

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: CHRISTINA PATTERSON
Mailing Address: 2315 WILDWOOD LAKE DR
City/State/Zip Code: SUWANEE, GA 30024
Email: PATTERSONHOUSE74@GMAIL.COM
Telephone Home: 404-790-1808 Business: _____

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: CHRISTINA PATTERSON
Address (Mailing): 2315 WILDWOOD LAKE DR SUWANEE, GA 30024
Email: PATTERSONHOUSE74@GMAIL.COM Telephone Home: 404-790-1808 Business: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 521 WARREN AVE City: SCOTTTDALE State: GA Zip: 30024
District(s): 18 Land Lot(s): 46 Block: 6 Parcel: 18 046A044 034
Zoning Classification: R75 Commission District & Super District: 4 & 6

CHECK TYPE OF HEARING REQUESTED:

- ☒ X VARIANCE (From Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 3/25/25

Applicant Christina Patterson
Signature: _____

DATE: _____

Applicant _____
Signature: _____

Dear Members of the Zoning Board of Appeals,

My name is Christina Patterson, and I am writing to formally request a variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance. My request pertains to the Lot Coverage maximums for my property at 521 Warren Ave, Scottdale, and the purpose of this variance is to facilitate the construction of a custom single-family home that will accommodate my daughter's wheelchair accessibility needs.

1. Physical Conditions of the Site:

The lot itself is perfect for most homes, however, the need for a single-story home for accessibility when bound by the Lot Coverage maximums constitutes a special case necessitating this variance request of 6.06%; a 2.31% increase for the home, porch, and garage, as well as an additional 3.75% increase for pervious concrete to be used for the driveway and walkway.

2. Minimum Variance Necessary:

I assure you that my request is solely for the minimum variance necessary to render the home fully wheelchair accessible and is essential to my daughter's ability to live independently in the home she will share with her husband.

3. Public Welfare:

This proposed custom home will meet (or exceed) all DeKalb County and Scottdale Overlay District specs and/or requirements, and building a new home in the Eskimo Heights neighborhood, where there are no less than fifteen vacant lots on Warren Avenue, will be a positive contribution to the revitalization efforts proposed and endorsed by the Scottdale Community Alliance. The requested variance will not pose any harm to the public welfare, neighboring properties, or any other overall improvements in the zoning district, as there are no material changes to the home that violate any ordinance and only minimal additional lot coverage. In keeping with the Dekalb County / Scottdale Overlay District's commitment to sustainability and stormwater control, we will use pervious concrete for the driveway, walkway, and anywhere deemed feasible by our builder.

4. Ordinance Hardship:

A strict interpretation of the zoning laws, in this case, would cause undue hardship for my daughter with her wheelchair accessibility needs. In trying to stay within the lot coverage parameters, we have reduced the footprint of the home as much as possible while still allowing her to be able to access all rooms of the house as easily as a non-wheelchair user as well as, have full accessibility accommodations in the kitchen, bathrooms, laundry room, closets, garage, and storage spaces. In addition, we have placed the garage at the back of the house to give her more privacy and security as she's leaving and entering her home, which also contributes to our lot coverage overage.

5. Alignment with the Spirit of the Law:

I firmly believe that my variance request aligns with the intent of the Suburban Character Area, as outlined in the DeKalb County Comprehensive Plan. The proposed construction of this new home is in line with the goals of the Scottdale Community Alliance as well, and their initiative to create a well-planned, walkable neighborhood with strong community involvement; it's our sincere hope this home will not only be a welcome addition to Eskimo Heights but will also encourage others to consider Scottdale when relocating. Our DeKalb County roots run deep as my parents chose to move here when my father came home from his tour of duty in Vietnam in 1970. I attended Clarkston High School (Class of '74 grad!), my son and daughter both came home from the hospital to our first home in Decatur, and now my son-in-law is a teacher at Decatur High School. Assuming this variance request is approved, I also plan to build my home in Scottdale so I'm (much) closer to them (and my granddaughter in Tucker).

In conclusion, I appreciate your time and consideration of my variance request. Please know I am committed to working collaboratively to ensure that my proposed changes align with the broader goals and policies of DeKalb County, and I thank you for your time and consideration in this matter.

Sincerely,

Christina Patterson
Christina Patterson

LETTER OF SUPPORT

Christina Patterson

521 Warren Ave. Scottdale

404-790-1808

pattersonhouse74@gmail.com

March 20, 2025

DeKalb County Zoning Board of Appeals

178 Sam's St. Decatur, GA 30032

Subject: Letter of Support for Variance Request - 521 Warren Avenue
Scottdale, GA 30079

Dear Members of the Zoning Board of Appeals,

I am expressing my strong support for the variance request submitted by Christina Patterson for the property located at 521 Warren Avenue. I am/we are her neighbor(s) at 525 Warren Avenue.

Why I Support the Variance:

- The proposed project will enhance the neighborhood by improving aesthetics with the construction of a new home on a lot that has been vacant for years and the site of frequent loitering and illegal dumping.
- The variance will alleviate a hardship on the property owner, as the home they are building is specifically designed to meet the homeowner's wheelchair accessibility needs as a paraplegic.
- The project is consistent with the spirit and intent of the DeKalb County Comprehensive Plan and Zoning Ordinance as a new

home build will contribute to the ongoing revitalization of the neighborhood.

- The variance request will not negatively impact adjacent properties or the surrounding community, as there will be no outwardly evident structural changes with the build, and, other than the requested lot coverage variance, the home will be built to DeKalb County and City of Scottdale recommendations and requirements.

Conclusion:

I respectfully urge you to grant the variance request for 521 Warren Avenue. I am confident that this project will be a positive addition to our community. Thank you for your time and consideration.

Sincerely,

Tamera Perry
Tamera Perry

Xavier Perry
X

House Plan Zone, LLC.

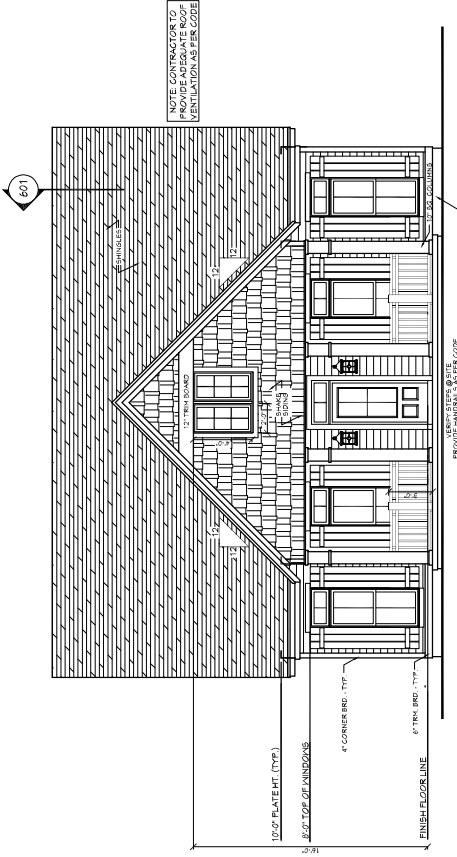
www.HPZplans.com

Phone: 601.336.3254

Email: sales@hpzplans.com

Fax: 1-800-574-1387

STANDARD ABBREVIATIONS

[illegible]

BB-2219 FRONT VIEW

401

SCALE..... $1/4'' \equiv 1'-0''$

B-219

[illegible]

SHEET INDEX:

- | | |
|---|-------------------------|
| 1 | COVER SHEET |
| 2 | FOUNDATION PLAN |
| 3 | FLOOR PLAN |
| 4 | EXTERIOR VIEWS |
| 5 | EXTERIOR VIEWS |
| 6 | SECTION & CABINET VIEWS |
| 7 | ROOF PLAN |
| 8 | ELECTRICAL PLANS |



Date:	07.24.18
Drawn By:	C.T.B.

