

DeKalb County Historic Preservation Commission

Monday, May 19, 2025- 6:00 P.M.

Staff Report

Consent Agenda

- A. 1088 Lullwater Road, Heather Shuster for Alair Decatur. Construct a covered porch and patio on the rear of a historic property. **1247559**

Built in 1925 (18 002 06 065)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

Summary

The applicant proposes constructing a covered porch and patio on the rear of a historic house. The 380 square foot covered porch will be constructed on the center rear façade of the lower level of the house, connecting to the first-floor family roof via a set of French doors. The covered porch will be constructed with an open gable, architectural shingle roof with a skylight installed on the right elevation of the roof. The roof of the porch will be supported with 12" square boxed columns on granite rubble piers with cast stone caps. The patio below the covered porch will be constructed with block tiles and will extend towards the Northern property line, ending at the existing driveway and measuring a total of 928 square feet. Two sets of concrete steps will be constructed along the edge of the patio, leading to the backyard. A granite retaining wall will be installed around the perimeter of the patio.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

7.0 *Additions & New Construction - Preserving Form & Layout* The Druid Hills Local Historic District continues to change and evolve over time. For this area to meet contemporary needs, additions are built, uses change, and new buildings are constructed. The challenge is not to prevent change but to ensure that, when it does inevitably happen, it is compatible with the historic character of the area.

A new building is compatible with its historic setting when it borrows design characteristics and materials from adjacent buildings and integrates them into a modern expression. Before undertaking new development, be it a new building or changes or additions to existing buildings, take time to evaluate what makes the property and the neighborhood distinctive. Evaluate what type of impact the new development will have on the property and neighborhood. Decide how the development can best be designed to complement the property and area.

The underlying guideline for new construction and additions is to consider one's neighbors and nearby structures and reinforce the existing historic character through sensitive, compatible design.

Note that many of these guidelines refer to new development or new construction but are equally applicable to additions to existing buildings.

- 7.3.1 *Additions* (p74) Guideline - Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- 7.3.1 *Additions* (p74) Guideline - Additional stories should be set well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.
- 7.3.1 *Additions* (p74) Recommendation - The Secretary of the Interior's Standards recommend that an addition be designed so that at a later date it can be removed without compromising the historic character of the building.
- 7.3.1 *Additions* (p74) Recommendation - While an addition should be compatible, it is acceptable and appropriate for it to be clearly discernible as an addition rather than appearing to be an original part of the building. Consider providing some differentiation in material, color, and/or detailing and setting additions back from the historic building's wall plane.
- 7.3.1 *Additions* (p74) Recommendation - These guidelines do not recommend adding false historical details to a noncontributing building in an effort to make it more compatible with surrounding historic buildings. Every effort should be made, however, to ensure that additions and alterations to the property do not detract further from the character of the historic environment, keeping in mind the design concepts discussed in Section 7.2.
- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to "soften" the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.

Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric W. Hudson, MCRP

Application for Certificate of Appropriateness

Date submitted: 4/25/2025 Date Received: _____
Address of Subject Property: 1088 Lullwater Rd, Atlanta, GA 30307
Applicant: Heather Shuster, Alair Decatur E-Mail: heather.shuster@alairhomes.com
Applicant Mailing Address: 619 E College Avenue, Suite D-1, Decatur, GA 30030
Applicant Phone: 678-362-7895

Applicant's relationship to the owner: Owner ☐ Architect ☐ Contractor/Builder ☒ Other ☐

Owner(s): Carlton Prickett Email: carltonprickett@gmail.com
Owner(s): Kara Prickett Email: prickett.kara@gmail.com
Owner(s) Mailing Address: 1088 Lullwater Rd, Atlanta, GA 30307
Owner(s) Telephone Number: 404-825-3847

Approximate date of construction of the primary structure on the property and any other structures affected by this project: 1925

Nature of work (check all that apply):

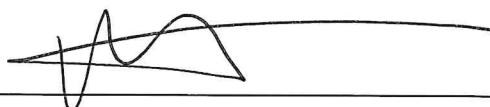
New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input type="checkbox"/>	Landscaping	<input type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input checked="" type="checkbox"/>	Fence/Wall	<input type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

Homeowner wishes to add open porch and patio to rear yard. No view of material changes will be visible from the street.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is not the owner of the property.

