



Lorraine Cochran-Johnson

Chief Executive Officer

DeKalb County Zoning Board of Appeals
Department of Planning & Sustainability
178 Sams Street,
Decatur, GA 30030

Wednesday, June 9, 2025

Planning Department Staff Analysis



Cedric Hudson

Interim Director

D3. Case No: A-25-1247437

Parcel ID(s): 18 291 05 036

Commission District 01 Super District 07

Applicant: **Brian Rosen**
3186 Lynnray Drive
Atlanta, GA 30340

Owner: **Brian Rosen**
3186 Lynnray Drive
Atlanta, GA 30340

Project Name: 3186 Lynnray – Carport to garage conversion

Location: 3186 Lynnray Drive, Atlanta, GA 30340

Requests: Application by Brian Rosen to request variance from Section 27-2.2.1 of the Dekalb County Zoning Ordinance to reduce front yard setback to facilitate conversion of carport into garage in the R-100 (Residential Medium Lot-100) zoning district.

Staff Recommendation: Approval with condition

Condition: The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.

STAFF FINDINGS:

The applicant, the property owner of 3186 Lynnray Drive, has requested a variance from section 27-2.2.1 for a reduction for the front yard setback from 62'-2" to 50' in order to facilitate the construction of an enclosed garage. This garage will replace the existing covered carport on the property.

The primary intent of this variance is to support the improvement, security, and efficient use of the property. The construction of the garage is essential to enhance the functionality of the site, providing a secure space for the owner's vehicles and belongings. As part of this development, the existing carport and an additional storage building, including all related roofs, walls, and slabs, will be demolished under Permit #3164053.

The proposed new construction will take place in the same footprint as the current carport, with the addition of a foundation, wood stud walls, spray foam insulation, new HVAC unit, a new bathroom with associated plumbing, and electrical work. This report outlines the context of the variance request and the corresponding steps taken for site redevelopment.

1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.

The property at 3186 Lynnray Drive presents several extraordinary physical conditions that significantly limit its use and contribute to the need for the requested variance. First, the site is constrained by a steep slope of approximately 20 feet from front to back, which significantly impacts the usable area of the lot. Additionally, the stream buffer running through the property further restricts the land available for development, limiting the construction of any structures within this area. The property also contains a sewer easement, including a manhole and inlet, which further reduces the area available for development in the backyard. These natural and utility-related constraints significantly affect the property's potential for expansion or modification.

The strict application of the zoning requirements would deprive the property owner of rights and privileges commonly enjoyed by other property owners in the R-100 zoning district. Specifically, the use of setback averaging has resulted in a front yard setback requirement that is more restrictive than the typical setbacks for properties in the same district, further complicating the ability to develop the lot in a functional way. The property's age, with the house and existing carport built in 1969, combined with these physical limitations, has left the site with limited options for improvement. Granting the requested variance would allow the property owner to replace the existing carport with an enclosed garage, a reasonable improvement that is necessary to meet modern needs and maintain the property's functionality.

2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:

The requested variance is the minimum necessary to afford relief, as it seeks only to reduce the front yard setback by 11'-4" to maintain the existing footprint of the current carport. The proposed setback of 50'-10" is required to replace the carport with an enclosed garage that will provide secure and practical vehicle storage, a function that the current open carport cannot adequately support. The structure will not extend beyond the boundaries of the existing carport, ensuring that no new encroachments or expansions will occur on the property. This minimal adjustment to the setback is necessary for the functionality of the site and ensures the safety and utility of the property without imposing significant changes to the overall layout.

The proposed variance does not constitute a special privilege, as it does not provide an advantage beyond what is available to other property owners in the R-100 zoning district. The variance is being requested solely for the purpose of converting the existing carport

into a more functional, enclosed space, similar to what other properties in the district may be permitted to build. By maintaining the current footprint and not requesting an expansion, the proposed garage does not seek to increase the volume or scale of development, but rather improve the property's usability in line with its existing character. The requested relief is consistent with the limitations applied to other properties in the district and is a reasonable step to ensure the property remains functional and secure.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:

The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the surrounding area. The proposed enclosed garage will enhance the security of the property by protecting vehicles from break-ins, an ongoing concern in the neighborhood. This improvement not only benefits the homeowner but also contributes to the overall safety of the neighborhood by reducing the likelihood of theft or vandalism in a commonly targeted area—open carports.