SHEET NUMBER

Home plans professionally modified by:

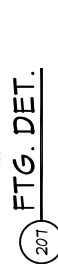
unlimited options, inc.

© 763-905-5942 / 763-236-2817
www.unlimitedoptions.com

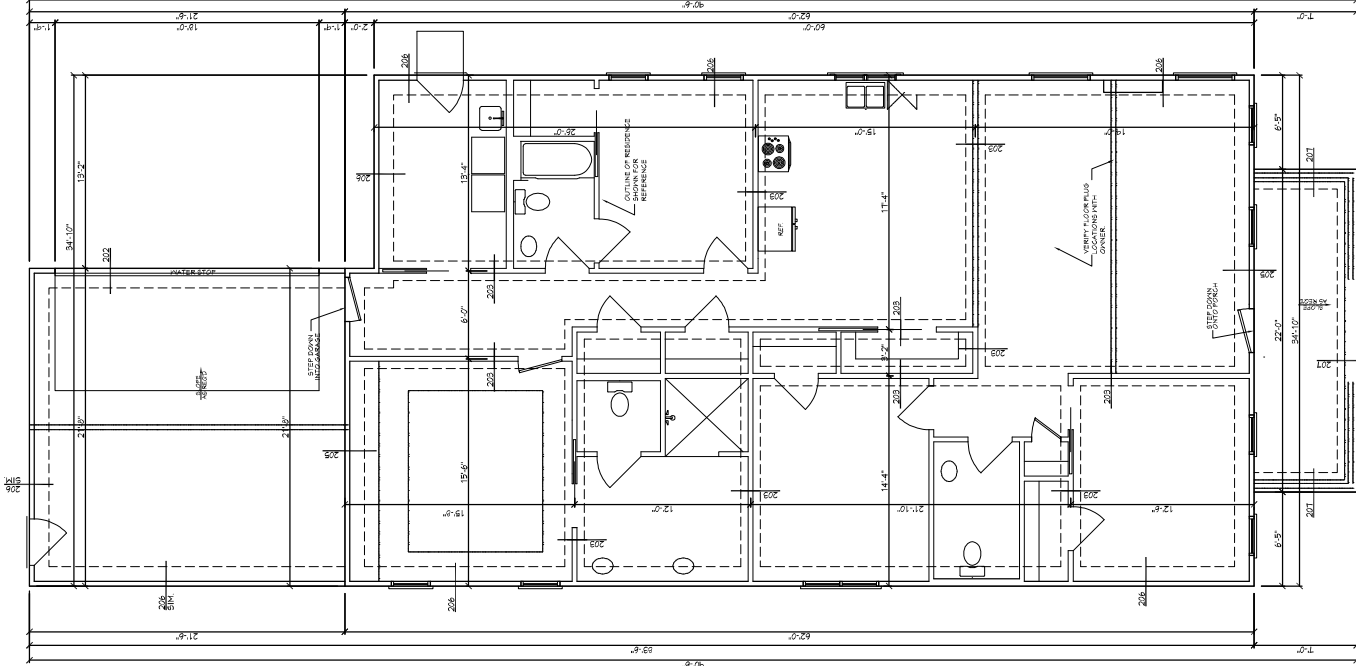
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201 FOUNDATION PLAN
SCALE ----- 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

Please phone professionally modified to:

unlimited options, inc.

855.330.0001 1-800-234-2327
www.unlimitedoptions.com

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SE PLAN ZC

Website: www.HPZplans.com
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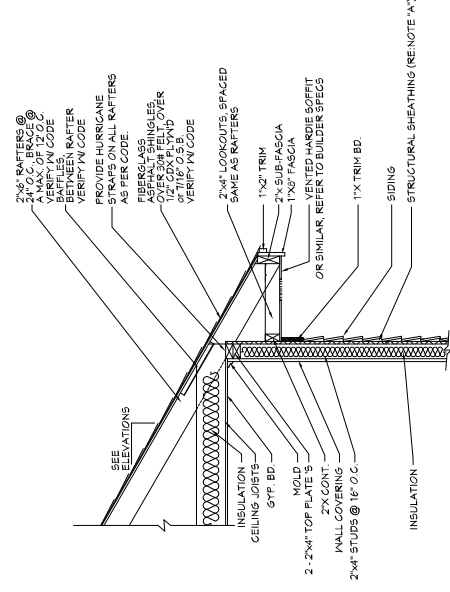
N.C.B.D.C
NATIONAL COUNCIL OF



Pre-Draft Plan ID: BB-2219

Date:	07.24.18
Drawn By:	C.T.B.
Plan number:	

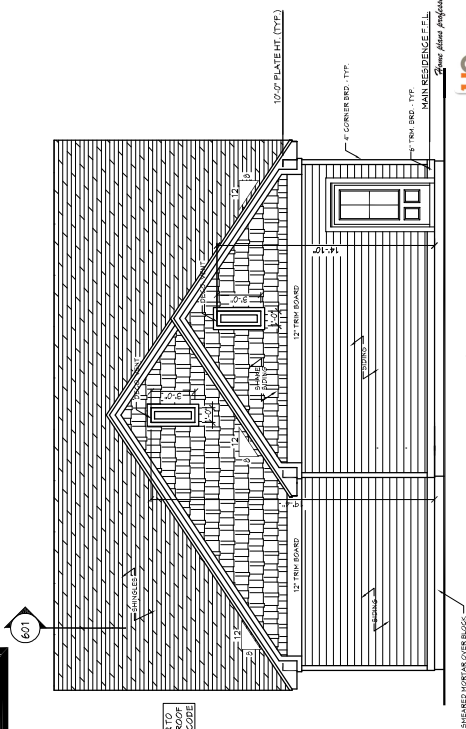
SHEET NUMBER
4



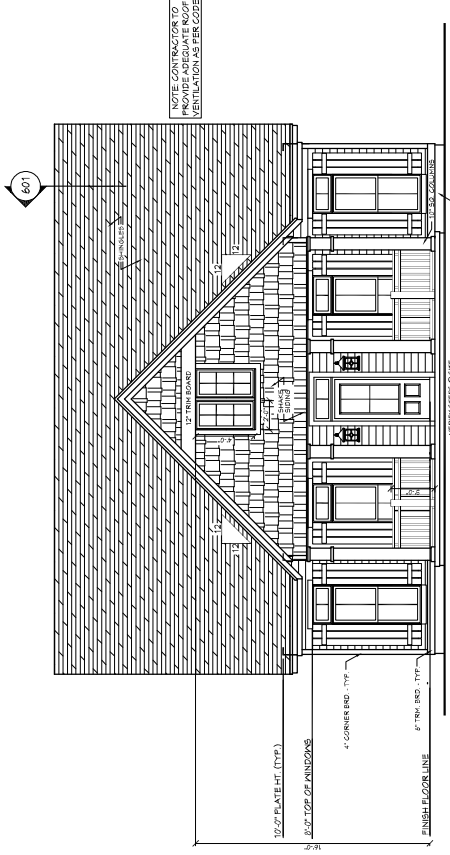
NOTE "A": PROVIDE A MINIMUM OF 7/16" STRUCTURAL WOOD PANEL ATTACHED w/ 3d COMMON OR 10d BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.

NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.

