



Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer Michael Thurmond DEPARTMENT OF PLANNING & SUSTAINABILITY Interim Director Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or Authorized Representative: Cindra Johnson
Mailing Address: 4408 Briens Place
City/State/Zip Code: Stone Mountain, GA 30083
Email: welhome11c@gmail.com
Telephone Home: 404-707-7894 Business: _____

OWNER OF RECORD OF SUBJECT PROPERTY
Owner: Cindra Johnson
Address (Mailing): 4408 Briens Place Stone Mountain, GA 30083
Email: welhome11c@gmail.com Telephone Home: 404-707-7894 Business: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY
Address: 4408 Briens Place City: Stone Mtn State: GA Zip: 30083
District(s) _____ Land Lot(s): _____ Block: _____ Parcel: _____
Zoning Classification: _____ Commission District & Super District: _____

CHECK TYPE OF HEARING REQUESTED:

- ☒ VARIANCE (From Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.



DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application

DATE: 11/25/24

Applicant
Signature:

Andrew John

DATE: N/A

Applicant
Signature:

N/A



DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 11/25/24 Applicant/Agent Signature: [Signature]

TO WHOM IT MAY CONCERN:
(I) (WE): [Signature]
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

[Signature] 11/25/24
Notary Public

N/A
Notary Public

N/A
Notary Public

[Signature]
Owner Signature

N/A
Owner Signature

N/A
Owner Signature





Battle Law

03/12/25

Via Email (rlbragg@dekalbcountyga.gov)

Rachel Bragg
Zoning Administrator
178 Sams Street Decatur, GA. 30030
Re: A-24-247339

Administrator Bragg:

On behalf of the Applicant for the proposed variances for property located at 4408 Briers Place, being parcel number 18 122 02 005 pertaining to petition number A-24-247339, I respectfully request to withdraw the following variance requests:

1. Variance from 2.11.2 to increase the lot coverage from 50% to 60% to permit the construction of a 2-story detached structure of a single-family home in the RSM zoning district;
2. Variance from 4.2.2(C) to permit the existing rear deck to encroach on the minimum setback at 0' or the property line;
3. Variance from 4.2.3(C)(7) to allow for the ADU to be in the side yard of the primary structure;
4. Variance from 4.2.3(C)(11) to allow for stairs to face the neighboring property;
5. Variance from 4.2.3(C) to omit the lot size requirement of 10,000 square feet to construct an ADU; and
6. Variance from 4.2.2(I) to permit for the ADU to be taller than the primary structure.

Please note that I am *not* withdrawing the request for a variance from 4.2.2(D) to permit the construction of the accessory structure closer than 15 feet to the rear property line.

Sincerely,

Joshua Mahoney
Associate Attorney
404-601-7616 ext. 6
jsm@battlelawpc.com

Andra Johnson
4408 Briers Place
Stone Mountain, GA 30083
Welhomellc@gmail.com
404-707-7849
11/22/2024

Department of Planning & Sustainable Variance Board
Zoning and Variance Board members
1300 Commerce Drive
Decatur, GA, 30030

Subject: Letter Regarding the Safety, Storage, and Security Benefits of Our New Garage Addition

Dear Department of Planning & Sustainable Variance Board,

I am writing to inform you of the recent addition of a new garage to our property and to highlight the multiple benefits it brings not only to our household but also to the surrounding neighborhood. This new structure is designed to enhance safety, provide valuable storage space, and reduce the risk of property crimes such as break-ins, robberies and theft. In addition, the arrangements we have made regarding the safe storage and security of my father's assisted living equipment while he is staying with us in our home. The construction of our new garage addition also plays a key role in this process, ensuring that all necessary equipment is stored appropriately and securely.

Specifically, the new garage serves the following important purposes:

1. Increased Safety for Our Property

The addition of a secure, enclosed garage significantly improves the safety of our home. By providing a designated area for parking, we can ensure that our vehicles are kept off the street and away from potential hazards, such as traffic accidents or vandalism. The garage serves as a protective barrier between our home and the exterior, creating an additional layer of security for our family and property.

2. Enhanced Storage Space

In addition to providing security for our vehicles, the garage offers much-needed storage space for tools, equipment, and personal items. This not only helps us keep our home more organized and decluttered but also allows us to store valuable or seasonal items in a secure environment, further reducing the risk of theft or damage. The added storage space will help maintain my father's assisted living equipment, including mobility aids and other medical devices, which will

be safely stored in a designated area, reducing the risk of damage or tripping hazards within our home. This will ensure a tidy and safe environment both inside and outside our home.

3. Reduced Risk of Break-Ins and Theft

One of the primary benefits of the garage is its ability to protect our vehicles and belongings from potential theft or break-ins. With the garage securely locking our vehicles and items away from view, it reduces the temptation for criminals who might otherwise target our property if items were left unattended or visible in the driveway. This addition contributes to the overall safety of our neighborhood by minimizing opportunities for crime in the area. In our neighborhood, vehicles parked on the street and in drive-ways have been targeted by criminals checking doors, breaking into locked cars and going as far as brandishing a weapon and opening fire on a homeowner.

4. Improved Neighborhood Security

The new garage not only benefits our household but also contributes to the overall security of our neighborhood. By investing in this upgrade, we are helping to create a safer environment for everyone. The garage reduces clutter, discourages unauthorized access to our property, and sends a positive signal that our neighborhood is one where residents are proactive in safeguarding their homes and their belongings.

5. County and Government Vehicles

Street parking prevents Dekalb County Sanitation trucks from picking up the trash weekly, unless cars are moved off the street to allow the trucks to maneuver safely without incident around the cul de sac and neighborhood due to the narrow streets. This also allows road space for larger emergency vehicles (ambulance and fire trucks) access for emergency responders.

In summary, this addition has been carefully planned to meet my father's equipment storage and future needs, ensuring that his comfort, safety, and mobility are prioritized. Additionally, this new garage addition is a significant improvement that increases both the safety and security of our property while offering additional storage space. These enhancements will provide long-term benefits not only for us as homeowners but also for the community as a whole by fostering a safer, more organized living environment.

Thank you for your time and consideration. Please feel free to reach out if you have any questions or require additional information about the new garage or its benefits.

Sincerely,

Andra Johnson

Brady Holcomb
1355 Briers Drive
Stone Mountain, GA 30083
BradyLHolcomb@gmail.com
December 30th, 2024

Dear Members of the Zoning Board of Appeals,

I am writing to oppose the construction of a 2-story garage being built at 4408 Briers Place, Stone Mountain, GA 30083. I am the owner of the property bordering the back of Andre Johnson's property and would be heavily impacted by a variance of County Zoning Ordinance.

I'd like to bring the following concerns to the attention of the Board, given the potential of negative impact to my property and the surrounding neighborhood.

Construction Without Permit

Firstly, I'd like to inform the Board that this structure in question had already begun construction in July 2024, violating zoning and permit procedures by beginning construction without County approval, and was the subject of a stop-work order issued by the County in August 2024¹ and has since been sitting incomplete. The existing construction does not appear to comply with County Zoning Ordinance, most notably setback requirements, as I discuss on the next page.

The blueprint submitted by my neighbor in the application now appears to seek retroactive approval for this structure that has already been begun seemingly in violation of zoning requirements. This raises significant concerns not only about adherence to zoning laws but also about the integrity of future developments in our neighborhood if this structure is allowed to remain as is.

No Public Hearing Sign Posted

Additionally, there has been no public hearing sign posted on any public-facing side of the property as of December 30th (within 9 days of the appeal meeting of January 8st). The Department of Planning and Sustainability required² this notice to be posted on or before December 9th 2024, however the applicant has not complied.

¹ <https://epermits.dekalbcountyga.gov/record-details/#intdetails/codeenforcement/intid/1294851>

² <https://www.dekalbcountyga.gov/sites/default/files/2024-11/2025-26%20Zoning%20Board%20of%20Appeals%20%28ZBA%29%20Calendar.pdf>

Setting Precedent for Construction without Permitting

It is my understanding that the structure was begun without appropriate permits, and is now seeking to obtain a retroactive approval to rectify County zoning violations after the fact. I am concerned that retroactively permitting a structure built without proper approval may set a dangerous precedent and encourage future violations of zoning laws in our neighborhood. This undermines the integrity of zoning laws that are meant to maintain consistency and fairness within residential areas. It is critical that this process adheres strictly to the zoning and building codes to ensure that all structures are compliant from the start.

Inaccurate Blueprint

The blueprint submitted by the applicant indicates that this unauthorized construction was already a 1-story existing garage. However, County parcel records³, County permit records⁴, and separate dated photography that I can provide all prove there was no structure there before the applicant began construction without a permit in July 2024. Additionally, the 3' setback indicated on the blueprint is in actuality less than 32" to the property-line fence, as photos I've supplied on the following page prove. Furthermore, the applicant's blueprint suggests encroachment onto my property, claiming the property line to be several feet over the fence and onto my back deck, however County parcel records prove that the property line is actually the fence⁵. Lastly, the blueprint does not disclose the existing attached 2-car garage, which would solve the parking issue brought up by the applicant.

Violation of Privacy Due to Setback

The structure's current location—less than 32 inches from my fence—appears to violate the minimum rear setback laws for the Residential Small Mix district of 20 feet (County Codes 27-2.12.3 & 27-2.11.2; See *RSM rear setback without alley for SFD*)^{6 7}. Additionally, the 2-story structure, complete with door and windows, towers an additional 15 feet above this fence (higher than even the lot's main residential building), violating both the privacy of my property and of my family. To illustrate, I can touch the side of this structure while at the same time grilling on my back porch. This height and proximity not only violates the privacy of neighbors, but also blocks light, kills existing vegetation, and could prevent firefighter personnel from effectively responding to the back area in the case of a fire.

³<https://propertyappraisal.dekalbcountyga.gov/datalets/sketchframe.aspx?mode=sketch.aspx&UseSearch=no&pin=18%20122%2002%20085&jur=000&taxyr=2024&LMparent=20>

⁴ <https://epermits.dekalbcountyga.gov/lookup-record>

⁵<https://www.arcgis.com/apps/webappviewer/index.html?id=f241af753f414cdfa31c1fdef0924584&find=4408%20Briers%20Place>

⁶https://library.municode.com/ga/dekalb_county/codes/code_of_ordinances?nodeId=CODECO_CH27ZO_AR_T2DIRE_27-2.12_DIVISION_12RSSMLOREMIDI_S2.12.3DIRE

⁷https://library.municode.com/ga/dekalb_county/codes/code_of_ordinances?nodeId=CODECO_CH27ZO_AR_T2DIRE_27-2.11_DIVISION_11MEHIDEREZODIDIRE_S2.11.2DIRE



Top Row: the incomplete structure built without permit is within 32" of the applicant's rear property line

Middle Row: The structure is within arm's reach from the property line.

Bottom Left: view from our 2nd story bedroom

Bottom Right: view from our downstairs

Incurable External Obsolescence

I am concerned about the negative impact that this structure will have on the value of my property as well as that of the other neighbors. The large scale (taller than the original residence) and imposing proximity of the structure, as well as loss of light to both existing vegetation and interior rooms, is an incurable external obsolescence that has the potential to degrade the marketability of the surrounding properties, particularly if it violates privacy, blocks sightlines, and alters the open feel of the surrounding area in such a uniquely designed neighborhood. As a result, the ability for the other neighbors and I to sell our homes at their full market values could be compromised.

Community Voice

I have spoken with multiple neighbors, and 2 of the 3 properties bordering 4408 Briers Place oppose this construction. These are the residents who will be directly and most impacted by this garage. We were informed by Andre Johnston that he would be constructing a 1.5 story structure (very different from the 2-story structure that is partially completed), yet we did not offer approval, nor were blueprints & surveys disclosed to us. We are not only concerned for the potential detriment to our property value, violation of privacy, and loss of light, but also the overall look and tone of the uniquely designed neighborhood, the lifelong project of an architect in the 1970s.

Alternative and Fair Solutions

While I understand that the garage may serve as a parking location and provide a 2nd story living area, I believe the building's scale and location are neither appropriate nor fair to the surrounding neighbors who have sought proper permitting for their own past construction. There are alternative, less intrusive solutions that would meet the same needs without infringing on the privacy and rights of neighboring property owners.

If someone is looking to create more storage, they would construct something like a shed or an additional room to the house, not an additional detached 2-story residential living space, complete with bathroom, sewer line, and exterior staircase for the 2nd story entrance. These are all features that Andre Johnston himself pointed out to me in person, indicating that this is not just a garage for storage. It appears there's a future plan that goes beyond the intent of "storage" that was disclosed to the Board. This is an unnecessary structure that causes direct negative impact to the neighbors of 4408 Briers Place.

No Additional Parking Created

Lastly, this garage does not create additional parking, as 4408 Briers Place already has a fully functional 2-car garage with a wide single door, as well as ample room for parking at least 3 additional vehicles on the driveway, as I have seen there before. The garage is built over an existing portion of the driveway, repurposing existing parking space rather than creating new parking space, thus not reducing street parking as others have claimed.

I respectfully request the Board to deny the variance and require modifications to ensure that the partially-built structure, having previously received a code-violation from Dekalb County, fully complies with all zoning and setback laws (County Code 12-7.5.7⁸).

Thank you for your time and consideration. I trust that the Board's decision will be for the betterment and protection of the community, ensuring all future development in our neighborhood adheres to the rules that safeguard the character and livability of the area.

Sincerely,
Brady Holcomb
1355 Briers Drive,
Stone Mountain GA 30083

⁸https://library.municode.com/ga/dekalb_county/codes/code_of_ordinances?nodeId=CODECO_CH27ZO_ART7AD_27-7.5_DIVISION_5VAAPZOBOAP_S7.5.7COSTUPDE



AXONOMETRIC VIEW



SYMBOLS LEGEND

SECTION MARKER

ELEVATION MARKER

INTERIOR ELEVATIONS

DETAIL CALLOUT

DATUM MARKER

SLOPE MARKER

COMPASS (TRUE NORTH)

