

# DeKalb County Historic Preservation Commission

Monday, May 19, 2025- 6:00 P.M.

## *Staff Report*

### **Regular Agenda**

F. 1380 Emory Road, Wiliam Witherspoon. Replace windows on a historic house. **1247564.**

Built in 1929 (18 054 11 014)

This property is in the Druid Hills Character Area #2 and the Druid Hills National Register Historic District.

03-09 1380 Emory Road (DH), Richard Stevens. Widen driveway. 15673. **Approved with modifications**

### **Summary**

The applicant proposes replacing the existing wood windows on a historic house. The new windows will be either steel or vinyl and will match the current windows in size and design.

### **Recommendation**

**Approve with Modifications.** Staff recommends the approval of the application with the modification that the applicant may replace the windows located on the side and rear elevations of the property; however, the windows on the front façade of the house should be retained and repaired if possible and only replaced if the windows cannot be repaired, in accordance with Guideline 6.1.4. In accordance with Guideline 6.1.4, staff recommends that the windows are replaced with either wood or a composite material to match the original windows.

### **Relevant Guidelines**

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 6.1.4 *Windows* (p55) Guideline - Existing windows, including sashes, lights, lintels, sills, frames, molding, shutters, and all hardware should be retained and repaired through routine maintenance whenever possible. When deteriorated elements must be replaced, new elements should be compatible with the original in terms of material, design and hardware. Should it be necessary to replace an entire window, the replacement should be sized to the original opening and should duplicate all proportions and configurations of the original window.

Chief Executive Officer  
Lorraine Cochran-Johnson

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Interim Director  
Cedric W. Hudson, MCRP

**Application for Certificate of Appropriateness**

Date submitted: \_\_\_\_\_

Date Received: \_\_\_\_\_

Address of Subject Property: \_\_\_\_\_

Applicant: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

Applicant Phone: \_\_\_\_\_

Applicant's relationship to the owner: Owner ☐ Architect ☐ Contractor/Builder ☐ Other ☐

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Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s) Mailing Address: \_\_\_\_\_

Owner(s) Telephone Number: \_\_\_\_\_

Approximate date of construction of the primary structure on the property and any other structures affected by this project: \_\_\_\_\_

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input type="checkbox"/>	Landscaping	<input type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input type="checkbox"/>	Fence/Wall	<input type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. **All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) and [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov). An incomplete application will not be accepted.**

Signature of Applicant: \_\_\_\_\_



Chief Executive Officer  
Michael Thurmond

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Director  
Andrew A. Baker, AICP

## Homeowners Building Affidavit

Date: 04/11/2025

Applicant: William Witherspoon Phone: (314) 852-3351

Address: 435 Maynard Terr SE Atlanta GA 30316

This Homeowner's Permit is for: ☐ New Home ☐ Addition ☒ Renovation

Work Description: Renovation of new home

The following permit(s) will be required and will be made under separate application:

☒ Heating ☒ Plumbing ☒ Electrical

I, the undersigned homeowner, certify the following to be true and accurate:

- A. The property described in this permit application is currently owned and occupied by the undersigned homeowner and applicant agrees that all electrical, plumbing, heating and air conditioning work is subject to a separate application not covered by this permit.
- B. Applicant will function as the general contractor or subcontractor, and accept inherent responsibilities for the authorized work by the approved master permit. Applicant is authorized to directly supervise and manage all work not performed by licensed contractors and is aware that he cannot delegate that responsibility to any person who does not have a license which covers the scope of work to be managed or supervised.
- C. Applicant agrees to build in accordance with the DeKalb County's Codes and any other applicable laws and codes. Applicant understands that inspections must be performed in an established sequence and that work performed out of sequence may be ordered removed. All non-compliant work must be corrected or may be subject to an order to remove.
- D. Applicant further affirms that he/she is aware that a permit issued may be suspended or revoked wherever the permit was issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of any applicable code.
- E. Applicant further affirms that he/she is aware that any knowingly false statement made in the permit application may subject said applicant to prosecution for violation of Georgia Criminal Code, Section 16-10-20 (False Swearing) and a possible fine of not more than \$1,000.00 or imprisonment for not less than one (1) or more than five (5) years, or both.

\_\_\_\_\_  
**Signature of Homeowner**

William Witherspoon  
**Printed Name of Homeowner**

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
**Signature & Seal of Notary Public**

\_\_\_\_\_  
**My Commission Expires**

**\*\*\*For Official Use Only\*\*\***

☐ ID  
Signature of Manager / Supervisor \_\_\_\_\_

☐ Proof of Ownership

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## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by emailing **plansustain@dekalbcountyga.gov** AND **pvjennings@dekalbcountyga.gov**.
2. Complete and submit the application via email. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3(HPC Calendar). **Email the application and supporting documents to plansustain@dekalbcountyga.gov AND pvjennings@dekalbcountyga.gov**. If all documents are not provided the application will not be complete and will not be accepted.
3. Once the application has been received, the Administrative Specialist for the Department of Planning and Sustainability will provide a sign template and instructions on how to post the required signage on the property at least ten days before the preservation commission meeting. If the applicant does not post the required signage and provide evidence of posting within ten days before the preservation commission meeting, their application may be deferred or denied due to improper public notification.
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.



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## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945 or via e-mail at [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov).

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

**I have reviewed the "Design Manual for the Druid Hills Local Historic District".**

**I have reviewed the DeKalb County Tree Ordinance.**

**I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.**

#### **1. General**

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

#### **2. Site Plan** (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

#### **3. Driveways and Walkways**

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

**4. Fences & Retaining Walls**

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

**5. Elevations and Floor Plans:** <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

**6. Additions**

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

**7. Roof Plan**

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

**8. Dormers**

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

**9. Skylights**

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

**10. Façade**

- a. Consistency in style;
- b. Materials and their combinations
  - brick size and color
  - stone type and color
  - fiber-cement (e.g., Hardie-plank) or wood siding
  - shake or shingle
  - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

**11. Entrance**

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

**12. Windows**

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

**13. Materials**

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### 14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

### 15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

## Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
  - Representative photos
  - Letters of support/opposition
  - Architectural drawings
  - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

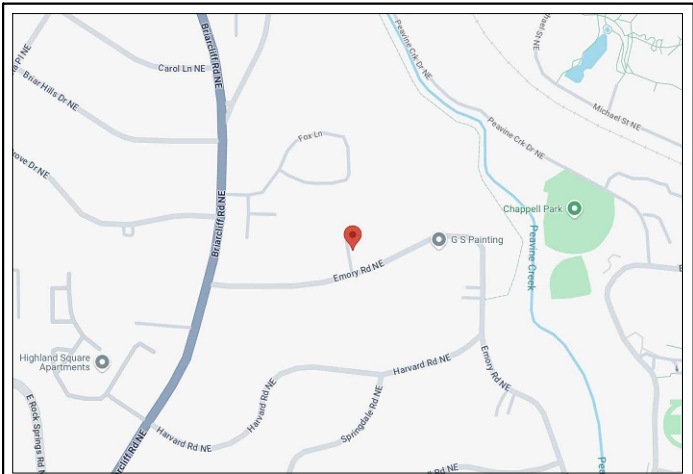
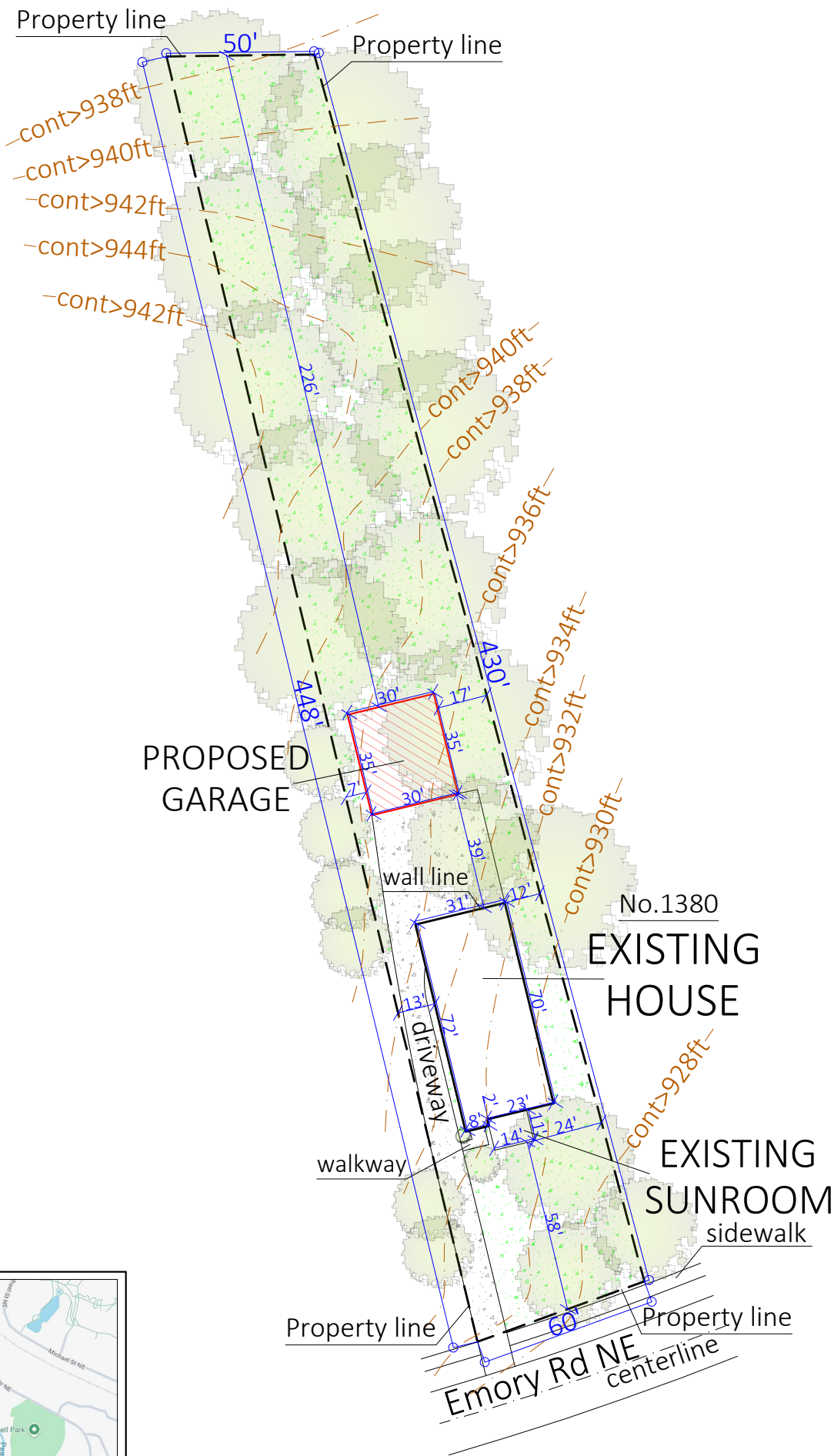
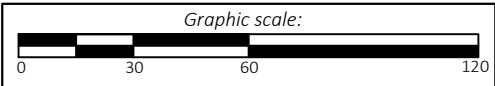
I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.

S I T E P L A N  
1380 Emory Rd NE  
Atlanta, GA 30306  
Parcel ID: 18 054 11 014  
Lot area: 0.55 Acres  
Paper Size: 11"x17"



scale 1"=50'



VICINITY MAP

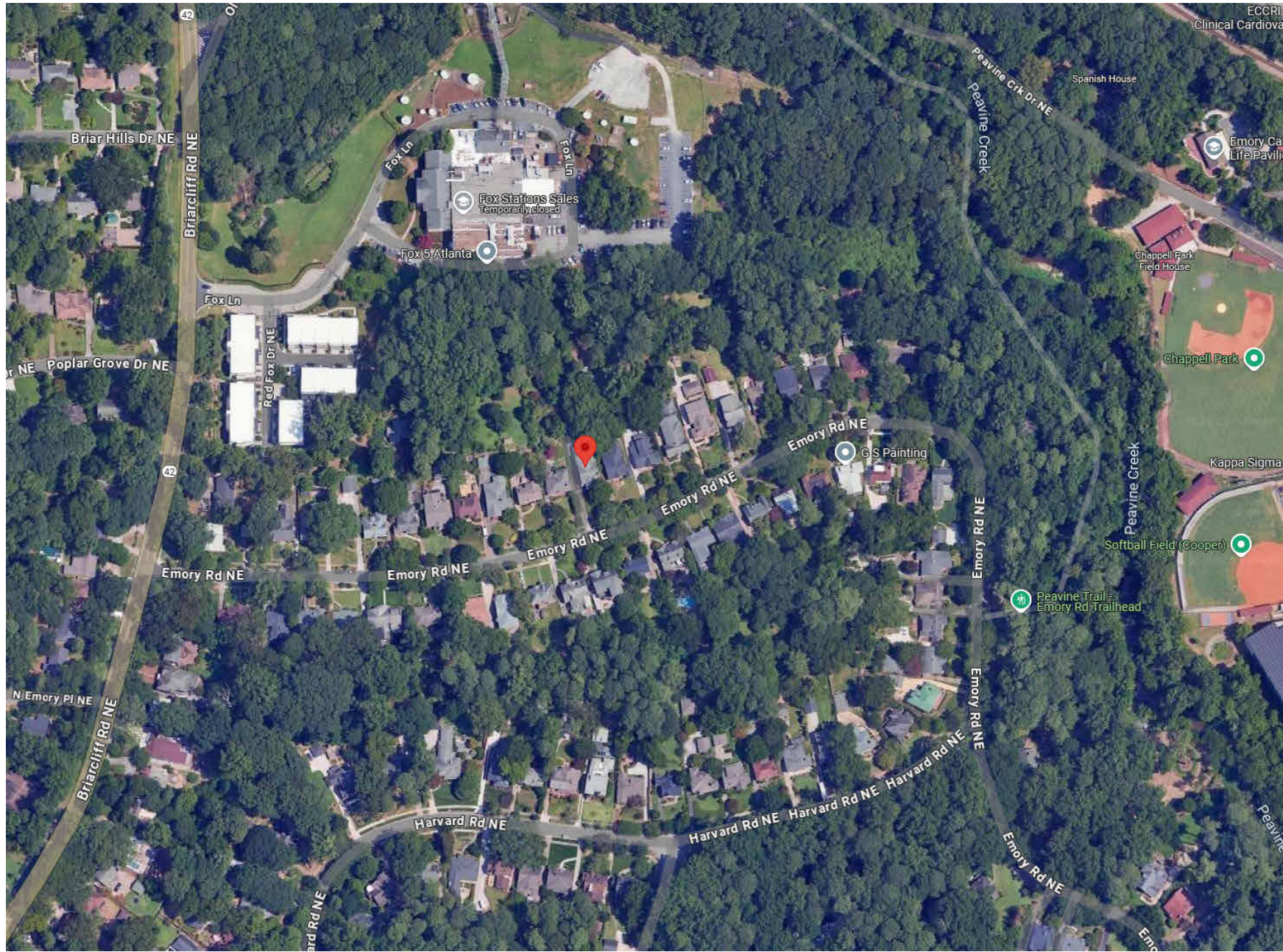
Calculating Building and Lot Coverage Percentages  
Lot area: 23,958 sq.ft.  
Total building coverage (gross floor area): 3,388 sq.ft.  
Building Coverage Percentage: 3,388 sq.ft / 23,958 sq.ft = 0.14141 = 14.1%  
Total Lot Coverage: 6,366 sq.ft.  
Lot Coverage Percentage: 6,366 sq.ft / 23,958 sq.ft = 0.26571 = 26.6%  
\*Total landscape areas:

Disclaimer

This is not a Legal Survey, nor is it intended to be or replace one.  
These measurements are approximate and are for illustrative purposes only.  
This work product represents only generalized location of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, objects or boundary.



1380 Emory Rd NE, Atlanta, GA 30306



LOCATION MAP NOT TO SCALE

APPLICABLE CODES:

- 2018 International Building Code with Georgia Amendments
- 2018 International Existing Building Code with Georgia Amendments
- 2018 International Residential Code with Georgia Amendments
- 2018 International Plumbing Code with Georgia Amendments
- 2018 InternationalMechanical Code with Georgia Amendments
- 2018 International Fuel Gas Code with Georgia Amendments
- 2015 International Energy Conservation Code with Georgia Amendments
- 2020 Electrical Code with Georgia Amendments

SHEET INDEX

- A1.01 DEMO PLANS
- A1.02 FLOOR PLANS
- A1.03 SECTION ROOF PLAN DETAILS
- S1.01 DETAILS
- S1.02 FOUNDATION PLAN FRAMING PLANS

DESIGN SELFWEIGHT LOADS ARE IN ACCORDANCE WITH SHOWN PHYSICAL STRUCTURE.

- A.: DEAD LOAD = 15 PSF
- LIVE LOAD = 20 PSF
- GROUND SNOW LOAD = 19PSF
- B.: DEAD LOAD = 15 PSF
- LIVE LOAD = 40 PSF
- C. WIND SPEED (ULTIMATE) = 105MPH
- WIND IMPORTANCE FACTOR: CATEGORY II, IMPORTANCE FACTOR= 1.0
- WIND EXPOSURE: SURFACE ROUGHNESS = "B"
- EXPOSURE = "B"
- ENCLOSURE CLASSIFICATION: ENCLOSED PER ASCE 7-16
- D.: SEISMIC DESIGN CATEGORY: D
- RISK CATEGORY II
- SITE CLASS D
- Ss = 0.25
- S1=0.094
- SOIL BEARING CAPACITY = 2000 PSF

GENERAL NOTES

- MATERIALS AND WORKMANSHIP TO CONFORM WITH THE BUILDING CODE.
- THESE GENERAL NOTES SUPPLEMENT THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THE PLANS AND SPECIFICATIONS, CONTACT THE OWNER'S REPRESENTATIVE.
- REFERENCE TO CODES, RULES, REGULATIONS, STANDARDS AND MANUFACTURER'S INSTRUCTIONS IS TO THE LATEST PRINTED EDITION IN EFFECT AT THE DATE OF SUBMISSION OF BID UNLESS THE DOCUMENT DATE IS SHOWN.
- IT IS RESPONSIBILITY OF CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY STRUCTURAL ENGINEER OF DISCREPANCIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXTERIOR SLABS AND WALLS.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, USE SIMILAR DETAILS OF CONSTRUCTION, SUBJECT TO REVIEW BY THE OWNER'S REPRESENTATIVE.
- DO NOT SCALE THE DRAWINGS.
- PROVIDE TEMPORARY BRACING AND SHORING NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. RETAIN A REGISTERED ENGINEER WHO IS PROPERLY QUALIFIED TO DESIGN BRACING, SHORING, ETC.
- INFORMATION SHOWN ON THE DRAWINGS RELATED TO EXISTING CONDITIONS REPRESENTS THE PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. REPORT CONDITIONS THAT CONFLICT WITH THE CONTRACT DOCUMENTS TO THE OWNER 'S REPRESENTATIVE.
- ELEVATIONS ARE PER ARCHITECTURAL DRAWINGS.
- CONSTRUCTION LOADS: EVENLY DISTRIBUTE MATERIALS ON FLOORS AND ROOFS. DO NOT TO EXCEED ALLOWABLE LOADING FOR SUPPORTING MEMBERS AND CONNECTIONS.
- ARCHITECT'S/ENGINEER'S REVIEW OF THE SHOP DRAWINGS SHALL NOT BE CONSTRUED AS AUTHORIZATION TO DEVIATE FROM THE CONTRACT DOCUMENTS.

FOUNDATION AND SITE WORK

- THE DESIGN OF THE FOUNDATION SYSTEM IS BASED UPON MINIMUM CODE PRESCRIBED VALUES.
- LOCATE AND PROTECT EXISTING UTILITIES TO REMAIN DURING AND/OR AFTER CONSTRUCTION.
- REMOVE ABANDONED FOOTINGS, UTILITIES, ETC. WHICH INTERFERE WITH NEW CONSTRUCTION, UNLESS OTHERWISE INDICATED. NOTIFY THE OWNER'S REPRESENTATIVE IF ANY BURIED STRUCTURES NOT INDICATED, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC., ARE FOUND.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, UNDERPINNING AND PROTECTION OF EXISTING CONSTRUCTION.
- REMOVE LOOSE SOIL AND STANDING WATER FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE.
- EXCAVATIONS FOR FOUNDATIONS MUST BE ACCEPTED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLACING REINFORCING AND CONCRETE. NOTIFY THE OWNER'S REPRESENTATIVE WHEN EXCAVATIONS ARE READY FOR INSPECTION.
- FOUNDATION DESIGN IS BASED ON AN ASSUMED BEARING CAPACITY OF 2000 PSI. BEFORE CONSTRUCTION, CONTRACTOR SHALL HAVE SOILS TESTED BY A LICENSED GEOTECHNICAL ENGINEER TO VERIFY CAPACITY. SUBMIT TEST RESULTS TO ENGINEER FOR REVIEW.