404 TYP. CORNICE DETAIL
SCALE-----3/4"=1'-0"



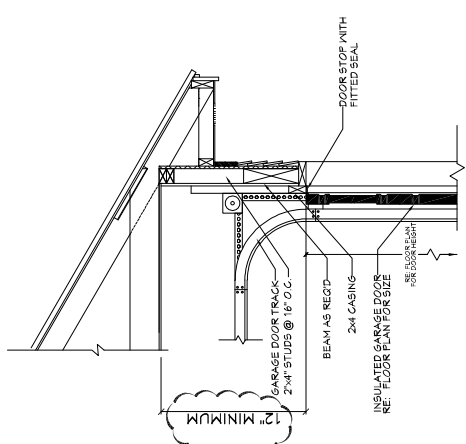
REAR VIEW



401 BB-2219 FRONT VIEW

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



GARAGE DOOR CLEARANCE

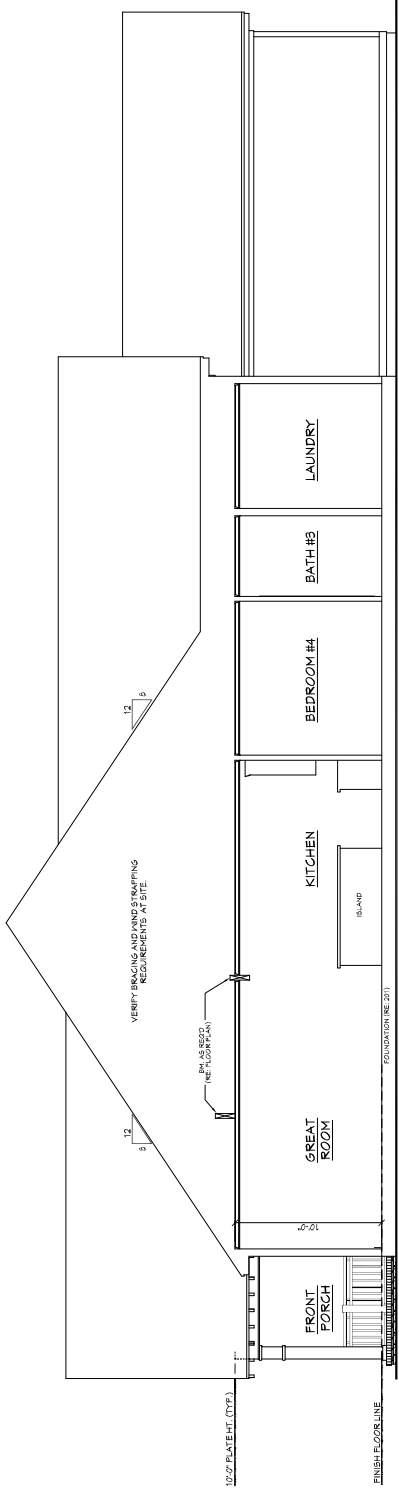
SCALE----- N.T.S.

THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.

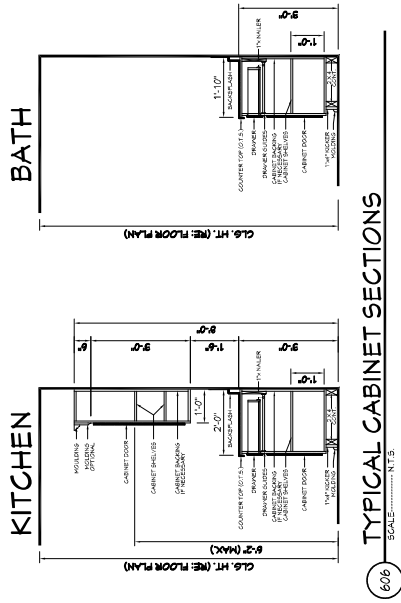


CROSS SECTION NOTES:

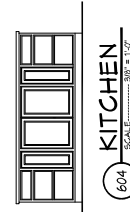
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



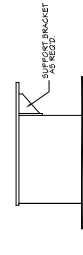
601 **CROSS SECTION**
 SCALE: 1/4" = 1'-0"



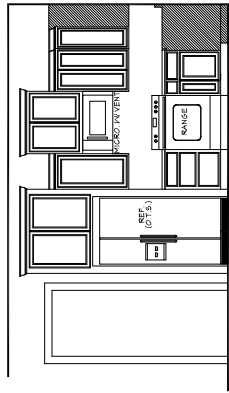
606 **TYPICAL CABINET SECTIONS**
 SCALE: 606



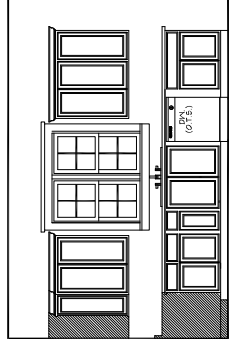
604 **KITCHEN**
 SCALE: 3/8" = 1'-0"



605 **KITCHEN**
 SCALE: 3/8" = 1'-0"



603 **KITCHEN**
 SCALE: 3/8" = 1'-0"



602 **KITCHEN**
 SCALE: 3/8" = 1'-0"

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N.C.B.D.C.



Pre-Draft Plan ID: BB-2219

BB-2219

Date: 07.24.18

Drawn By: C.T.B.

Plan number:

SHEET NUMBER



Home plans professionally modified by:

[illegible]

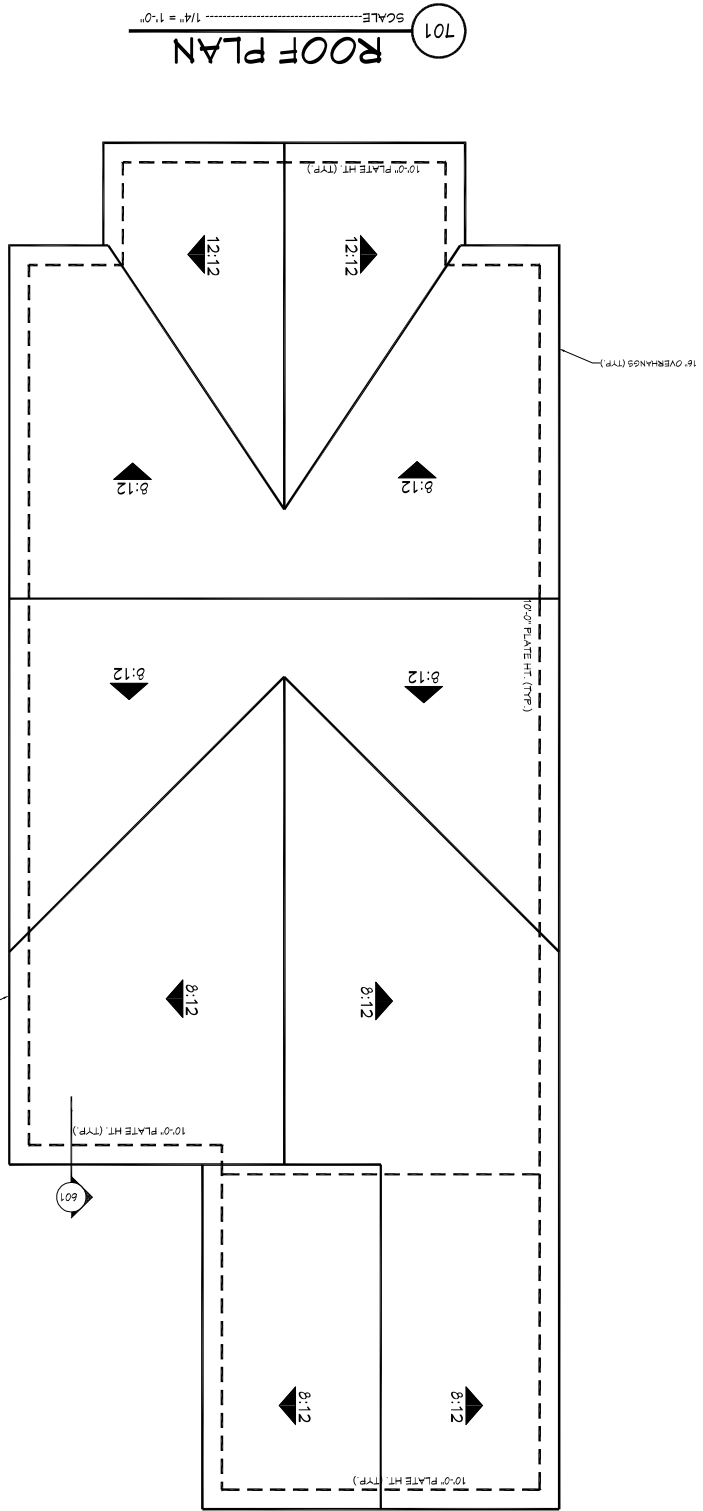
RAFTER LENGTH CHART	ROOF PITCH	CHOSE APPROPRIATE SPAN OF MEMBERS BY PITCH
11/12	1.70	10/12
12/12	1.64	10/12
13/12	1.60	10/12
14/12	1.56	10/12
15/12	1.53	10/12
16/12	1.50	10/12
17/12	1.47	10/12
18/12	1.44	10/12
19/12	1.41	10/12
20/12	1.37	10/12
21/12	1.35	10/12
22/12	1.32	10/12

