

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: Amanda Johnson/ Small Carpenters At Large, Inc.
Mailing Address: 1830 DeKalb Ave.
City/State/Zip Code: Atlanta, GA 30307
Email: Amanda@smallcarpenters.com
Telephone Home: _____ Business: 404-688-7665

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: Kate Russell
Address (Mailing): 2426 Blackmon Dr., Decatur, GA 30033
Email: krussellquotes@gmail.com Telephone Home: 678-227-0185 Business: _____

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 2426 Blackmon Dr. City: Decatur State: GA Zip: 30033
District(s): 18th Land Lot(s): 49 Block: A Parcel: 2
Zoning Classification: R-75 Commission District & Super District: 2/6

CHECK TYPE OF HEARING REQUESTED:

- ☒ X VARIANCE (From Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

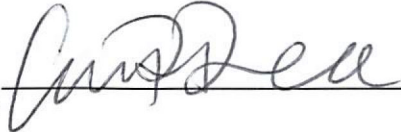
AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 4-8-2025

Applicant
Signature: 

DATE: _____

Applicant
Signature: _____

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 4.22.2025

Applicant/Agent
Signature:

Manda Phum

TO WHOM IT MAY CONCERN:

(I)/ (WE): Kate Russell
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

Theresa Same
Notary Public



Chris Dell
Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature

Subject: Variance request for Side & Rear Yard Setback Reduction –
Section 27-2.2.1

Dear Members of the Zoning Board of Appeals,

My name is Amanda Johnson, and I am the co-owner of Small Carpenters At Large, a local design-build firm. The property owners at **2426 Blackmon Drive** in Decatur asked us to design and build two phases of renovations to their home. Phase I includes replacing their existing rear deck & steps within the existing footprint and converting a portion of the space into a screened porch. Phase II includes building a partial second story addition and replacing the front stoop with a covered entry porch. Because the original home is non-conforming and sits over the side and rear setback lines, we are formally requesting a variance from Section 27-2.2.1 of the DeKalb County Zoning Ordinance to reduce the side yard setback from 20' to 11' and the rear yard setback from 40' to 21'.

1. Physical Conditions of the Site:

This corner lot presents very restrictive setbacks. The original home was built in 1947 and sits over the current building setback lines, making it a legal non-conforming home. The proposed renovations will come no closer to the setback lines than the home does currently.

2. Minimum Variance Necessary:

Our proposed renovations will stay within the existing footprint of the home. The back porch and deck will sit no closer to the property lines than the existing deck does now. The proposed second-story addition will only sit over a portion of the existing home and will only expand upwards to provide the homeowners with more living space. Most of the second-floor addition will sit within the building setbacks. The proposed covered entry porch will be slightly larger than the existing stoop, but it will sit completely within the allowable buildable area.

3. Public Welfare:

The proposed changes to this property will not have any negative impact on the neighboring homes and community. The reduced setback will not harm public welfare, neighboring properties, or any improvements in the R-75 zoning district. The overall design will improve the home aesthetically, and the proposed screened porch will provide more privacy for both the homeowners and their adjacent neighbors.

4. Ordinance Hardship:

Strict interpretation of the zoning laws would cause undue hardship for the homeowners and prevent any meaningful improvement to the property. The proposed changes would improve the comfort, functionality, livability and aesthetics of the home with minimum impact on the neighboring lots and community.

5. Alignment with the Spirit of the Law:

Our proposed renovations would support the intent of Town Center including increasing the livable square footage of the home, addressing the housing shortage, and promoting higher density residential which supports goals of promoting walkability and transit usage in this area. The changes are appropriate for this particular home that sits near medium intensity commercial/institutional properties.

We have made a sincere effort to ensure our proposed project aligns with the broader goals of this DeKalb County community and appreciate your time and consideration of our variance request.

Sincerely,

A handwritten signature in black ink, appearing to read "Amanda Johnson", with a long horizontal flourish extending to the right.

Amanda Johnson
Small Carpenters At Large, Inc.
1830 DeKalb Ave.
Atlanta, GA 30307
404-688-7665

