



Lorraine Cochran Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, May 14, 2025

Planning Department Staff Analysis



Cedric Hudson

Interim Director

D4. Case No: A-25-247389

Parcel ID(s): 18 288 04 032

Commission District 01 Super District 07

Applicant: **Moritz Bosselmann**
4046 Wembley Forest Way
Atlanta, GA, 30340

Owner: **Moritz Bosselmann**
4046 Wembley Forest Way
Atlanta, GA, 30340

Project Name: **4046 Wembley Forest Way** – ADU Addition to Garage

Location: 4046 Wembley Forest Way, Atlanta, GA, 30340

Request: Variance from Section 27-2.2.1. of the DeKalb County Zoning Ordinance to reduce the side-yard setback from 10' to 4', to facilitate the construction of an ADU above an existing detached garage of a single-family home in the R-100 (Residential Medium Lot) zoning district.

Keynote(s):

Staff Recommendation: Denial.

STAFF FINDINGS:

The project involves the construction of an ADU on top of an existing detached garage located in the side-yard of the home. This addition would be placed on the existing garage to provide additional living space. As the garage is currently existing, it is considered non-conforming. The property is currently situated on a curved lot that was constructed in 1977. The property's topography may demonstrate a unique condition that would necessitate the variances to the extent requested. According to Section 27-2.2.1, the side-yard setback is 10'.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The property is a standard lot in the R-100 zoning district, where a 10' side-yard setback is required for all structures. The structure sits atop a steeply inclined driveway, which serves as the applicant's justification for the variance. However, alternative locations on the site could accommodate an ADU within the existing setback requirements. The presence of trees and grading challenges are not unique hardships, as similar conditions exist throughout the R-100 zoning district. This may not support the justification for a variance due to the distinctive topographical and physical constraints of the site.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The applicant seeks a reduction in the side-yard setback from 10' to 4', arguing that the variance is minimal since the existing garage is already within the setback. However, there may be insufficient evidence demonstrating that the proposed setbacks represent the minimum variance required to achieve reasonable use of the property. Alternative designs and/or locations may exist that would require less extensive variances.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The proposed structure has received letters of support from every neighbor directly and indirectly impacted by the variance. However, the variance may materially be detrimental to the public welfare or injurious to the property and will negatively impact future property use. Maintaining a 10' setback for an ADU may preserve privacy, reducing potential drainage and fire safety concerns. This may uphold the established developmental pattern within the neighborhood.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

A strict interpretation of the zoning ordinance may not result in an undue hardship for the applicant by limiting the effective use of their property as it pertains to the construction of the accessory structure. The existing primary structure was built in 1977. Staff finds that the applicant has reasonable use of the property without the variance, as an ADU can be built within the required setback. Given the property's topographical and orientation constraints, strictly adhering to the ordinance would not render the project unfeasible.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The variance request aligns with the spirit and purpose of the DeKalb County Comprehensive Plan, which promotes responsible development while accommodating the needs of property owners within residential neighborhoods. As the property is in the Subdivision (SUB) land use, the applicant's request would align with the goals to preserve greenspace. Supplying more livable square footage contributes to the goal of increasing housing supply within the Land Use chapter of the Comprehensive Plan.

FINAL STAFF ANALYSIS:

The application meets some of the criteria for a setback variance as outlined in the DeKalb County Zoning Ordinance Section 27.2.2.1. While the proposed reduction in setback constitutes the proposed necessary encroachment, it would significantly alter the physical infrastructure or built environment. It would also allow the structure to be closer to their neighbors than would typically be allowed under current regulations. The intent to utilize the existing structure for an addition may be a valid rationale for the setback reduction request. Therefore, staff recommends denial for the variance request.

Staff Recommendation: Denial.

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Moritz Bosselmann
Mailing Address: 4046 Wembley Forest Way
City/State/Zip Code: Atlanta, GA 30340
Email: mbosselmann@gmail.com
Telephone Home: 404.384.6105 Business: 404.384.6105

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Moritz Bosselmann
Address (Mailing): 4046 Wembley Forest Way, Atlanta, GA 30340
Email: mbosselmann@gmail.com Telephone Home: 404.384.6105 Business: 404.384.6105

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 4046 Wembley Forest Way City: Atlanta State: GA Zip: 30340
District(s): _____ Land Lot(s): _____ Block: _____ Parcel: 18 288 04 032
Zoning Classification: R-100 Commission District & Super District: 1/7

CHECK TYPE OF HEARING REQUESTED:

- ☒ X VARIANCE (From Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION OF THE PROPERTY OWNER

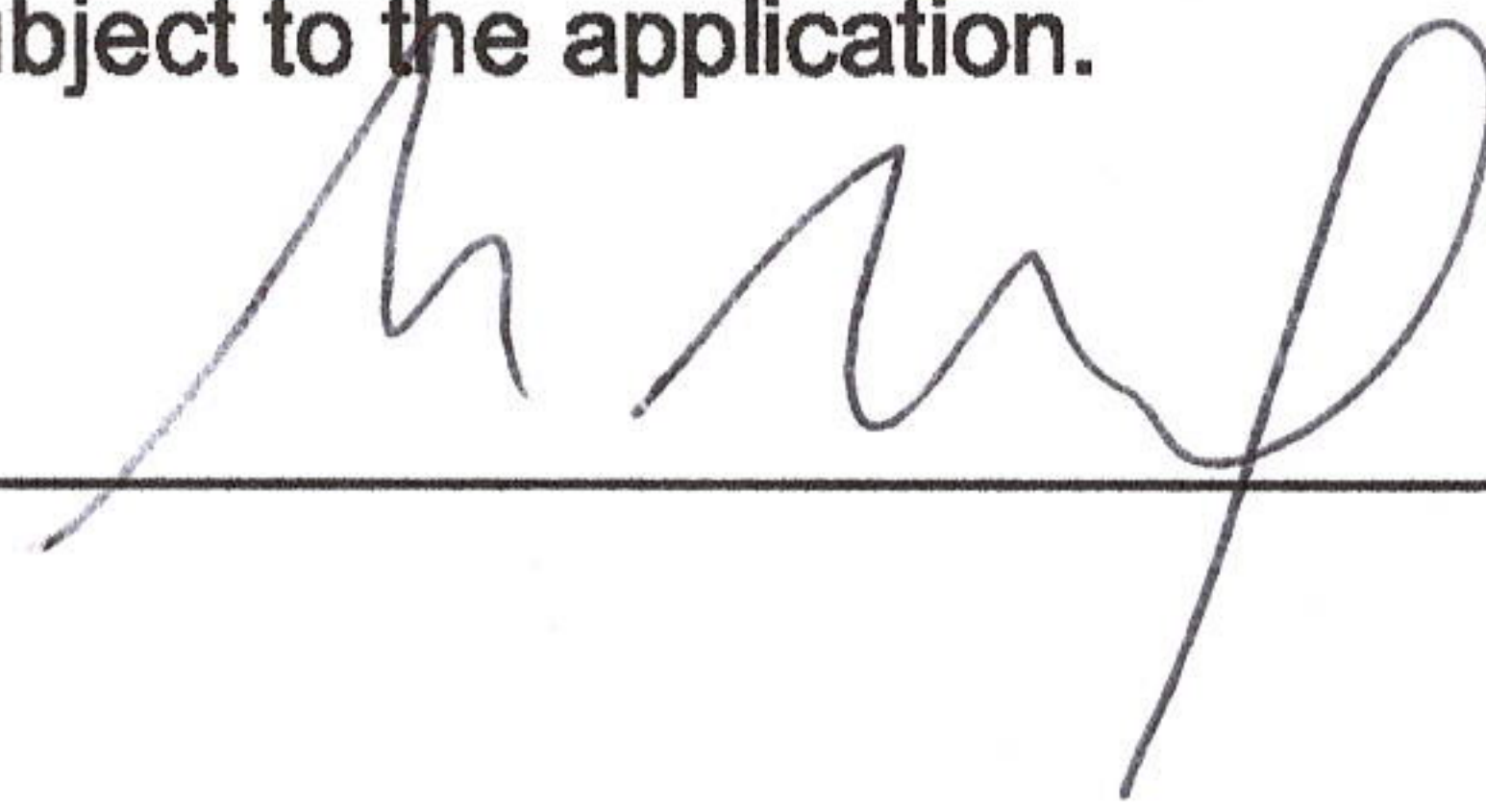
I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 1/16/2025

Applicant
Signature:



DATE: _____

Applicant
Signature:

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

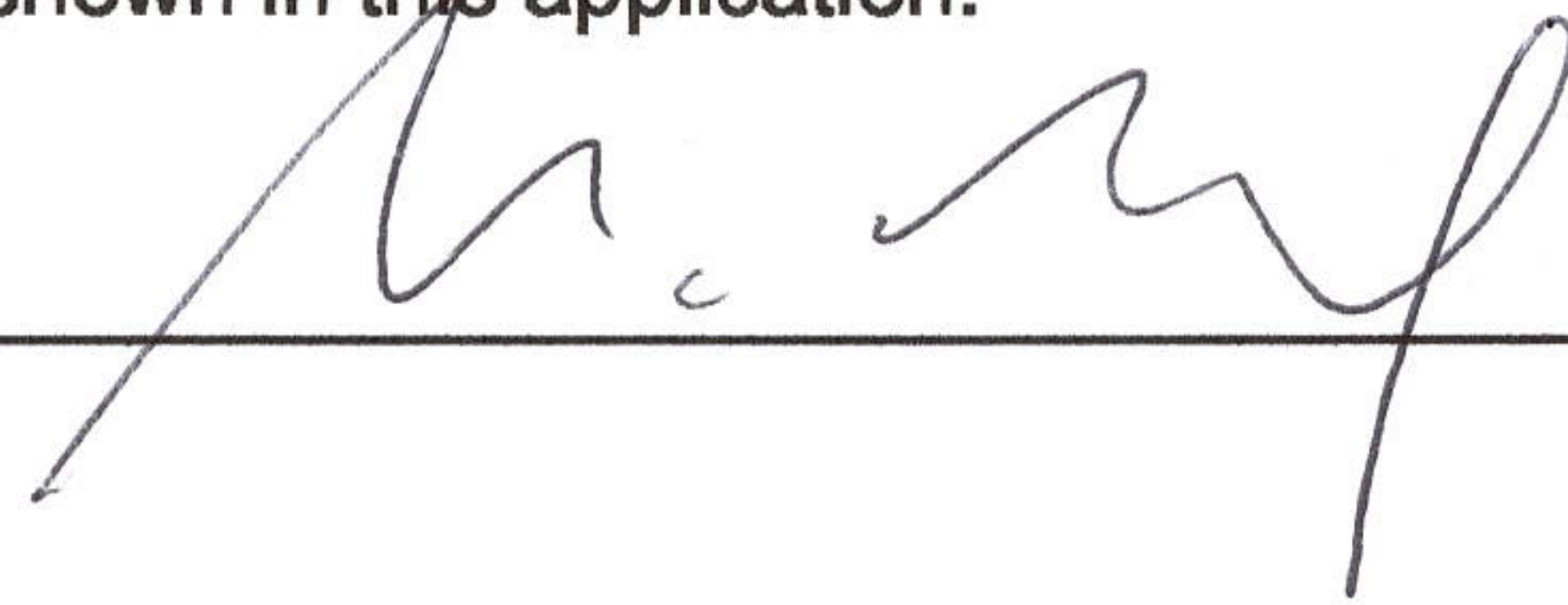
I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 1/16/2025

Applicant/Agent
Signature:



TO WHOM IT MAY CONCERN:

(I)/ (WE): Moritz Bosselmann
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

 Dania Naima

Notary Public



Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature



Letter of Intent

Dekalb County Department of Planning & Sustainability
Zoning Board of Appeals
178 Sams Street, Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Esteemed members of the Zoning Board of Appeals,

My name is Moritz Bosselmann, and I have lived in DeKalb County for over 30 years, including the last 17 years at 4046 Wembley Forest Way, 30340. I am a designer, my wife is a schoolteacher, and we have two sons: Jonah (20) and Miles (25). Miles has autism and lives with us. However, he needs his own living space. He has developmental delays, and we have been preparing him to be more independent for many years. This context is important because the apartment we wish to build above our garage is intended for him, so that, in time, he can learn to live on his own in a separate living area with a bedroom, bathroom, and a small kitchen.

In order to build this second-story ADU (#316), we are seeking a variance (Section 27-2.2.1) to reduce the side yard setback from 10 feet to 4 feet.

1. Physical Conditions of the Site:

Our home and garage were built in 1977, long before the zoning code was established in 2015. There are many large trees on the property, and we have already removed one large pine tree between our garage and the neighboring property in order to clear space and prevent potential damage. If we were to consider building in another location, we would need to remove multiple trees, including large pines, magnolias, and sweetgum trees located directly behind the existing garage.

Additionally, there is a significant slope across most of our property (an 8-foot drop in the rear yard, and more in the front yard). As a result, there are no suitable areas to build without extensive deforestation and grading. Building on top of the garage is the least intrusive option, as it allows us to tie into the existing power and wastewater lines with minimal disruption.

2. Minimum Variance Necessary:

We are seeking the minimum variance necessary—reducing the side yard setback from 10 feet to 4 feet. This request does not expand the degree of nonconformity because we are building upward, not outward.

3. Public Welfare:

We have lived at 4046 Wembley Forest Way since 2007 and maintain friendly relationships with all of our neighbors. The property next to our garage is owned by an elderly woman, and her daughter and family live next door. We have discussed our plans to build the garage ADU with this family and all other adjacent neighbors, and they are supportive of our proposal, as evidenced by the letters we have gathered.

Furthermore, adding the second story to our garage will improve housing density, eliminating the need for our son to seek alternative housing. It will also enhance the appearance of our property. We frequently receive compliments from neighbors about how well we maintain our house and yard, and we have put considerable effort into designing this additional space to ensure it complements the neighborhood aesthetically.

4. Ordinance Hardship:

Building an apartment on top of our garage is the only feasible option that allows us to keep our adult son close by while providing the care he needs and giving him a chance to become more independent. Given the terrain of our property, there is no viable alternative to building above the garage.

5. Alignment with the Spirit of the Law:

Our area is designated as Suburban (SUB). Adding this ADU would be an example of infill development, increasing housing availability and contributing, even if modestly, to addressing the current housing shortage. At 25 years old, our son needs his own living space. Building this ADU would prevent him from having to seek housing elsewhere, which, due to his disability, is not a realistic option at this time.

I sincerely appreciate your consideration of this variance application and hope that my explanation will be sufficient for approval. I respect the important work you do to ensure safe and compliant building in DeKalb County.

Thank you for your time and attention.

Sincerely,
Moritz Bosselmann
4046 Wembley Forest Way, 30340
404.384.6105

4046 Wembley Forest Way, Atlanta, GA 30340

DIVISION 01 - GENERAL REQUIREMENTS

THE DRAWINGS ILLUSTRATE GENERAL WORK/SCOPE REQUIREMENTS AND DO NOT ELABORATE ON INSTALLATION TECHNIQUES. ALL WORK SHALL MEET OR EXCEED INDUSTRY STANDARDS, AND BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

DRAWINGS SHOW DESIGN INTENT FOR CONSTRUCTION ONLY, AND DO NOT SHOW EVERY CONDITION OR ASPECT OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONDITIONS IN THE FIELD WHICH ARE DIFFERENT THAN THOSE INDICATED IN THE DRAWINGS.

DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED CRITICAL. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

THE CONTRACTOR SHALL FIELD-VERIFY CONSTRUCTION TOLERANCES AND TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THE WORK ON THIS PROJECT. ANY CONDITIONS ENCOUNTERED THAT ARE DIFFERENT THAN THOSE INDICATED IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT BEFORE WORK IS DONE.

THE ARCHITECT IS NOT RESPONSIBLE FOR CHANGES MADE OR AUTHORIZED BY THE OWNER, OR OWNER'S REPRESENTATIVE WITHOUT WRITTEN CONSENT OF THE ARCHITECT OR CONSULTANT.

COORDINATE WORK OF TRADES WITH EACH OTHER. NOTIFY THE ARCHITECT OF DISCREPANCIES PRIOR TO COMMENCING WORK.

ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. THE CONTRACTOR SHALL SECURE ALL REQUIRED BUILDING PERMITS AND INSPECTIONS FOR THE EXECUTION, COMPLETION, AND OCCUPATION OF THE PROJECT. THE CONTRACTOR SHALL APPLY FOR AND SECURE THESE PERMITS WITHOUT DELAY, SO THAT THE PROJECT MAY COMMENCE AS SOON AS POSSIBLE FOLLOWING THE EXECUTION OF THE CONTRACT.

PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL SCHEDULE A MEETING BETWEEN CONTRACTOR, OWNER AND ARCHITECT, TO DISCUSS COMPLETE SCOPE OF WORK, SCHEDULE, PROCEDURES, AND COORDINATION.

CONTRACTOR IS RESPONSIBLE FOR LEGAL MEANS OF DISPOSING OF DEBRIS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE FIRE EXTINGUISHERS AND OTHER NECESSARY FIRE PROTECTION METHODS THROUGHOUT THE DURATION OF DEMOLITION AND NEW CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REGULATIONS IN THE EXECUTION OF THE WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING, SHORING, AND FITTING NECESSARY TO ACHIEVE THE SCOPE OF WORK.

THE CONTRACTOR SHALL MAINTAIN A CLEAN, SECURE, AND SAFE JOB SITE AT ALL TIMES. PROTECT FINISHED FLOORS, STAIRS, ROOFS, DECKS, AND OTHER SURFACES FROM TRAFFIC, DIRT, WEAR AND DAMAGE WITH DURABLE SHEET MATERIALS. CONDUCT A FINAL COMPREHENSIVE CLEANING OF THE BUILDING AND STRUCTURE PRIOR TO SUBSTANTIAL COMPLETION AND OCCUPANCY BY THE OWNER.

ALL WALLS, CEILINGS AND OTHER ASSEMBLIES ARE TO BE PLUMB, TRUE, AND SQUARE, UNLESS OTHERWISE SHOWN ON DRAWINGS. ALL WORK TO BE DONE IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS.

THE CONTRACTOR SHALL PROVIDE A WARRANTY FOR CORRECTION OF WORK FOR THE PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK ON THIS PROJECT.

ALL MATERIALS, HARDWARE AND FIXTURES WILL BE U.L. LISTED

ALL INTERIOR FINISHES, MATERIALS, AND FURNISHINGS SHALL MEET SMOKE AND FIRE RATING REQUIREMENTS OF STATE AND LOCAL CODES, AS WELL AS THE INTERNATIONAL BUILDING CODE.

ALL FLOOR AND WALL PENETRATIONS IN RATED ASSEMBLIES SHALL BE SEALED WITH APPROVED AND CURRENT FIRESTOP ASSEMBLIES.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL WORK WITH THE ARCHITECTURAL DRAWINGS. DISCREPANCIES IN THE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION BEFORE WORK IS DONE.