CEILING JOIST SPANS	
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (LVL AND L2S ARE ALIAS WITH LIMITED STOCKS (LVL AND L2S = SPANS FOR SOUTHERN PINE SPECIES))	<p>...!! HAVING A LVL SPACE IS DESIRED REFER TO THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) FOR MORE !!</p> <p>VISUALLY SCALED 2 SPANS FOR SOUTHERN PINE SPANS (LVL AND L2S)</p> <p>SIZE (INCHES) SPACING (INCHES)</p> <p>2 x 4 15.0 13.0 11.0 9.0 7.0 5.0 4.0</p> <p>2 x 6 18.0 16.0 14.0 12.0 10.0 8.0 6.0</p> <p>2 x 8 21.0 19.0 17.0 15.0 13.0 11.0 9.0</p> <p>2 x 10 24.0 22.0 20.0 18.0 16.0 14.0 12.0</p> <p>2 x 12 27.0 25.0 23.0 21.0 19.0 17.0 15.0</p> <p>NOTES: The above tables are based on the IRC 2015 TABLE R502.4(2)</p>

RAFTER SPANS FOR SOUTHERN PINE SPECIES		NOTES:	
SPACING (MAXIMUM RATHER THAN BETWEEN BRACKETS) (FT. - IN.)	SPACING (INCHES)	2 X 6	2 X 8
	2 X 10	2 X 12	2 X 12
12-11	16-0	19-2	24-0
11-2	16-0	19-2	24-0
10-2	16-0	19-2	24-0
9-2	16-0	19-2	24-0
12-11	16-0	19-2	24-0
11-2	16-0	19-2	24-0
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9-2	16-0	19-2	24-0
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9-2	16-0	19-2	24-0
12-11	16-0	19-2	24-0
11-2	16-0	19-2	24-0
10-2	16-0	19-2	24-0
9-2	16-0		

ROOF PLAN NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE
2. ALL RIDGE BEAMS, HIP RATHERS & VALLEY RATHERS TO BE 2" X 10", NO. 2 OR AS READ BY INSPECTOR.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS READ BY CURRENT CODES.
7. ALL ROOF FINISHES TO BE ON SIDES OR REAR OF RESIDENCE. ALL EVENTS SHALL BE PAINTED BLACK OR TO MATCH ROOFING.



Date:	07.24.18
Drawn By:	J.A.L.
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SHEET NUMBER	8

SYMBOL	LEGEND
	110V OUTLET
	GROUND FAULT PROTECTED OUTLET
	220 VOLT RECEPTACLE
	CEILING HUNG FIXTURE
	OVERHEAD MOUNTED FLOODLIGHTS
	WALL MOUNTED FLOODLIGHTS
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	SWITCH
	THREE-WAY SWITCH
	WALL MOUNTED LIGHT
	DIMMER SWITCH (OWNER TO LOCATE)
	DOOR ACTUATOR SWITCH
	WEATHERPROOF OUTLET
	2-WIRE WEATHERPROOF OUTLET
	TELEPHONE OUTLET (OWNER TO LOCATE)
	TELEVISION OUTLET (OWNER TO LOCATE)
	DOUBLE OUTLET (CONTRACTOR TO LOCATE)
	THERMOSTAT (CONTRACTOR TO LOCATE)
	CEILING DIMMER (OWNER TO LOCATE)
	TV SPEAKER
	RADIO SPEAKER
	CEILING FAN WITH LIGHT KIT
	CEILING FAN ONLY, NO LIGHT KIT
	TRACK LIGHTING (OWNER TO LOCATE)
	WALL SCONCE (OWNER TO LOCATE)
	CHANNELING (1 OR 2)
	CHANNELING 2 (1 OR 2)
	UNDER COUNTER LIGHTING
	EMERGENCY LIGHTING EXIT SIGN
	ELECTRICAL NOTES
	AT SITE WORK MARK

The field data upon which this plan is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. The firm FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 15069C 06/07, DATED 06/15/19

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 15069C 06/07, DATED 06/15/19

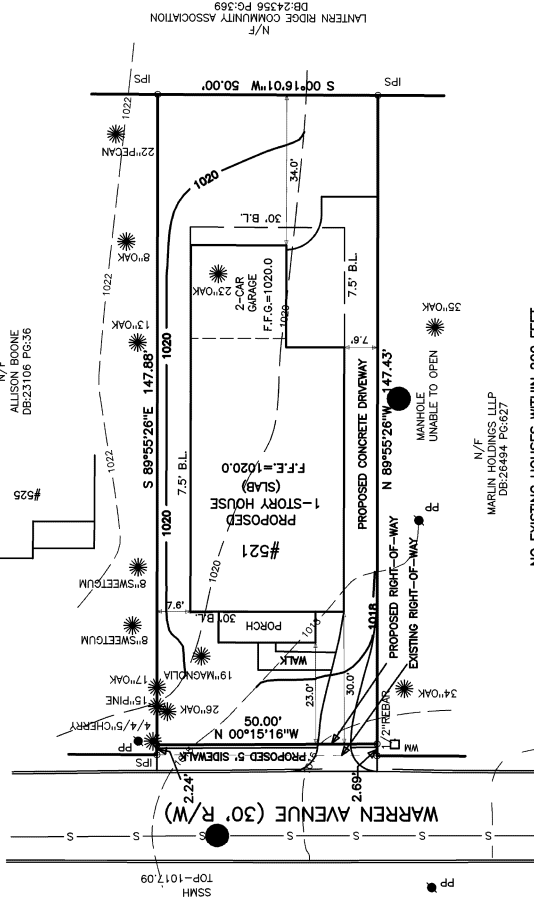
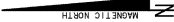
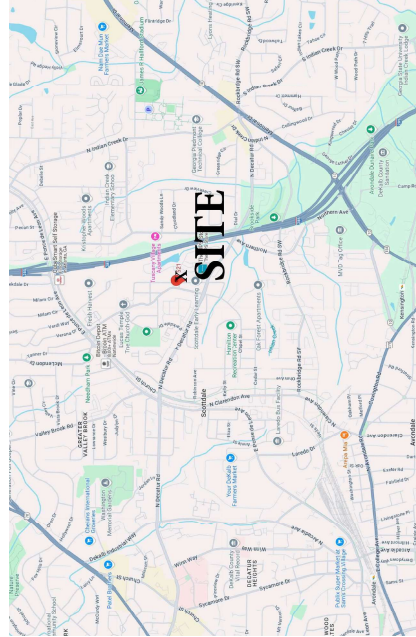
ZONING INFORMATION:

CLASSIFICATION: R-7S
SETBACKS: FRONT - 30 FEET
SIDE - 7.5 FEET
REAR - 40 FEET 30 FEET *
MINIMUM LOT WIDTH - 75 FEET
MINIMUM LOT AREA - 10,000 s.f.
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2,000 s.f.
MAXIMUM BUILDING HEIGHT - 35 FEET 28 FEET *
* - SCOTSDALE OVERLAY DISTRICT

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET
L.L. = LAND LOT
L.L.L. = LAND LOT LINE
P.L. = PROPERTY LINE
C.L. = CENTERLINE
B.L. = BUILDING LINE
A.W. = ALTERNATE WAY
S.S.E. = SANITARY SEWER EASEMENT
D.E. = DRAINAGE EASEMENT
M.H. = MANHOLE
C.B. = CURB BOX
J.B. = JUNCTION BOX
H.W. = HEADWALL
D.I. = DROP INLET
D.I.L. = DRAINAGE INLET
F.H. = FIRE HYDRANT
I.E. = INVERT ELEVATION
F.F.E. = FINISHED FLOOR ELEVATION
F.F.D. = FINISHED FLOOR ELEVATION
F.F.G. = FINISHED FLOOR GARAGE
B.O.C. = BACK OF CURB
E.P. = EDGE OF PAVEMENT
N.P. = NOT FOUND
P.O.B. = POINT OF BEGINNING
-X-X-X- = FENCE LINE
-O-O-O- = SANITARY SEWER LINE/PIPE
-W-W-W- = WATER LINE
-G-G-G- = GAS LINE
C.M. = CONCRETE MOUNT
C.E. = CONSTRUCTION EASEMENT
C&G = CURB AND GUTTER
L.S. = LOT STAKES
C.T.P. = CRIMP TOP PIPE FOUND
C.T.P. = CRIMP TOP PIPE FOUND

24 HR CONTACT:
BRALYNN FERGUSON
(404)698-3533
BRALYNN@STRYANTINVESTMENTS.COM



NO EXISTING HOUSES WITHIN 200 FEET
IN A SOUTHERLY DIRECTION; AVERAGE
SETBACK ORDINANCE DOES NOT APPLY

N/F
MARLIN HOLDINGS LLP
DB:26494 PG:627

ORIGINAL
LOT AREA:

7506 sf.
0.172 ACRES

PROPOSED
LOT AREA:

7382 sf.
0.169 ACRES

PROPOSED LOT COVERAGE:

HOUSE = 2600 sf.
DRIVEWAY = 1307 sf.
FRONT PORCH = 154 sf.
FRONT WALK = 77 sf.
TOTAL = 4138 sf.
LOT COVERAGE = 56.06%
MAXIMUM = 35% = 2627 sf.



CSWCC GEORGIA SOIL AND WATER
CONSERVATION COMMISSION
ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED 10/1/2019 EXPIRES 10/1/2025
SIGNATURE DATE



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA 30052
ENGINEERING & LAND SURVEYING
REVISION: 001 7/10/2024 DML ROBERT@ALPHALANDSERVICES.COM
VARIANCE SITE PLAN FOR:
521 WARREN AVENUE
TAX PARCEL# 18 046 01 034
LAND LOT: 46 DISTRICT: 16TH COUNTY: DEKALB
SUB: 33 BLOCK: 6
SUB: ESKIMO HEIGHTS
GEORGIA DATE: 09/20/24 AREA = 0.172 ACRES
PLAT DATE: 03/14/25 JOB NO. 2438861
REF. PLAT: PE 156 P. 30

Dear Members of the Zoning Board of Appeals,

My name is Christina Patterson, and I am writing to formally request a variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance. My request pertains to the Lot Coverage maximums for my property at 521 Warren Ave, Scottdale, and the purpose of this variance is to facilitate the construction of a custom single-family home that will accommodate my daughter's wheelchair accessibility needs.

1. Physical Conditions of the Site:

The lot itself is perfect for most homes, however, the need for a single-story home for accessibility when bound by the Lot Coverage maximums constitutes a special case necessitating this variance request of 6.06%; a 2.31% increase for the home, porch, and garage, as well as an additional 3.75% increase for pervious concrete to be used for the driveway and walkway.

2. Minimum Variance Necessary:

I assure you that my request is solely for the minimum variance necessary to render the home fully wheelchair accessible and is essential to my daughter's ability to live independently in the home she will share with her husband.

3. Public Welfare:

This proposed custom home will meet (or exceed) all DeKalb County and Scottdale Overlay District specs and/or requirements, and building a new home in the Eskimo Heights neighborhood, where there are no less than fifteen vacant lots on Warren Avenue, will be a positive contribution to the revitalization efforts proposed and endorsed by the Scottdale Community Alliance. The requested variance will not pose any harm to the public welfare, neighboring properties, or any other overall improvements in the zoning district, as there are no material changes to the home that violate any ordinance and only minimal additional lot coverage. In keeping with the Dekalb County / Scottdale Overlay District's commitment to sustainability and stormwater control, we will use pervious concrete for the driveway, walkway, and anywhere deemed feasible by our builder.

4. Ordinance Hardship:

A strict interpretation of the zoning laws, in this case, would cause undue hardship for my daughter with her wheelchair accessibility needs. In trying to stay within the lot coverage parameters, we have reduced the footprint of the home as much as possible while still allowing her to be able to access all rooms of the house as easily as a non-wheelchair user as well as, have full accessibility accommodations in the kitchen, bathrooms, laundry room, closets, garage, and storage spaces. In addition, we have placed the garage at the back of the house to give her more privacy and security as she's leaving and entering her home, which also contributes to our lot coverage overage.

5. Alignment with the Spirit of the Law:

I firmly believe that my variance request aligns with the intent of the Suburban Character Area, as outlined in the DeKalb County Comprehensive Plan. The proposed construction of this new home is in line with the goals of the Scottdale Community Alliance as well, and their initiative to create a well-planned, walkable neighborhood with strong community involvement; it's our sincere hope this home will not only be a welcome addition to Eskimo Heights but will also encourage others to consider Scottdale when relocating. Our DeKalb County roots run deep as my parents chose to move here when my father came home from his tour of duty in Vietnam in 1970. I attended Clarkston High School (Class of '74 grad!), my son and daughter both came home from the hospital to our first home in Decatur, and now my son-in-law is a teacher at Decatur High School. Assuming this variance request is approved, I also plan to build my home in Scottdale so I'm (much) closer to them (and my granddaughter in Tucker).

In conclusion, I appreciate your time and consideration of my variance request. Please know I am committed to working collaboratively to ensure that my proposed changes align with the broader goals and policies of DeKalb County, and I thank you for your time and consideration in this matter.

Sincerely,

Christina Patterson

House Plan Zone, LLC.

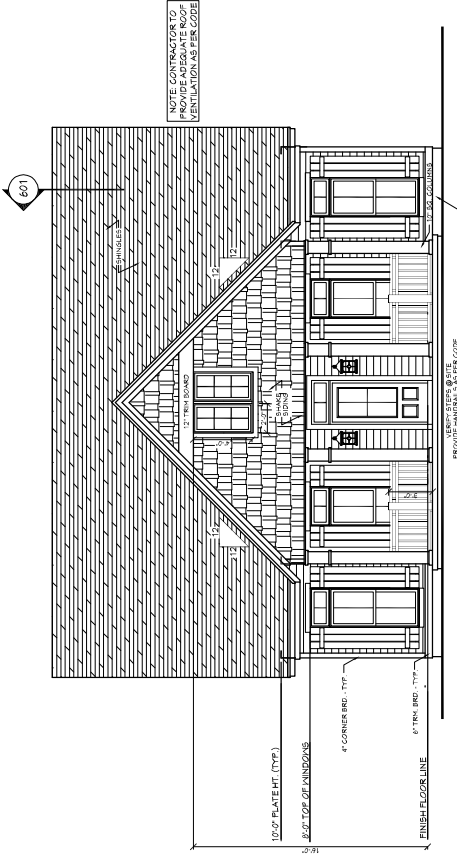
www.HPZplans.com

Phone: 601.336.3254

Email: sales@hpzplans.com

Fax: 1-800-574-1387

STANDARD ABBREVIATIONS

[illegible]

BB-2219 FRONT VIEW

401

SCALE-----1/4" = 1'-0"

B-219

CODE DISCLOSURES:

1. THESE PLANS WERE DESIGNED TO MEET IRC 2015 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH WESTERN (MPSW) AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS AND LOCAL CODES OF THE SOUTH WESTERN (MPSW) AREA BE USED TO AVOID ANY GEOGRAPHIC LOCATIONS. THESE PLANS ARE NOT DESIGNED TO BE USED OUTSIDE OF THE SOUTH WESTERN (MPSW) AREA.

