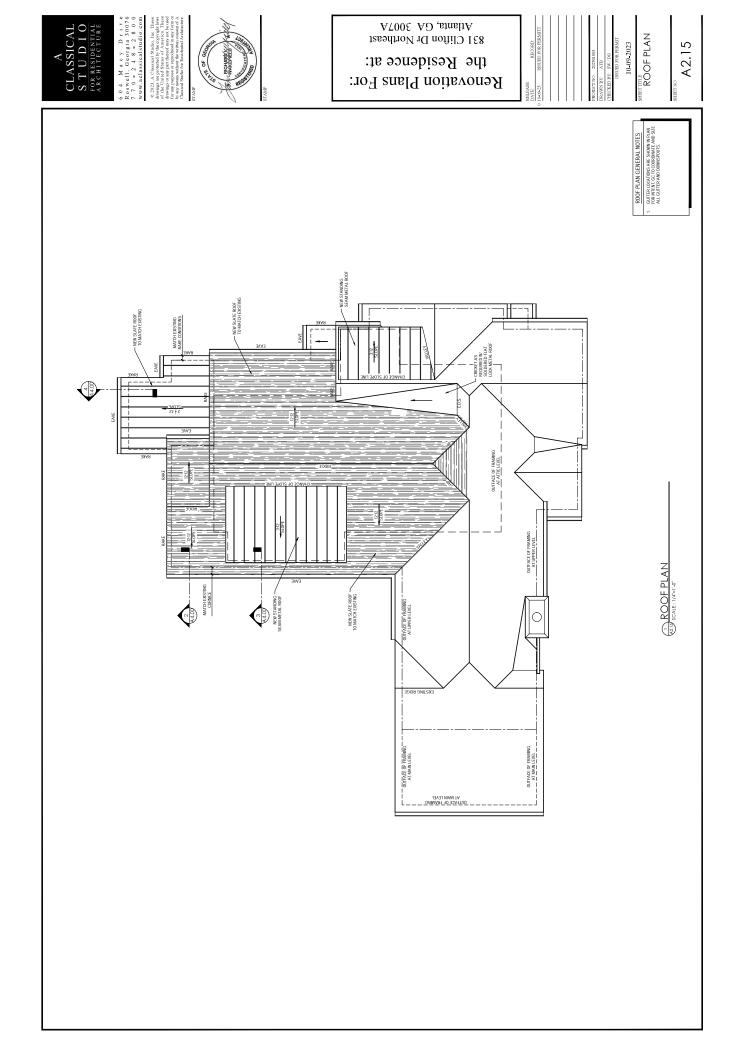


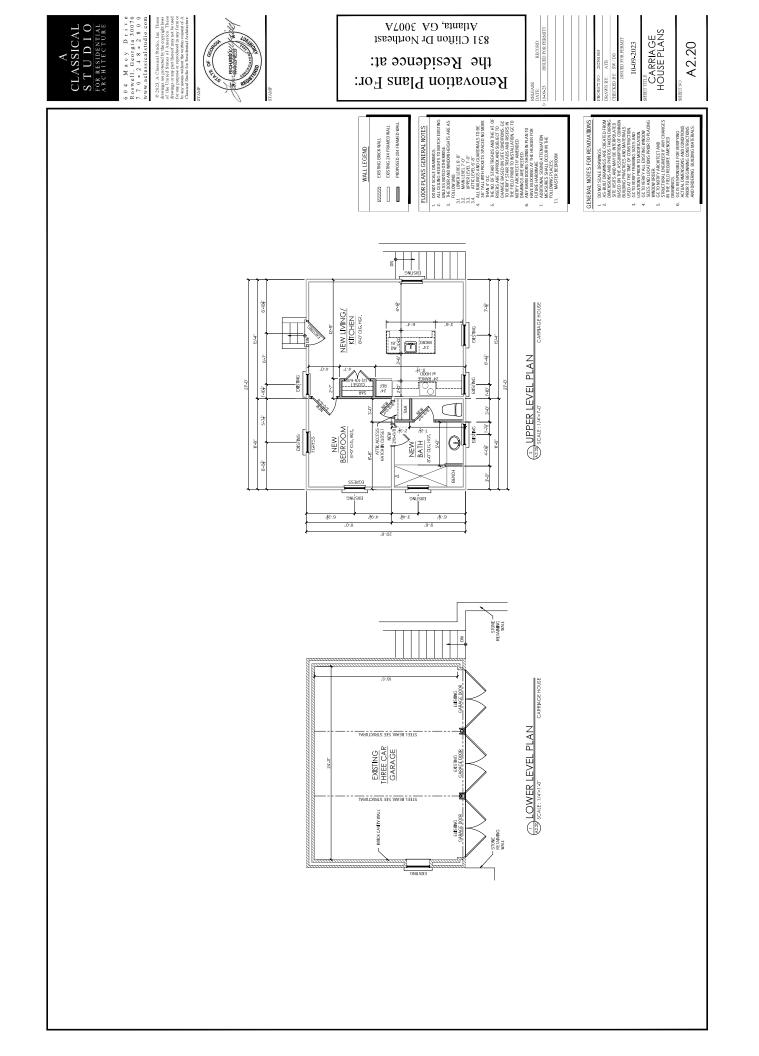


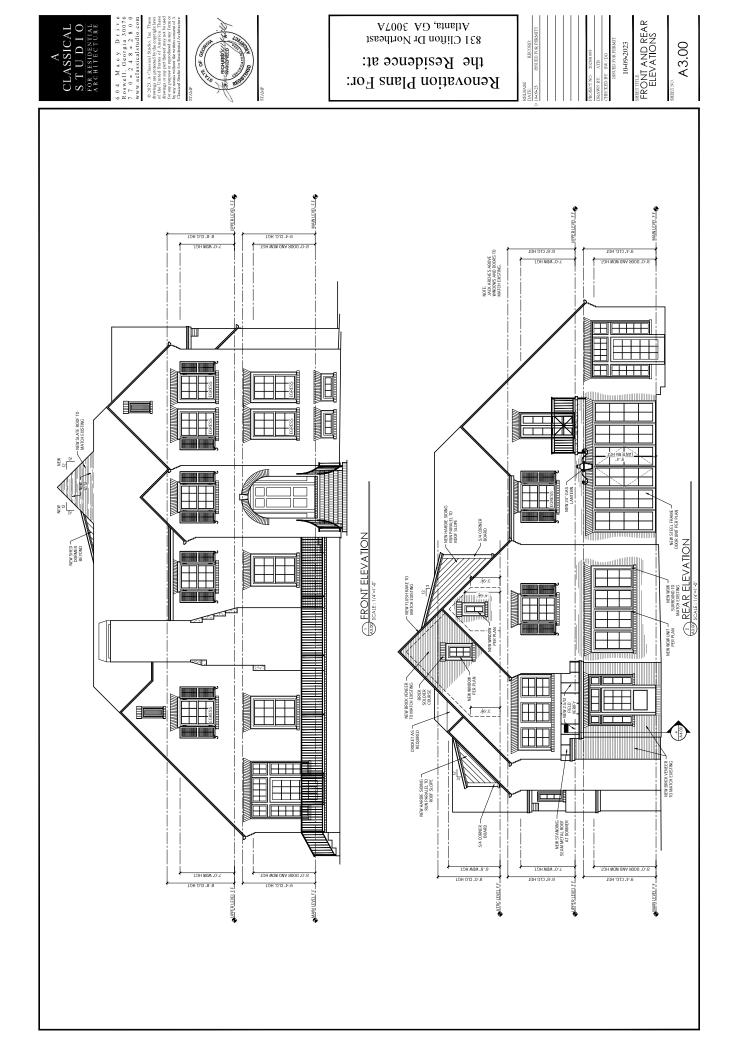


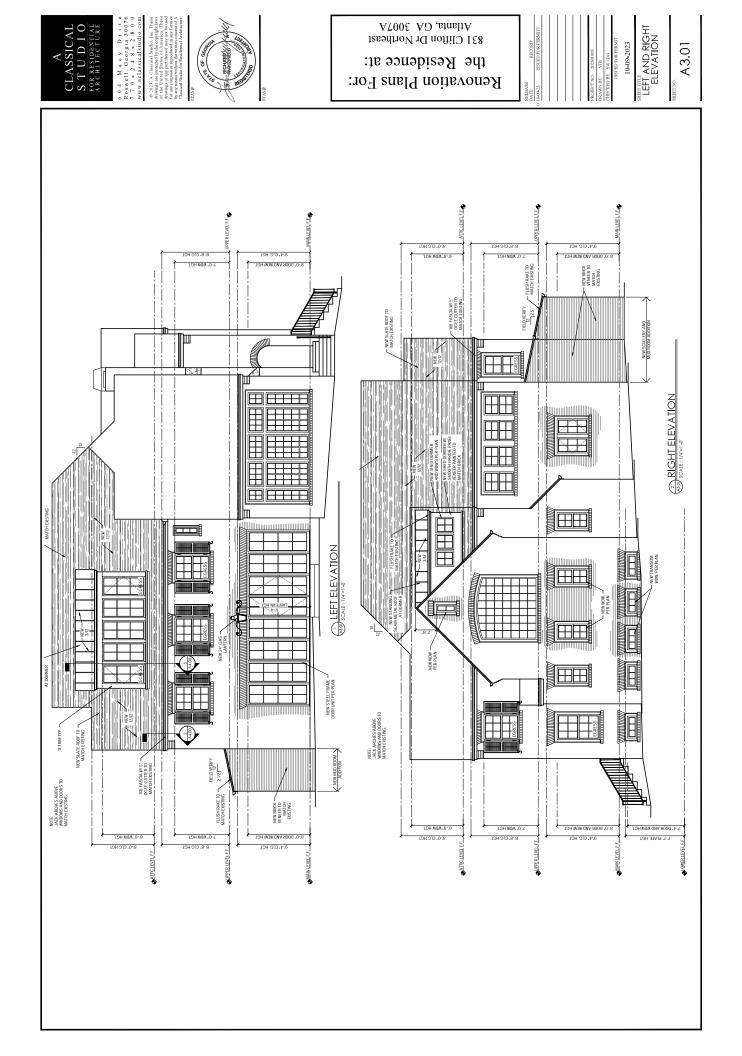


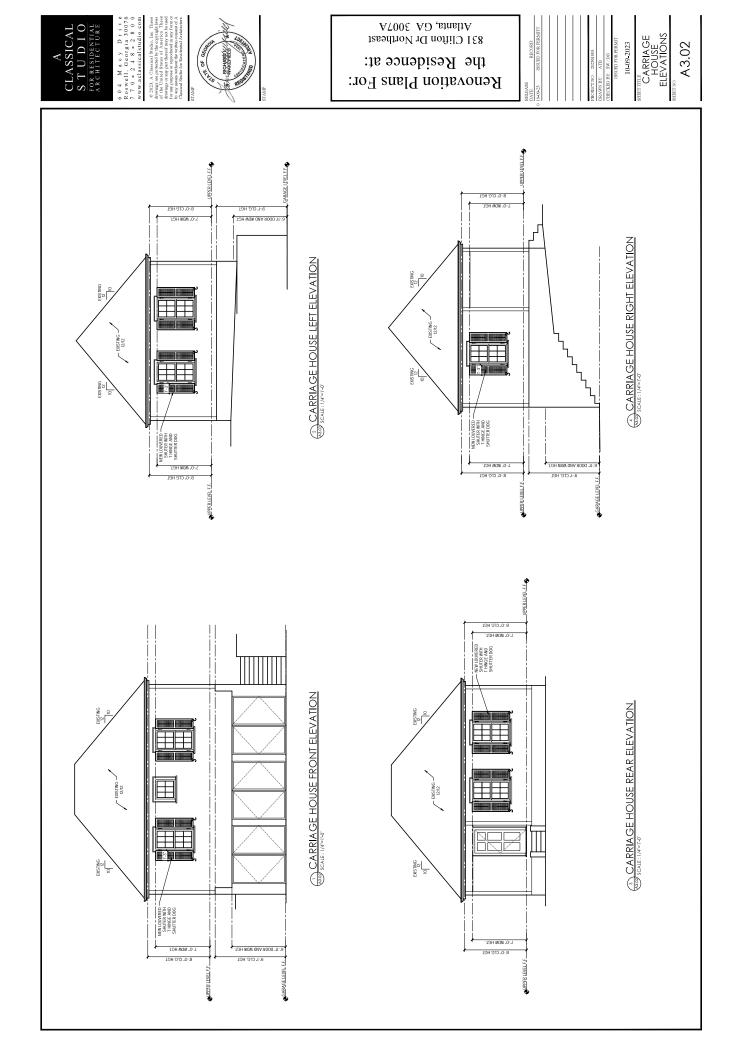


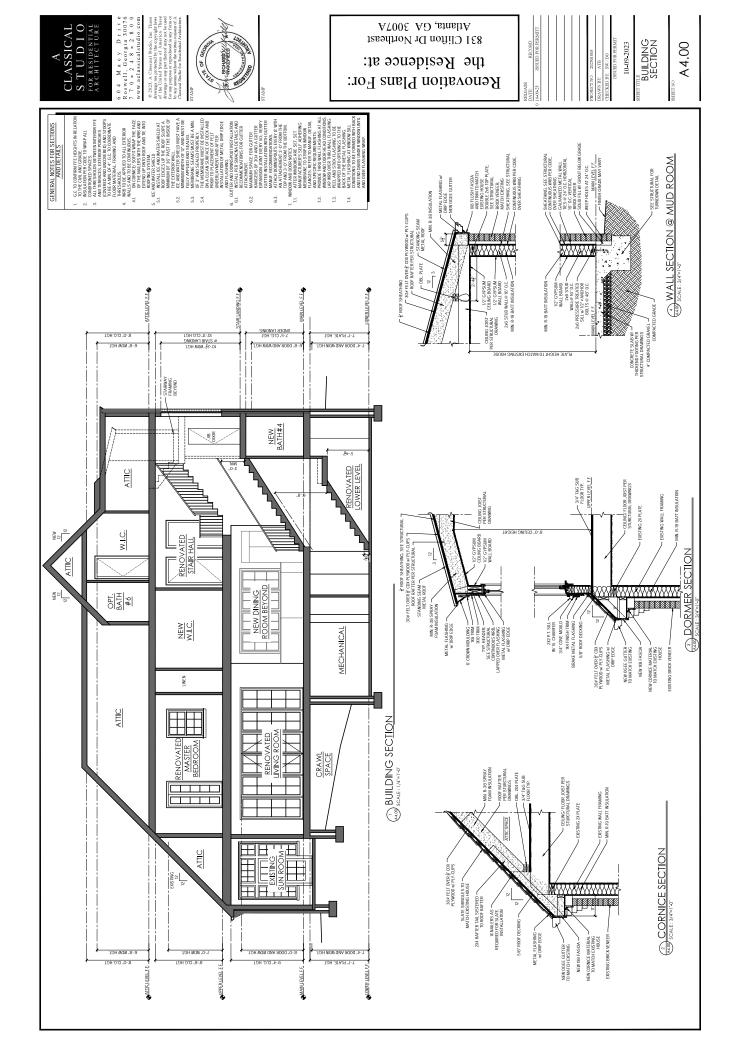


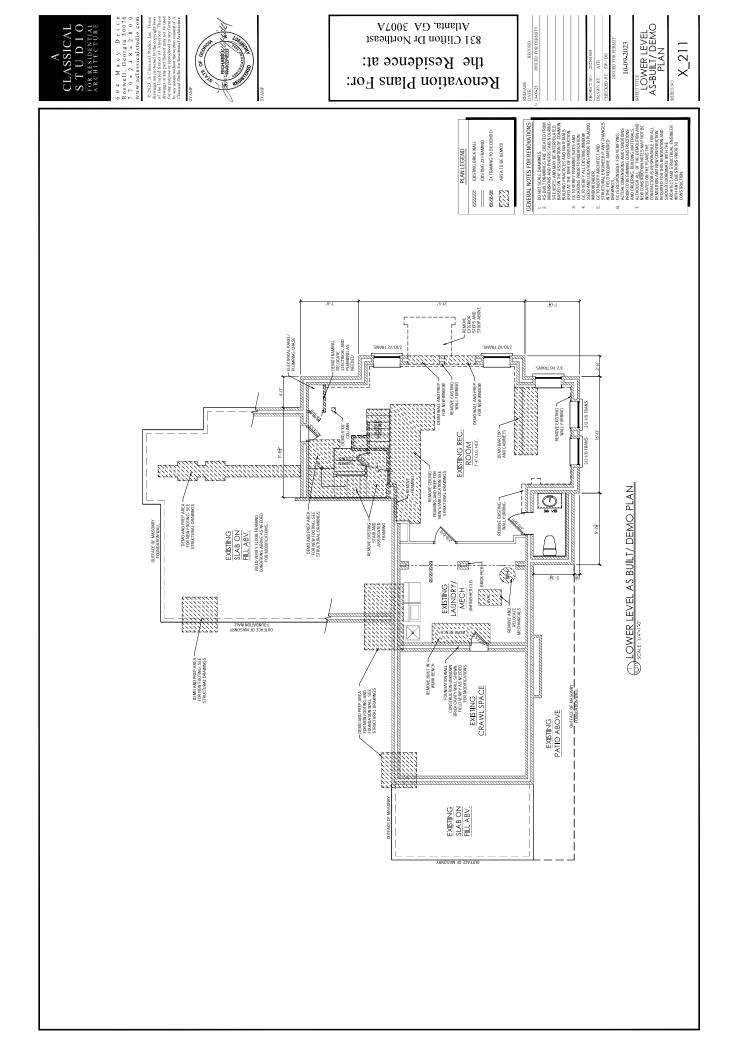


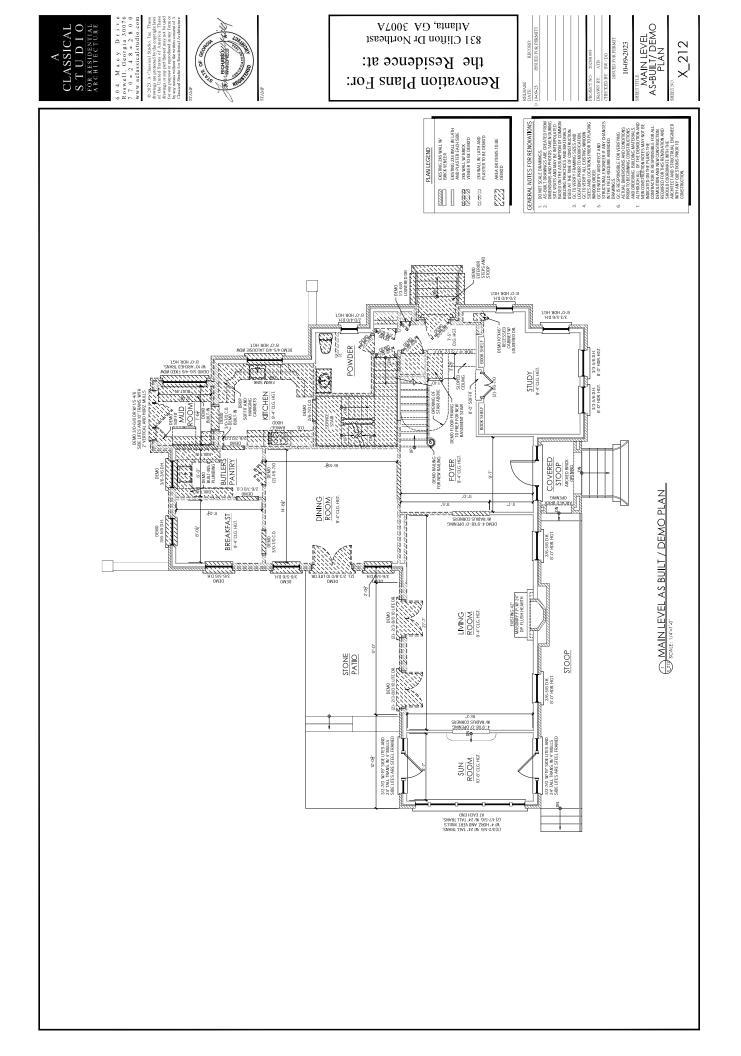


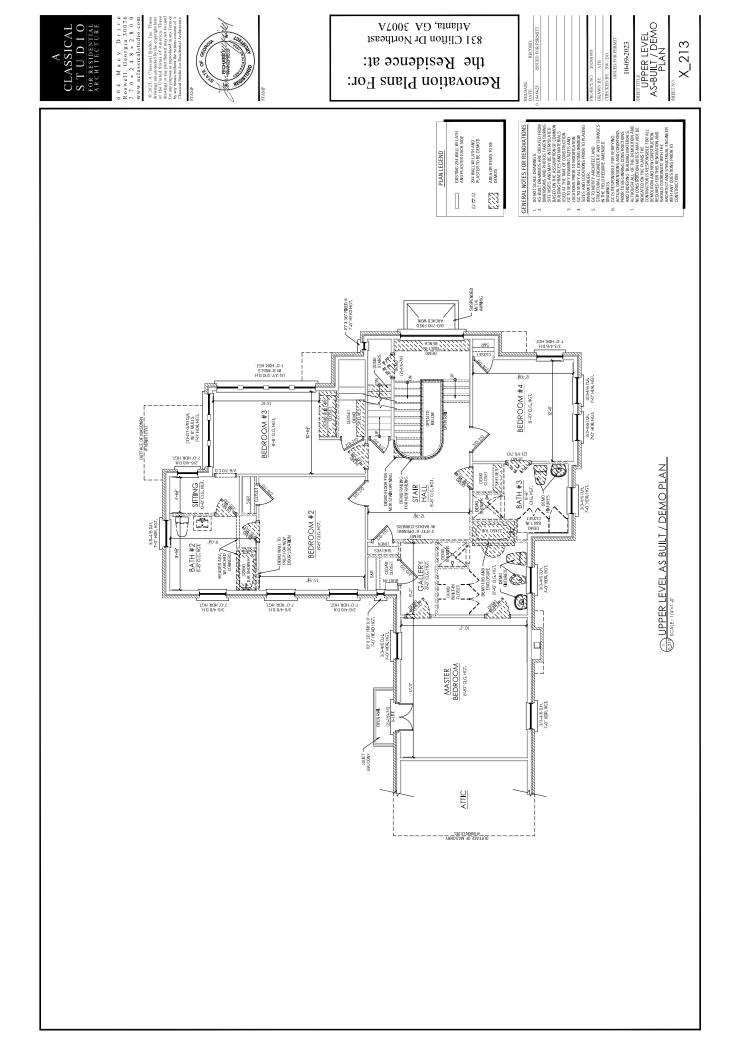


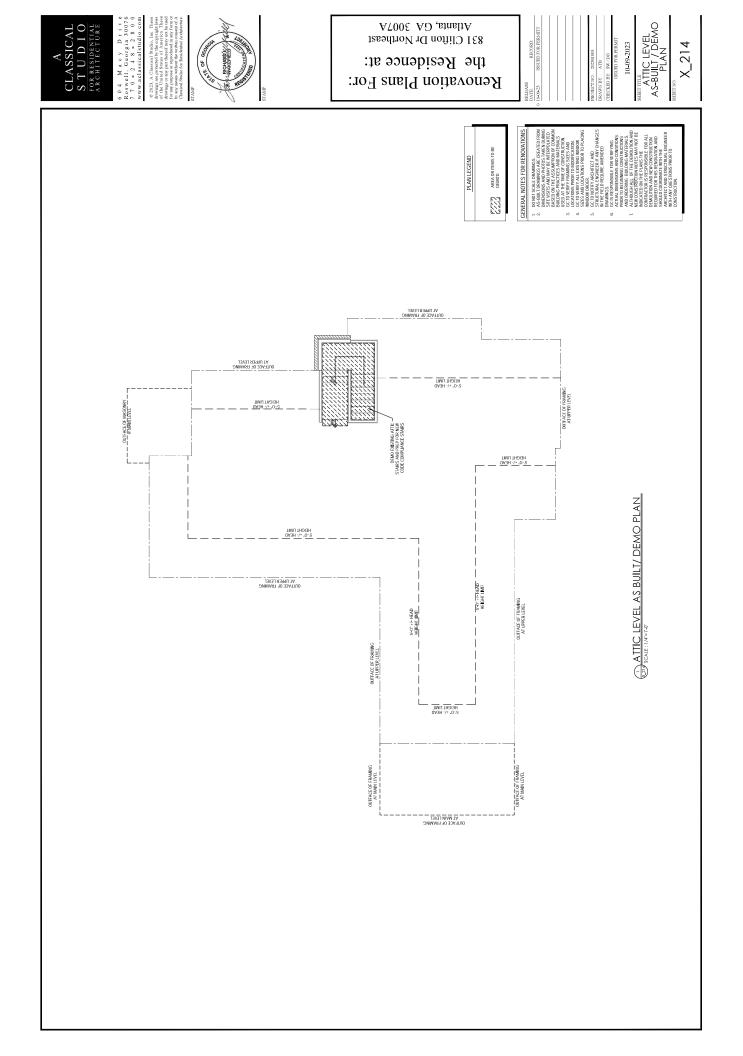


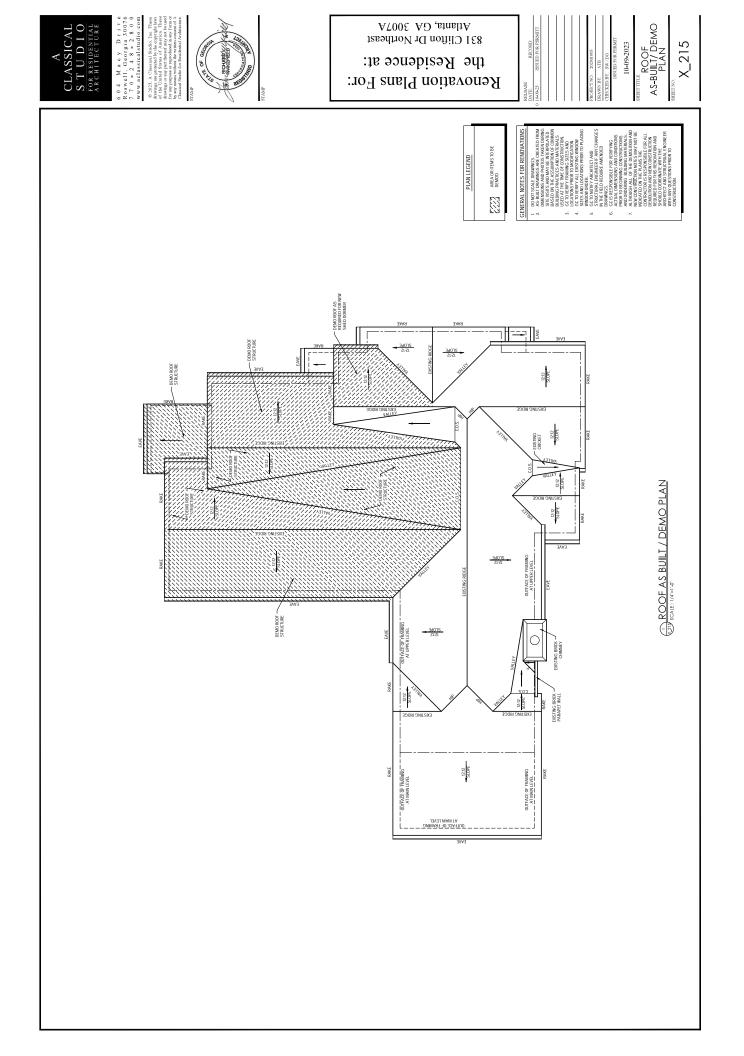


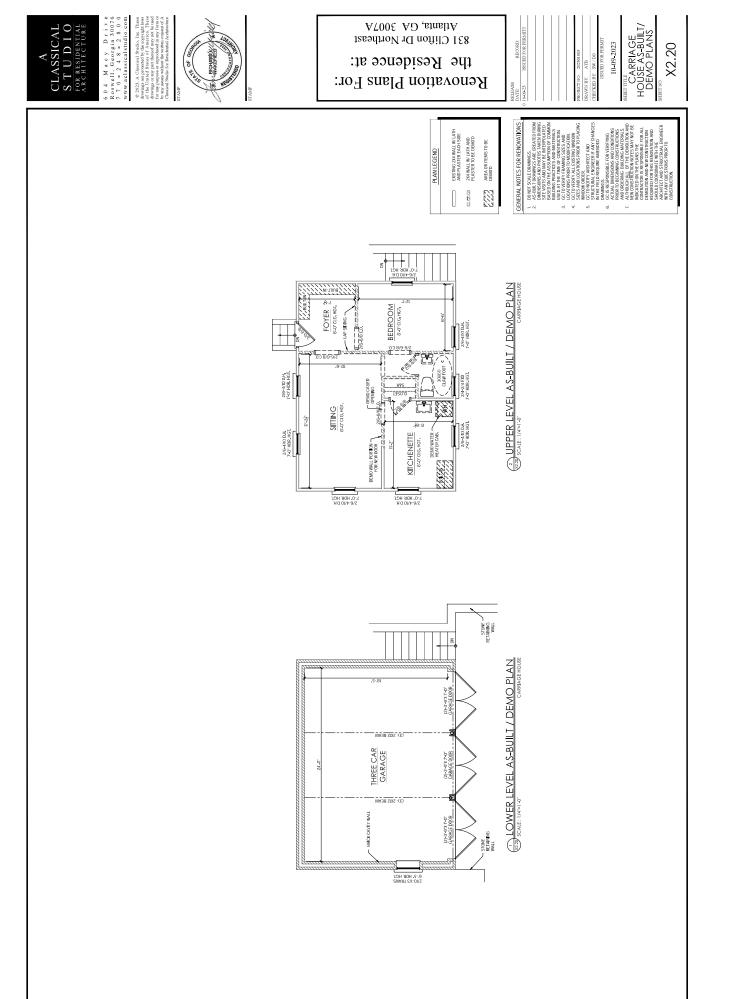


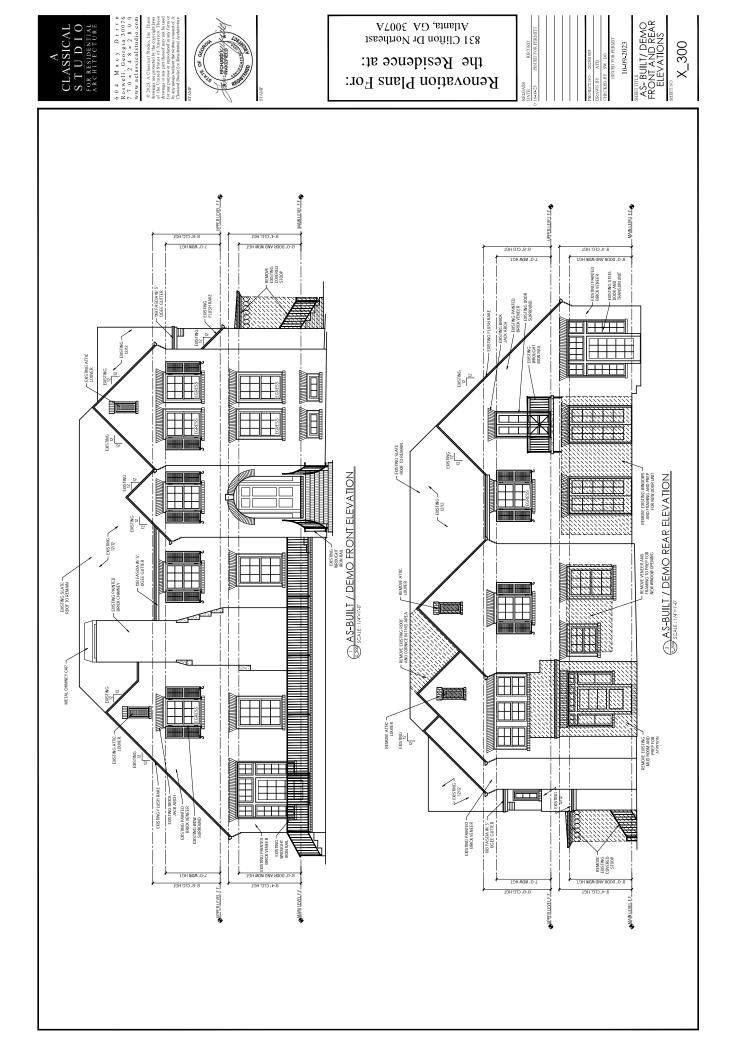


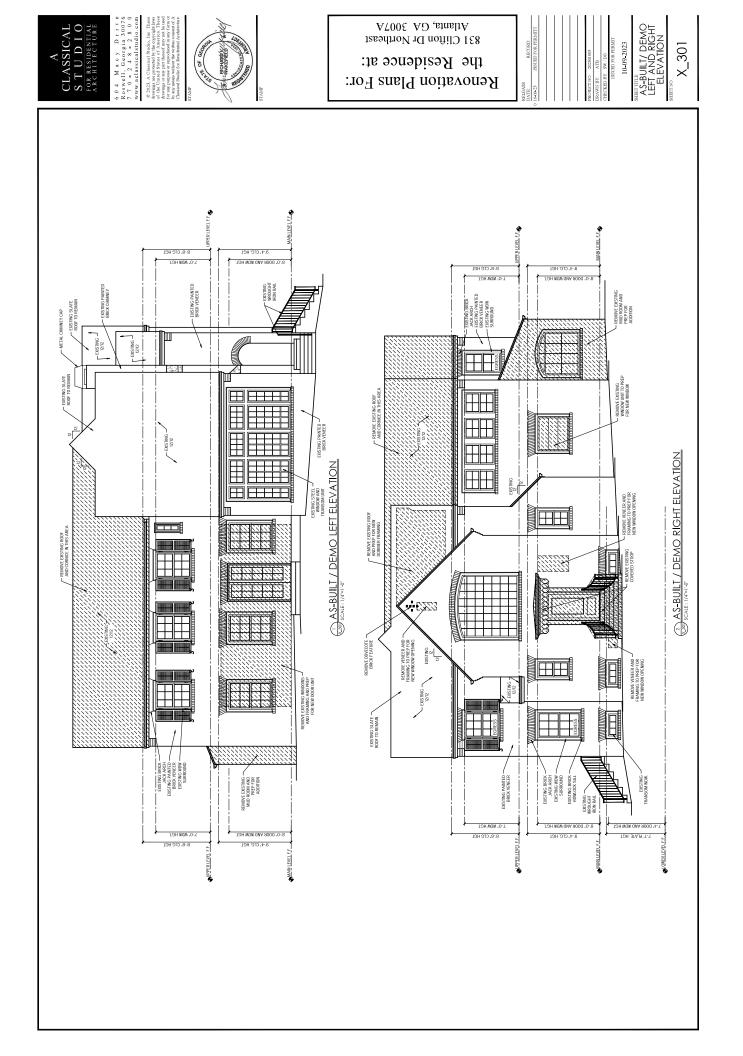


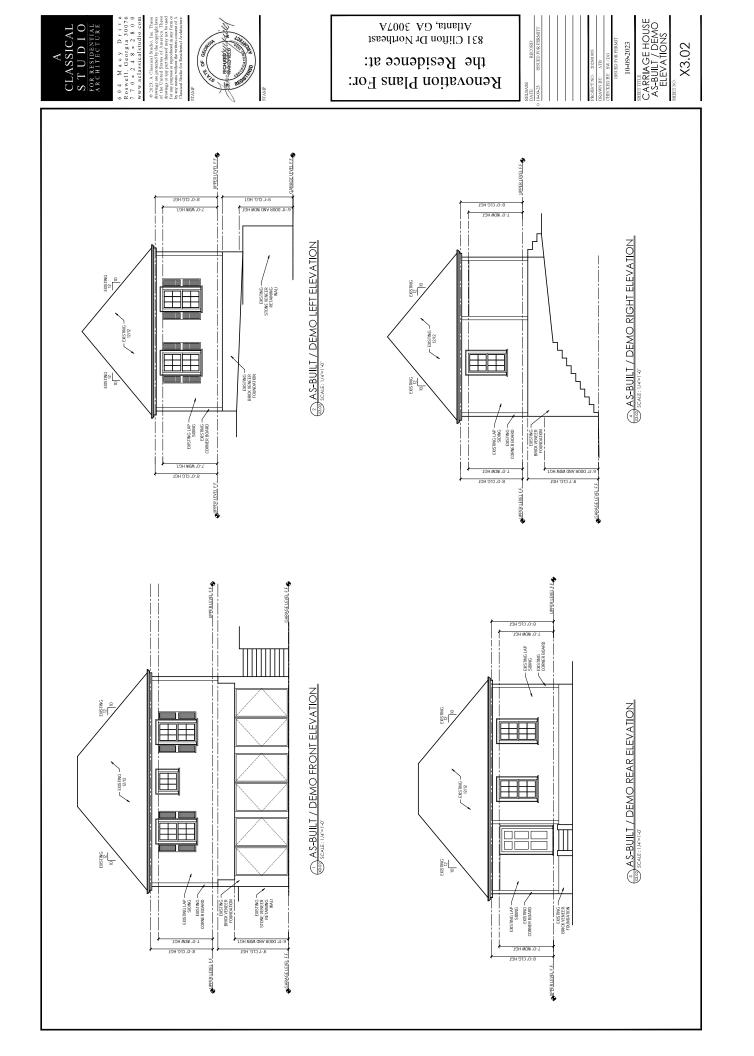












1	ANTIN DESCH TOADS	FOUNDATION NOTES
2 <sup>1</sup> 1	N LOADS ARE ALL DEAD LOADS PLUS THE FOLLOWING UVE LOADS: MANN FLOODS & FLBLIC, AREAS PORCHES	<ol> <li>ALL FOOTINGS SHALL B SUPPORTING A MINIMU OF A HIGHER VALUE AS EVALUATED BY THE GEC</li> </ol>
	TAIAIS STAIAIS = 1 & 2 FAMLY RESIDENCES PORTIDON CONTRACTOR	CONCRETE. 2. ALL FOUNDATION CON
	<ol> <li>B. UNNENVARIMER, MITCS, VOLTOPACE</li> <li>B. UNNENVARIMER, MITCS, VICIDACE</li> <li>D. MARIMER, M</li></ol>	<ol> <li>ALL REINFORCING STEE</li> <li>UNLESS NOTED OTHERW ACH-318 SECTION 7.7.1.</li> </ol>
ei	WIND LOADS VIEL LOADS 2.2. IMPORTANCE FACTOR 2.2. IMPORTANCE FACTOR	<ol> <li>ALL RENFORCING MAR LAPPED A MINUM OF JUNCTIONS UNLESS OF</li> </ol>
-	<ol> <li>WIND EMEGURE CORF DESIGN WIND PRESSURE FOR COMPONENTS &amp; CLADONG SHOW GRECUND LOAD, pa</li> </ol>	<ol> <li>NO UNBALANCED BAC SECURELY BRACED AG CONSTRUCTION.</li> </ol>
4	ALL DESIGN LOADS ARE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE [IBC] INTERNATIONAL RESDENTIAL CODE (IRC).	7. PROR TO COMMENCIA FOUNDATIONS SHALL B
vi		
ଅ <u>-</u>	NIPAL STRUCTURAL MODE THE STRUCTURAL DRAWINGS SHALL BEUGED IN COMUNCION WITH THE DRAWINGS OF ALL OTHER DROPHINES	
	AN URE SPECIFICATIONS, THE CONTRACTOR STALL VERY THE REQUERTMENTS OF UTHER INSUES AS TO SPECIFICARSES, CARSES, INVERSES, INVERSES, ANCHORS, HOUES, AND OTHER INDIG TO BE FLACED OR SET IN THE STRUCTURAL WORK.	10. ALL FOOTINGS AND FO AREA OF THE PROJECT. 11 IN THE PROFENCE OF TH
ci	THE CONTRACTOR SHALL BE RESPONDED FOR COMPLING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS CARRON FILE NORM: THE INCLINES WILL NOT ADVISE ON NOR ISSUE DIRECTION NA TO SAFETY PRECAUDIONS ADVISOONS.	CONTRACTOR SHALL N CONTRACTOR SHALL N