Additionally, the conversion of the existing carport into a garage will improve the property's aesthetics by maintaining clean, straight lines that are consistent with the character of the neighborhood. This design choice ensures that the new structure blends seamlessly with the surrounding properties, preserving the overall visual appeal of the area. The applicant has taken care to engage with the community, securing support for the project through signatures from neighbors, further demonstrating that the variance will not negatively impact the neighborhood's welfare or the properties within it.

4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:

The literal interpretation and strict application of the applicable provisions of the zoning ordinance would cause undue and unnecessary hardship for the property owner. Maintaining the current 62'-2" average front yard setback would significantly hinder the owner's ability to convert the existing carport into a functional enclosed garage. Without this variance, the property owner would not be able to secure their vehicles, which is a pressing need for the safety and security of their property. Additionally, the garage would provide valuable storage space, enhancing the overall utility of the site.

Beyond vehicle storage, the conversion of the carport also serves critical personal and family needs. The applicant intends to transform the existing storage area into a soundproof room with a full bathroom, which will serve multiple purposes. This new space will function as a practice area for the applicants, who are musicians, while also providing a refuge for Heidi, who suffers from chronic migraines. Furthermore, it will serve as an accessible living space for aging parents over 80 years old, who may need to stay with the applicants in the future. Without the requested variance, the property would be unable to accommodate these important functions, creating an undue hardship for the owners.

5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:

The requested variance aligns with the spirit and purpose of the DeKalb County Zoning Ordinance and the Comprehensive Plan Text by supporting responsible, context-sensitive development within the Suburban Character Area. The proposal preserves the traditional suburban land use patterns, maintaining the property's residential character while enhancing its functionality. By converting the existing carport into an enclosed garage, the request supports infill development, a key principle in the county's comprehensive plan, increasing the density and usability of the property without detracting from the neighborhood's aesthetics. The design ensures that the development remains in harmony with the surrounding environment, maintaining the visual integrity of the area.

Furthermore, the variance will contribute positively to the community by expanding the property's living space. The proposed improvements will transform the home from a 3-bedroom, 2-bath residence into a 4-bedroom, 3-bath home, increasing the property's value and providing greater utility for the homeowner. This type of development is consistent with the county's goals of promoting sustainable, well-integrated growth within established residential areas, ensuring that the property remains an asset to the neighborhood while meeting the evolving needs of the homeowner.

FINAL STAFF ANALYSIS:

Planning staff recommends approval of the requested variance to reduce the front yard setback from 62'-2" to 50'-10" to facilitate the conversion of an existing carport into an enclosed garage at 3186 Lynnrays Drive. The proposed project meets the criteria for variance relief, as it is responsive to significant site constraints—including steep topography, a stream buffer, and a sewer easement—that limit development options. The request does not exceed the minimum necessary to afford relief and remains within the footprint of the existing carport, avoiding expansion into new areas.

Staff Recommendation: Approval with condition

Condition: The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.



DeKalb County
GEORGIA

Development Services Center
178 Sams Street
Decatur, GA 30030
www.dekalbcountyga.gov/planning
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or
Authorized Representative: BRIAN ROSEN
Mailing Address: 3186 LYNNRAY DRIVE
City/State/Zip Code: ATLANTA GEORGIA 30340
Email: BROSEN73@YAHOO.COM
Telephone Home: 678.644.4942 Business: N/A

OWNER OF RECORD OF SUBJECT PROPERTY

Owner: BRIAN ROSEN
Address (Mailing): 3186 LYNNRAY DRIVE
Email: BROSEN73@YAHOO.COM Telephone Home: 678 644 4942 Business: N/A

ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 3186 LYNNRAY DRIVE City: ATLANTA State: GA Zip: 30340
District(s): 1/7 Land Lot(s): _____ Block: _____ Parcel: 18 291 05 036
Zoning Classification: R-100 Commission District & Super District: _____

CHECK TYPE OF HEARING REQUESTED:

- ☒ VARIANCE (From Development Standards causing undue hardship upon owners of property.)
☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)
☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.