2. BEAMS AND LOCAL JOISTS ARE NOT SIZED TO THE MANY GEOGRAPHIC LOCATIONS. THESE PLANS WERE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER. BEAMS, THE LATEST VERSION OF THE IRC ON AFFILABLE CODES, ARE SIZED TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS WERE LABELED (IF PRESENT) WERE SIZED USING THE 2015 IRC AT THE OPTION OF THE ARCHITECT. THE ARCHITECT IS RESPONSIBLE FOR VERIFYING THE SIZING OF THE JOISTS. THE ADDITION OF THE IRC INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) IS REQUIRED TO MEET THE LATEST EDITION OF THE IRC.

3. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER. THE FOUNDATIONS SHALL FOLLOW THE LATEST HIGH STRENGTH STEEL DESIGN AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL RESIDENTIAL CODES. THE FOUNDATIONS SHALL FOLLOW THE LATEST HIGH STRENGTH STEEL DESIGN AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL RESIDENTIAL CODES.

SHEET INDEX:

- | | |
|---|-------------------------|
| 1 | COVER SHEET |
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| 3 | FLOOR PLAN |
| 4 | EXTERIOR VIEWS |
| 5 | EXTERIOR VIEWS |
| 6 | SECTION & CABINET VIEWS |
| 7 | ROOF PLAN |
| 8 | ELECTRICAL PLANS |



Date:	07.24.18
Drawn By:	C.T.B.

SHEET NUMBER

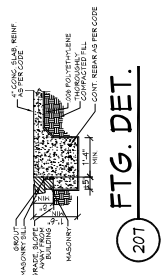
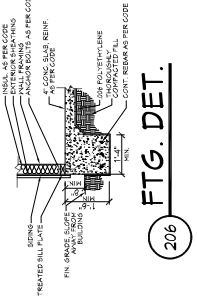
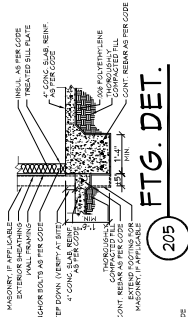
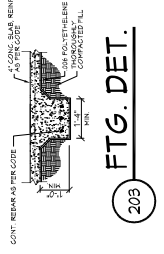
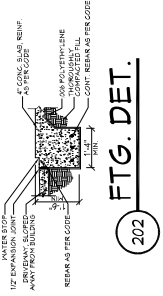
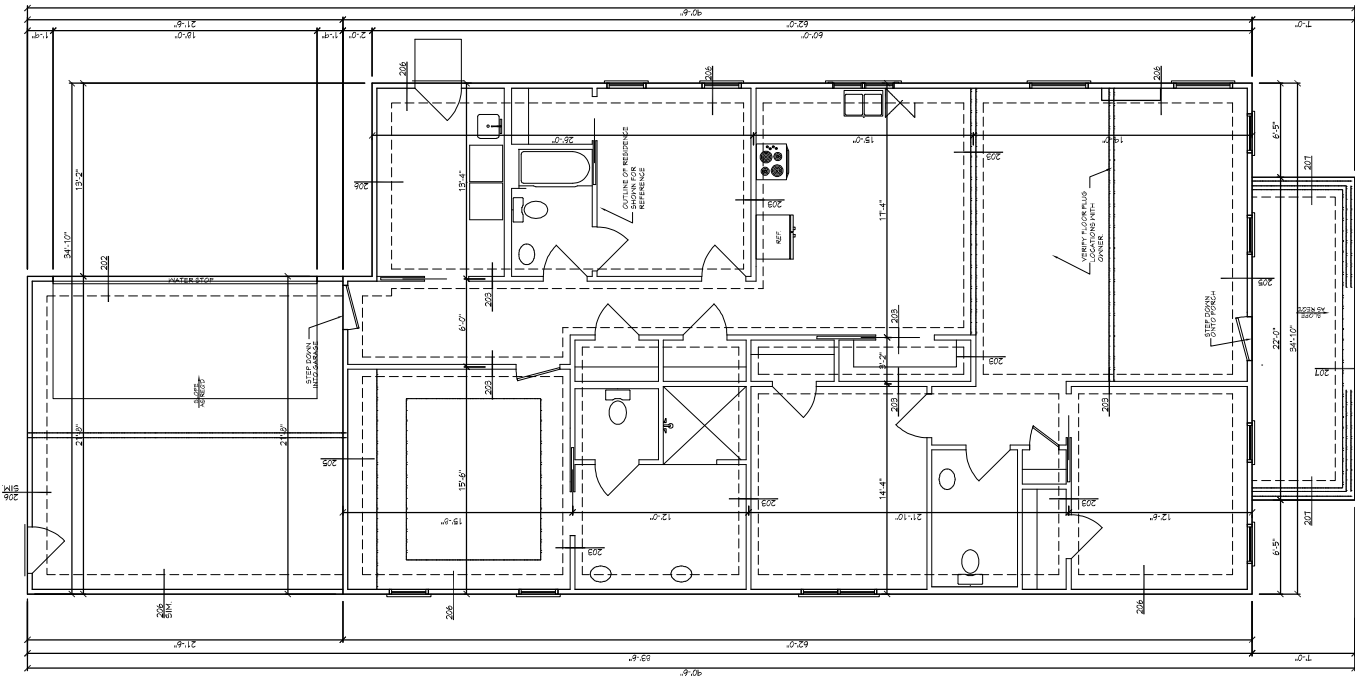
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SLAB FOUNDATION NOTES:

1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER
2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQUIRED TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
5. CONCRETE SLABS TO BE 4" (5000 PSI MIN.) REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

Please phone professionally modified to:

unlimited options, inc.