ei	THE STRUCTURAL DRAWINGS FEER IN REPRESENT THE FINAHIOD STRUCTURE. THE CONFIDENCE SMALL PROVIDE THE REVEATING TOWING AND BACKING STRUCTURE THAN THE DATA DID THIS TRUCTURE IN PROVIDE ALLOWARD FUNDING, STRUCTURAL MORE AND CONFIDENCE IN A REVEATION OF A REVEATION ALLOWARD THAT ALL STRUCTURAL MORE AND CONFIDENCE AND A REVEATION OF A REVEATION ALLOWARD THAT ALL STRUCTURAL MORE AND CONFIDENCE AND A REVEATION OF A R	PROTECTIVE APPROVE <u>STRUCTURAL STEEL NOTE</u> 1. ALL STRUCTURAL STEEL S CONSTRUCTION' OF TH
-4	THE INSTRUCTION OF REPORTING THE METHODA. TECHNOLIS, AND SEQUENCES OF THE PROCEEDURES OF PERTORN THE WORK. THE SUPERVISON OF THE WORK IS THE SOCIE RESPONSENTY OF THE CONTRACTORN.	<ol> <li>UNLESS NOTED OTHERW SPECIFICATIONS;</li> </ol>
ui	DRAWINGS INDICATE GENERAL AND TIPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT DECIDICALLY SHOWN SWILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE DECIDINE	MEMBER STRUCTURAL TU ROLLED SHAPES PLATES
4	ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FELD BRECTED SHALL BE SUPPOSED BY THE SUPPLICE DISPINICATINGCOTING STOREMENTS. TO BE FELD BRECTED N IN ACCORDANCE WITH THE SUPPLICES MARTINGCOTING AND REQUIREMENTS.	CONNECTION B ANCHOR BOLTS THREADED ROD NONSHRINK GR
14	LOADING APPLIED ONE STRUCTURE DURING THE PROCESS OF CONFRIENCING MANL LAND EXCEED THE SAFE CONCARDING CARTER OF THE STRUCTURE OF EXCENTION OF THE DISANCE OF THE STRUCTURE ARE PROCEEDIN THE RESERVE OF THE APPLICATION OF APPLICATION OF THE STRUCTURE THIS TRUCTURE TRAINING IS ROOTERY CONNECTED TOGETHER AND UNTLINEUROPHY BRACHING IS PLACE.	<ol> <li>UNLESS NOTED OTHERW OTHERWISE AND DESKS IN ACCORPANCE WITH MANIMUM BOLT DAVIET TYPE BOLTS AND BE "SW</li> </ol>
ත්	ALL ASTM AND OTHER REFERENCES ARE PER THE LATEST EDITIONS OF THESE STANDARDS, LINEESS NOTED OTHERWISE.	4. ALL WELDING SHALL BE OTHERWISE PROVIDE C
o.	SHOP DRAWINGS AND ONLIRE REAL BE SERVITED TO THE ENGNEER FOR BUTEV PROP. TO THE BREATION AND APPOINT DRAWING THAT DE CHEMICAL CONTRACTORS REFORE LUMMLA. ONE BREATERS REVEAL OF EXCORPAGAMONICS INTO THE DESCRIPTION OF CONTRACTORS AND APPOINT OF CHEMICAL DRAWING CONTRACTORS AND APPOINT OF	5. HOLES IN STRET SHALL HAVE. 5. HOLES IN STRET SHALL BI EDGES, BUBNING OF H
	CONTRACTOR OF TH PROR TO SUBMISSION ASSOCIATED WITH TH DIMENSIONS, ETC.	<ol> <li>UNLESS NOTED OTHERW PAINTED WITH ONE CO.</li> <li>THE STRUCTURAL STELL E STRUCTURAL NOTES 1.</li> </ol>