2426 Blackmon Dr.



Figure 1: Front elevation



Figure 2: Back elevation

* L E G E N D *

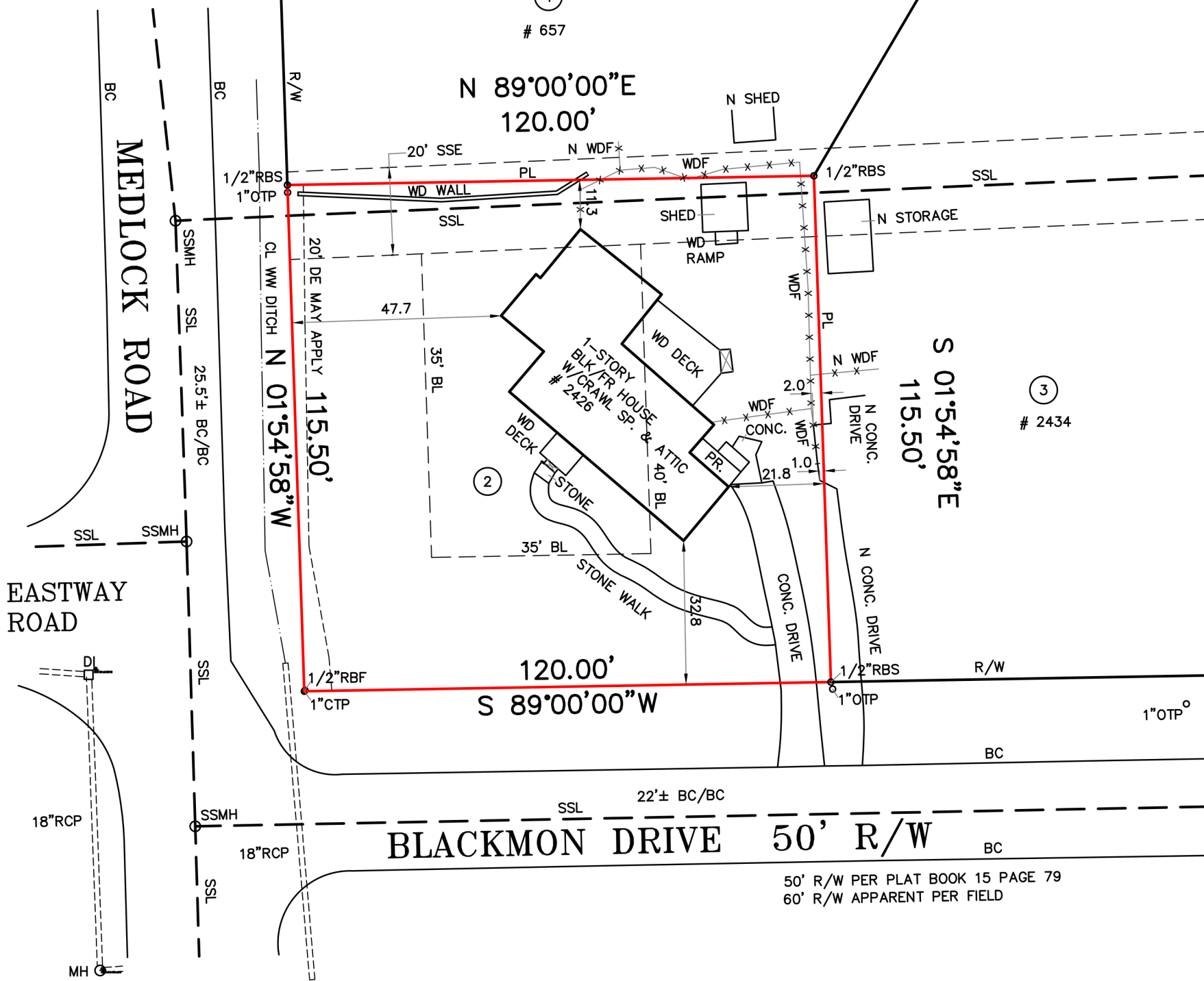
POB	POINT OF BEGINNING	IPF	IRON PIN FOUND
LL	LAND LOT LINE	IPS	IRON PIN SET
MH	MAN HOLE	OTP	OPEN TOP PIPE FOUND
SSL	SANITARY SEWER LINE	CTP	CRIMP TOP PIPE FOUND
CO	SAN SEWER CLEANOUT	RB	REINFORCING BAR
CB	CATCH BASIN	RBF	REINFORCING BAR FOUND
JB	JUNCTION BOX	RBS	REINFORCING BAR SET
DI	DRAINAGE INLET	MAG	MAGNETIC READING
YI	YARD INLET	AIF	ANGLE IRON FOUND
HW	HEAD WALL	CP	CALCULATED POINT
PP	POWER POLE	-X-X	FENCE
LP	LIGHT POLE	CLF	CHAIN LINK FENCE
PW	POWER LINE	WDF	WOOD FENCE
GW	GUY WIRE	WRF	WIRE FENCE
SSE	SANITARY SEWER ESMT.	IRF	IRON FENCE
DE	DRAINAGE EASEMENT	FC	FENCE CORNER
UE	UTILITY EASEMENT	WW	WET WEATHER
AE	ACCESS EASEMENT	BL	BUILDING LINE
TB	TOP OF BANK	R/W	RIGHT-OF-WAY
BB	BOTTOM OF BANK	PC	PROPERTY CORNER
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
RCP	REINFORCED CONC. PIPE	CL	CENTER LINE
APP	AS PER PLAT	CPT	CARPORT
APD	AS PER DEED	SP	SCREEN PORCH
APR	AS PER RECORD	PR	PORCH
APF	AS PER FIELD	PT	PATIO
BC	BACK OF CURB	SH	SHED
EP	EDGE OF PAVEMENT	STR	STORAGE
EB	ELECTRIC POWER BOX	FH	FIRE HYDRANT
EM	ELECTRIC METER	CBX	CABLE BOX
GM	GAS METER	COL	COLUMN
GV	GAS VALVE	BLK	BLOCK
WM	WATER METER	BR	BRICK
WV	WATER VALVE	FR	FRAME
OH	OVERHANG	WD	WOOD
LND	LANDING	SN	SIGN
OU	OWNERSHIP UNCLEAR	PLAT	PLAT
AC	AIR-CONDITION	DEED	DEED
CONC.	CONCRETE	RECORD	RECORD
ATTB	ATT BOX	FIELD	FIELD
		N	N'BORS.

INDICATES STAIRS

SURVEY NOTES:

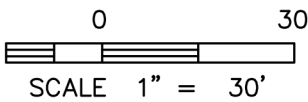
1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE USSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

DEKALB COUNTY ZONING R-75
BUILDING SETBACK LINE:
FRONT 35'
SIDE 7.5'
REAR 40'
MAX. LOT COVERAGE 35%



PROPERTY ADDRESS:
2426 BLACKMON DRIVE
DECATUR, GA 30033

LAND AREA:
0.318 AC



PAPER FORMAT 11"x17"

PLAT PREPARED FOR:

KATE RUSSELL

LOT 2 BLOCK A
SUBDIVISION SCOTT HIGHLANDS UNIT
LAND LOT 49 18TH DISTRICT SECTION
DEKALB COUNTY, GEORGIA

FIELD WORK DATE JAN 23, 2025 PRINTED/SIGNED JAN 27, 2024
PLAT BOOK 15 ,PAGE 79 ALL MATTERS PERTAINING
DEED BOOK 25879 ,PAGE 230 TO TITLE ARE EXCEPTED

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

SJ
COORD # 20250017
DWG # 20250017

SURVEY LAND EXPRESS, INC.
LAND SURVEYING SERVICES

24 LENOX POINTE,
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

Existing Site Plan - 1" = 30'-0"

N 89°00'00"E
120.00'

MEDLOCK ROAD

EASTWAY
ROAD

Phase 1: Replace deck with
sawned porch &
smaller deck in
same footprint

3
2434

S 01°54'58"E
115.50'

- Phase 4: (2)
Add partial
second story &
replace entry
stair with
covered porch

120.00'
S 89°00'00"W

BLACKMON ^{SSL} DRIVE 50' R/W

50' R/W PER PLAT BOOK 15 PAGE 79
60' R/W APPARENT PER FIELD

Proposed Site Plan - 1" = 30'-0"

N 89°00'00"E
120.00'

MEDLOCK ROAD

EASTWAY
ROAD

201 DE MAY APPLY 115.50'
CL WW DITCH N 01°54'58"W

Phase 2
second
story d
cov. (2)
entry
porch

120.00'
S 89°00'00"W

BLACKMON DRIVE 50' R/W

50' R/W PER PLAT BOOK 15 PAGE 79
60' R/W APPARENT PER FIELD

S 01°54'58"E
115.50'