855.330.0001 1-800-234-2327
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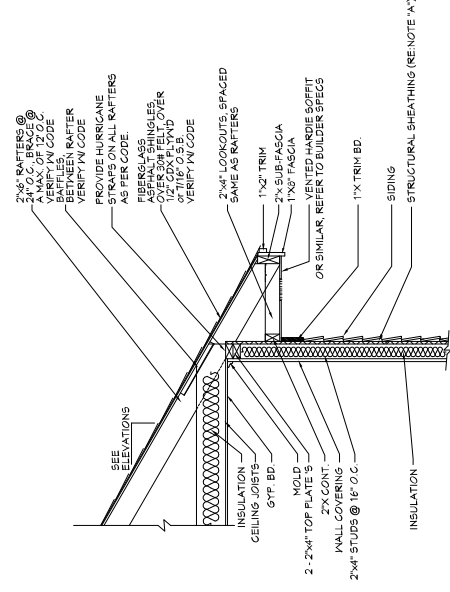
N.C.B.D.C
NATIONAL COUNCIL OF



Pre-Draft Plan ID: BB-2219

Date:	07.24.18
Drawn By:	C.T.B.
Plan number:	

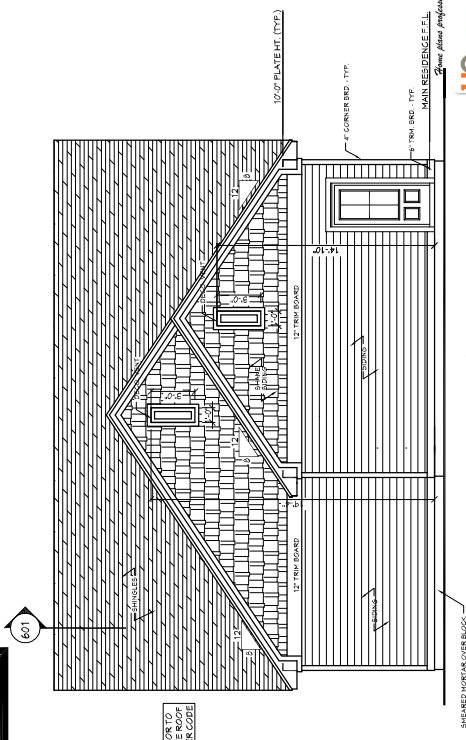
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4



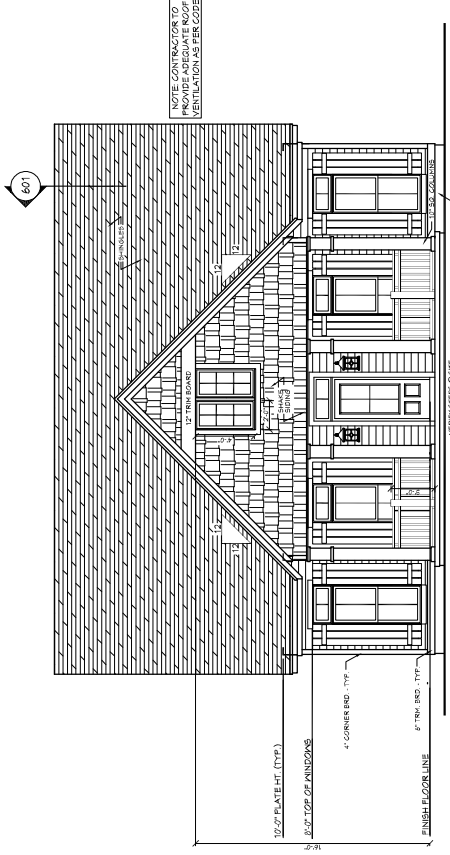
NOTE "A": PROVIDE A MINIMUM OF 7/16" STRUCTURAL WOOD PANEL ATTACHED w/ 3d COMMON OR 10d BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.

NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.

404 TYP. CORNICE DETAIL SCALE-----3/4"=1'-0"



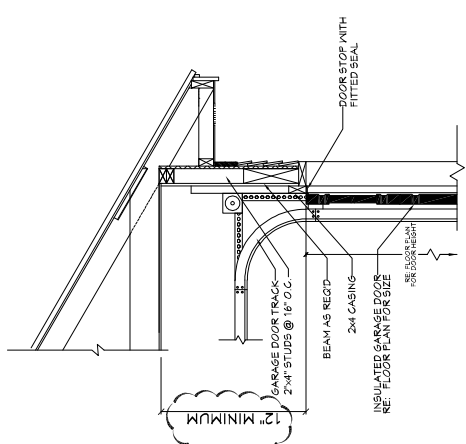
REAR VIEW



401 BB-2219 FRONT VIEW

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



GARAGE DOOR CLEARANCE

SCALE----- N.T.S.

THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.



SCALE-----3/4"=1'-0"

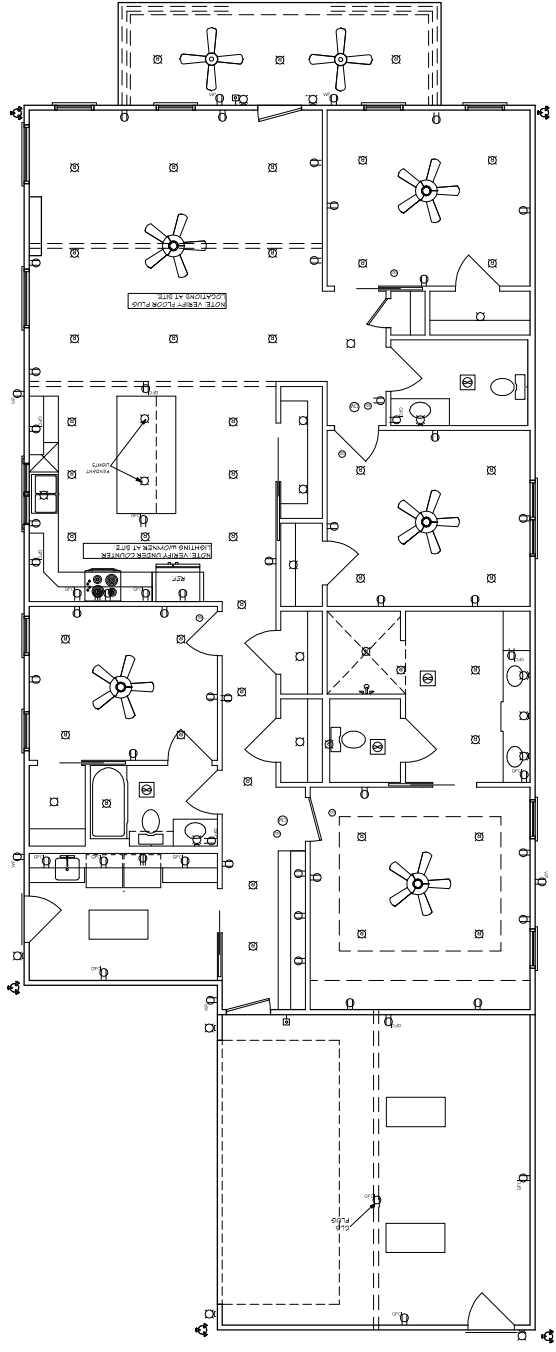
HIP/VALLEY CONVERSION

IF COMMON THEN HIP VALLEY
PITCH IS
MATCH SECOND
RISE/SLN
SLOPE

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NOTE: SWITCHES AND CONNECTIONS NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR.

BB-2219 ELECTRICAL PLAN



ELECTRICAL SYMBOLS	
SYMBOL	DESCRIPTION
	110 VOLT OUTLET
	GROUND FAULT PROTECTED OUTLET
	220 VOLT RECEPTACLE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	FLUORESCENT LIGHT
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT
	DIMMER SWITCH (OWNER TO LOCATE)
	DOOR/WINDOW SWITCH
	CAT5 NETWORKING JACK (OWNER TO LOCATE)
	TELEPHONE OUTLET (OWNER TO LOCATE)
	TELEVISION OUTLET (OWNER TO LOCATE)
	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
	THERMOSTAT (CONTRACTOR TO LOCATE)
	CEILING EXHAUST FAN VENT TO EXTERIOR
	TV SPEAKER
	RADIO SPEAKER
	CEILING FAN WITH LIGHT KIT
	CEILING FAN ONLY, NO LIGHT KIT
	TRACK LIGHTING (OWNER TO LOCATE)
	WALL SCONCE (OWNER TO LOCATE)
	CHANDIELIER 1 (0 T 5)
	CHANDIELIER 2 (0 T 5)
	EMERGENCY LIGHTING EXIT SIGN
ELECTRICAL NOTES	
1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.	
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND GARAGES ATTACHED TO THE DWELLING.	
3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND GARAGES ATTACHED TO THE DWELLING.	
4. 120 VOLT SINGLE PHASE 15-20 AMPERE GFI'S SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 20 FEET OF THE EQUIPMENT. THE RECEPTACLE SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.	