<u> </u>		<ol> <li>COLUMNS, ANCHOR BL CONDITION AND HAVE BRECTION AND CONSTR FREE CONDITION AND CONSTR FREE FREE FREE FREE FREE FREE FREE FR</li></ol>
	WOBITI VETTES FLUX REFORMED FOR EXECUTION FOR LOW FEAST PAY PAY ON FOR EXECUTES 1 POST PAY PAY AND FOR EXECUTION FOR CONSTRUCTION FOR EXECUTION FOR PAYS OF REFORE CONST POST PAY PAYS AND FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE CONST PROPERTY OF CONSTRUCTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE CONST PROPERTY OF CONSTRUCTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE CONST PROPERTY OF CONSTRUCTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE PROPERTY OF CONSTRUCTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE PROPERTY OF CONSTRUCTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE CONSTRUCTION FOR PAYS OF REFORE FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR PAYS OF REFORE FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR EXECUTION FOR EXECUTI	9. PROTECTIVE COATINGS PROTECTIVE COATINGS
2	In the later constant or inspection of having to be the inclusion ender construction (1). CONSIGNED with VIEWAIL LONGOODS READ OF INCLUSION SMICLOS READ OF INCLUSION CONSIGNED (1). CONSIGNED WITH VIEWAIL LONGOODS READ OF INCLUSION CONSIGNED (1). CONSIGNED WITH VIEWAIL TO CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED WITH VIEWAIL TO CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ CONSIGNED AND CONSIGNED AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ CONSIGNED AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND VIEWAIL READ CONSIGNED AND CONSIGNED AND CONSIGNED AND CONSIGNED (1). CONSIGNED AND CONS	10. UNLESS OF THERM CONNECTIONS AS SHOT CONNECTIONS AS SHOT ARE INDICATED ON THE DIRPOSAN LOAD CAPAC THE FEAM IN QUESTION HALF OF THE TO SSTAND
4	FOR PART	<ol> <li>PROVIDE STIFFENER PLA CONCENTRATED LOAD L/Z' UNLESS MOTED OTH</li> </ol>
2	DIREAL RESIDENCE, ZEALIN, YOF REALINGE, FORMER INVESSE IN DISJONE LUDAU, AND MANUMAN, FOLLU DOWN, AND AND OTHER ATIACAMENTS OF CONVERTIGAN METHODS. ALL SHOP DRAWINGS SIBMITTED FOR APPROVAL (F INCLUDED IN THE CONTRACT) NEED TO BE SEALED.	12. ALL STEEL COMPONENT MIN, SIZED WELDS PER A AFFECTED MEMBERS, U
	SIGNED, AND DATED BY A REGISTIBLED ENGINEER IN THE STATE THE PROJECT IS TO BE BUILT.	13. ALL STEEL EXPOSED TO 1 PROTECTIVE APPROVED
¥	<u>WOOD FRAMMIG NOTES</u> 1. ALL WOOD FRAMMIG MATERIAL SHALL BE SURFACED DRY AND USED AT 1755 MAXIMUM MOSTURE COMIDAT.	