REINFORCING STEEL

- REINFORCING TO CONFORM TO THE FOLLOWING, UNLESS OTHERWISE NOTED:

- | LOCATIONS ALL REINFORCING  | TYPE ASTM A615, 60 KSI |
|--|------------------------|
| ACCURATELY POSITION, SUPPORT, AND SECURE REINFORCEMENT FROM DISPLACING DUE TO FORMWORK, CONSTRUCTION, OR CONCRETE PLACEMENT OPERATIONS. LOCATE AND SUPPORT REINFORCING BY METAL CHAIRS, RUNNERS, BOLSTERS, SPACERS, AND HANGERS AT A MAXIMUM 3-FOOT SPACING. |                        |
| TERMINATE REINFORCING STEEL IN STANDARD HOOKS, UNLESS OTHERWISE SHOWN.   |                        |
| PROVIDE REINFORCING SHOWN OR NOTED CONTINUOUS IN LENGTHS AS LONG AS PRACTICAL.   |                        |
| PROVIDE REINFORCING BAR DOWELS IN FOOTINGS, PILE CAPS AND OTHER SUPPORTING MEMBERS OF THE SAME SIZE AND SPACING AS VERTICAL REINFORCING, U.O.N.  |                        |

CAST-IN-PLACE CONCRETE

- CONCRETE IS REINFORCED AND CAST-IN-PLACE UNLESS OTHERWISE NOTED, WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS, SUBJECT TO REVIEW BY THE OWNER'S REPRESENTATIVE.
- CONCRETE CLEAR COVER TO REINFORCING BARS IS AS FOLLOWS, UNLESS OTHERWISE NOTED:

LOCATIONS CONCRETE PLACED AGAINST EARTH FORMED SURFACES EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:	CLEAR COVER 3 INCHES
#5 BARS AND SMALLER	1 1/2 INCHES
#6 BARS AND LARGER	2 INCHES
SLABS ON GRADE (TOP CLEARANCE)	1 1/2 INCHES
- CONCRETE TYPES:

CLASS	28 DAY Fc (PSI)	TYPE	LOCATION
A	3000	NORMAL WEIGHT	FOUNDATIONS, WALLS
B	3000	NORMAL WEIGHT	SLABS ON GRADE, MISC. CURBS, PADS, ETC.
- CONTINUOUSLY MOIST CURE CONCRETE SLABS-ON-GRADE FOR 7 DAYS MINIMUM. WATER FOG SPRAYS, PONDING, SATURATED ABSORPTIVE COVERS, OR MOISTURE RETAINING COVERS MAY BE USED. CURING COMPOUNDS ARE NOT ACCEPTABLE.
- NON-SHRINK GROUT SHALL HAVE F'c = 7000 PSI, MIN.
- CONCRETE MIXES SHALL USE TYPE II CEMENT AND BE DESIGNED BY AN APPROVED LABORATORY AND BEAR THE STAMP OF A CO REGISTERED ENGINEER.

STRUCTURAL STEEL

- ADHESIVE ANCHORS SHALL BE HILTI "HVA ANCHORS", SIMPSON "SET EPOXY" OR AN APPROVED EQUIVALENT.
- MISCELLANEOUS STEEL ROLLED SHAPES,EMBED PLATES AND ANGLES SHALL CONFORM TO ASTM A36.
- HOLLOW STRUCTURAL SHAPES ARE TO CONFORM TO ASTM A500 GRADE B, MINIMUM YIELDPOINT IS 42 KSI FOR ROUND HSS AND 46 KSI FOR RECTANGULAR HSS.
- WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STANDARD D1. LATEST EDITION. ELECTRODES FOR SHOP AND FIELD WELDS SHALL CONFORM TO ASTM A233.
- ANCHOR BOLTS SHALL CONFIRM ASTM A36/A307/F1554 GR.36 (Fu=58-80 KSI).

ROUGH CARPENTRY

- FRAMING LUMBER: SOUTHERN PINE

MEMBER	MOISTURE CONTENT	WOOD/GRADE
VERT. STUDS 12'-0" OR SHORTER	19%	STNDR & BTR.
POSTS, BMS. & JOISTS	19%	S.P. #2 & BTR.
ALL OTHERS	19%	S.P. #2 & BTR.

- PANEL SHEATHING: IDENTIFY WOOD STRUCTURAL PANELS WITH THE APPROPRIATE TRADEMARK OF APA-THE ENGINEERED WOOD ASSOCIATION AND MEET THE REQUIREMENTS OF THE VOLUNTARY PRODUCT STANDARD PS-1 OR PS-2 AND APA PRP-108 PERFORMANCE STANDARD.

- | A. PANEL SHEATHING TO BE EXPOSURE 1.  |
|---|
| PLYWOOD PANELS TO BE 5-PLY MINIMUM, EXCEPT 3/8" PANELS TO BE 3-PLY MINIMUM. |
| PLYWOOD TO BE CC GRADE AT LOCATIONS EXPOSED TO WEATHER;                     |
| CD GRADE ELSEWHERE.   |

- TREATED WOOD: PRESERVATIVE TREATED WOOD - AWPA STANDARD U1 AND M

- | A. FOUNDATION SILLS SHALL BE PRESERVATIVE-TREATED WOOD.   |
|---|
| MOISTURE CONTENT OF PRESERVATIVE TREATED WD. SHALL BE 19% OR LESS BEFORE BEING COVERED WITH INSULATION, INTERIOR WALL FINISH, AND FLOOR COVERING MATERIALS. |

- ENGINEERED WD. PRODUCTS SUCH AS PRE-FABRICATED WD. I-JOISTS, STRUCTURAL GLUED-LAMINATED TIMBER, STRUCTURAL COMPOSITE LUMBER AND DESIGN TRUSSES SHALL NOT BE NOTCHED OR DRILLED EXCEPT WHERE PERMITTED BY THE MNFR'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER BY A REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.

- ROUGH HARDWARE:

- | A. NAILS AND STAPLES: COMMON WIRE NAILS AND STAPLES, ASTM F1667,   |
|--|
| STANDARD LENGTHS U.O.N. USE HOT-DIPPED ZINC-COATED GALVANIZED NAILS FOR EXTERIOR INSTALLATIONS AND WHEN PENETRATING PRESSURE TREATED OR FIRE-RETARDANT LUMBER.   |
| BOLTS AND THREADED RODS: ASTM A307, SQUARE OR HEXAGONAL  |
| HEAD MACHINE BOLTS WITH ASTM A563 NUTS. USE MALLEABLE IRON WASHERS UNDER HEAD AND NUT WHEN IN CONTACT WITH WOOD.   |
| C. PLATE WASHERS: AT SILL PLATES, USE 3"x3"x3/16" MINIMUM PLATE WASHERS. THE HOLE IN PUXTE THE WASHER IS PERMITTED TO BE DIAGONALLY SLOTTED WITH A WIDTH OF UP TO 3/16" LARGER THAN THE BOLT DIA. AND A SLOT LENGTH NOT TO EXCEED 1-3/4", PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT. |
| D. LAG SCREWS: ASTM A307, ANSI/ASME STANDARD B18.2.1. USE ANSI B18.22.1 WASHERS UNDER HEAD WHEN IN CONTACT WITH WOOD.  |
| E. SCREWS: ASTM A307, ANSI/ASME STANDARD B 18.6.1. USE CADMIUM-PLATED PAN OR ROUND HEADED SCREWS AT STEEL TO WOOD AND WOOD TO WOOD CONNECTIONS.  |
| F. MISCELLANEOUS STEEL: ASTM A36.  |
| G. BOLTS, NUTS, WASHERS, STRAPS AND OTHER HARDWARE EXPOSED TO THE WEATHER TO BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.  |
| H. FRAMING CLIPS, SHEET METAL STRAPS, ETC.: SIMPSON, UNIVERSAL, OR SILVER, WITH ICBOLARR REPORTS. DESIGNATIONS ON DRAWINGS ARE BASED ON SIMPSON CATALOGUE NUMBERS. INSTALL PER MANUFACTURER RECOMMENDATIONS AND LARR REQUIREMENTS.   |
| I. HOLDDOWN CONNECTOR BOLTS INTO WD. FRAMING REQUIRE APPROVED  |
| PL. WASHERS. HOLDDOWNS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.   |
| J. HOLDDOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.  |

- NAILING:

- | A. DRIVE NAILS PERPENDICULAR TO THE GRAIN, U.O.N.  |
|--|
| PREDRILL HOLES TO 3/4 OF NAIL DIAMETER WHERE SPECIFIED AND WHEN WOOD TENDS TO SPLIT.   |
| AIR-DRIVEN NAILS TO BE FULL-HEADED NAILS. DO NOT OVERDRIVE NAILS.  |
| PANEL SHEATHING: AT FLOOR AND ROOF SHEATHING, USE RING SHANK NAILS. USE SMOOTH SHANK NAILS AT WALLS. GLUE FLOOR SHEATHING AT ALL POINTS OF CONTACT.  |
| MACHINE DRIVEN NAILING: NAILHEADS THAT PENETRATE THE OUTER PLY MORE THAN WOULD BE NORMAL FOR A HAND HAMMER OR IF THE MINIMUM ALLOWABLE EDGE DISTANCES ARE NOT MAINTAINED THE INSTALLATION IS UNSATISFACTORY. MACHINE NAILING IS NOT APPROVED IN 5/16" OR LESS SHEATHING. MECHANICALLY DRIVEN NAILS USED IN WD. STRUCTURAL PANEL SHEAR WALLS SHALL MEET THE SAME DIMENSIONS AS THAT REQUIRED FOR HAND DRIVEN NAILS, INCLUDING DIA., MIN LENGTH AND MIN. HEAD DIA. CLIPPED HEAD OR BOX NAILS ARE NOT ACCEPTABLE. |
| F. ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING. STRENGTH AXIS OF WOOD STRUCTURAL PANEL SHALL BE PERPENDICULAR TO SUPPORTS. FLOOR DIAPHRAGMS SHALL BE T&G OR HAVE BLOCKED PANEL EDGES. WOOD STRUCTURAL PANELS SHALL CONFORM TO IBC 2304.8.   |

- MINIMUM NAILING TO BE AS FOLLOWS, UNLESS OTHERWISE NOTED:

JOISTS OR RAFTERS TO SIDES OF STUDS:  
8 INCH OR LESS FOR EACH ADDITIONAL 4 INCH IN DEPTH OF JOIST

(3) 16d  
(1) 16d

JOISTS OR RAFTERS AT ALL BEARINGS: TOE NAILS EACH SIDE

(2) 10d

STUDS TO BEARING:

TOE NAILS EACH SIDE  
END NAIL AT 2x  
END NAIL AT 3x

(2) 8d  
(2) 16d  
(2) 20d

BLOCKING BETWEEN JOISTS OR RAFTERS TO JOIST OR RAFTERS:  
TOE NAILS EACH SIDE, EACH END TO JOIST OR RAFTER BEARINGS:  
TOE NAILS EACH SIDE

(3) 8d  
(2) 10d

CROSS-BRIDGING BETWEEN JOISTS OR RAFTERS:  
TOE NAILS EACH END  
TOE NAILS EACH END  
HERRINGBONE BLOCKING

(2) 8d  
(2) 8d  
(2) 10d

DOUBLE TOP PLATES:  
LOWER PLATE TO TOP OF STUD  
UPPER PLATE TO LOWER PLATE  
STAGGERED O.C.

(2) 16d  
16d @ 16" O.C.

MULTIPLE STUDS, STAGGER FOR WIDTHS NO MORE THAN 4 INCH

16d @ 12' O.C.

DOUBLE JOISTS O.C.  
CONTINUOUS CONTACTS  
ALL OTHER WOOD CONTACTS

STAGGERED 2 ROWS 16d @ 12' O.C.  
16d MIN. @ 12' O.C  
2) 8d AT 1" MATERIAL  
(2) 16d AT 2 MATERIAL

(2) 40d AT 3" MATERIAL  
WHERE BLOCKING APART AT EACH BLOCK

(2) 16d

- BOLT AND SCREW INSTALLATION:

A. DRILL BOLT HOLES A MAXIMUM OF 1/16 INCH LARGER IN DIAMETER THAN THE BOLT NOMINAL DIAMETER.
DRILL PRE-BORED LEAD HOLES FOR WOOD SCREWS AS FOLLOWS.
E-016.16;1. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN THE MAIN MEMBER. USE A DRILL BIT 7/8 THE DIAMETER OF THE WOOD SCREW.
E-016.16;2. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE SCREW WITH A DRILL BIT WHOSE DIAMETER IS 7/8 THE DIAMETER OF THE SCREW AT THE ROOT OF THE THREAD.
E-016.16;3. INSERT THE SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.
E-016.16;4. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION.
C. DRILL PRE-BORED LEAD HOLES FOR LAG SCREWS AS FOLLOWS.
E-016.16;1. DRILL LEAD HOLE FOR THE SHANK TO A DEPTH EQUAL TO THE LENGTH OF THE UNTHREADED PORTION IN THE MAIN MEMBER. USE A DRILL BIT OF THE SAME DIAMETER AS THE LAG SCREW.
E-016.16;2. EXTEND THE LEAD HOLE FOR THE THREADED PORTION OF THE LAG SCREW WITH A DRILL BIT WHOSE DIAMETER IS 60 PERCENT OF THE NOMINAL LAG SCREW DIAMETER.
E-016.16;3. INSERT LAG SCREW INTO LEAD HOLE BY TURNING. DO NOT DRIVE WITH A HAMMER.
E-016.16;4. LUBRICATE WITH SOAP OR BEESWAX TO FACILITATE INSTALLATION
- BLOCKING: INSTALL SOLID BLOCKING BETWEEN JOISTS AT ENDS AND OVER SUPPORTS. PROVIDE 2 INCH BY 3 INCH CROSS BRIDGING, METAL BRIDGING, OR SOLID BLOCKING BETWEEN JOISTS IN SPANS EQUALLY SPACED 8 FEET ON CENTER MAXIMUM AND WHERE INDICATED.
- SHIMS: DO NOT USE WOOD SHINGLE SHIMS UNDER STUDS, JOISTS, BEAMS, OR POSTS.

POST-INSTALLED ANCHORS

- EXPANSION OR WEDGE ANCHORS INTO CONCRETE OR MASONRY: HILTI KB 3 (ICC #ESR1385, LARR 25577) OR SIMPSON WEDGE-ALL (ICC #ESR1396, LARR 24682).
- ADHESIVE ANCHORS AND DOWELS INSTALLED IN CONCRETE OR GROUT FILLED CMU: HILTI HY-150 (ICC #ESR1967, LARR 25652M), SIMPSON SET-XP (ICC #ESR2508, U 1R R 25744).
- PROVIDE STAINLESS STEEL FASTENERS FOR EXTERIOR USE OR WHEN EXPOSED TO WEATHER. PROVIDE GALVANIZED CARBON STEEL ANCHORS AT OTHER LOCATIONS, UNLESS OTHERWISE NOTED.
- IF REINFORCEMENT IS ENCOUNTERED DURING DRILLING, ABANDON AND SHIFT THE HOLE LOCATION TO AVOID THE REINFORCEMENT. PROVIDE A MINIMUM OF 2 ANCHOR DIAMETERS OR 1 INCH, WHICHEVER IS LARGER, OF SOUND CONCRETE BETWEEN THE DOWEL AND THE ABANDONED HOLE. FILL THE ABANDONED HOLE WITH NON-SHRINK GROUT IF THE ANCHOR OR DOWEL MAY NOT BE SHIFTED AS NOTED ABOVE, THE ENGINEER WILL DETERMINE A NEW LOCATION.
- LOCATE REINFORCEMENT AND CONFIRM FINAL ANCHOR LOCATIONS PRIOR TO FABRICATING PLATES, MEMBERS, OR OTHER STEEL ASSEMBLIES ATTACHED WITH MECHANICAL ANCHORS.

6.ALL BOLTED JOINTS WITH A325 TYPE 1 BOLTS ARE SPECIFIED AS
SNUG-TIGHTENED JOINTS IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS, DECEMBER 31, 2009. PRE-TENSIONING METHODS, INCLUDING TURN-OF-NUT, CALIBRATED WRENCH, TWIST-OFF-TYPE TENSION-CONTROL BOLTS OR DIRECT-TENSION-INDICATOR ARE NOT REQUIRED. INSTALLATION INSPECTION REQUIREMENTS FOR SNUG TIGHT BOLTS (SPECIFICATION FOR STRUCTURAL JOINTS SECTION 9.1) IS SUGGESTED.

Description

Date

GEORGIA REGISTERED PROFESSIONAL ENGINEER No. PE049948 MICHAEL SAID MAHMOUD

1380 Emory Rd NE, Atlanta, GA 30306

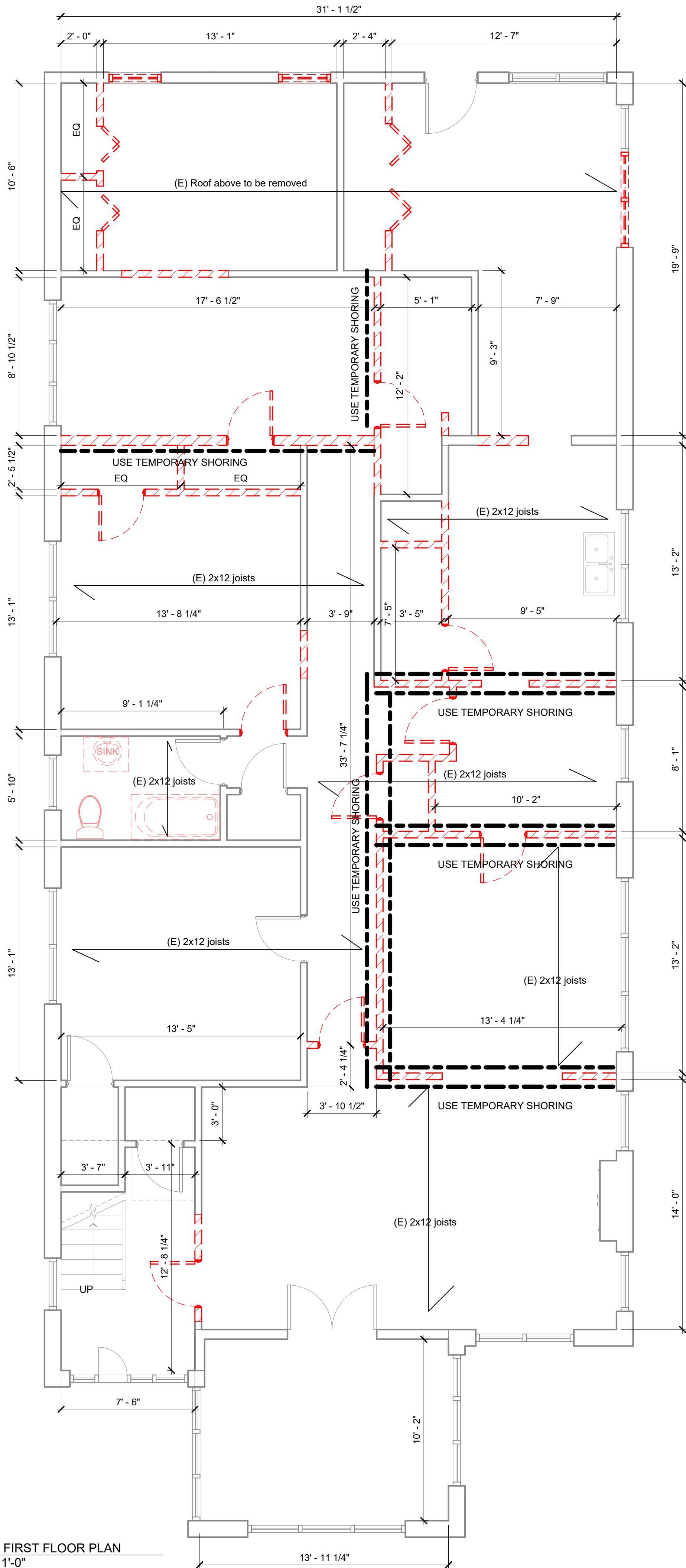
PLANNING PACKAGE

GENERAL NOTES

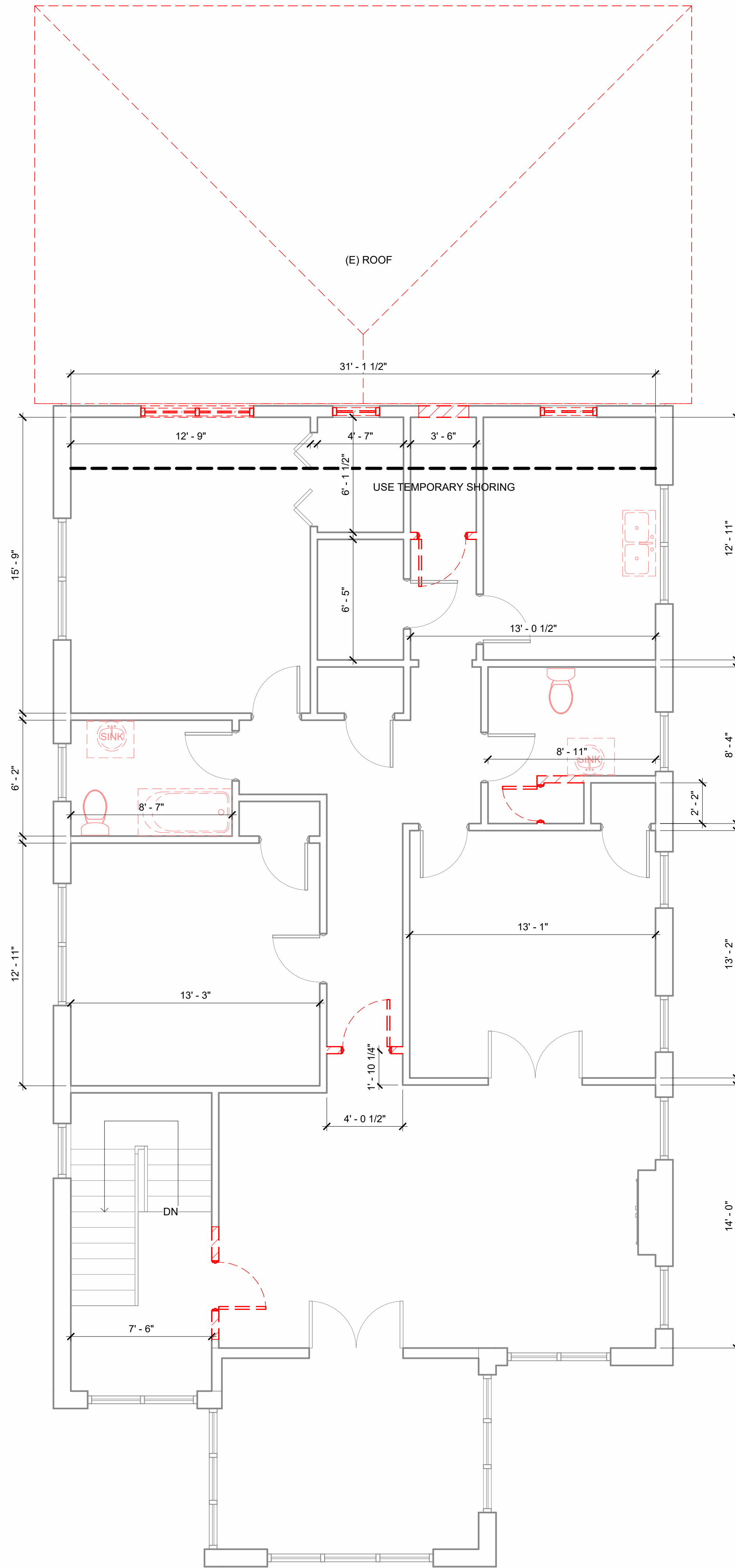
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1 DEMO FIRST FLOOR PLAN  
1/4" = 1'-0"



