

DeKalb County Historic Preservation Commission

Monday, April 21, 2024- 6:00 P.M.

Staff Report

Regular Agenda

H. 334 Durand Falls, Juan Ramirez. Replace roof, door, and windows, and construct a rear addition and a second story addition on a nonhistoric house. **1247500**

Built in 1964 - Nonhistoric (18 004 17 038)

This property is in the Chelsea Height Character Area but is not in a National Register Historic District.

Summary

This property is considered nonhistoric for the Druid Hills Local Historic District; All properties along Durand Falls Drive are considered nonhistoric. The applicant proposes the following work:

1. Construct a single-story rear addition. The 868 square foot addition will be constructed on the rear of the house, near the Northern property line. The existing rear sunroom addition will be removed to construct the new rear addition. The addition will be constructed with Hardi plank siding and a gable asphalt shingle roof with two skylights installed on the slope of the roof facing towards the Northern property line. A four-panel sliding door will be installed on the rear of the new addition, leading out to the backyard. Two transom fixed windows will be installed above the sliding door, in the gable of the addition.
2. Construct a covered back porch. A roughly 300 square foot covered porch and stairs will be constructed on the rear of the proposed single-story addition. The covered porch will be constructed with a vaulted asphalt shingle roof and a concrete patio.
3. Construct a second-floor addition. A second-floor addition will be constructed above the current hyphen addition and the existing garage. The siding and windows of the hyphen will be removed and replaced with Hardi plank siding and single pane casement windows with sections cement siding panels; the second-floor addition above the hyphen section will be constructed with the same materials, with a shed dormer above the set of casement windows and standing seam metal roof set 24" below the roof ridge of the existing roof and the second story addition above the garage. The hyphen section will remain recessed from the front façade of the house by 4'. The second-floor addition above the garage will be constructed with an asphalt shingle false Gambrel roof to match the existing roof, a shed dormer on the front façade to match the existing dormers on the front of the house, and a shed dormer on the rear of the addition as well.
4. Construct a dormer of the front façade of the house. A new shed dormer will be constructed in the center of the front façade of the house, above the front entrance and between the two existing shed dormer. The dormer will be constructed with asphalt shingle roofing, Hardi plank siding, and a single pane fixed window.
5. Remove free-standing wood deck. The free-standing wood deck, located front side yard on the Northern property line, will be demolished and removed.
6. Replace existing exterior features. This includes:
 - a. Roofing. The existing architectural shingle roofing will be replaced in kind with new architectural asphalt shingles.
 - b. Siding. All existing siding will be replaced with painted Hardi plank siding.

- c. Gutters and downspouts. All gutters and downspouts will be replaced.
 - d. Doors. The set of two divided garage doors will be removed and replaced with a single, large garage door with four vertical windows along the edge of the door. The wood front door will be removed and replaced with a wood or fiberglass door with horizontal grooves.
 - e. Windows. All of the current wood windows will be removed and replaced with single pane casement or fixed fiberglass windows, including those currently with simulated and true divided lites.
 - f. Driveway. The current 1081 square foot asphalt driveway will be removed and replaced with a 1468 square foot concrete driveway in the same location, connecting to Durand Falls Drive.
 - g. Side walkway. The current concrete patio and side walkway will be removed, and a new concrete walkway will be installed. The new walkway will be located in the same area as the previous walkway, along the Northern property line, but will be extended to reach the back-corner of the proposed rear addition.
 - h. Front walkway. The current concrete front walkway will be replaced in kind with new concrete and no change to size, location, or orientation.
7. Renovate front entrance. A painted metal handrail will be installed along the side of the existing concrete steps leading to the front entrance. Additionally, two concrete planters will be installed on the other side of the front stoop and steps.
 8. Paint exterior brick. The exterior brick veneer will be painted.

Recommendation

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval. This application appears to meet the Chelsea Heights guidelines, and the staff recommends approval. Although Chelsea Heights guidelines do not prohibit painting brick, in addition to changing the architectural character of the building, it may cause future problems if moisture is trapped next to the brick.

U.S. Department of the Interior, Heritage Preservation Services Preservation Brief #1, "Assessing Cleaning and Water-Repellant Treatments for Historic Masonry Buildings."

<https://www.nps.gov/orgs/1739/upload/preservation-brief-01-cleaning-masonry.pdf>

"Generally, however, waterproof coatings, which include elastomeric paints, should almost never be applied above grade to historic masonry buildings." (pg. 15)

"An elastomeric coating holds moisture in the masonry because it does not "breathe" and does not allow liquid moisture to escape. If the water pressure builds up sufficiently it can cause the coating to break and pop off as shown in this example, often pulling pieces of the masonry with it." (pg. 15)

U.S. Department of the Interior, Heritage Preservation Services Preservation Brief #38, "Removing Graffiti from Historic Masonry." <https://www.nps.gov/orgs/1739/upload/preservation-brief-38-graffiti.pdf>

"Like transparent coatings, pigmented coatings may be difficult or impossible to remove completely once their performance or appearance is no longer satisfactory." (pg. 9)

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

7.0 Additions & New Construction - Preserving Form & Layout The Druid Hills Local Historic District continues to change and evolve over time. For this area to meet contemporary needs, additions are built, uses change, and new buildings are constructed. The challenge is not to prevent change but to ensure that, when it does inevitably happen, it is compatible with the historic character of the area.

A new building is compatible with its historic setting when it borrows design characteristics and materials from adjacent buildings and integrates them into a modern expression. Before undertaking new development, be it a new building or changes or additions to existing buildings, take time to evaluate what makes the property and the neighborhood distinctive. Evaluate what type of impact the new development will have on the property and neighborhood. Decide how the development can best be designed to complement the property and area.

The underlying guideline for new construction and additions is to consider one's neighbors and nearby structures and reinforce the existing historic character through sensitive, compatible design.

Note that many of these guidelines refer to new development or new construction but are equally applicable to additions to existing buildings.

7.1 *Defining the Area of Influence* (p64) Guideline - In considering the appropriateness of a design for a new building or addition in a historic district, it is important to determine the area of influence. This area should be that which will be visually influenced by the building, i.e. the area in which visual relationships will occur between historic and new construction.

7.2 *Recognizing the Prevailing Character of Existing Development* (p65) Guideline - When looking at a series of historic buildings in the area of influence, patterns of similarities may emerge that help define the predominant physical and developmental characteristics of the area. These patterns must be identified and respected in the design of additions and new construction.

7.2.1 *Building Orientation and Setback* (p66) Guideline - The orientation of a new building and its site placement should appear to be consistent with dominant patterns within the area of influence, if such patterns are present.

7.2.2 *Directional Emphasis* (p67) Guideline - A new building's directional emphasis should be consistent with dominant patterns of directional emphasis within the area of influence, if such patterns are present.

7.2.3 *Shape: Roof Pitch* (p68) Guideline - The roof pitch of a new building should be consistent with those of existing buildings within the area of influence, if dominant patterns are present.

7.2.3 *Shape: Building Elements* (p68) Guideline - The principal elements and shapes used on the front facade of a new building should be compatible with those of existing buildings in the area of influence, if dominant patterns are present.

7.2.3 *Shape: Porch Form* (p68) Guideline - The shape and size of a new porch should be consistent with those of existing historic buildings within the area of influence, if dominant patterns are present.

7.2.4 *Massing* (p69) Guideline - The massing of a new building should be consistent with dominant massing patterns of existing buildings in the area of influence, if such patterns are present.

- 7.2.5 *Proportion* (p70) Guideline - The proportions of a new building should be consistent with dominant patterns of proportion of existing buildings in the area of influence, if such patterns are present.
- 7.2.6 *Rhythm* (p71) Guideline - New construction in a historic area should respect and not disrupt existing rhythmic patterns in the area of influence, if such patterns are present.
- 7.2.7 *Scale/Height* (p72) Guideline - New construction in historic areas should be consistent with dominant patterns of scale within the area of influence, if such patterns are present. Additions to historic buildings should not appear to overwhelm the existing building.
- 7.2.7 *Scale/Height* (p72) Guideline - A proposed new building should appear to conform to the floor-to-floor heights of existing structures if there is a dominant pattern within the established area of influence. Dominant patterns of cornice lines, string courses, and water tables can be referenced to help create a consistent appearance.
- 7.2.8 *Individual Architectural Elements* (p73) Guideline - New construction and additions should be compatible and not conflict with the predominant site and architectural elements—and their design relationships—of existing properties in the area of influence.
- 7.3.1 *Additions* (p74) Recommendation - While an addition should be compatible, it is acceptable and appropriate for it to be clearly discernible as an addition rather than appearing to be an original part of the building. Consider providing some differentiation in material, color, and/or detailing and setting additions back from the historic building's wall plane.
- 7.3.1 *Additions* (p74) Recommendation - These guidelines do not recommend adding false historical details to a noncontributing building in an effort to make it more compatible with surrounding historic buildings. Every effort should be made, however, to ensure that additions and alterations to the property do not detract further from the character of the historic environment, keeping in mind the design concepts discussed in Section 7.2.
- 9.5 *Parking* (p90) Recommendation - It is preferable to expand an existing driveway for parking rather than to add a separate parking pad, since the result is usually less paved surface. Plant materials can be added around parking spaces to visually buffer the parking from the street.
- 11.0 *Nonhistoric Properties* (p93) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.
- 17.0 Chelsea Heights Character Area
- 17.1 *Setbacks* – Recommendation – New construction front-yard setbacks should rarely exceed the plane of existing setbacks. In other words, the distance from the street should be about the same for new construction as adjacent existing homes.
- 17.2 *Horizontal emphasis* – Guideline – New construction and additions should preserve and reinforce the streetscape character of Chelsea Heights by maintaining the predominant horizontal building emphasis of the neighborhood. Primary building facades should create a horizontal emphasis versus a vertical emphasis.
- 17.3 *Plate heights* – Recommendation – New construction and additions should have plate heights that are compatible with those of adjacent properties and homes along the street. Ensuring compatible plate heights can address, more specifically, the appropriate scale of new construction than addressing the number of stories alone.
- 17.4 *Scale* – Recommendation – In keeping with the guidelines of scale, the perceived scale of new infill residences and additions should be minimized. New construction or additions generally should be consistent with the height of nearby structures. Typically, there should be no more than two floors as viewed from primary street frontage to ensure compatibility with the predominant housing character of Chelsea Heights. This means that those lots that slope down and away from the fronting street can accommodate taller structures and still maintain the general character of the street. Lots that slope upward from the street will need special attention given to building height and rooflines to avoid a building that towers over the street and neighboring homes. Special attention will need to be paid to

foundation heights and topography represented on drawings to ensure that foundation do not add to the visual perception of height.

- 17.5 *Roofs – Guideline* – Primary roof forms on new and renovated buildings should be side gable, flat or hip roofs. Front gable roofs are appropriate when they are greatly subordinate to the primary.
- 17.6 *Roof pitch – Guideline* – Roofs typically should feature a low (4/12) to moderate (12/12) pitch.
- 17.9 *Additions – Recommendation* – Place an addition at the rear of a building or set back from the front to minimize the visual impact on the original structure to allow the original proportions and character to remain prominent and to differentiate the old from the new.

Special note regarding materials – In general, materials should be in keeping with those that are endemic to the neighborhood, namely, wood, granite, brick and asphalt. However, newer material may be introduced into the neighborhood if in keeping with the historical context of these older materials. For example, the use of cementitious siding that mimics the profile and texture of wood (commonly referred to as Hardieplank) may be consistent with some exterior applications. The introduction of some “green” materials, for example, solar shingling and panels, may be appropriate and should be given special design consideration.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

Application for Certificate of Appropriateness

Date submitted: 03/21/25 Date Received: _____
Address of Subject Property: 334 Durand Falls Drive, Decatur, GA 30030
Applicant: Juan Ramirez E-Mail: jramirez@studiod-c.com
Applicant Mailing Address: 309 Woodview Drive, Decatur, GA 30030
Applicant Phone: 770 318 2782

Applicant's relationship to the owner: Owner ☐ Architect ☐ Contractor/Builder ☒ Other ☐

Owner(s): Christoper Fawcett Email: cfir13@me.com
Owner(s): Ivo Ruck Email: ivo.ruck@gmail.com
Owner(s) Mailing Address: 334 Durand Falls Drive, Decatur, GA 30030
Owner(s) Telephone Number: 470 685 8042

Approximate date of construction of the primary structure on the property and any other structures affected by this project: 1964

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input checked="" type="checkbox"/>
Demolition	<input checked="" type="checkbox"/>	Landscaping	<input type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input checked="" type="checkbox"/>	Fence/Wall	<input type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

The project scope of work consists of the interior renovation of the existing structure, a rear addition (new kitchen, family room and covered porch) and a second floor addition(master suite). The exterior of the existing structure will be updated with a new roof and new doors & windows.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjvennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Christopher Fawcett & Ivo Ruck

being owner(s) of the property at: 334 Durand Falls Drive, Decatur, Ga 30030

hereby delegate authority to: Juan Ramirez- Studio d+c, Inc.