ci	ALL STUD AND WALL REAMING SHALL BE EINER NO. 2 GRADE SOUTHERN YELLOW PINE (SYP) OR NO. 2 GRADE SPRUCE-PINE-PIRE (SYP).	15. NO STEEL IS TO BE PLAC UTILIZED AS NEEDED BUT
÷ •	ALL JOST RATER, AND MECELLAREOLS FRANKIG SMALL BLIOL 2 CRADE SOUTHER YELLOW INCE. PROVIDE FUL-SPERING METAL MEDICATION AND DESTROYAND AND ANALMAN SOUTH OF REV. AND ANAL SOUTH OF REV. AND	PREFABRICATED WOOD JO 1. PREFABRICATED WOOD CODE-ACCEPTED EVA
ŧ.	PERSIDE TREATED IN ACCORDANCE WITH TREATED WACON PERSIPER SEX SUCCOPERSIES SEX SUCCESS TREATED ALL CONTRACTED A	2. WOOD I-JOSTS SHALLI CONIRACTOR SHALL BRECTION AND PERCO
vó	The CONTRACTOR MALL ORBITURY SECT UNLESS OF BUELDING LOD BEARD, REAL RELATIONS, THE DATE OF SECT ON THE MALE AND MALL ALM MALL RELATIONED TO FACE AND ALL RELATION TO FACE OF THE MARCH ALL RELATIONS AND AND ALL RELATIONS AND ALL RELATIONS AND	<ol> <li>WOOD LODGT SHALL N UNLESS SPECIFICALLY C REQUIREMENTS. DO M</li> </ol>
4	ALLINALING NOT OTHERWISE INDICATED SHALL BE IN ACCORDANCE WITH TABLE RK02.3(1) OF THE IRC OR SCHEDULE 2004 51 OF THE BC. INALING SHALL NOT BE OVERDRIVEN.	<ol> <li>WOOD I-JOSTS SHALL I YEARS EXPERIENCE PRC BY AN AGENCY ACCEI</li> </ol>
N	PROVIDE DOUBLE COSSE UNDER ALLE PARTICIONS THAT RUN PARALLEL WITH JOSTS AND UNDER ALL CONCEMIRATED LONGS FROM FRAMMIG ABOVE.	5. WEB PANELS MUST BE J ALL JONNES SHALL BE G
ര്ര	PRCOMPLEADER BLAAKS OF THE SAVIET ALS 20513 OK RAITERS TO FRAME AROUND OF DEAKS IN THE PLYNODOD EACC MULLES ONTED OTHERWISE STRUCTURE ATTER PLATE CONNECTORS SAML CONTORN'TO ASIAN A 36 SPECTIFICATIONS AND EL 1/4"THECK	<ol> <li>WOOD HJOISTS SHALLI CONTACT. DAMAGET FIELD REPAIR OR MOOD SUBBUIRD EXCERT EXC.</li> </ol>
é	usus offerense including mechanism proceeding waters and provide mechanism processing including mechanism provide me provide mechanism provide mechanism	7. WOOD I-JOSTS SHALL I SHALL BE ANCHORED J
ź	DAPARE SCIENCE CONTRUCTIONS SHALL BE MULK - TIGHT BUT NOT TO THE UTION OF CADARNAL WOULD UNDER WARFE.	88ACING OF THE TOP F 8. AVOID ALL PLUMBING 08 ALTERATIONS TO I.J
	MANUPACIDIED BY TEVEL BY INTERTIGUARDINE (AAAE JUANE JUANE) TEL 300-435-5339 VALUE AV AV AV AVAILABLE CONNECTIONS AND ATTACHARDER OF PHESE IS TO BE IN ACCORDANCE WITH AMULTACIDERS CONNECTIONS AND ATTACHARDER OF THE OUT OF THE ADVANCE AND ATTACHARDER AVAILABLE AVAILABLE AVAILABLE AVAILABLE AV	REQUIREMENTS.