WINDOW CALLOUT

DOOR CALLOUT

SOIL

CONCRETE

BRICK

CMU BLOCK

RIGID INSULATION

BATT INSULATION

DIMENSIONAL LUMBER

ELECTRIC OUTLET

SWITCH

CEILING LIGHT

RECESSED LIGHT

WALL-MOUNTED LIGHT

CEILING FAN

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NOTES

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22 X 22 ADU GARAGE

COVER PAGE

Project number

BB-GP0003

Date

Drawn by

B.B

Checked by

J.L

A-000

Sheet Number

Scale

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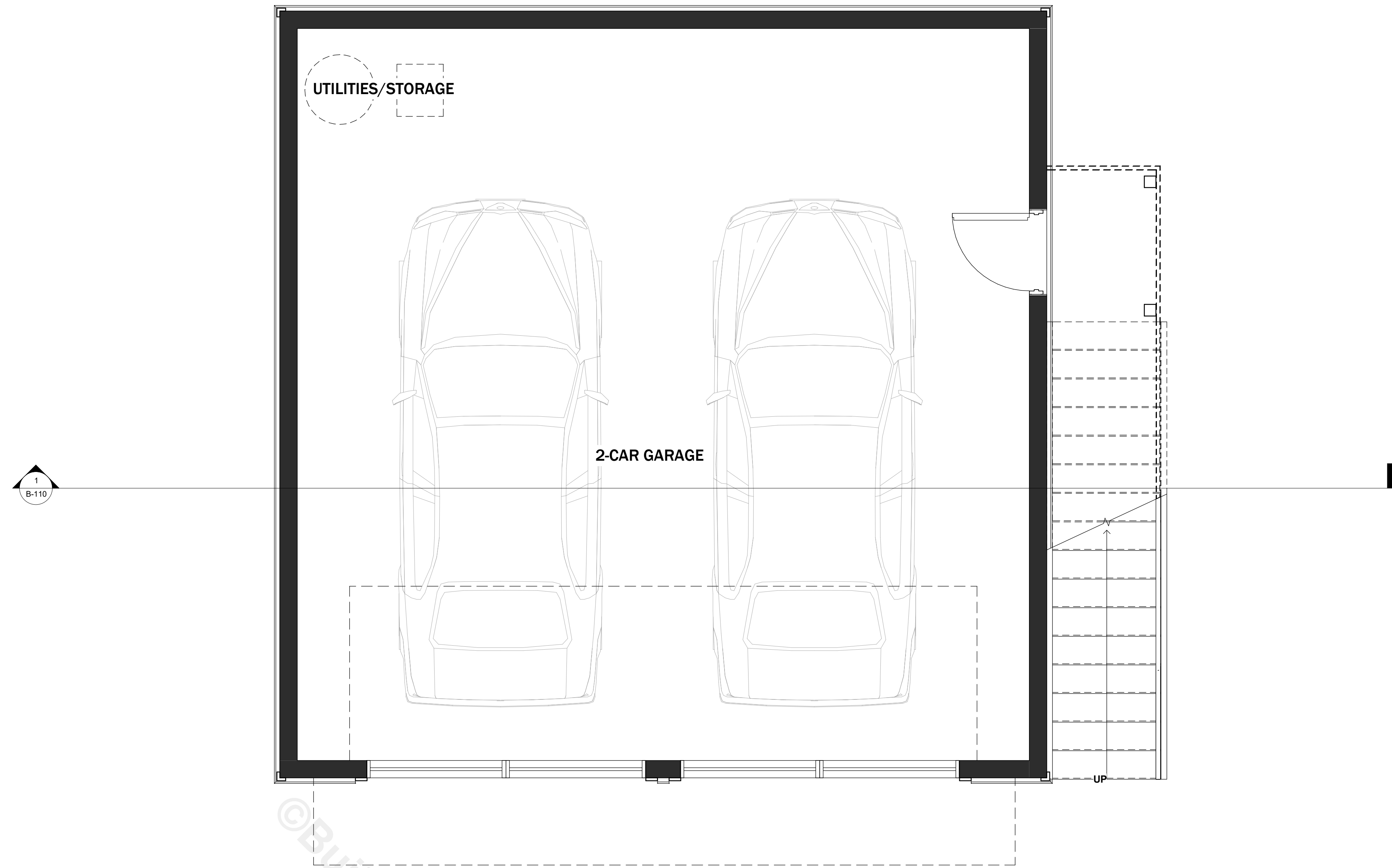
22 X 22 ADU GARAGE

GROUND FLOOR PLAN

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

A-001

Sheet Number	
Scale	1/2" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/2" = 1'-0"

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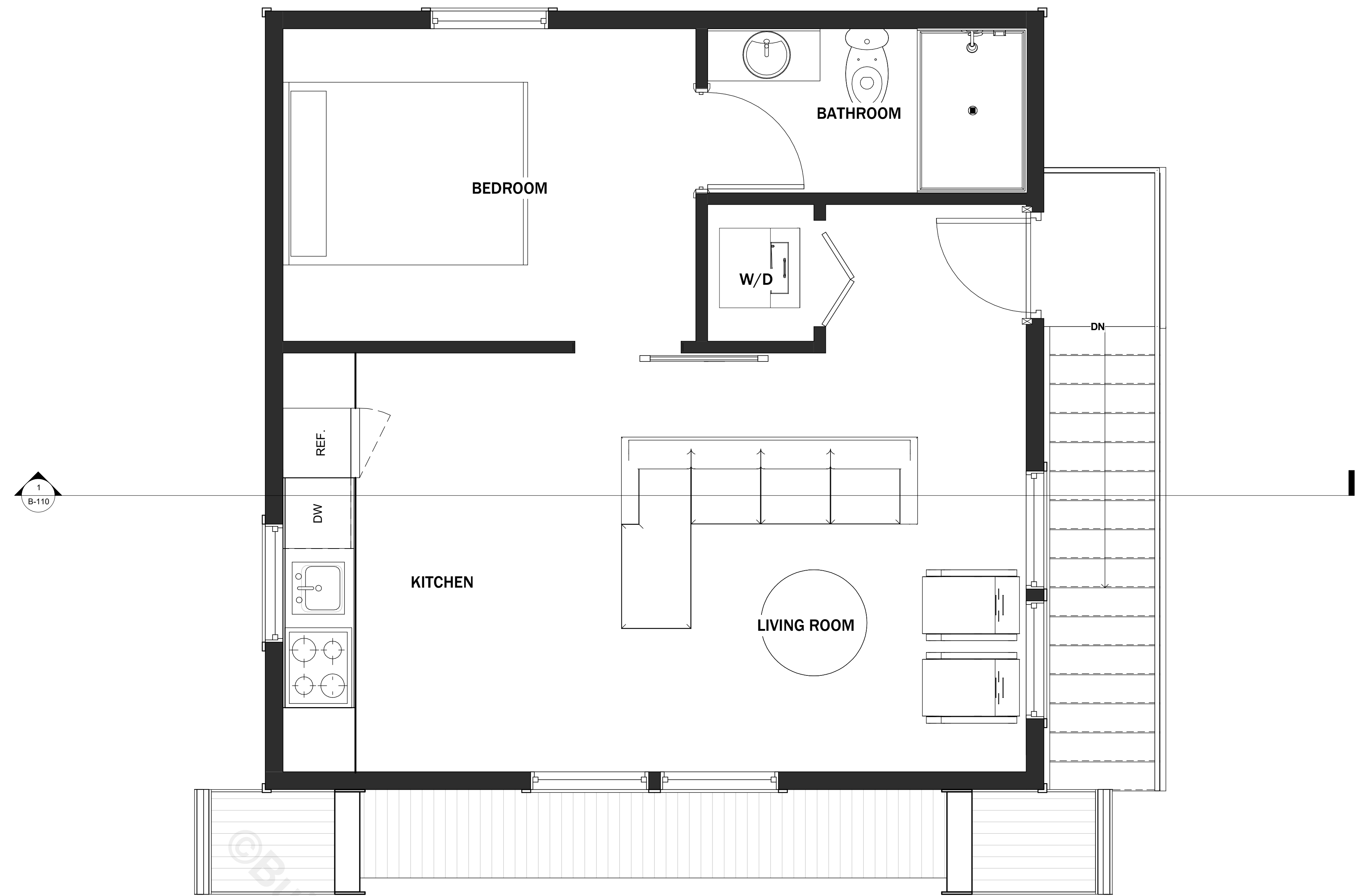
22 X 22 ADU GARAGE

FIRST FLOOR PLAN

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

A-002

Sheet Number	
Scale	1/2" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/2" = 1'-0"

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22 X 22 ADU GARAGE

ELEVATION I

Project number BB-GP0003

Date _____

Drawn by	B.B
Checked by	J.L

A-003

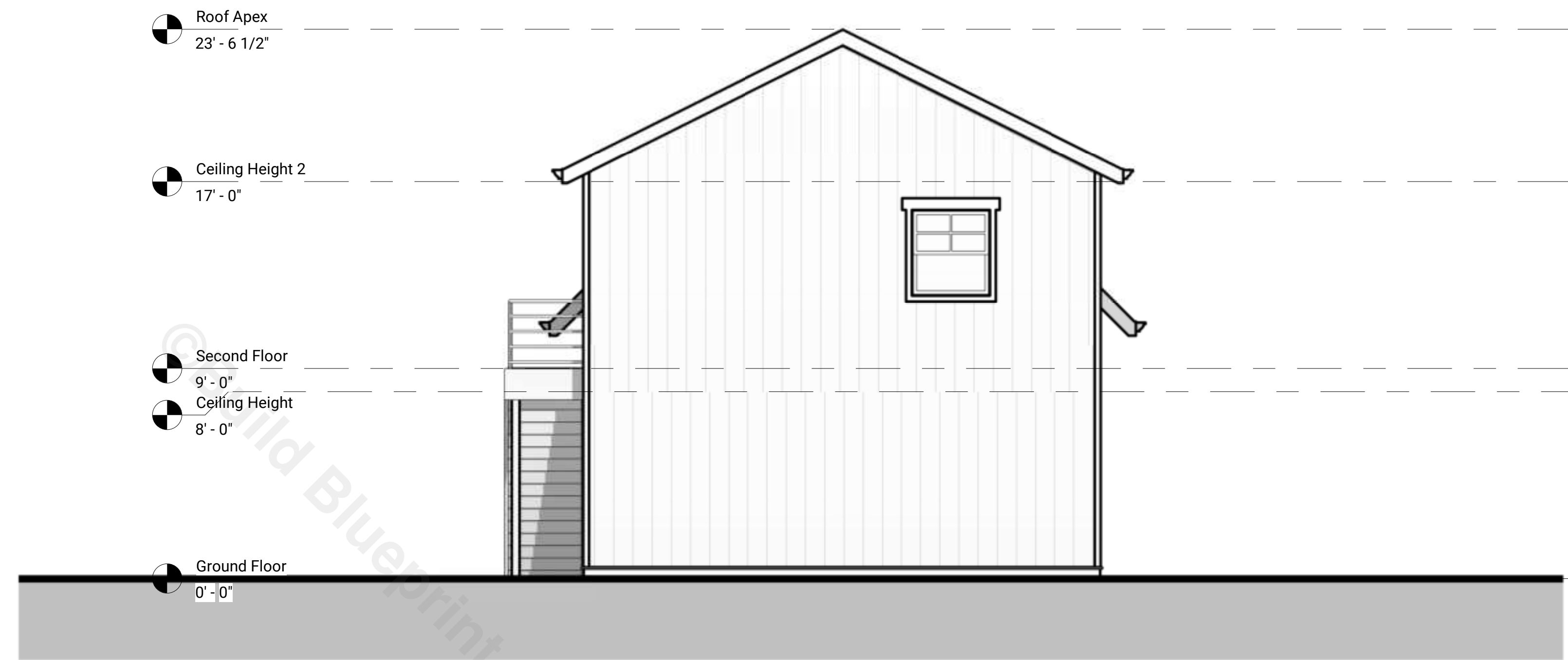
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SOUTH EXTERIOR ELEVATION

SCALE = 1/4" : 1' - 0"



NORTH EXTERIOR ELEVATION

SCALE = 1/4" : 1' - 0"

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22 X 22 ADU GARAGE

ELEVATIONS II

Project number BB-GP0003

Date _____

Drawn by	B.B
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A-004

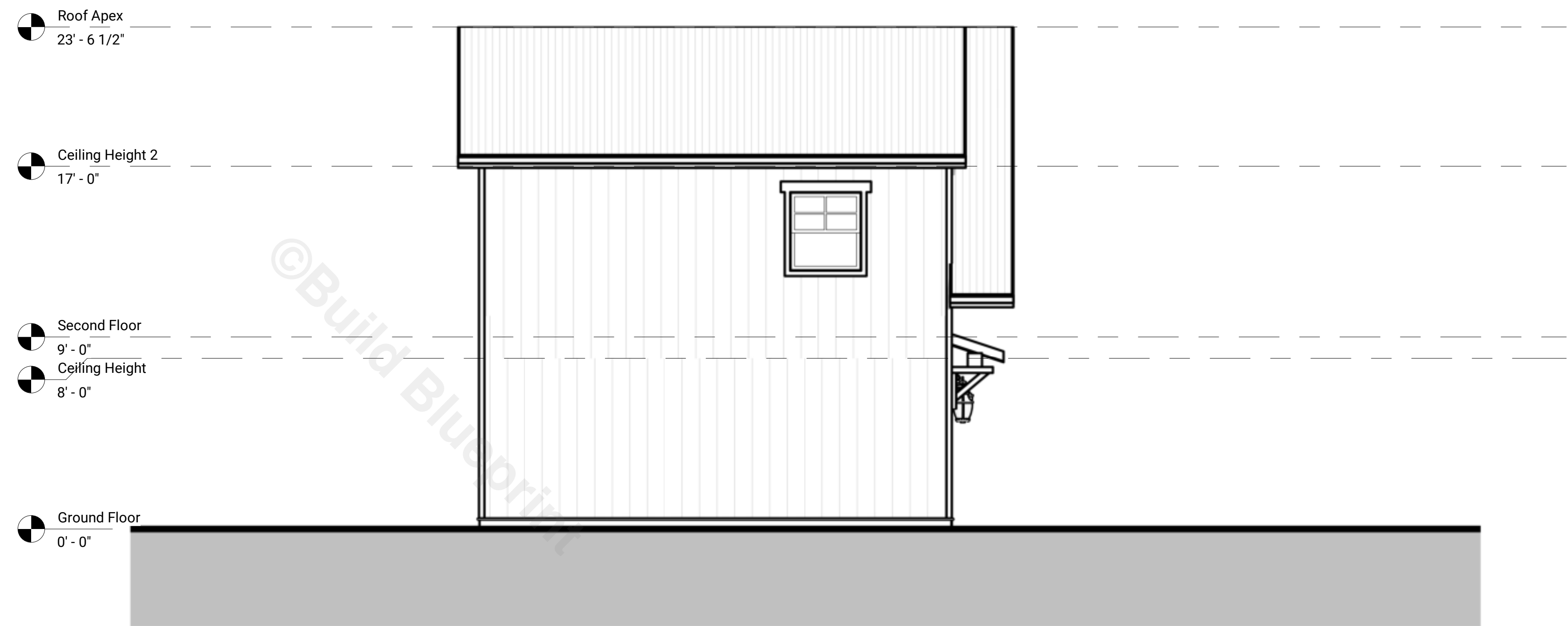
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EAST EXTERIOR ELEVATION

SCALE = 1/4" : 1' - 0"



WEST EXTERIOR ELEVATION

SCALE = 1/4" : 1' - 0"

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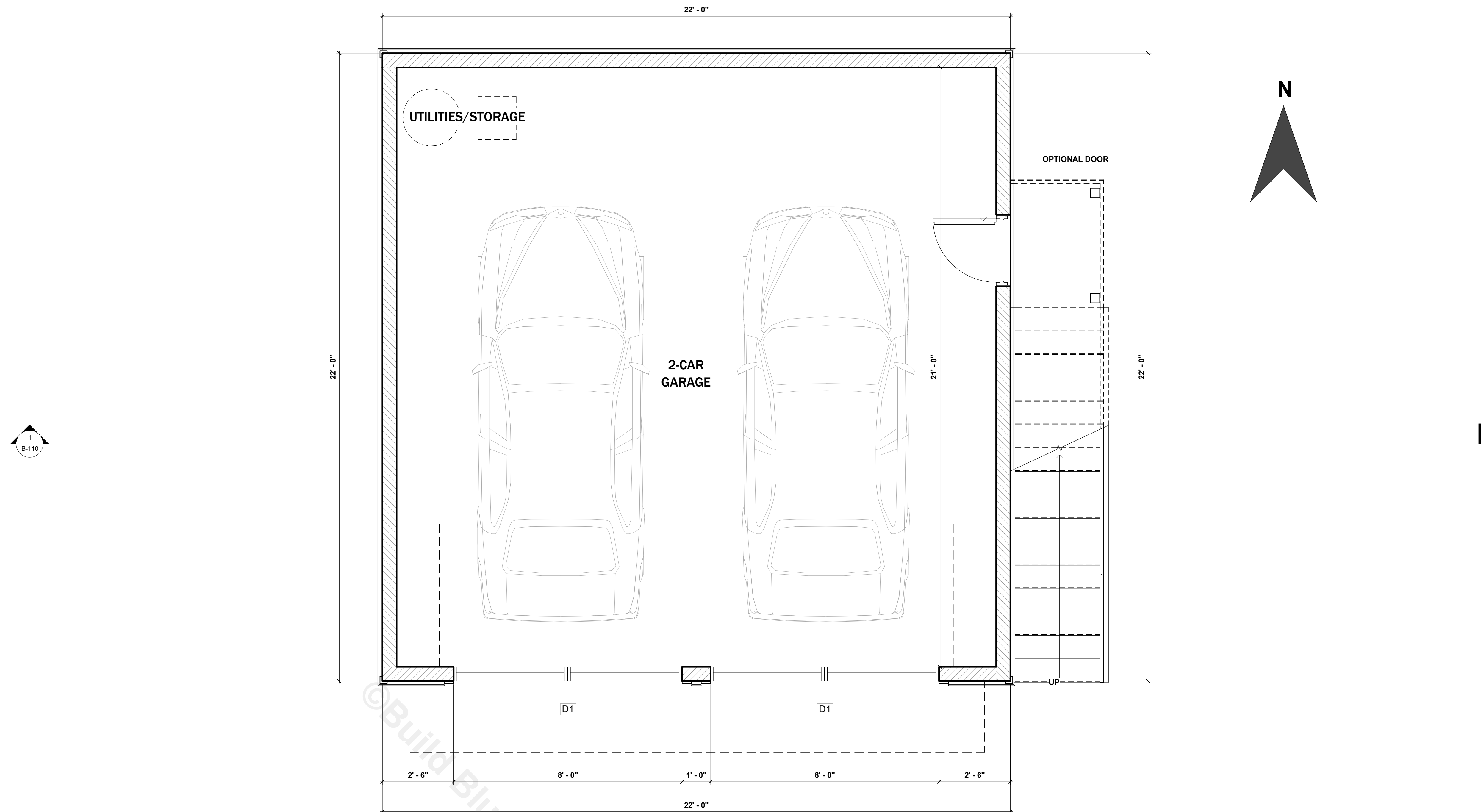
22 X 22 ADU GARAGE