I/ We: Carlton Prickett/Kara Prickett

being owner(s) of the property at: 1088 Lullwater Rd, Atlanta, GA 30307

hereby delegate authority to: Heather Shuster, Alair Decatur

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):

Date:

4/25/25

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.**

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

[illegible]

Notes

1. This plan might be subject to modifications by the client or by Cosmic Design Studio and should not be used as a construction plan.
2. Trees, utilities, and other elements not shown in this plan may still exist in situ.

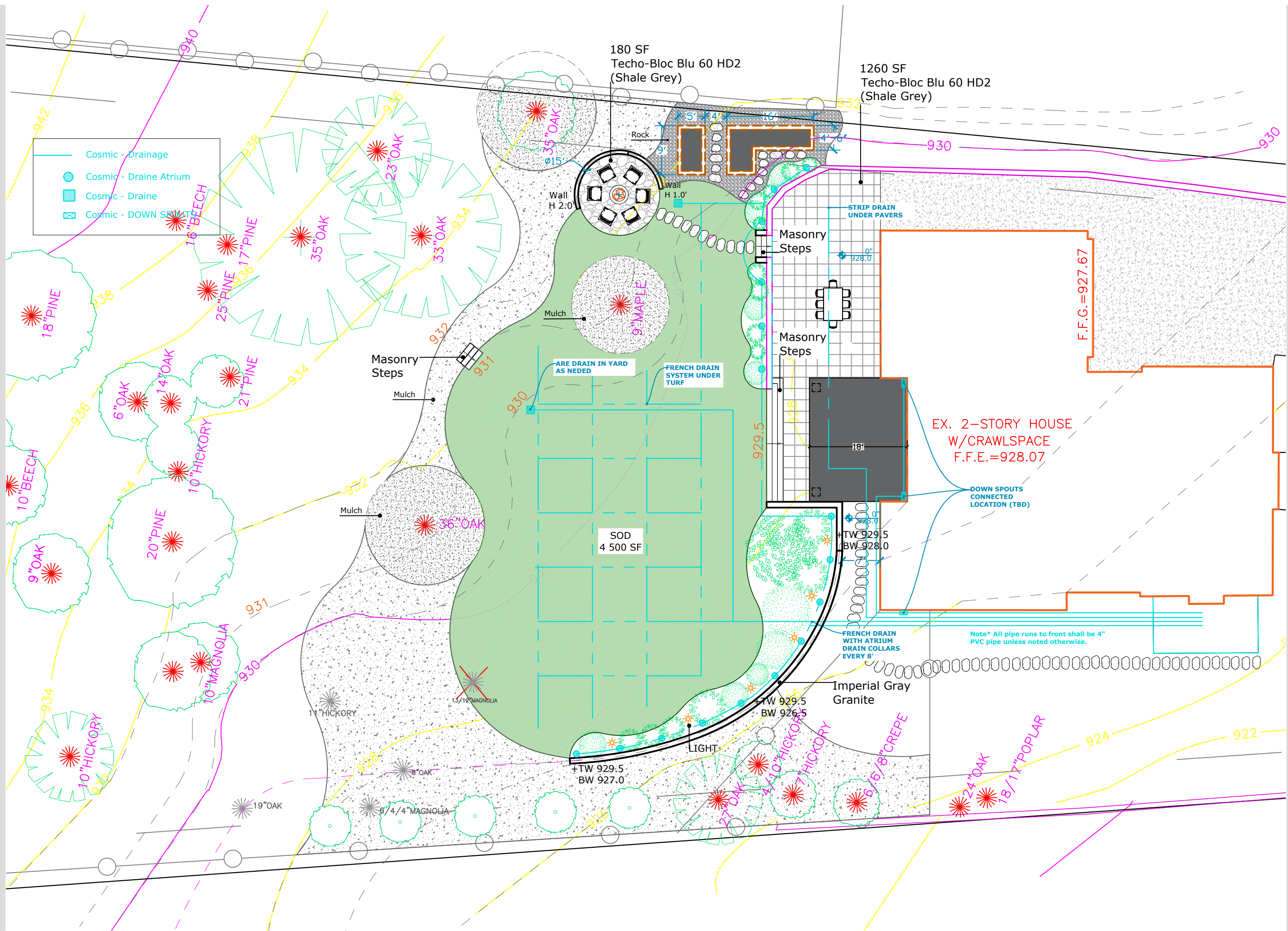
Project Number	Date
230901	02.04.2025
Drawn By	Checked By
NV	XX