③
2434

2426 Blackmon Drive Lot Coverage Information

Existing Lot Coverage:

Lot = 0.318 AC, 13,852 SF

House = 752 SF

Front stoop & steps = 45 SF

Front walkway = 135 SF

Driveway = 450 SF

Side covered porch = 69 SF

Back deck & steps = 308 SF

Shed & ramp = 136 SF

Total lot coverage = 1895 SF, 13.68%

Total F.A.R. = 752 first floor SF + 376 second floor SF = 1128 SF, 8.14%

Proposed Lot Coverage:

Lot = 0.318 AC, 13,852 SF

House = 752 SF

Front stoop & steps = 87 SF

Front walkway = 135 SF

Driveway = 450 SF

Side covered porch = 69 SF

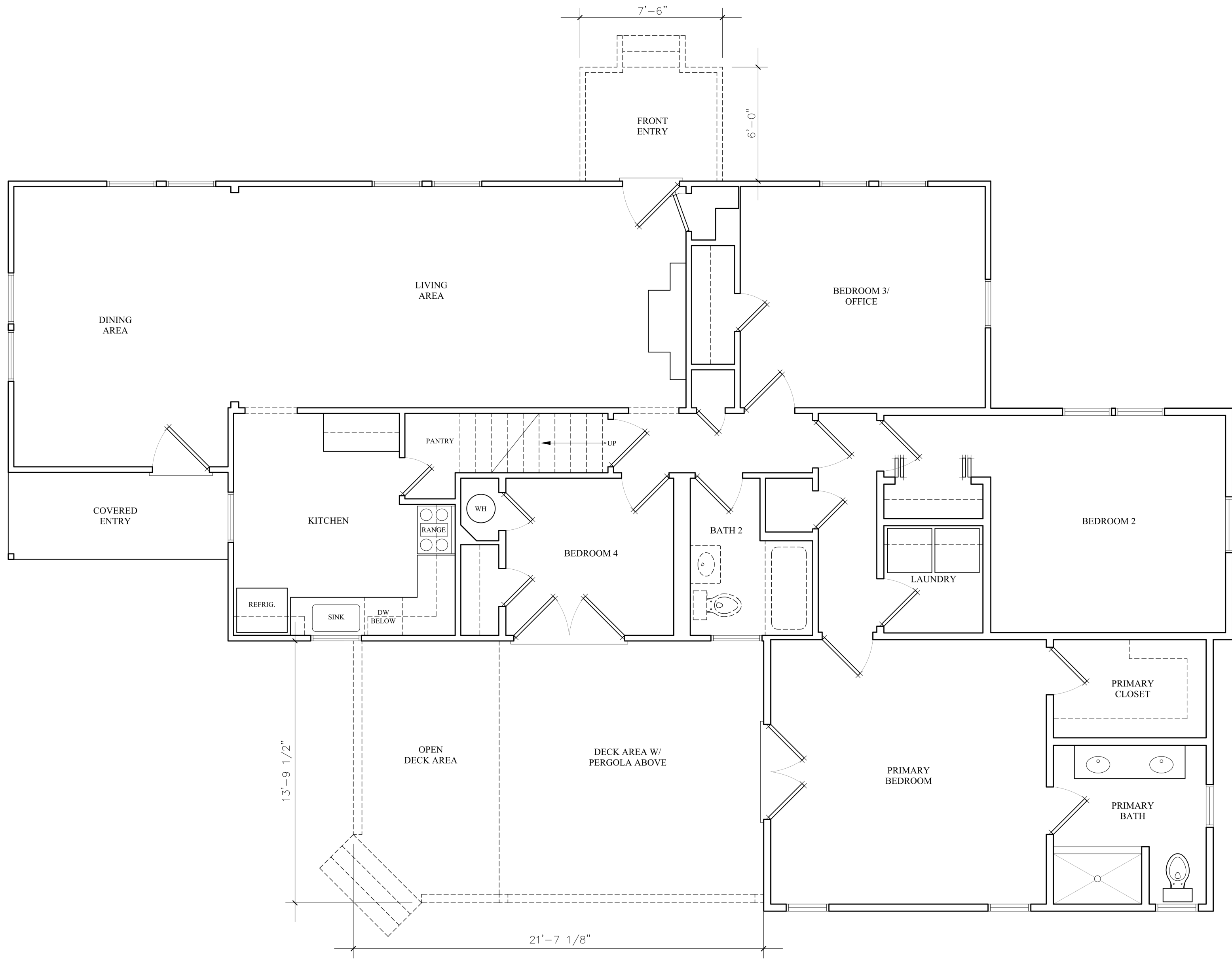
Back screened porch = 192 SF

Back deck & steps = 116 SF

Shed & ramp = 136 SF

Total lot coverage = 1937 SF, 13.98%

Total F.A.R. = 752 first floor SF + 865 second floor SF = 1617 SF, 11.67%



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALLS/ PARTITIONS TO REMAIN
- EXISTING WALLS/ STRUCTURE/ CABINETS TO BE REMOVED
- NEW WALLS/ PARTITIONS

