

DeKalb County Zoning Board of Appeals

Department of Planning & Sustainability 178 Sams Street, Decatur, GA 30030

Wednesday, May 14, 2025



Cedric Hudson

Interim Director

Lorraine Cochran Johnson

Planning Department Staff Analysis

Chief Executive Officer

D4. Case No: A-25-247389 Parcel ID(s): 18 288 04 032

Commission District 01 Super District 07

Applicant: Moritz Bosselmann

4046 Wembley Forest Way

Atlanta, GA, 30340

Owner: Moritz Bosselmann

4046 Wembley Forest Way

Atlanta, GA, 30340

Project Name: 4046 Wembley Forest Way – ADU Addition to Garage

Location: 4046 Wembley Forest Way, Atlanta, GA, 30340

Request: Variance from Section 27-2.2.1. of the DeKalb County Zoning Ordinance to reduce the side-yard setback from

10' to 4', to facilitate the construction of an ADU above an existing detached garage of a single-family home

in the R-100 (Residential Medium Lot) zoning district.

Keynote(s):

Staff Recommendation: Denial.

STAFF FINDINGS:

The project involves the construction of an ADU on top of an existing detached garage located in the side-yard of the home. This addition would be placed on the existing garage to provide additional living space. As the garage is currently existing, it is considered non-conforming. The property is currently situated on a curved lot that was constructed in 1977. The property's topography may demonstrate a unique condition that would necessitate the variances to the extent requested. According to Section 27-2.2.1, the side-yard setback is 10'.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The property is a standard lot in the R-100 zoning district, where a 10' side-yard setback is required for all structures. The structure sits atop a steeply inclined driveway, which serves as the applicant's justification for the variance. However, alternative locations on the site could accommodate an ADU within the existing setback requirements. The presence of trees and grading challenges are not unique hardships, as similar conditions exist throughout the R-100 zoning district. This may not support the justification for a variance due to the distinctive topographical and physical constraints of the site.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The applicant seeks a reduction in the side-yard setback from 10' to 4', arguing that the variance is minimal since the existing garage is already within the setback. However, there may be insufficient evidence demonstrating that the proposed setbacks represent the minimum variance required to achieve reasonable use of the property. Alternative designs and/or locations may exist that would require less extensive variances.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The proposed structure has received letters of support from every neighbor directly and indirectly impacted by the variance. However, the variance may materially be detrimental to the public welfare or injurious to the property and will negatively impact future property use. Maintaining a 10' setback for an ADU may preserve privacy, reducing potential drainage and fire safety concerns. This may uphold the established developmental pattern within the neighborhood.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

A strict interpretation of the zoning ordinance may not result in an undue hardship for the applicant by limiting the effective use of their property as it pertains to the construction of the accessory structure. The existing primary structure was built in 1977. Staff finds that the applicant has reasonable use of the property without the variance, as an ADU can be built within the required setback. Given the property's topographical and orientation constraints, strictly adhering to the ordinance would not render the project unfeasible.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The variance request aligns with the spirit and purpose of the DeKalb County Comprehensive Plan, which promotes responsible development while accommodating the needs of property owners within residential neighborhoods. As the property is in the Subdivision (SUB) land use, the applicant's request would align with the goals to preserve greenspace. Supplying more livable square footage contributes to the goal of increasing housing supply within the Land Use chapter of the Comprehensive Plan.

FINAL STAFF ANALYSIS:

The application meets some of the criteria for a setback variance as outlined in the DeKalb County Zoning Ordinance Section 27.2.2.1. While the proposed reduction in setback constitutes the proposed necessary encroachment, it would significantly alter the physical infrastructure or built environment. It would also allow the structure to be closer to their neighbors than would typically be allowed under current regulations. The intent to utilize the existing structure for an addition may be a valid rationale for the setback reduction request. Therefore, staff recommends denial for the variance request.

Staff Recommendation: Denial.



Development Services Center 178 Sams Street Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director

Michael Thurmond

Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or Authorized Representative: Moritz Bosselmann
Mailing Address: 4046 Wembley Forest Way
City/State/Zip Code: Atlanta, GA 30340
Email: mbosselmann@gmail.com
Telephone Home: 404.384.6105 Business: 404.384.6105
OWNER OF RECORD OF SUBJECT PROPERTY
Owner: Moritz Bosselmann
Address (Mailing): 4046 Wembley Forest Way, Atlanta, GA 30340
Email: mbosselmann@gmail.com Telephone Home: 404.384.6105 Business: 404.384.6105
ADDRESS/LOCATION OF SUBJECT PROPERTY
Address: 4046 Wembley Forest Way City: Atlanta State: GA Zip: 3034
District(s): Land Lot(s): Block: Parcel: 18 288 04 032
Zoning Classification: R-100 Commission District & Super District: 1/7
CHECK TYPE OF HEARING REQUESTED:
X VARIANCE (From Development Standards causing undue hardship upon owners of property.)
SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW **GUIDELINES MAY RESULT IN SCHEDULING DELAYS.***

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner	r of the property subject to the application.	
DATE: 1/16/2025	Applicant	
	Signature:	
DATE:	ApplicantSignature:	

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

hereby certify that I am the owner nearing to the ZoningBoard of Appe			
DATE: 1/16/2025	Applicant/Agent Signature:	1	
TO WHOM IT MAY CONCERN:			
(I)/ (WE): Moritz Bosselm	ann		
(Name of Owners)			
being (owner/owners) of the prope signed agent/applicant.	erty described below of	or attached hereby delegate	authority to the above
Amia Namo		1	
Notary Public		Owner Signature	
Notary Public		Owner Signature	
Notary Public		Owner Signature	



Letter of Intent

Dekalb County Department of Planning & Sustainability Zoning Board of Appeals 178 Sams Street, Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

Esteemed members of the Zoning Board of Appeals,

My name is Moritz Bosselmann, and I have lived in DeKalb County for over 30 years, including the last 17 years at 4046 Wembley Forest Way, 30340. I am a designer, my wife is a schoolteacher, and we have two sons: Jonah (20) and Miles (25). Miles has autism and lives with us. However, he needs his own living space. He has developmental delays, and we have been preparing him to be more independent for many years. This context is important because the apartment we wish to build above our garage is intended for him, so that, in time, he can learn to live on his own in a separate living area with a bedroom, bathroom, and a small kitchen.

In order to build this second-story ADU (#316), we are seeking a variance (Section 27-2.2.1) to reduce the side yard setback from 10 feet to 4 feet.

1. Physical Conditions of the Site:

Our home and garage were built in 1977, long before the zoning code was established in 2015. There are many large trees on the property, and we have already removed one large pine tree between our garage and the neighboring property in order to clear space and prevent potential damage. If we were to consider building in another location, we would need to remove multiple trees, including large pines, magnolias, and sweetgum trees located directly behind the existing garage.

Additionally, there is a significant slope across most of our property (an 8-foot drop in the rear yard, and more in the front yard). As a result, there are no suitable areas to build without extensive deforestation and grading. Building on top of the garage is the least intrusive option, as it allows us to tie into the existing power and wastewater lines with minimal disruption.

2. Minimum Variance Necessary:

We are seeking the minimum variance necessary—reducing the side yard setback from 10 feet to 4 feet. This request does not expand the degree of nonconformity because we are building upward, not outward.

3. Public Welfare:

We have lived at 4046 Wembley Forest Way since 2007 and maintain friendly relationships with all of our neighbors. The property next to our garage is owned by an elderly woman, and her daughter and family live next door. We have discussed our plans to build the garage ADU with this family and all other adjacent neighbors, and they are supportive of our proposal, as evidenced by the letters we have gathered.

Furthermore, adding the second story to our garage will improve housing density, eliminating the need for our son to seek alternative housing. It will also enhance the appearance of our property. We frequently receive compliments from neighbors about how well we maintain our house and yard, and we have put considerable effort into designing this additional space to ensure it complements the neighborhood aesthetically.

4. Ordinance Hardship:

Building an apartment on top of our garage is the only feasible option that allows us to keep our adult son close by while providing the care he needs and giving him a chance to become more independent. Given the terrain of our property, there is no viable alternative to building above the garage.

5. Alignment with the Spirit of the Law:

Our area is designated as Suburban (SUB). Adding this ADU would be an example of infill development, increasing housing availability and contributing, even if modestly, to addressing the current housing shortage. At 25 years old, our son needs his own living space. Building this ADU would prevent him from having to seek housing elsewhere, which, due to his disability, is not a realistic option at this time.

I sincerely appreciate your consideration of this variance application and hope that my explanation will be sufficient for approval. I respect the important work you do to ensure safe and compliant building in DeKalb County.

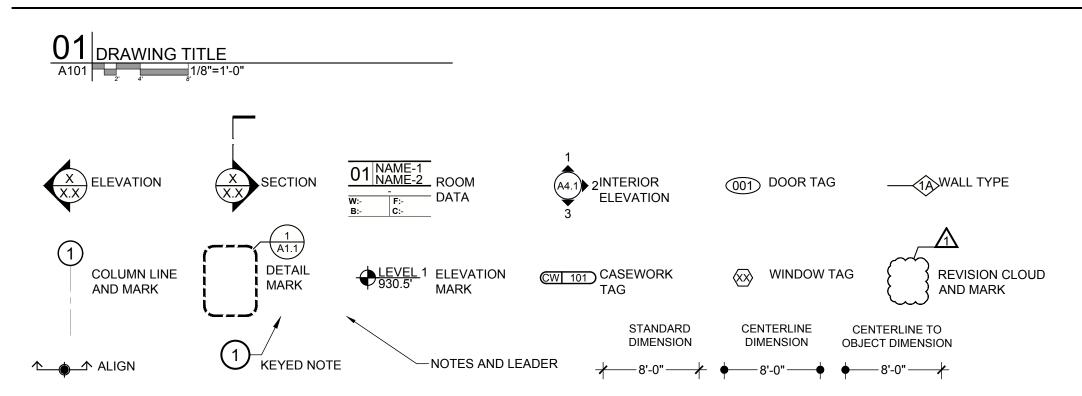
Thank you for your time and attention.