BASE Plan

SP-101

Scale $1/16" = 1'-0"$

www.cosmicdesign.studio
(404)-400-3652



Existing Photography of 1088 Lullwater



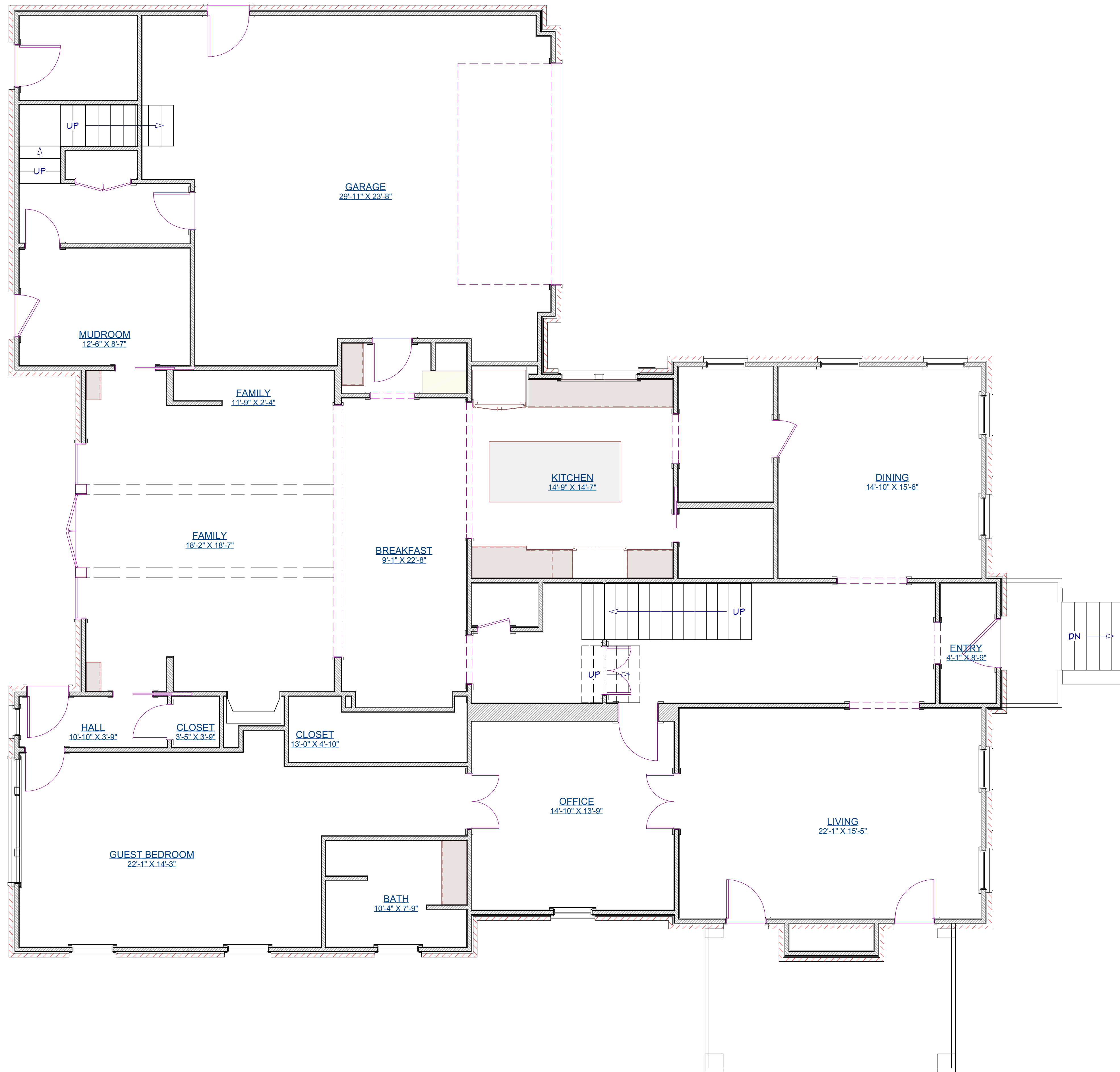
Existing Front of House



Existing Rear of House



Existing Patio and Retaining Wall Material at Back Yard



PRICKETT RESIDENCE
1088 LULLWATER RD. NE
DEKALB COUNTY, GA. 30307