2 DEMO SECOND FLOOR PLAN  
1/4" = 1'-0"



3 EXISTING REAR ELEVATION  
3/16" = 1'-0"

LEGEND

- EXISTING WALLS
- DEMO WALLS
- DEMO DOOR
- DEMO WINDOW
- EXISTING SANITARY
- DEMO SANITARY



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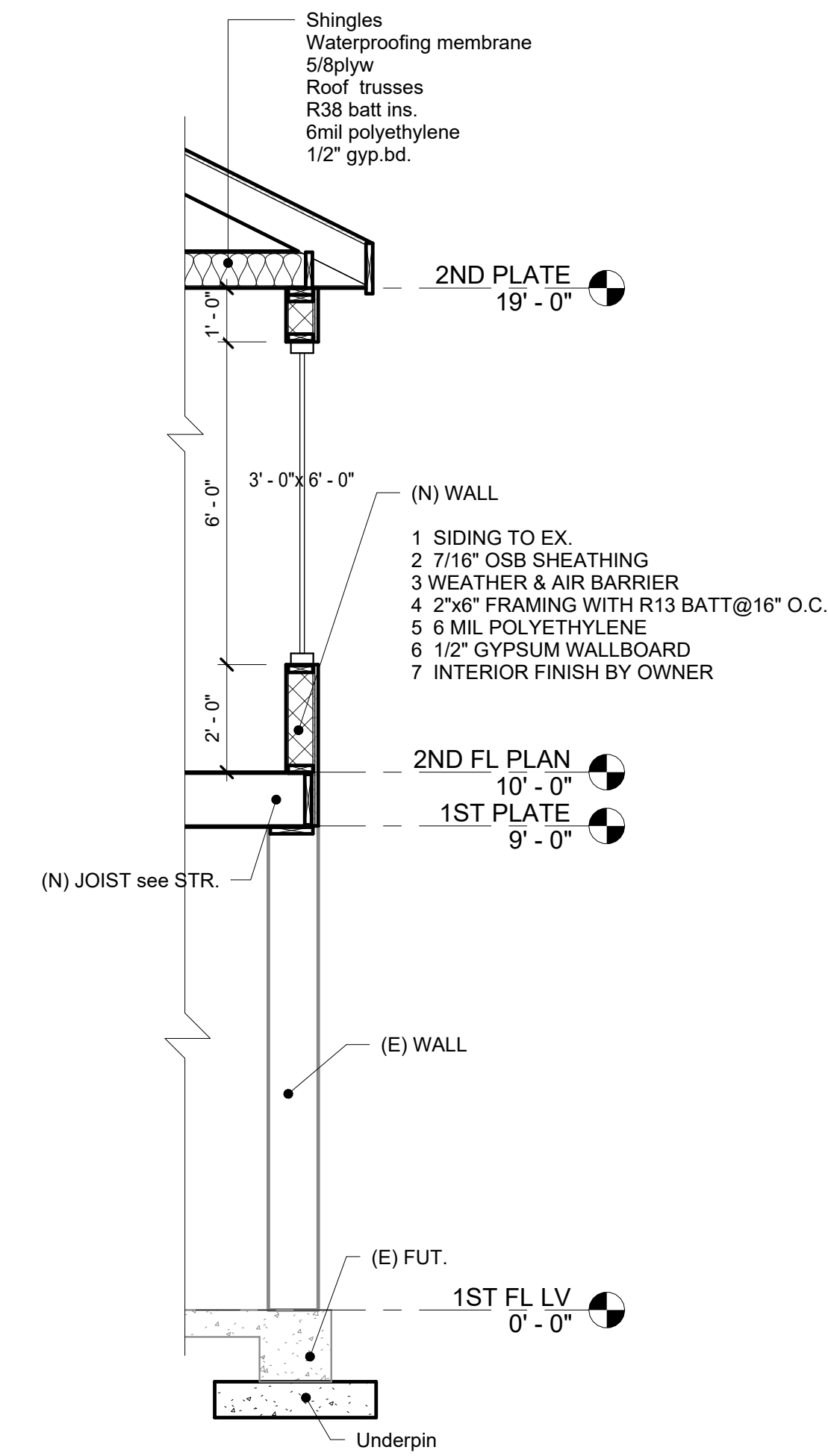
PLANNING PACKAGE

DEMO PLANS

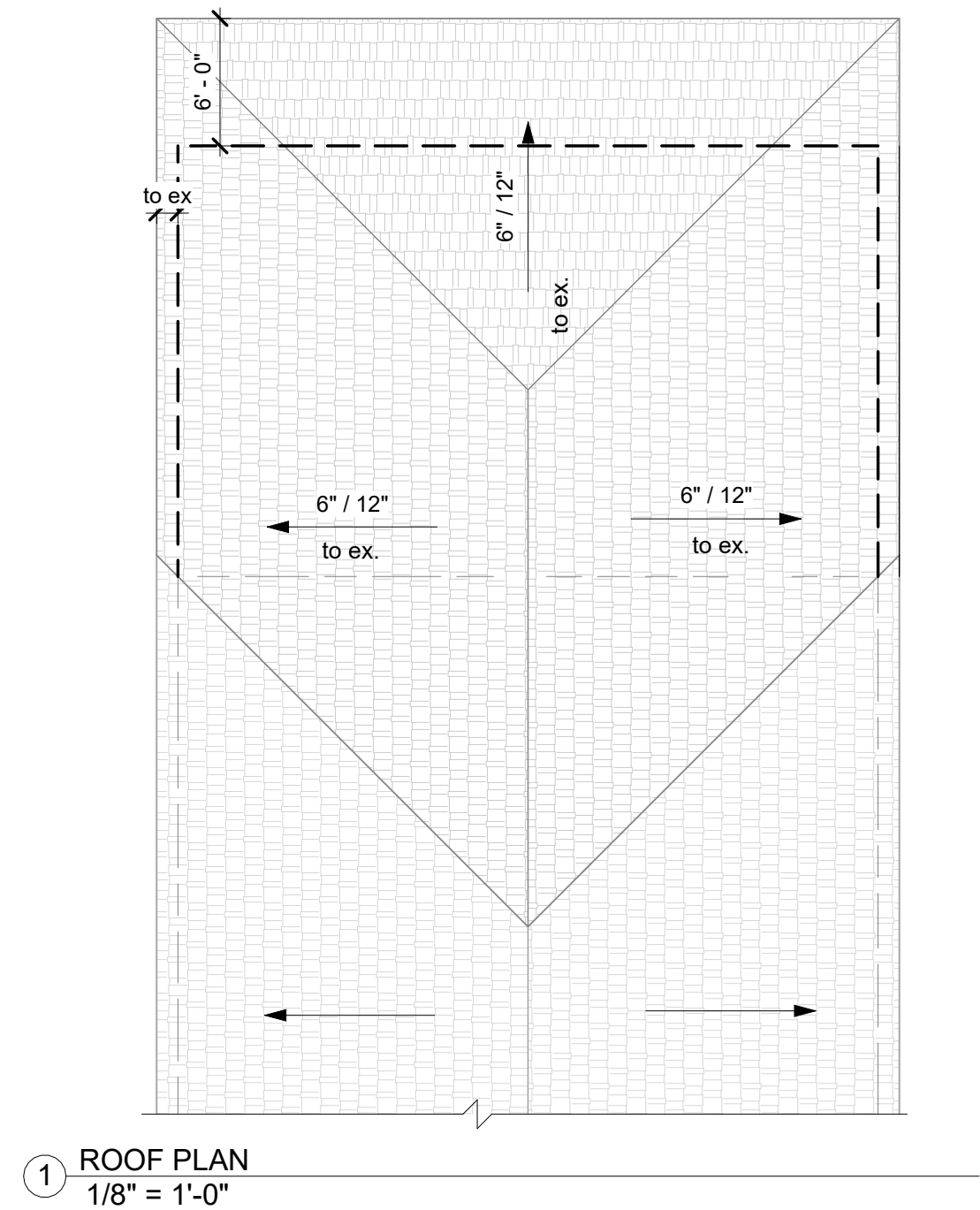
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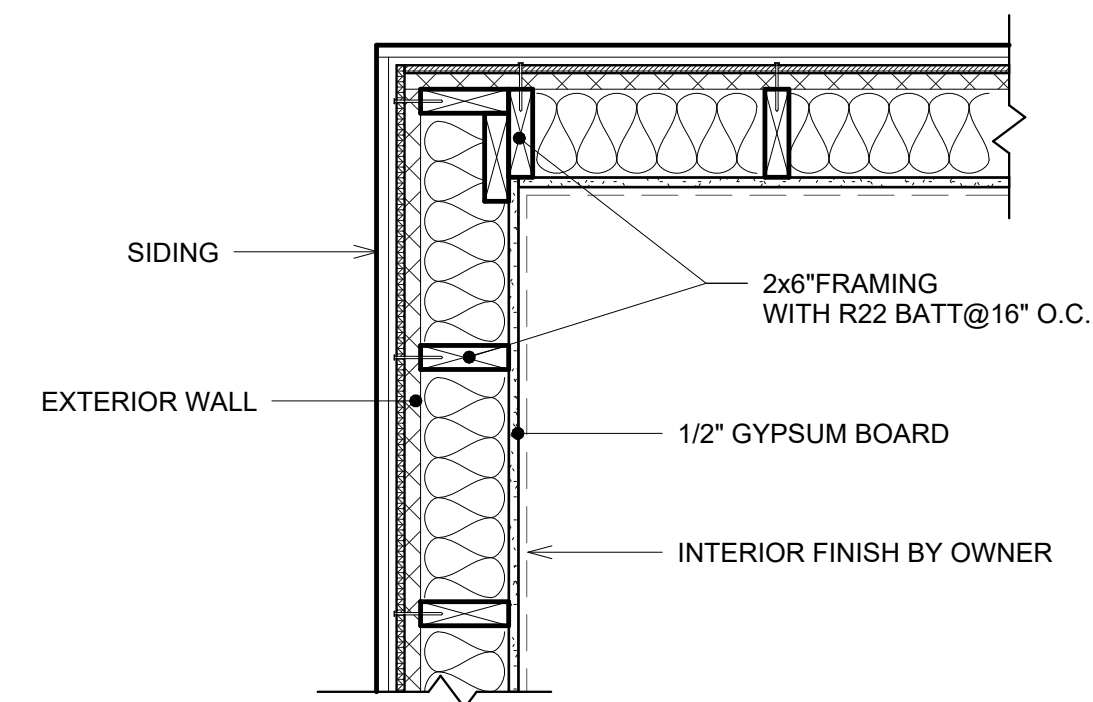




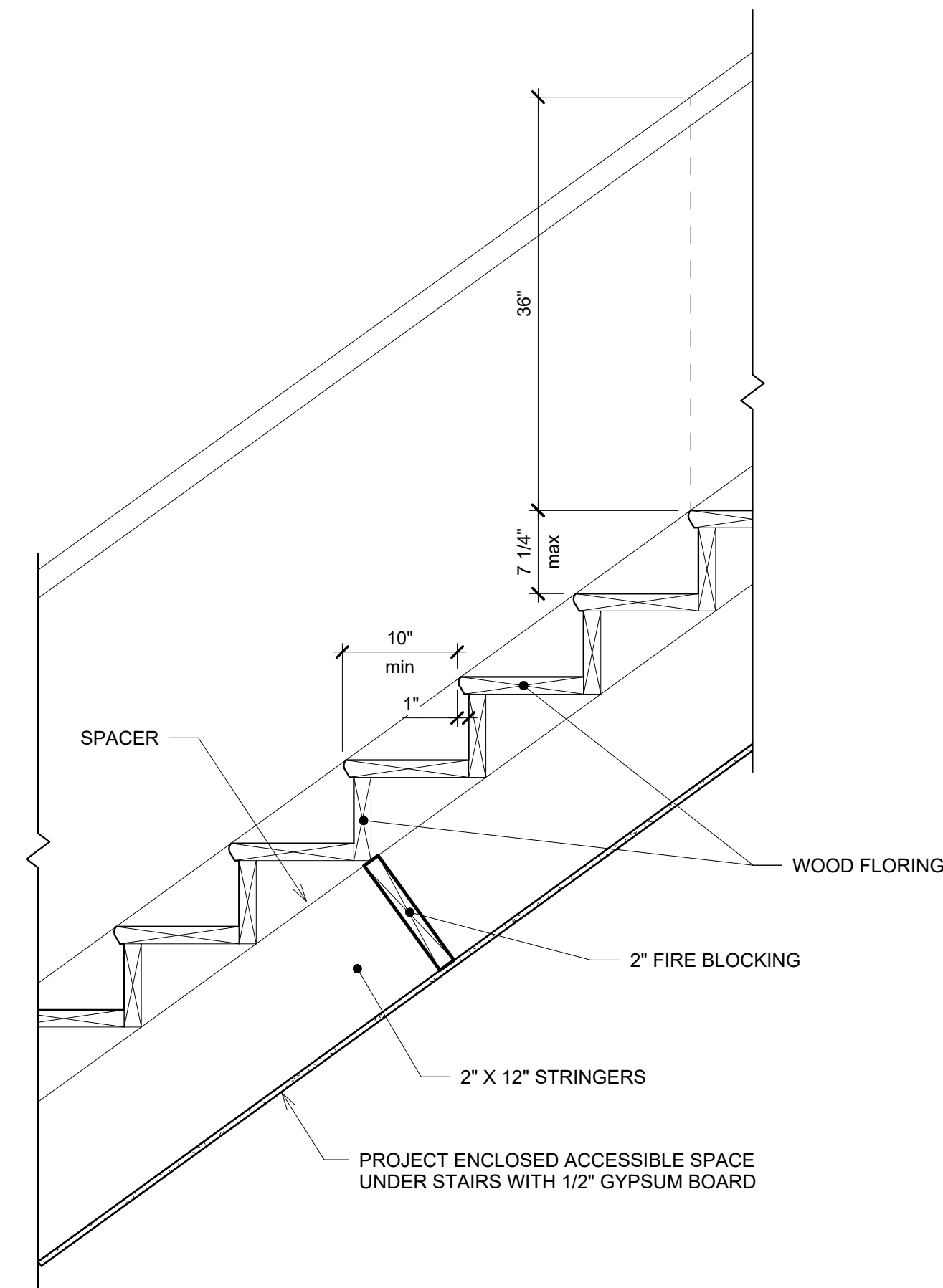
2 Section  
3/8" = 1'-0"



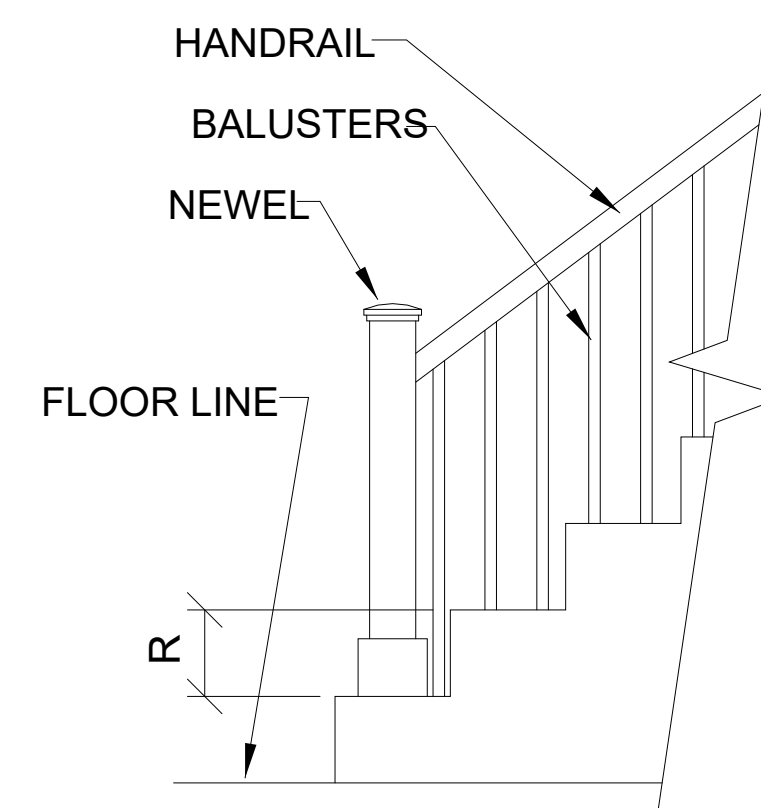
1 ROOF PLAN  
1/8" = 1'-0"