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):



Date:

3/20/2025

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner (404/371- 2155). Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

ARCHITECTURAL SYMBOLS

ELEVATION SYMBOL

ELEVATION REFERENCE NUMBER

SHEET ON WHICH THE ELEVATION IS DRAWN

SECTIONS SYMBOL

SECTION/ DETAIL REFERENCE NUMBER

SHEET ON WHICH THE SECTION/DETAIL IS DRAWN

ELEVATION SYMBOL

ELEVATION REFERENCE NUMBER

SHEET ON WHICH THE ELEVATION IS DRAWN

DRWAING NAME SYMBOL

DRAWING REFERENCE NUMBER

TITLE

SCALE: 1/8"=1'-0"

DRAWING NAME

DRAWING SCALE

DRWAING NAME SYMBOL

NORTH

ZONING SUMMARY

PROJECT NAME : NEW ADDITION & RENOVATION
FAWCETT RESIDENCE

ADDRESS : 334 DURAND FALLS DRIVE, DECATUR, GA 30030

STRUCTURE DESCRIPTION: FOUR BEDROOM, 3 BATHROOMS, TWO STORY WOOD FRAMED SINGLE FAMILY RESIDENCE.
THE MAIN EXTERIOR MATERIALS ARE BRICK AND WOOD SIDING.
ASPHALT SHINGLES ARE USED AS THE MAIN ROOFING MATERIAL.

ZONING: R-75

USE: DETACHED SINGLE-FAMILY DWELLING

TOTAL LOT AREA: 21,634 SF

TOTAL LOT COVERAGE SUMMARY- IMPERVIOUS SURFACES:

SEE A1.00 SURVEY &
A1.01 PROPOSED SITE PLAN

TOTAL FLOOR AREA SUMMARY:

FLOOR AREA FINISHED BASEMENT: 580 SF (EXIST. TO REMAIN)
FLOOR AREA LEVEL 1: 1614 SF, EXIST. TO REMAIN (GARAGE NOT INCLUDED)
815 SF NEW BACK ADDITION (COVERED PORCH & OUTDOOR STORAGE NOT INCLUDED)
FLOOR AREA LEVEL 2: 1086 SF, EXIST. TO REMAIN
932 SF NEW SECOND FLOOR ADDITION

FLOOR AREA GARAGE: 382 SF, EXIST. TO REMAIN
FLOOR AREA NEW REAR PORCH ADDITION AND OUTDOOR STORAGE: 361 SF

APPLICABLE CODES

INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION WITH GEORGIA STATE AMENDMENTS (2025)

INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 EDITION WITH GEORGIA STATE AMENDMENTS (2024)

INTERNATIONAL FIRE CODE (IFC), 2018 EDITION (NO GEORGIA AMENDMENTS)

INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION WITH GEORGIA STATE AMENDMENTS (2024)

INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION WITH GEORGIA STATE AMENDMENTS (2024)

INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION WITH GEORGIA STATE AMENDMENTS (2022)

NFPA NATIONAL ELECTRICAL CODE (NEC), 2023 EDITION (NO GEORGIA AMENDMENTS)

INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS), 2018 EDITION WITH GEORGIA AMENDMENTS (2020)

INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2015 EDITION WITH GEORGIA STATE SUPPLEMENTS AND AMENDMENTS (2023)

2018 NFPA 101 LIFE SAFETY CODE WITH ALL GEORGIA STATE AMENDMENTS

GEORGIA ACCESSIBILITY CODE- GAC 120-3-20

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

GEORGIA AMENDMENTS - PRESCRIPTIVE DECK DETAILS BASED ON 2012 IRC

PROJECT DESCRIPTION

THE EXISTING STRUCTURE LOCATED AT 334 DURAND FALLS DRIVE, DECATUR, GA, WAS CONSTRUCTED IN 1964 AS A WOOD FRAMED SINGLE FAMILY RESIDENCE.

THE PROJECT SCOPE OF WORK CONSISTS OF THE INTERIOR RENOVATION OF THE EXISTING STRUCTURE, A REAR ADDITION (NEW KITCHEN, FAMILY ROOM AND COVERED PORCH) AND A SECOND FLOOR ADDITION (MASTER SUITE)

THE EXTERIOR OF THE EXISTING STRUCTURE WILL BE UPDATED WITH A NEW ROOF AND NEW DOORS & WINDOWS.

PROJECT TEAM

OWNER:

CHRIS FAWCETT & IVO RUCK
334 DURAND FALLS DRIVE
DECATUR, GA 30030

CONTRACTOR AND PROJECT DESIGNERS:

STUDIO d+c, INC.
309 WOODVIEW DRIVE
DECATUR, GA 30030
CONTACT: JUAN RAMIREZ
OFFICE: 403 377 7346
CELL: 770 318 2782
FAX: 404 377 9860
EMAIL: jramirez@studlod-c.com
WEB: www.studlod-c.com

FRONT SETBACK:

EXISTING TO REMAIN, WILL NOT CHANGE. 35'-0"

SIDE SETBACKS:

EXISTING TO REMAIN, WILL NOT CHANGE. 7'-6"

REAR SETBACK:

EXISTING TO REMAIN, WILL NOT CHANGE. 40'-0"

BUILDING HEIGHT :

EXISTING TO REMAIN, WILL NOT CHANGE
ROOF OF NEW SECOND FLOOR ADDITION WILL ALIGN WITH THE ROOF OF THE EXISTING STRUCTURE.

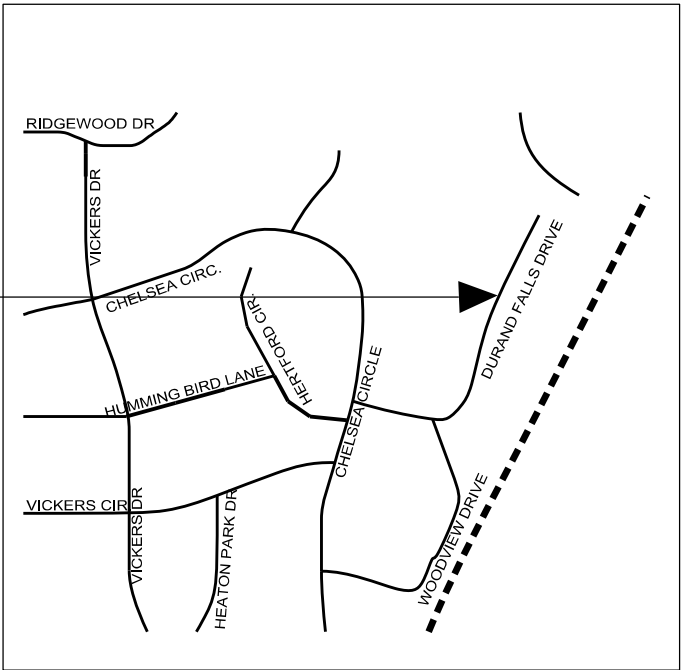
NOTE: THIS PROJECT RENOVATION/ADDITION
WILL NOT DESTROY OR DISTURB THE ADJACENT
SOIL OR ROOT SYSTEMS OF EXISTING TREES .

NO TREES WILL BE REMOVED OR DAMAGED

DRAWING INDEX

G0.01	COVER SHEET
A1.00	PROPERTY SURVEY
A1.01	PROPOSED SITE PLAN
A2.00	EXISTING/ DEMOLITION PLAN- BASEMENT
A2.01	EXISTING/ DEMOLITION PLAN- LEVEL 1
A2.02	EXISTING/ DEMOLITION PLAN- LEVEL 2
A2.03	EXISTING/ DEMOLITION PLAN- ROOF
A3.00	NEW FLOOR PLAN- BASEMENT
A3.01	NEW FLOOR PLAN - LEVEL 1
A3.02	NEW FLOOR PLAN- LEVEL 2
A3.03	NEW ROOF PLAN
A4.01	EXISTING/ DEMOLITION ELEVATIONS
A4.02	EXISTING/ DEMOLITION ELEVATIONS
A4.03	NEW ELEVATIONS
A4.04	NEW ELEVATIONS
A4.04A	ENLARGED ELEVATION AT BACK PORCH
A9.01	PHOTOS OF EXISTING STRUCTURE
A9.02	PHOTOS OF EXISTING STRUCTURE
A9.03	PROPOSED FRONT DOOR, GARAGE DOORS, HANDRAIL & SIDING

LOCATION MAP



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

NEW ADDITION AND RENOVATION
FAWCETT RESIDENCE
334 DURAND FALLS DRIVE
DECATUR, GA 30030

PRINTING & REVISIONS

03/21/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title	COVER SHEET
Sheet Number	G0.01

RESERVED FOR THE SUPERIOR COURT CLERK

REFERENCE: DEED BOOK 25215 PG 178
PLAT BOOK 37 PG 115

FLOOD HAZARD NOTE: THIS PROPERTY IS LOCATED IN A FLOOD
HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB COUNTY,
GEORGIA 13089C0062K EFFECTIVE DATE AUGUST 15, 2019

SURVEY DATA:

TYPE OF SURVEY: RETRACEMENT
SOURCE OF TITLE DESCRIPTION FOR SUBJECT
PROPERTY: DB 25215 PG 178
PROPERTY OWNER AT TIME OF SURVEY:
IVO K. RUCK & CHRISTOPHER IAN FAWCETT
PARCEL NUMBER: 18-004-17-038

THE HORIZONTAL DATUM IS THE NORTH AMERICAN DATUM OF
1983 READJUSTED IN 2011 (NAD83(2011)). THE VERTICAL DATUM
IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)

THE SOURCE OF VERTICAL DATUM IS THE TRIMBLE CORS NETWORK

TOTAL AREA: 21,634 +/- SQ FT, 0.50 +/- AC

CALCULATED PLAT CLOSURE: 1:148,930

FIELD DATA:

DATE OF FIELD SURVEY 2-20-2025

EQUIPMENT USED:
TRIMBLE S5 ROBOTIC TOTAL STATION
TRIMBLE R2 GPS RECEIVER

334 DURAND FALLS DRIVE IMPERVIOUS CHART	
ZONING: R-75 (DEKALB COUNTY)	
HOUSE = 2,062 S.F.	
ASPHALT DRIVE = 1,081 S.F.	
WOOD DECK / STEPS = 69 S.F.	
FRONT CONCRETE WALK = 139 S.F.	
FRONT STOOP / STEPS = 34 S.F.	
REAR CONCRETE PATIO / WALK = 737 S.F.	
REAR CONCRETE PAD = 15 S.F.	
REAR CONC. BLOCK WALL / STEPS = 127 S.F.	
REAR PAVER WALK = 22 S.F.	
SHED = 24 S.F.	
AC PAD = 7 S.F.	
IMPERVIOUS TOTAL = 4,317 S.F.	
LOT AREA = 21,634 S.F.	
LOT COVERAGE (%) = 20.0	

BOUNDARY & TOPOGRAPHIC SURVEY FOR
CHRISTOPHER FAWCETT & IVO RUCK
LOT 4, BLOCK B, DURAND FALLS ESTATES SUBDIVISION

334 DURAND FALLS DRIVE

DEKALB COUNTY, GEORGIA
LAND LOT 4, DIST 18
DATE: MARCH 5, 2025

GENERAL NOTES:

1: This Plat has been prepared without the benefit of a current title report.
Easements or encumbrances may exist that are not shown on this plat.

2: This plat is subject to any restrictions, easements, covenants
or restrictions that may exist either written or unwritten.

3: Underground utilities not shown hereon may exist. The Surveyor does not take
responsibility for absence or presence of any such utilities.

4: No Geodetic monuments were found within 500 feet of this site

5: This Plat has been prepared for the exclusive use of the person(s) or entities
named hereon.

PLAT NOTES:

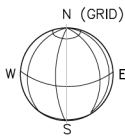
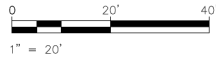
This plat is a retracement of an existing parcel or parcels of land and does not
subdivide or create a new parcel or make any changes to any real property boundaries.
The recording information of the documents, maps, plats, or other instruments which
created the parcel or parcels are stated hereon.

RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION,
AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR
SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land
surveyor certifies that this plat complies with the minimum technical standards for
property surveys in Georgia as set forth in the rules and regulations of the Georgia
Board of Registration for Professional Engineers and Land Surveyors and as set forth
in O.C.G.A. Section 15-6-67.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE
IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING
SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXEMPTED. THIS PLAT
IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT
TO CONFIRM ZONING, PER CITY OR COUNTY ZONING DEPARTMENT.

NOTE: BUILDING TIES SHOULD NOT BE USED FOR
DESIGN OR CONSTRUCTION WITHOUT VERIFICATION



LEGEND

- POC POINT OF COMMENCEMENT
POB POINT OF BEGINNING
EOP EDGE OF PAVEMENT
CURB BACK OF CURB
BSL BUILDING SETBACK LINE (PRIMARY)
FFE FINISHED FLOOR ELEVATION
LLL LAND LOT LINE
PP POWER POLE
GW GUIDE WIRE
R/W RIGHT OF WAY
C.P. CALCULATED POINT
IPF IRON PIN FOUND
IPS 1/2" REBAR SET
SW SIDE WALK
BOLLARD
OHP OVERHEAD POWER
UP UNDERGROUND POWER
-GAS- GAS UNDERGROUND GAS
-W- UNDERGROUND WATER
-UT- UNDERGROUND TELEPHONE
-S- UNDERGROUND SEWER
FH FIRE HYDRANT
FDC FIRE DEPT. CONNECTION
CB CATCH BASIN
DWCH DOUBLE WING CATCH BASIN
SWCB SINGLE WING CATCH BASIN
MH MANHOLE
JB JUNCTION BOX
WM WATER METER
WV WATER VALVE
GV GAS VALVE
GM GAS METER
CO CLEANOUT
EM ELECTRIC METER
AC AIR CONDITIONING UNIT
TELEPHONE BOX
ICB IRRIGATION CONTROL BOX
ICV IRRIGATION CONTROL VALVE
LP LIGHT POLE
CONCRETE PAD
ASPHALT
STONE
GRAVEL

(M) MEASURED
(D) DEED
(P) PLAT



PREPARED BY:
DEKALB SURVEYS, INC.
407 WEST PONCE DE LEON AVENUE
SUITE B
DECATUR, GEORGIA 30030
404.373.9003

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ANY WAY WITHOUT THE WRITTEN
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Curve Table				
Curve #	Length	Radius	Direction	Chord Length
C1	43.48	48.08	N02°25'50"E	42.01

BUILDING HEIGHT SHOWN IS MEASURED FROM THE MEAN FINISHED GROUND
LEVEL AT THE FRONT OF THE BUILDING TO THE HIGHEST POINT OF THE ROOF



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770-318 2782
jramirez@studiod-c.com

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NEW ADDITION AND RENOVATION FAWCETT RESIDENCE 334 DURAND FALLS DRIVE DECATUR, GA 30030

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Documents






XX/XX/XX Released for
Construction

Sheet Title

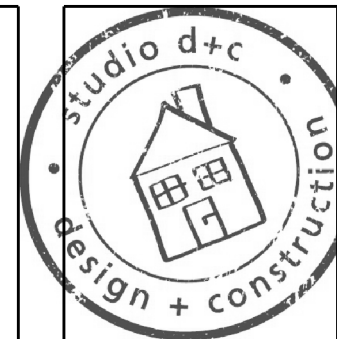
PROPERTY
SURVEY

Sheet Number

A1.00

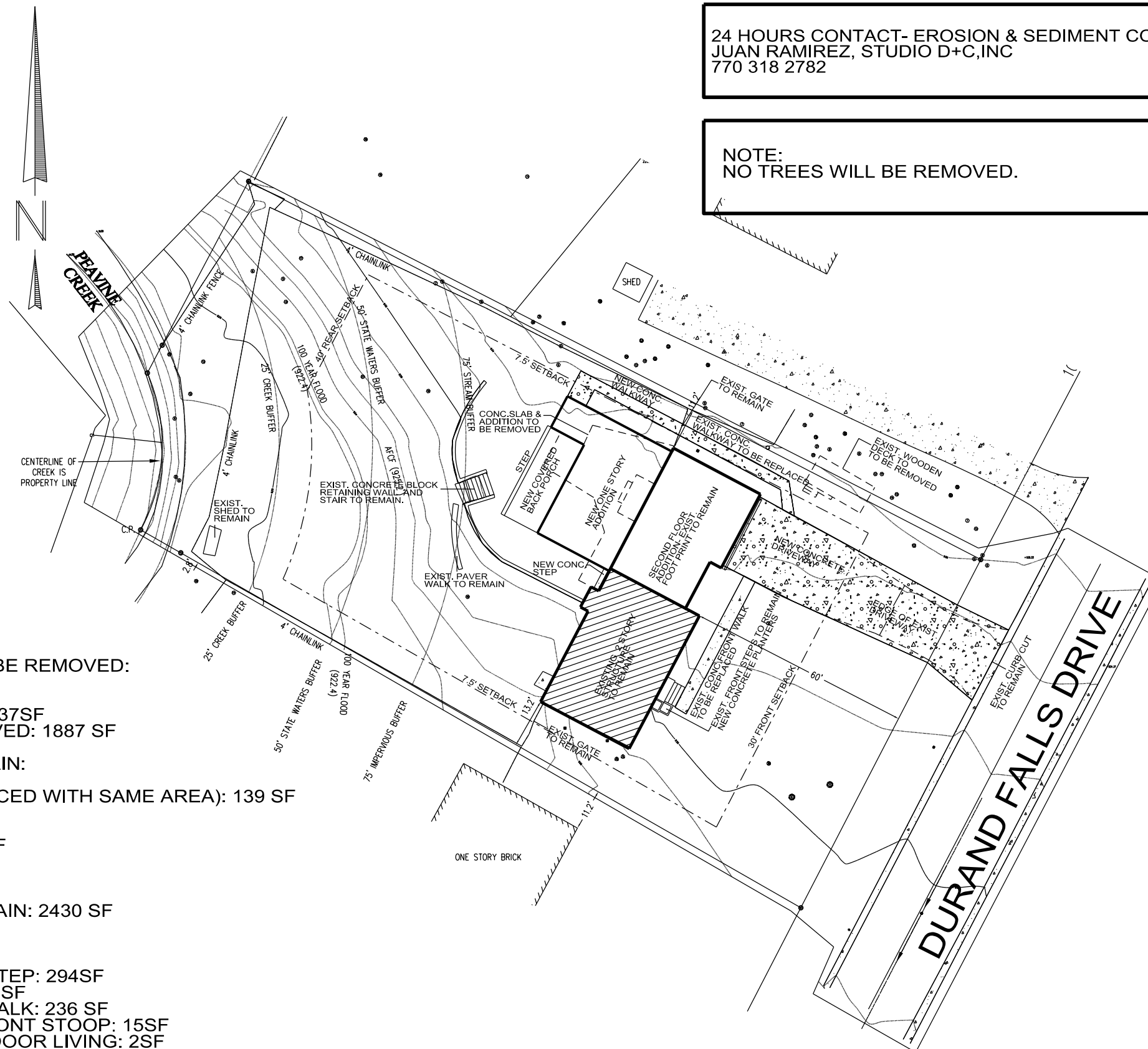
 EXISTING STRUCTURES TO REMAIN
 CONSTRUCTION SILT FENCE
 TREE PROTECTION FENCE
 NEW DISTURBANCE WITHIN CRZ
 EXIST. DISTURBANCE WITHIN CRZ

NOTE:
NO TREES WILL BE REMOVED.



Consultants

TOTAL PROPOSED LOT COVERAGE: 5313 SF
LOT COVERAGE: 24.6%
LOT SIZE: 21,634 SF
MAXIMUM LOT COVERAGE ALLOWED: 35 %



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PROPOSED
SITE PLAN

Sheet Number

A1.01



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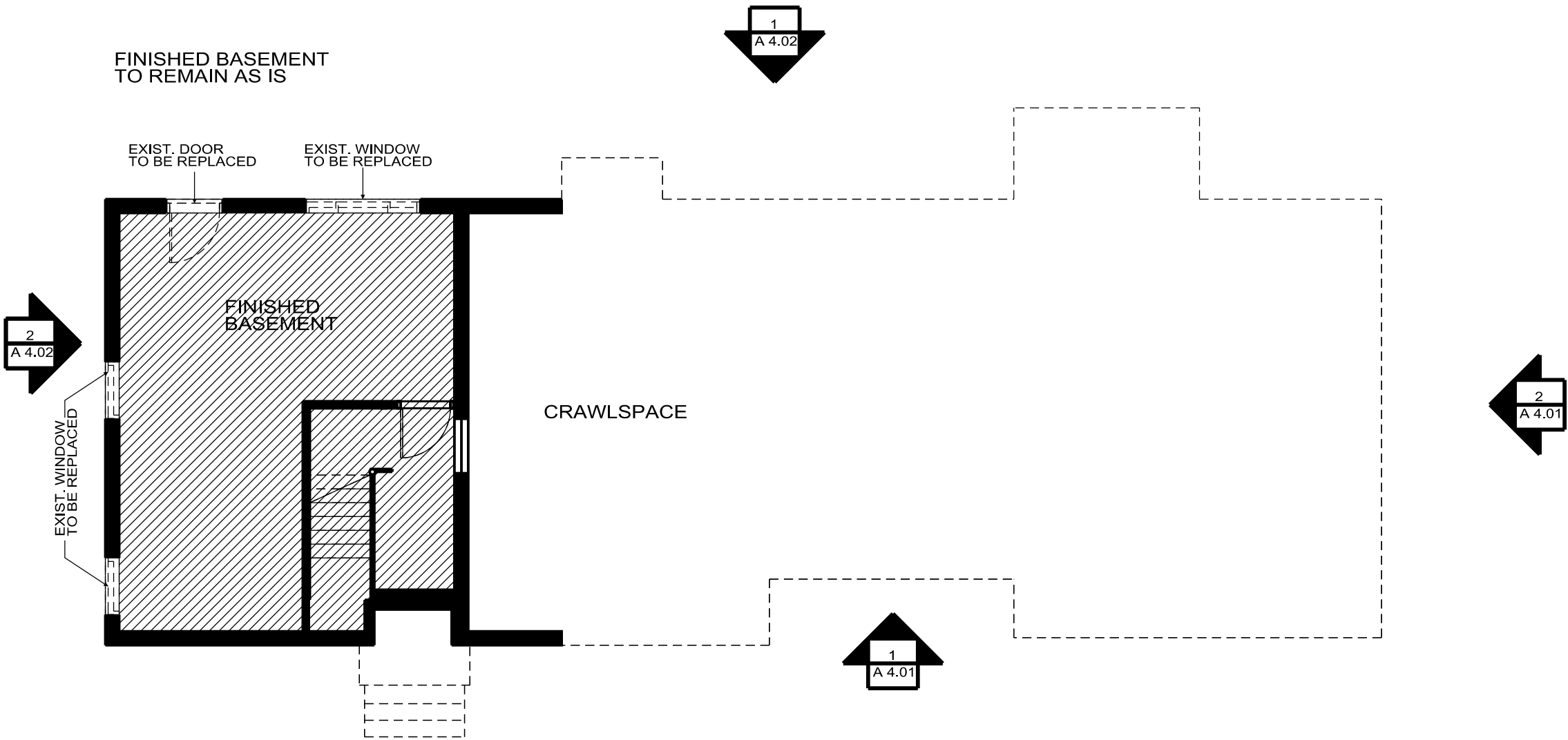
Sheet Title
EXISTING/ DEMO
FLOOR PLAN
BASEMENT

Sheet Number

A2.00

LEGEND :

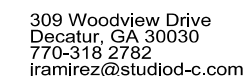
- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- (E) EXIST. DOOR TO REMAIN
- NEW WINDOW
- (E) EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



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1
A 2.00

EXISTING/ DEMO FLOOR PLAN - BASEMENT
SCALE: 1/8"=1'-0"