GROUND FLOOR

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

B-101

Sheet Number	
Scale	1/2" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/2" = 1'-0"

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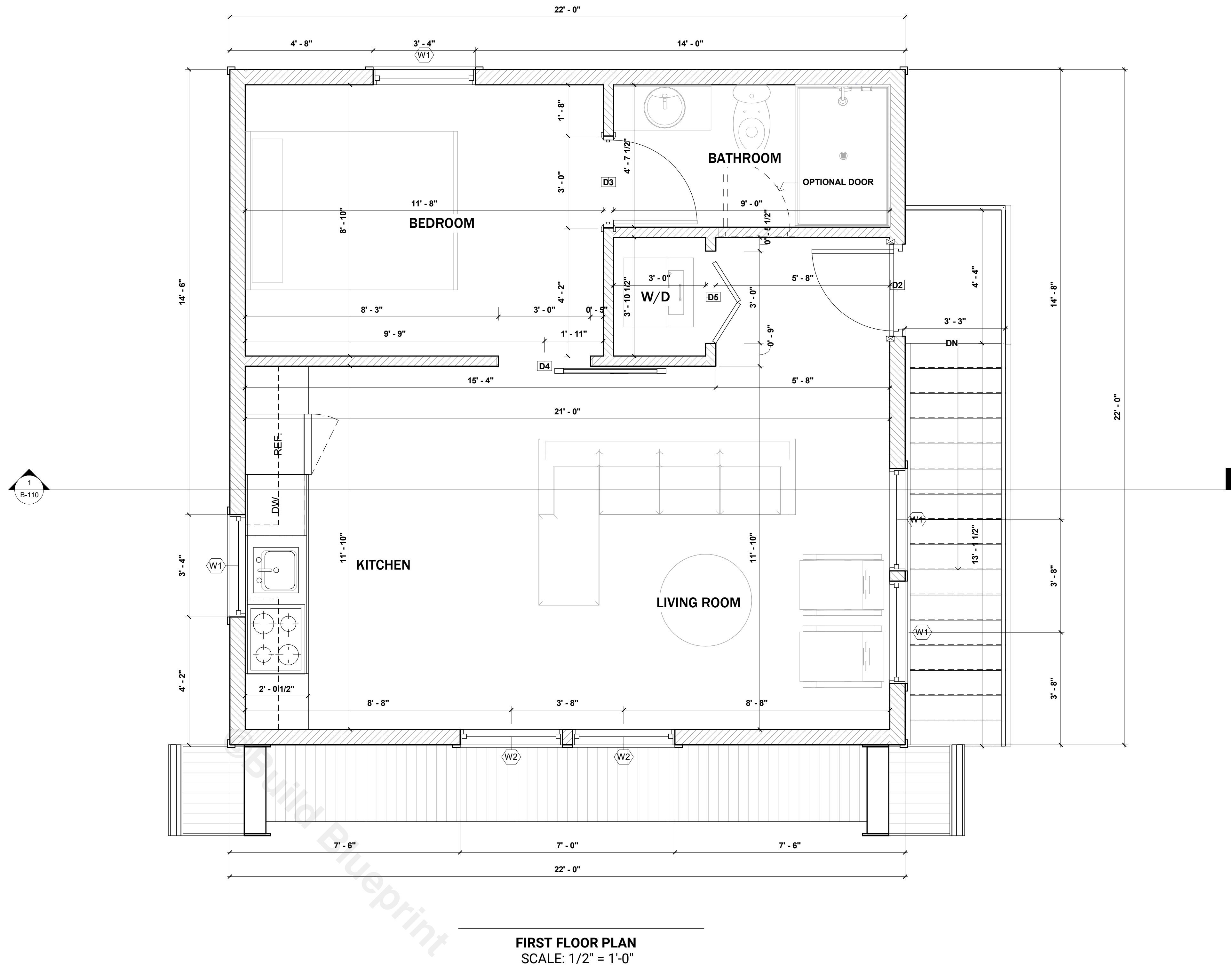
22 X 22 ADU GARAGE

FIRST FLOOR

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

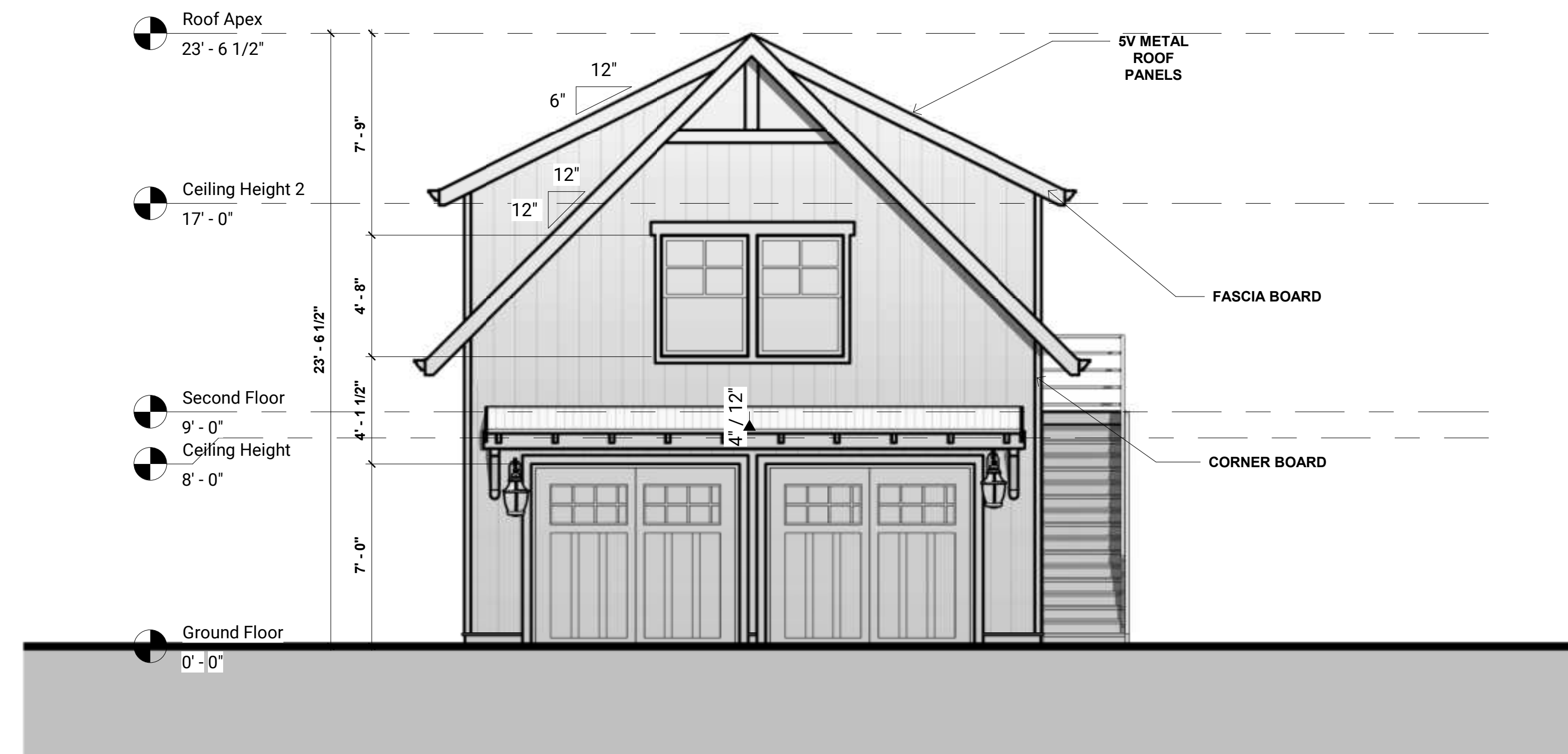
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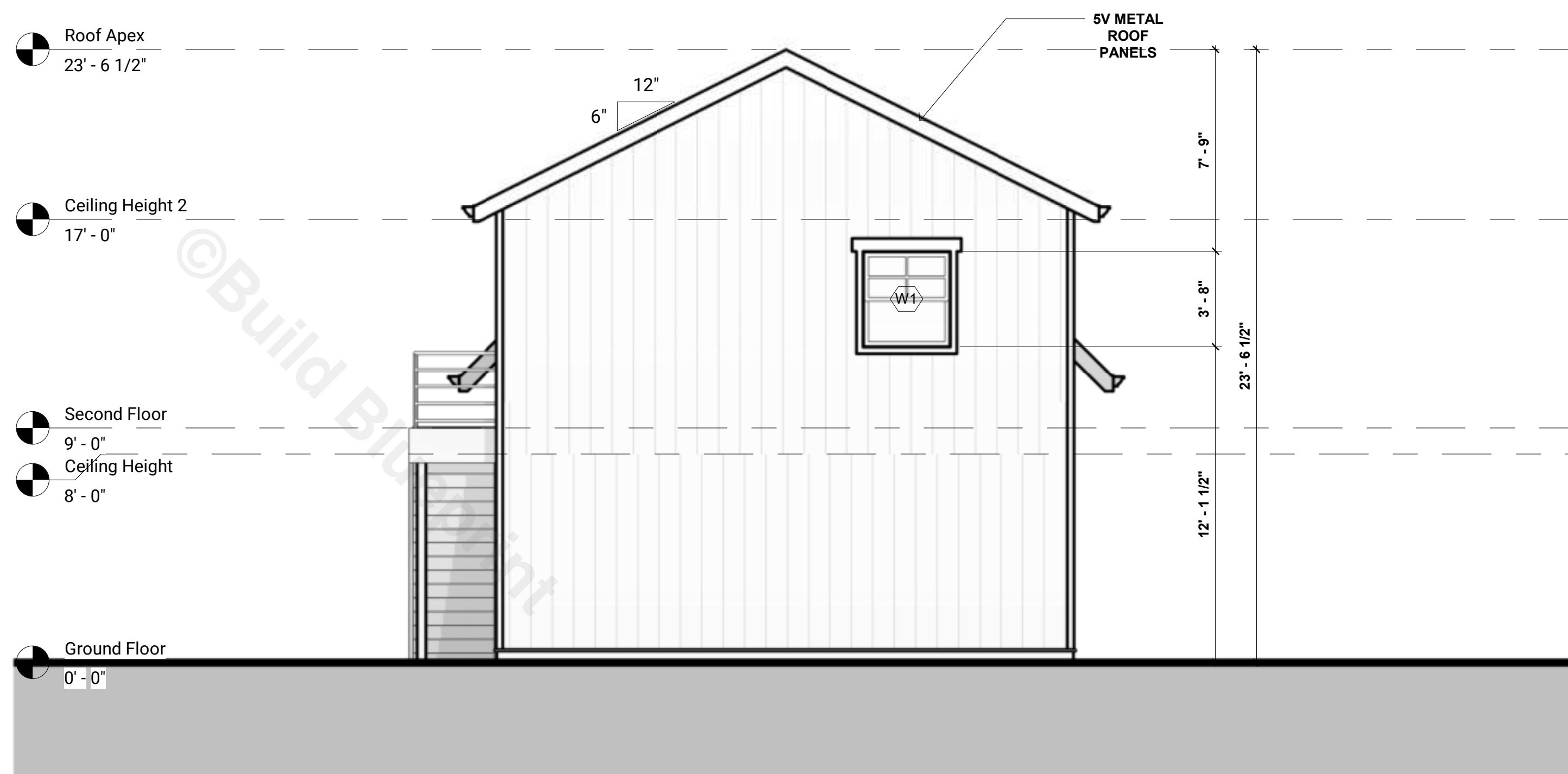


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SOUTH EXTERIOR ELEVATION
SCALE = 1/4" : 1' - 0"



NORTH EXTERIOR ELEVATION
SCALE = 1/4" : 1' - 0"

[illegible]

22 X 22 ADU GARAGE

NORTH & SOUTH
ELEVATION

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

B-103

Sheet Number	
Scale	1/4" = 1'-0"

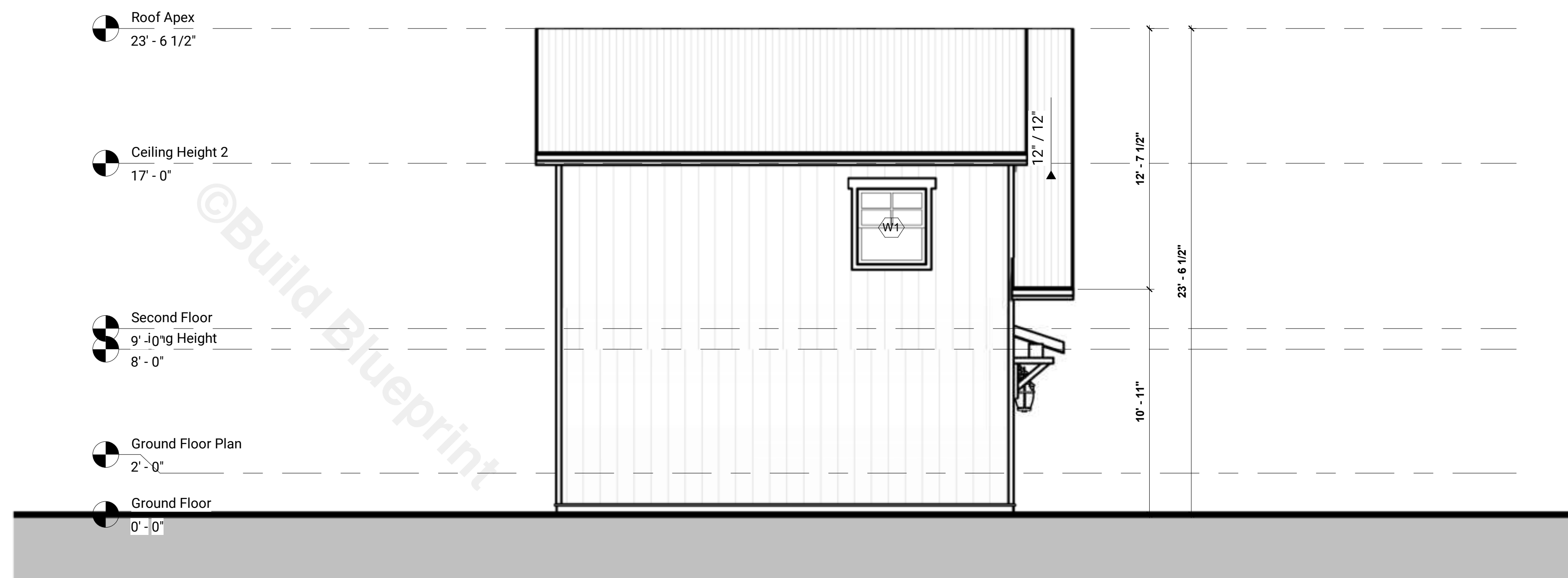
NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $1/4" = 1'-0"$
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL. CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL, AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.
4. THIS DRAWING SET IS NOT INTENDED FOR PERMITTING OR CONSTRUCTION. CONSULT WITH YOUR LOCAL BUILDING DEPARTMENT FOR BUILDING CODE REQUIREMENTS.