CONNECTION AND ATTACHMENT FOR LANDY OF RESS-058803 AC APPROVED EDUAL CONNECTIONS AND ATTACHMENT OF THESE MONERES IN OIR IN ACCORPANCE WITH ANALYLIC TURES SPECIFICATIONS UNLINES NOTED SPECIFICALIY ON FIAN. DO NOT CUT OF NOTCH MATBAL WITHOUT THE MANUFACTIONES APPROVAL.

1. ACCREDING THE ACCURRENT ACCURRENT CONTROL CONTROL ACCURRENT ACCURRENT

ALL WOOD COLUMNS TO BE BRACED ATTHE TOP AND THE BOTTOM. THEREFORE, ON ALL WOOD COLL USE THE APPLICABLE SUMISON ABU POST BASE AND COLJECC OR PC/RPC POST CAP.

SHALL CONFORM TO THE THIRTEE E AISC. JEING BOLTS

INNECTIONS SHALL BE SHEAR THPE CONNECTIONS EXCEPT AS NOTED FABRICATORS FOR THE PACTORED SHEAR POWCES NOTCATED ON FLAN PECHCATIONS FOR LOAD AND RESISTANCE FACTOR DESIGN. 3,000 PSI ASTM A-500 (GRADEB) A-302 A-36 A-325 (MN. TYPE N) F1554 A-36 C-1107 C-1107

DRDANCE WITH AWS D1.1 USING E/DXX ELECTRODES. UNLESS NOTED DUS MINAMUM SIZED FILLET WELDS PER AWS REQUREMENTS. ALL FILLER UM YELD STRENGTH OF 38 KSL. RE DRILED OR FUNCHED. ALL SLOTED HOLES SHALL BE PROVIDED WITH SMOOT HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.

MSE. ALL STRUCTURAL STEEL PERMANBULY EXPOSED TO VIEW SHALL BE SHOP XAT OF SIPC 15-68. TYPE 1 (RED OXIDE) PAINT.

ROTS BASE RATES, BTC, HAVE BERI DESIGNED FOR THE FINAL COMPLETED TREE INVESTIGATION OF DEVINE LOUNDER FOR CONTINEED DURVES INTER TREEDON, MY WASHIGATION OF THE COLUMNS, ANCHOR BOLTS, BARE TARTES TORONDE AFFEL BEELTICAL AND CONSTRUCTION PROCESS 5 THE SOLE TORONACTION.

S DAVAGED DURING THE TRANSPORTING. ERECTING, AND FIELD WELDING EPAIRED IN THE FIELD TO MATCH THE SHOP, APPLED COATING.

ITE ON EACH SIDE OF THE WEB OF BEAM OR GROEPE AT POWINS OF 35 OF SEATED BEAM BEARING LOCATIONS, MINIMUM STIFFENER THICKNESS SHALL BE HERWISE.

IS IN CONTACT WITH EACH OTHER TO BE WEIDED WITH THE LARGER OF A" WELD CR REQUERDENTS, WILD CALL ARKUND EDESS AND PERMETERS OF ALL MASS NOTED OTHERWISS ON THE INVOLVAL OF TAULS.

VPROVAL (F INCLUDED IN THE CONTRACT) NEED TO BI BUGNEER IN THE STATE THE PROJECT IS TO BE BUILT. ISTURE, AND / OR C MATERIALS

CED IN CONTACT OR "PACKED" WITH PRESSURE TREATED LUMBER. H.D.G. MAY RE IT ONLY WITH PRIOR E.O.R. APPROVAL.

0 I-JOSTS SHALL BE DESIGNED AND FURWISHED IN ACCORDANCE WITH A CURRENT UNITION REPORT. STRUCTURAL CARANIZER AND DESIGN PROVIDINS SHALL BE STORED IN ACCORDANCE WITH ASTIM D-9505.

BE BEECTED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS, THE "ROVIDE ALL TEMPORARY AND PERMANENT BRACING AS REQUIRED FOR SAFE BRANICE AND PERFORMANCE OF THE JOSTS,

NOT BE CUT, NOTCHED, COPED, DRILED, NOR OTHERWISE ALTERED IN ANY WAY CONDUCTED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN IOT CUT FLANGES.

BE PRODUCED BY A CODE ACCEPTED FABILCATOR WITH A MINNUM OF EVE (5) COUCING PREFABRICATED WOOD ILJOSTS, GUAUTY CONTROL SHALL BE ALDITED PTED BY THE "BULDING OFFICIALS & CODE ADWINSTRATORS, INC."

LONED WITH A MACHINE AND GUUED 'Y' JOHIT TO FORM A C 3,UED USING AN ECTERIOR TIPE ADHESIVE PER ASTM D 2559.

RE STORED IN BUNDLES IN AN UPRIGHT POSITION AND AWAY FROM GROUND OL 20555 SHALL BERDIGHT TO THE INVEDIME ANTENTION OF THE JOST SUPELIER. FCATION OF JOSTS MUST FOR THE MATHON THE WRITEN APPROVAL BY THE REMAINS TO CORRECT LEAGH. BE CAREFULT HANDLED TO PREVENT DAMAGE AND DISTORTION. EACH JOST AND BACOLARY ANT IS REPORTED USING BLOCKING PARELS AND ANCHORAGE HE SUPPLIES REQUIREMENTS]. ERECTOR SHALL PROVES UPPLEARING LIVER FLANGE UNIT, SHAFHING S REOPERT, NAULD.

AND MECHANCAL F POSSIBLE. OTHERWISE ALL HOLES, NOTCHES, FENETRATIONS JOSTS OR FLOOR, JOSTS ARE TO MEET THE MANUFACTURER'S SPECIFICATIONS AND

Automotion: 3. ALL JOSIS SIPPORTING NONSTACENG LOAD BEARING WILLS NEED TO BE RENFORCED FOR SIRVA 1. OR BRNDING ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

RERE TO THE FRAMING FLANS FOR ADDITIONAL NOTES.
 ALL SHOP DRAWINGS SUBMITED FOR APPROVAL (FE INCLUDED IN THE CONTRACT) NEED TO BE SEALED. SCHERE, AND DATED BY A RECERTED ROMERS. IN THE STAFF THE FORCE OF CO BE SULL.

14. ALL ENERGY WALLSTO BE CONSIDERED SHEAR WALLS THEREFORE, ALL ENTEROR WALLSTO BE FULLY SERVINE AND ENTER MILE TOTAL COLINNS TO SERVELED ATHER TOP AND SOTICAN, ALL CONNINCOSIS COLUMNS TO BE RAACED ATHERED. ATH COLINAL TOTAL SERVELED ATHER TOP AND SOTICAN, ALL CONNINCOSIS COLUMNS TO BE RAACED ATHERED. ATHORN. ALL CONNINCID SOTICAN CONNINCOSIS COLUMNS TO BE RAACED ATHORD ATHORN. ALL OLIVINS TO BE RAACED ATHORD ATHORN. TO CONNINCOSIS COLUMNS TO BE RAACED ATHORD ATHORN. ALL OLIVINS TO BE RAACED ATHORD ATHORN. ALL CONNINCOSIS COLUMNS TO BE RAACED ATHORD ATHORD ATHORD ATHORD ATHORNAL ATHORNAL ATHORD ATHORNAL ATHORNAL ATHORNAL ATHORD ATHORNAL ATHORD ATHOR

6. NO PRESSURE TREATED LUMBER IS TO REATED TO PREVENT STEEL CORROSION.

RENECACING STEE. INCLUDING HOORS AND BRUCK, SHALL RE DEFALED IN ACCORDANCE WITH LATES DETICON OF THE ACT 318, ALL RENORCED STEEL INDUCATED AS BRUGK CONTINUOUS ["CONT."] SHALL BE LAPPED WITH A TYPE 2 LAP STUCE UNLESS NOTED ON HEAVIES. BAR SUPPORTS SHALL BE PROVIDED FOR ALL REINORCHIG STEEL TO INSURE MAININI SUPPORT AND HOLDING BARS SHALL BE PROVIDED FOR ALL REINORDED. WAS SUPORTS SHALL BE PLASTIC IIIPPED OR STANLES STEEL. ALL RENEORCING STEEL SHALL CONFORM TO ASTIA REQUIREMENTS GRADE 40. ALL WEIDING OF REINFORCING STEEL SHALL EN ACCORDANCE WITH ANS REQUIREMENTS. EPOXY COATED REINF ALALL CONFORMIO ASTIA REQUIREMENTS. ALL RENECACING SEEL SHALL BE SET AND TED IN PLACE PRIOR TO POURING OF CONCRET VERTICAL DOWERS FOR AMADWRY WALL RENHORCHNG MAY RE FRIOMER'IN RACE. DO HC VERTICAL DOWERS FOR AMADWRY WALL RENHORCHNG MAY RE FRIOMER'IN RACE. DO HC THE AMADMEN MCRAID 8 & 8 & 9 & 9 2104 2104 2104 2104 2104 CONCRETE MN 12 (28) COLUMN 24 400 F3 LEVATED SLASS 4000 F3 CONCRETE NOT NOTED 3000 F3 FOUNDATION 3000 F3 SLANS-ON-CRADE 3000 F3 SLANS-ON-CRADE 3000 F3 UNLESS NOTED OTHERWISE ALL ONE V 10.1. BUTTON REPORTING 10.1.1. BERNENGSCHG 10.1.1. BERNENGSCHG 10.1.2. DERTING SUBPECTION 10.2.1. CENTERED ON SUPPORTING 10.2.1. CENTERED ON SUPPORTING 10.2.1. LENTERE DON SUPPORTING 10.3.1. LENTERE DON SUPPORTING 10.3.1. LENTERE DON SUPPORTING 10.3.1. LENTERE SUPPORTING 10.3.2. TEANWAY BEER EQUIDING ALL CONCRETE WORK SHALL CON "SPECIFICATIONS FOR STRUCTURAL UNLESS NOTED OTHERWI ACI-318 SECTION 7.7.1. IS GROUND WATER LABLE ABOVE ANY FOOTING OR FOUNDATION. THE GENERAL JOTIEY THE STRUCTURAL INGUIER OF RECORD FOR ANY DESIGN REVISION. 4CRETE COVER SHALL BY PROVIDED IN ACCORDANCE WITH KED COMINAUOUS (CONT.) ON THE PLANS AND DELIAIS SHALL RE BENT AND/O BERNESS PROVIDE AN ALL SPLICES, CORRERS, AND ANY OTHER PROVED ANTER ANTER AN ALL SPLICES, CORRERS, AND ANY OTHER 4D ATON WORK, COORDINATE WORK WITH ANY EXSTING UTILITES. WHERE REQUIRED TO AVOID UTILITIES. IX FILING SHALL BE DONE AGAINST FOUNDATION WALLS UNLESS WALLS ARE AINST OVERTURNING EITHER BY TEMPORARY SEACING OR BY PERMANENT . BE PLACED BRLOW THE TROST - DEPTH" OF THE GEOGR (TION OF THE 'MANUAL OF STEB. MIN. STRENGTH 46 KS1 50 KS1 50 KS1 36 KS1 36

ADEQUATE DRAINAGE BEHND ANT 5 REQUIRE IN THE FIELD.

CIGTURE, AND / G MATERIALS.

WIDUAL DEFAILS, ALL CONCRETE WALLS (OTHER HAVE MINIMUM REINFORCEMENT AS FOLLOWS: UNLESS OTHERWISE NOTED ON THE IN WALLS AND BASEMENT WALLS) SHALL

# WALL THCRESS HOBOREAL VERTICAL LOCADON VELTOR RELEVOC. RAY DOC CONTRED 8 NOVE 1000 1449 P.O.O. CONTRED 10 MAR 17 OC. 144 8 P.O.D. DOCHIMACE 17 448 17 OC. 144 8 P.O.D. DOCHIMACE

DAT PETE SUBEACE

 N ACCORDANCE WITH THE APPLICABLE CODE. SPECIAL INSPECTIONS ARE REQUIRED FOR THE CON-NORK. THE OWNER CONTRACTOR WILL HEE THE SPECIAL INSPECTION TO FERFORM ALL REQUIRED SPECIAL INSPECTIONS. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION THAT ALL STANDARDS SPECIFIED IN THE APPLICABLE BUILDING CODE.