Sincerely, Moritz Bosselmann 4046 Wembley Forest Way, 30340 404.384.6105

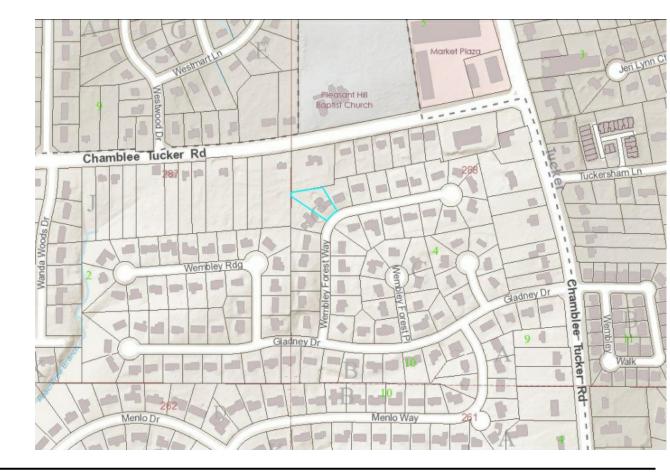
MILES PLACE 2ND STORY ADDITION

4046 Wembley Forest Way, Atlanta, GA 30340 CONSTRUCTION DOCUMENTS

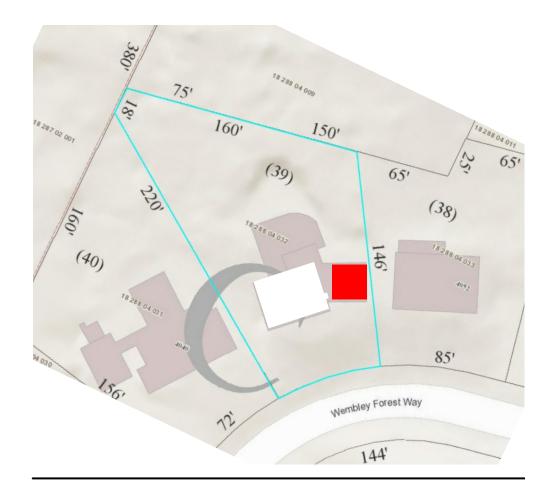
SYMBOL LEGEND



VICINITY PLAN (NOT TO SCALE).



PROJECT INFORMATION



GENERAL SPECIFICATIONS & NOTES

DIVISION 01 - GENERAL REQUIREMENTS

GENERAL NOTES AND WORK REQUIREMENTS

- THE DRAWINGS ILLUSTRATE GENERAL WORK/SCOPE REQUIREMENTS AND DO NOT ELABORATE ON INSTALLATION TECHNIQUES. ALL WORK SHALL MEET OR EXCEED REQUIREMENTS.
- DRAWINGS SHOW DESIGN INTENT FOR CONSTRUCTION ONLY, AND DO NOT SHOW EVERY CONDITION OR ASPECT OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONDITIONS IN THE FIELD WHICH ARE DIFFERENT THAN THOSE INDICATED IN THE DRAWINGS
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED CRITICAL. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD-VERIFY CONSTRUCTION TOLERANCES AND TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THE WORK ON THIS PROJECT. ANY CONDITIONS ENCOUNTERED THAT ARE DIFFERENT THAN THOSE INDICATED IN THE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK IS DONE.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CHANGES MADE OR AUTHORIZED BY THE OWNER, OR OWNER'S REPRESENTATIVE WITHOUT WRITTEN CONSENT OF THE ARCHITECT OR CONSULTANT.
- COORDINATE WORK OF TRADES WITH EACH OTHER. NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. THE CONTRACTOR SHALL SECURE ALL REQUIRED BUILDING PERMITS AND INSPECTIONS FOR THE EXECUTION, COMPLETION, AND OCCUPATION OF THE PROJECT. THE CONTRACTOR SHALL APPLY FOR AND SECURE THESE PERMITS WITHOUT DELAY, SO THAT THE PROJECT MAY COMMENCE AS SOON AS POSSIBLE FOLLOWING THE EXECUTION OF THE CONTRACT.
- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL SCHEDULE A MEETING BETWEEN CONTRACTOR, OWNER AND ARCHITECT, TO DISCUSS COMPLETE
- SCOPE OF WORK, SCHEDULE, PROCEDURES, AND COORDINATION. CONTRACTOR IS RESPONSIBLE FOR LEGAL MEANS OF DISPOSING OF DEBRIS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE FIRE EXTINGUISHERS AND OTHER NECESSARY FIRE PROTECTION METHODS THROUGHOUT THE DURATION OF DEMOLITION AND NEW CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REGULATIONS IN THE EXECUTION OF THE WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING, SHORING, AND FITTING NECESSARY TO ACHIEVE THE SCOPE OF WORK.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN, SECURE, AND SAFE JOB SITE AT ALL TIMES. PROTECT FINISHED FLOORS, STAIRS, ROOFS, DECKS, AND OTHER SURFACES FROM TRAFFIC, DIRT, WEAR AND DAMAGE WITH DURABLE SHEET MATERIALS. CONDUCT A FINAL COMPREHENSIVE CLEANING OF THE BUILDING AND STRUCTURE PRIOR TO SUBSTANTIAL COMPLETION AND OCCUPANCY BY THE OWNER.
- ALL WALLS, CEILINGS AND OTHER ASSEMBLIES ARE TO BE PLUMB, TRUE, AND SQUARE, UNLESS OTHERWISE SHOWN ON DRAWINGS. ALL WORK TO BE DONE IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS.
- THE CONTRACTOR SHALL PROVIDE A WARRANTY FOR CORRECTION OF WORK FOR THE PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK ON THIS PROJECT.
- ALL MATERIALS, HARDWARE AND FIXTURES WILL BE U.L. LISTED
- ALL INTERIOR FINISHES, MATERIALS, AND FURNISHINGS SHALL MEET SMOKE AND FIRE RATING REQUIREMENTS OF STATE AND LOCAL CODES, AS WELL AS THE INTERNATIONAL BUILDING CODE.
- ALL FLOOR AND WALL PENETRATIONS IN RATED ASSEMBLIES SHALL BE
 SEALED WITH APPROVED AND CURRENT FIRESTOP ASSEMBLIES.

MECHANICAL, ELECTRICAL, PLUMBING

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL WORK WITH THE ARCHITECTURAL DRAWINGS. DISCREPANCIES IN THE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION BEFORE WORK IS DONE.
- COORDINATE SPACE REQUIREMENTS, INSTALLATION, AND SUPPORTS OF MECHANICAL, ELECTRICAL, AND PLUMBING WORK WHICH ARE INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. FOLLOW ROUTING SHOWN FOR PIPES, DUCTS, AND CONDUIT, AS

- CLOSELY AS PRACTICABLE; PLACE RUNS PARALLEL WITH LINES OF BUILDING. UTILIZE SPACES EFFICIENTLY. IN FINISHED AREAS CONCEAL PIPES, DUCTS, AND WIRING WITHIN THE CONSTRUCTION. COORDINATE LOCATIONS OF FIXTURES AND OUTLETS WITH FINISH ELEMENTS, EXCEPT AS OTHERWISE INDICATED.
- MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE IS GENERALLY SHOWN IN THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PERMIT DRAWINGS AND OBTAINING ALL MEP PERMITS. COORDINATE EXACT LOCATIONS OF DEVICES AND LIGHT FIXTURES WITH OWNER IN FIELD.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL PLUMBING AND ELECTRICAL REQUIREMENTS RELATED TO THE EQUIPMENT AND APPLIANCES IN THE SCOPE OF WORK

COORDINATION WITH AUTHORITIES AND UTILITY COMPANIES: THE CONTRACTOR SHALL COORDINATE WITH ALL NECESSARY STATE AND LOCAL AUTHORITIES AND COMPANIES PRIOR TO COMMENCING ANY UTILITY WORK. UTMOST CARE MUST BE TAKEN TO AVOID DISRUPTION OR DAMAGE TO UTILITIES DURING THE WORK. OWNER IS NOT RESPONSIBLE FOR UNFORESEEN DAMAGES TO UNDERGROUND UTILITIES WHERE CONTRACTOR HAS NOT TAKEN ALL NECESSARY PRECAUTIONS, NOTIFICATIONS, AND SURVEYING IN ORDER TO LOCATE AND PROPERLY COORDINATE WITH UTILITIES.

TEMPORARY UTILITIES

PERMANENT UTILITY SERVICES SHALL BE INITIATED BY THE CONTRACTOR, COORDINATED WITH THE OWNER, AND PLACED IN THE NAME OF THE OWNER. THE OWNER WILL PAY FOR ALL UTILITY SERVICES LISTED BELOW REQUIRED TO UNDERTAKE AND COMPLETE THE WORK: NATURAL GAS, ELECTRIC SERVICE, WATER, CABLE, TELEPHONE / DATA, THE OWNER SHALL NOT BE RESPONSIBLE FOR TASK-SPECIFIC UTILITY OR ENERGY SERVICES REQUIRED TO COMPLETE THE WORK THAT ARE ABOVE AND BEYOND THOSE COSTS LISTED IN THE CONTROL ESTIMATE AND CONTRACT SUM, INCLUDING BUT NOT LIMITED TO: SPECIALIZED FUELS AND GASES, TEMPORARY GENERATORS, TEMPORARY HEATER.

ALTERNATES AND SUBSTITUTIONS

ALTERNATIVES TO THE WORK MAY BE REQUESTED BY THE ARCHITECT ONLY AS PART OF THE CONTROL ESTIMATE PROCESS. THE OWNER MAY ELECT TO MODIFY THE CONTROL ESTIMATE PRIOR TO THE SIGNING OF THE CONTRACT, BY INCORPORATING SAID ALTERNATIVES. ONCE ELECTED, THE ALTERNATIVES BECOME PART OF THE CONTRACT DOCUMENTS AND THE CONTRACT SUM.

THE CONTRACTOR MAY PROPOSE SUBSTITUTIONS TO THE WORK DURING THE PROCESS OF THE CONTROL ESTIMATE OR DURING THE COURSE OF THE WORK. A REQUEST FOR SUBSTITUTION CONSTITUTES A REPRESENTATION THAT THE SUBMITTER:

- HAS INVESTIGATED PROPOSED PRODUCT AND DETERMINED THAT IT MEETS OR EXCEEDS THE QUALITY LEVEL OF THE SPECIFIED PRODUCT - WILL PROVIDE THE SAME WARRANTY FOR THE SUBSTITUTION AS FOR THE SPECIFIED
- WILL COORDINATE INSTALLATION AND MAKE CHANGES TO OTHER WORK WHICH MAY BE REQUIRED FOR THE WORK TO BE COMPLETE WITH NO ADDITIONAL COST TO
- WAIVES CLAIMS FOR ADDITIONAL COSTS OR TIME EXTENSION WHICH MAY SUBSEQUENTLY BECOME APPARENT.
- WILL REIMBURSE OWNER AND ARCHITECT FOR REVIEW OR REDESIGN SERVICES ASSOCIATED WITH RE-APPROVAL BY AUTHORITIES. - WILL ADJUST THE CONTROL ESTIMATE AND / OR CONTRACT SUM TO REFLECT THE
- ADDITIONAL SAVINGS OR COSTS REALIZED BY THE USE OF THE SUBSTITUTION. ANY CHANGE TO THE COST OF THE WORK (POSITIVE OR NEGATIVE) SHALL BE STATED AS

WHETHER FOR THE SUBSTITUTED ITEM ITSELF OR ANY RELATED PARTS OF THE WORK.