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DECATUR, GEORGIA 30031
404.934.8787

DATE:
4-25-25
SCALE:
AS NOTED

A1
RELEASED FOR
CONSTRUCTION



1
A2

AS-BUILT SECOND LEVEL FLOOR PLAN
SCALE= 1/4"=1'-0"

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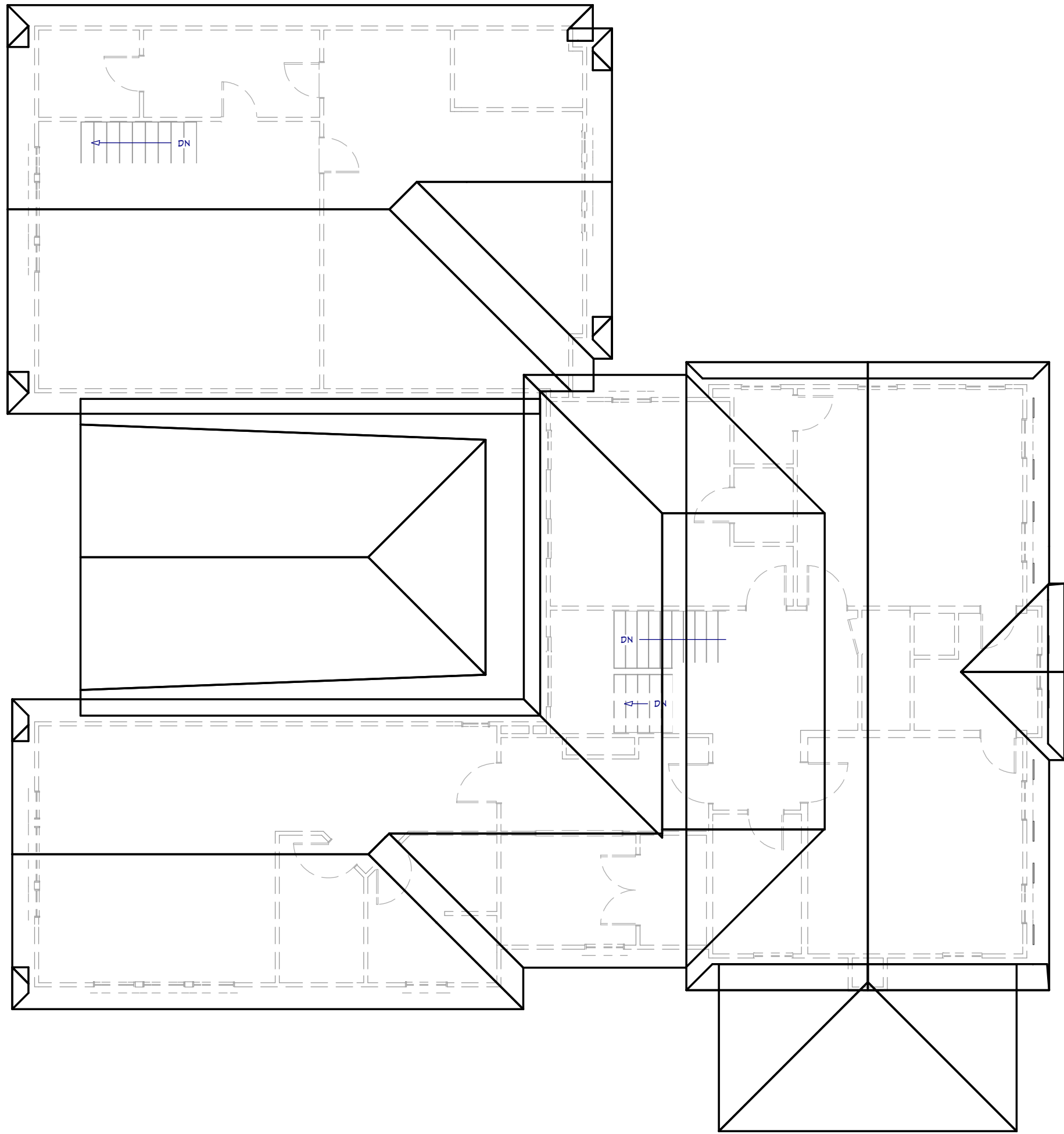
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A2