COORDINATE SPACE REQUIREMENTS, INSTALLATION, AND SUPPORTS OF MECHANICAL, ELECTRICAL, AND PLUMBING WORK WHICH ARE INDICATED DIAGRAMMATICALLY ON THE DRAWINGS. FOLLOW ROUTING SHOWN FOR PIPES, DUCTS, AND CONDUIT, AS

CLOSELY AS PRACTICABLE; PLACE RUNS PARALLEL WITH LINES OF BUILDING. UTILIZE SPACES EFFICIENTLY. IN FINISHED AREAS CONCEAL PIPES, DUCTS, AND WIRING WITHIN THE CONSTRUCTION. COORDINATE LOCATIONS OF FIXTURES AND OUTLETS WITH FINISH ELEMENTS, EXCEPT AS OTHERWISE INDICATED.

MECHANICAL, ELECTRICAL, AND PLUMBING SCOPE IS GENERALLY SHOWN IN THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PERMIT DRAWINGS AND OBTAINING ALL MEP PERMITS. COORDINATE EXACT LOCATIONS OF DEVICES AND LIGHT FIXTURES WITH OWNER IN FIELD.

THE CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL PLUMBING AND ELECTRICAL REQUIREMENTS RELATED TO THE EQUIPMENT AND APPLIANCES IN THE SCOPE OF WORK.

COORDINATION WITH AUTHORITIES AND UTILITY COMPANIES: THE CONTRACTOR SHALL COORDINATE WITH ALL NECESSARY STATE AND LOCAL AUTHORITIES AND COMPANIES PRIOR TO COMMENCING ANY UTILITY WORK. UTMOST CARE MUST BE TAKEN TO AVOID DISRUPTION OR DAMAGE TO UTILITIES DURING THE WORK. OWNER IS NOT RESPONSIBLE FOR UNFORESEEN DAMAGES TO UNDERGROUND UTILITIES WHERE CONTRACTOR HAS NOT TAKEN ALL NECESSARY PRECAUTIONS, NOTIFICATIONS, AND SURVEYING IN ORDER TO LOCATE AND PROPERLY COORDINATE WITH UTILITIES.

TEMPORARY UTILITIES
PERMANENT UTILITY SERVICES SHALL BE INITIATED BY THE CONTRACTOR, COORDINATED WITH THE OWNER, AND PLACED IN THE NAME OF THE OWNER. THE OWNER WILL PAY FOR ALL UTILITY SERVICES LISTED BELOW REQUIRED TO UNDERTAKE AND COMPLETE THE PROJECT. ELECTRICITY SERVICE, WATER, GAS, TELEPHONE, DATA, AND CABLE SHALL NOT BE RESPONSIBLE FOR TASK-SPECIFIC UTILITY OR ENERGY SERVICES REQUIRED TO COMPLETE THE WORK THAT ARE ABOVE AND BEYOND THOSE COSTS LISTED IN THE CONTROL ESTIMATE AND CONTRACT SUM, INCLUDING BUT NOT LIMITED TO: SPECIALIZED FUELS AND GASES, TEMPORARY GENERATORS, TEMPORARY HEATER.

ALTERNATIVES TO THE WORK MAY BE REQUESTED BY THE ARCHITECT ONLY AS PART OF THE CONTROL ESTIMATE PROCESS. THE OWNER MAY ELECT TO MODIFY THE CONTROL ESTIMATE PRIOR TO THE SIGNING OF THE CONTRACT, BY INCORPORATING SAID ALTERNATIVES. ONCE ELECTED, THE ALTERNATIVES BECOME PART OF THE CONTRACT DOCUMENTS AND THE CONTRACT SUM.




THE CONTRACTOR MAY PROPOSE SUBSTITUTIONS TO THE WORK DURING THE PROCESS OF THE CONTROL ESTIMATE OR DURING THE COURSE OF THE WORK. A REQUEST FOR SUBSTITUTION CONSTITUTES A REPRESENTATION THAT THE SUBMITTER:

- HAS INVESTIGATED PROPOSED PRODUCT AND DETERMINED THAT IT MEETS OR EXCEEDS THE QUALITY LEVEL OF THE SPECIFIED PRODUCT.
- WILL PROVIDE THE SAME WARRANTY FOR THE SUBSTITUTION AS FOR THE SPECIFIED PRODUCT.
- WILL COORDINATE INSTALLATION AND MAKE CHANGES TO OTHER WORK WHICH MAY BE REQUIRED FOR THE WORK TO BE COMPLETE WITH NO ADDITIONAL COST TO OWNER.
- WAIVES CLAIMS FOR ADDITIONAL COSTS OR TIME EXTENSION WHICH MAY SUBSEQUENTLY BECOME APPARENT.
- WILL REIMBURSE OWNER AND ARCHITECT FOR REVIEW OR REDESIGN SERVICES ASSOCIATED WITH RE-APPROVAL BY AUTHORITIES.
- WILL Adjust THE CONTROL ESTIMATE AND / OR CONTRACT SUM TO REFLECT THE ADDITIONAL SAVINGS OR COSTS REALIZED BY THE USE OF THE SUBSTITUTION.

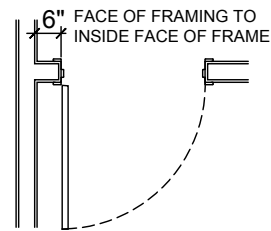
ANY CHANGE TO THE COST OF THE WORK (POSITIVE OR NEGATIVE) SHALL BE STATED AS PART OF THE SUBSTITUTION REQUEST, UNLESS THERE IS TO BE NO COST IMPACT WHETHER FOR THE SUBSTITUTED ITEM ITSELF OR ANY RELATED PARTS OF THE WORK.

- CONTRACTOR SHALL TAKE A MINIMUM OF (20) DIGITAL PHOTOGRAPHS PER WEEK TO DOCUMENT THE CONSTRUCTION. PHOTOGRAPHS MUST FOCUS ON APPROPRIATE AREAS OF WORK AND MUST DOCUMENT CONDITIONS BEFORE THEY ARE CONCEALED BY SUBSEQUENT CONSTRUCTION. PHOTOGRAPHS ARE TO BE SHARED WITH ARCHITECT AND OWNER AT REQUEST.


1. DIMENSIONS, UNLESS NOTED OTHERWISE, ARE TO FACE OF FRAMING.

-  DIMENSION FROM FINISH MATERIAL TO FINISH MATERIAL
 DIMENSION FROM FINISH MATERIAL TO FACE OF FRAMING
 DIMENSION FROM FINISH MATERIAL TO CENTERLINE OF DOOR OR ASSEMBLY

- ## 2. TYPICAL DOOR LOCATION DIMENSION:



- ### 3. WALL HATCHES:

- NEW WALL CONSTRUCTION; SEE WALL TYPES
-  EXISTING WALL CONSTRUCTION

4. FURNITURE IS SHOWN FOR REFERENCE ONLY, AND IS PROVIDED & INSTALLED BY OWNER.
5. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL FOUNDATION, SLAB, AND FOOTING INFORMATION.
6. DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTERLINE OF OPENING, UNLESS NOTED OTHERWISE.

PRIOR TO DEMOLITION, THE CONTRACTOR SHALL EXAMINE THE VARIOUS DRAWINGS, VISIT THE SITE, DETERMINE THE EXTENT OF THE WORK, THE EXTENT OF WORK AFFECTED THEREIN, AND ALL CONDITIONS UNDER WHICH HE IS REQUIRED TO PERFORM THE VARIOUS OPERATIONS.

PRIOR TO DEMOLITION, THE CONTRACTOR SHALL OBTAIN WRITTEN VERIFICATION FROM THE UTILITY OWNER(S) THAT THE EXISTING UTILITIES, INCLUDING STORMWATER, WASTEWATER, AND/OR WATER FACILITIES, ARE NOT OPERATIONAL AND ARE READY FOR DEMOLITION.

DEMOLITION GENERALLY INCLUDES

- COMPLETE DEMOLITION AND REMOVAL OF MANHOLES, VALVE VAULTS, WETWELLS, PIPING, AND MECHANICAL AND ELECTRICAL EQUIPMENT RELATED TO THE WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- COMPLETE DEMOLITION AND REMOVAL OF ALL ABOVE AND BELOW GROUND STRUCTURES, CONCRETE SLABS AND FOUNDATIONS, VAULTS, AND UNDERGROUND UTILITIES (WATER, WASTEWATER, ELECTRICAL, ETC.) AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL MATERIAL, EQUIPMENT, RUBBLE, DEBRIS, AND OTHER PRODUCTS OF THE DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR HIS DISPOSAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS AND ORDINANCES AT THE CONTRACTOR'S EXPENSE. THE SALE OF SALVAGEABLE MATERIALS BY THE CONTRACTOR SHALL ONLY BE CONDUCTED OFF-SITE. THE SALE OF REMOVED ITEMS ON THE SITE IS PROHIBITED BY THE COUNTY.

DURING DEMOLITION, PROTECT AREAS NOT SCHEDULED FOR DEMOLITION. CUT SQUARE AND PLUMB AT TRANSITIONS FROM AREAS OF DEMOLITION TO AREAS TO BE KEPT. REMOVE ALL DEMOLISHED MATERIAL FROM PROPERTY TO LICENSED TRASH DISPOSAL FACILITY.