PART OF THE SUBSTITUTION REQUEST, UNLESS THERE IS TO BE NO COST IMPACT

DOCUMENTATION OF THE WORK - CONTRACTOR SHALL TAKE A MINIMUM OF (20) DIGITAL PHOTOGRAPHS PER WEEK TO DOCUMENT THE CONSTRUCTION. PHOTOGRAPHS MUST FOCUS ON APPROPRIATE AREAS OF WORK AND MUST DOCUMENT CONDITIONS BEFORE THEY ARE CONCEALED BY SUBSEQUENT CONSTRUCTION. PHOTOGRAPHS ARE TO BE SHARED WITH ARCHITECT AND OWNER AT REQUEST.

GENERAL DRAWING NOTES:

1. DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO FACE OF FRAMING.

ADIMENSION FROM FINISH MATERIAL TO FINISH MATERIAL

⟨B⟩DIMENSION FROM FINISH MATERIAL TO FACE OF FRAMING

CDIMENSION FROM FINISH MATERIAL TO CENTERLINE OF DOOR OR ASSEMBLY

2. TYPICAL DOOR LOCATION DIMENSION: ★ INSIDE FACE OF FRAM

3. WALL HATCHES:

NEW WALL CONSTRUCTION; SEE WALL TYPES EXISTING WALL CONSTRUCTION

4. FURNITURE IS SHOWN FOR REFERENCE ONLY, AND IS PROVIDED & INSTALLED 5. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL FOUNDATION, SLAB, AND

FOOTING INFORMATION. 6. DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTERLINE OF OPENING, UNLESS NOTED OTHERWISE.

DIVISION 02 - EXISTING CONDITIONS

PRIOR TO DEMOLITION, THE CONTRACTOR SHALL EXAMINE THE VARIOUS DRAWINGS, VISIT THE SITE, DETERMINE THE EXTENT OF THE WORK, THE EXTENT OF WORK AFFECTED THEREIN, AND ALL CONDITIONS UNDER WHICH HE IS REQUIRED TO PERFORM THE VARIOUS OPERATIONS.

PRIOR TO DEMOLITION, THE CONTRACTOR SHALL OBTAIN WRITTEN VERIFICATION FROM THE UTILITY OWNER(S) THAT THE EXISTING UTILITIES, INCLUDING STORMWATER, WASTEWATER, AND/OR WATER FACILITIES, ARE NOT OPERATIONAL AND ARE READY FOR DEMOLITION.

DEMOLITION GENERALLY INCLUDES:

- COMPLETE DEMOLITION AND REMOVAL OF MANHOLES, VALVE VAULTS, WETWELLS, PIPING, AND MECHANICAL AND ELECTRICAL EQUIPMENT RELATED TO THE WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- COMPLETE DEMOLITION AND REMOVAL OF ALL ABOVE AND BELOW GROUND STRUCTURES, CONCRETE SLABS AND FOUNDATIONS, VAULTS, AND UNDERGROUND UTILITIES (WATER, WASTEWATER, ELECTRICAL, ETC.) AS SHOWN
- · ALL MATERIAL, EQUIPMENT, RUBBLE, DEBRIS, AND OTHER PRODUCTS OF THE DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR HIS DISPOSAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS AND ORDINANCES AT THE CONTRACTOR'S EXPENSE. THE SALE OF SALVAGEABLE MATERIALS BY THE CONTRACTOR SHALL ONLY BE CONDUCTED OFF-SITE. THE SALE OF REMOVED ITEMS ON THE SITE IS PROHIBITED BY THE COUNTY.

DURING DEMOLITION, PROTECT AREAS NOT SCHEDULED FOR DEMOLITION. CUT SQUARE AND PLUMB AT TRANSITIONS FROM AREAS OF DEMOLITION TO AREAS TO BE KEPT. REMOVE ALL DEMOLISHED MATERIAL FROM PROPERTY TO LICENSED TRASH DISPOSAL FACILITY.

REFER TO DEMOLITION PLAN FOR FURTHER INSTRUCTIONS.

ON THE DRAWINGS AND SPECIFIED HEREIN.

Scope of Work:

The work consists of the demolition and removal of the roof and roof structure on the existing detached garage, and the addition of a ~450 sq.ft. second story to serve as an efficiency dwelling space including full bath, kitchenette, and bedroom. The dwelling will be accessed by a new set of external stairs, and will have additional fire egress through egress-sized

Dwelling space electrical service to be from a 60amp sub-panel connected to main residence feed.

Dwelling space to be conditioned by a 1 Ton/12,000 BTU ductless mini-split heat pump.

Vaulted ceiling to be framed with 2x10, and insulated to R30.

No trees to be affected or removed.

APPLICABLE CODES

International Residential Code, 2012 Edition, with GA Amendments (2015)

IECC 2009. with GA Amendment

All work within current setbacks, no variance required.

ZONING: R-3, R100 Unincorporated Dekalb County

Q

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PRINT REC	ORD	
No.DATE	ESCR	IPTION
Drawn By		Checked By
Date 03/29/2022	J	ob No.

WEMBLEY FORE ANTA, GA 30340

COVER SHEET

Sheet No.

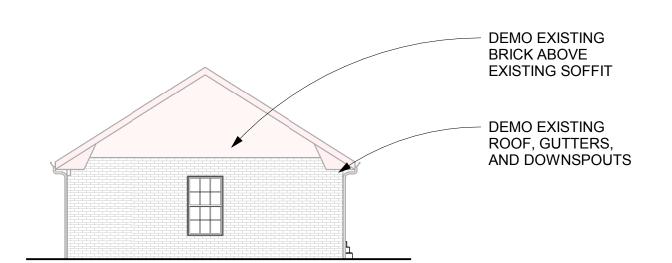
Sheet Title

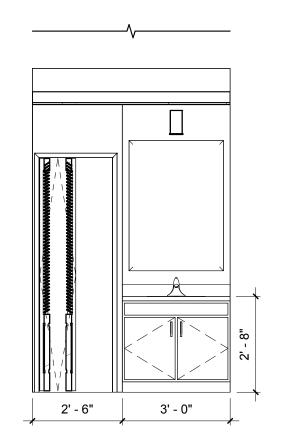
	DOOR SCHEDULE												
NO.	WIDTH	HEIGHT	MATERIAL	COUNT	NOTES								
E01	3' - 0"	7' - 0"	ALUM	1	EXTERIOR DOOR								
I01	3' - 0"	7' - 0"	WOOD	1	INTERIOR CASED OPENING								
102	2' - 6"	7' - 0"	WOOD	1	INTERIOR POCKET DOOR								
103	5' - 0"	7' - 0"	WOOD	1	INTERIOR 4 PANEL BIFOLD DOOR								
104	2' - 0"	6' - 6"	WOOD	1	INTERIOR 2 PANEL BIFOLD DOOR								

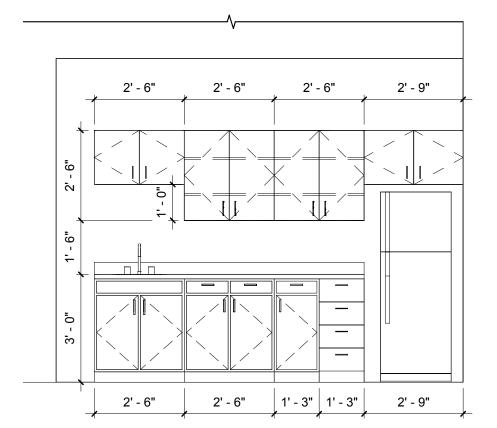
WINDOW SCHEDULE											
TYPE WIDTH HEIGHT COUNT FRAME COMMENTS											
W01	3' - 0"	5' - 0"	3	WOOD							
W02	3' - 0"	2' - 6"	5	WOOD							
W03	5' - 6 1/2"	5' - 6 1/2"	1	WOOD	CUSTOM ROUND WINDOW						

FLOOR PLAN GENERAL NOTES
1. ALL DOOR FRAMES IN STUD WALLS SHALL BE SET 4" FRO PERPENDICULAR WALLS ADJACENT TO DOOR HINGE SIDE, U 2. THE FINISH ELEVATIONS OF EXIT LANDINGS SHALL NOT EX
MAXIMUM OF 1/2" BFI OW THRESHOI DS