REVISIONS	BY

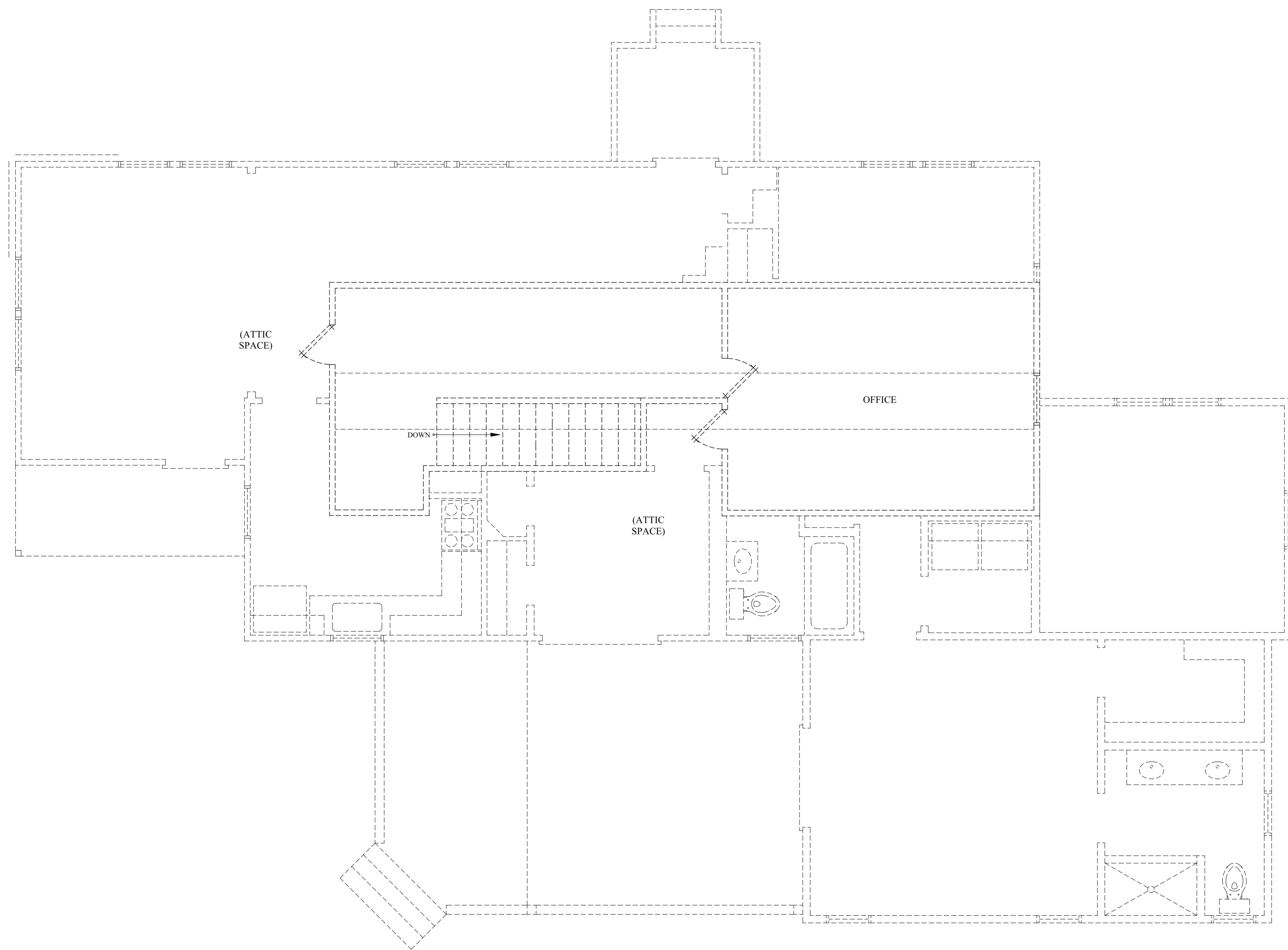


1830 DEKALB AVE.
ATLANTA, GA 30307
(404) 688 - 7665

A Renovation to the: MINOR-RUSSELL RESIDENCE
2426 BLACKMON DR.
DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601

A1



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALLS/ PARTITIONS TO REMAIN
	EXISTING WALLS/ STRUCTURE/ CABINETS TO BE REMOVED
	NEW WALLS/ PARTITIONS

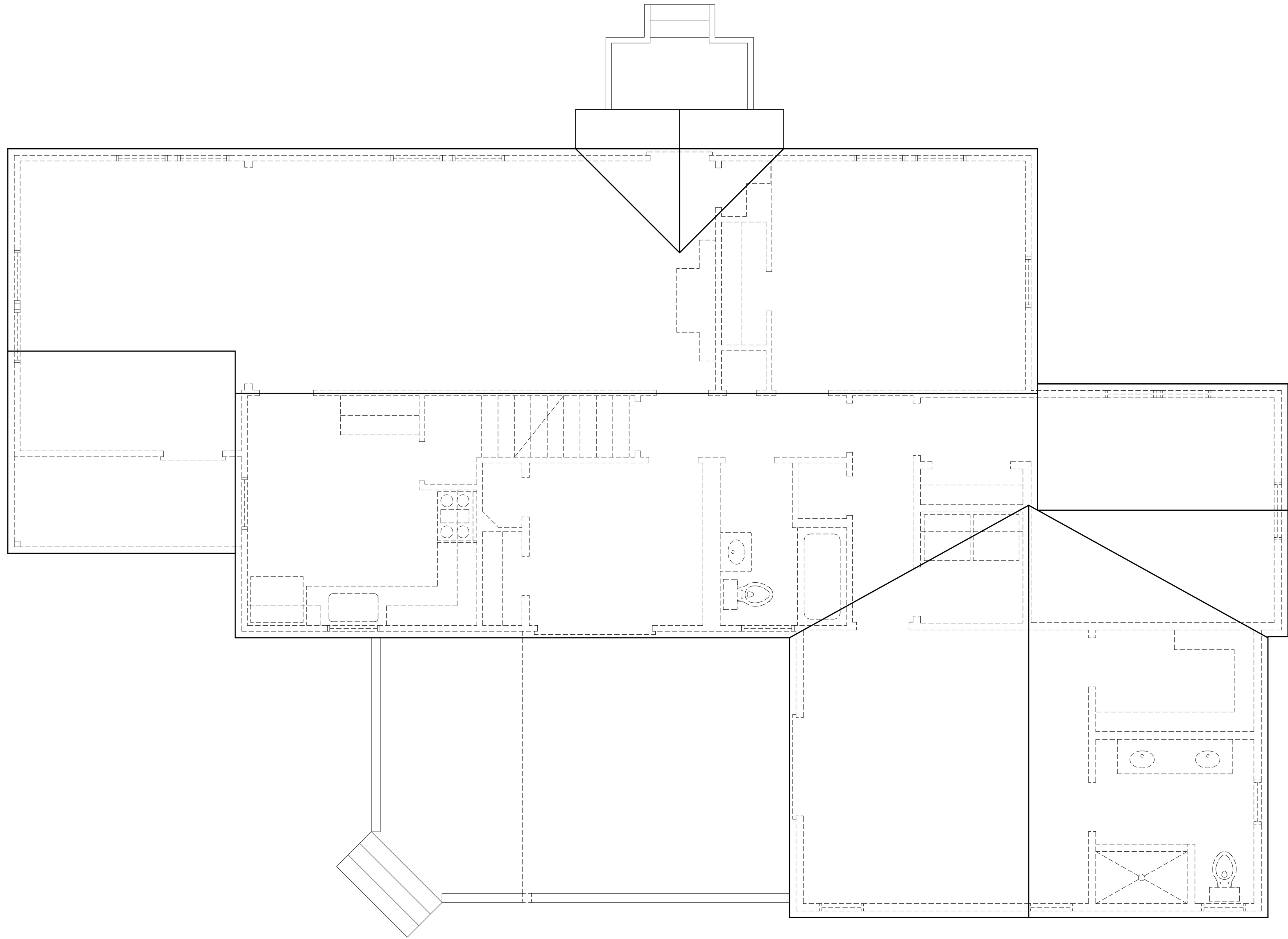
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JOB NO.	98601