NEW ADDITION AND RENOVATION
FAWCETT RESIDENCE
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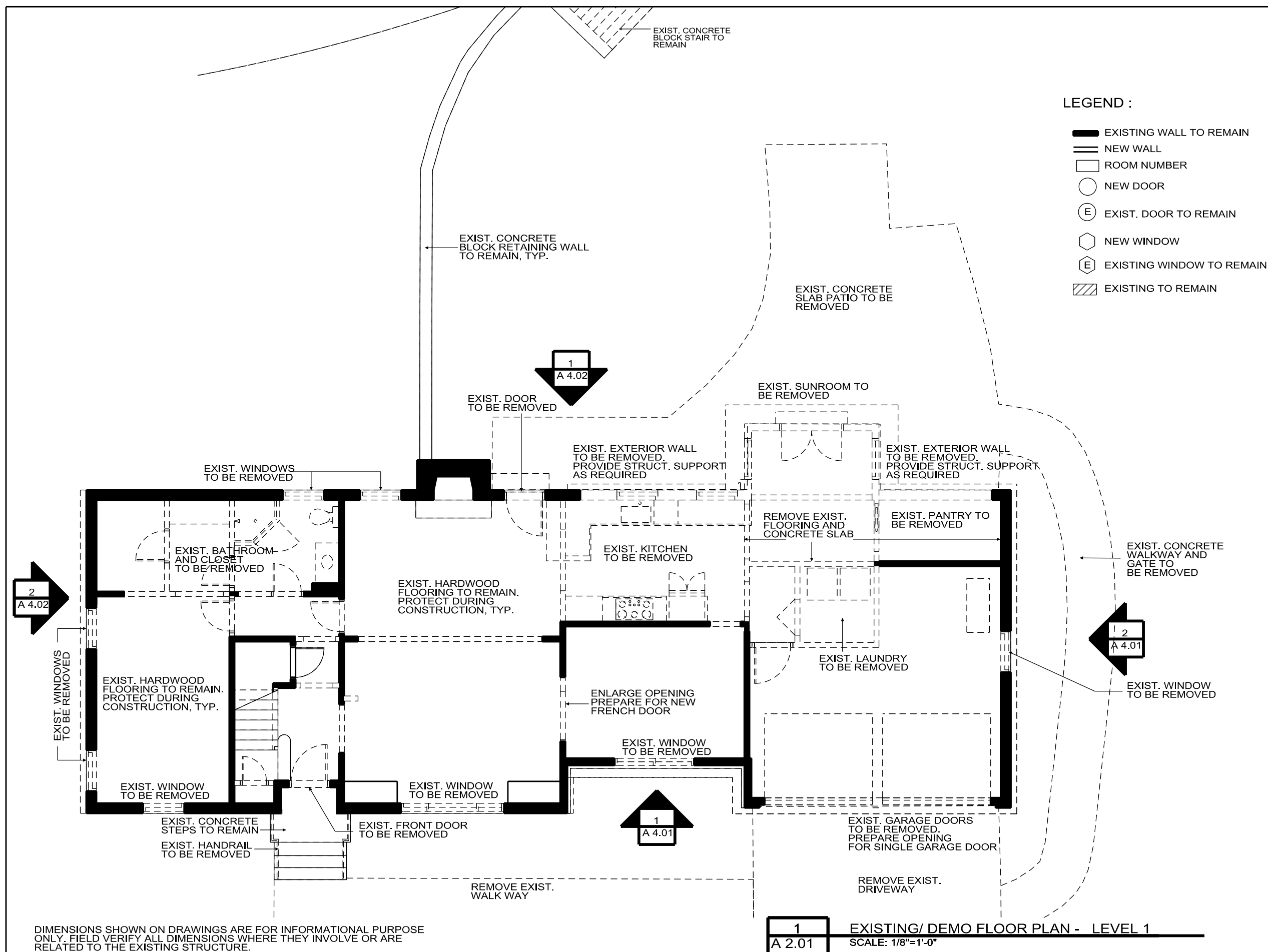
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Sheet Title
EXISTING/ DEMO
FLOOR PLAN
LEVEL 1

Sheet Number

A2.01





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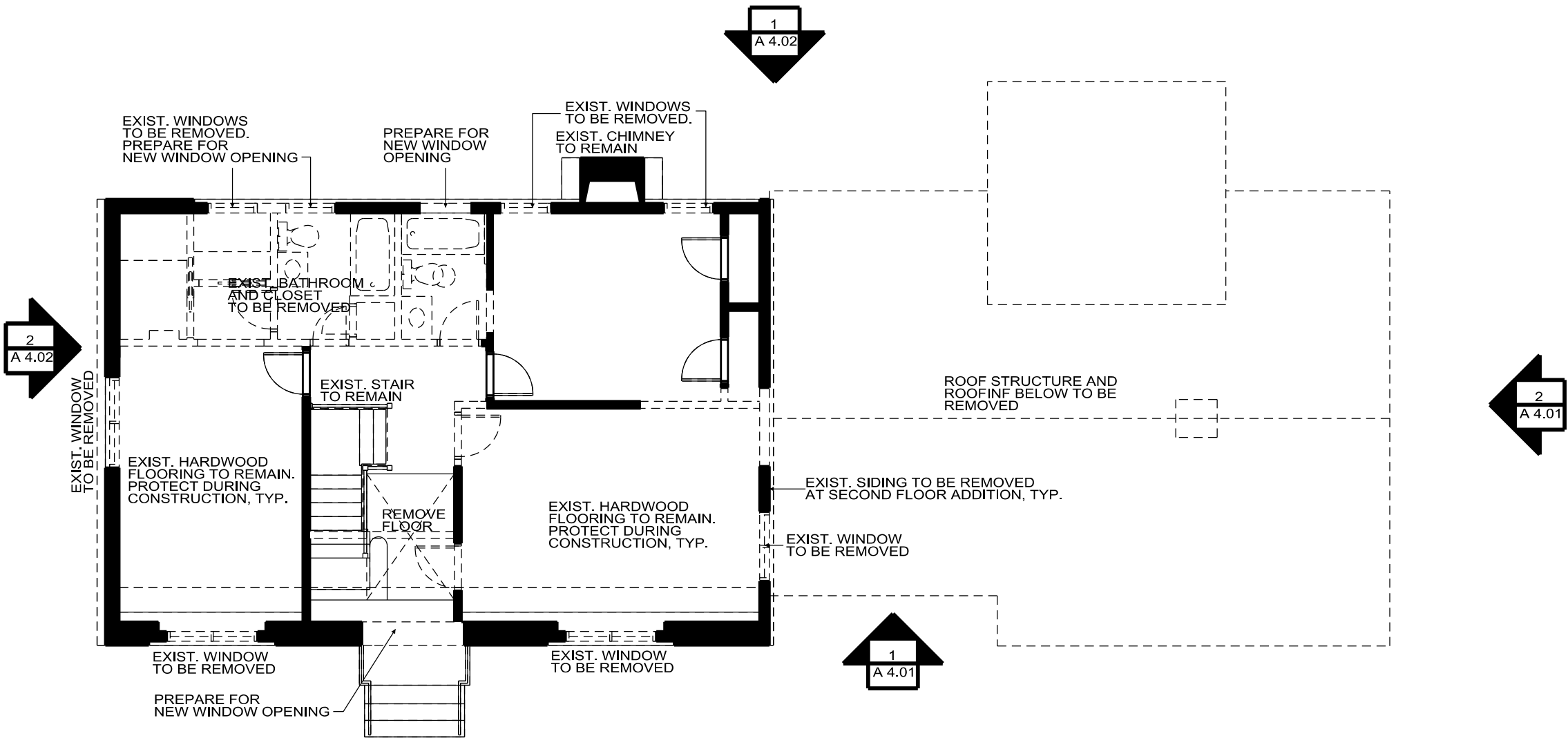
Sheet Title
EXISTING/ DEMO
FLOOR PLAN
LEVEL 2

Sheet Number

A2.02

LEGEND :

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



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1
A 2.02

EXISTING/ DEMO FLOOR PLAN - LEVEL 2
SCALE: 1/8"=1'-0"



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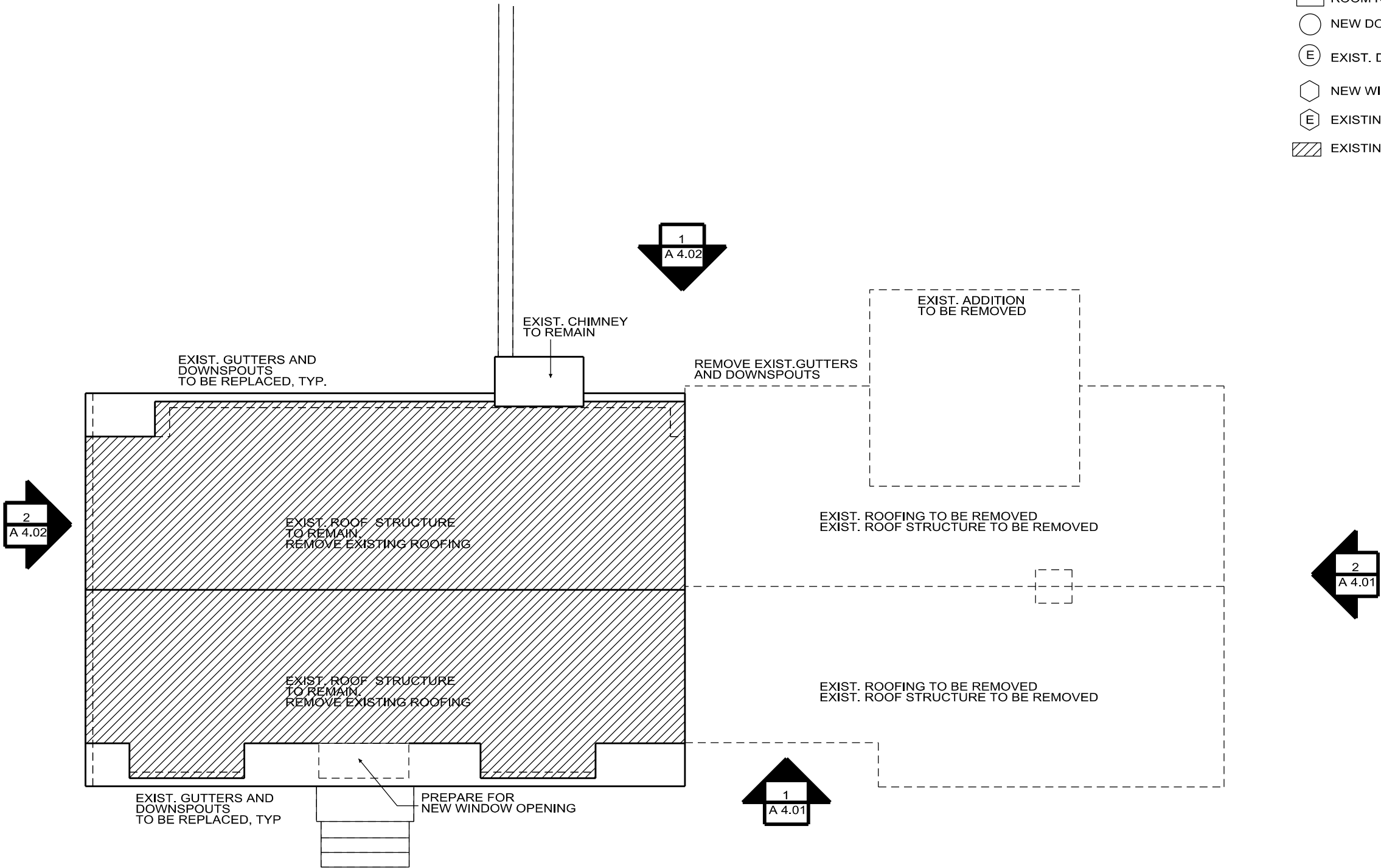
Sheet Title
EXISTING/ DEMO
ROOF PLAN

Sheet Number

A2.03

LEGEND :

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- (E) EXIST. DOOR TO REMAIN
- NEW WINDOW
- (E) EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



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1
A 2.02

EXISTING/ DEMO ROOF PLAN
SCALE: 1/8"=1'-0"