ALLS SHALL BE SET 4" FROM NT TO DOOR HINGE SIDE, U.N.O. IT LANDINGS SHALL NOT EXCEED A

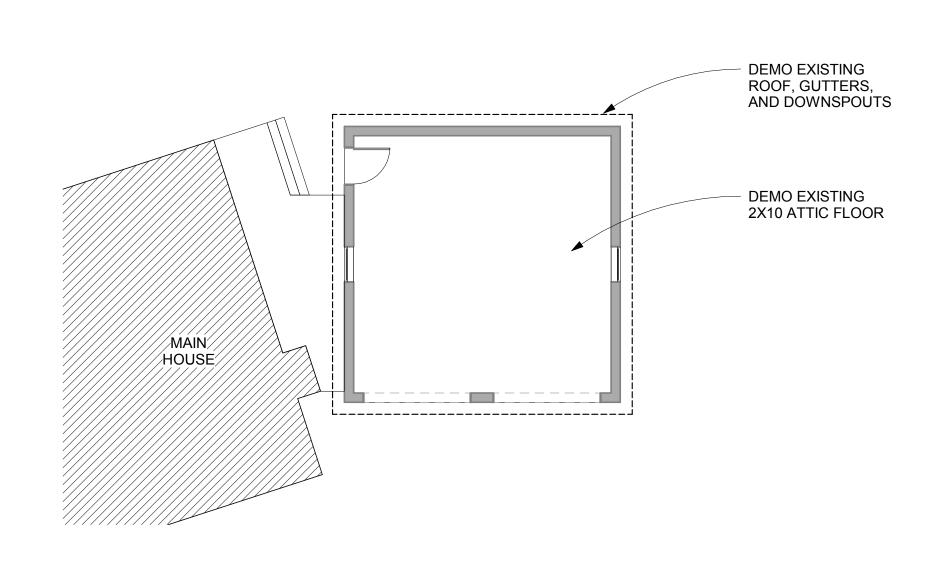


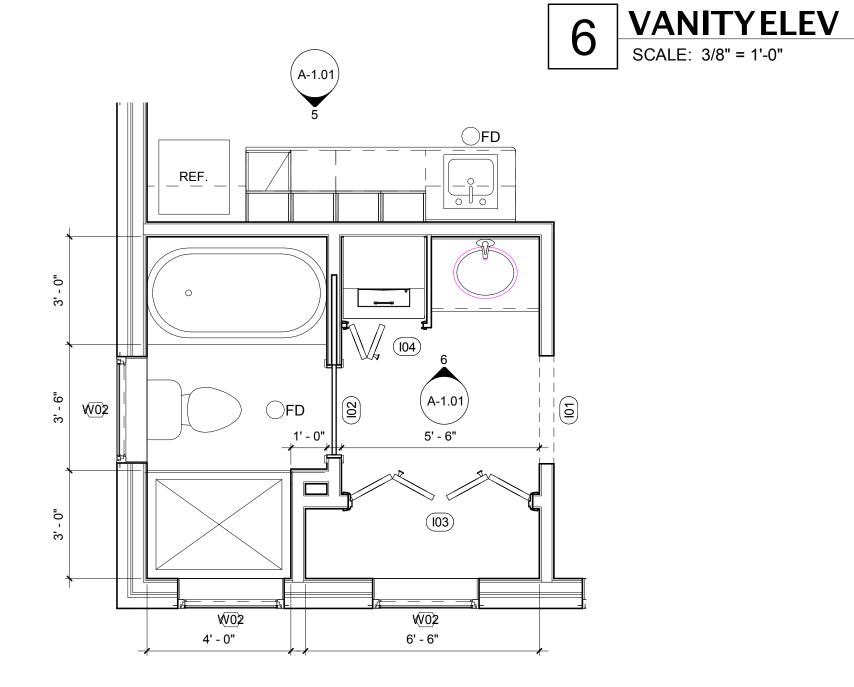


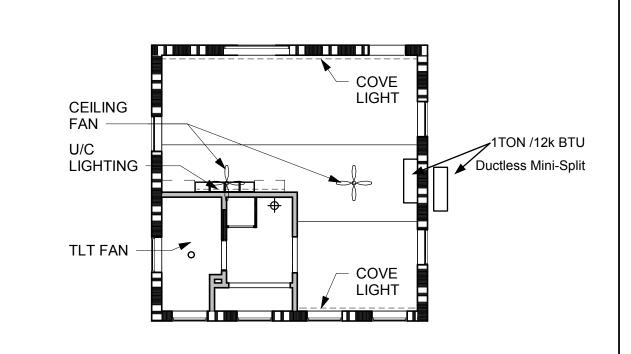


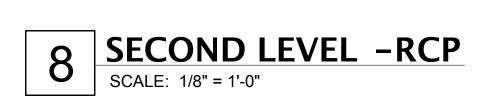


9 DEMO ELEVATION SCALE: 1/8" = 1'-0"

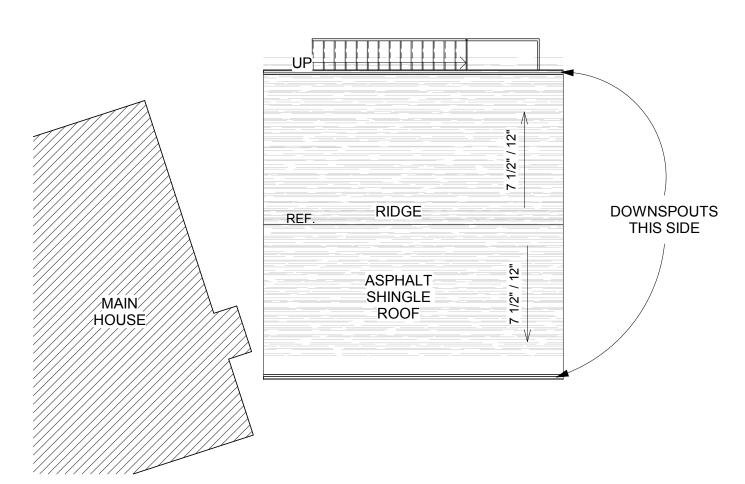


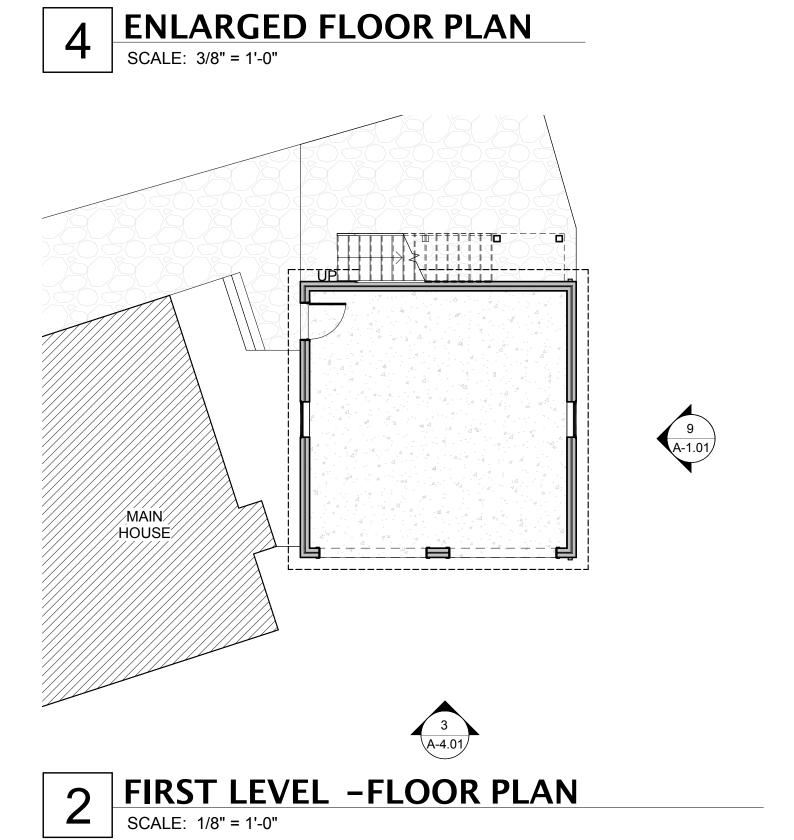




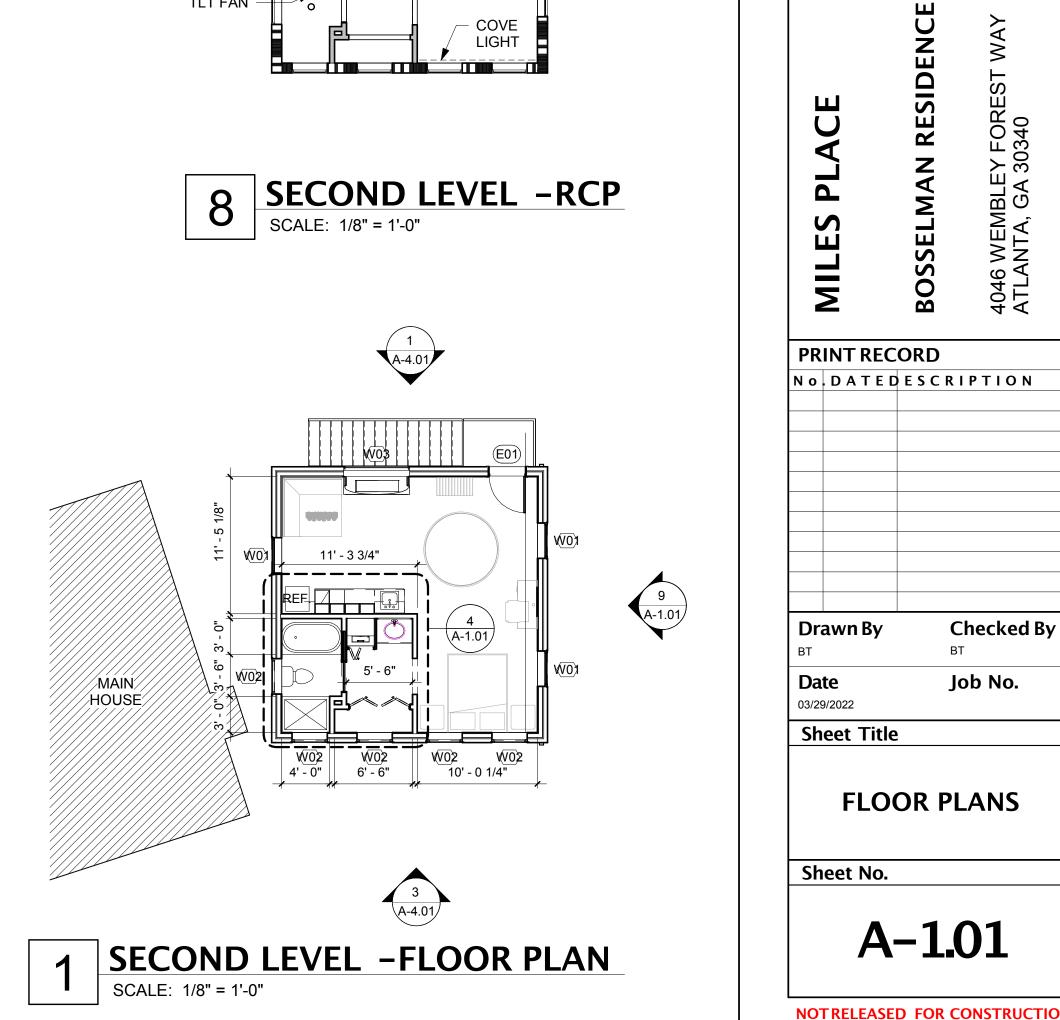


DEMO PLANSCALE: 1/8" = 1'-0"