1 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	BY



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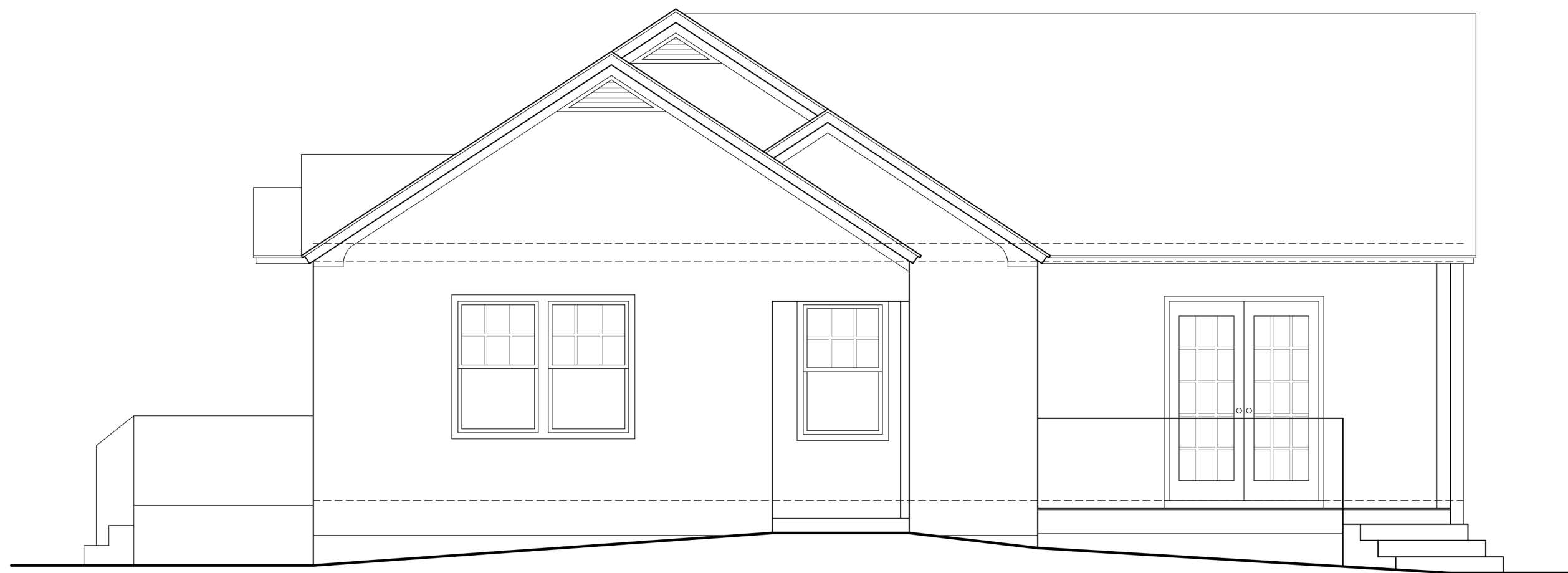
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DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601

A3



1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY



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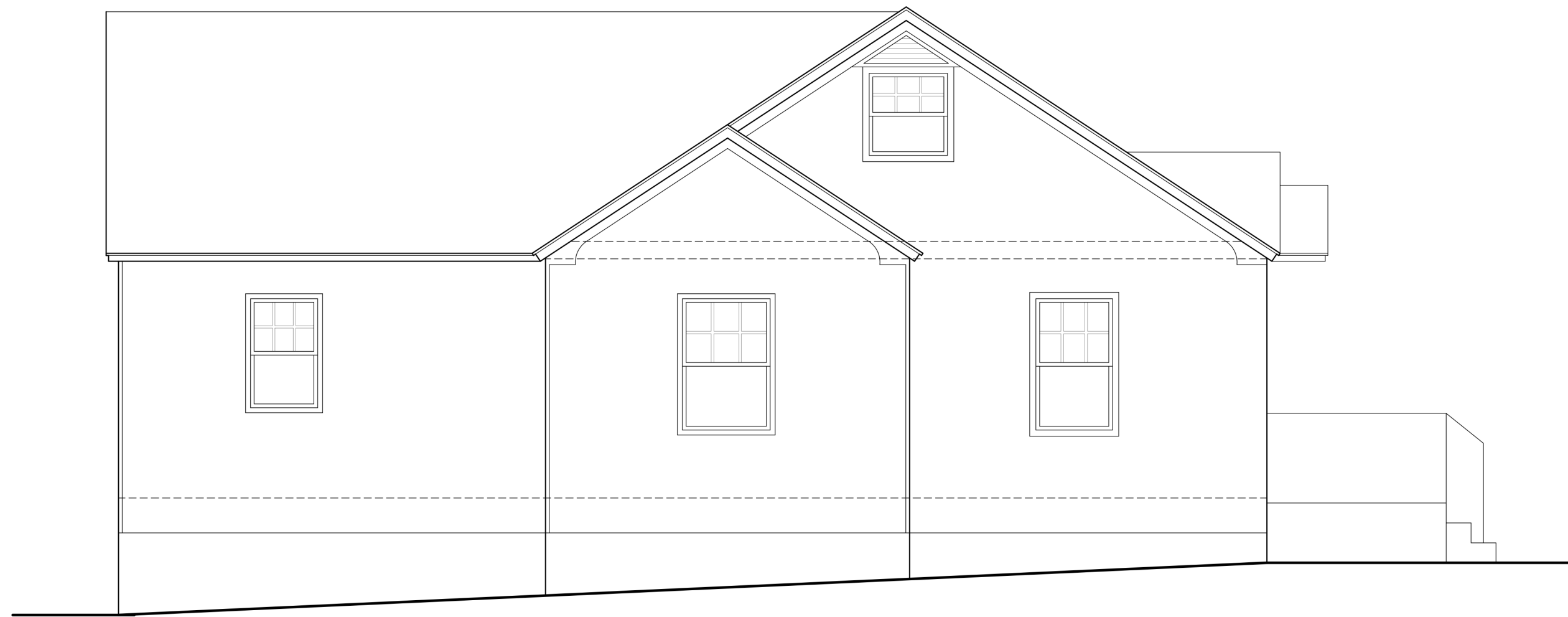
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DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601