EAST EXTERIOR ELEVATION

SCALE = 1/4" : 1' - 0"



WEST EXTERIOR ELEVATION

SCALE = 1/4" : 1' - 0"

[illegible]

22 X 22 ADU GARAGE

EAST & WEST ELEVATION

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

B-104

Sheet Number	
Scale	1/4" = 1'-0"

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $1/2" = 1'-0"$
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL, CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
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[illegible]

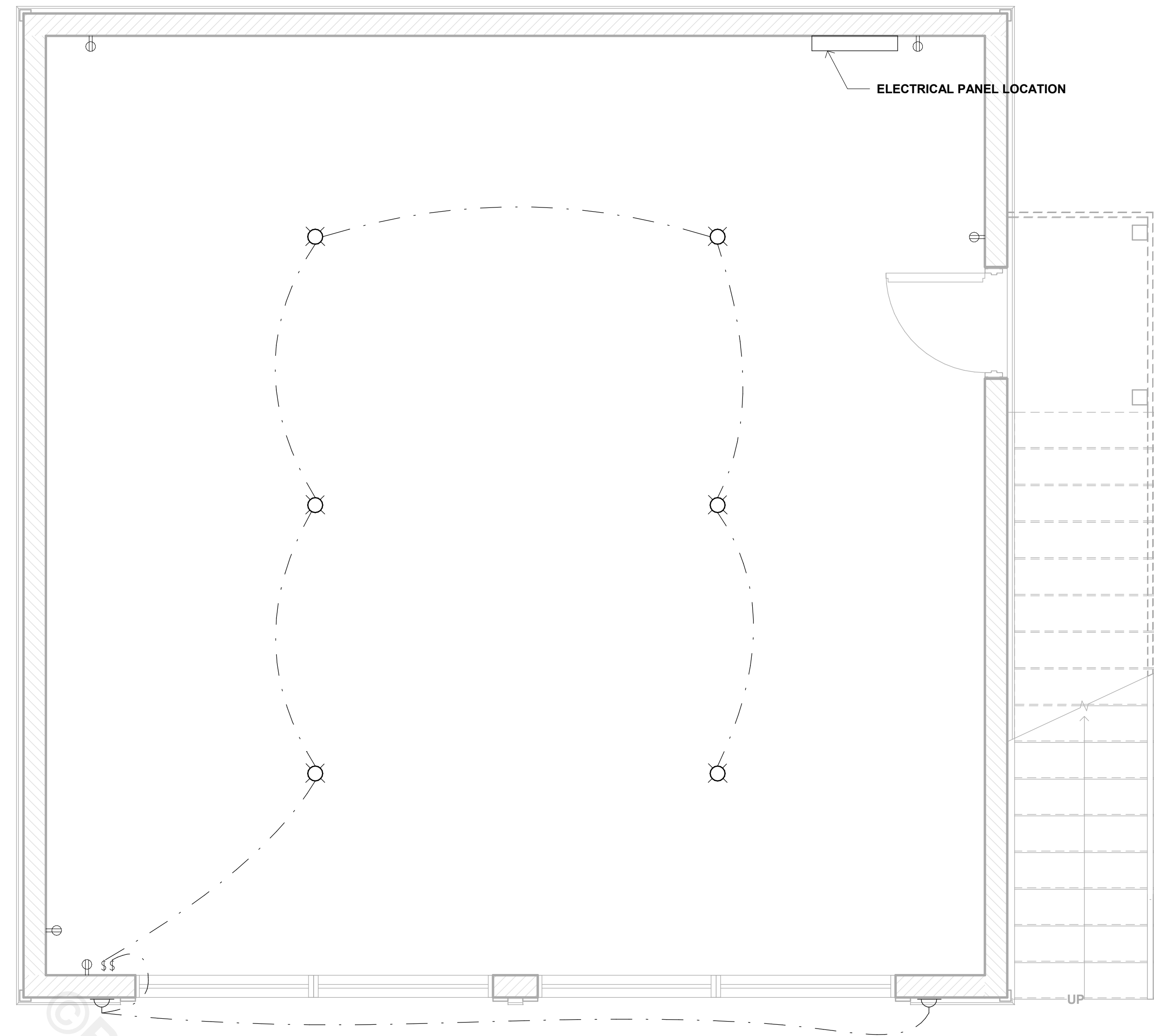
22 X 22 ADU GARAGE

GROUND FLOOR ELECTRICAL PLAN

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

B-105

Sheet Number	
Scale	1/2" = 1'-0"



GROUND FLOOR ELECTRICAL PLAN

SCALE: 1/2" = 1'-0"

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $1/2" = 1'-0"$
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL, CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
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[illegible]

22 X 22 ADU GARAGE

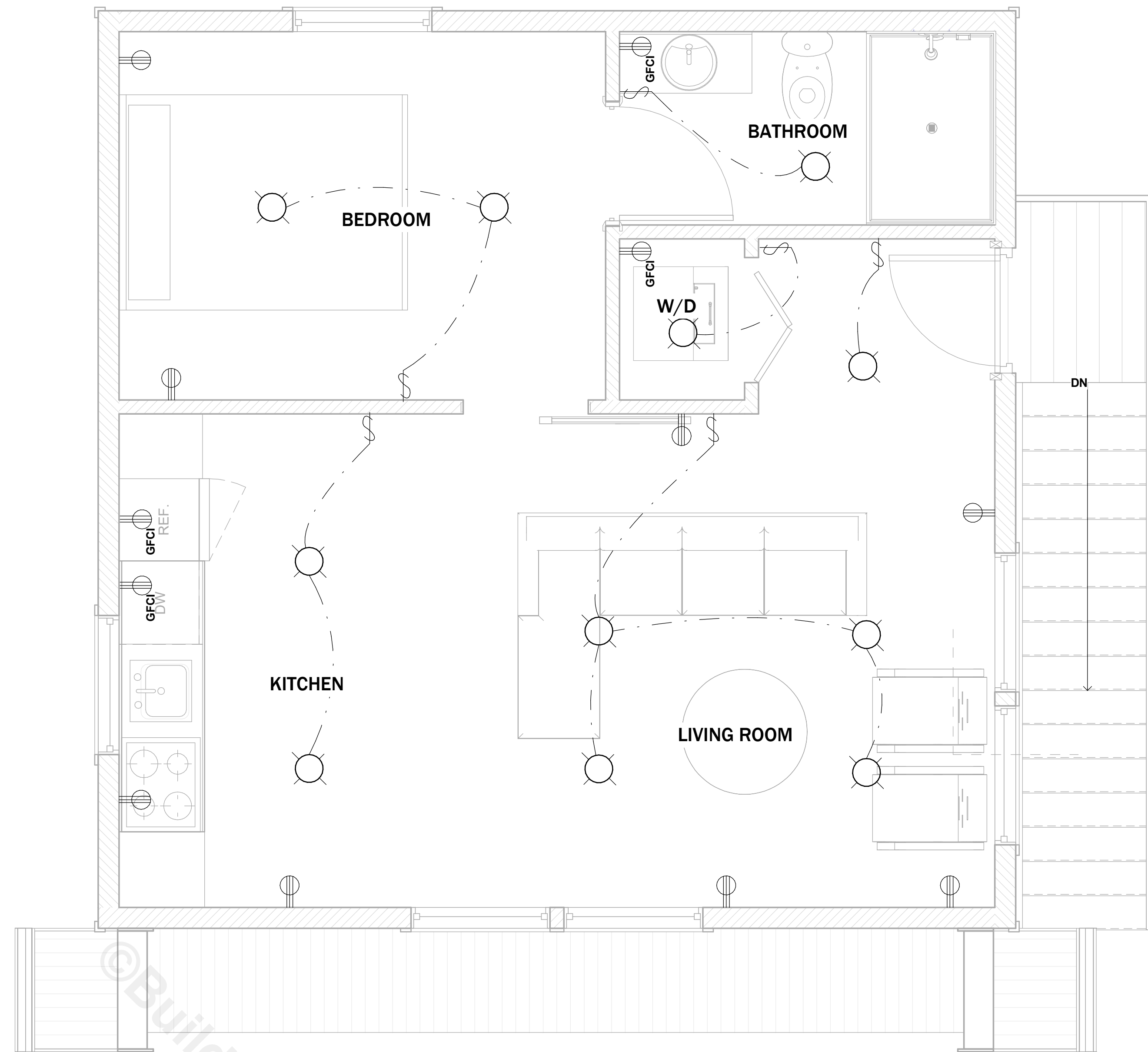
FIRST FLOOR ELECTRICAL PLAN

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

B-106

Sheet Number

Scale $1/2" = 1'-0"$



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/2" = 1'-0"

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $1/2" = 1'-0"$
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL, CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
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[illegible]

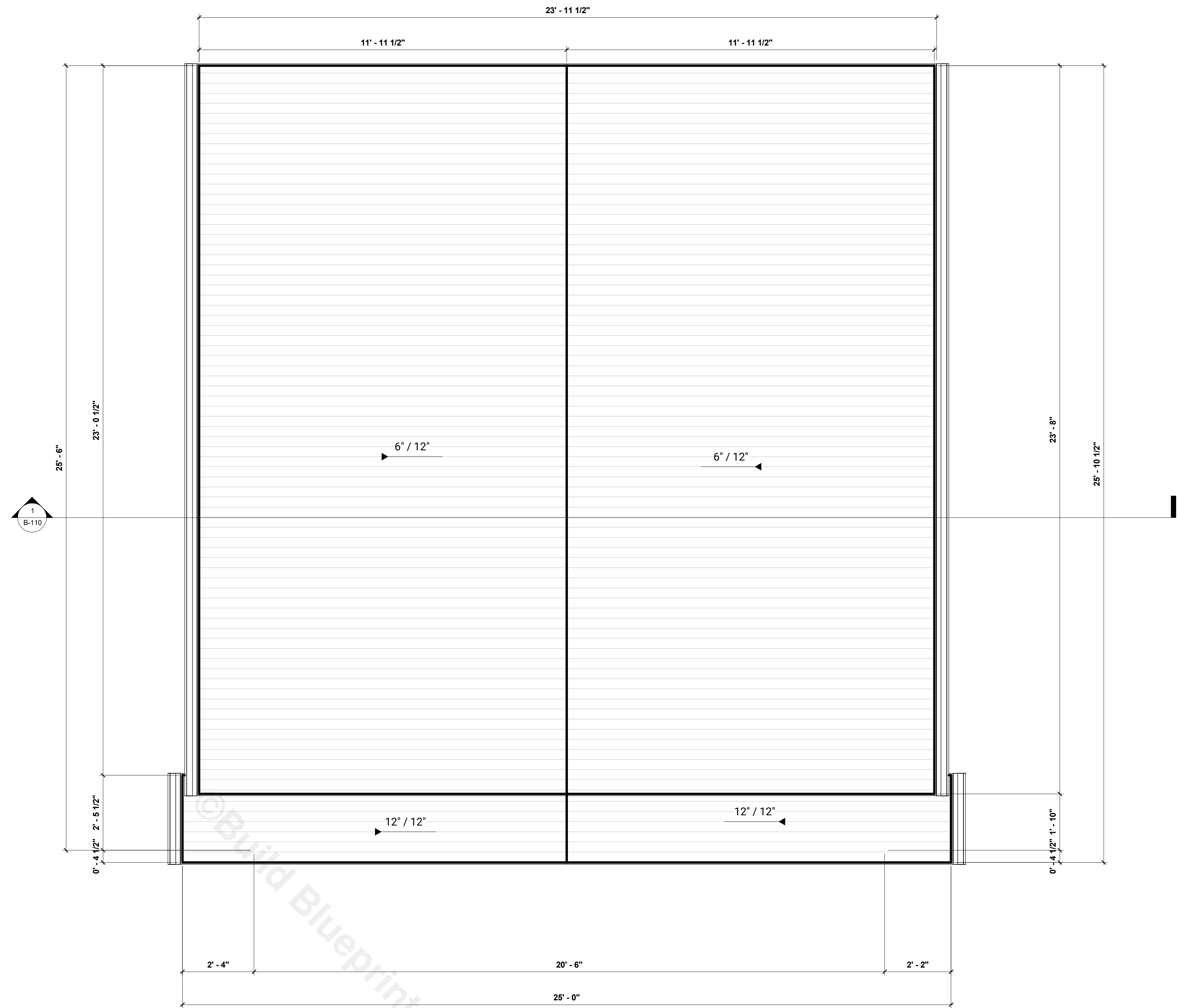
22 X 22 ADU GARAGE

ROOF PLAN

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

B-107

Sheet Number	
Scale	1/2" = 1'-0"



ROOF PLAN
SCALE: 1/2" = 1'-0"

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $1/2" = 1'-0"$
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[illegible]

22 X 22 ADU GARAGE

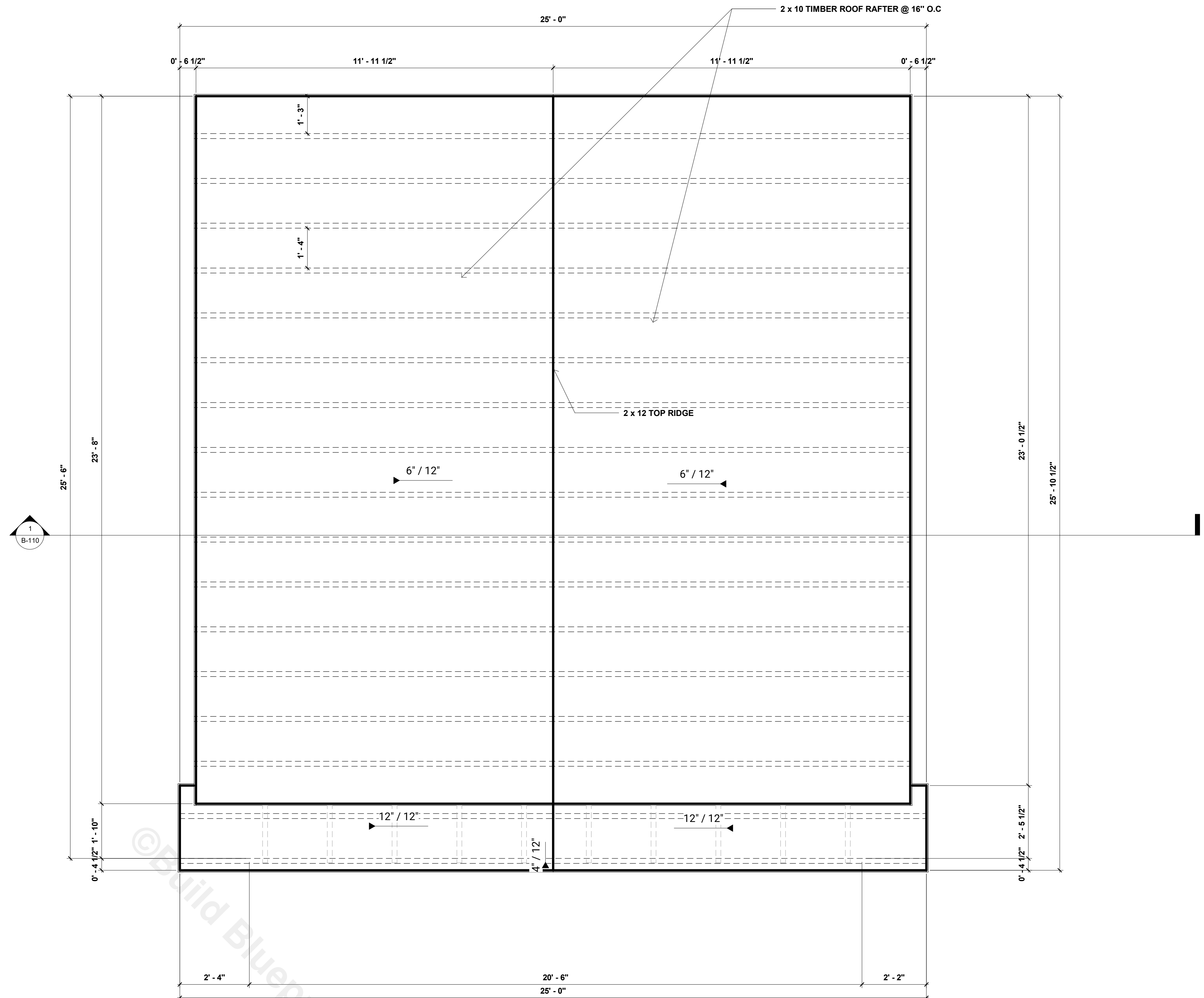
ROOF FRAMING PLAN

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

B-108

Sheet Number

Scale $1/2" = 1'-0"$



ROOF FRAMING PLAN

SCALE: 1/2" = 1'-0"