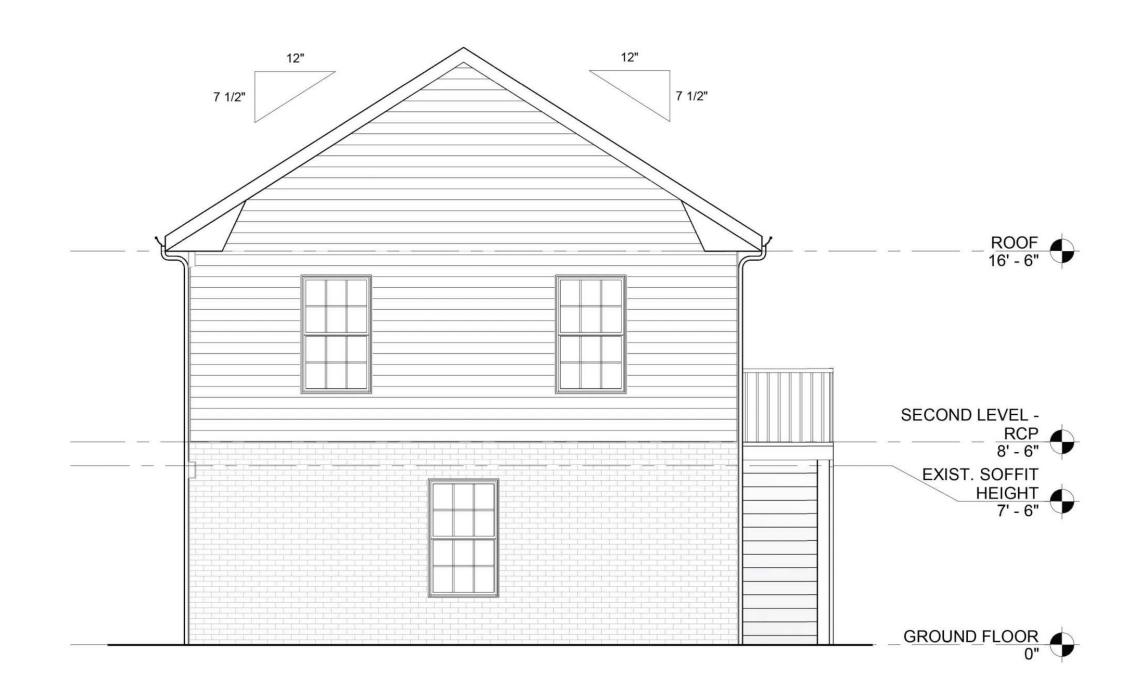








NOTRELEASED FOR CONSTRUCTION

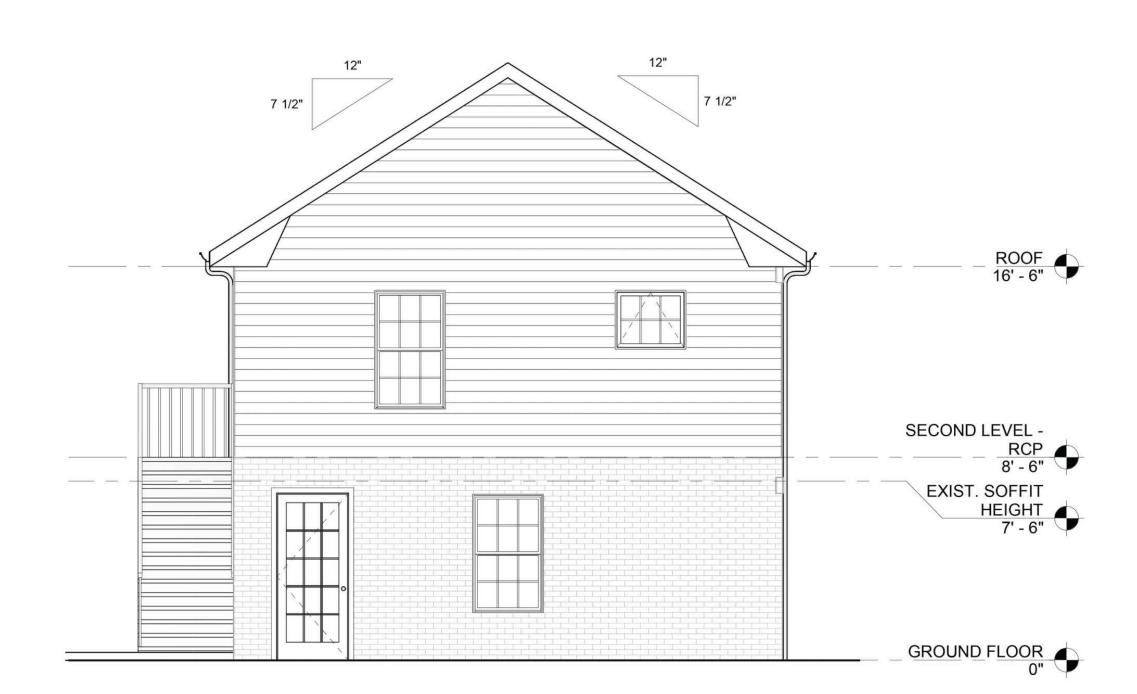


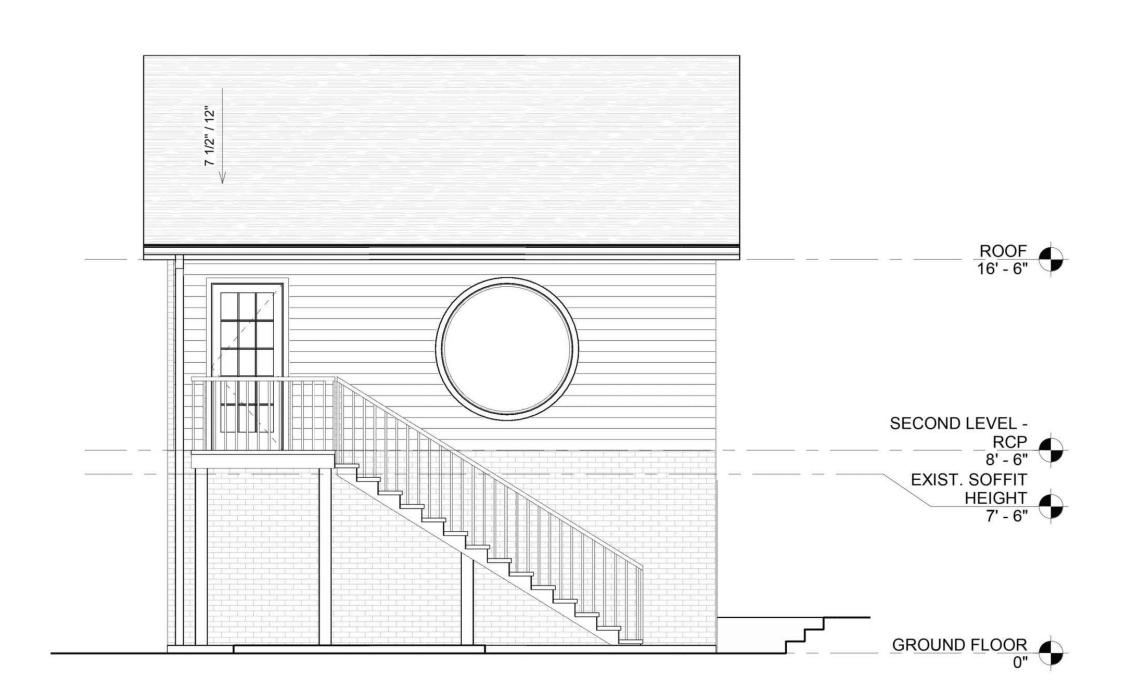


4 EAST ELEVATION

SCALE: 1/4" = 1'-0"

3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"





2 WEST ELEVATION

SCALE: 1/4" = 1'-0"

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

MILES PLACE

BOSSELMAN RESIDENCE

Drawn By

MG

Doste

10/29/2024

Sheet Title

EXTERIOR

ELEVATIONS

Sheet No.

A-2.01

BOSSELMAN RESIDENCE PRINT RECORD Drawn By Date 03/29/2022 Sheet Title

4046 WEMBLEY FOREST WAY ATLANTA, GA 30340 No.DATEDESCRIPTION **Checked By** Job No. **BUILDING SECTIONS** Sheet No. A-5.01

NOTRELEASED FOR CONSTRUCTION

WITH TYPE 'X' GWB STC: 32, 45 WITH SOUND BATTS /

DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON EACH SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS. **VARIABLE DESIGNATIONS:**

UL BASIS: U305, U407 1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB RATING: 30 MINUTES, 1 HOUR

1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT, PROVIDE SOUND BATTS/INSULATION

UL BASIS: RATING: N/A

INSULATION

DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS. **VARIABLE DESIGNATIONS:**

1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT, PROVIDE SOUND BATTS/INSULATION

UL BASIS: U305, U407 RATING: 30 MINUTES, 1 HOUR WITH TYPE 'X' GWB STC: 32, 45 WITH SOUND BATTS /

INSULATION

4

UL BASIS: U305, U407 RATING: 30 MINUTES, 1 HOUR WITH TYPE 'X' GWB STC: 32, 45 WITH SOUND BATTS / INSULATION

RECEIVE THINSET GROUT AND WALL TILE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS. **VARIABLE DESIGNATIONS:** 1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB

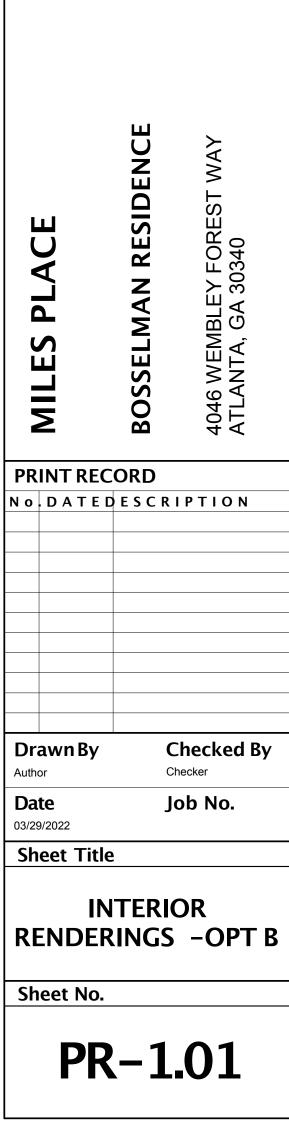
DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE, CEMENT BOARD ON THE OTHER, TO

1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT, PROVIDE SOUND BATTS/INSULATION

DESCRIPTION: 2X6 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON EACH SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS. **VARIABLE DESIGNATIONS:**

1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB 1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT, PROVIDE SOUND BATTS/INSULATION

Foundation / Wall cross section detail Cement Board - 2nd floor 14" I-Joist 16" OC TYP 1/2" sheething with house wrap TYP Brick face – ground floor (existing) 4" concrete slab on grade (existing) 12" monolithic foundation (existing)



/ One 8d nail Top Flange or Face each side at Mount Joist Hanger bearing length (1%" required for 18" and deeper joists) To limit splitting flange, start nails at least 11/5" from end. Nails may need to be driven at an angle to limit splitting of bearing plate.

wide). Nail with

BCI® Joists shall be laterally supported at the ends with hangers, rimboard, BCI® rim joist or blocking panels. BCI® blocking panels or rimboard are required at

Blocking may be required at intermediate bearings for

floor diaphragm per IRC in high seismic areas, consult local building official.