A4



1 EXISTING BACK ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

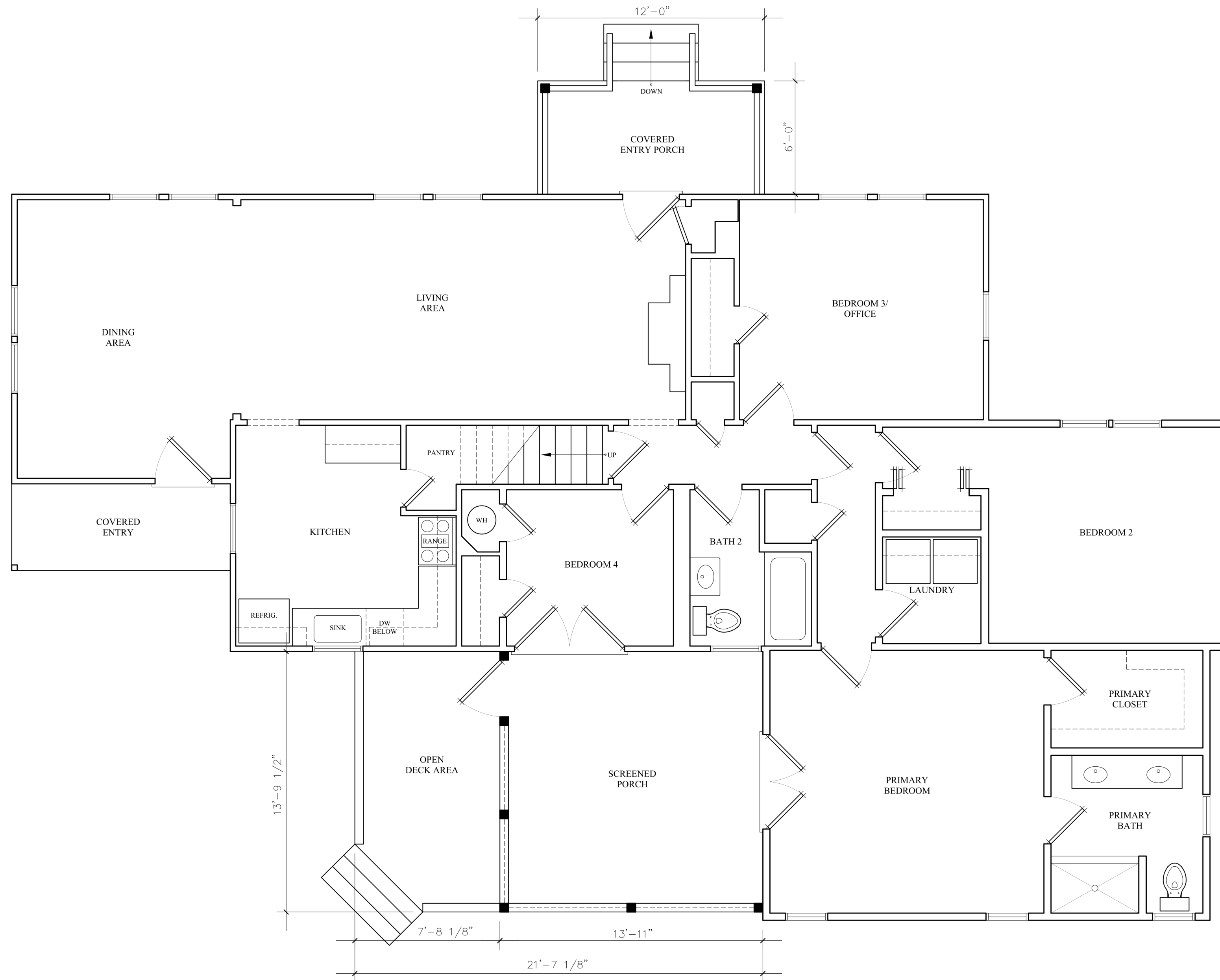
REVISIONS	BY



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A Renovation to the: MINOR-RUSSELL RESIDENCE
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DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALLS/ PARTITIONS TO REMAIN
	EXISTING WALLS/ STRUCTURE/ CABINETS TO BE REMOVED
	NEW WALLS/ PARTITIONS