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $1/2" = 1'-0"$
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[illegible]

22 X 22 ADU GARAGE

SLAB FOUNDATION

Project number BB-GP0003

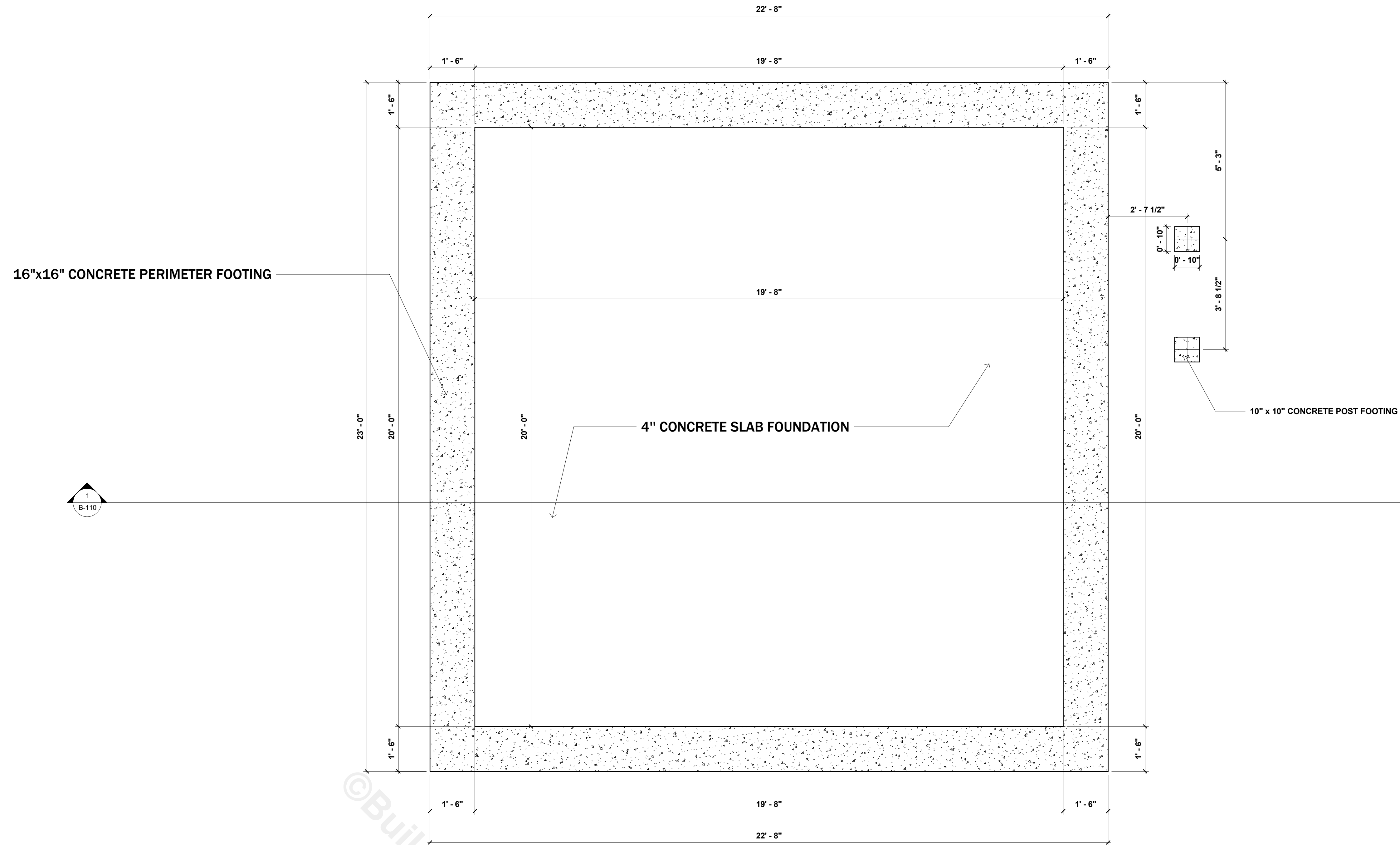
Date _____

Drawn by	B.B
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B-109

Sheet Number

Scale $1/2" = 1'-0"$



SLAB FOUNDATION OPTION
SCALE: 1/2" = 1'-0"

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $1/2" = 1'-0"$
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[illegible]

22 X 22 ADU GARAGE

SECTION DETAIL

Project number BB-GP0003

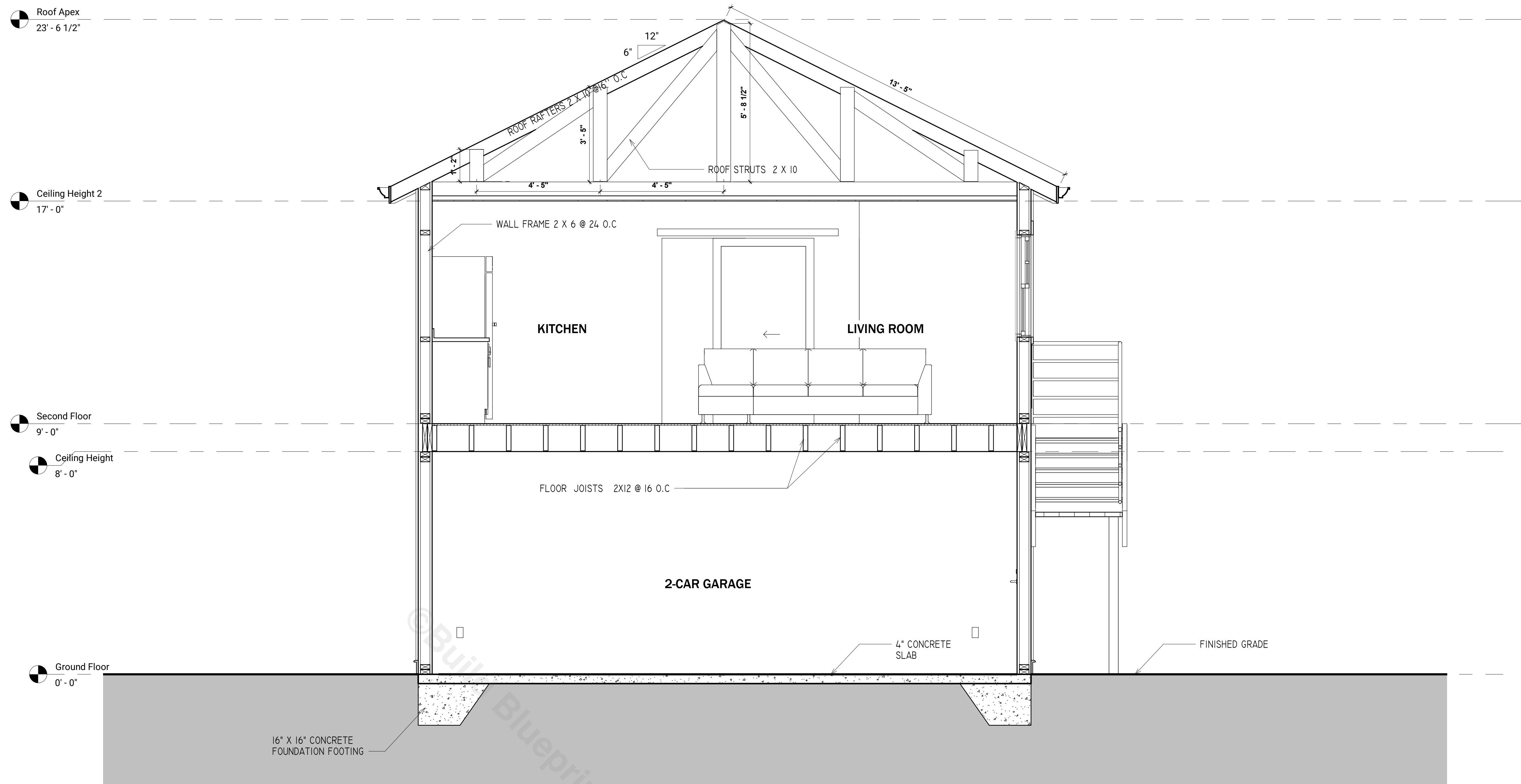
Date

Drawn by	B.B
Checked by	J.L

B-110

Sheet Number

Scale $1/2" = 1'-0"$

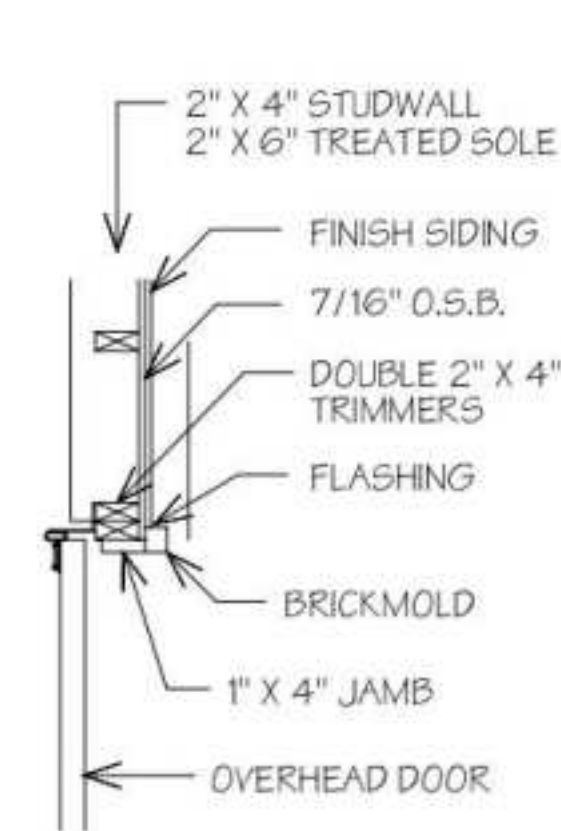


SECTION DETAIL

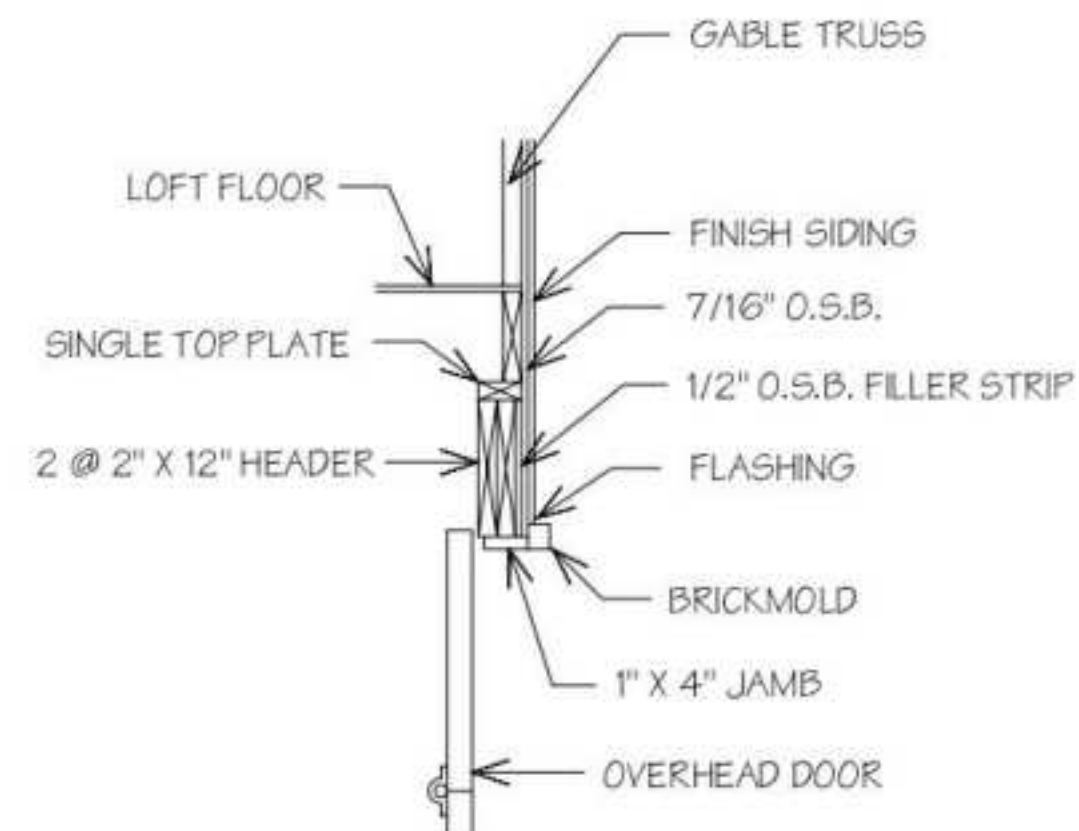
SCALE: 1/2" = 1'-0"