MINIMUM BEARING LENGTH FOR BCI® JOISTS

Minimum end bearing: 1½° for all BCI® Joists. 3½° is

required at cantilever and intermediate supports.

Longer bearing lengths allow higher reaction values.
 Refer to the building code evaluation report or the BC CALC® software.

BCI® rim joist, rim board or closure panel to BCI® joist: Rims or closure panel 1¼ inches thick and less:

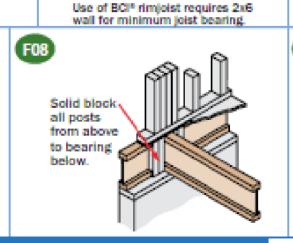
Backer block required where top flange

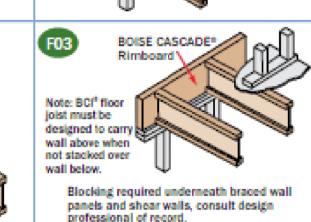
joist hanger load exceeds 250 lbs.

Install tight to top flange.

ATERAL SUPPORT

each flange.





BCI® Joist Slope Cut Reinforcement

shear/reaction value to cut end of BCI® joist. BCI®

Joiet shall not be used as a collar or rafter tension tie.

ax blocking required at bearing (not shown for clarity). /10" min. plywood/OSB rated sheathing as reinforcement

See Web Stiffener Requirements on page 9.

BCI® RIM JOISTS AND BLOCKING

ROTECT BCI® JOISTS FROM THE WEATHER

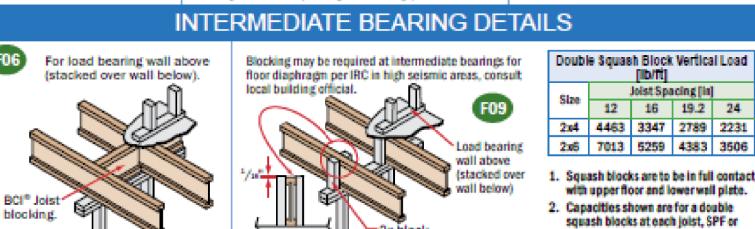
BCI® Joists are intended only for applications that provide

permanent protection from the weather. Bundles of product

Vertical Load Capacity

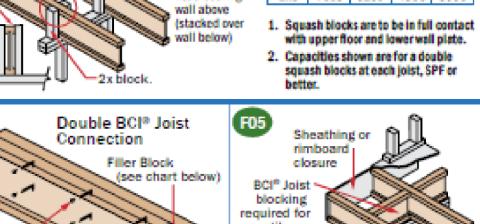
should be covered and stored off of the ground on stickers.

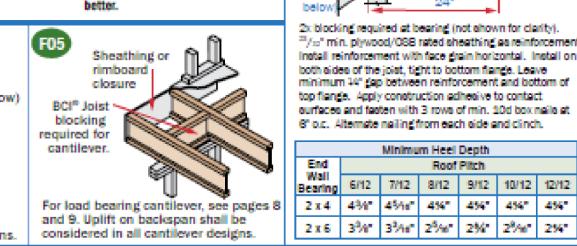
Roof Pitch

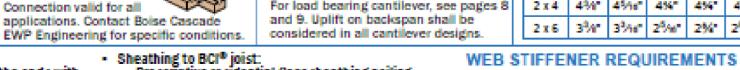


Nailing 12"

of record and/or local building official.







- See closest allowable nail spacing limits on page 24 for floor diaphragm nailing specified at closer
- Maximum bracing spacing for full lateral stability: 18" for BCI® 4500s & 5000s, 24" for larger BCI®

	- Killis of closure parier 194 inches unick and less.	Di torte	TO THE PROPERTY OF	JOIL DIMERSIONS					
	2-8d nails, one each in the top and bottom flange. - BCI® 4500s/5000s rim joist: 2-10d box nails, one	Series	Backer Block Thickness	Filler Block Thickness					
	each in the top and bottom flange. - BCI® 6000s/60s rim joist: 2-16d box nails, one each	4500s 1.8	%" or ¾" wood panels	Two %" wood panels or 2 x _					
	in the top and bottom flange. - BCI® 6500s/90s rim joist: Toe-nail top flange to rim	5000s 1.8	¾4" or ¾" wood panels	Two ¾" wood panels or 2 x					
	joist with 2-10d box nails, one each side of flange. BCI® rim joist, rim board or BCI® blocking panel to	6000s 1.8	11/6" or two 1/2" wood panels	2 x _ + ½, or ½" wood panel					
	support: - Min. 8d nails @ 6" o.c. per IRC.	6500s 1.8	11/6" or two 1/6" wood panels	2 x _ + %" or %" wood panel					
	 Connection per design professional of record's specification for shear transfer. 	60s 2.0	11/6" or two 1/2" wood panels	2 x _ + ½, or ½" wood panel					
•	BCI® joist to support: - 2-8d nails, one on each side of the web, placed 1½	90s 2.0	2 x _ lumber	Double 2 x _ lumber					
	inches minimum from the end of the BCI® Joist to limit splitting.	Cut backer and filler blocks to a maximum depth equal to the web depth minus ¼" to avoid a forced fit.							

to the web depth minus 44" to avoid a forced fit.

- Sheathing to BCI® joist:

 Prescriptive residential floor sheathing nailing requires 8d common nails @ 6" o.c. on edges and @ 12" o.c. in the field (IRC Table R602.3(1)).
- 14 gauge staples may be substituted for 8d nails if the staples penetrate at least 1 inch into the joist.
- Wood screws may be acceptable, contact local building official and/or Boise Cascade EWP

bui	iding official and/or Bois	e Cascade EWP	Depth fin1	Series	No W.S. ⁽¹⁾	W.S. ⁽²⁾				
	gineering for further infon R AND FILLER BLO		91/2"	4500s 1.8, 5000s 1.8, 6000s 1.8, 6500s 1.8	2300	N/A				
ies	Backer Block Thickness	Filler Block Thickness	11%*	4500s 1.8, 5000s 1.8, 6000s 1.8, 6500s 1.8	2150	N/A				
00s .8	%" or ¾" wood panels	Two %" wood panels or 2 x_	1170	60s 2.0, 90s 2.0	2500	N/A				
00s .8	¾" or ¾" wood panels	Two ¾" wood panels or 2 x_	14"	4500s 1.8,5000s 1.8, 6000s 1.8,6500s 1.8	2000	N/A				
00s .8	11/6" or two 1/2" wood panels	2 x _ + ½s" or ½" wood panel		60s 2.0, 90s 2.0	2400	N/A				
00s .8	11/6" or two %" wood panels	2 x _ + %" or %" wood panel	16"	4500s 1.8, 6000s 1.8, 6500s 1.8	1900	2500				
2.0	11/6" or two 1/2" wood panels	2 x _ + ½s" or ½" wood panel		60s 2.0, 90s 2.0	2300	2700				
2.0		Double 2 x_lumber		· ·						

Web stiffeners required at each end of blocking, values not applicable for rim joists. N/A: Not applicable

VERSA-LAM® Floor Load Tables

VERSA-LAM® 2.0 3100 (100% Load Duration)