IN ORDER TO AVOID CONDERE SHERKING OR CANCING, FLACE CONCRETE SLARS IN ALTERNATING TO BREAT. THE AMOUNTING THIN OF SLARS CAST IN ANY ONE CONTINUOUS POLIS SHALL BE LIMITED TO BREAT.

PORM WORK SHALL REMAIN IN PLACE UNTIL CONCRETE HAS OBFAINED AT LEAST 90% OF ITS 28 DAY COMPRESSIVE STRENGTH, THE CONTRACTION SHALL PROVIDE ALL SHORING AND RESHORING.

PROVIDE CONSTRUCTION . ON THE INDIVIDUAL DETAIL

ALL STEEL EXPOSED TO WATER, MOSTURE, AND / OR CO PROTECTIVE APPROVED COATING MATERIALS.

ASONEY CONTRUCTION SMALL CONFORM TO THE REQUIREMENTS OF THE LATERT EDMON OF THE STREET CONTRUCTION SMALL CONFORM TO THE REQUIREMENTS OF THE LATERT EDMON OF THE STREET. RY NOTES

HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTIM REQUIREMENTS. THE INNIVIAL REPROCOMMENTS STREMENT IF TIM SHALL BE 1, 530 F51 AI AN AGE OF 25 DAYS. AS GREENMED BY UNITSREGHT-MERHOD G-AG 580.

FILI ALL BOND BEAKS AND RENEORCED CELLS SOLICY WITH GROUT. GROUT SHALL CONFORM TO ASTW REQUIREMENTS AND SHALL OFFINIA A MINAMAM 28 DAY, COMPRESSIVE STRENGTH OF 2,500 PSI.

D POCH STORY STATUS TO A D POCH STATUS TO A D POCH STORY A D POCH STATUS TO A D POCH STAT

RENECACING STEE, SHALL BE IN ACCORDANCE WITH ASTIM REQUIREMENTS, GRADE 40, SHOP FARRICATE RENECACING MARK WICH ARE DOWN TO BE HOSDED OR BENT. FILE ARE NAMERES AT ALL SUCCES, INIESS NOTED OF REWILL SHOULD DEFENDENT OF A DUCTED OF REWILL

THE USE OF ANSONERY CEMERT MORFAR & STRECTLY PROHIBITED. MORFAR SHALL CONFORM TO ASTIM ECONFERENCIES: A LUDIORA SHALL MEET THE YANO POINT ON YERCANDON OF ASTIM RECURRENCIES AND BE ADDREVENITY AND CONDENT VERICANDON OF ASTIM RECURRENCIES AND BE ADDREVENITY AND CONDENT VERICANDON OF ASTIM RECURRENCIES UNNING BOND, BOND CORNERS UNLESS NOTED OTHERWISE, ALL WALLS 5HALL BE LU INTERSECTIONS OF LOAD BEARING WALLS.

RERICAL RENFORCEMENT OF AT LEAST (1) #4 &AR SHALL BE PROVIDED AT CORNERS, WITHN 16" OF EAL DED OPENNOS, WITHN TO FOTE BLAND DAT AL MAXIMAN SACANG OF 10" ON CENTER. SPOCIDE BASE AT ALL WALL CORRERS, AND OFENNOE EDGE.

PROVIDE REBAR DOWELS IFOM FOUNDATIONS TO MATCH VERTICAL RENEORCING 32E AND SPACING DOWELS SHALL HAVE STANDARD 70 DEGREE HOOKS AND LAP WITH THE FIRST LIFT OF RENFORCING.

REVIDE HORIZONTAL BOND WITH CONTINUOUS ERFORCING AS INDICATED. BOND ERMA ERFORCEMENT SMALL ER AL LEAST [1] A4 BAR SPACED NO MORE THAN 10' OLC. I DSCONTINUE ALL HORIZONAL ERFORMANCE AL CONTRGA DON'ES JUETT PARE DAND ERMAS AT ERVINANCE ERVIN THERMEDIATE BONG SMALL ER FROVIDED A REQURED.

Revolute structures of source expericional Long meteorecistics in a Revieter source for the Multi-meropolitics from long meteorecistics for all concrete motionals. Concrete multi-sectimeter for multi-factorized resource sources unless notice on themes. Stork LL HORIDARA LON IBREADCRAP of CONFIDU. JOINTS.

PROVIDE BOND BEAM UNTELS AND BRICK SHELF ANGLES ABOVE ALL WALL OPBNIXGS FER TIPPCAL DEFAULS. SEE ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS OF WINDOW AND DOOR OPENINGS

ROWDE STER, JOST AND BEAM BEARING RUTES AND OTHER ACCESSORIES AS INDICATED. PROVIDS THERE COMESS OF SOLIDAY GROUTED CHUI BELOW ALL BEAM BEARINGS OVER THE WIDTH OF 2:3°, CANTERED ON THE WALL, INVESS NOTED OTHERWISE.

WONDE CAVLCONTROL JONTS AS NEUCATED, WITH ADOMIONAL JONTS SO THAT THE SPACING BETW IONTS DOES NOT EXCENDE A SPACEMO OF 33 YIEF ANALIMATIC PERTE ANALIMATION THAT BEAVED WITHS BEAVE AT COVINCIOL JOST OPERET AND LAP THE VERTICAL REINFORCING AS INCOVED.

THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY CONSTRUCTION (SEE GENERAL STRUCTURAL NOTES).

PROMIDE CONSTRUCTION JOINTS IN ALL MASONRY WORK AS REQUIRED BY THE ACT CODE OR AS SHOW ON THE NOVIDUAL DETAILS.

ALL STEEL EXPOSED TO WATER, MOSTURE, AND / OR CORROSIVES SHALL BE COVERED PROJECTIVE APPROVED COATING MATERIALS.

INSTALL VERTICAL MOVEMENT JONIT TO SOLATE VENERS SUPPORTED BY WOOD BY VENER SUPPORTED BY STEEL AMSONRY, OR CONCRETE WHERE APPLICABL