REFER TO DEMOLITION PLAN FOR FURTHER INSTRUCTIONS

The work consists of the demolition and removal of the roof and roof structure on the existing detached garage, and the addition of a ~450 sq.ft. second story to serve as an efficiency dwelling space including full bath, kitchenette, and bedroom. The dwelling will be accessed by a new set of external stairs, and will have additional fire egress through egress-sized windows.

Dwelling space electrical service to be from a 60amp sub-panel connected to main residence feed.

Dwelling space to be conditioned by a 1 Ton/12,000 BTU ductless mini-split heat pump.
Vaulted ceiling to be framed with 2x10, and insulated to R30.

All work within current setbacks, no variance required.
No trees to be affected or removed.

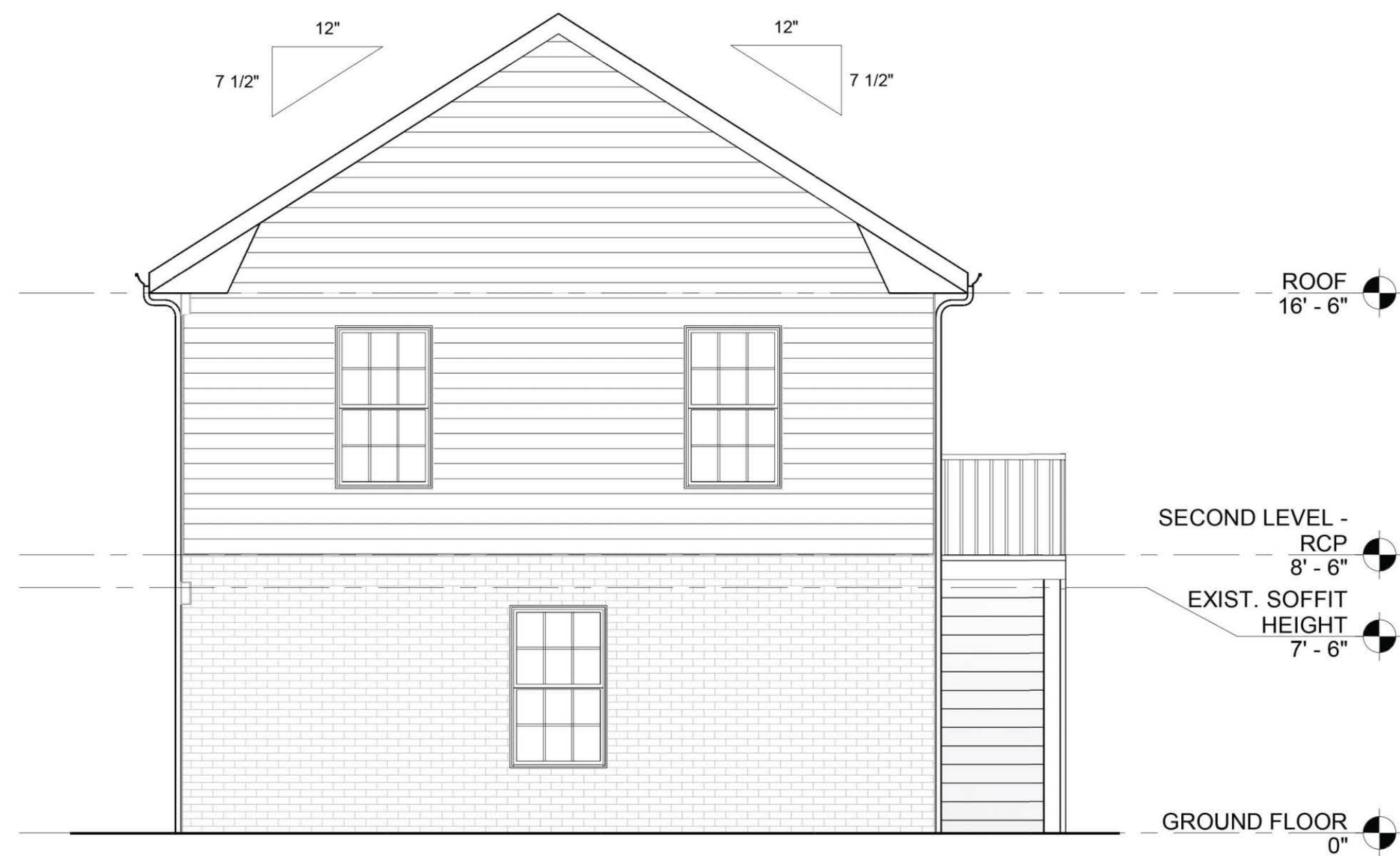
ZONING: R-3, R100 Unincorporated Dekalb County

APPLICABLE CODES

International Residential Code, 2012 Edition, with GA Amendments (2015)

IECC 2009, with GA Amendment

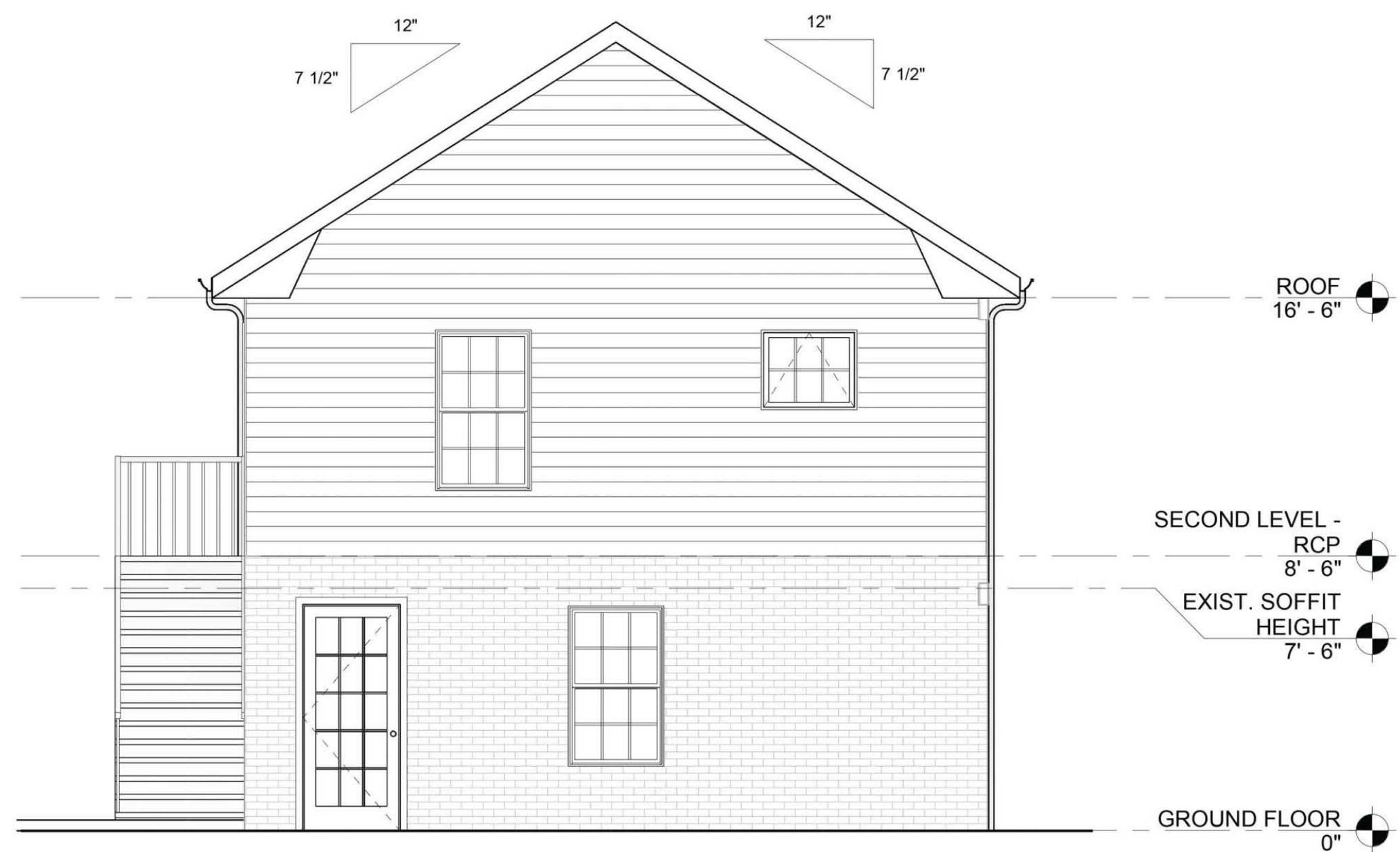
<div>MILES PLACE</div> <div>BOSSELMAN RESIDENCE</div> <div>4046 WEMBLEY FOREST WAY ATLANTA, GA 30340</div>		
PRINT RECORD		
No.	Date	Description
Drawn By		Checked By Checker
Date 03/29/2022		Job No.
Sheet Title		
COVER SHEET		
Sheet No.		
CS-1.01		