								Top Fig	ure	-	Allov	vable T	otal Lo	ad [plf]										
				KEY T	O TAB	BLE	1	Middle	Figure	-	Allov	vable L	ive Loa	ad [plf]										
							1	Bottom	Figure	es -	Minir	num R	equired	d Bearin	ng Len	gth at E	nd / Int	ermed	liate Su	upports	[inche	s]		
Span [ft]	1¾" V	/ERSA-I	.AM® 2.0	3100				/ERSA-L SA-LAM) 3100 or 0		Triple Ply 1%" VERSA-LAM® 2.0 3100 or 5%" VERSA-LAM 2.0 3100							Quadruple Ply 11/4" VERSA-LAM® 2.0 31 7" VERSA-LAM 2.0 3100					
[it]	71/4"	91/2"	111/8"	14"	71/4"	91/2"	111%"	14"	16"	18"	24"	91/2"	111/8"	14"	16"	18"	20"	24"	111/8"	14"	16"	18"	20"	2
	763	1063	1424	1795	1525	2126	2849	3590	4387	5232	5226	3189	4273	5384	6580	7848	7845	7838	5697	7179	8773	10463	10459	10
6	762	-	-	-	1525	2.5	-		-	-		-	-		-		-	-	-	-2.	-	:=)	8.5	
	1.8/4.4	2.4/6.1	24750	4.1/10.3		100000000000000000000000000000000000000		4.1/10.3		6/15	6/15	F10000 (0.0000)	0.0000000000000000000000000000000000000	4.1/10.3		6/15	6/15	6/15		4.1/10.3	5000000000	6/15	6/15	-{
	479	746	979	1207	957	1492	1957	2414	2886	3402	3913	2237	2936	3622	4328	5103	5876	5870	3914	4829	5771	6803	7834	3
8	322	724	7	-	643	1447	5	3	= ,	-	1574	2171	3	20	31	-		-	-	= 0	-	-		
	1.5/3.7	2.3/5.7		3.7/9.3	1.5/3.7		3/7.5	3.7/9.3			6/15	2.3/5.7					6/15	6/15	3/7.5		4.4/11.1		6/15	
	243	551	745	909	487	1102	1489	1817	2148	2502	3126	1653	2234	2726	3222	3753	4322	4688	2978	3635	4296	5003	5763	1
10	165	370	724	72	329	741	1447	2	-		-2	1111	2171	20	-		12	-	2894	25	-	12	12	
	1.5/3	2.1/5.3		1-1-1-1	1.5/3	2.1/5.3		3.5/8.7			6/15		-0.00		Barrier Barrier		5.5/13.8	Telephone	2.9/7.1				5.5/13.8	_
	182	413	665	808	364	825	1330	1617	1904	2209	2839	1238	1995	2425	2856	3313	3800	4259	2659	3233	3807	4417	5067	100
11	124	278	544	(-)	247	557	1087	-	-	-		835	1631) - 1	*	(: - :	-		2175) - 1;		-	-	
	1.5/3	1.7/4.4		3.4/8.5	190001-0000	1.7/4.4	2.8/7	I SOLITOR STATE		4.7/11.7	355/44 E00//	1.7/4.4	2000000	3.4/8.5	Child School S	A BOXES IN COST	5.4/13.4	6/15	2.8/7	3.4/8.5	SOME EXCEN	anti-	5.4/13.4	
	139	317	585	728	279	634	1170	1456	1709	1977	2601	950	1755	2184	2564	2965	3390	3901	2340	2912	3418	3953	4519	3
12	95	214	419	686	191	429	837	1372		-	-	643	1256	2058	175	-	-	-	1675	2745	(#)	-	-	
	1.5/3	1.5/3.7		3.4/8.4	1.5/3	1.5/3.7			W0170	4.6/11.4		1.5/3.7	-	3.4/8.4		11177777		6/15		3.4/8.4		4.6/11.4		-1
	109	248	488	662	217	4 96	976	1324	1550	1789	2399	744	1464	1986	2326	2683	3059	3598	1952	2647	3101	3577	4078	4
13	75	169	329	540	150	337	659	1079	(2)	=	1.74	506	988	1619	37	(57)	: - -	-	1317	2159	-	.c.	1570	
	1.5/3	1.5/3.1	2.4/6.1	3.3/8.3	1.5/3	1.5/3.1	2.4/6.1	3.3/8.3	The second second second	4.5/11.2		1.5/3.1	2.4/6.1			4.5/11.2		6/15	2.4/6.1			4.5/11.2	5.1/12.7	
	86	198	390	585	173	395	779	1171	1418	1633	2226	593	1169	1756	2128	2449	2786	3338	1558	2342	2837	3265	3715	
14	60	135	264	432	120	270	527	864	1290	-	122	405	791	1296	1935	-	02	-	1055	1728	2580	:2	112	
	1.5/3	1.5/3	100000	3.2/7.9	1.5/3	1.5/3	DOCUMENTO CONTROL	3.2/7.9	3.8/9.6	1200-11-231-20	6/15	1.5/3		3.2/7.9	3.8/9.6		5/12.5	6/15	2.1/5.3	Tarabas and the	3.8/9.6	The state of the s	5/12.5	3
	70	160	316	509	139	320	631	1018	1307	1502	2076	479	947	1527	1960	2253	2558	3113	1262	2036	2614	3003	3410	3
15	49	110	214	351	98	220	429	703	1049	1493	-	329	643	1054	1573	2240	-	-	858	1405	2098	2987	-	
	1.5/3	1.5/3	1.8/4.6	- Anna Carlotte	1.5/3	1.5/3	LONG BOOK A PARK OF	Doc Avertage to	and the convention	4.3/10.9	- CONTRACTOR	1.5/3	1.8/4.6		The state of the s	DESCALLERS AND	4.9/12.3	6/15	1.8/4.6		HOUSE WHEN YE	DESCALLERONAN I	4.9/12.3	
	57	131	259	427	113	262	518	854	1151	1390	1944	393	777	1281	1727	2085	2364	2917	1036	1708	2303	2780	3151	3
16	40	90	177	289	80	181	353	579	864	1230	-	271	530	868	1296	1846	-	-	707	1158	1728	2461	-	
	1.5/3	1.5/3	-	2.6/6.6		1.5/3				4.3/10.7		1.5/3	1.6/4			Control of	4.9/12.2						4.9/12.2	
		108	215	355	93	217	430	710	1018	1274	1826	325	645	1065	1527	1911	2196	2739	860	1420	2036	2547	2929	100
17		75	147	241	67	151	295	483	720	1026	•	226	442	724	1081	1539	2111	-	589	965	1441	2052	2814	
		1.5/3	10000	2.3/5.9	10.000	1.5/3	330,000	5455500		4.2/10.5	10000000	1.5/3	20.000	20022000	0.850,895	4.2/10.5	4.8/12	3570		2.3/5.9	VPQ15245	1001012000	4.8/12	-
40		90	180	298	77	181	360	596	894	1134	1701	271	540	894	1341	1701	2051	2552	720	1191	1788	2268	2735	-
18		64	124	203	56	127	248	407	607	864		191	372	610	910	1296	1778	-	496	813	1214	1728	2371	
		1.5/3	100000	2.1/5.2		1.5/3	2007 N 2000		100000000000000000000000000000000000000	4/9.9		100000000000000000000000000000000000000	B1000	THE STATE OF	0.00000000		4.8/11.9	10.40			100 100000			
40		76	152	252	65	152	304	504	758	1016	1592	229	457	757	1137	1524	1863	2388	609	1009	1516	2032	2484	1
19		54	105	173	48	108	211	346	516	735	-	162	316	519	774	1102	1512	-	422	691	1032	1470	2016	0.00
		1.5/3		1.9/4.7	1.5/3	1.5/3	1.5/3	1.9/4.7	2.8/7		5.8/14.6			1.9/4.7			4.6/11.4			1.9/4.7			4.6/11.4	
00		65	130	215	54	129	259	430	647	915	1496	194	389	646	971	1373	1678	2243	519	861	1295	1830	2237	2
20		46	90	148	41	93	181	296	442	630	1493	139	271	445	664	945	1296	2240	362	593	885	1260	1728	3570
		1.5/3	1.5/3	1.7/4.2	1.5/3	1.5/3	1.5/3	1.//4.2	2.5/6.3	3.6/8.9	5.8/14.5	1.5/3	1.5/3	1.//4.2	2.5/6.3	3.6/8.9	4.3/10.8	5.8/14.5	1.5/3	1.774.2	2.5/6.3	3.6/8.9	4.3/10.8	5.8

Floor Load Tables

Allowable Uniform Floor Load (in pounds per lineal foot [PLF])

100% Load Duration																
		E	3CI® 6 25/ ₁₆		3 1.8 S nge W		S			E	3CI® 6 2 ⁹ /16'		3 1.8 3 nge W		S	
	9½ BCI® 6 1.	6000s	11 BCI® (6000s	BCI® (6000s	16" BCI® 6000s 1.8		9½" BCI® 6500s 1.8		11%" BCI® 6500s 1.8		14" BCI® 6500s 1.8		16" BCI® 6500s 1.8	
Span ength	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load	Live Load	Total Load
6	-	320	-	333	-	346	-	353	-	320	-	333	-	346	-	353
7	-	274	-	285	-	297	-	302	-	274	-	285	-	297	-	302
8	-	240	-	250	-	260	-	265	-	240	-	250	-	260	-	265
9	-	213	-	222	-	231	-	235	-	213	-	222	-	231	-	235
10	183	192	-	200	-	208	-	212	-	192	-	200	-	208	-	212
11	141	174	-	181	-	189	-	192	153	174	-	181	-	189	-	192
12	112	160	-	166	-	173	-	176	121	160	-	166	-	173	-	176
13	89	147	144	153	-	160	-	163	97	147	-	153	-	160	-	163
14	73	129	117	142	-	148	-	151	79	137	129	142	-	148	-	151
15	60	112	97	133	-	138	-	141	65	124	106	133	-	138	-	141
16	50	98	81	125	117	130	-	132	54	109	89	125	127	130	-	132
17	42	84	68	112	99	122	-	124	46	92	75	117	107	122	-	124
18			58	100	84	115	112	117			64	110	91	115	-	117
19			50	89	72	106	96	111			54	99	78	109	104	111
20			43	81	62	96	83	106			47	89	68	104	90	106
21					54	87	72	99			41	81	59	96	78	100
22					47	79	63	90					51	88	69	96
23					42	72	56	83					45	80	60	92
24							49	76					40	74	53	84
25							44	70							47	77
26															42	72
27																
28																
29																
30																

Floor Load Tables

Allowable Uniform Floor Load

BCI® 60s 2.0 Series

25/18" Flange Width

BCI® 90s 2.0 Series

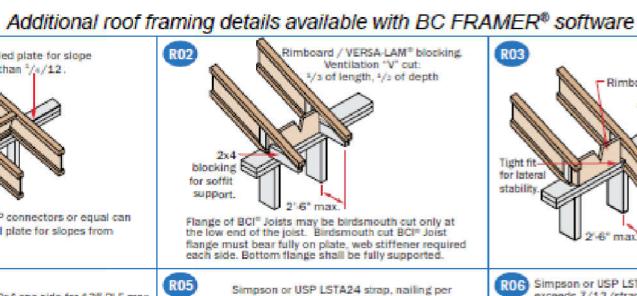
31/2" Flange Width

(in pounds per lineal foot [PLF])
100% Load Duration

N/A N/A 2500 2700 2x beveled plate for slope greater than 1/4/12. Simpson VPA or USP TMP connectors or equal can be used in lieu of beveled plate for slopes from 2x4 one side for 135 PLF max. Backer block Thickness per corresponding BCI® series. 2'-6" horiz.

1.5/3 1.5/3.5

1.5/3 1.5/3



governing building code.

shear transfer per design professional of record.

-Double joist may be

rafter spacing.

required when L'exceeds

notched around BCI®

top flange. Outrigger

spacing no greater

Holes out

VERSA-LAM® LVL

support beam.

2x6 one side for 240 PLF max.

Holes out for ventilation.

Backer block

(minimum 12" wide).

Filler block, Nail

Backer block required where top flange

joist hanger load exceeds 250 lbs.

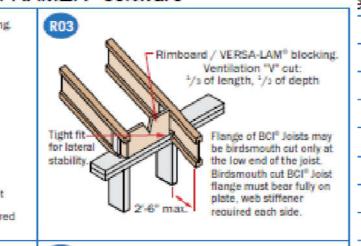
Install tight to top flange.