		designed in the second		
DESCRETION OF BUILDING ELEMENTS	ELEMENTS	O THO SHERING AN ALL Y ASSOCIATION	uppi up o	SPACING OF FATENESS
1. BLOCKING BETWEN JOSTS OR BATTERS 1	OR BATTES TO YOP FLATE, YOR NAL	10110X (0) PP-1	I	
2. CRUNG JOSTS TO PLATE, TOF NAL		4-8d(20'x01131		
<ol> <li>CEUNG JOSTS NOT ATMOND TO PARALLELENTER, LAPS OVER PLANTON, PACP MAL</li> </ol>	VLLEL ENTER. LANS OVER	4 - 104 (3° + 0.1287		
4. COLUMITE FORMATER FACE NAL ON WYZO DAGE RECEITING	CHORE RECEIPTING	1801/0 #u01001-7		
5. RATER OR ROOM INUSCIO FLATE, TOR N		21645000 Notes 12 X 10125		2 TOE NALS ON ONE SIDE & 1 TOE NALS ON ONE SIDE &
		D'x0.1489		OF EACH RAFER (BULSS
<ol> <li>ROOF RATTER TO RECC. VALIEY OF HP RATERS. TOP NALE MICE NAL.</li> </ol>	0.0472.02	+16d(37×0.135)+		
7. BULTUP STUDS PACE NAL		Lerov.2d pv		24 O.C.
3. ARKTNG STUDS AT INTEGECTING MALL	COMMENT ACTINUE	LIST 10 1.263 POI		12"0.0.
9. BUILTUP HEADER, TWO PECES WEH/JF SPACER	PACER	129101361991	14	14" O.C. ALONG EADH EDGE
10. DOMINUED HEADER, TWO FIELDS		104 PM-101 301	14	V O.C. MONG EADHEDGE
11. CONTRADUS HEADER TO STUD WALL		5-84(0/2×01101		
12. BM JOSTED TOP FUNCTIOD NML		L10110 × 201 P2		8.00
13. DOUBLE TOP FLATES, FACE NALL		LOTON, AND NO.		14"0.0"
<ol> <li>DOUBLE TOP FLATES, IMMANUA 24 INCH OFFICE OF END JOINTS, FACE NALEN UP FED AREAS.</li> </ol>	K OFRET OF BAD JOINTS.	L2910X_309919		:
W YOR PARTO DOU OF NOCENO, M	CF 101	Total Contract	I	ICOL
	BACED WALL PARKS	3-16130"×0130"		16'0.0
12 VID DOSDERATE DE MAR		1.80.00 × 01.101		:
		Include of relation	I	
11. TOP DESIGNATION TO \$100, NOT NOT	TRECTOR TAPAN	COLUMN SELECT A	T	
	artistication from the	Lancour el rou o	I	
	M.C. 1995.	2.500105.1%		
21. I''x 4' SHEATHING FD EADH BEASHIG, FACE NAE	ACE NAL	21-14(20) ×0.1121		:
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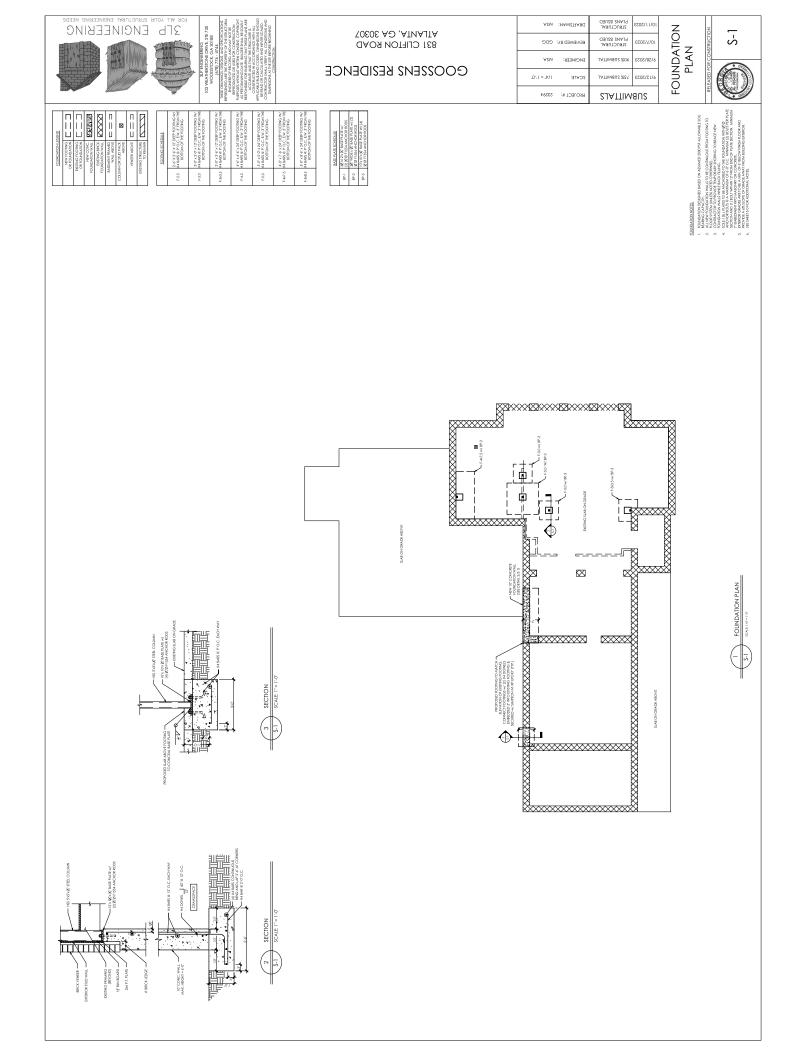
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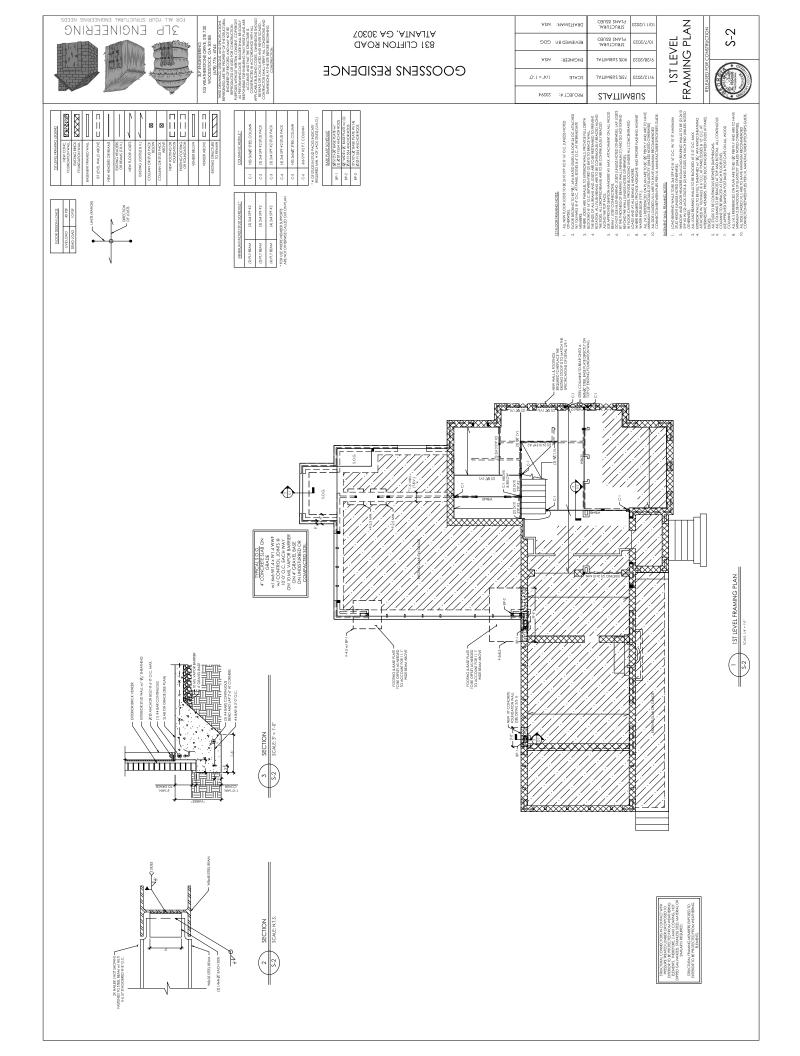
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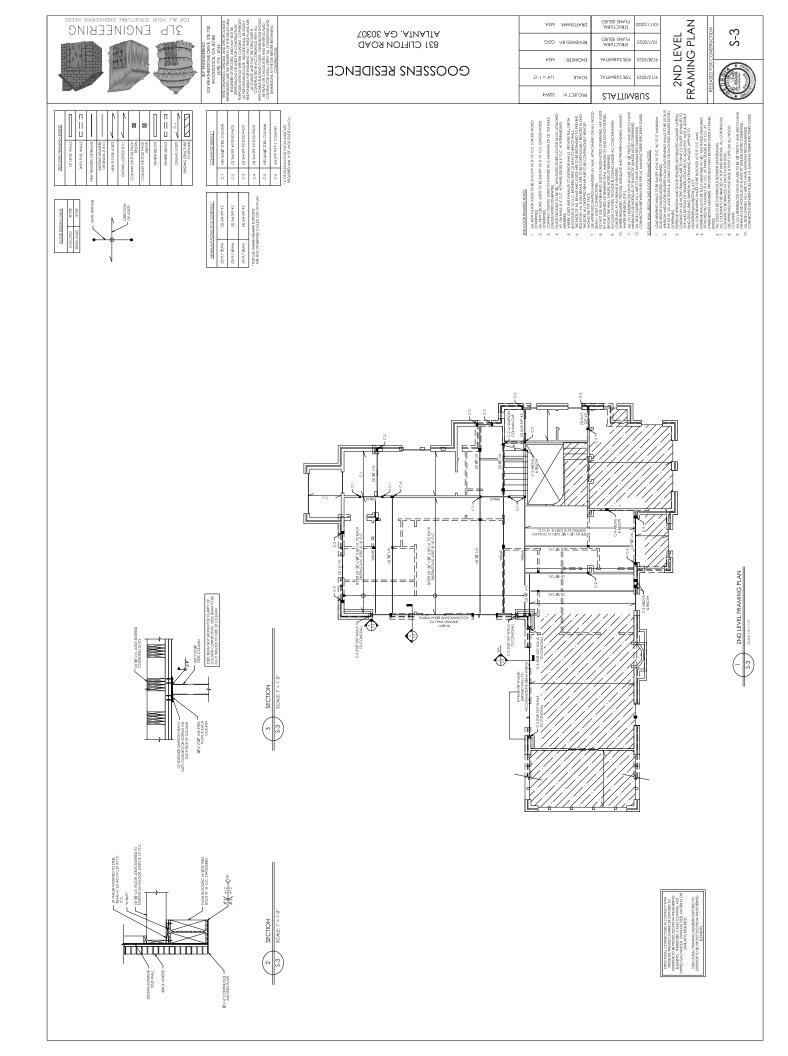
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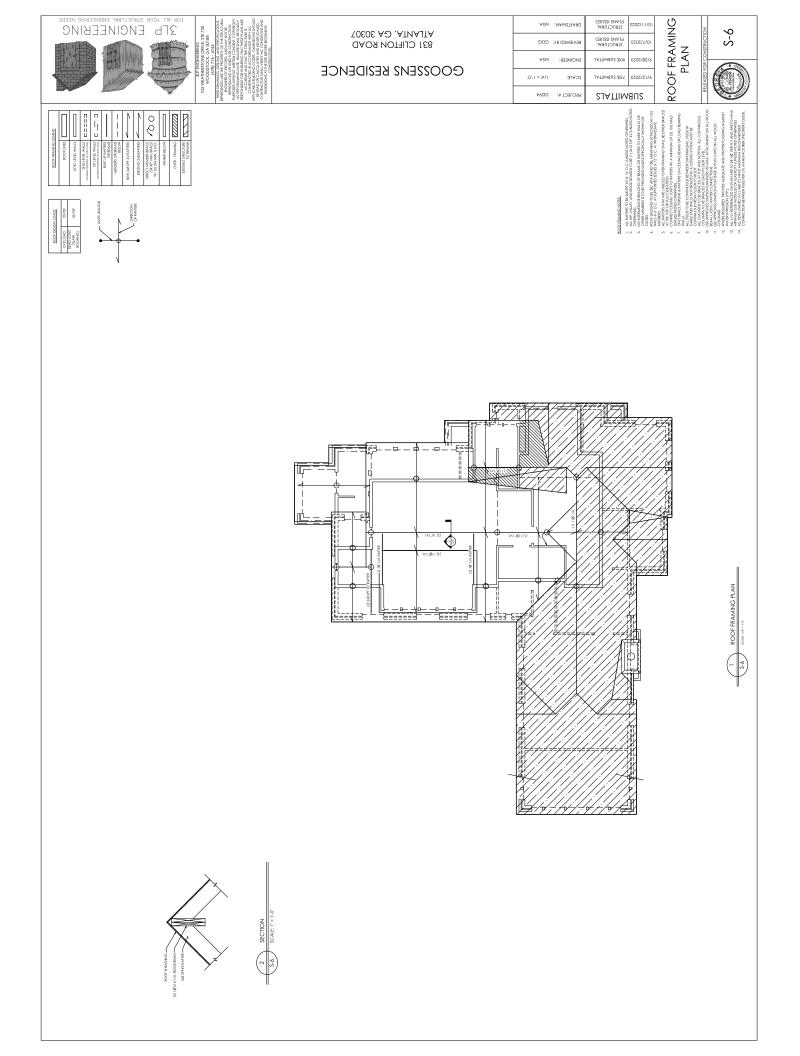


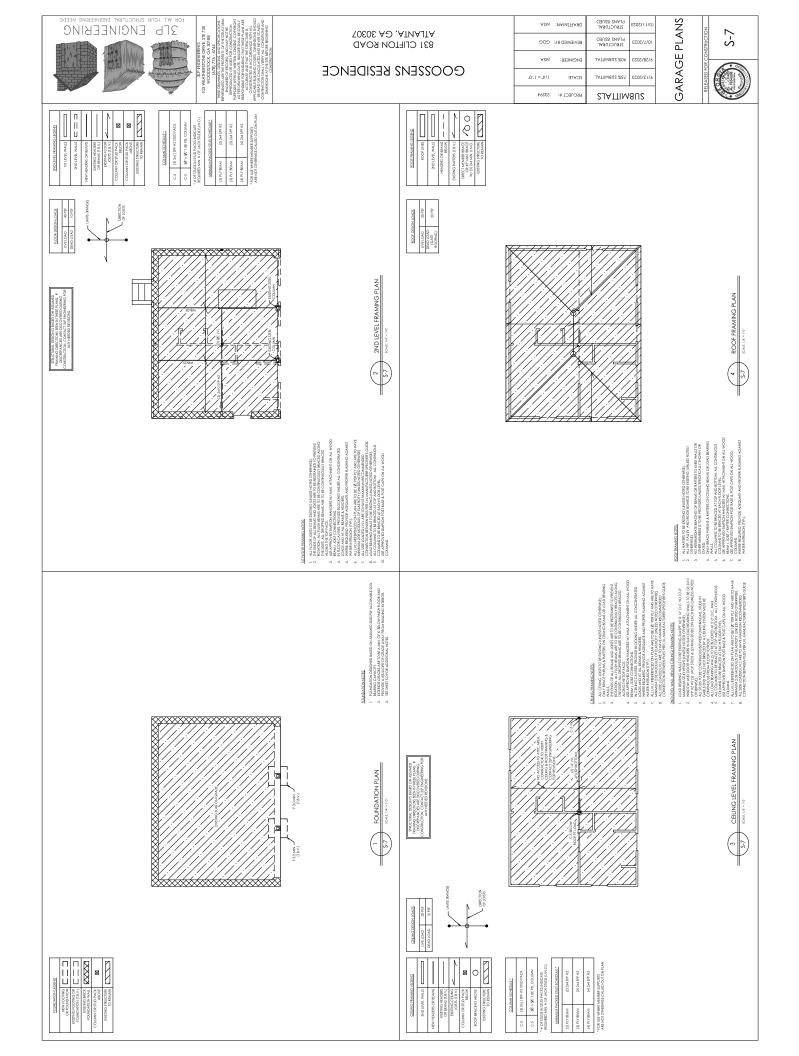


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#### From: building revolutions To: Palge V. Jennings: Cullison, David: Planead Oc: building revolutions

To:	Page V. Annings: Calicon, David: Pansustan
Cc:	building revolutions
Subject:	Re: Historic Preservation Committee (HPC) Staff Report and January Meeting Agenda - 831 Clifton Road
Date:	Monday, March 18, 2024 1:54:25 PM
Attachments:	831 Clifton Road staff report off
	March 2024 HPC Agenda Updated 3.15.pdf

Good Afternoon Paige,

Thank you very much for sending over the Committee's report for 831 Clifton Rd. My apologies on the delay of response-we needed to coordinate with our architect, David Grace of Classical Design Studios, to make sure that we fully understood the issues at hand. Dave will also be joining us in the meeting this evening so that he can personally address any additional concerns or questions the Committee may have, however, we wanted to address your initial questions below:

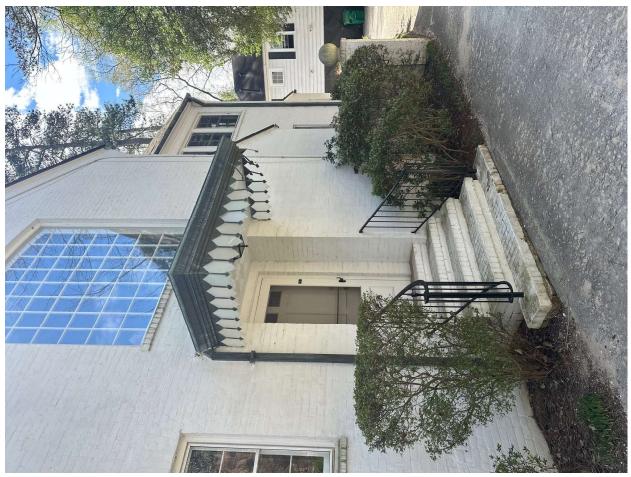
1) We are proposing to remove the stoop on the right side of the house for a few reasons. The house has severed rainage issues in the basement with water seeping in from the right side of the house. There was significant mold damage, and the owners would like to remediate this by adding additional drainage and waterycofting the side of the house. There was significant mold damage, and the owners would like to remediate this by adding additional drainage and waterycofting the side of the driveray. The stoop has already heen damaged and his several times by the landscape trucks that have come to servic the yard. We have a stached a petieture of the draveray the attrached a petieture of the house. We have attached a video (linked below) walking from the sidewall to show this. While we agree that it is a lovely detail, it is not functional in its current status.