NOTES

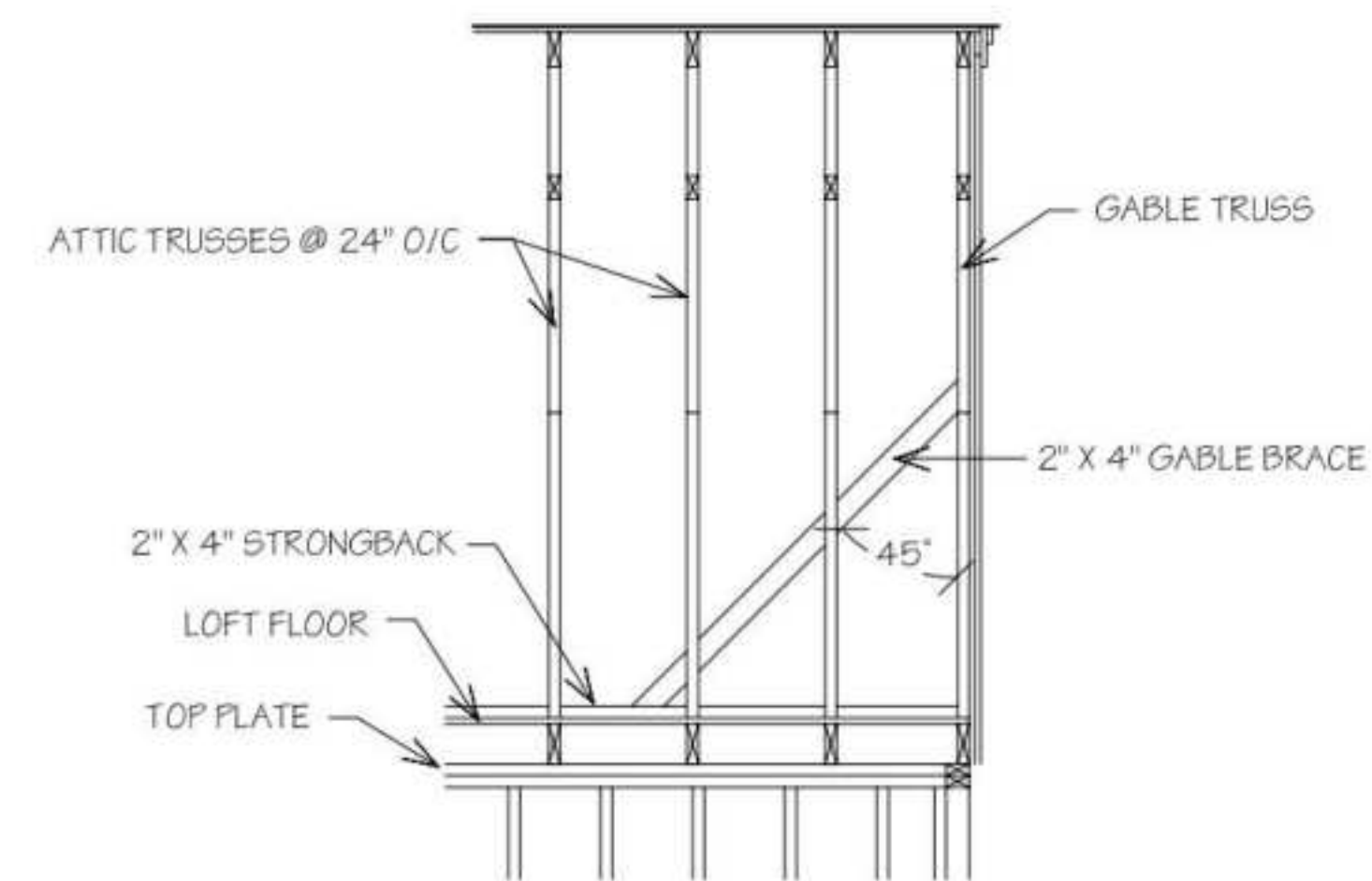
1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL, CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
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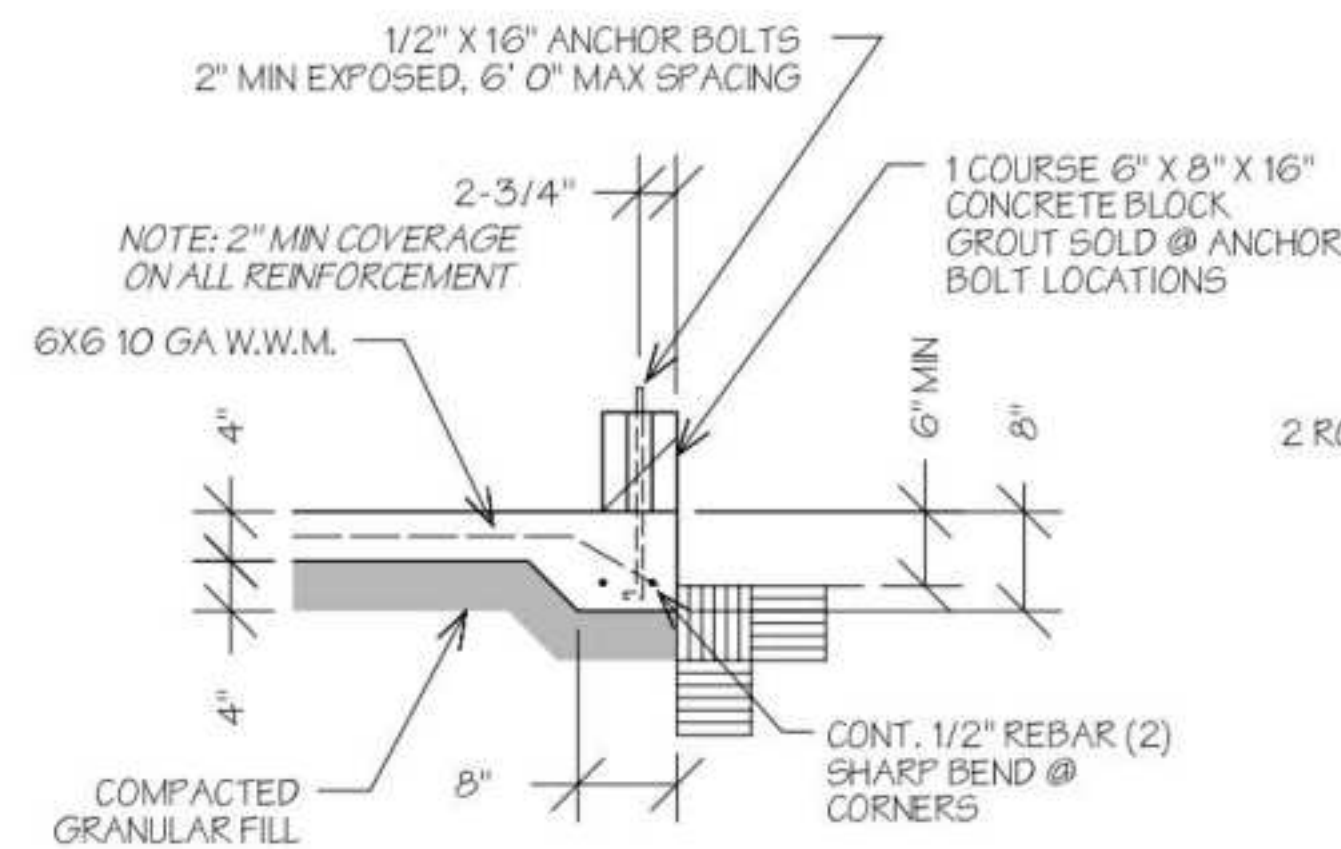
(A) SECTION THRU OHD JAMB
SCALE: 1/2" = 1' 0"



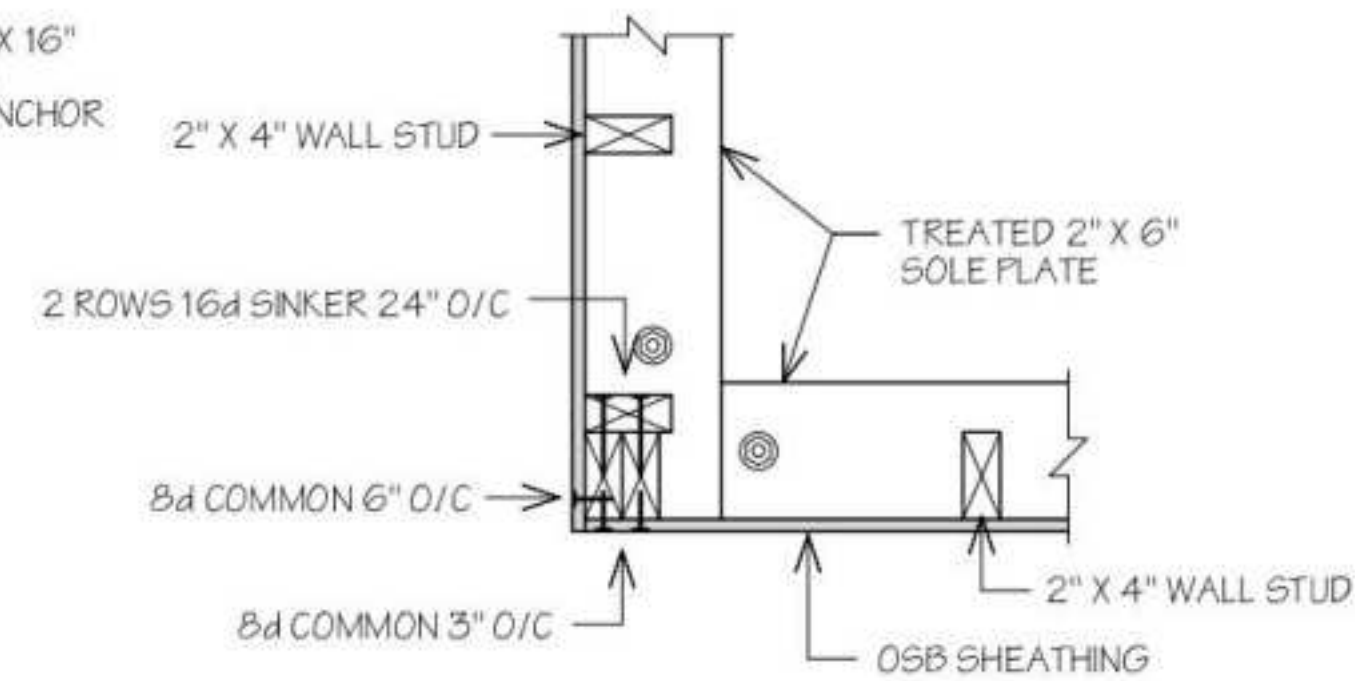
(B) SECTION THRU OHD HEADER
SCALE: 1/2" = 1' 0"



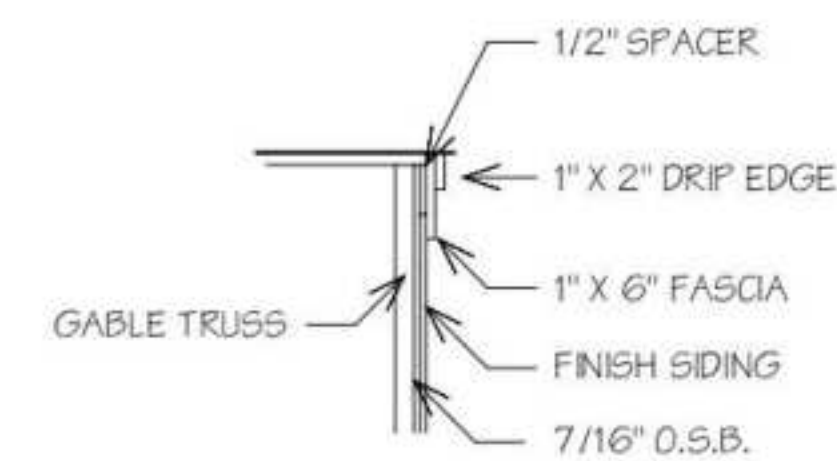
(E) GABLE BRACE DETAIL
SCALE: 1/4" = 1' 0"



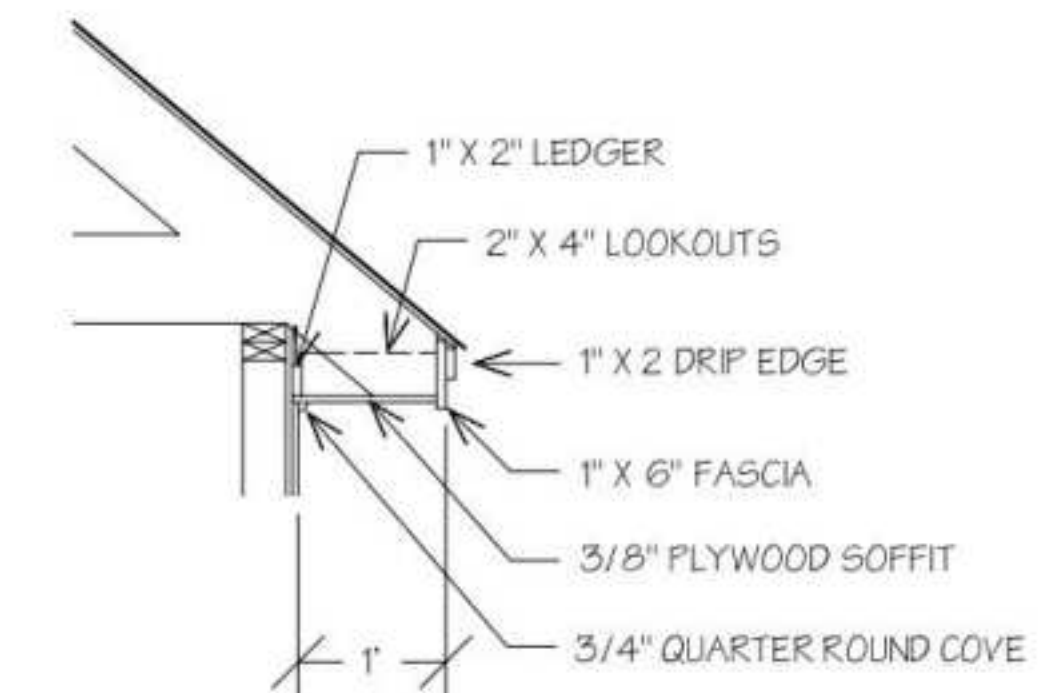
(C) SLAB EDGE DETAIL
SCALE: 1/2" = 1' 0"



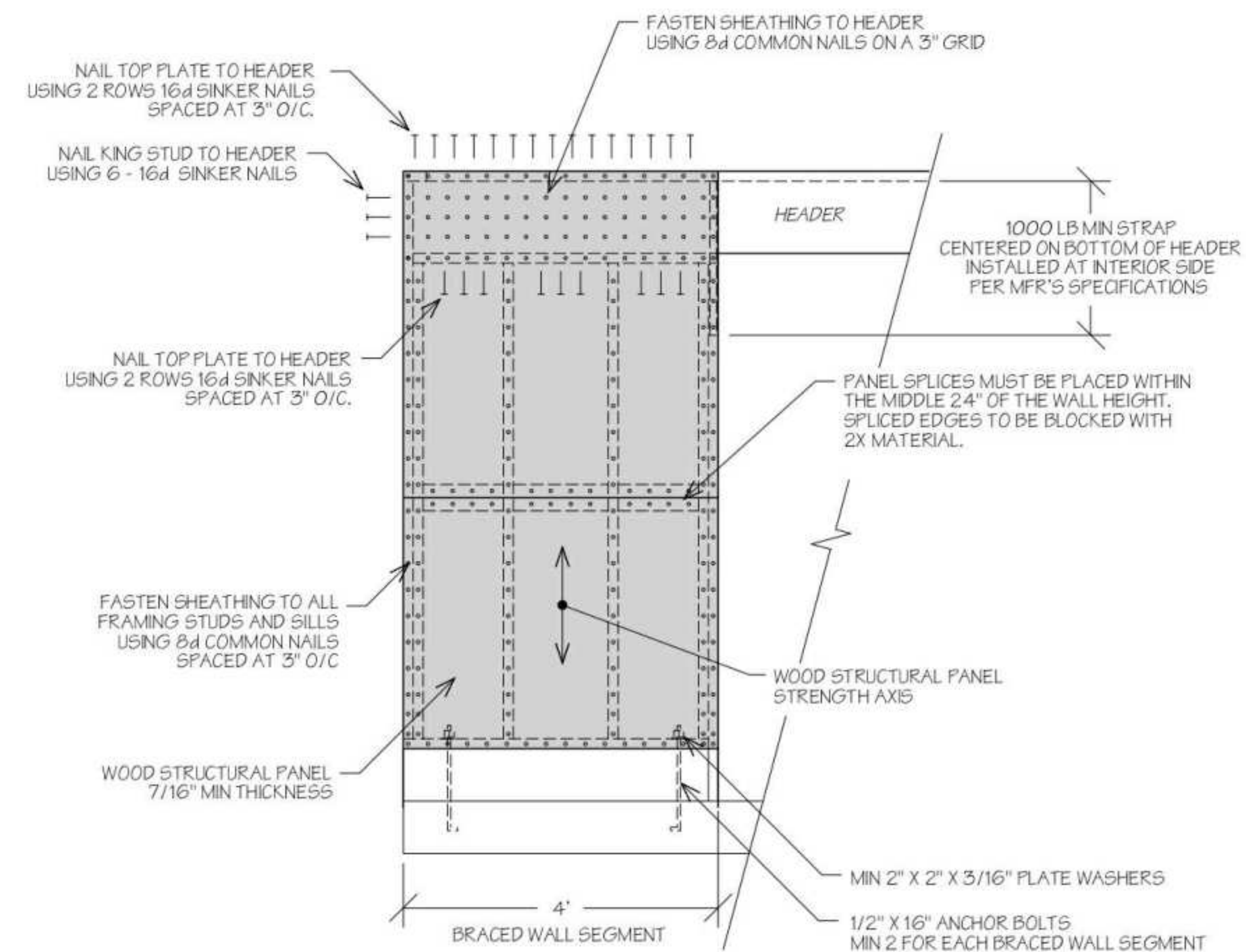
(D) CORNER FRAMING DETAIL
SCALE: 1" = 1' 0"



(F) GABLE RAKE DETAIL
SCALE: 1/2" = 1' 0"