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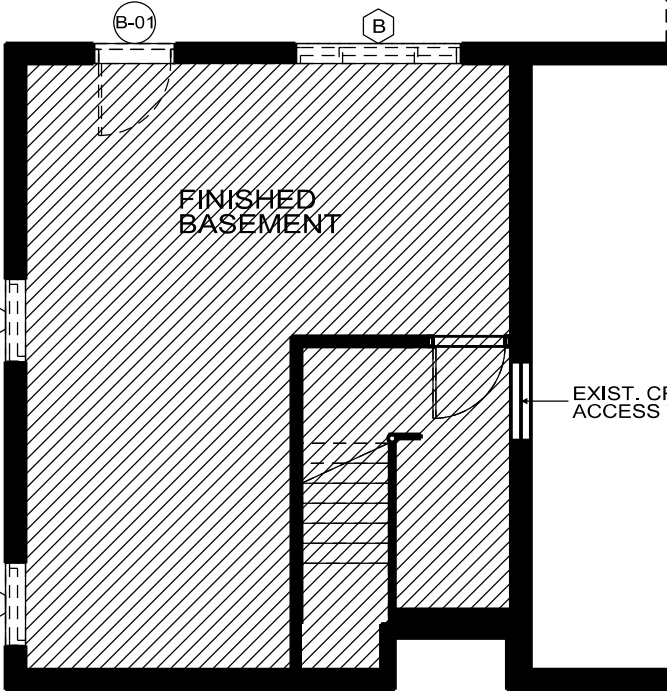
XX/XX/XX Construction
Documents

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Construction

Sheet Title	
NEW FLOOR PLAN BASEMENT	
Sheet Number	
A3.00	

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN

FINISHED BASEMENT
TO REMAIN AS IS



CRAWLSPACE

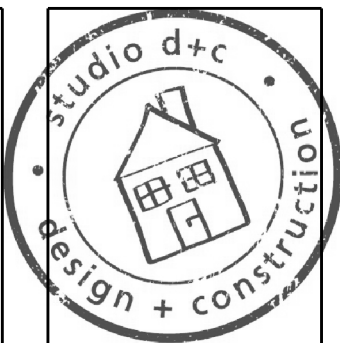
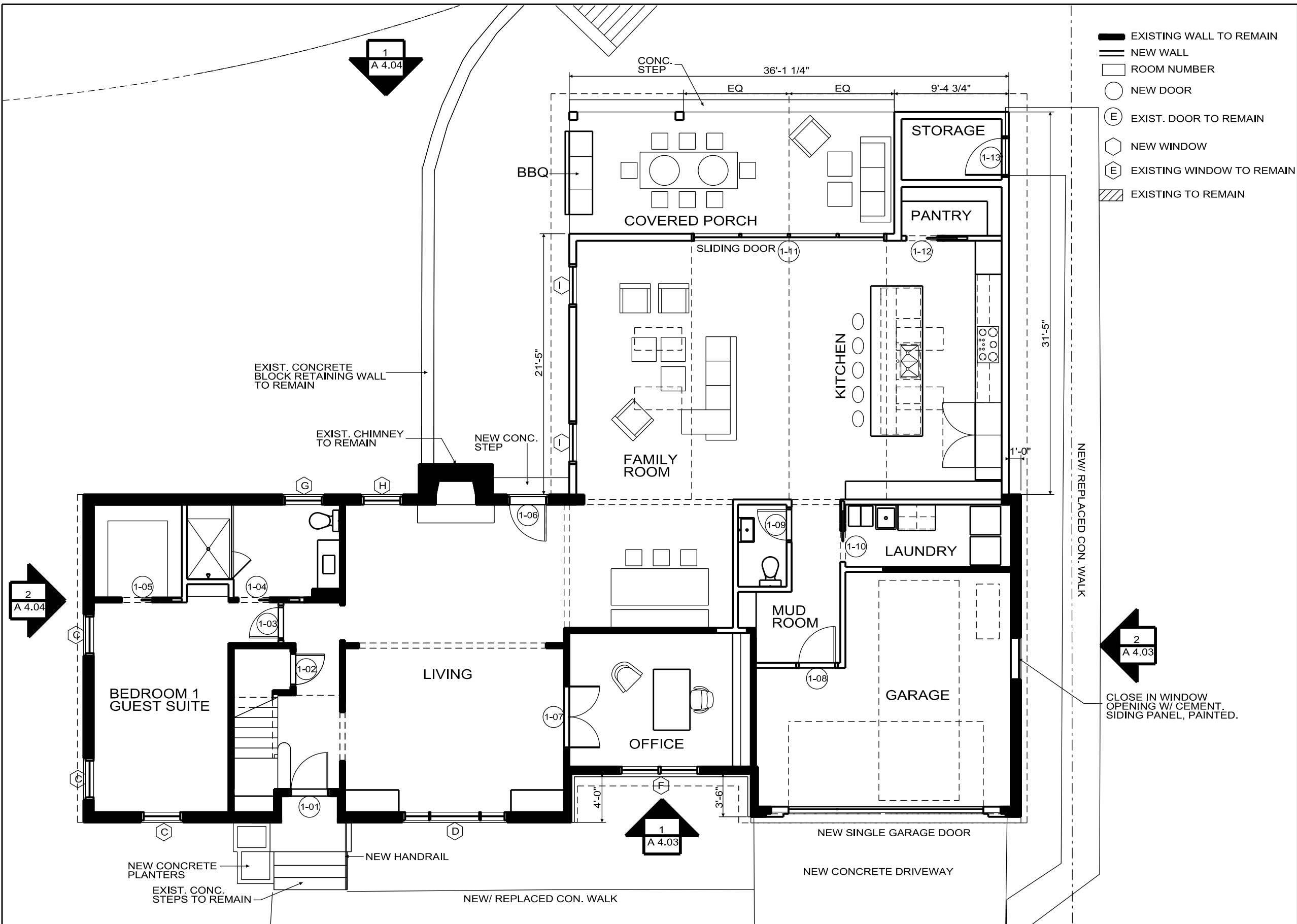
EXIST. CRAWLSPACE
ACCESS TO REMAIN

FRONT DOOR STEPS
ABOVE

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1
A 3.00

NEW FLOOR PLAN - BASEMENT
SCALE: 1/8"=1'-0"



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Sheet Title
NEW FLOOR PLAN
LEVEL 1

Sheet Number

A3.01

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1
A 3.01
NEW FLOOR PLAN - LEVEL 1
SCALE: 1/8"=1'-0"



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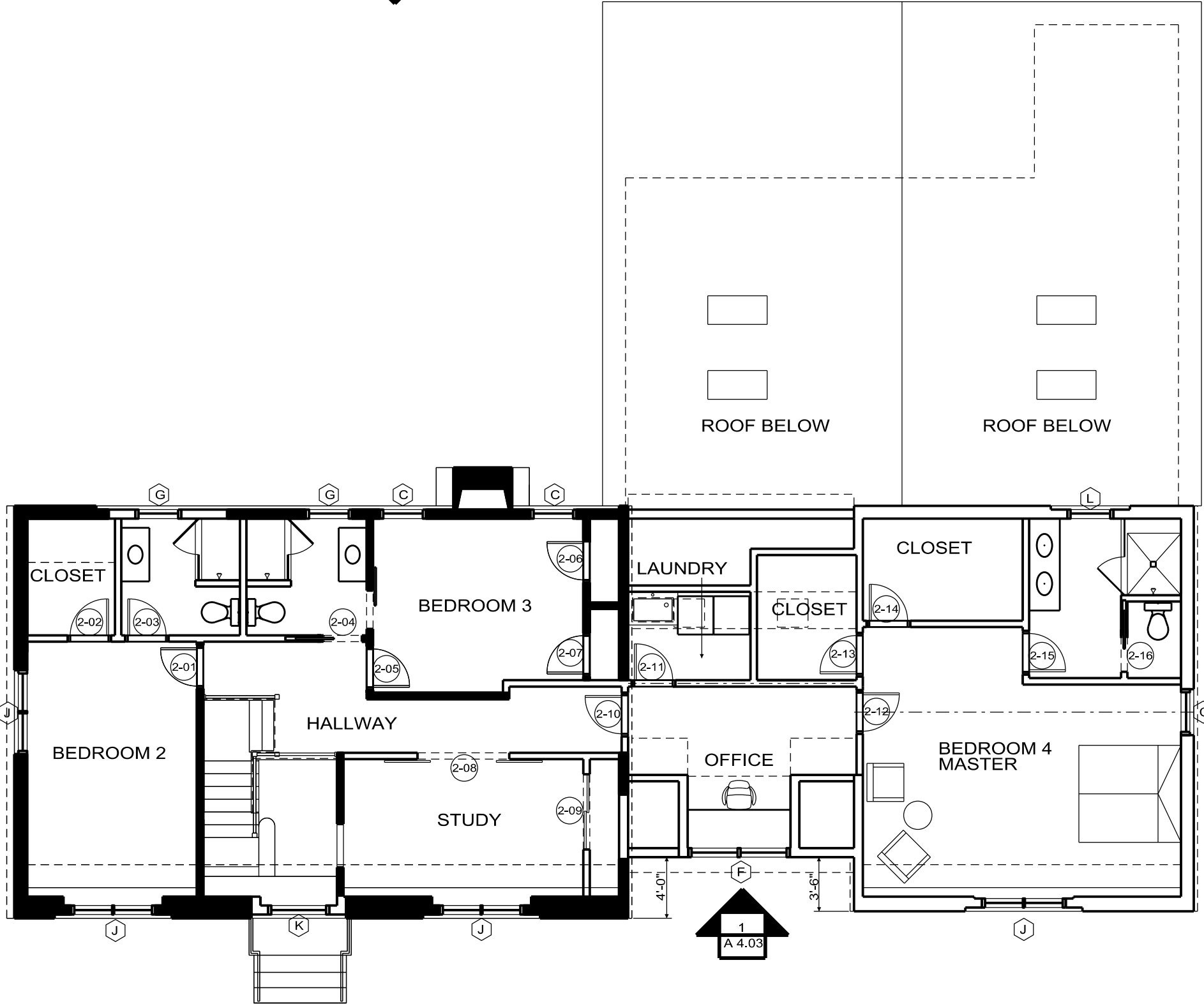
XX/XX/XX Construction
Documents
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Construction

Sheet Title
NEW FLOOR PLAN
LEVEL 2

Sheet Number

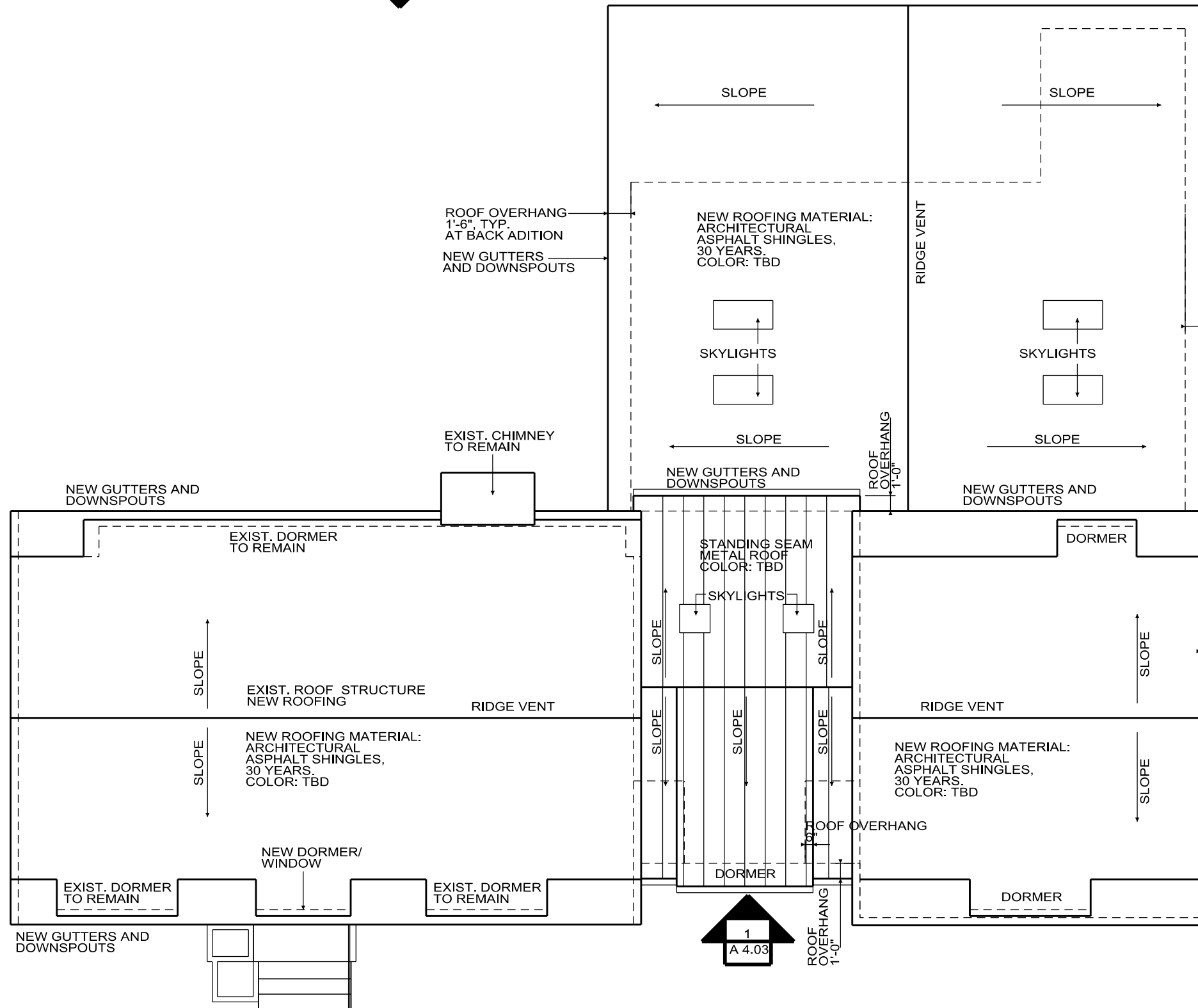
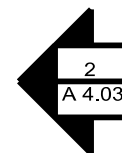
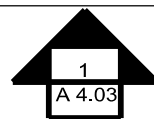
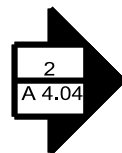
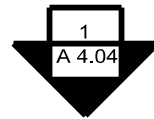
A3.02