EXTERIOR WALL OUTSIDE CONER



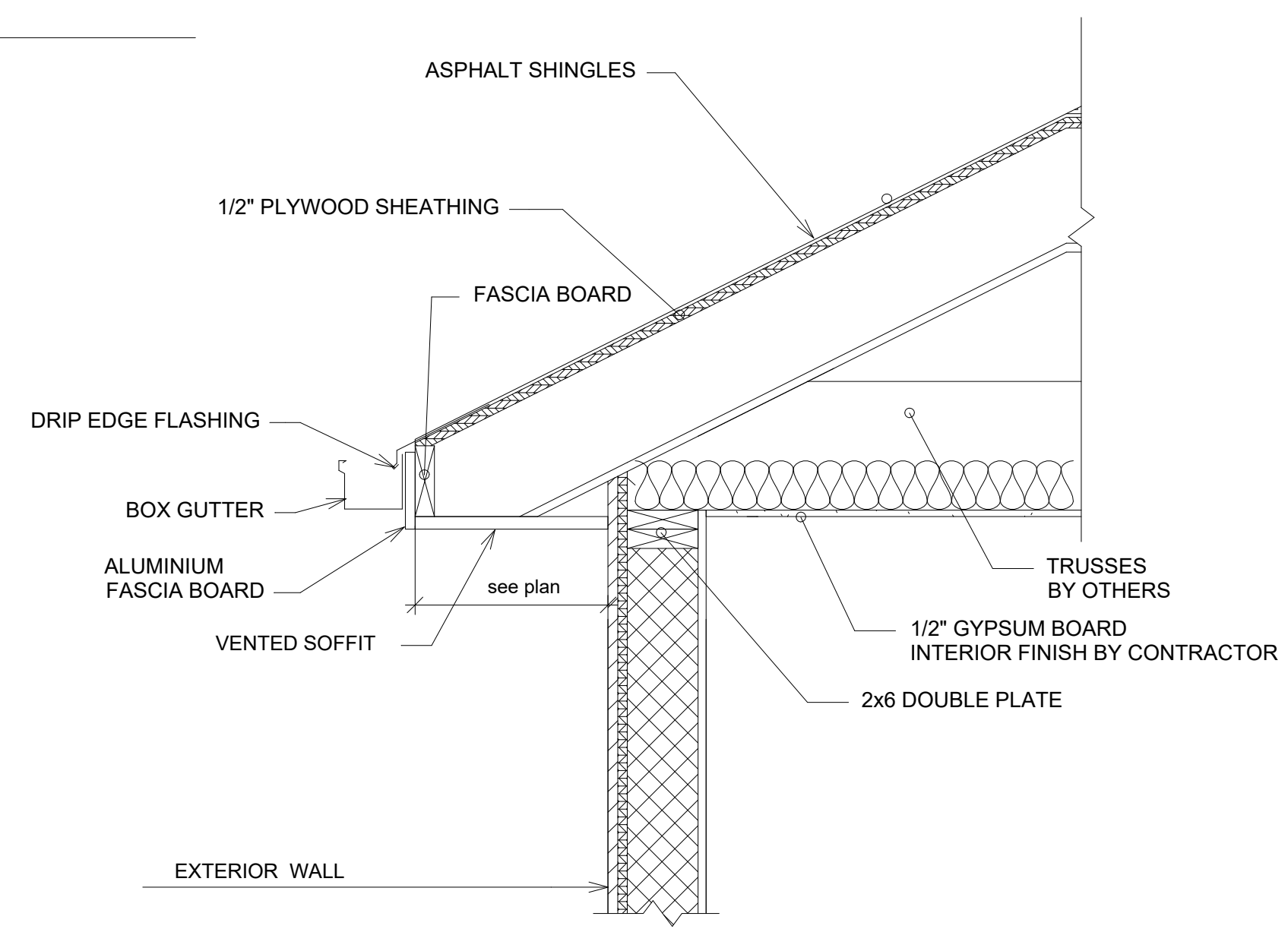
TYPICAL INTERIOR STAIRS DETAILS



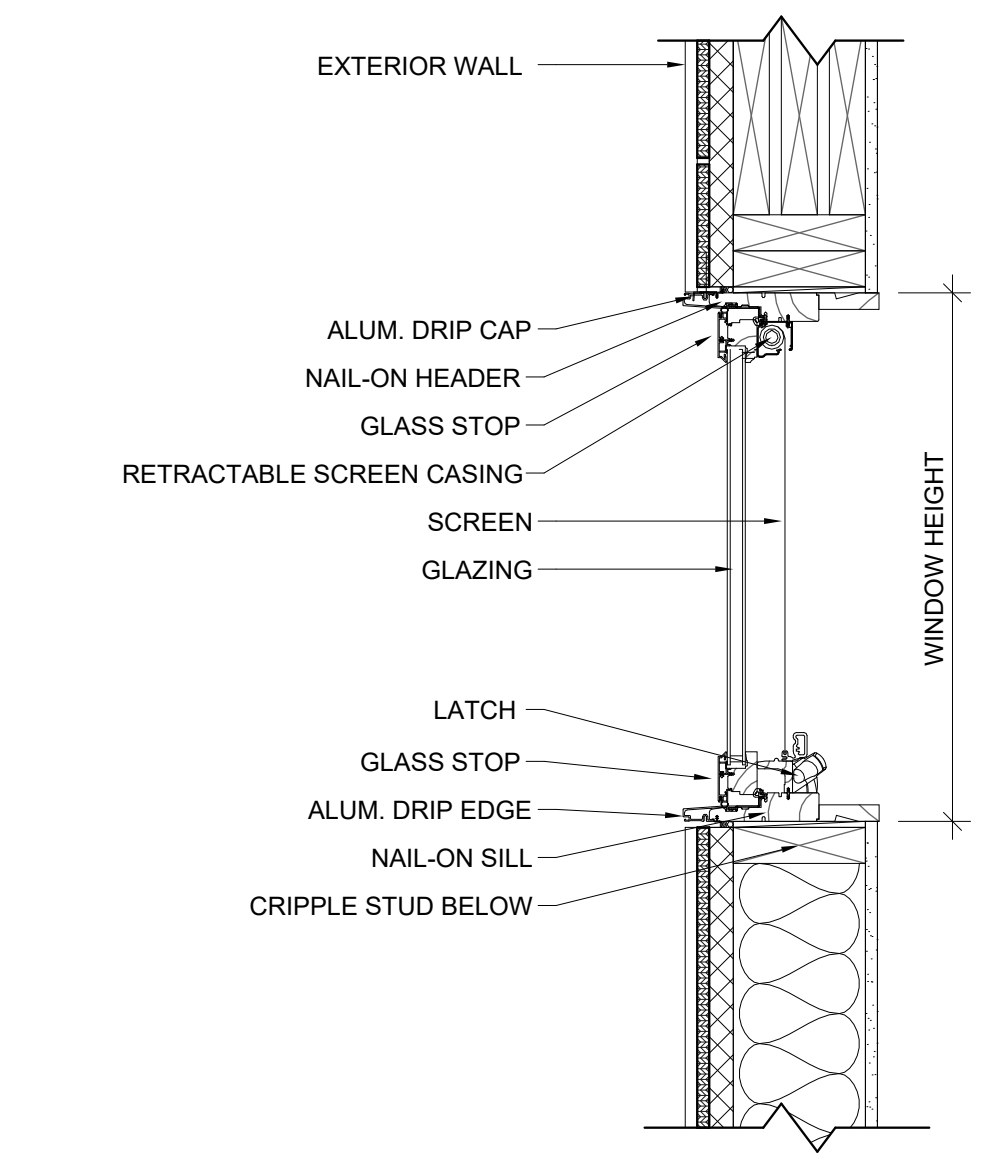
CODE REQUIREMENT
M = 6" MIN.
T = 10" MIN.
R = 7 1/2" MAX.

## STAIRWAY DETAIL & HANDRAIL DETAILS

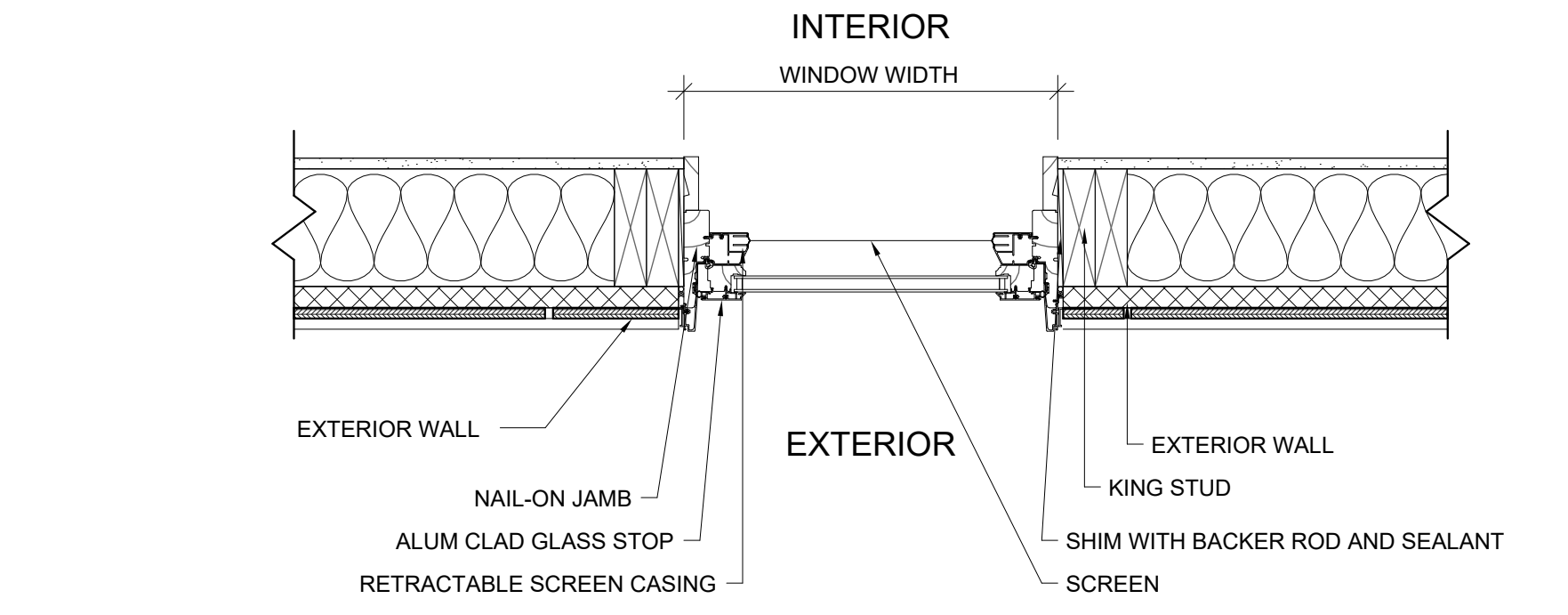
- NOTES**
- HEIGHT OF HANDRAIL 3'-0" (MIN.)
  - HEIGHT OF HANDRAIL AT LANDING = 3'-0" (MIN.)
  - HEAD CLEARANCE SHALL BE 6'-8" ABOVE TREDS (MINIMUM)
  - SPACE BETWEEN BALUSTERS SHALL BE 3 1/2" MAX.
  - 2x12 STRINGERS REQUIRED, TO BE ACCURATELY CUT TO RECEIVE RISERS, TREADS, & WEDGES. WEDGES TO BE GLUED & DRIVEN UP TIGHT.
  - BLOCK UP RISER & TREAD BETWEEN STRINGERS. BLOCKS TO BE SCREWED & GLUED IN PLACE.
  - RAILING CAN BE WOOD OR IRON PER OWNER, BUT BUILT TO LOCAL CODE REQUIREMENTS.
  - PROVIDE HANDRAIL(S) AT STAIRWAY PER 2012 IRC CODE.



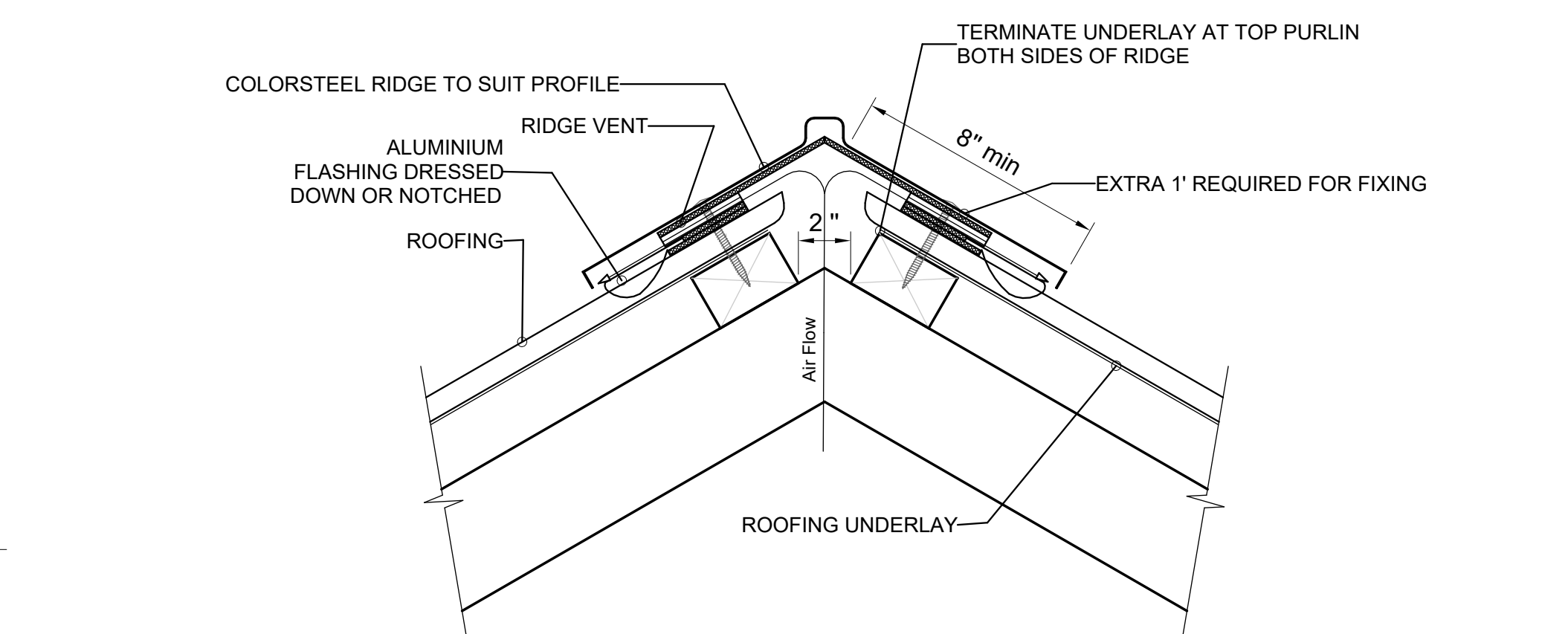
ROOF DETAILS



TYP WINDOW HEADER AND SILL



TYP. WINDOW JAMB



VENTILATED RIDGE ROOF DETAIL

Description	Date



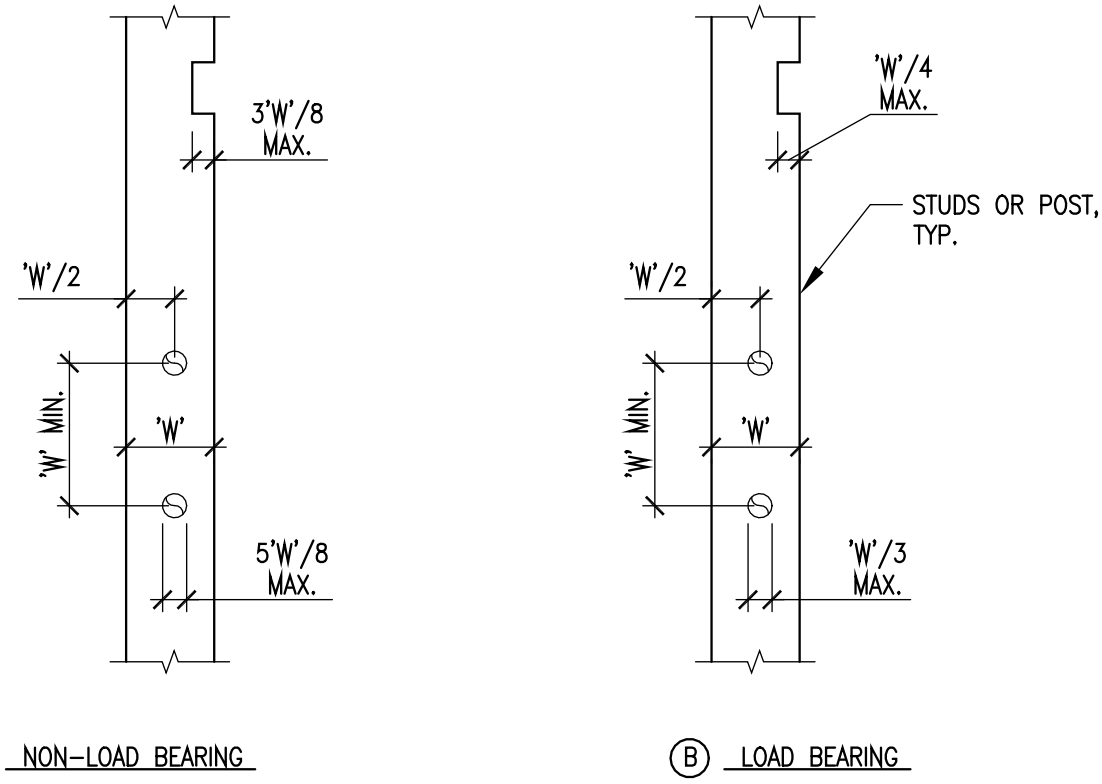
1380 Emory Rd NE, Atlanta, GA  
30306

PLANNING PACKAGE

SECTION  
ROOF PLAN  
DETAILS

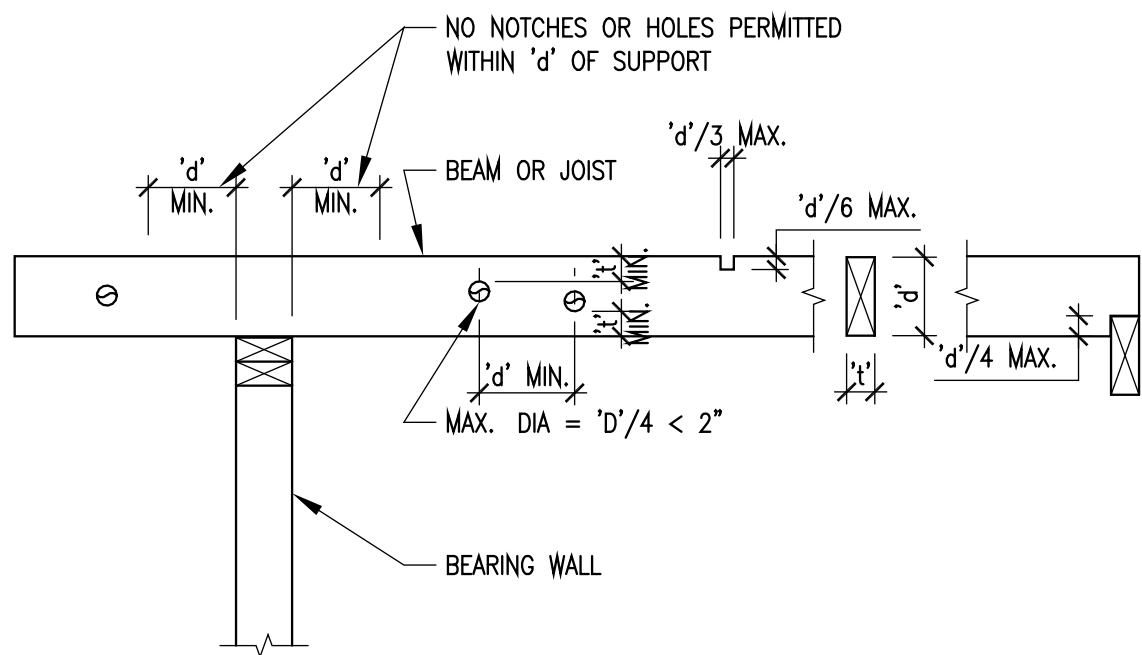
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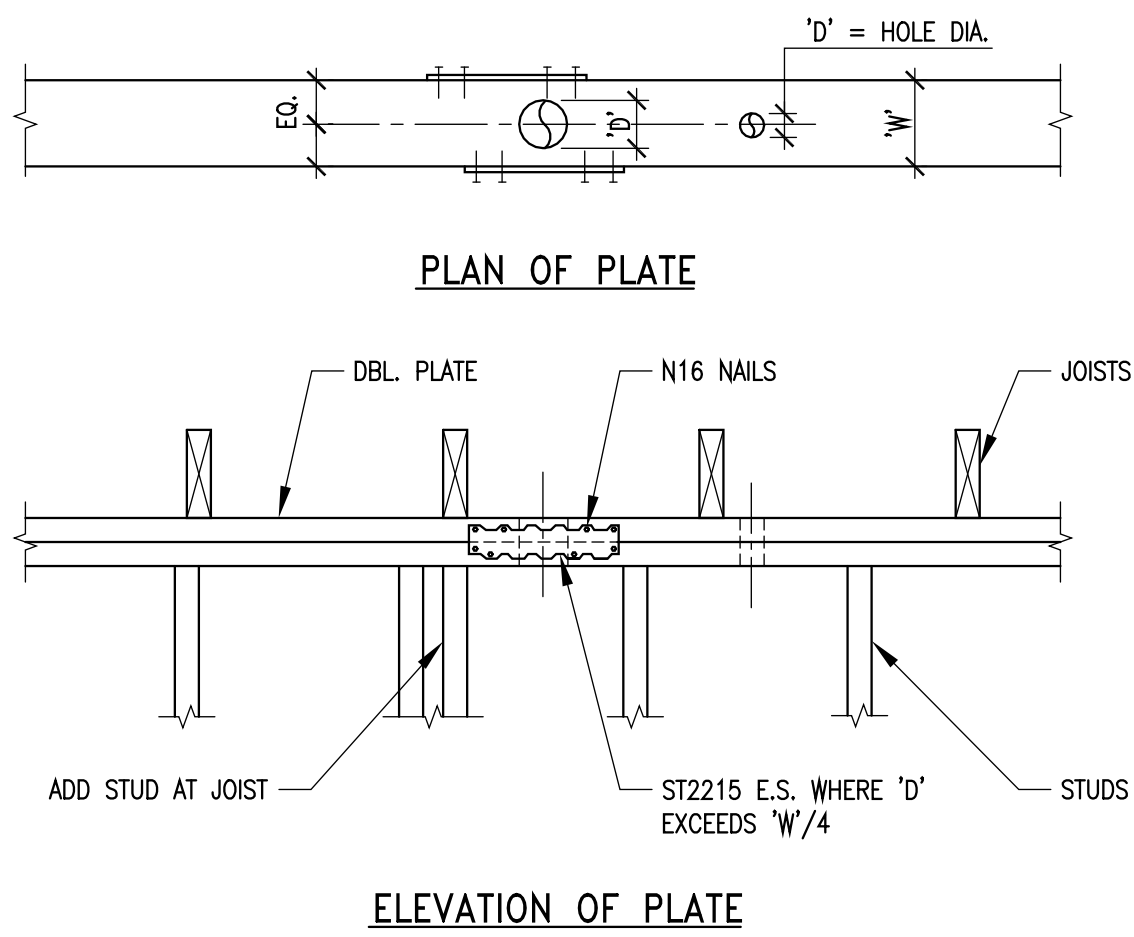
- NOTES:
1. NOTCHING OF MEMBER IS NOT PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.
  2. DO NOT PLACE HOLES IN MEMBERS WITH HOLDOWN ANCHORS.