2) We are proposing to replace the rear left windows and doors with a bank of steel windows and doors that will be true divided light, and we are doing this to create a stronger indoor/outdoor connection. These new windows and doors will be modeled after the steel windows and doors currently in the surroom on the left side of the house, and will create a uniform and cohesive look from both the interior and exterior. The proportional fenestration between the old and new windows and doors are nearly identical.

3) The windows in the proposed dormer on the right side will be wood simulated divided light window to match the historic wood windows present in the majority of the house. Our intent is to remain as true to the beautiful historic charm of the home in every way possible, and to preserve every detail we can, both for design and cost-saving measures. This is a continued effort of ours to make every new detail consistent with the existing historic design. We are only using designs and materials that are currently present in the historic structure.
Thank you very much for your consideration, and for your efforts to preserve the integrity of this neighborhood. As a note, the owners are very vested in maintaining the continuity and eraftsmanship of old, as they also own and currently live in another historic home. in the neighborhood.

Thank you again,

#### Mari 404-630-1096



On Mar 15, 2024, at 1:36 PM, Paige V. Jennings cpvjennings@dekalbcountyga.gov> wrote:

#### Good Afternoon

Please see the staff report attached to this email regarding the application for 831 Clifton Road, for the upcoming HPC Meeting on Monday, March 18<sup>th</sup>, at 6pm. The agenda, including a link for the Zoom meeting, has been attached to this email as well

If there are any issues or discrepancies with the work summarized in the staff report, please let us know before Monday's meeting so that we may adjust accordingly.

### Thank you and have a great day!

Best, Paige



From:	kelly.monical fourrecordsmusic.com
То:	Paige V. Jennings; dustin.goossens@gmail.com; Building Revolutions; David Grace
Subject:	831 Clifton
Date:	Monday, March 18, 2024 2:23:17 PM

Good Afternoon Paige,

Thank you very much for sending over the Committee's report for 831 Clifton Rd. My apologies on the delay of response--we needed to coordinate with our architect, David Grace of Classical Design Studios, to make sure that we fully understood the issues at hand. Dave will also be joining us in the meeting this evening so that he can personally address any additional concerns or questions the Committee may have, however, we wanted to address your initial questions below:

1) We are proposing to remove the stoop on the right side of the house for a few reasons. The house has severe drainage issues in the basement with water seeping in from the right side of the house. There was significant mold damage, and the owners would like to remediate this by adding additional drainage and waterproofing the side of the home at the foundation. Additionally, there is little clearance between the stoop and the retaining wall on the other side of the driveway. The stoop has already been damaged and hit several times by the landscape trucks that have come to service the yard. We have attached a picture of the current damage that has not yet been repaired. Finally, the side porch is not very visible from the street, and wouldn't have a substantial impact on the historical appearance of the home. We have attached a video (linked below) walking from the sidewalk to show this. While we agree that it is a lovely detail, it is not functional in its current status.

2) We are proposing to replace the rear left windows and door with a bank of steel windows and doors that will be true divided light, and we are doing this to create a stronger indoor/outdoor connection. These new windows and doors will be modeled after the steel windows and doors currently in the sunroom on the left side of the house, and will create a uniform and cohesive look from both the interior and exterior. The proportional fenestration between the old and new windows and doors are nearly identical.

3) The windows in the proposed dormer on the right side will be wood simulated divided light window to match the historic wood windows present in the majority of the house. Our intent is to remain as true to the beautiful historic charm of the home in every way possible, and to preserve every detail we can, both for design and cost-saving measures. This is a continued effort of ours to make every new detail consistent with the existing historic design. We are only using designs and materials that are currently present in the historic structure.

Thank you very much for your consideration, and for your efforts to preserve the integrity of this neighborhood. As a note, the owners are very vested in maintaining the continuity and craftsmanship of old, as they also own and currently live in another historic home in the neighborhood.

Thank you again! Kelly Monical, JD (704) 287-2026 https://share.icloud.com/photos/0ed0Vv322Cv0o8H2gQq-d\_AZg



# 831 Clifton Road Historical Preservation Committee Window Presentation

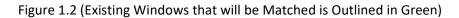
During the previous HPC meeting, three pertinent points of the permit application were deferred to the next meeting, taking place April 15<sup>th</sup>, 2024. Below, please find our clarifying responses to the three issues at hand. Please note, our intent is keep every existing window possible, and where not possible, we will recreate it to the exact standards currently existing in the home.

1) "Add a shed dormer with 5 casement windows on the left side of the new roof."

Answer: The committee has approved the combination of double gables in the rear of the house to create more room in the attic space. We would like to add windows to that space. (See Figure 1.1) Those windows will be identical to the bank of windows currently directly below on the second floor. (See Figure 1.2) Our contractor will match the pane, fenestration, and casings exactly to make a uniform appearance throughout the home.



Figure 1.1 (Proposed Windows are Outlined in Red)





## 2) "Add steel fame door unit with window."

Answer: We intend to replace current windows/doors on the back of the house with a steel unit to provide more light and better access to the back yard. (See Figures 1.1 & 1.2) The steel windows/door materials are currently existing in the "sun room" of the home, which also faces the back yard. We intend to recreate those doors/windows, with identical materials so that there is a cohesive look on the first floor of the home. Please see images below. Windows will be constructed by Brian Womack of Womack Ironworks. Womack Iron has also created similar windows and doors for several other Druid Hills historic homes as approved by the committee, including keystone properties of 845 Clifton and 841 Clifton. Please see photos below for reference.



Figure 2.1 (Proposed Steel Units Outlined in Red)

Fogure 2.2 (Proposed Steel Units Outlined in Red)



Figure 2.3 (This photo is for inspiration only. We are attempting to achieve a brighter, more functional flow from the outdoor pool area to the indoors in the back of the house only. This will not be visible from the front or side of the property.)



3) "French Doors, windows, and attic louvered openings on the back of the house will be replaced with windows and a steel frame door unit."

Answer: Similar to number two above. Our intent to is to create more light on the first floor of the home, and to provide easier access to the backyard. Additionally, instead of louvered openings for the attic, we will replace them with windows built to the exact match to the windows on the floor directly below them. (See Figure 3.1 & Figure 3.2)

Figure 3.1 (Proposed Windows are Outlined in Red and Orange. The Proposed Window Outlined in Orange will be Matched to the Existing Window Outlined in Blue. The Proposed Window Outlined in Red will be Matched to the Existing Window Outlined in Green on Figure 3.2)







Thank you very much for your consideration and guidance on this property. We hope to restore this beauty to its original glory, and on a personal note, I don't want differing materials, particularly on the windows and doors, throughout the house. We will make all new materials standardized to the existing materials, both for aesthetics and for cost saving purposes.

What material will the windows be constructed with? (Wood, aluminum, steel)

- Windows modeled after the existing windows will be wood to match their historic counterparts.
- The wall of new windows and doors leading to the backyard (shown on Figure 2 in our previous response ) will be steel

What is the material of the current windows?

- All windows in the house are wooden, with the exception of the steel windows around the sunroom.

What is the configuration of the windowpanes for the steel frame unit? (4x3 panes, 3x2 panes, etc.)

- There will be two units of steel windows. The unit opening straight back into the yard will be 4 panes tall by 12 panes wide. The unit facing the back yard from the right side will be 4 panels tall by 16 panel wide. These will be fabricated exactly as the steel units previously approved in 845 Clifton Rd and 849 Clifton Rd, using the same supplier.

Where will the door for the steel frame unit be located? What is the proposed material for the door?

- Door opening will be centered on both steel frame units opening out to the back yard. The doors will also be steel, and will appear as one unit. Please see photo below of 845 Clifton Rd as an example. (Ours will be white rather than black).



From:	Dustin Goossens
То:	Paige V. Jennings
Cc:	Tracy Batson; building revolutions; kelly.monical fourrecordsmusic.com
Subject:	Re: Fwd: Inquiry Regarding COA Application - 831 Clifton Road
Date:	Wednesday, April 10, 2024 3:04:38 PM
Attachments:	image001.jpg
	image002.ipg

Paige,

They will be true divided light with raised muntins.

Thanks, -Dustin

On Wed, Apr 10, 2024 at 11:49 AM Paige V. Jennings <<u>pvjennings@dekalbcountyga.gov</u>> wrote:

Good Afternoon,

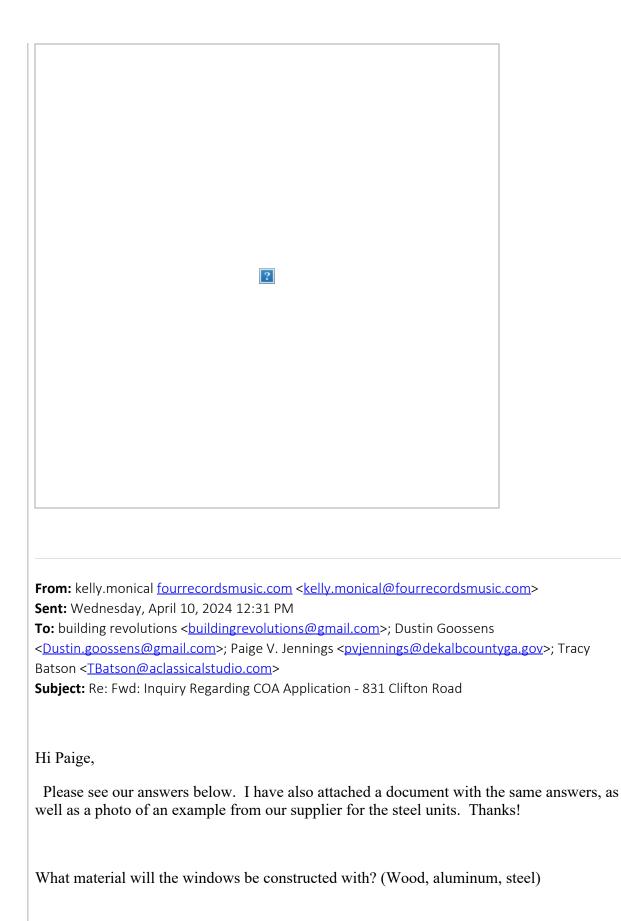
Thank you for the quick response!

We are finalizing the staff reviews now and will distribute our reports to applicants tomorrow morning. One final question before we finalize the report: Will the divided lites for the windows be simulated or be divided with raised muntins?

Please let me know and we will have the finalized report ready as soon as possible.

Thank You,

Paige



- Windows modeled after the existing windows will be wood to match their historic

counterparts.

- The wall of new windows and doors leading to the backyard (shown on Figure 2 in our previous response ) will be steel

What is the material of the current windows?

- All windows in the house are wooden, with the exception of the steel windows around the sunroom.

What is the configuration of the window panes for the steel frame unit? (4x3 panes, 3x2 panes, etc.)

- There will be two units of steel windows, both facing the back yard. The unit opening straight back into the yard will be 4 panes tall by 12 panes wide. The unit facing the back yard from the right side will be 4 panels tall by 16 panel wide. These will be fabricated exactly as the steel units previously approved in 845 Clifton Rd and 849 Clifton Rd, using the same supplier.

Where will the door for the steel frame unit be located? What is the proposed material for the door?

- Door opening will be centered on both steel frame units opening out to the back yard. The doors will also be steel, and will appear as one unit. Please see photo below of 845 Clifton Rd as an example. (Ours will be white rather than black).

Please let me know if you have any further questions!

Kelly Monical, JD

(c) 704-287-2026

On 04/09/2024 12:03 PM EDT building revolutions <<u>buildingrevolutions@gmail.com</u>> wrote:

Hi Kelly!

This just came in from Paige and I realized you aren't included. Would you like for me to reply and just cc you so that you can provide details on materials, etc?

I am not 100% on answers to these since you've been working with your supplier. Also happy to respond as well and cc you but will need all the info first. Let me know:)

Begin forwarded message:

From: "Paige V. Jennings" <<u>pvjennings@dekalbcountyga.gov</u>> Date: April 9, 2024 at 11:56:54 AM EDT To: building revolutions <<u>buildingrevolutions@gmail.com</u>> Subject: Inquiry Regarding COA Application - <u>831 Clifton</u> Road

Good Morning,

Hope that this email finds you well and enjoying the week so far.

We are in the process of completing our staff level review and compiling our report regarding the application for 831 Clifton Road. To complete our review, could you please provide information regarding the following questions:

- 1. What material will the windows be constructed with? (Wood, aluminum, steel)
- 2. What is the material of the current windows?
- 3. What is the configuration of the windowpanes for the steel frame unit? (4x3 panes, 3x2 panes, etc.)
- 4. Where will the door for the steel frame unit be located? What is the proposed material for the door?

Please provide the requested information as soon as possible, and please let me know if you have any questions.

Thank You,

Paige