The field data upon which this plan is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. The firm FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 15069C 06/07, DATED 06/15/19

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 15069C 06/07, DATED 06/15/19

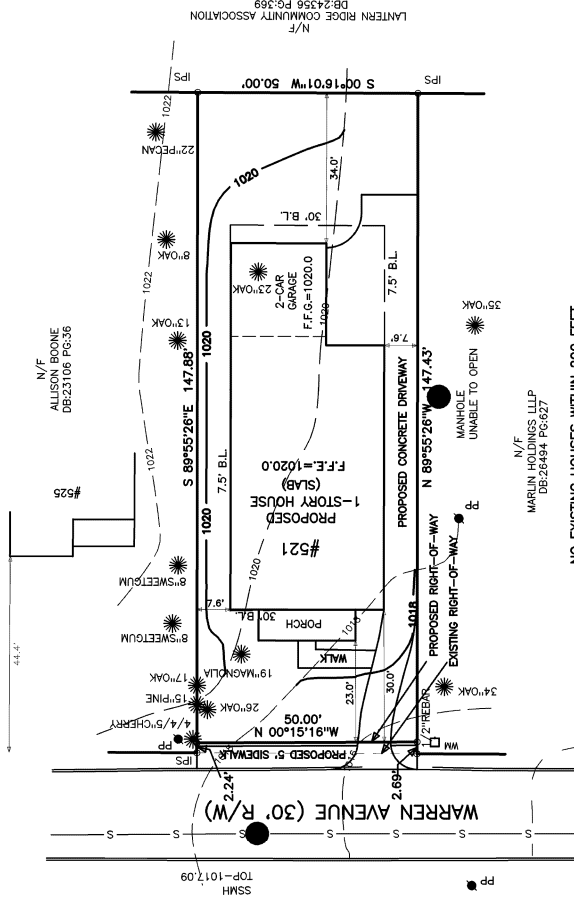
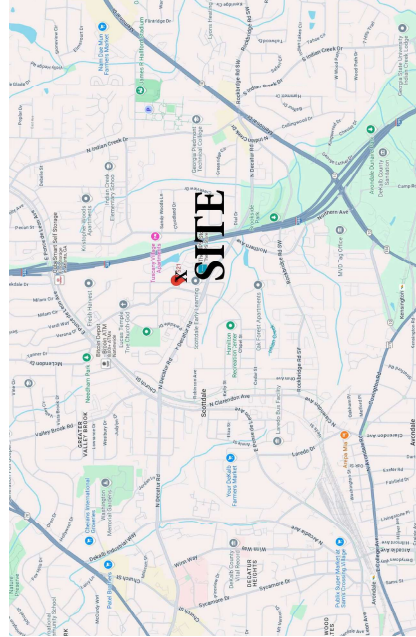
ZONING INFORMATION:

CLASSIFICATION: R-7S
SETBACKS: FRONT - 30 FEET
SIDE - 7.5 FEET
REAR - 40 FEET 30 FEET *
MINIMUM LOT WIDTH - 75 FEET
MINIMUM LOT AREA - 10,000 s.f.
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2,000 s.f.
MAXIMUM BUILDING HEIGHT - 35 FEET 28 FEET *
* - SCOTSDALE OVERLAY DISTRICT

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET
L.L. = LAND LOT
L.L.L. = LAND LOT LINE
P.L. = PROPERTY LINE
CL = CENTERLINE
B.L. = BUILDING LINE
A.W. = ALLEYWAY
S.S.E. = SANITARY SEWER EASEMENT
D.E. = DRAINAGE EASEMENT
M.H. = MANHOLE
C.B. = CURB BOX
J.B. = JUNCTION BOX
H.W. = HEADWALL
D.I. = DROP INLET
D.I.L. = DRAINAGE INLET
F.H. = FIRE HYDRANT
I.E. = INVERT ELEVATION
F.F.E. = FINISHED FLOOR ELEVATION
F.F.D. = FINISHED FLOOR ELEVATION
F.F.G. = FINISHED FLOOR GARAGE
B.O.C. = BACK OF CURB
E.P. = EDGE OF PAVEMENT
N.P. = NOT PRESENT
P.O.B. = POINT OF BEGINNING
-X-X-X- = FENCE LINE
-O-O-O- = SANITARY SEWER LINE/PIPE
-W-W-W- = WATER LINE
-G-G-G- = GAS LINE
C.M. = CONCRETE MOUNT
C.E. = CONSTRUCTION EASEMENT
C&G = CURB AND GUTTER
L.S. = LOT STATUS
C.T.P. = CRIMP TOP PIPE FOUND
C.T.P. = CRIMP TOP PIPE FOUND

24 HR CONTACT:
BRALYNN FERGUSON
(404)698-3533
BRALYNN@STRYANTINVESTMENTS.COM



NO EXISTING HOUSES WITHIN 200 FEET
IN A SOUTHERLY DIRECTION; AVERAGE
SETBACK ORDINANCE DOES NOT APPLY

ORIGINAL
LOT AREA:

7506 sf.
0.172 ACRES

PROPOSED
LOT AREA:

7382 sf.
0.169 ACRES

PROPOSED LOT COVERAGE:

HOUSE = 2600 sf.
DRIVEWAY = 1307 sf.
FRONT PORCH = 154 sf.
FRONT WALK = 77 sf.
TOTAL = 4138 sf.
LOT COVERAGE = 56.06%
MAXIMUM = 35% = 2627 sf.



CSWCC GEORGIA SOIL AND WATER
CONSERVATION COMMISSION
ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED 10/1/2019 EXPIRES 10/1/2025
SIGNATURE DATE



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA 30052
ENGINEERING & LAND SURVEYING
REVISION: 001 7/10/2024 DATE: 03/14/25
VARIANCE SITE PLAN FOR:
521 WARREN AVENUE
TAX PARCEL# 18 046 01 034
LOT: 33 - BLOCK: 6
SUB: ESKIMO HEIGHTS
COUNTY: DEKALB
DISTRICT: 16TH
GEORGIA DATE: 09/20/24 AREA = 0.172 ACRES
JOB NO. 2438861

LETTER OF SUPPORT

Christina Patterson

521 Warren Ave. Scottdale

404-790-1808

pattersonhouse74@gmail.com

March 20, 2025

DeKalb County Zoning Board of Appeals

178 Sam's St. Decatur, GA 30032

Subject: Letter of Support for Variance Request - 521 Warren Avenue
Scottdale, GA 30079

Dear Members of the Zoning Board of Appeals,

I am expressing my strong support for the variance request submitted by Christina Patterson for the property located at 521 Warren Avenue. I am/we are her neighbor(s) at 525 Warren Avenue.

Why I Support the Variance:

- The proposed project will enhance the neighborhood by improving aesthetics with the construction of a new home on a lot that has been vacant for years and the site of frequent loitering and illegal dumping.
- The variance will alleviate a hardship on the property owner, as the home they are building is specifically designed to meet the homeowner's wheelchair accessibility needs as a paraplegic.
- The project is consistent with the spirit and intent of the DeKalb County Comprehensive Plan and Zoning Ordinance as a new

home build will contribute to the ongoing revitalization of the neighborhood.

- The variance request will not negatively impact adjacent properties or the surrounding community, as there will be no outwardly evident structural changes with the build, and, other than the requested lot coverage variance, the home will be built to DeKalb County and City of Scottdale recommendations and requirements.

Conclusion:

I respectfully urge you to grant the variance request for 521 Warren Avenue. I am confident that this project will be a positive addition to our community. Thank you for your time and consideration.

Sincerely,

Tamera Perry
Tamera Perry

Xavier Perry
X