HOLES AND NOTHES IN STUD OR POSTS

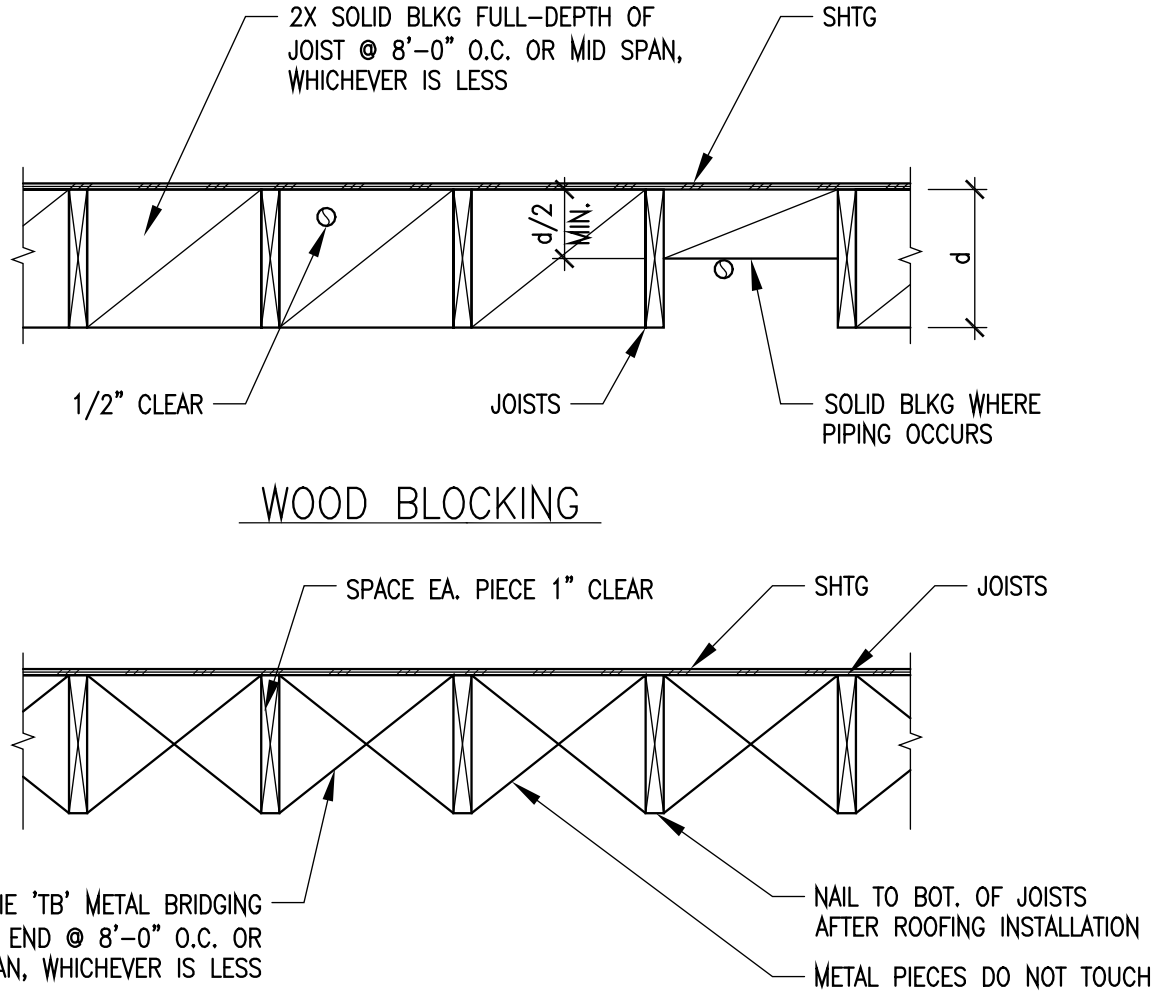


- NOTES:
1. HOLES & NOTCHES NOT PERMITTED FOR D=4" OR LESS
  2. NOTCHES NOT PERMITTED WITHIN MIDDLE THIRD OF SPAN.
  3. NOTCHES NOT PERMITTED IN BOTTOM OF MEMBER UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR WRITTEN APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.

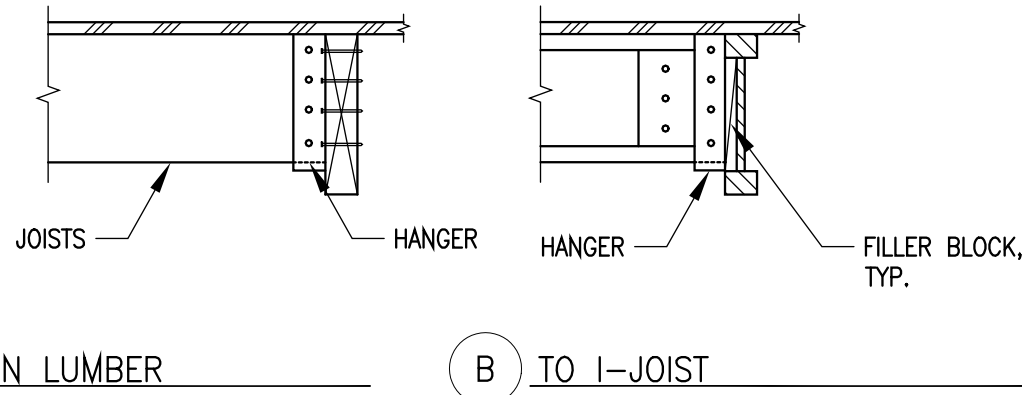
HOLES AND NOTCHES IN BEAMS & JOISTS



HOLES IN PLATES OF WALL

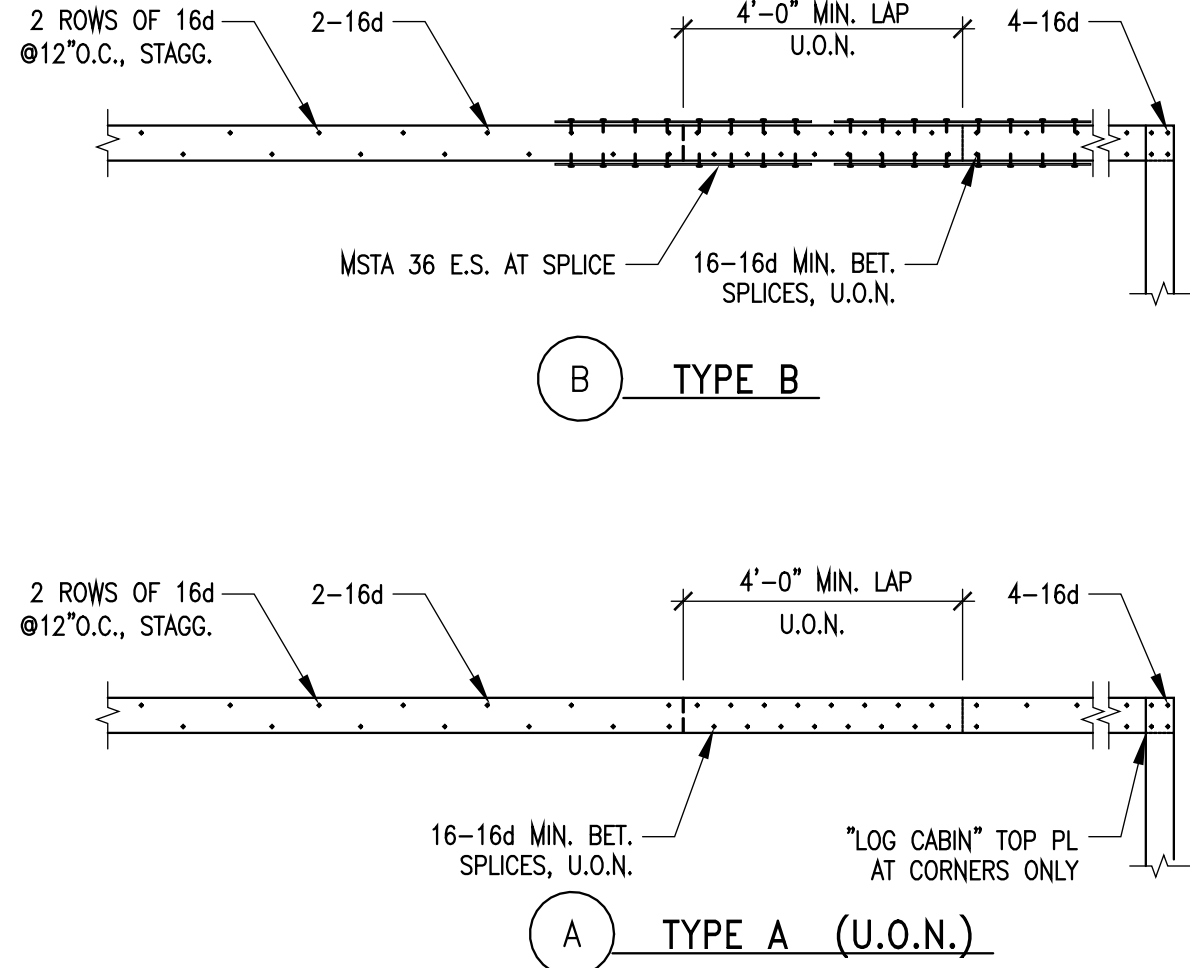


WOOD JOISTS BRIDGING

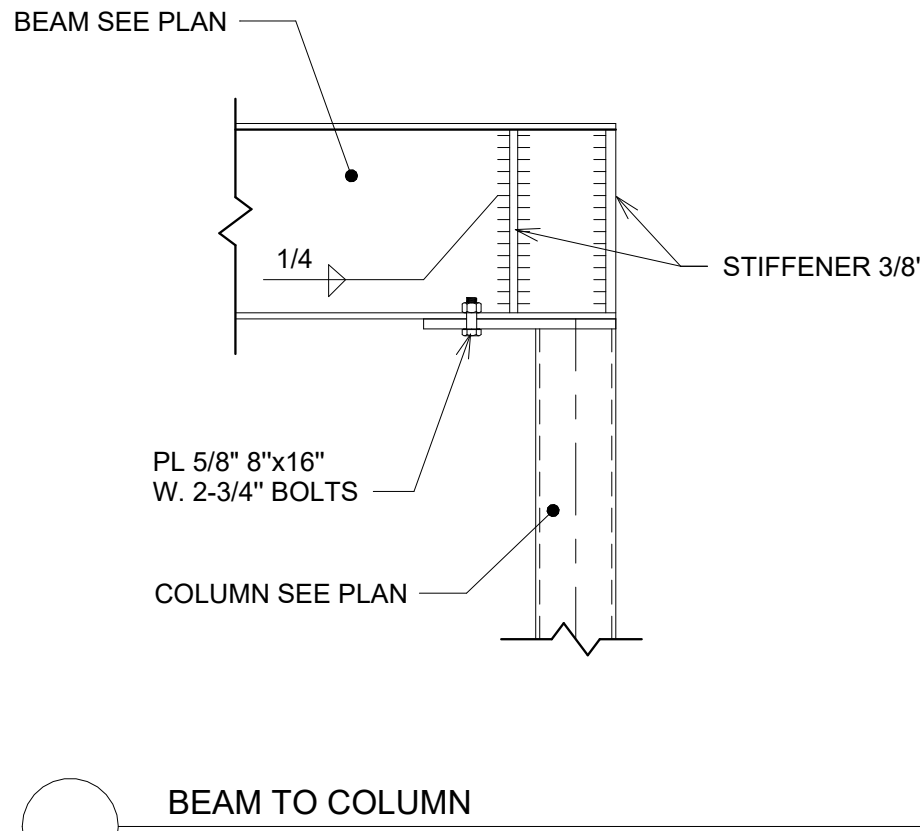


HANGER SCHEDULE			
SUPPORTED MEMBER	SUPPORT TYPE	HANGER	COMMENT
2X	SOLID SAWN	LU OR HU	SIMPSON, LARR 25074
4X	SOLID SAWN	LU OR HU	SIMPSON, LARR 25074

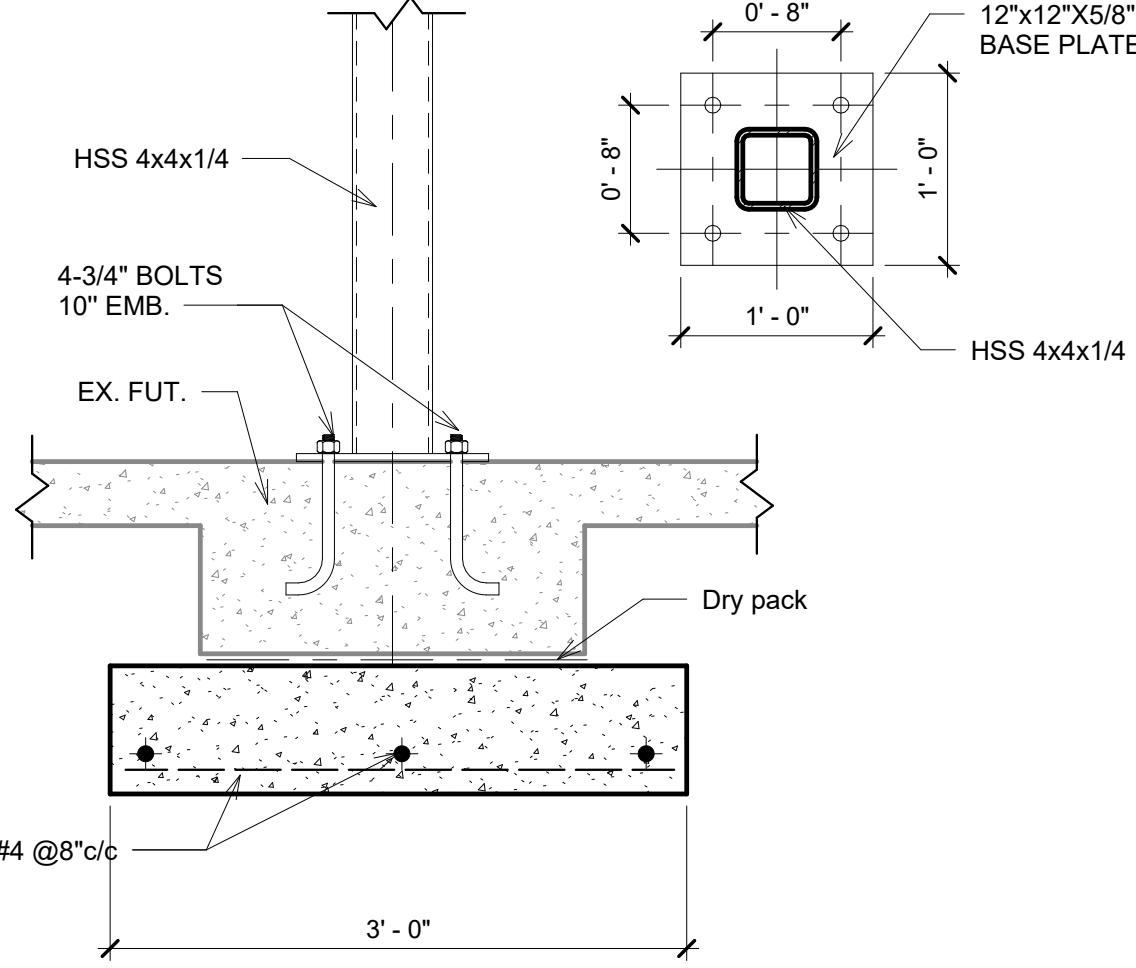
JOIST HANGER CONNECTION



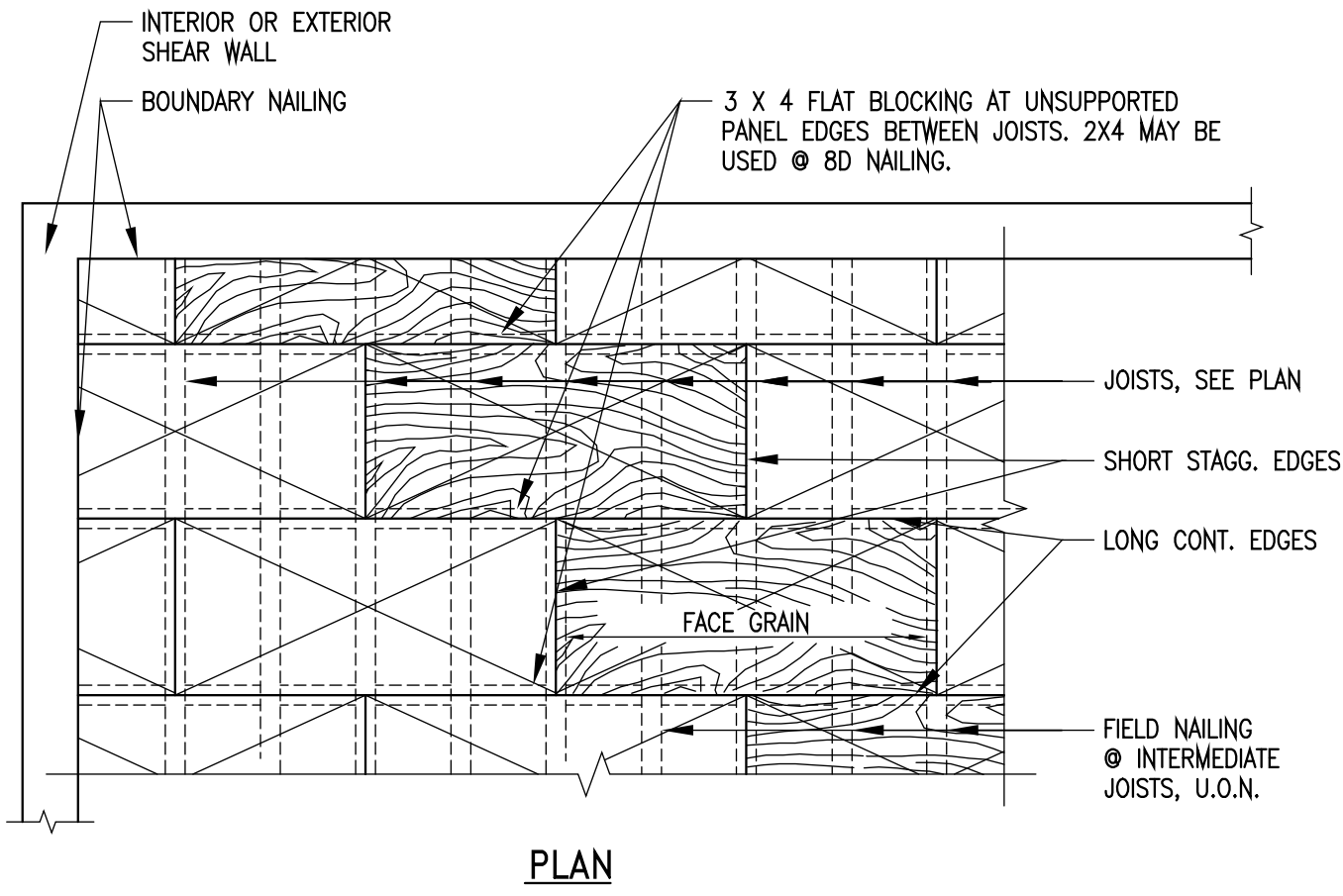
TOP PLATE SPLICE - WOOD FRAMING



BEAM TO COLUMN

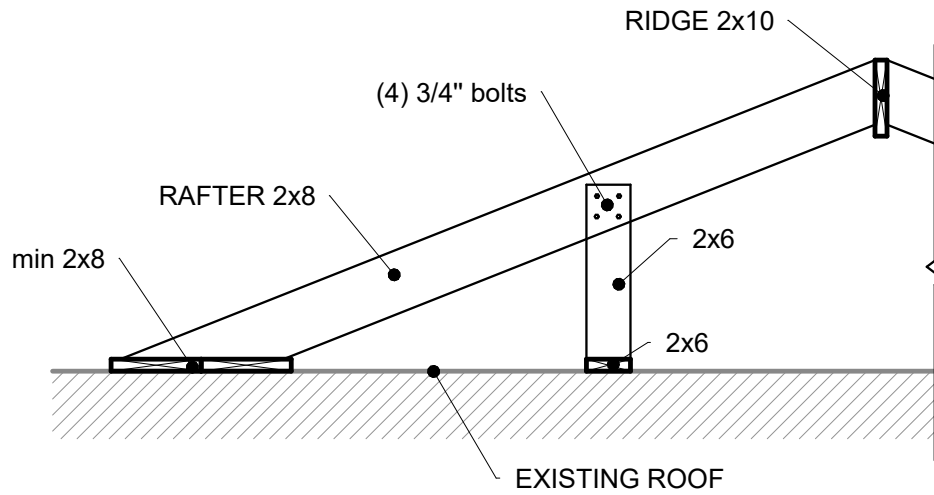


COLUMN BASE DETAIL

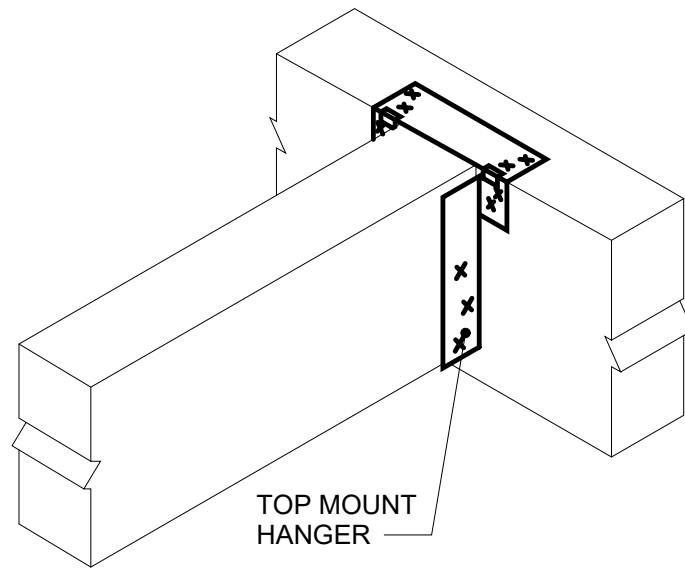


- NOTES:
1. APPLY PLYWOOD SHEATHING WITH FACE GRAIN PERPENDICULAR TO JOISTS. STAGGER 4'-0" EDGES AS SHOWN
  2. REFER TO DETAILS FOR SPECIAL NAILING OVER SHEAR WALLS, AT COLLECTORS, TIES, ETC.
  3. ALL ROOF NAILING SHALL BE INSPECTED BEFORE ANY ROOFING MATERIAL IS APPLIED.
  4. 4. REFER TO S1.00 FOR NAILING PATTERN