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



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1
A 3.02
NEW FLOOR PLAN - LEVEL 2
SCALE: 1/8"=1'-0"



- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



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Sheet Title
NEW ROOF PLAN

Sheet Number

A3.03

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1
A 3.03

NEW ROOF PLAN
SCALE: 1/8"=1'-0"



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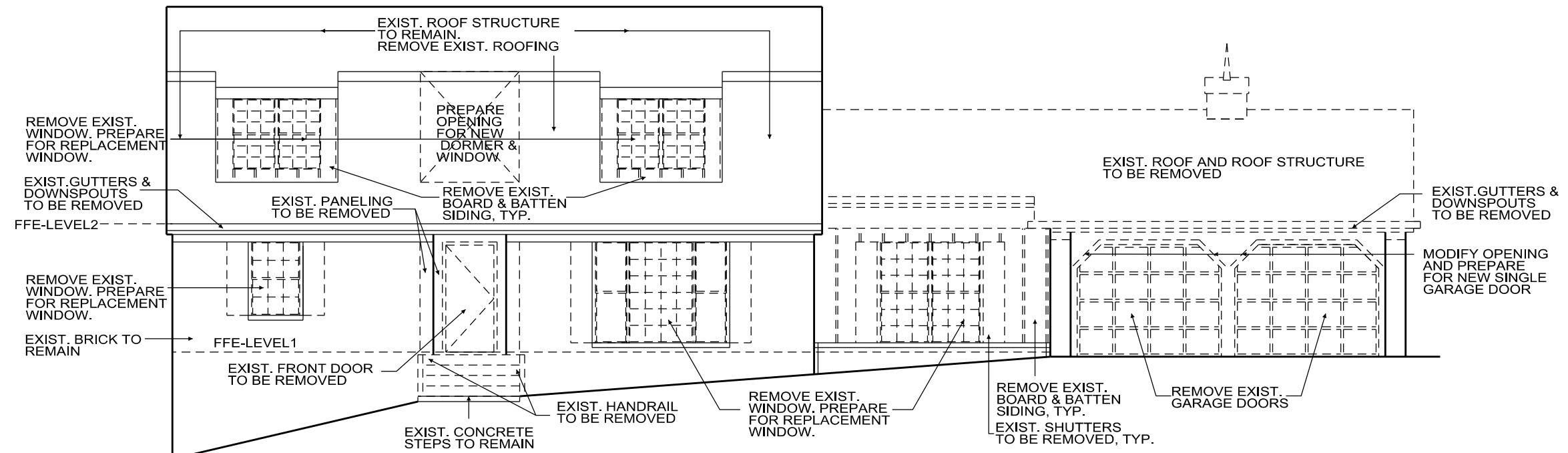
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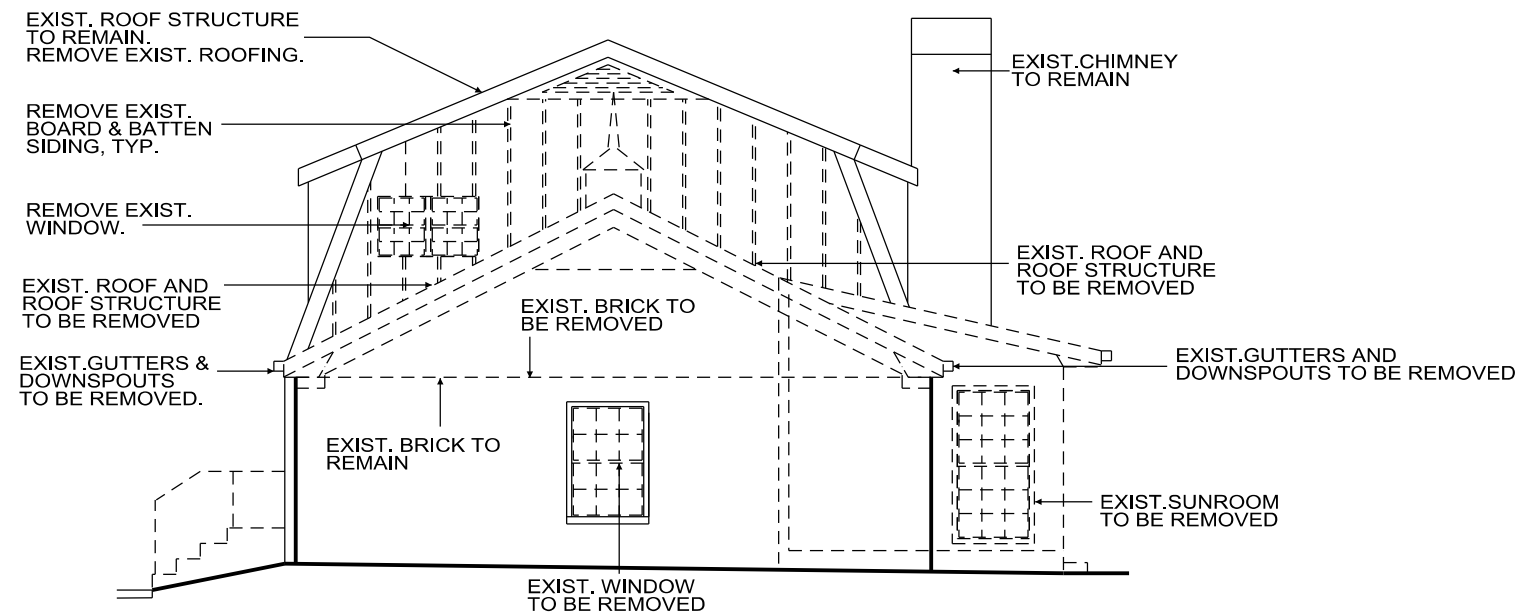
XX/XX/XX Construction
Documents

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Construction

Sheet Title EXISTING ELEVATIONS
Sheet Number A4.01



1
A 4.01 **EXISTING/ DEMOLITION FRONT ELEVATION- EAST**
SCALE: 1/8"=1'-0"



2
A 4.01 **EXISTING/ DEMOLITION ELEVATION- NORTH**
SCALE: 1/8"=1'-0"

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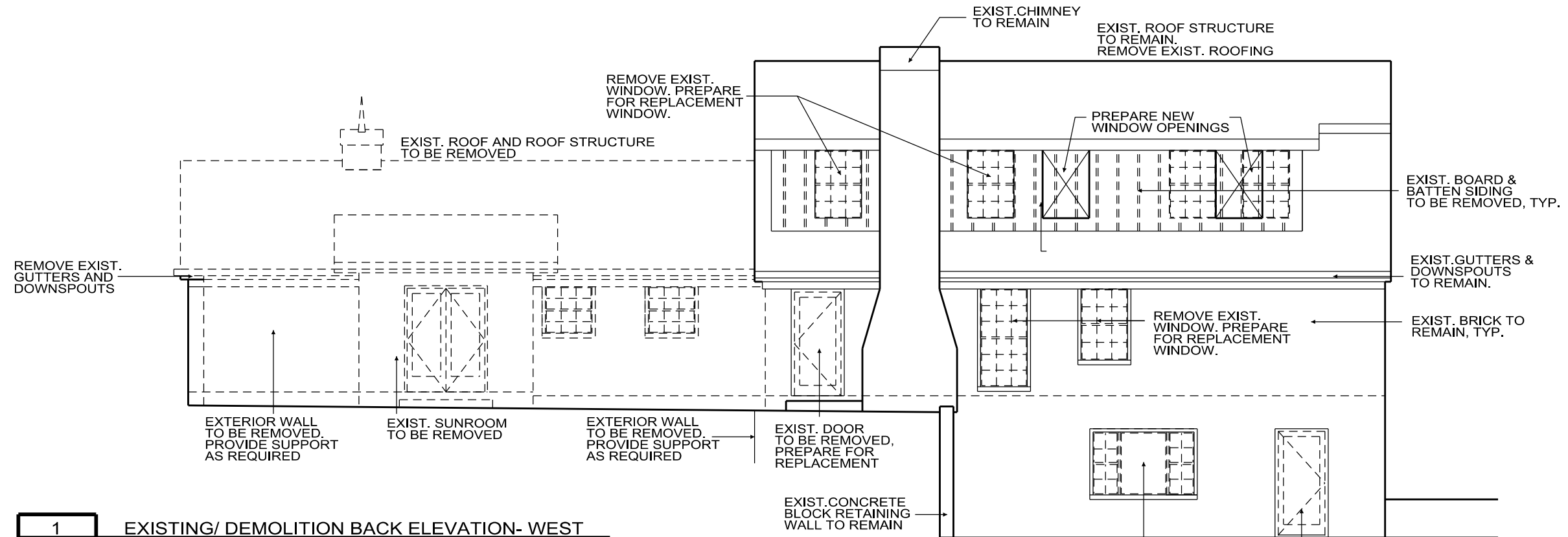
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Documents
XX/XX/XX Released for
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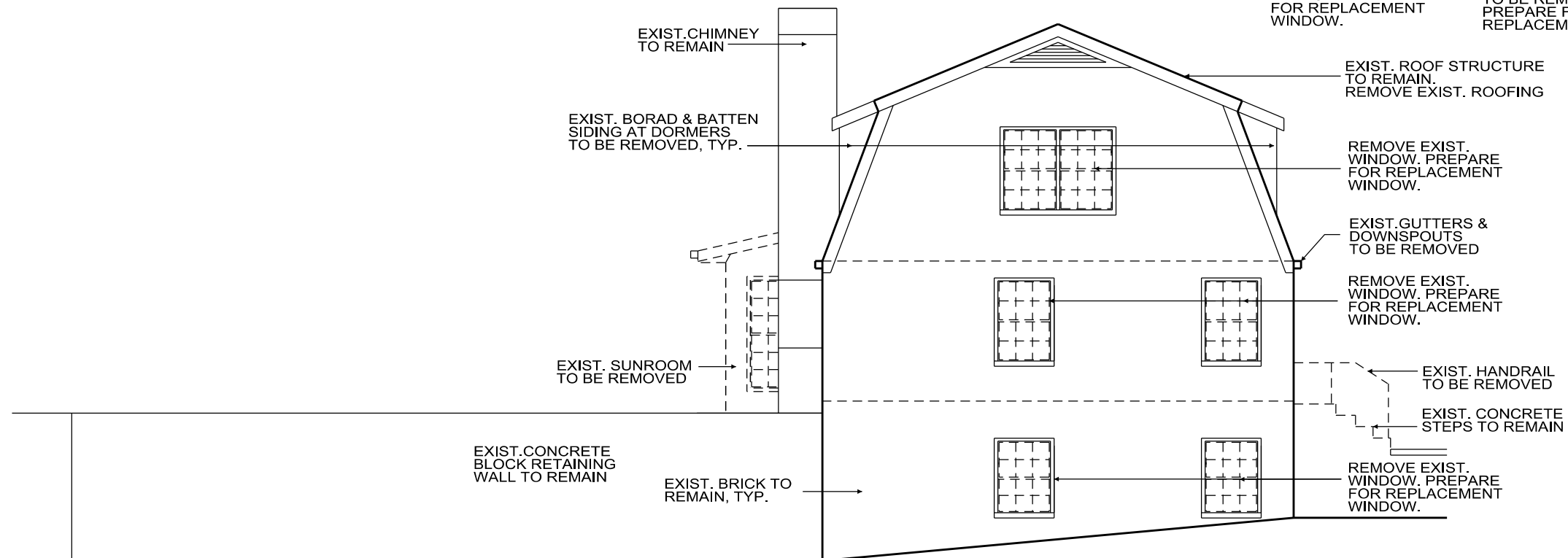
Sheet Title
EXISTING
ELEVATIONS