RELEASED FOR
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1
A3 AS-BUILT ROOF PLAN
SCALE= 1/8"=1'-0"



2
A3 AS-BUILT FRONT ELEVATION
SCALE= 1/4"=1'-0"



3
A3 AS-BUILT LEFT ELEVATION
SCALE= 1/4"=1'-0"

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A3
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1
A4 AS-BUILT RIGHT ELEVATION
SCALE= 1/4"=1'-0"



2
A4 AS-BUILT RIGHT ELEVATION
SCALE= 1/4"=1'-0"

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A4

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1
A5 PROPOSED MAIN LEVEL FLOOR PLAN
SCALE= 1/4"=1'-0"

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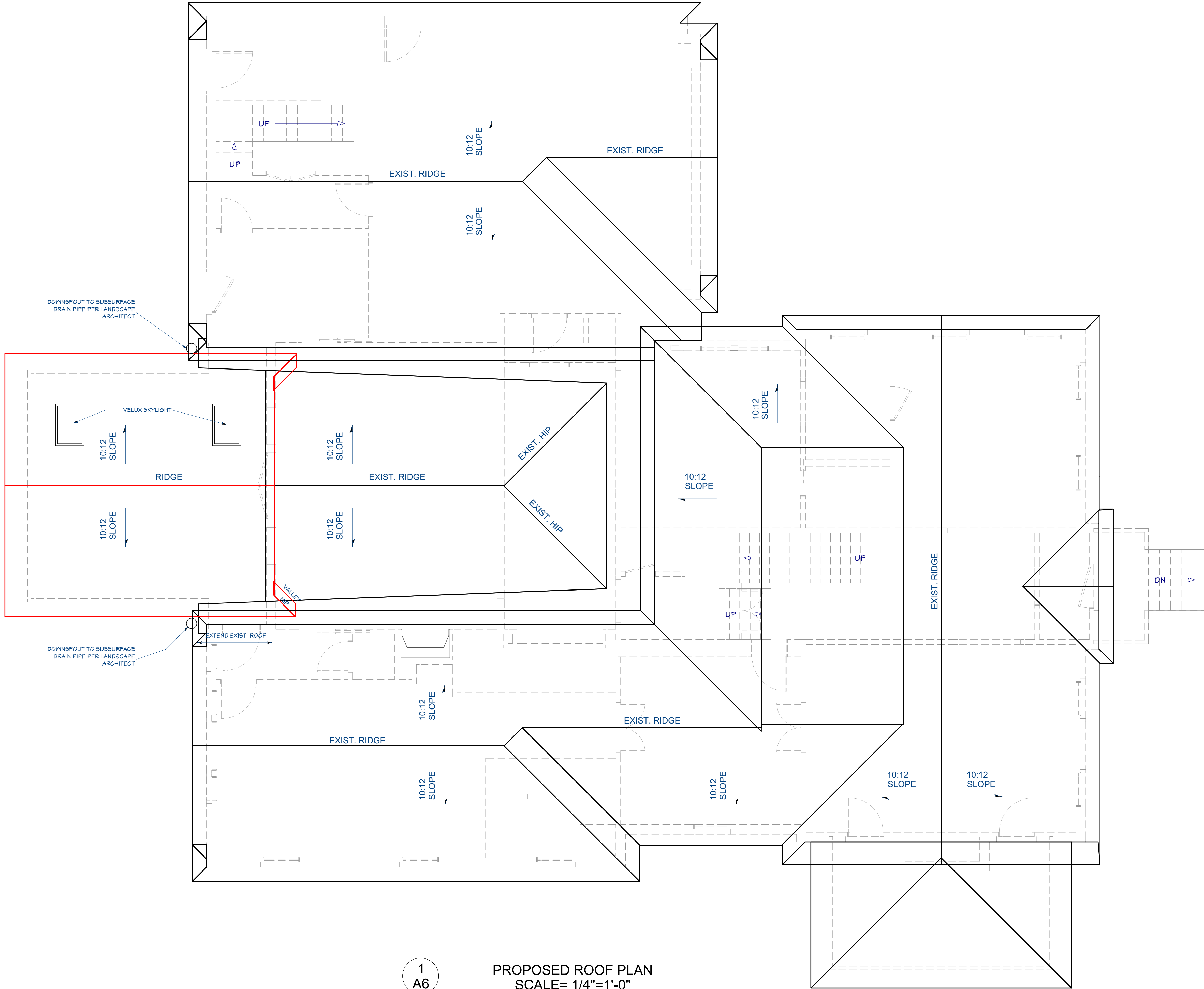
4-25-25