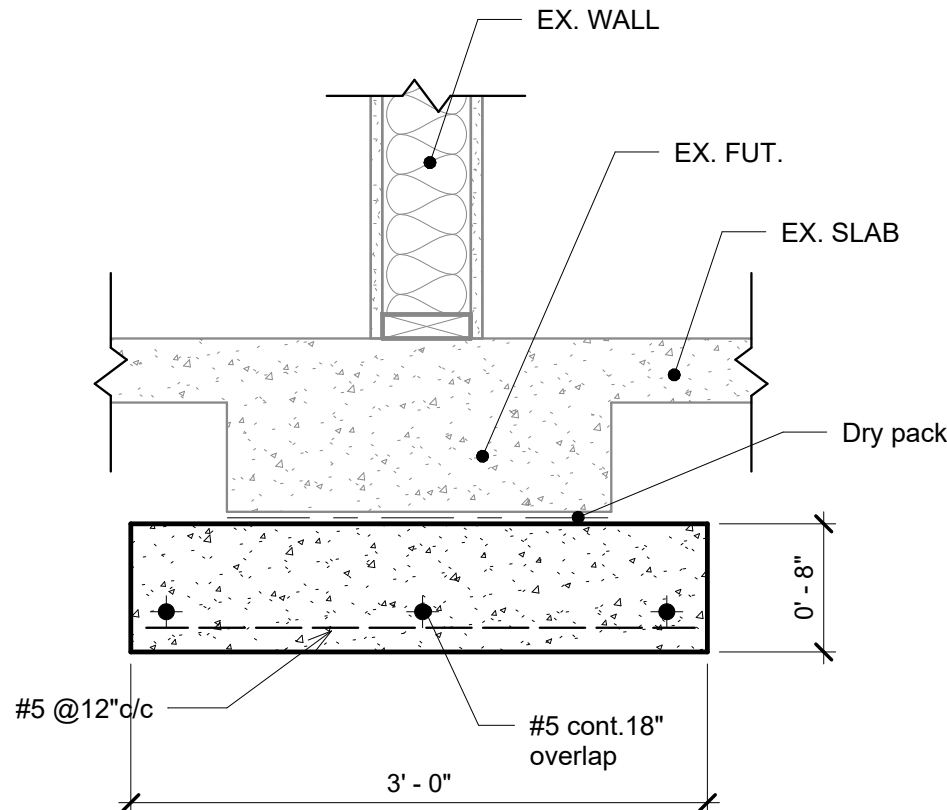
ROOF AND FLOOR SHEATHING



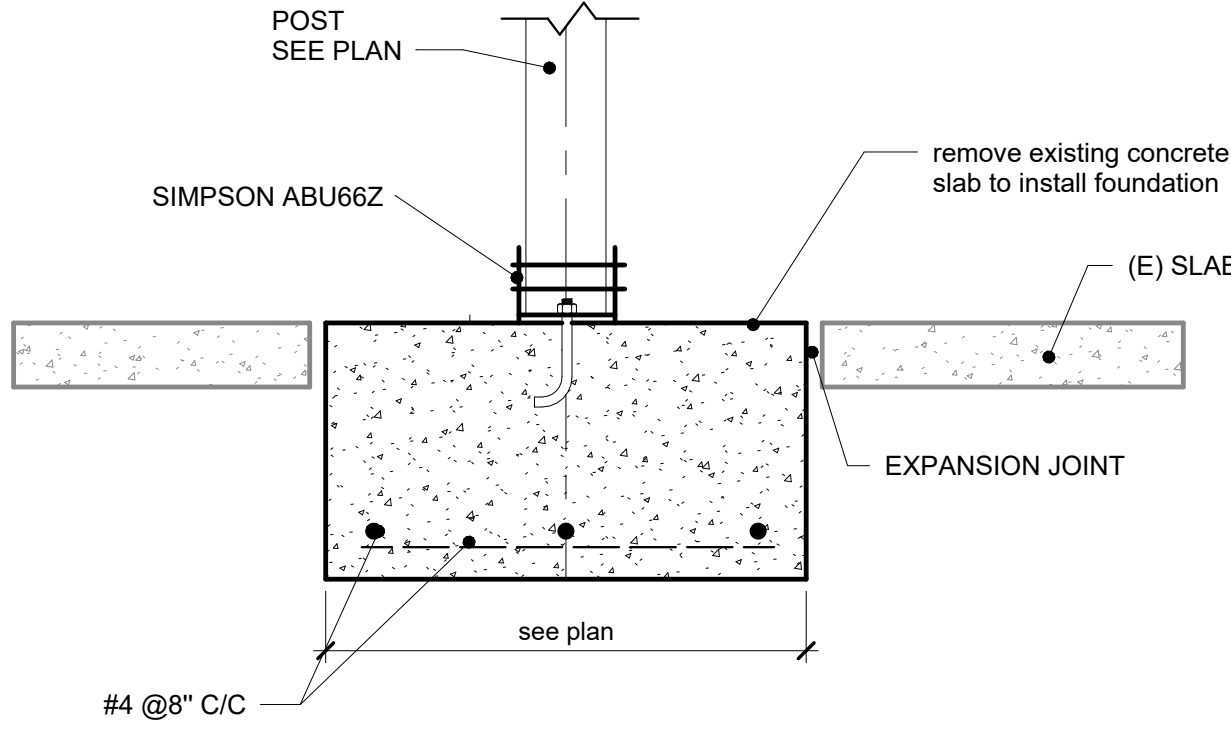
DETAILS JOINT EX. TRUSSES AND NEW BEAMS



TOP MOUNT HANGER



UNDERPINNING DETAIL



FOOTING AT INTERIOR WOOD COLUMN

Description	Date

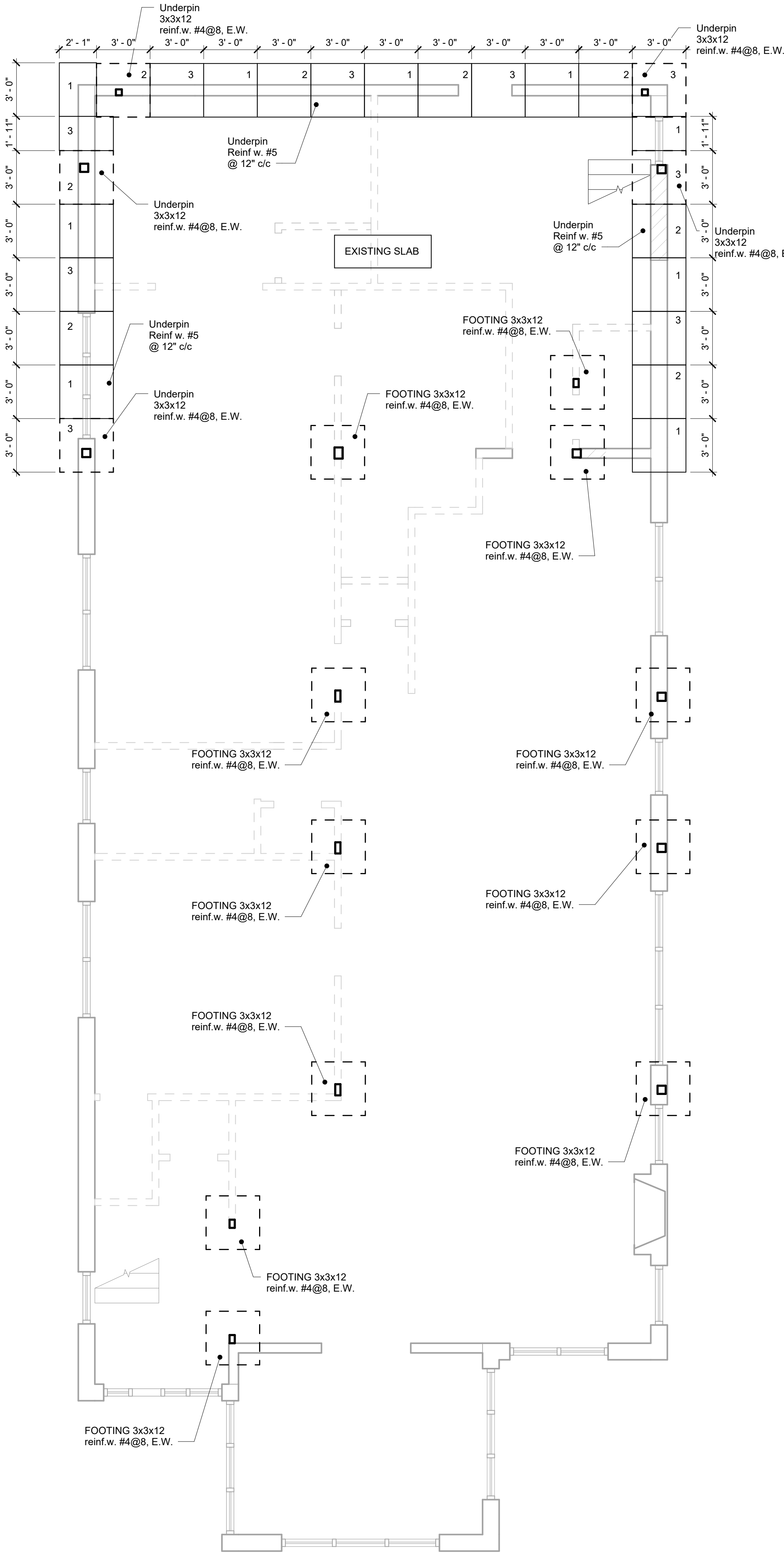


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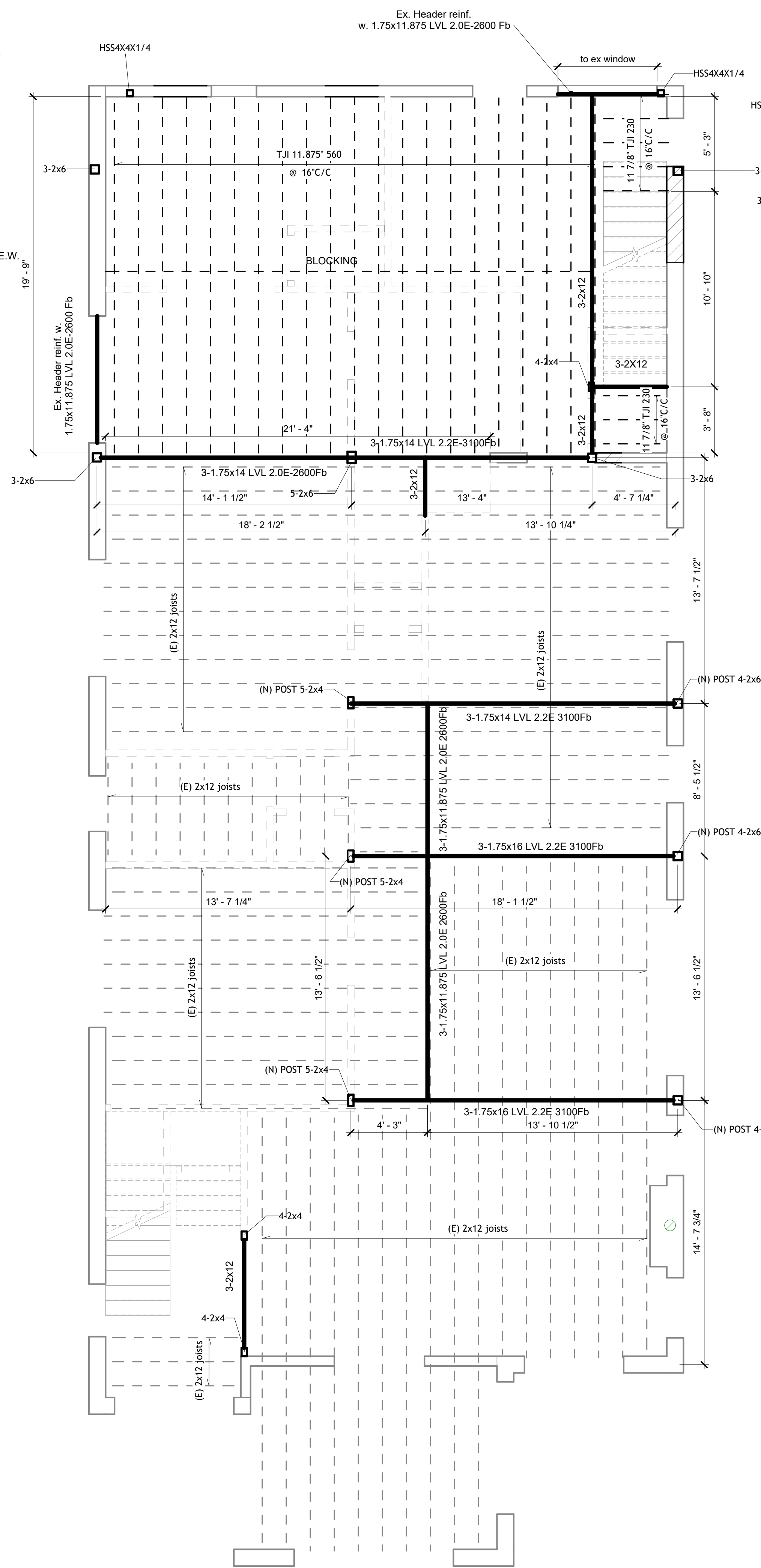
PLANNING PACKAGE