Sheet Number

A4.02

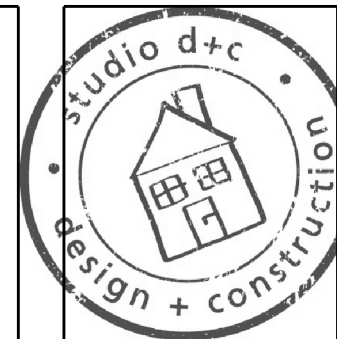


1
A 4.02 EXISTING/ DEMOLITION BACK ELEVATION- WEST
SCALE: 1/8"=1'-0"



2
A 4.02 EXISTING/ DEMOLITION ELEVATION- SOUTH
SCALE: 1/8"=1'-0"

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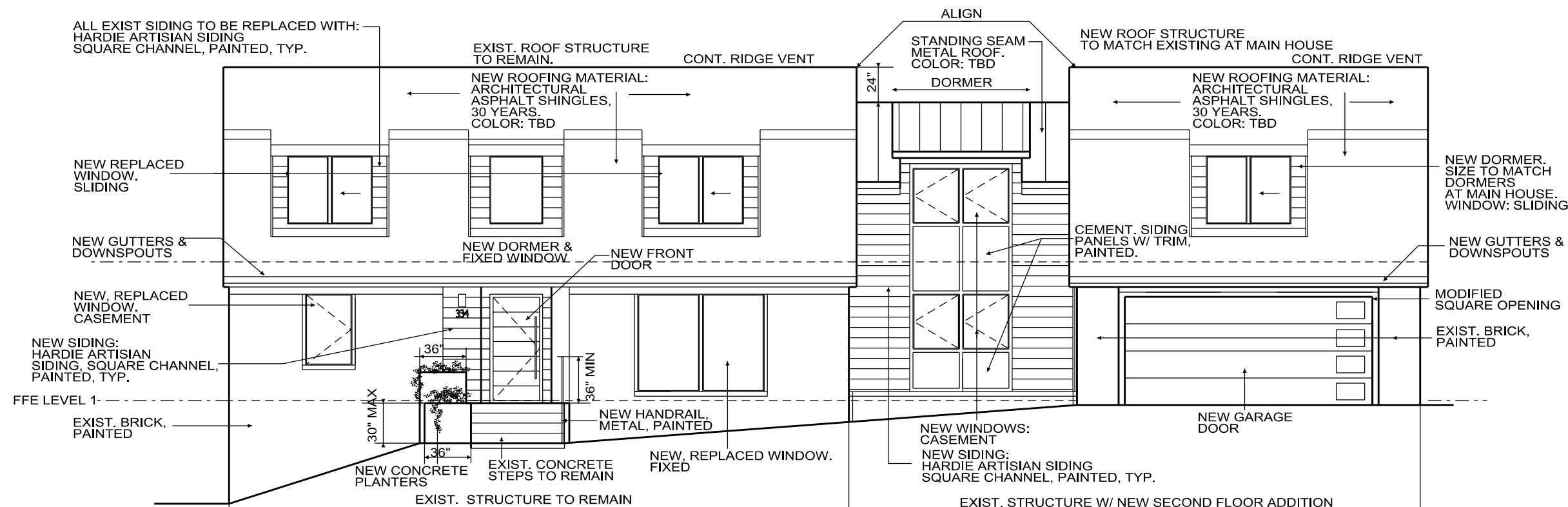
XX/XX/XX Construction
Documents

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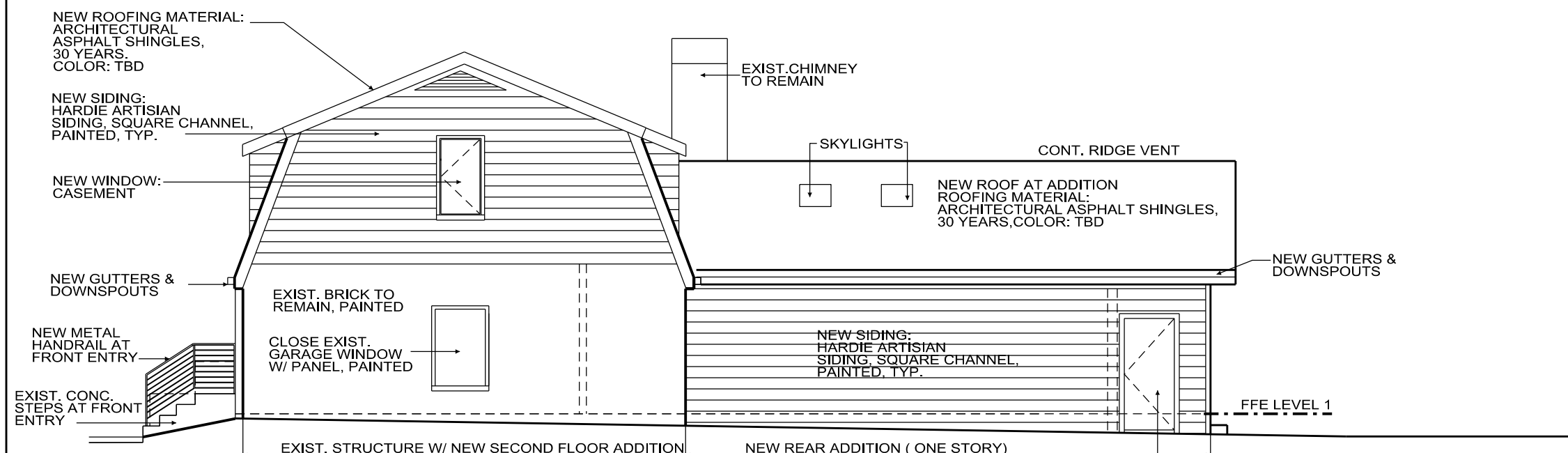
Sheet Title
NEW
ELEVATIONS

Sheet Number

A4.03



1
A 4.03
NEW FRONT ELEVATION- EAST
SCALE: 1/8"=1'-0"



2
A 4.03
NEW ELEVATION- NORTH
SCALE: 1/8"=1'-0"

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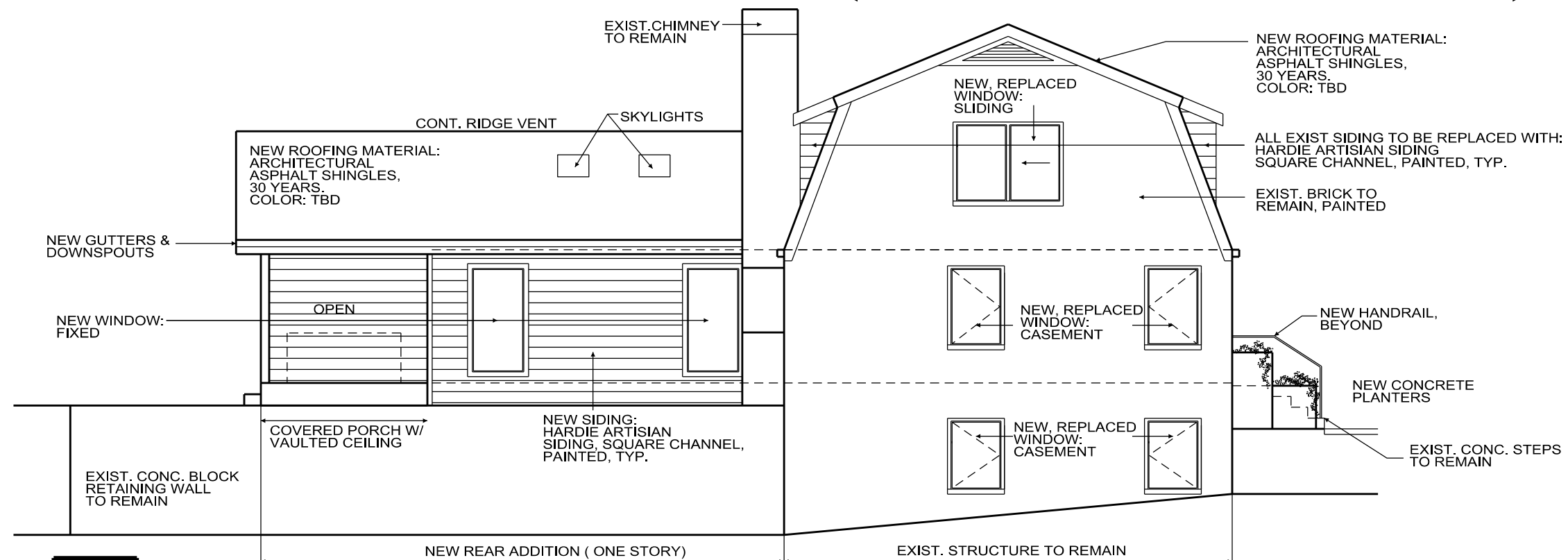
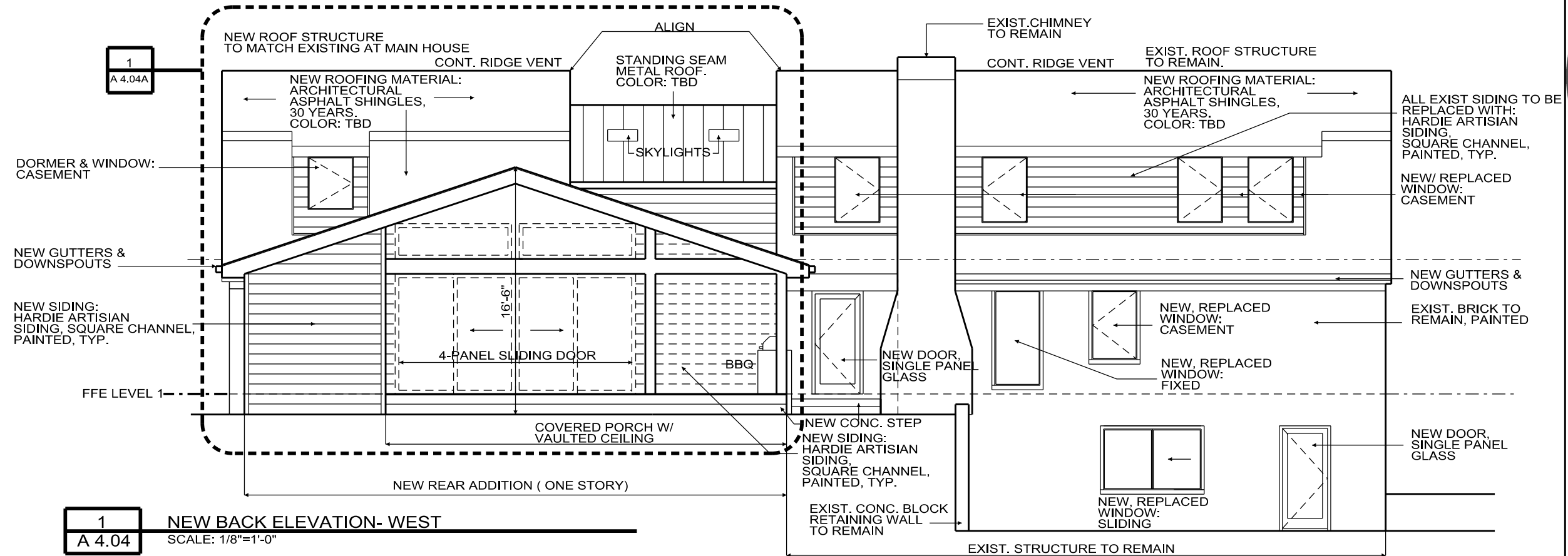
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Sheet Title NEW ELEVATIONS
Sheet Number A4.04