REVISIONS	BY

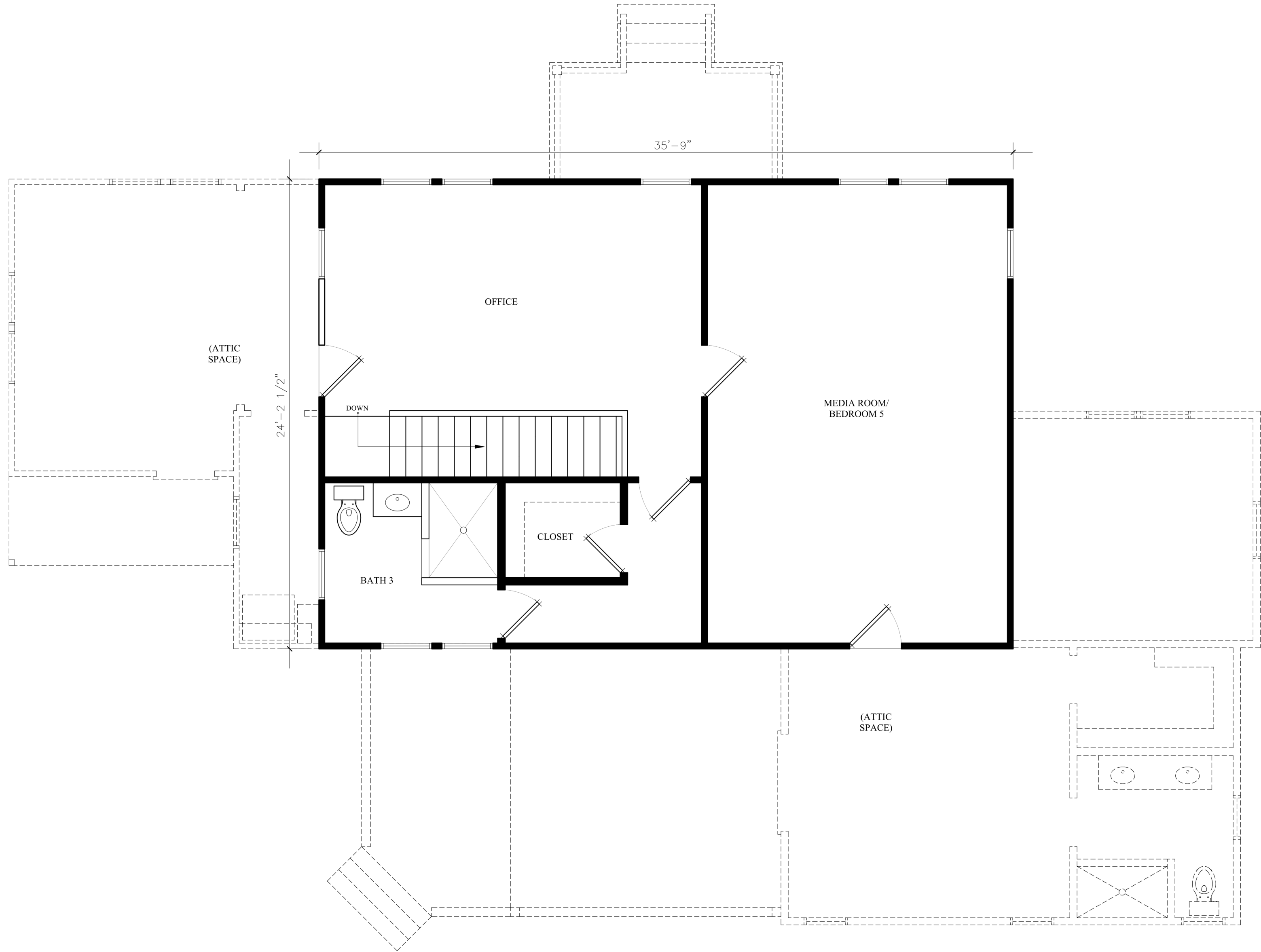


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A Renovation to the: MINOR-RUSSELL RESIDENCE
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DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601

A6



1 **PROPOSED SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALLS/ PARTITIONS TO REMAIN
- EXISTING WALLS/ STRUCTURE/ CABINETS TO BE REMOVED
- NEW WALLS/ PARTITIONS

REVISIONS	BY

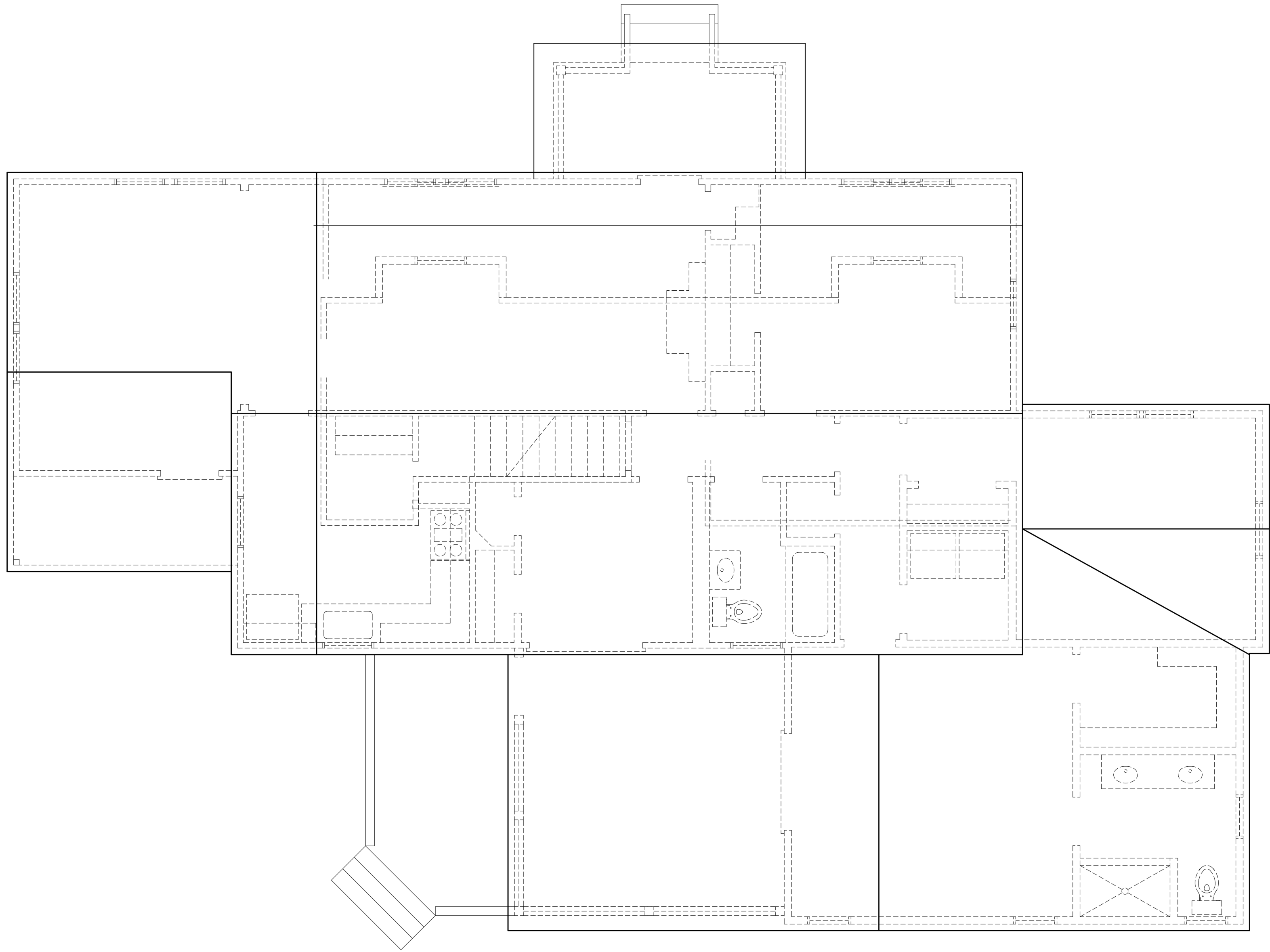


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A Renovation to the: **MINOR-RUSSELL RESIDENCE**
2426 BLACKMON DR.
DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601