DETAILS

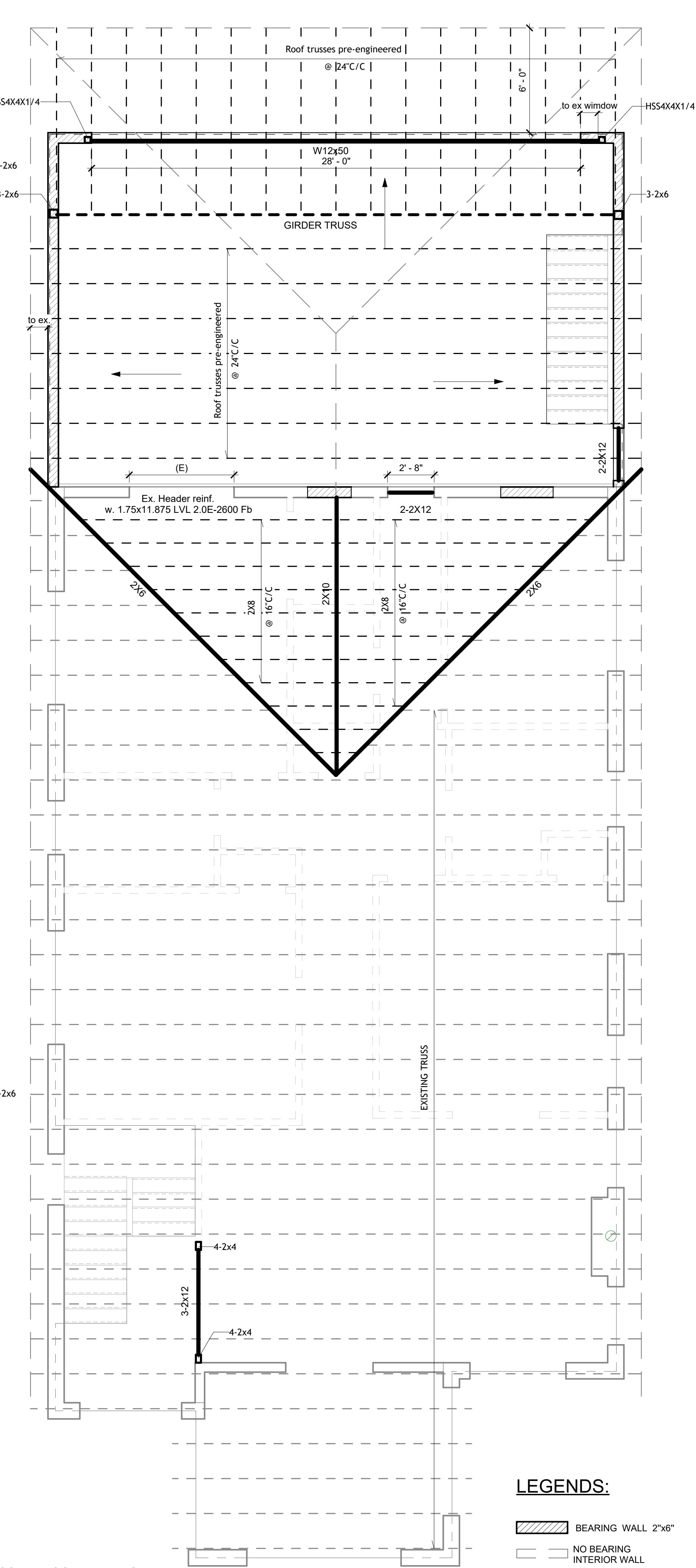
S1.01



1 FOUNDATION PLAN  
1/4" = 1'-0"



2 FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"



3 SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"

- LEGENDS:**
- BEARING WALL 2"x6"
  - NO BEARING INTERIOR WALL

Description	Date

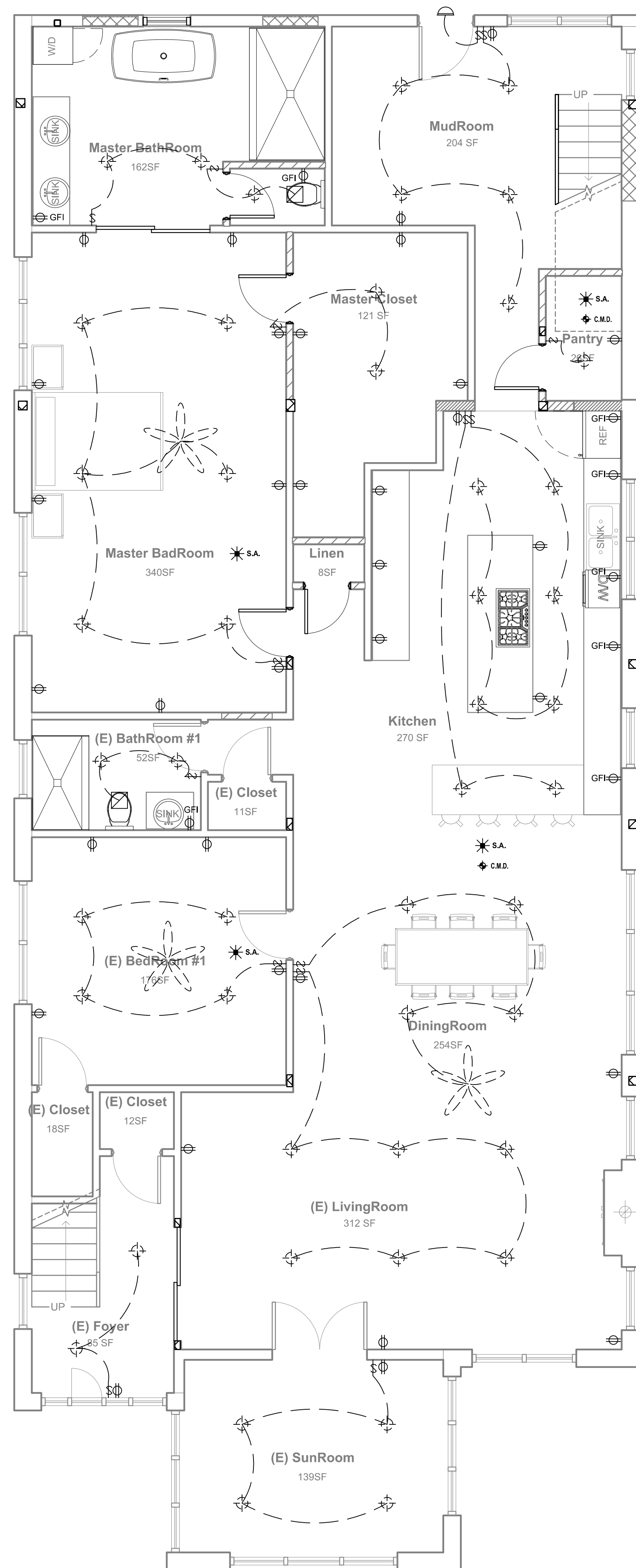


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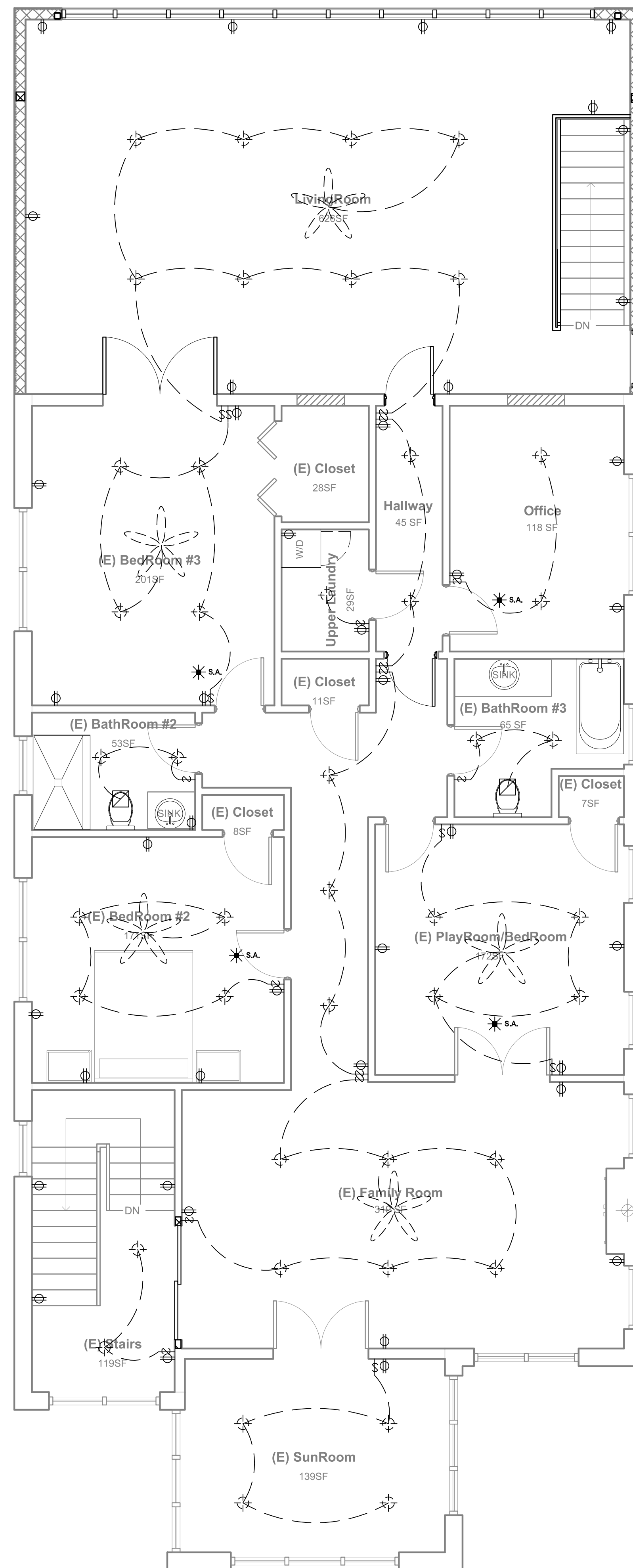
PLANNING PACKAGE  
FUNDATION PLAN  
FRAMING PLANS

S1.02





1 ELECTRICAL FIRST FLOOR PLAN  
E-1 1/4" = 1'-0"



2 ELECTRICAL SECOND FLOOR PLAN  
E-1 1/4" = 1'-0"

ELECTRICAL NOTES:

1. THE COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH ALL RULES AND REGULATIONS OF THE ELECTRICAL CODE AND LOCAL UTILITY COMPANY. IF THE SPECIFICATIONS OR CONTRACT DRAWINGS CONFLICT WITH THESE CODES, THE RULES AND REGULATIONS OF THE CODE SHALL GOVERN.
2. MINIMUM SIZE OF WIRE SHALL BE #12 COPPER.
3. THE SIZING OF ALL SERVICE CONDUCTORS, FEEDERS AND SUB-FEEDERS SHALL CONFORM WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE STANDARDS.
4. SUB-FEEDERS, FEEDERS AND BRANCH CIRCUITS GROUNDING SYSTEM SHALL CONFORM WITH THE ELECTRICAL CODE.
5. LIGHTING FIXTURES SHALL CONFORM TO THE ELECTRICAL CODE.
6. NEW SERVICE TO BE INSTALLED TO MATCH EXISTING SERVICE LOADS AND RATINGS. INSTALLATION OF NEW ELECTRICAL SERVICE SHALL NOT CAUSE AN EXTRA LOAD ON THE BUILDING'S EXISTING ELECTRICAL SERVICE.

SHEET LIST:

[illegible]


ISSUED FOR CONSTRUCTION

## PROJECT ADDRESS

1380 Emory Rd NE,  
Atlanta, GA 30306

DRAWING TITLE

ELECTRICAL FIRST,  
SECOND FLOOR PLAN

DOB JOB No.:

DRAWING NO.

(E-1)

3 of 13





















































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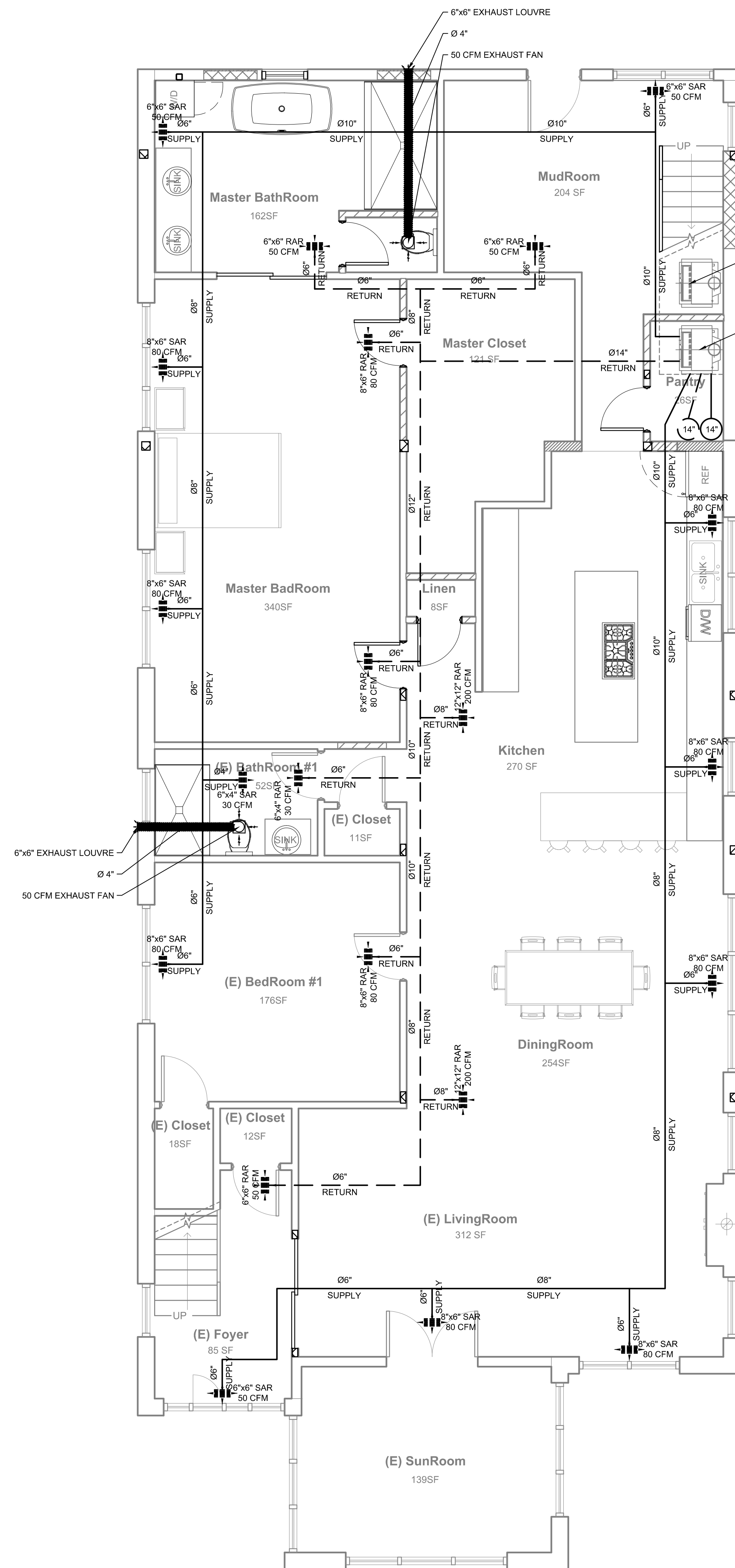
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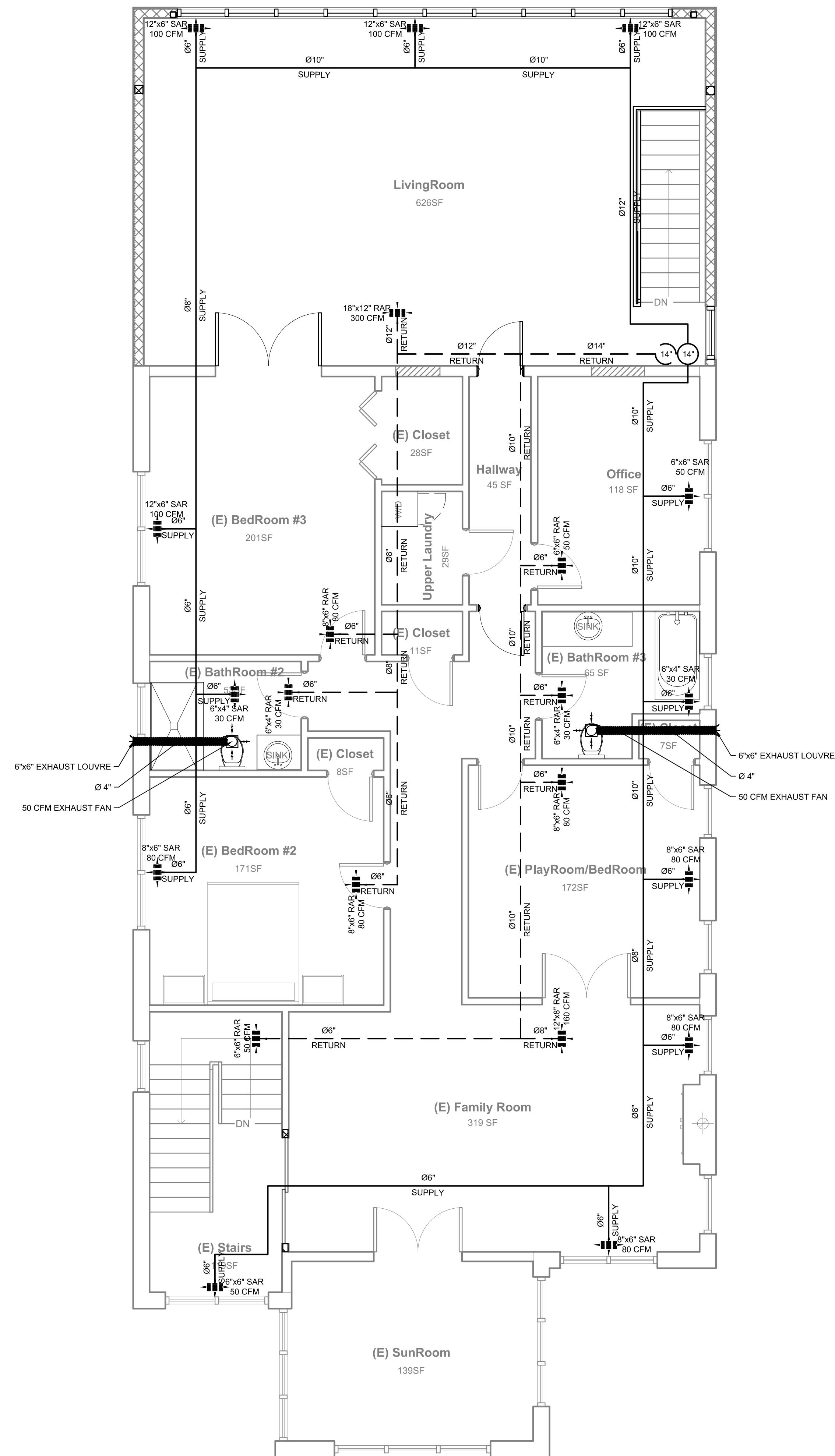
### Electrical Symbol Key

- |   |   |   |   |
|---|---|---|---|
|  | Ceiling fixture by owner  |  | Telephone data outlet-run (2) CAT6 cables per location. Terminate at dual RJ-45 phone data receptacles. |
|  | P = Pendant Light fixture by owner  |  | Phone outlet only.<br>W = wall mounted telephone plate  |
|  | Wall fixture by owner   |  | Data outlet only  |
|  | M = Motion Sensor Control   |  | Cable outlet  |
|  | Recessed light fixture. Use appropriate Halo 6" fixtures w/ #310W baffle trim.<br>S = 4" Halo H99T w/ #993 trim<br>G = 4" Halo H99T w/ #945W glass trim<br>WP = Halo 6" fixture w/ waterproof trim<br>SP = Halo 6" fixture w/ shatterproof cover trim |  | Telephone/Cable combo outlet  |
|  | Recessed light fixture installed horizontally. Use appropriate Halo 6" fixtures w/ #310W baffle trim.   |  | Junction box<br>240 = 220/240 Volt<br>SC = Separate circuit   |
|  | Recessed light fixture w/ walkwash trim. Use appropriate Halo 6" fixtures w/ #430W baffle trim  |  | Electric Smoke Alarm with Visual Signaling device   |
|  | Wall mounted strip fixture by owner. Provide whip connection.   |  | Electric Carbon Monoxide Detector with Visual Signaling device  |
|  | Under cabinet mounted LED strip lighting.   |  | TV outlet   |
|  | Switch. Use Lutron Diva series 600W.<br>3W = 3-way<br>4W = 4-way<br>D = dimmer<br>V = low voltage dimmer<br>L = lignted<br>F = fan light slide dimmer<br>WP = outdoor waterproof  |  | Stereo speakers   |
|  | LED cove strip lighting.  |  | Stereo receiver inputs  |
|  | Indicates switching   |  | Intercom Station  |
|  | Juno PL115 recessed step light @18" aft w/ 835-WH waterproof trim   |  | Motion Sensor Switch  |
|  | Duplex outlet<br>36" = device ht. aff.<br>GFI = ground fault interrupt device<br>WP = weather-proof device cover<br>SC = separate circuit for this device   |  | Electric panel box  |
|  | Clock outlet  |  | Disconnect switch   |
|  | Duplex outlet with single plug switched.  |  | Electric meter  |
|  | Quadplex outlet   |  | Track Light Fixture by owner  |
|  | Triplex outlet (single switch combo)  |  | Ceiling Fan/Light Combo by owner  |
|  | Floor duplex outlet   |  | Ceiling Fan by owner  |
|  | Receptacle strip, see detail  |  | Sokatube w/ Fan and Light kits installed  |
|  | Double surface mounted emergency lighting remote heads, type "box" indicates battery bank fed from  |  | Fan/light fixture   |
|  | Wall mounted single faced exit sign and directional arrows as indicated. Shaded areas denote face direction of exit sign  |  | Exhaust fan   |
|  | Chandelier  |  | Chandelier light  |
|  | Fire alarm  |  | 24x48 recessed light  |
|  | Fire alarm pull   |  | Fire alarm  |
|  | Fire alarm pull   |  | Fire alarm pull   |





1 MECHANICAL FIRST FLOOR PLAN  
M-1 1/4" = 1'-0"



2 MECHANICAL SECOND FLOOR PLAN  
M-1 1/4" = 1'-0"

HVAC GENERAL NOTES:







1. ALL WORK TO COMPLY WITH CONSTRUCTION DOCUMENTS, NATIONAL, LOCAL, MECHANICAL CODES, IN CASE OF DIFFERENCES, MOST STRINGENT SHALL GOVERN.
2. SUBMIT THREE (3) COPIES OF SHOP DRAWINGS OR LITERATURE IN AN INDEXED 3-RING BINDER ON THE FOLLOWING CONDITIONS: CONSTRUCTION OF THE SYSTEM, REGISTER AND GRILLES, DUCT INSULATION, PIPE INSULATION, THERMOSTATS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDED DESIGN OR INSTALLATION EXPENSE RESULTING FROM SUBSTITUTION OF EQUIPMENT.
4. IN GENERAL, CONTRACTOR SHALL PROVIDE ALL OPENINGS REQUIRED THROUGH THE WALLS.
5. ALL ELECTRICAL HIGH VOLTAGE WIRING, FUSES, CONDUIT AND ELECTRICAL SWITCHES SHALL BE PROVIDED BY CONTRACTOR. ALL LOW VOLTAGE WIRING AND CONDUIT SHALL BE BY CONTRACTOR. A/C CONDENSATE PIPING TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR.
6. ALL A/C DUCTWORK TO BE THERMAFLEX<sup>TM</sup> TYPE M&K OR EQUAL OF ATCO OR GENFLEX. SUPPORT FROM STRUCTURE WITH 1/2" DIA. 12 LONG STUDS.
7. CONTRACTOR SHALL GUARANTEE ALL PARTS AND LABOR FOR ONE (1) YEAR FROM FINAL DATE OF ACCEPTANCE AND PROVIDE AN ADDITIONAL FOUR (4) YEARS WARRANTY FOR ALL AIR CONDITIONERS.
8. MAKE NOTE OF ANY CHANGES MADE IN LAYOUT AND INDICATE IN "RECORD" DRAWINGS SUBMITTED TO THE ARCHITECT.
9. FURNISH THREE (3) SETS OF OPERATION, MAINTENANCE, WARRANTY AND GUARANTEE INFORMATION, ALL EQUIPMENT TO THE ARCHITECT IN INDEXED 3-RING BINDERS.
10. CONTRACTOR SHALL FURNISH ANY MISCELLANEOUS ITEMS NOT SPECIFICALLY MENTIONED OR NOT TO RENDER COMPLETE INSTALLATION.
11. REFRIGERANT PIPING TO BE TYPE L COPPER, SECTION LINE TO BE SHOWN WITH WRENCH CAPS. ALL PIPING TO BE INSULATED TO WEATHER TO BE PAID WITH TWO (2) COATS ARMAFLEX. COUPLER, REFRIGERATION PIPING TO HAVE TRIPLE EVACUATION TO DRY. WRENCH A 12 HOUR LEAK TEST SHALL BE PERFORMED WITHIN 24 HOURS OF PIPING BEING EXPOSED IN RETURN AIR PLenums SHALL BE RATED FOR RETURN AIR PLenum USE.
12. CONDENSATE PIPING SHALL BE TYPE M COPPER WITH CAPPED TEES FOR CLEANOUTS. CAPS TO BE SCREW FITTINGS FOR REMOVAL WITH WRENCH. CAPS TO BE REMOVED IN THE SUPPLY OR RETURN DUCT SYSTEM SERVING THE ENTIRE BUILDING WHICH WOULD TURN OFF THE FUEL, STOP THE ELECTRICAL POWER TO THE DETECTOR AND STOP THE DETECTOR FROM OPERATING IN COMPLIANCE WITH 91F 6.2.3.1(1).

## EQUIPMENT SCHEDULE:

EXHAUST FANS:

PROVIDE AND INSTALL EXHAUST FANS IN BATHROOM AND SHOP AND ANY ROOM WHERE MOISTURE IS GENERATED AND COULD BUILD UP AND BE A PROBLEM (AT BASEMENT, FIRST FLOOR). ACCEPTABLE TYPES ARE CEILING MOUNTED FANS (TRADITIONAL), WALL MOUNTED FANS, REMOTE IN-LINE CEILINGMOUNTED FANS, AND CENTRAL FAN VENTILATION SYSTEMS WITH DUCTED GRILLES IN PICKUPLOCATIONS. ACCEPTABLE PRODUCT STANDARDS:

BATHROOMS UP TO 50 SF, OTHER ROOMS UP TO 110 SF: NUTONE MODEL QT9093WH (115VAC/60HZ-14.2 AMPS, 1.0 SONES) 50 CFM, 4" DIA DUCT, #GTD TIME DELAY SWITCH, & BIRD SCREEN AT WALL CAP OR ROOF CAP.