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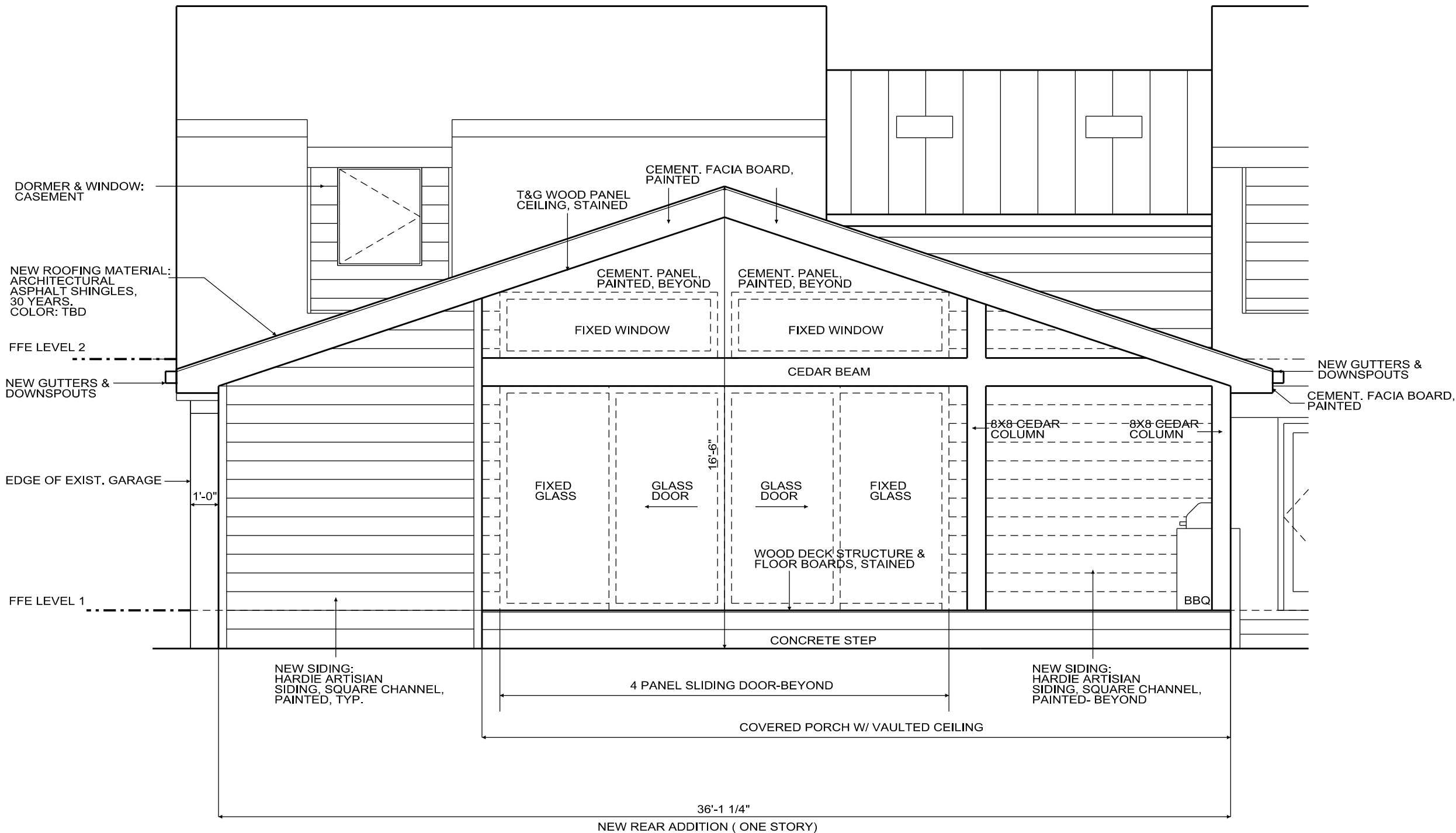
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Documents

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Sheet Title	
ENLARGED ELEVATION AT BACK PORCH	
Sheet Number	
A4.04A	



NOTE: ITEMS BEYOND (ON EXTERIOR WALL)
ARE SHOWN DASHED FOR CLARITY

1
A 4.04A ENLARGED ELEVATION AT BACK PORCH
SCALE: 1/4"=1'-0"

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1	EAST FACADE - FRONT
A 9.01	SCALE: N/A



2	EAST FACADE- FRONT
A 9.01	SCALE: N/A



3	NORTH FACADE - SIDE
A 9.01	SCALE: N/A



4	SOUTH FACADE- SIDE
A 9.01	SCALE: N/A



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Sheet Title
PHOTOS OF
EXISTING
STRUCTURE

Sheet Number

A9.01



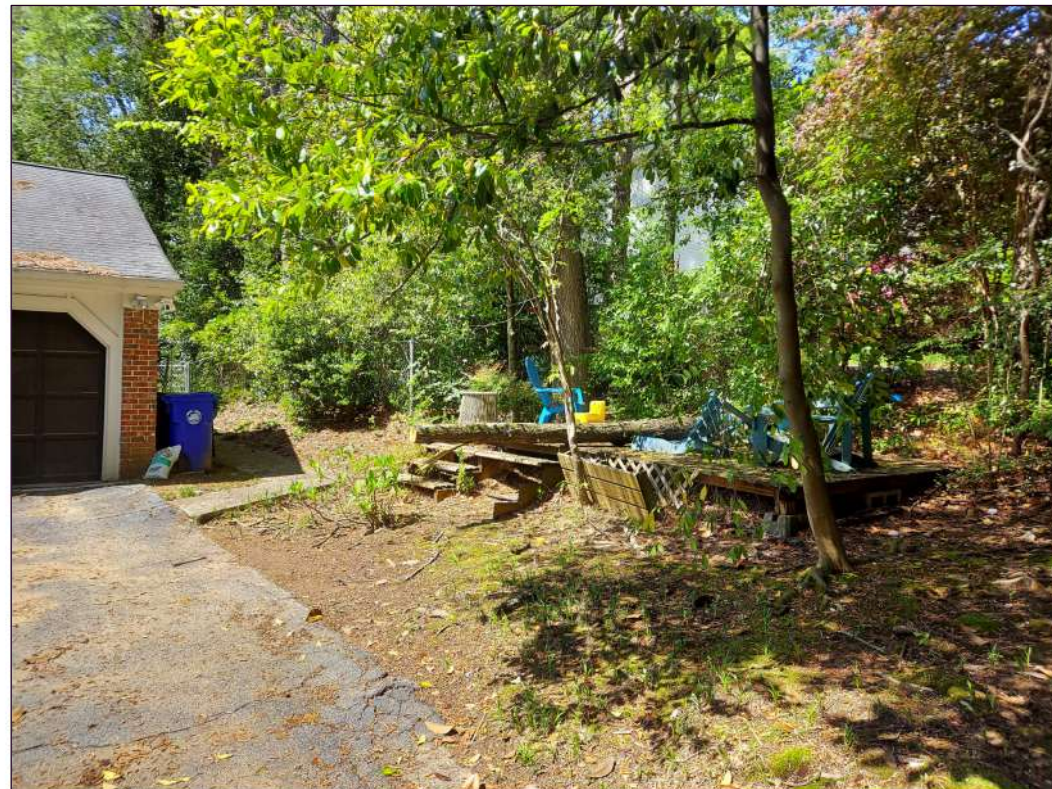
1 WEST FACADE - REAR
A 9.02 SCALE: N/A



2 WEST FACADE- REAR
A 9.02 SCALE: N/A



3 WEST FACADE - REAR
A 9.02 SCALE: N/A



4 WOODEN DECK TO BE REMOVED - FRONT
A 9.02 SCALE: N/A



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FAWCETT RESIDENCE
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DECATUR, GA 30030

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Documents

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Construction

Sheet Title
PHOTOS OF
EXISTING
STRUCTURE

Sheet Number

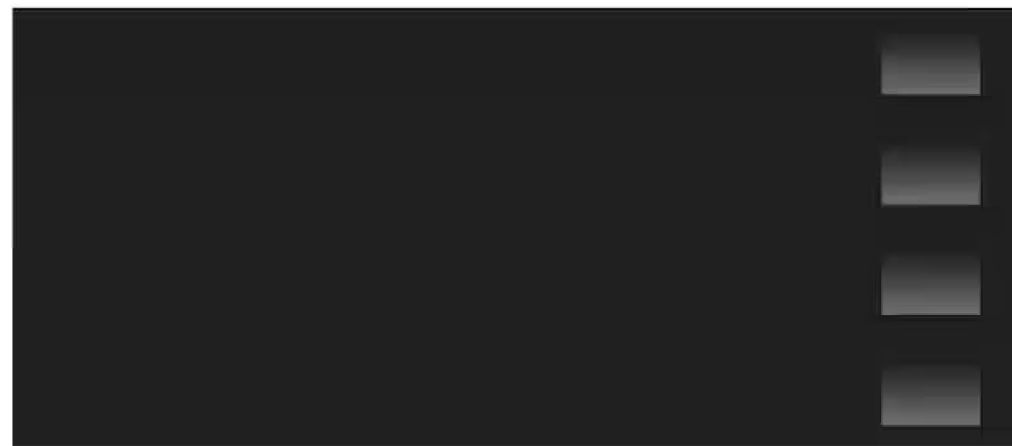
A9.02



PROPOSED FRONT DOOR STYLE:
WOOD OR FIBERGLASS DOOR,
WITH HORIZONTAL GROOVES,
PAINTED



PROPOSED FRONT ENTRY HANDRAIL:
METAL HANDRAIL WITH HORIZONTAL
RAILS, PAINTED.



PROPOSED GARAGE DOOR STYLE:
FLUSH 4 PANEL GARAGE DOOR WITH
VERTICAL WINDOWS, CLEAR.



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Sheet Title
PROPOSED
FRONT DOOR,
GARAGE DOOR,
HANDRAIL & SIDING
Sheet Number

A9.03

From: jramirez@studiod-c.com
To: [Paige V. Jennings](#)
Subject: RE: Questions Regarding Application for 334 Durand Falls
Date: Friday, April 11, 2025 7:18:19 AM
Attachments: [COA Application 334 Durand Falls Drive compressed.pdf](#)

Good morning, Paige-

Please see below our responses to your questions for the 334 Durand Falls COA application in RED
Please let me know if you have any further questions.

Have a great weekend,

Juan

1. Can you confirm that the new dormer will be a shed dormer in the same style as the two existing dormers?

Yes, all new dormers will be shed dormers to match the existing dormers.

2. What material are the current windows and what material are the proposed replacement windows?

The current windows are wood windows. We are proposing fiberglass windows (Marvin Elevate or similar) for the replacement and new windows.

3. What material are the current doors and what material are the proposed replacement doors?

The current doors are wood doors. We are proposing fiberglass doors for the replacement and new doors.

4. What are the proposed materials for the covered porch? Can you provide a drawing that shows the covered porch in more detail?

Please see the added sheet A 4.04 A- Enlarged Elevation at Back Porch for details and materials of the back porch.

5. Can you provide images of the wood deck that will be removed?

The wood deck was built as a temporary structure during Covid and will be removed as it is completely rotten. A picture of the wooden deck has been added to A 9.02.

6. Is the hyphen section between the main structure of the house and the garage recessed from the front façade of the house and garage? If so, can you provide information on the distance in which the hyphen is recessed and images or drawings to show the recess of the hyphen from the main house and garage with the second story addition?

Yes, the hyphen section between the main structure and the garage is recessed. Dimensions have been added to A 3.01 showing the existing recess on Level 1 to remain. Dimensions have also been added to A 3.02 showing that the second floor addition will follow the same recess.

From: Paige V. Jennings [<mailto:pvjennings@dekalbcountyga.gov>]
Sent: Tuesday, April 8, 2025 1:36 PM
To: jramirez@studiod-c.com
Subject: Questions Regarding Application for 334 Durand Falls

Good Afternoon,

Hope that this email finds you well!

We are finalizing our staff reviews for the upcoming HPC meeting scheduled for Monday, April 21st. Before finalizing our report on the application for 334 Durand Falls, could you please provide information for the following questions?

1. Can you confirm that the new dormer will be a shed dormer in the same style as the two existing dormers?
2. What material are the current windows and what material are the proposed replacement windows?
3. What material are the current doors and what material are the proposed replacement doors?
4. What are the proposed materials for the covered porch? Can you provide a drawing that shows the covered porch in more detail?
5. Can you provide images of the wood deck that will be removed?
6. Is the hyphen section between the main structure of the house and the garage recessed from the front façade of the house and garage? If so, can you provide information on the distance in which the hyphen is recessed and images or drawings to show the recess of the hyphen from the main house and garage with the second story addition?

Please provide all information that you can before Monday, April 14th. Our reports will be finalized next week and will be sent out along with the agenda for the meeting to applicants.

Thank You,
Paige



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DeKalbCountyGa.gov/planning