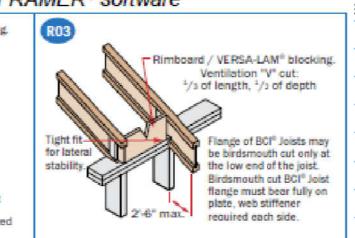
with 10 - 10d nails.

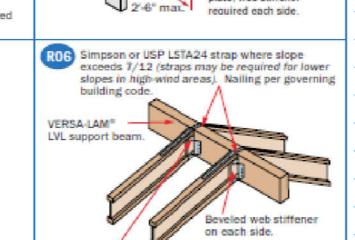
Nail with 10-10d nails.

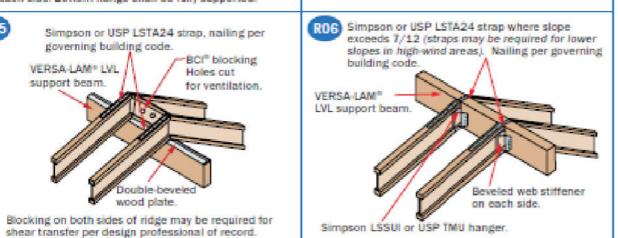
Roof Framing Details

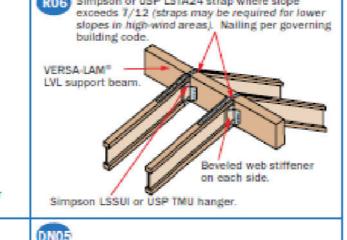
1.5/3 1.5/3 1.5/3 1.6/4 3.8/9.5 1.5/3











Simpson Lasor of Ose Timo hanger.	
DN05	
DO NOT bevel-cut joist beyond inside face of wall, except for specific conditions in details shown on pages 6 and 13 of the	
Eastern Specifier Guide.	4

)	BCI® 60s 2.0		BCI® 60s 2.0		BCI® 60s 2.0		BCI® 90s 2.0		BCI® 90s 2.0		BCI® 90s 2.0	
	Span Ength	Live Load	Total Load										
M [®] blocking. I [®] out: of depth	6	-	366	-	366	-	366	-	450	-	453	-	456
	7	-	314	-	314	-	314	-	385	-	388	-	391
	8	-	275	-	275	-	275	-	337	-	340	-	342
	9	-	244	-	244	-	244	-	300	-	302	-	304
I ⁰ Joists may th cut only at of the joist. out BCI ⁰ Joist bear fully on iffener h side.	10	-	220	-	220	-	220	-	270	-	272	-	274
	11	-	200	-	200	-	200	-	245	-	247	-	249
	12	-	183	-	183	-	183	-	225	-	226	-	228
	13	-	169	-	169	-	169	-	207	-	209	-	210
e slope ed for lower er governing	14	155	157	-	157	-	157	-	192	-	194	-	195
	15	128	146	-	146	-	146	-	180	-	181	-	182
stiffener	16	107	137	-	137	-	137	152	168	-	170	-	171
	17	90	129	-	129	-	129	129	158	-	160	-	161
	18	7 7	122	110	122	-	122	110	150	-	151	-	152
	19	66	115	95	115	-	115	95	142	134	143	-	144
	20	57	110	82	110	109	110	83	135	117	136	-	137
	21	50	100	72	104	95	104	72	128	102	129	-	130
	22	43	87	63	100	84	100	63	122	90	123	119	124
	23			55	95	74	95	56	112	79	118	105	119
	24			49	91	65	91	49	99	70	113	94	114
	25			43	87	58	88	44	88	63	108	83	109
	26					52	84			56	104	75	105
	27					47	81			50	100	67	101
	28					42	78			45	91	61	97
	29									41	82	55	94

50

Ø ₹

date: 10/04/1

scale: AS NOTE

by: B. HATTOR

rev:

ENGINEERING

NORTH

PROJECT

sheet

Allowable Holes in VERSA-LAM® Beams

Notes

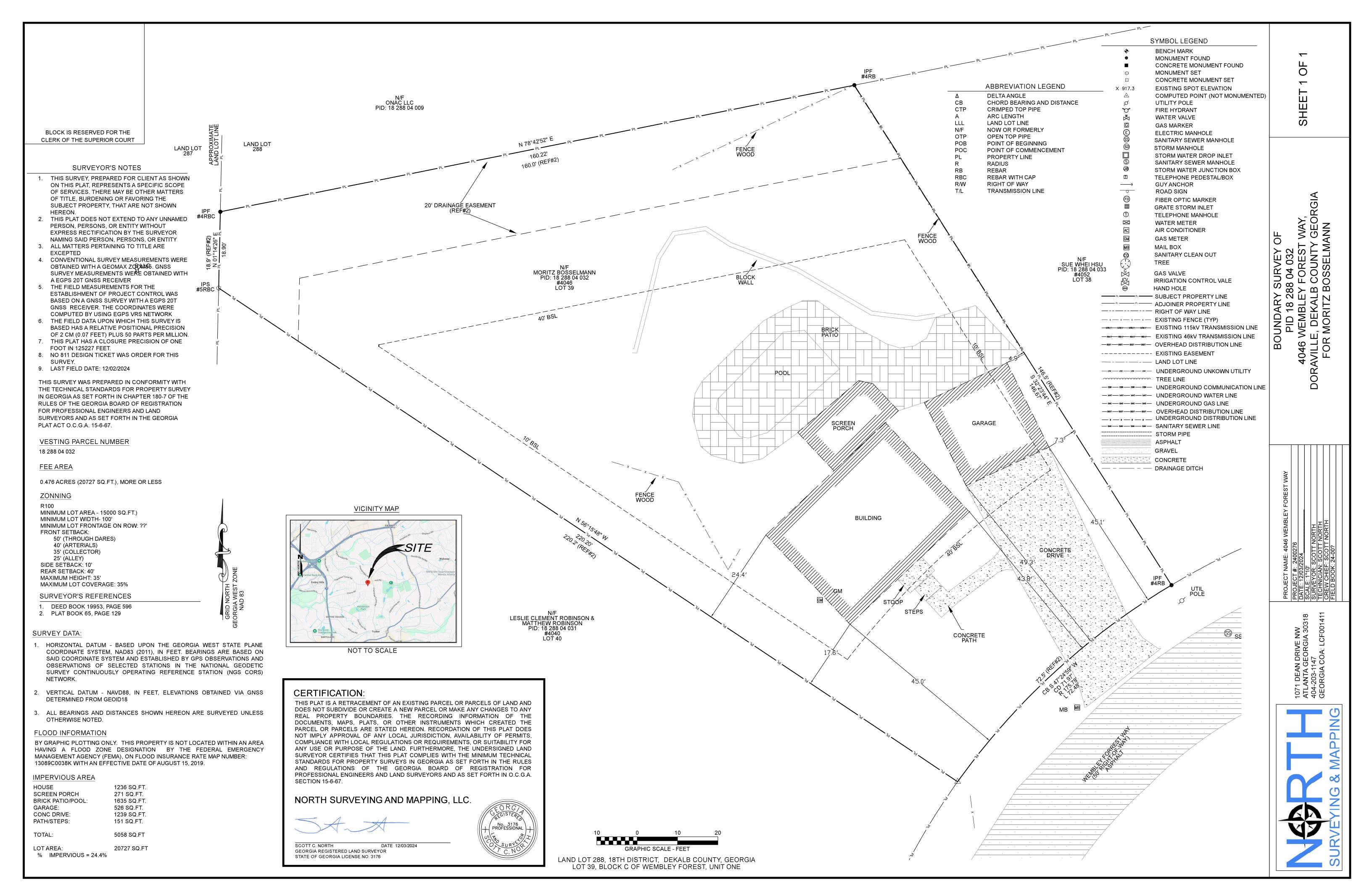
1. Square and rectangular holes are not permitted.

- 2. Round holes may be drilled or cut with a hole saw anywhere within the shaded area of the beam. 3. The horizontal distance between adjacent holes must be
- at least two times the size of the larger hole. 4. Do not drill more than three access holes in any four
- foot long section of beam.

71/4"

91/4" and greater

- 5. The maximum round hole diameter permitted is: Beam Depth Max. Hole Diameter 51/2"
- 1/s Span Intermediate Bearing **End Bearing** These limitations apply to holes drilled for plumbing or wiring
 - access only. The size and location of holes drilled for fasteners are governed by the provisions of the National Design Specification® for
 - 7. Beams deflect under load. Size holes to provide clearance where required.
 - 8. This hole chart is valid for beams supporting uniform load only. For beams supporting concentrated loads or for beams with larger holes, contact Boise Cascade EWP Engineering.



To the Dekalb County Department of Planning & Sustainability Zoning Board of Appeals 178 Sams Street, Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

Re: Zoning variance application of the Bosselmann family for building a garage ADU at 4046 Wembley Forest Way, Atlanta, GA 30340

Esteemed Zoning Board of Appeals, located at 4052 My name is Sile Wembley Forest Way, and I am a neighbor of the Bosselmann family. I support the Bosselmanns' application for a zoning variance. Our neighborhood was built in the late 1970s before current zoning guidelines were established, and I feel that it would impose undue hardship to Moritz Bosselmann and his family if the Board were to interpret the current guidelines strictly, resulting in the Bosselmanns' inability to build a garage apartment for their adult son with Autism. I feel that the approval of a zoning variance is justified in this case. Having seen the Bosselmanns' property and being aware of the steep terrain on which it is located, it is obvious to me that the garage is the only feasible area on the parcel where an apartment could be built. I consider the Bosselmann family good neighbors who keep their home in aesthetically appealing shape. I have seen the architectural drawings for the second story apartment, and believe that it will not disturb rather than enhance the look of the neighborhood. Thank you for your consideration and approval of the Bosselmann zoning variance application. Name: Sue Hsu

To the Dekalb County Department of Planning & Sustainability Zoning Board of Appeals 178 Sams Street, Decatur, GA 30030 www.dekalbcountyga.gov/planning 404-371-2155 (o); 404-371-4556 (f)

Re: Zoning variance application of the Bosselmann family for building a garage ADU at 4046 Wembley Forest Way, Atlanta, GA 30340

Esteemed Zoning Board of Appeals,

My name is FRAUR DOMINA located at 4035

Wembley Forest Way, and I am a neighbor of the Bosselmann family.

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Name: Frank T. Domina Signature: Tumble. Lomuna

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My name is Jennifer located at 4058

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Name: Jennifer Chang Signature: Dung

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Name: Sue Hsu

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