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	SAR SUPPLY AIR REGISTER
	RAR RETURN AIR REGISTER
	SUPPLY AIR DUCT
	RETURN AIR DUCT
	EXHAUST FAN
	FLEXIBLE DUCT

[illegible]

PROJECT ADDRESS

1380 Emory Rd NE,  
Atlanta, GA 30306

DRAWING TITLE

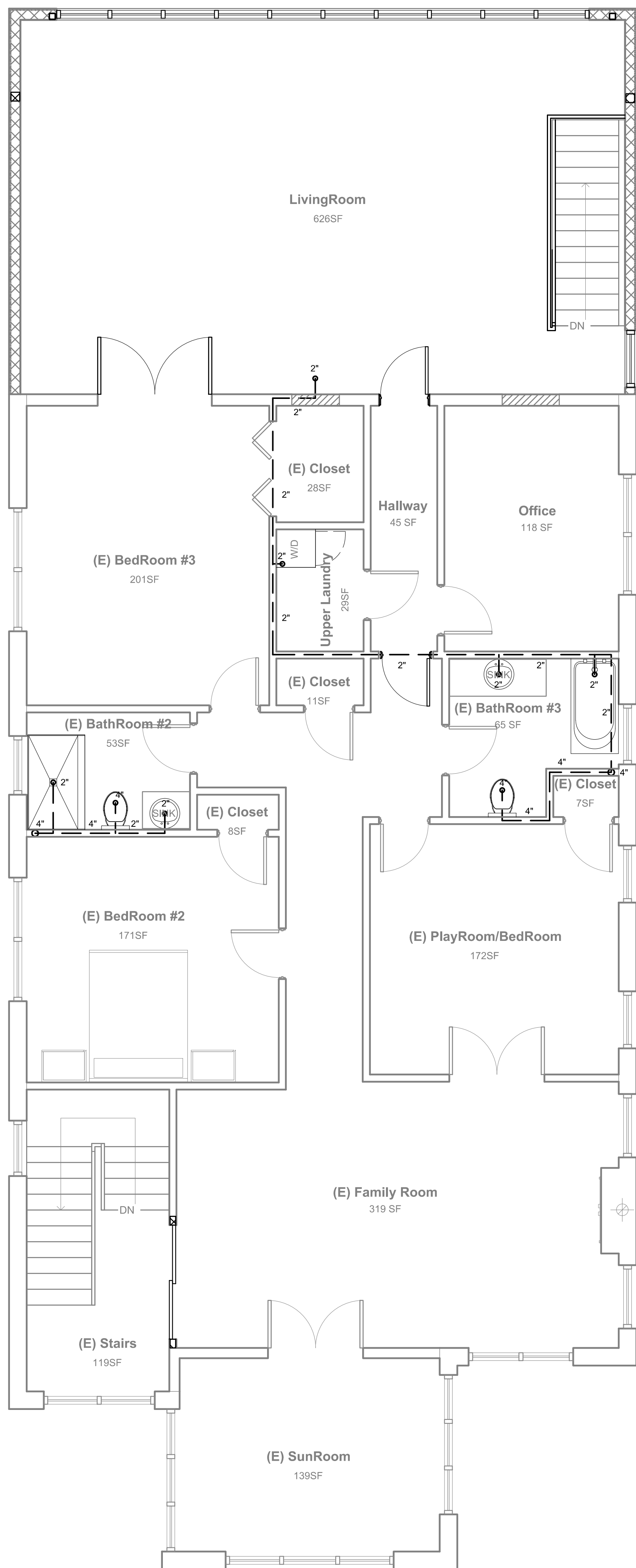
MECHANICAL FIRST,  
SECOND FLOOR PLAN

DOB JOB No.:

DRAWING NO.	
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ID.	NO. 009



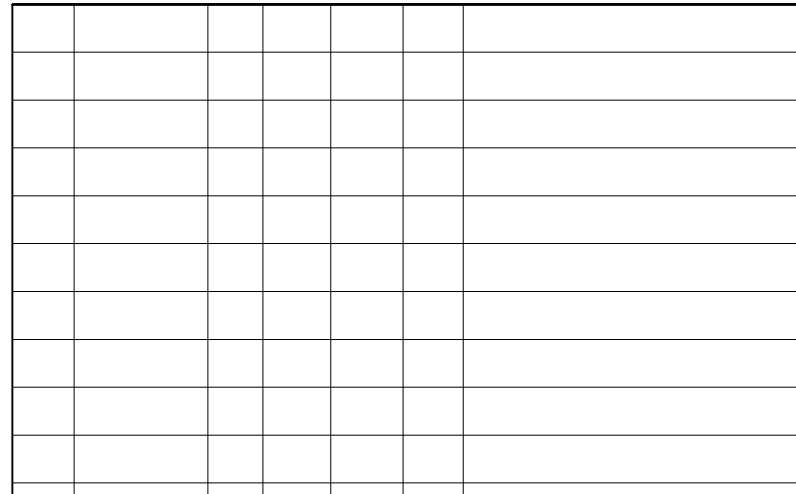
2 PLUMBING SECOND FLOOR PLAN  
P-1 1/4" = 1'-0"

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**MATERIALS:**  
A. COLD WATER PIPING DOWNSTREAM OF WATER METER SHALL BE PVC OUTSIDE OF BUILDING AND BELOW GROUND, PEX INSIDE OF BUILDING  
B. SANITARY WASTE SHALL BE P.V.C SCH. 40  
C. CONDENSATE DRAIN PIPE SHALL BE SCH. 40, PVC PIPE AND FITTINGS  
D. WATER RELIEF AND DRAIN LINE SHALL BE TYPE CPVC OR COPPER MIN. 3/4" DIA.

PLUMBING SCHEDULE					
NO.	DESCRIPTION	WASTE	WATER		REMARKS (GPM)
			COLD	HOT	
WC	WATER CLOSET	3"	1/2"	—	1.28 GALLONS PER FLUSHING CYCLE
LAV.	LAVATORY	1 1/4"	1/2"	—	1.5 GPM @ 60 PSI
TUB/ SHWR	TUB / SHOWER (2)	2"	1/2"	1/2"	1.5 GPM @ 60 PSI
SINK	KITCHEN SINK (2)	2"	1/2"	—	1.5 GPM @ 60 PSI
W	CLOTHES WASHER (2)	2"	1/2"	1/2"	WATER FACTOR OF 8 OR LOWER (ENERGY STAR / WATER SENSE CERTIFIED)
DF	DISH WASHER (2)	1" 1W	—	1/2"	6.5 GALLONS PER CYCLE OR LESS (ENERGY STAR / WATER SENSE CERTIFIED)
REF	REFRIGERATOR (2)	—	1/2"	—	SELECTED BY OWNER

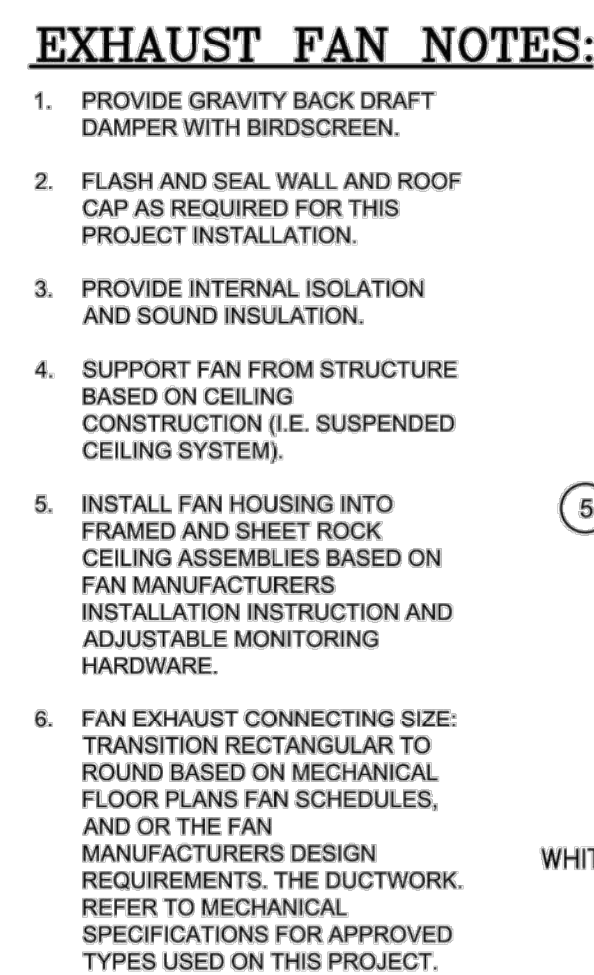
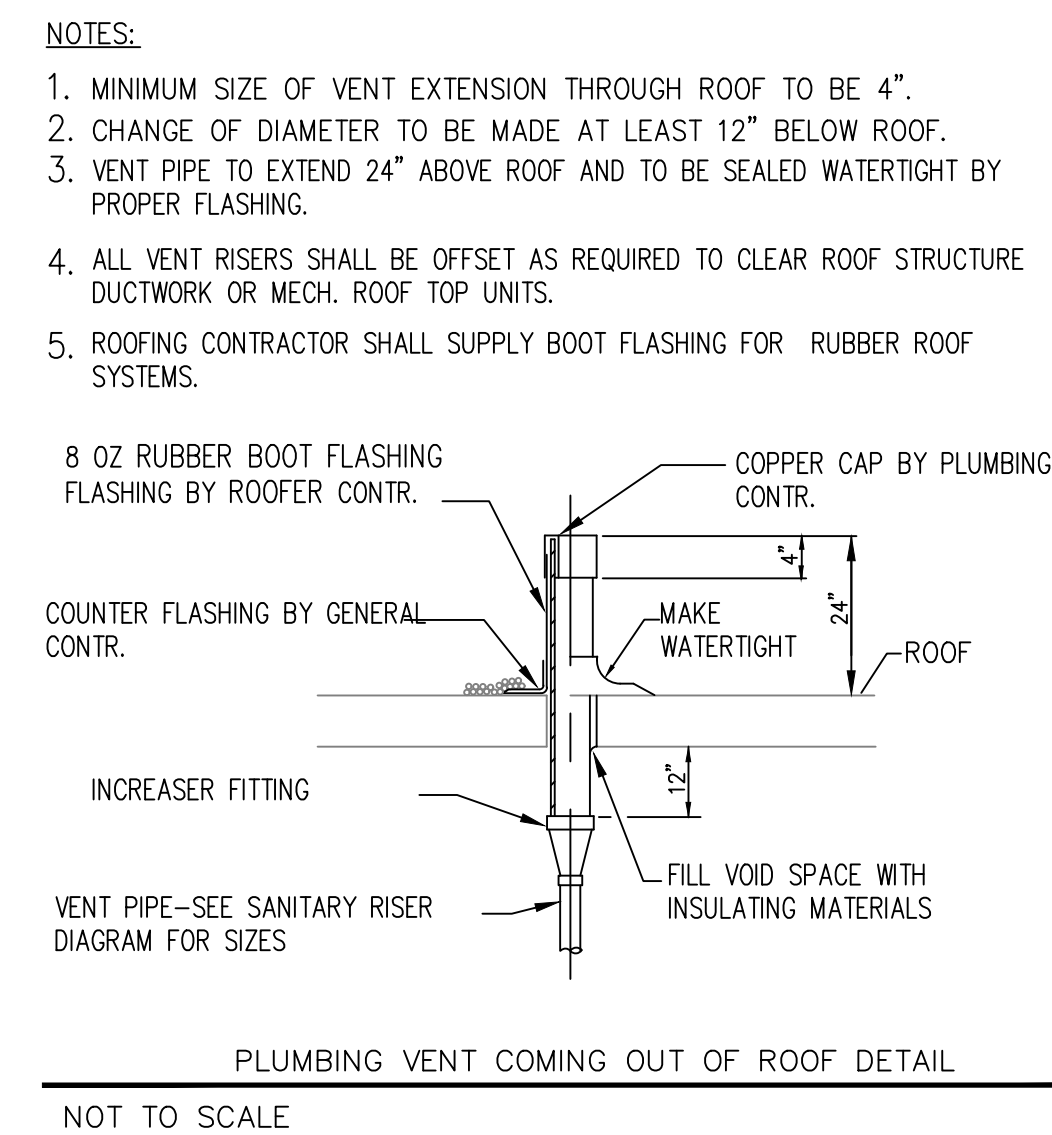
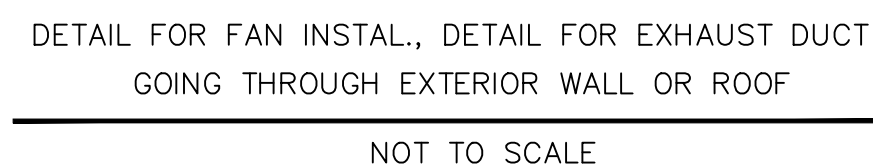
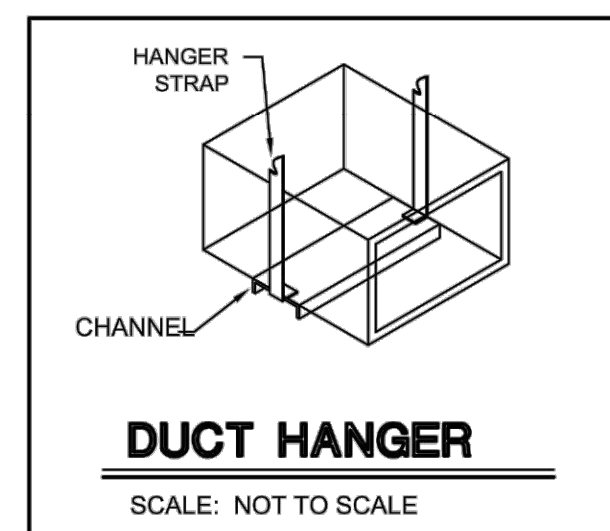
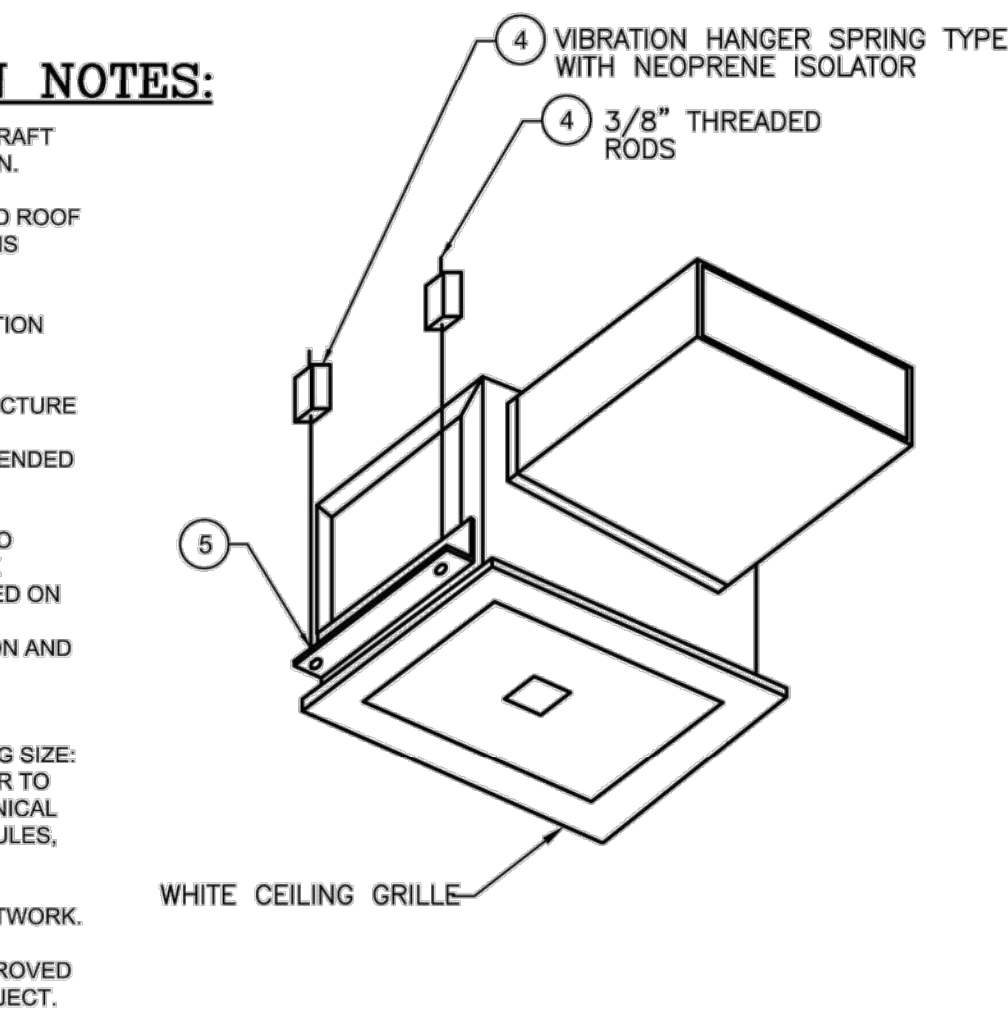
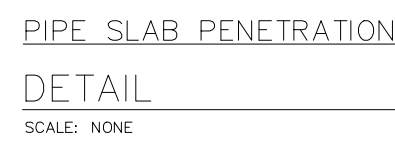
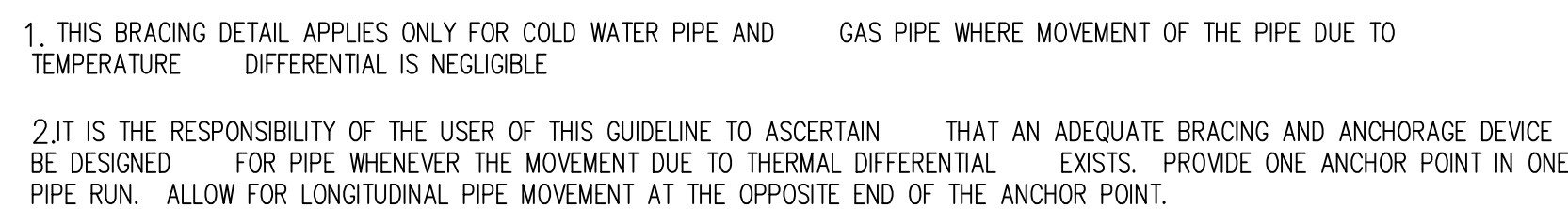
(1) PROVIDE ANTI-SCALD VALVE. (2) PROVIDE MECH SHOCK ABSORBER TO EACH SUPPLY

[illegible][illegible]

REV.	DATE	BY	CHK	APP	GK	REVISION DESCRIPTION
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NO. 009



[illegible][illegible]

PROJECT ADDRESS

1380 Emory Rd NE,  
Atlanta, GA 30306

DRAWING TITLE

## DETAILS

DOB JOB No.:

DRAWING NO.

**M-2**

3 of 13

comm no.

date

ID.  NO. 009























**From:** [wwitherspoon51@gmail.com](mailto:wwitherspoon51@gmail.com)  
**To:** [Paige V. Jennings](#)  
**Subject:** Re: Questions Regarding Application for 1380 Emory Road  
**Date:** Wednesday, May 14, 2025 1:54:10 PM

---

Please see responses below in Separate color to the questions. Thank you for reaching out and please feel free to ask any further questions.

William Witherspoon

"Live each Day to The Fullest"

On May 14, 2025, at 13:33, Paige V. Jennings  
<[pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov)> wrote:

Good Afternoon,

Hope that this email finds you well!

We are finalizing our staff reviews for the upcoming HPC meeting scheduled for May 19th. Before finalizing our report on the application for 1380 Emory Road, could you please provide information for the following questions?

1. What material are the proposed replacement windows? **The Windows I am looking to Replace the existing can be produced in Various formats I am Considering the Steel/Vinyl.**
2. The HPC does not review interior changes unless the proposed work will have an effect on the exterior of the property. Can you confirm that the proposed interior renovations will have no modification to the exterior of the property aside from the replacement of the windows? **The interior changes are not modifications to the exterior. The exterior of the rear of the home. Which was part of a prior addition is in need of repair and that is what we are repairing in the like condition to its existing exterior which consist of wood Siding.**
3. The site plan provided shows a proposed garage – is that garage a part of this current application, or will a separate application be submitted at a later date for the proposed garage? **The existing garage is in Disrepair due to insect activity and if it's possible to include the garage in this request then please do so. We are looking at a similar design just slightly larger as our vehicles will not fit in that scale along with lawn maintenance tools.**

Please provide all information that you can as soon as possible. Our reports will



be finalized before the of the week and will be sent out along with the agenda for the meeting to applicants.

Thank You,

Paige

**Paige V. Jennings (they/them)**

**Senior Planner, Historic Preservation**

DeKalb County Government | Department of Planning & Sustainability

Current Planning | Zoning Division

Government Services Center| 178 Sams Street | Decatur, GA 30030

Email: [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov)

County Cell: 470-829-7341

<image001.png>

Click here for **Permit Status** [DeKalb County Permit Tracker](#)

Click here for **Permit Guide** [https://app.oncamino.com/dekalb\\_county/](https://app.oncamino.com/dekalb_county/)

Click here for **Zoning Map** [DeKalb County Parcel Viewer](#)