SCALE:

A5 NOTED

A5

RELEASED FOR
CONSTRUCTION



1
A6

PROPOSED ROOF PLAN
SCALE= 1/4"=1'-0"

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DATE:
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SCALE:
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A6

RELEASED FOR
CONSTRUCTION



NO CHANGE TO FRONT ELEVATION

1
A7

PROPOSED FRONT ELEVATION
SCALE= 1/4"=1'-0"



2
A7

PROPOSED LEFT ELEVATION
SCALE= 1/4"=1'-0"

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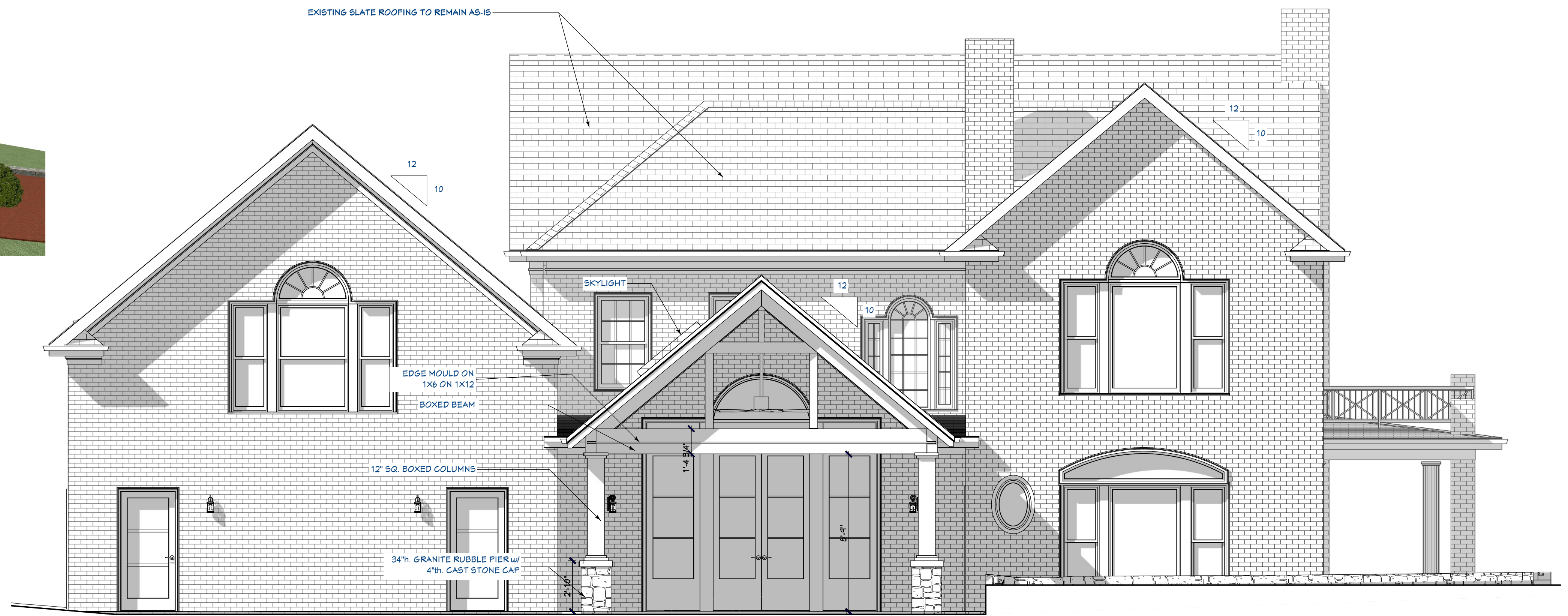
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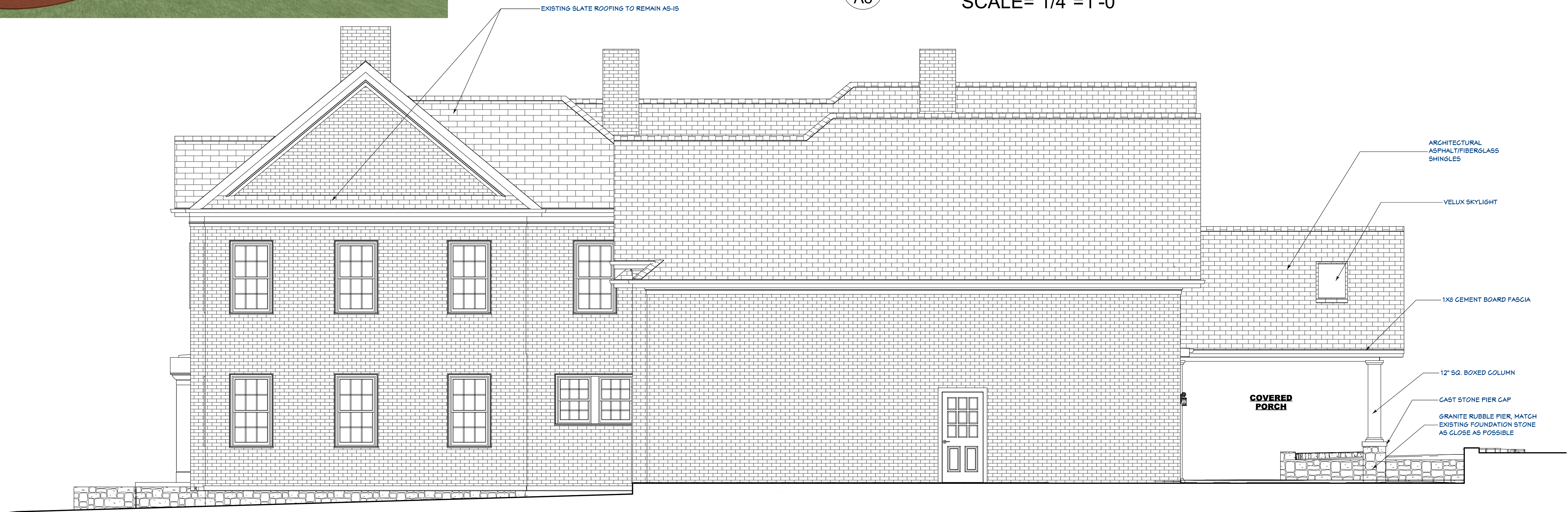
DATE:
4-25-25
SCALE:
AS NOTED

A7

RELEASED FOR
CONSTRUCTION



1
A8 PROPOSED REAR ELEVATION
SCALE= 1/4"=1'-0"



2
A8 PROPOSED RIGHT ELEVATION
SCALE= 1/4"=1'-0"

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SCALE:
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A8
RELEASED FOR
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COSMIC DESIGN STUDIO

MATERIAL SELECTION

CUSTOMER: 231017 Kara Prickett - 1088 Lullwater Rd NE, Atlanta, GA 30307

OPTION 1

BACK YARD

PATIO



Techo-Bloc Blu 60 HD2 - Shale Grey

STEPS



Concrete overlay - Shale Grey

WALL



Granite - Imperial Gray

DATE _____ Client signature _____