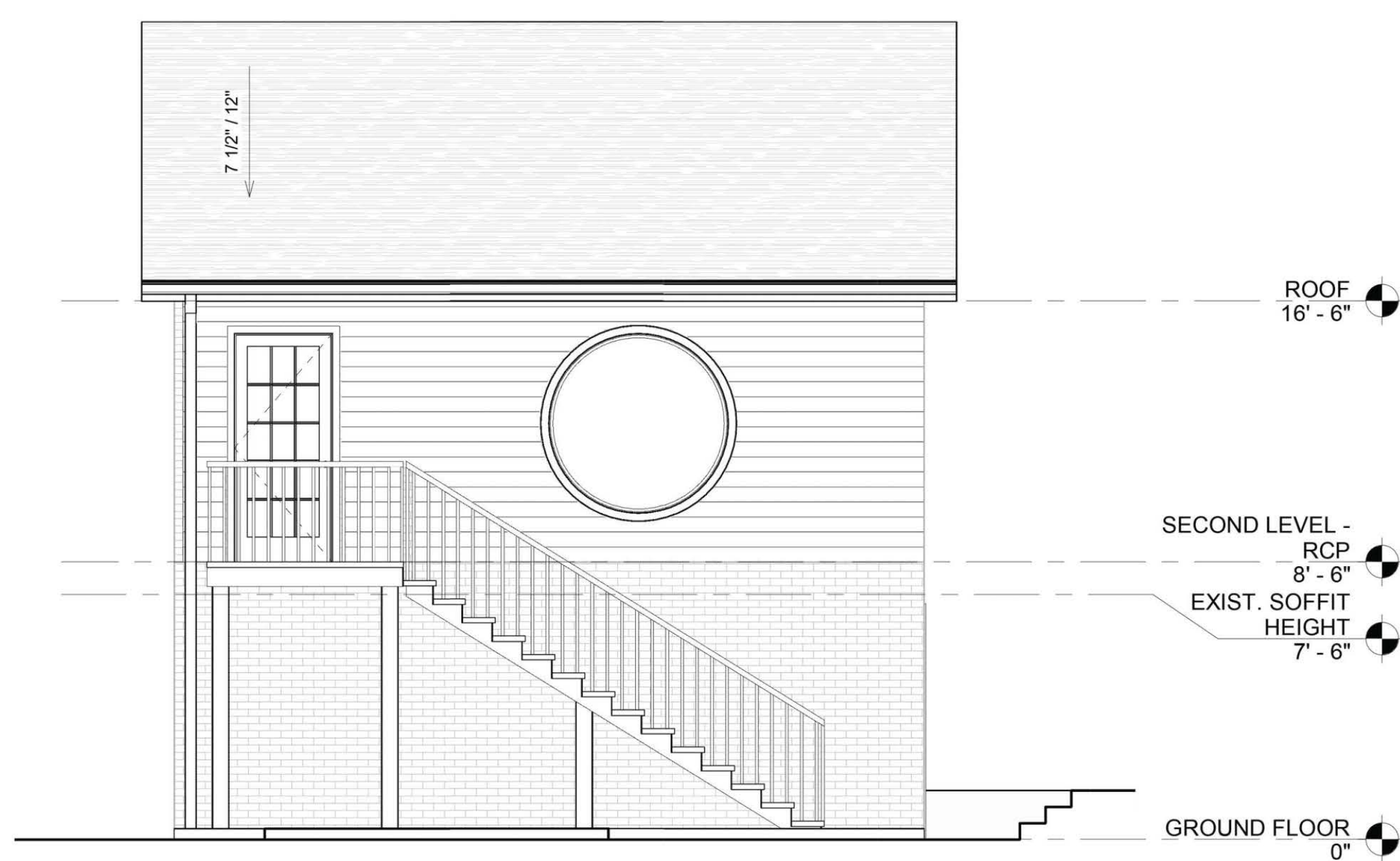
4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MILES PLACE
BOSSELMAN RESIDENCE
4046 WEMBLEY FOREST WAY
ATLANTA, GA 30340

PRINT RECORD
No. DATE DESCRIPTION

Drawn By MG Checked By DS

Date 10/29/2024 Job No.

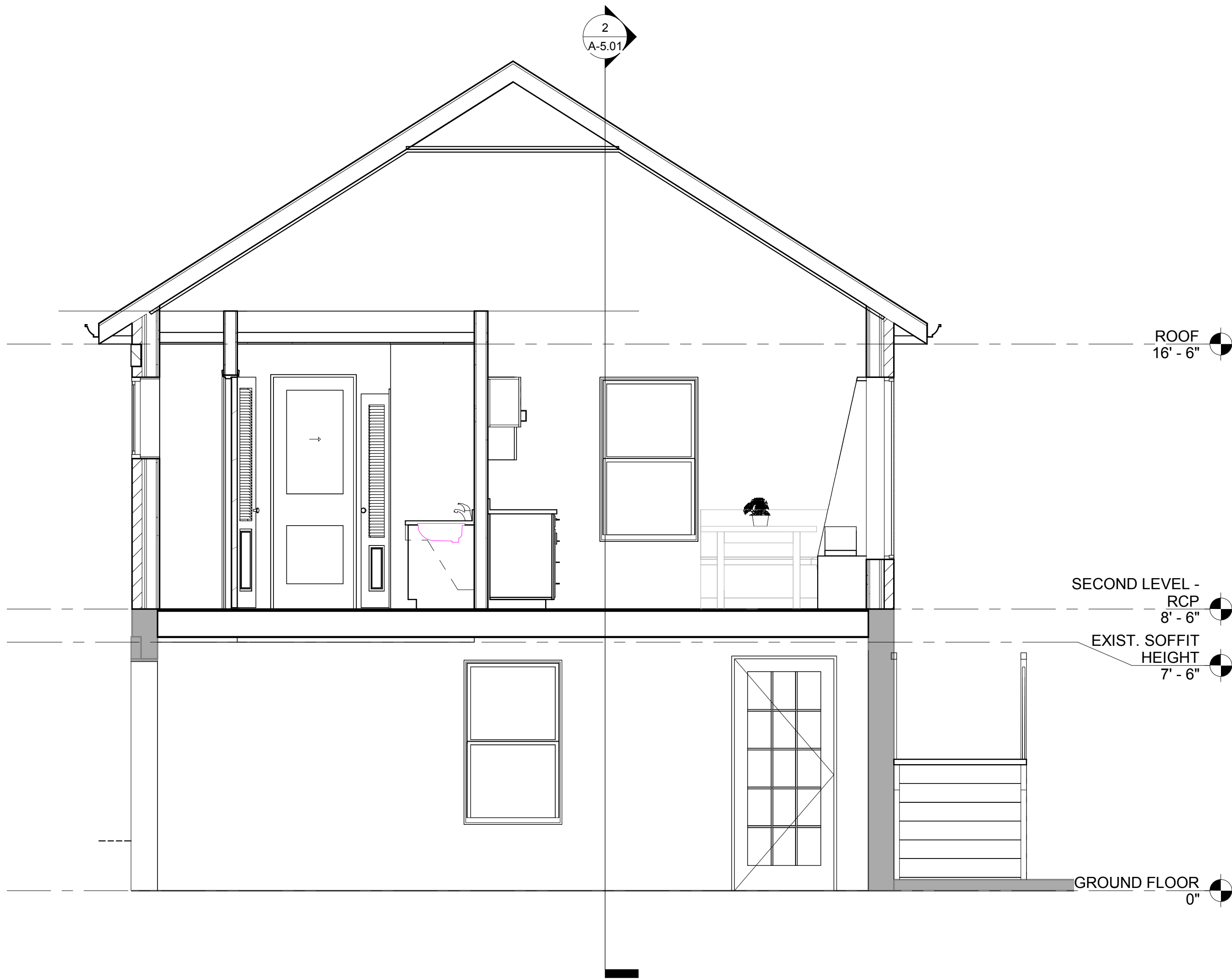
Sheet Title

**EXTERIOR
ELEVATIONS**

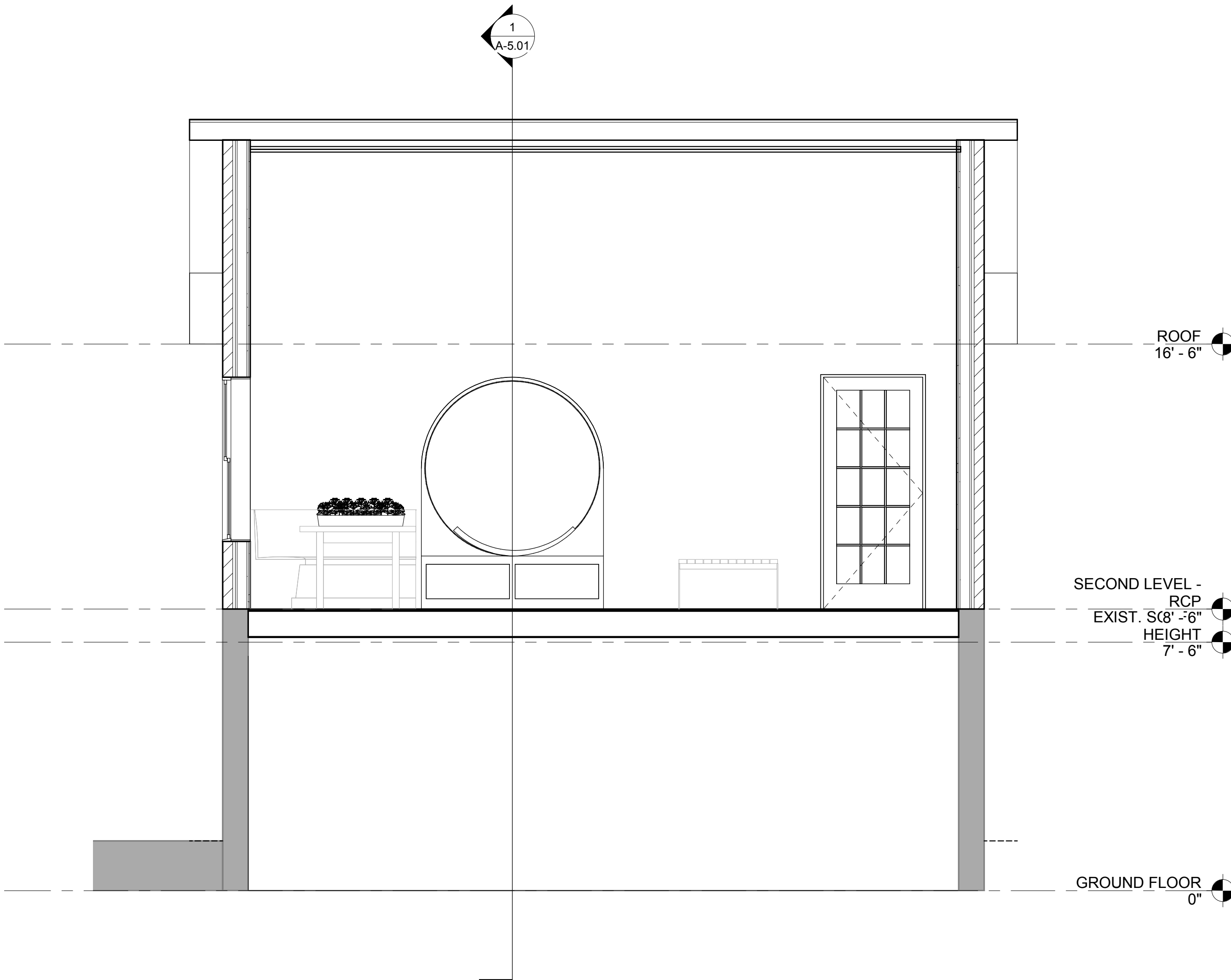
Sheet No.