A7



1 **PROPOSED ROOF PLAN**
SCALE: 1/4" = 1'-0"

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A Renovation to the: **MINOR-RUSSELL RESIDENCE**
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DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601

A8

28'-1 5/8"



1

PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2

PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	BY



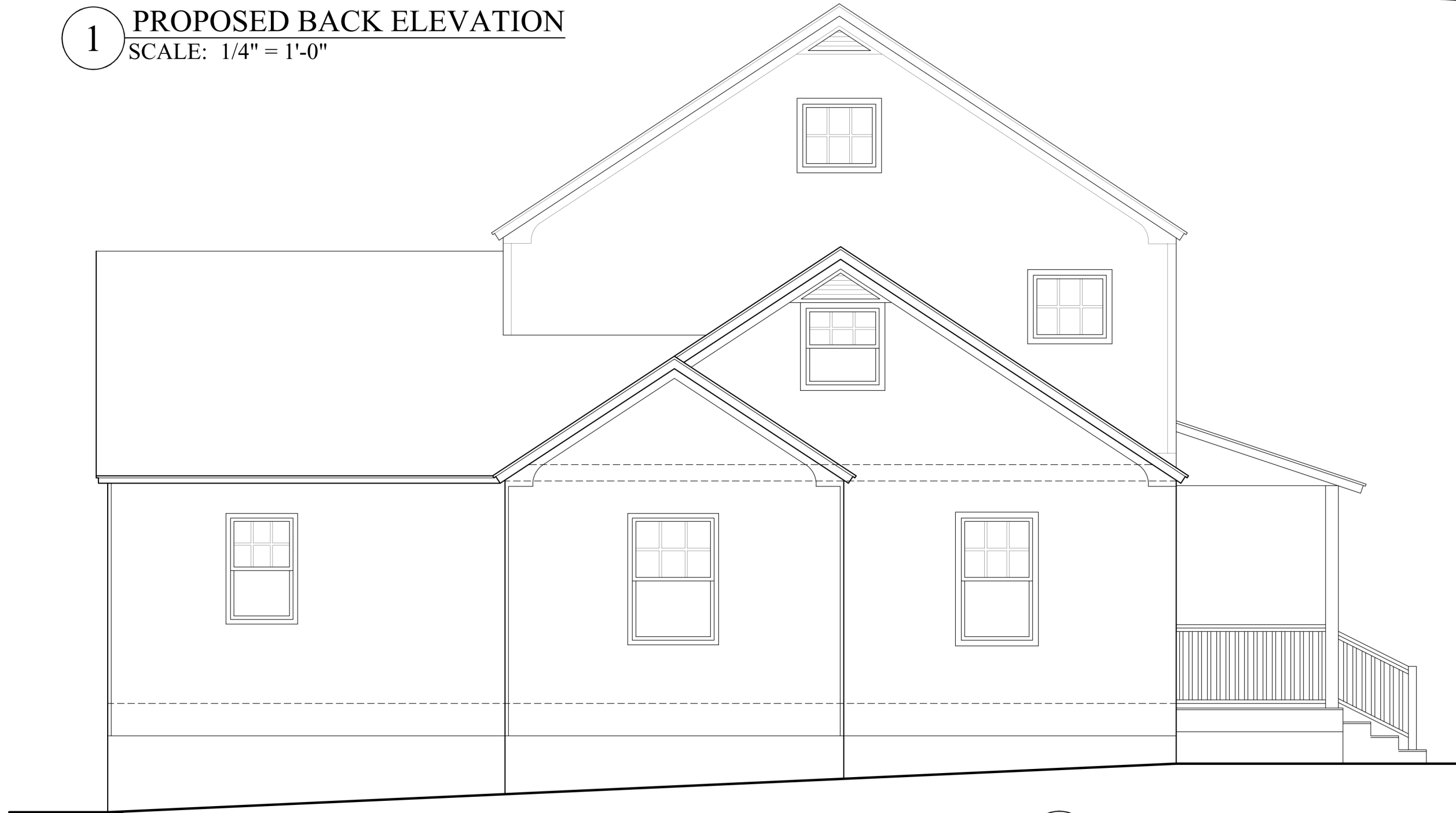
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DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601



1 PROPOSED BACK ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	BY



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A Renovation to the: MINOR-RUSSELL RESIDENCE
2426 BLACKMON DR.
DECATUR, GA 30033

DATE	4.22.2025
SCALE	AS SHOWN
DRAWN	AMJ
JOB NO.	98601

A10

Kate Russell
2426 Blackmon Dr.
Decatur, GA 30033
678-227-0185
krussellquotes@gmail.com

Apr. 23, 2025

Re: Proposed Addition to 2426 Blackmon Dr. / Variance application # 1247535

Dear Neighbor,

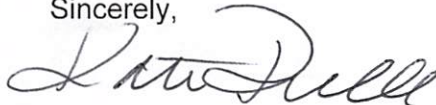
We would like to renovate our home in a couple of phases. Phase I would include replacing our rear deck & steps within the existing footprint and converting a portion of the space into a screened porch. Phase II would include building a second story addition over a portion of the home and replacing the existing front stoop with a covered entry porch.

These plans require a variance because our house currently sits over the side and rear setback lines and is considered a legal non-conforming home. We are requesting a variance from section 27-2.2.1 of the DeKalb County Zoning Ordinance to reduce the side yard setback from 20' to 11' and the rear yard setback from 40' to 21'. You will see on the survey that these measurements reflect the current location of our home.

These plans will be presented online June 11, 2025, at the DeKalb County Zoning Board of Appeals meeting.

Should you have any questions about this project, please feel free to contact us at the contact information listed above. You may also contact Amanda Johnson at Small Carpenters At Large (404-688-7665 or Amanda@smallcarpenters.com).

Sincerely,



Kate Russell

Acknowledgement of Notification:

I have been made aware of variance request #1247535 and given the opportunity to comment on the proposal.

☒ I approve the request

☐ I deny the request

☐ I have been informed but have no opinion about the request



Signature

Address: 2434 Bladman Pr