(G) OVERHANG DETAIL
SCALE: 1/2" = 1' 0"

[illegible]

22 X 22 ADU GARAGE

DETAILS

Project number BB-GP0003

Date

Drawn by	B.B
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Checked by	J.L
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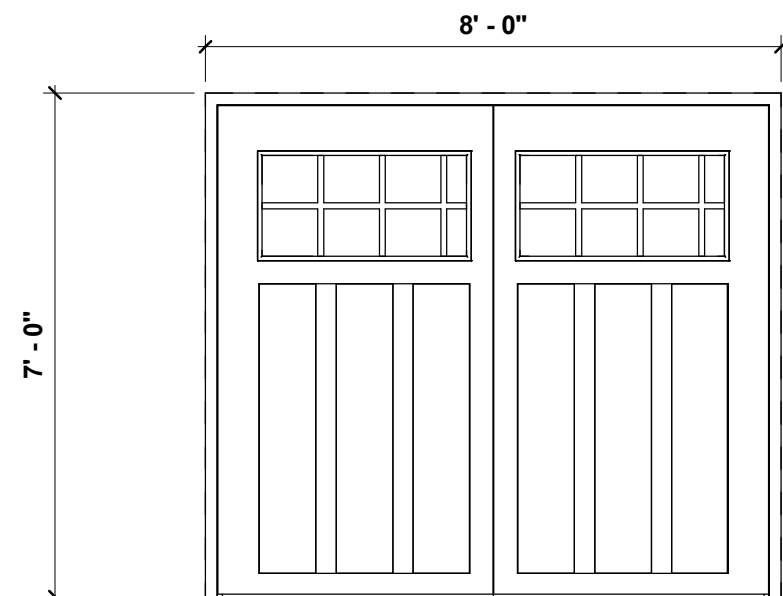
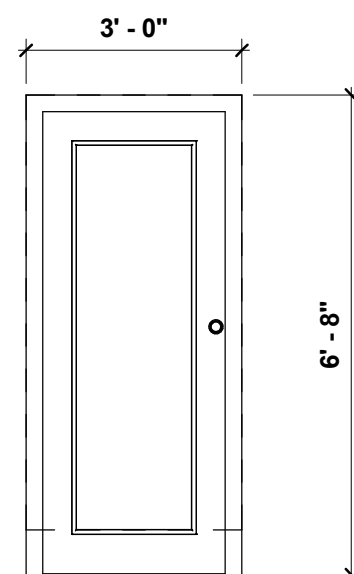
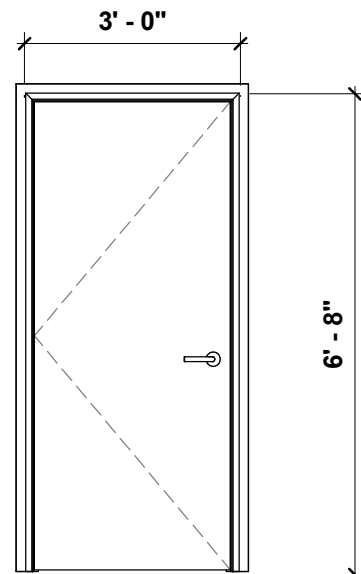
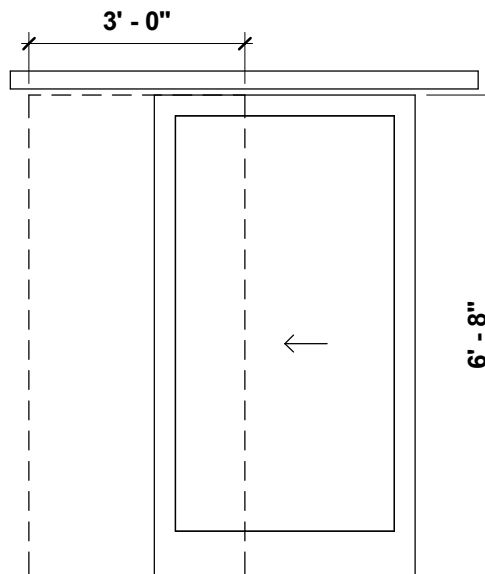
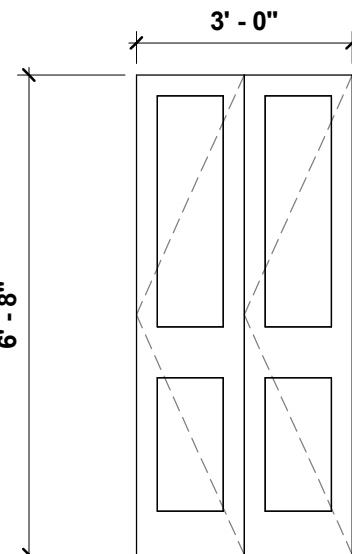
B-111

Sheet Number

Scale

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $\frac{3}{8}" = 1'-0"$
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DOOR SCHEDULE					
					
FL		SF	SF		
Mark/Tag	D1	D2	D3	D4	D5
Quantity	2	1	1	1	1
Location	Garage	Exit	Bathroom	Bedroom	Laundry
Description	Timber Sectional door External Door Paint Finished	Glass Panel door External Door Aluminium frame	Timber Panel door Internal Door Plywood Sheath Finished	Timber Barn door Internal Door Plywood Sheath Finished	Timber Bifold door Internal Door Plywood Sheath Finished

[illegible]

22 X 22 ADU GARAGE

DOOR SCHEDULES

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

C-101

Sheet Number	
Scale	3/8" = 1'-0"

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING $\frac{3}{8}" = 1'-0"$
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[illegible]

22 X 22 ADU GARAGE

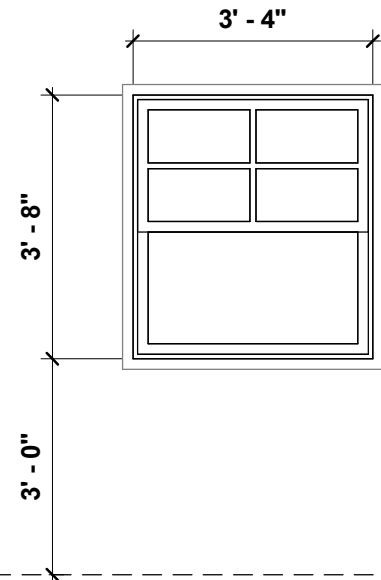
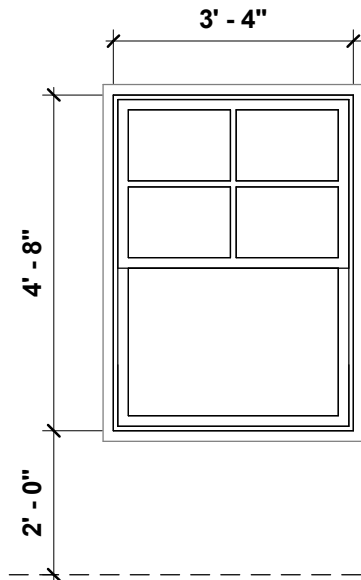
WINDOW SCHEDULE

Project number	BB-GP0003
Date	
Drawn by	B.B
Checked by	J.L

C-102

Sheet Number	
Scale	3/8" = 1'-0"

WINDOWS SCHEDULE

WINDOWS SCHEDULE					
					
SF					
Mark/Tag	W1	W2			
Quantity	4	2			
Location	Living Room Bedroom Kitchen	Living Room			
Description	Double Hung Window Double glazed Wood frame	Double Hung Window Double glazed Wood frame			

22 x 22 GARAGE				
FOUNDATION & FLOORING				
QTY	MATERIAL	SIZE	AREA	PURPOSE
34	2x12 Wood Joist @ 16" O.C	12'-0"		First Floor
15	3/4" Subfloor	4'x8'	462 SF	First Floor
15	Hardwood Flooring(F-60)	4'x8'	462 SF	First Floor
EXTERIOR WALLS				
QTY	MATERIAL	SIZE	AREA	PURPOSE
12	2x6 Top and Bottom Plate	12'-0"		Garage Floor Exterior Wall Framing
12	2x6 Top and Bottom Plate	12'-0"		Garage Floor Exterior Wall Framing
44	2x6 Wall Studs @ 24"	8'-0"		Garage Floor Exterior Wall Framing
12	2x6 Top and Bottom Plate	12'-0"		First Floor Exterior Wall Framing
12	2x6 Top and Bottom Plate	12'-0"		First Floor Exterior Wall Framing
44	2x6 Wall Studs @ 24"	8'-0"		First Floor Exterior Wall Framing
8	2x10 Water Table Board	12'-0"		Exterior Facade
-	1/2" Exterior Sheathing	-	1375 SF	Exterior Facade
104	Wood Furring	8'-0"		Exterior Facade
-	Exterior Siding	-	1375 SF	Exterior Facade
INTERIOR WALLS				
QTY	MATERIAL	SIZE	AREA	PURPOSE
22	2x4 Wall Stud @ 16"	8'-0"		Interior Wall Studs on First Floor Level
18	2x4 Plates	12'-0"		Top & Bottom Plates
CEILING AND ROOFING				
QTY	MATERIAL	SIZE	AREA	PURPOSE
34	2x10 Ceiling Joists @ 16" O.C	11'-0"		Ceiling
34	2x10 Roof Rafters @ 16" O.C	14'-0"		6/12 Pitched Roof
2	2x10 Lumber	12'-0"		Main Ridge
17	2x10 King Post @ 16" O.C	6'-0"		6/12 Pitched Roof
34	2x10 Roof Struts @ 16" O.C	7'-6"		6/12 Pitched Roof
34	2x10 Roof Struts @ 16" O.C	5'-6"		6/12 Pitched Roof
34	2x10 Roof Struts @ 16" O.C	3'-6"		6/12 Pitched Roof
34	2x10 Roof Struts @ 16" O.C	1'-0"		6/12 Pitched Roof
4	2x10 Roof Rafters @ 16" O.C	18'-0"		12/12 Pitched Roof
10	2x6 Roof Rafters @ 24" O.C	2'-0"		4/12 Pitched Roof over Garage Door
6/12 Pitched Roof				
19	Plywood Sub-roofing Boards	4'x8'	584 SF	Sub-roofing Materials
-	Underlayment	-	584 SF	Waterproofing Roofing Layer
-	Metal Decking	-	584 SF	Roofing
7	Fascia Board	10'-0"		Roofing
12/12 Roofing				
4	Plywood Sub-roofing Boards	4'x8'	99 SF	Sub-roofing Materials
-	Underlayment	-	99 SF	Waterproofing Roofing Layer
-	Metal Decking	-	99 SF	Roofing
4	Fascia Board	10'-0"		Roofing
4/12 Roofing over Garage Door				
1	Plywood Sub-roofing Boards	4'x8'	21 SF	Sub-roofing Materials
-	Underlayment	-	21 SF	Waterproofing Roofing Layer
-	Metal Decking	-	21 SF	Roofing

	2	Fascia Board	12'-0"		Roofing
EXTERIOR STAIRS					
QTY		MATERIAL	SIZE	AREA	PURPOSE
	2	2x12 Stairs Stringer	16'-0"		Exterior Stairs
	2	6x6 Wood Post under Landing	8'-0"		Exterior Stairs
	16	Stairs Tread	0'-2" x 0'-9" x 3'-4"		Exterior Stairs
	17	Stairs Riser	0'-2" x 0'-6" x 3'-4"		Exterior Stairs
	2	Railing	12'-0"		Exterior Stairs
Disclaimer: The purpose of the material list provided here is for reference only, please consult your builder or GC for an official takeoff for the construction phase. Due to various building methods and builder preferences, some materials might differ than the list provided here. It is recommended you consult your local engineer or architect before starting the building process. Build Blueprint is not responsible for any issues or damages during any building projects.					
				<div><div>build</div><div>blueprint</div></div> <div>Copyrighted @ BuildBlueprint</div>	



SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.

3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

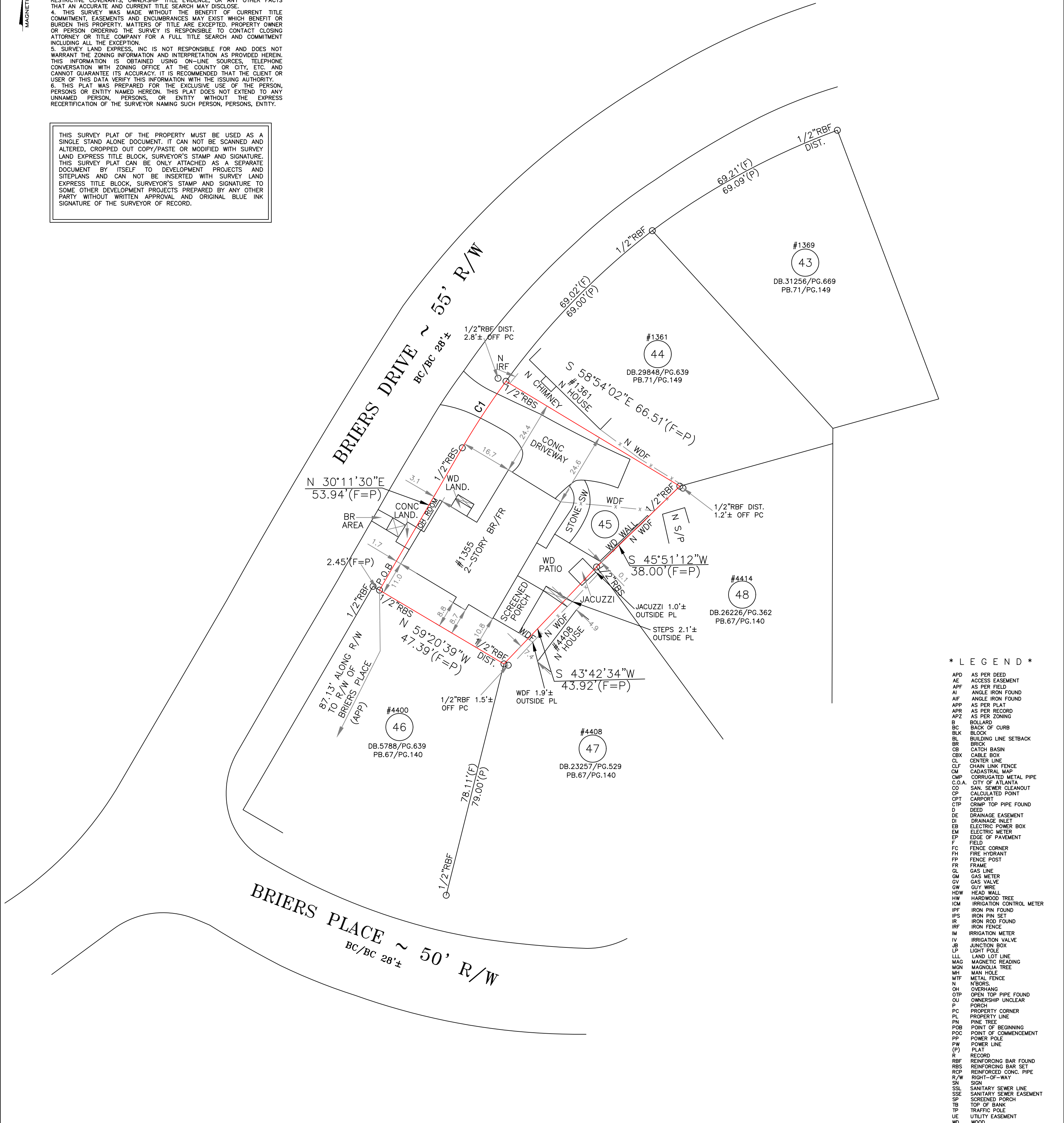
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.