A-2.01

3/29/2021 03:22 PM
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1 SECTION 1
SCALE: 3/8" = 1'-0"



2 SECTION 2
SCALE: 3/8" = 1'-0"

MILES PLACE
BOSSELMAN RESIDENCE
4046 WEMBLEY FOREST WAY
ATLANTA, GA 30340

PRINT RECORD

No.	DATE	DESCRIPTION

Drawn By
Author

Checked By
Checker

Date
03/29/2022

Job No.

Sheet Title

Sheet No.

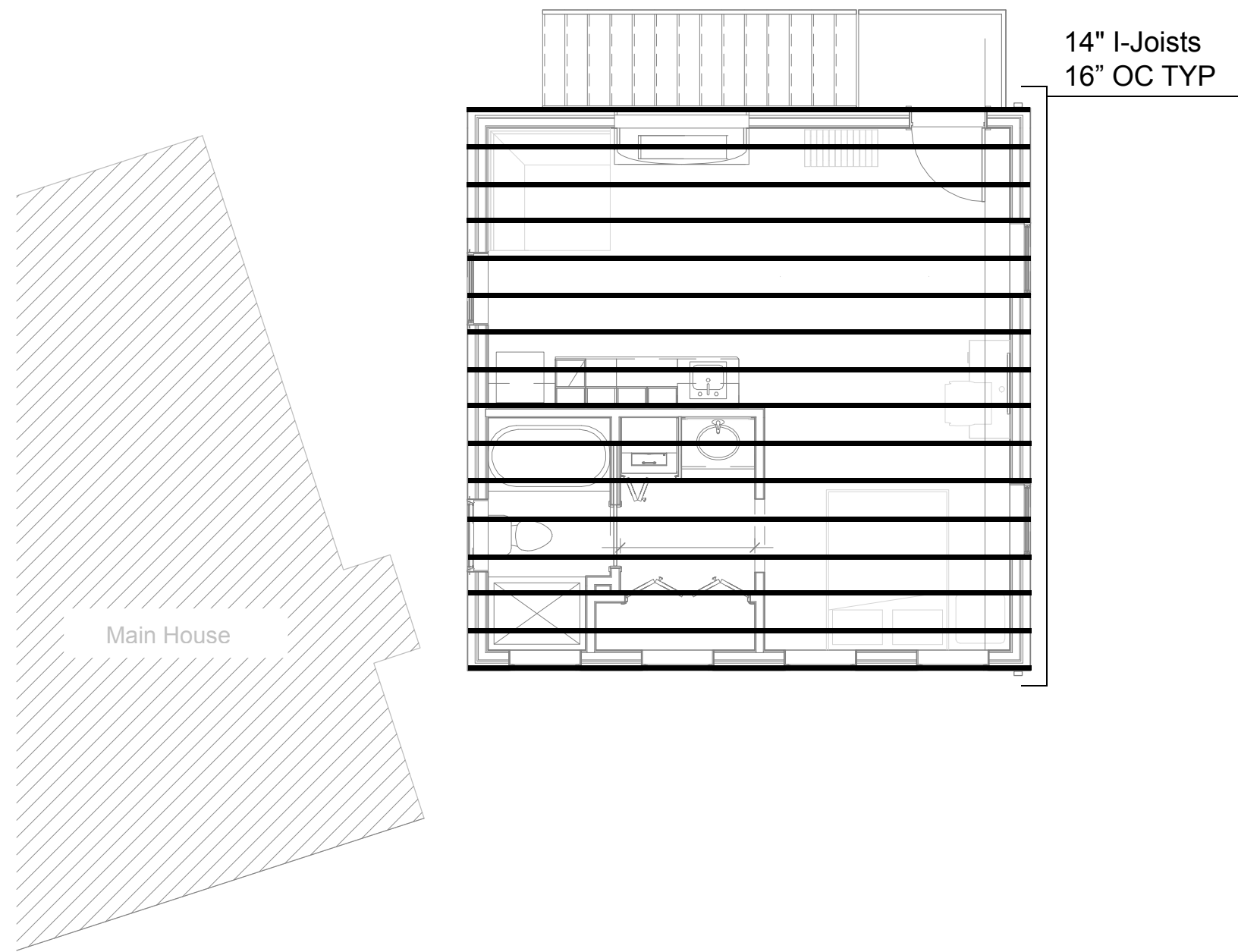
A-5.01

NOT RELEASED FOR CONSTRUCTION

3/29/2021:03:22 PM
D:\FromCdrive\Documents\2022-03-08MilesPlace_teressina5CFF9.rvt

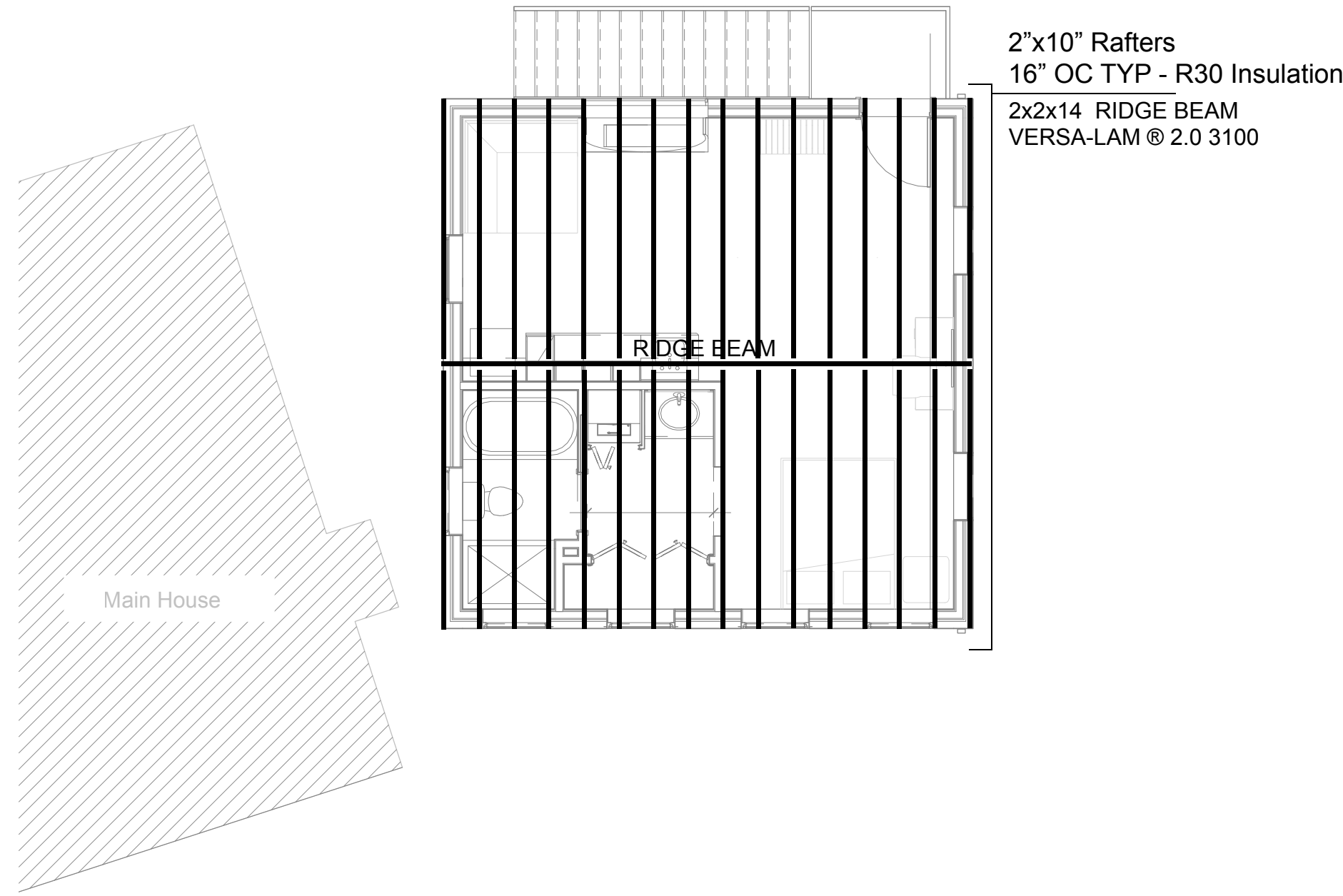
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2nd Floor Framing Plan