5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

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THIS SURVEY PLAT OF THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

Curve	Radius	Length	Chord	Chord Bear.
C1	240.54'	26.07'	26.06'	N 33°17'46" E



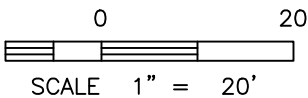
- * L E G E N D *
- APD AS PER DEED
 - AE ACCESS EASEMENT
 - APF AS PER FIELD
 - AI ANGLE IRON FOUND
 - AIF ANGLE IRON FOUND
 - APP AS PER PLAT
 - APR AS PER RECORD
 - APZ AS PER ZONING
 - B BOLLARD
 - BC BACK OF CURB
 - BLK BLOCK
 - BL BUILDING LINE SETBACK
 - BR BRICK
 - CB CATCH BASIN
 - CBX CABLE BOX
 - CL CENTER LINE
 - CLF CHAIN LINK FENCE
 - CM CADASTRAL MAP
 - CP CORRUGATED METAL PIPE
 - C.O.A. CITY OF ATLANTA
 - CO SAN. SEWER CLEANOUT
 - CP CALCULATED POINT
 - CPT CARRIORY
 - CTP CRIMP TOP PIPE FOUND
 - D DEED
 - DE DRAINAGE EASEMENT
 - DI DRAINAGE INLET
 - EB ELECTRIC POWER BOX
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - F FIELD
 - FC FENCE CORNER
 - FH FIRE HYDRANT
 - FP FENCE POST
 - FR FRAME
 - GL GAS LINE
 - GM GAS METER
 - GV GAS VALVE
 - GW GUY WIRE
 - HDW HEAD WALL
 - HW HARDWOOD TREE
 - ICM IRRIGATION CONTROL METER
 - IPF IRON PIN FOUND
 - IPS IRON PIN SET
 - IRF IRON ROD FOUND
 - IRF IRON FENCE
 - IM IRRIGATION METER
 - IV IRRIGATION VALVE
 - JB JUNCTION BOX
 - LP LIGHT POLE
 - LLL LAND LOT LINE
 - MAG MAGNETIC READING
 - MGN MAGNOLIA TREE
 - MH MAN HOLE
 - MTF METAL FENCE
 - N N'BORS.
 - OH OVERHANG
 - OTP OPEN TOP PIPE FOUND
 - OU OWNERSHIP UNCLER
 - P PORCH
 - PC PROPERTY CORNER
 - PL PROPERTY LINE
 - PN PINE TREE
 - POB POINT OF BEGINNING
 - POC POINT OF COMMENCEMENT
 - PP POWER POLE
 - PW POWER LINE
 - (P) PLAT
 - R RECORD
 - RBF REINFORCING BAR FOUND
 - RBS REINFORCING BAR SET
 - RCP REINFORCED CONC. PIPE
 - R/W RIGHT-OF-WAY
 - SN SIGN
 - SSL SANITARY SEWER LINE
 - SSE SANITARY SEWER EASEMENT
 - SP SCREENED PORCH
 - TB TOP OF BANK
 - TP TRAFFIC POLE
 - UE UTILITY EASEMENT
 - WD WOOD
 - WDF WOOD FENCE
 - WDK WOOD DECK
 - WL WATER LINE
 - WM WATER METER
 - WRF WIRE FENCE
 - WV WATER VALVE
 - WW WET WEATHER
 - YI YARD INLET
 - X-X- FENCE
 - INDICATES STAIRS
 - INDICATES BUSHES

LOT 45	PLAT PREPARED FOR:	SHEET 1 OF 1
BRIERS SUBDIVISION	UNIT THREE	
LAND LOT 122	18TH DISTRICT	
DEKALB COUNTY, GEORGIA	PB.69/PG.100 PB.71/PG.149 DB.29396/PG.113	
FIELD WORK DATE FEB 20, 2025	PRINTED/SIGNED MARCH 06, 2025	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 18" x 24"	
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.		
SP	PROPERTY ADDRESS:	
COORD #20250279	1355 BRIERS DRIVE	
DWG #20250279	STONE MOUNTAIN, GA 30083	
	24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM	
	IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.	

SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES



TOTAL LAND AREA
4555.25 SF / 0.105 AC



To Whom It May Concern,

My name is Catherine Bradford, and I owned the property at 4414 Briers Place. My neighbor, Andre Johnson, new garage is a beautiful addition to our community and his yard and will help decrease the amount of parking on our streets.

Street parking in our neighborhood is terrible and many times the sanitation department has not come to pick up our trash due to the amount of cars block their path. One year the fire department could not make it to one of the homes that was on fire and the home owner did not make it out.

Andre Johnson new garage addition is not a nuisance to our neighborhood it a new beginning to people parking in their yard and off the street.

Thank you,
Catherine Bradford
4414 Briers Place Stone Mountain Ga 30083
404-825-3194

Q

Hello Zoning Board,

Please allow my neighbors, Lesley & Andre Johnson, to continue building their detached garage.

It is my belief the addition of this structure will be an added value to our neighborhood. To illustrate, our subdivision has limited parking options for homeowners. This detached garage would help reduce street parking and provide better access to homes. This is specifically a need for our neighborhood since in the past we had issues with emergency and government services being able to access homes due to cars parking on the street.

Additionally, excess vehicle parking in the neighborhood can lure criminals and car break-ins. The detached garage can help reduced the number of automobiles on the street & possibly crime.

Please accept this letter as support for the Johnsons' detached garage. If any questions, please feel free to contact me at (504) 858-5648.

Thank you

Domonique Harris
Briers Neighbor
1337 Briers Dr, Stone Mountain, GA 30083

To whom it may concern,

I am writing this letter in support of the new garage being constructed by my neighbor Andre. As a neighbor who lives in the cul-de-sac and friend of 8 years, I am excited about the structure and hope to build one of my own in the very near future. Other neighbors have also asked about construction of their own.

As the vice president of the neighborhood association, I have spoken to many neighbors and visitors of the neighborhood who share the same sentiment as me. Our neighborhood is unique in that we have very small driveways and streets as well as homes with small garages. We have had many car break-ins and issues with street parking. Moving cars off the street is one of our main focuses in the community and we believe it will be safer if we can. Some of us have the opportunity and means to construct garages on our properties and would like to do so to help improve things in the Briers.

Andrea and Leslie have always been excellent neighbors who have supported and participated in every improvement project we have done throughout the neighborhood. They take very good care of their property and are a shining example of how many homes in the Briers should look. All neighbors I have spoken with have zero concern and are in support of not only this garage but looking into building their own.

Thank You,

Mycal Dillingham

Vice President the Briers Neighborhood

4407 Briers Place Stone Mountain Ga 30083

November 20, 2024

To Whom It May Concern:

Please know that my neighbor Andre Johnson has built a more accessible garage on his property so that he can utilize putting his truck in a secure place. It is my opinion that this addition is not a problem or unsightly for this community.

You may contact me if you need further information.

Sandra Mobley
4416 Briers Place
Stone Mountain, GA. 30038
404-416-3254

Jonathan Pascual
1395 Briers Dr
Stone Mountain, GA 30083
iamjpascual@gmail.com
(404) 909-4986

Dear Members of the Zoning Board of Appeals,

As a homeowner in The Briers Neighborhood for the past 12 years, I'm writing to share my concerns about the variance request for a two-story garage addition at 4408 Briers Place, scheduled to be reviewed at the Zoning Board of Appeals meeting on January 8, 2025.

While I understand the applicant's intentions, I believe the project raises important issues that merit careful consideration.

In the variance application, one of the primary stated justifications for the project—to improve parking—is problematic. The new structure sits on the pre-existing driveway, and effectively blocks access to the pre-existing two-car garage on the property, which could otherwise serve the stated purpose of reducing street parking.

In addition, the construction has understandably raised concerns among nearby neighbors, as it impacts privacy, may violate building distancing requirements of adjacent properties, and alters the character of the immediate area. A two-story detached structure of this scale is out of place in The Briers, and approving this variance could set a precedent for future projects that might challenge the unique look and feel of our neighborhood.

I also feel it's important to note that the homeowner appears to have initially moved forward with this substantial project without intending to adhere to county zoning rules. This raises concerns about fairness and consistency in applying the standards we should follow as residents.

I respectfully urge the Board to take these considerations into account when reviewing the variance application. Thank you for your time and attention to this matter.

Sincerely,

Jonathan Pascual

From: Mail-Customer <tigerbrown17@yahoo.com>

Sent: Tuesday, December 31, 2024 10:37 AM

To: Plansustain <plansustain@dekalbcountyga.gov>

Subject: A-241247339 / 18 122 02 085 / 4408 Briers Place - Andre Johnson

Dear Members of DeKalb Co. Zoning Board,

Hi, my name is Ed Brown and I'm writing to oppose Mr. Johnson's separate 2-story garage being constructed. My house and Mr. Johnson's house are back-to-back. Mr. Johnson already has an attached two-car garage at his residence. Mr. Johnson has one of the longest and widest driveways in the Briers neighborhood. Mr. Johnson has always parked his car and truck in his driveway.

I feel this issue is not about parking on the street in the cul-de-sac, as all houses have driveways to park their cars in. Nor is this issue about crimes being committed in the neighborhood. In the last 5 years there has only been one incident, which was caused by an unlocked car which was entered into. If this is about Mr. Johnson wanting to have more storage, there are better ways to address the situation. Perhaps a shed or extra room added to the home would be much more appropriate than having a 2-story building constructed, which itself happens to be taller than his actual residence.

When I look out the window of my 2nd floor bathroom, all I see is this large building. I have no view of any of the houses on the back cul-de-sac. When I stand at my dining room window all I see is this large yellow building, and again no view of any houses on the back cul-de-sac.

I appreciate your time and consideration taken with this matter. Please feel free to reach out with any further questions you may have.

Sincerely,

Edward L. Brown
4400 Briers Place
Stone Mountain, GA 30083
(404) 296-4233
tigerbrown17@yahoo.com

Brady Holcomb
1355 Briers Drive
Stone Mountain, GA 30083
BradyLHolcomb@gmail.com
March 19th, 2025

Dear Members of the Zoning Board of Appeals,

This letter is a revision from the original letter I submitted in December 2024 and January 2025, please disregard my previous letters and accept this one in its entirety.

I am writing to oppose the construction of a 2-story garage being built at 4408 Briers Place, Stone Mountain, GA 30083. I am the owner of the property bordering the back of 4408 Briers Place and would be heavily impacted by a variance of County Zoning Ordinance.

I'd like to bring the following concerns to the attention of the Board, given the potential of negative impact to my property and the surrounding neighborhood.

Construction Without Permit

Firstly, I'd like to inform the Board that this structure in question had already begun construction in July 2024, violating zoning and permit procedures by beginning construction without County permit and was the subject of a stop-work order issued by the County in August 2024¹ and has since been sitting incomplete. The existing construction does not appear to comply with County Zoning Ordinance, most notably setback and height requirements, as I discuss on the next page.

Incurable External Obsolescence

A local retired realtor (Ben Garrett, who has also submitted a letter of concern to the ZBA) recently gave his professional opinion that the structure will "significantly lower the potential resale value" of my property. The large scale and imposing proximity of the structure, as well as loss of light to both interior rooms and existing vegetation, is an incurable external obsolescence that has the potential to degrade the marketability of the surrounding properties, particularly as it violates privacy, blocks sightlines, and alters the open feel of the surrounding area in such a uniquely designed neighborhood. As a result, the ability for the other neighbors and I to sell our homes at their full market values could be compromised.

Regarding Setback and Building Height

At the suggestion of the ZBA during the previous meeting (February 12th, 2025), I have ordered and received a state-certified survey of my property, complete with the actual setback distances. While the survey of 4408 Briers Place used calculated points of the property corners, my survey of 1355 Briers Drive (bordering the rear) found the actual rebar corners, rendering the rear property line more accurate than the survey of 4408 Briers Place. I can provide my survey of the rear property line to the ZBA upon request.

¹ <https://epermits.dekalbcountyga.gov/record-details/#intdetails/codeenforcement/intid/1294851>

Regarding Setback and Building Height (continued)

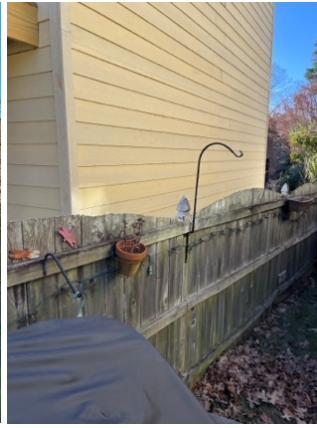
- 4408 Briers Place's representation during the previous ZBA meeting (on February 12th) claimed that the garage under construction requires a variance of 7.4 ft setback. However, my survey (again, completed with finding the actual rebar points), **proves that the current distance from the property line to the garage is actually 4.9 ft, less than 50% of the county required setback** (assuming this is a non-residential structure).²
 - If this construction will be an accessory dwelling unit, this actual distance of 4.9 ft is **less than 25% of the county required setback of 20 ft.**³
- The blueprint for the partially constructed garage does not disclose the existing attached 2-car garage, which would solve the parking issue brought up by the applicant.
- As I can provide photo evidence of, the 2-story structure is undeniably taller than the main residential building.
- Coupled with the 2nd story door towering over neighboring property, the height and proximity of this structure not only violates the privacy of neighbors, but also blocks light, kills existing vegetation, and could prevent firefighter personnel from effectively responding to the back area in the case of a fire.

² See County Code 27-4.2.2-C-3 (for accessory building setback)

https://library.municode.com/ga/dekalb_county/codes/code_of_ordinances?nodeId=CODECO_CH27ZO_AR_T4USRE_27-4.2_DIVISION_2SUUSRE_S4.2.2ACBUSTUSLOYABURE

³ See County Code 27-2.11.2 (RSM rear setback without alley for SFD)

https://library.municode.com/ga/dekalb_county/codes/code_of_ordinances?nodeId=CODECO_CH27ZO_AR_T2DIRE_27-2.11_DIVISION_11MEHIDEREZODIDIRE_S2.11.2DIRE



Top Row: the structure in question is less than 50% of the required setback distance to the rear property line

Bottom Left: view from our sunroom, entirely blocking all view and light

Bottom Middle: view from our 2nd story bedroom, entirely blocking all view and light

Bottom Right: view from our downstairs, blocking view and light

Community Voice

I have spoken with multiple neighbors, and 2 of the 3 properties bordering 4408 Briers Place oppose this construction. These are the residents who will be directly and most impacted by this garage. We are not only concerned for the potential detriment to our property value, violation of privacy, and loss of light, but also the overall look and tone of the uniquely designed neighborhood, the lifelong project of an architect in the 1970s.

Alternative and Fair Solutions

While I understand that the garage may serve as a parking location and provide a 2nd story living area, I believe the building's scale and location are neither appropriate nor fair to the surrounding neighbors. There are alternative, less intrusive solutions that would meet the same needs without infringing on the privacy and rights of neighboring property owners.

If someone is looking to create more storage, they would construct something like a shed or an additional room to the house, not an additional detached 2-story residential living space, complete with sewer line (as I have seen), bathroom, and exterior staircase for the 2nd story entrance facing neighboring property, indicating that that there's a future residential plan that goes beyond the intent of "storage" that was disclosed to the Board. This is an unnecessary structure that causes direct negative impact to the neighbors of 4408 Briers Place.

No Additional Parking Created

Lastly, this garage does not create additional parking, as 4408 Briers Place already has a fully functional 2-car garage with a wide single door, as well as ample room for parking at least 3 additional vehicles on the driveway, as I have seen there before. The garage is built over an existing portion of the driveway, repurposing existing parking space rather than creating new parking space, thus not reducing street parking as others have claimed.

I respectfully request the Board to deny the variance and require modifications to ensure that the partially-built structure, having previously received a code-violation from Dekalb County, fully complies with all zoning and setback laws (County Code 12-7.5.7⁴).

Thank you for your time and consideration. I trust that the Board's decision will be for the betterment and protection of the community, ensuring all future development in our neighborhood adheres to the rules that safeguard the character and livability of the area.

Sincerely,
Brady Holcomb
1355 Briers Drive,
Stone Mountain GA 30083

⁴https://library.municode.com/ga/dekalb_county/codes/code_of_ordinances?nodeId=CODECO_CH27ZO_AR_T7AD_27-7.5_DIVISION_5VAAPZOBOAP_S7.5.7COSTUPDE