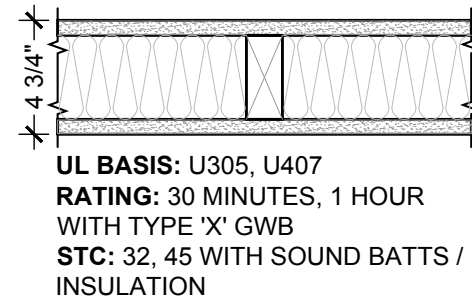


2

Rafters Framing Plan

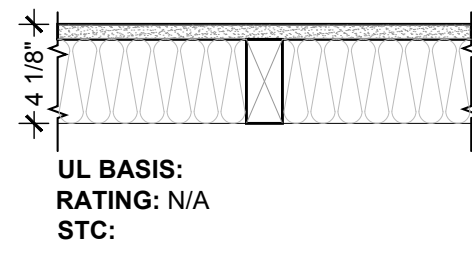


1



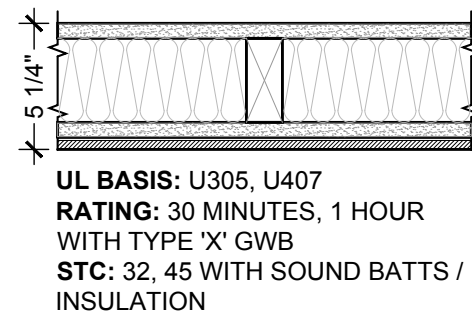
DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON EACH SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB
1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT, PROVIDE SOUND BATTS/INSULATION

2



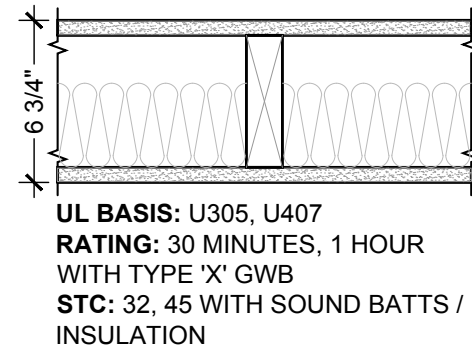
DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT, PROVIDE SOUND BATTS/INSULATION

3



DESCRIPTION: 2X4 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON ONE SIDE, CEMENT BOARD ON THE OTHER, TO RECEIVE THINSET GROUT AND WALL TILE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
1X: FIRE-RATED WALL. PROVIDE TYPE 'X' GWB
1A: ACOUSTICALLY-TREATED WALL. GWB CONTINUES TO DECK; SEAL TOP AND BOTTOM OF WALL (BOTH SIDES) WITH ACOUSTIC SEALANT, PROVIDE SOUND BATTS/INSULATION

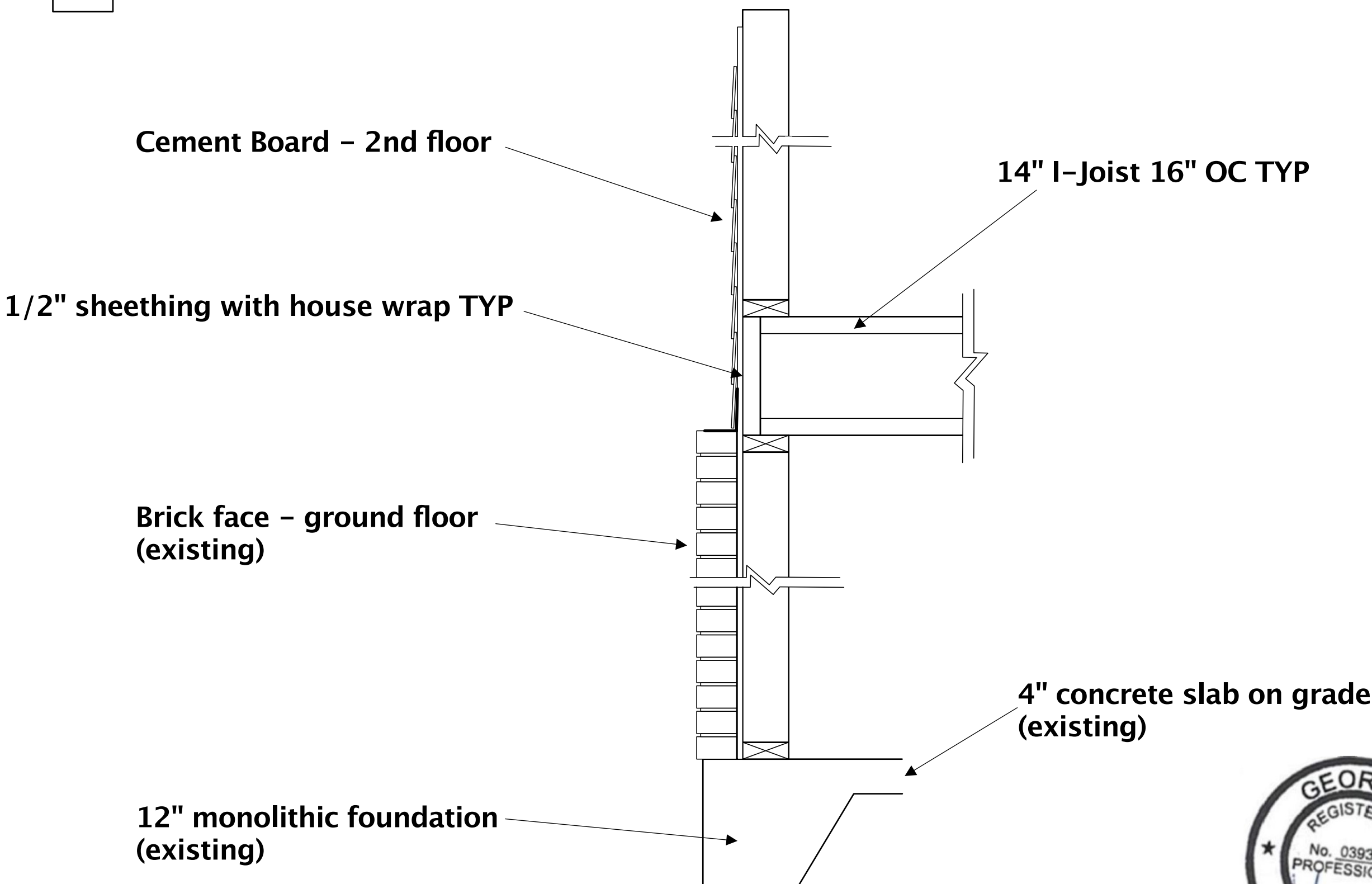
4



DESCRIPTION: 2X6 WOOD FRAMING SPACED 16" ON CENTER (MAX.), WITH (1) LAYER OF 5/8" GYPSUM WALL BOARD ON EACH SIDE. PROVIDE INSULATION IN WALLS BORDERING NON-CONDITIONED SPACES, BATHROOMS, AND MECHANICAL CLOSETS.
VARIABLE DESIGNATIONS:
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D

Foundation / Wall cross section detail



MILES PLACE
BOSELMAN RESIDENCE
4046 WEMBLEY FOREST WAY
ATLANTA, GA 30340

PRINT RECORD

No.	DATE	DESCRIPTION

Drawn By
Author

Checked By
Checker

Date
03/29/2022

Job No.

Sheet Title
INTERIOR RENDERINGS -OPT B

Sheet No.

PR-1.01

NOT RELEASED FOR CONSTRUCTION

BLOCK IS RESERVED FOR THE CLERK OF THE SUPERIOR COURT

SURVEYOR'S NOTES

- THIS SURVEY, PREPARED FOR CLIENT AS SHOWN ON THIS PLAT, REPRESENTS A SPECIFIC SCOPE OF SERVICES. THERE MAY BE OTHER MATTERS OF TITLE, BURDENING OR FAVORING THE SUBJECT PROPERTY, THAT ARE NOT SHOWN HEREON.
- THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT EXPRESS RECTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
- ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- CONVENTIONAL SURVEY MEASUREMENTS WERE OBTAINED WITH A GEOMAX ZCD1165. GNSS SURVEY MEASUREMENTS WERE OBTAINED WITH A EGPS 20T GNSS RECEIVER.
- THE FIELD MEASUREMENTS FOR THE ESTABLISHMENT OF PROJECT CONTROL WAS BASED ON A GNSS SURVEY WITH A EGPS 20T GNSS RECEIVER. THE COORDINATES WERE COMPUTED BY USING EGPS VRS NETWORK.
- THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A RELATIVE POSITIONAL PRECISION OF 2 CM (0.07 FEET) PLUS 50 PARTS PER MILLION.
- THIS PLAT HAS A CLOSURE PRECISION OF ONE FOOT IN 125227 FEET.
- NO 811 DESIGN TICKET WAS ORDER FOR THIS SURVEY.
- LAST FIELD DATE: 12/02/2024

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEY IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

VESTING PARCEL NUMBER

18 288 04 032

FEE AREA

0.476 ACRES (20727 SQ.FT.), MORE OR LESS

ZONNING

R100
MINIMUM LOT AREA - 15000 SQ.FT.)
MINIMUM LOT WIDTH- 100'
MINIMUM LOT FRONTAGE ON ROW: ??'
FRONT SETBACK:
50' (THROUGH DARES)
40' (ARTERIALS)
35' (COLLECTOR)
25' (ALLEY)
SIDE SETBACK: 10'
REAR SETBACK: 40'
MAXIMUM HEIGHT: 35'
MAXIMUM LOT COVERAGE: 35%

SURVEYOR'S REFERENCES

- DEED BOOK 19953, PAGE 596
- PLAT BOOK 65, PAGE 129

SURVEY DATA:

- HORIZONTAL DATUM - BASED UPON THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM, NAD83 (2011), IN FEET. BEARINGS ARE BASED ON SAID COORDINATE SYSTEM AND ESTABLISHED BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK.
- VERTICAL DATUM - NAVD88, IN FEET, ELEVATIONS OBTAINED VIA GNSS DETERMINED FROM GEOID18
- ALL BEARINGS AND DISTANCES SHOWN HEREON ARE SURVEYED UNLESS OTHERWISE NOTED.

FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS NOT LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NUMBER: 13089C0038K WITH AN EFFECTIVE DATE OF AUGUST 15, 2019.

IMPERVIOUS AREA

HOUSE 1236 SQ.FT.
SCREEN PORCH 271 SQ.FT.
BRICK PATIO/POOL: 1635 SQ.FT.
GARAGE: 526 SQ.FT.
CONC DRIVE: 1239 SQ.FT.
PATH/STEPS: 151 SQ.FT.

TOTAL: 5058 SQ.FT

LOT AREA: 20727 SQ.FT

% IMPERVIOUS = 24.4%

N/F
ONAC LLC
PID: 18 288 04 009

20' DRAINAGE EASEMENT
(REF#2)

N/F
MORITZ BOSSELMANN
PID: 18 288 04 032
#4046
LOT 39

N/F
LESLIE CLEMENT ROBINSON &
MATTHEW ROBINSON
PID: 18 288 04 031
#4040
LOT 40

VICINITY MAP



NOT TO SCALE

CERTIFICATION:

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

NORTH SURVEYING AND MAPPING, LLC.

SCOTT C. NORTH
GEORGIA REGISTERED LAND SURVEYOR
STATE OF GEORGIA LICENSE NO. 3176



LAND LOT 288, 18TH DISTRICT, DEKALB COUNTY, GEORGIA
LOT 39, BLOCK C OF WEMBLEY FOREST, UNIT ONE

ABBREVIATION LEGEND

Δ DELTA ANGLE
CB CHORD BEARING AND DISTANCE
CTP CRIMPED TOP PIPE
A ARC LENGTH
LLL LAND LOT LINE
N/F NOW OR FORMERLY
OTP OPEN TOP PIPE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PL PROPERTY LINE
R RADIUS
RB REBAR
RBC REBAR WITH CAP
R/W RIGHT OF WAY
T/L TRANSMISSION LINE

SYMBOL LEGEND

● BENCH MARK
■ MONUMENT FOUND
○ CONCRETE MONUMENT FOUND
□ MONUMENT SET
□ CONCRETE MONUMENT SET
X 917.3 EXISTING SPOT ELEVATION
△ COMPUTED POINT (NOT MONUMENTED)
○ UTILITY POLE
○ FIRE HYDRANT
○ WATER VALVE
○ GAS MARKER
○ ELECTRIC MANHOLE
○ SANITARY SEWER MANHOLE
○ STORM MANHOLE
○ STORM WATER DROP INLET
○ SANITARY SEWER MANHOLE
○ STORM WATER JUNCTION BOX
○ TELEPHONE PEDESTAL/BOX
○ GUY ANCHOR
○ ROAD SIGN
○ FIBER OPTIC MARKER
○ GRATE STORM INLET
○ TELEPHONE MANHOLE
○ WATER METER
○ AIR CONDITIONER
○ GAS METER
○ MAIL BOX
○ SANITARY CLEAN OUT
○ TREE
○ GAS VALVE
○ IRRIGATION CONTROL VALE
○ HAND HOLE
— SUBJECT PROPERTY LINE
— ADJOINER PROPERTY LINE
— RIGHT OF WAY LINE
- - - EXISTING FENCE (TYP)
- - - EXISTING 115KV TRANSMISSION LINE
- - - EXISTING 46KV TRANSMISSION LINE
- - - OVERHEAD DISTRIBUTION LINE
- - - EXISTING EASEMENT
- - - LAND LOT LINE
- - - UNDERGROUND UNKNOWN UTILITY
- - - TREE LINE
- - - UNDERGROUND COMMUNICATION LINE
- - - UNDERGROUND WATER LINE
- - - UNDERGROUND GAS LINE
- - - OVERHEAD DISTRIBUTION LINE
- - - UNDERGROUND DISTRIBUTION LINE
- - - SANITARY SEWER LINE
- - - STORM PIPE
- - - ASPHALT
- - - GRAVEL
- - - CONCRETE
- - - DRAINAGE DITCH

SHEET 1 OF 1

BOUNDARY SURVEY OF
PID 18 288 04 032
4046 WEMBLEY FOREST WAY,
DORAVILLE, DEKALB COUNTY GEORGIA
FOR MORITZ BOSSELMANN

PROJECT NAME: 4046 WEMBLEY FOREST WAY
PROJECT #: 2400276
DATE: 12/02/2024
SCALE: 1"=100'
SURVEYOR: SCOTT NORTH
TECHNICIAN: SCOTT NORTH
CREW CHIEF: SCOTT NORTH
FIELD BOOK: 24-07

10711 DEAN DRIVE NW
ATLANTA GEORGIA 30318
404-203-1147
GEORGIA COA: LCF001411



January 16, 2025

Letter of Support

To the Dekalb County Department of Planning & Sustainability
Zoning Board of Appeals
178 Sams Street, Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Re: Zoning variance application of the Bosselmann family for building a garage ADU at 4046 Wembley Forest Way, Atlanta, GA 30340

Esteemed Zoning Board of Appeals,

My name is Sue Hsu located at 4052

Wembley Forest Way, and I am a neighbor of the Bosselmann family.

I support the Bosselmanns' application for a zoning variance. Our neighborhood was built in the late 1970s before current zoning guidelines were established, and I feel that it would impose undue hardship to Moritz Bosselmann and his family if the Board were to interpret the current guidelines strictly, resulting in the Bosselmanns' inability to build a garage apartment for their adult son with Autism.

I feel that the approval of a zoning variance is justified in this case.

Having seen the Bosselmanns' property and being aware of the steep terrain on which it is located, it is obvious to me that the garage is the only feasible area on the parcel where an apartment could be built.

I consider the Bosselmann family good neighbors who keep their home in aesthetically appealing shape. I have seen the architectural drawings for the second story apartment, and believe that it will not disturb rather than enhance the look of the neighborhood.

Thank you for your consideration and approval of the Bosselmann zoning variance application.

Name: Sue Hsu

Signature: Sue W Hsu

January 16, 2025

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My name is FRANK DOMINA located at 4035

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Name: Frank T. Domina

Signature: Frank T. Domina

January 16, 2025

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Esteemed Zoning Board of Appeals,

My name is Jennifer Chang located at 4058

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Signature: Jennifer Chang

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My name is Matthew E Robinson located at 4040

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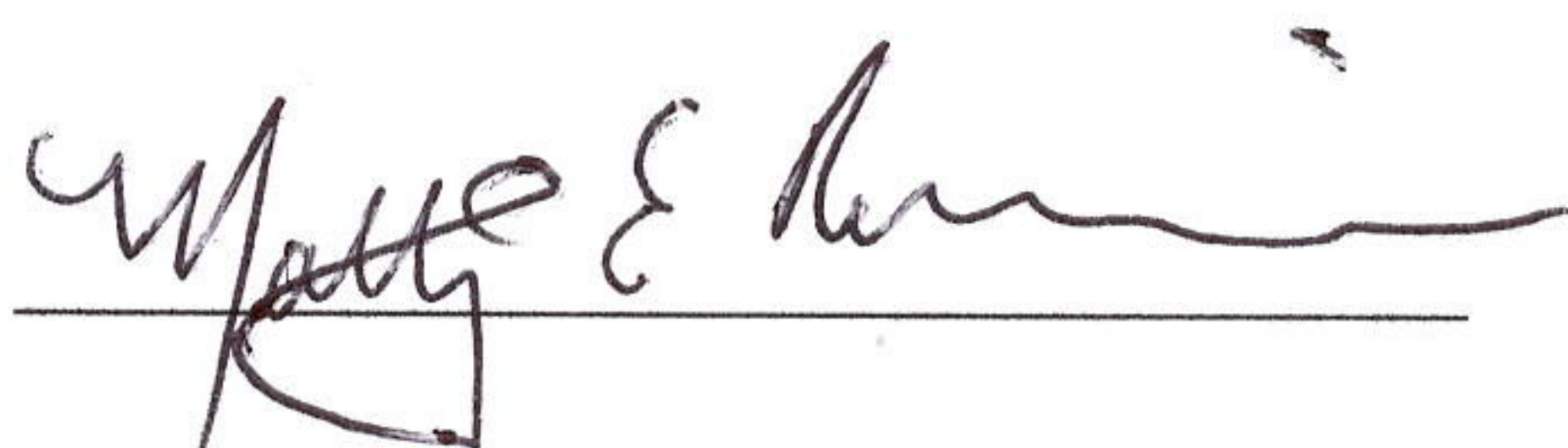
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Name: Matthew E Robinson

Signature: 

January 16, 2025

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Signature: Sue W Hsu

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