Email plansustain@dekalbcountyga.gov with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 2/12/25 Applicant/Agent Signature: 

TO WHOM IT MAY CONCERN:

(I)/ (WE): BRIAN ROSEN
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.


Notary Public




Owner Signature

Notary Public

Owner Signature

Notary Public

Owner Signature

DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION


AUTHORIZATION OF THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

DATE: 02/11/25

Applicant
Signature: 

DATE: _____

Applicant
Signature: _____

ROSEN RESIDENCE

LETTER OF INTENT

Subject: Variance Request for Front Yard Setback Reduction – Section 27-2.2.1 – Accessory Structure Construction.

My name is Brian Rosen and I am writing to formally request a variance from Section 27-2.2.1 of the Dekalb County Zoning Ordinance. My request pertains to the reduction of the front yard setback requirement (Avg.) of 62'-2" to 50'-10" for my property located at 3186 Lynnrays Drive. The purpose of this variance is to facilitate the construction of an enclosed garage in place of our existing covered carport which is crucial for the improvement, security, and effective use of my property.

1. Physical Conditions of the Site

The unique physical conditions of our property constitute a special case necessitating this variance. The parcel is characterized by a slope of around 20'-0" (front to back), the use of Average Setback which is typically farther back than the R-100 Zoning, a sewer line traversing our backyard with related easements, the age of our home & carport (built 1969), and finally the stream buffer that creates limited use of our site.

2. Minimum Variance Necessary

My request is solely for the minimum variance necessary to render my property more secure and usable. Our current carport built original to our house in 1969, overlaps our front yard set back by 11'-4". The 50'-10" set back is essential for the practical and reasonable placement of the new, 2-car garage, ensuring we create a secure, safe space for parking/storing our vehicles while maintaining the existing footprint (not expanding) ensuring that we can enjoy full use of our property without seeking advantages beyond those available to other property owners in the same zoning district.

3. Public Welfare

The proposed garage provides us with a secure space for our vehicles. The reduced setback will not pose any harm to the public welfare, neighboring properties or overall improvements in the R-100 Zoning District. Our neighborhood experiences automobile break-ins and theft. In addition to providing a secure space for our vehicles and supplemental storage, the new work will improve the aesthetics of our current carport by reinforcing 'clean/straight' lines with a familiar, clean appearance. I have spoken with and compiled signatures from our neighbors in support of this proposed work.

4. Ordinance Hardship

A strict interpretation of the Zoning Laws in this case would cause undue hardship. The impracticality of adhering strictly to the 62'-2" (avg. setback) would limit my ability to use the property effectively. Converting our existing carport into an enclosed garage provides security for our vehicles and storage. Converting our existing storage into a 'soundproof' room with full bathroom that provides us a space for 'practicing music/we are musicians', a 'refuge for my wife, Heidi, whom suffers from chronic migraines', and finally a 'fully functioning accessible room' for our parents (who are all over 80 years old) and could very likely need to stay with us. Without this variance we would not be able to fulfill our needs. Our proposed design adheres strictly to our current carport footprint.

5. Alignment with the Spirit of the Law

I firmly believe that our variance request aligns with the intent of the Suburban Character Area, as outlined in the Dekalb County Comprehensive Plan. The proposed construction of the garage and conversion of the existing storage into a usable living space is in line with the goals of recognizing traditional Suburban Land Use Patterns. This proposed work does increase the Infill Development (Increasing density of use), as well as enhances the suburban character of our Northcrest Community. Our residence will increase from a 3-bedroom/2-bath to a 4-bedroom/3-bath.





In conclusion, I appreciate your time and consideration of our variance request. This neighborhood and the architecture are very important to Heidi and me. We are committed to working collaboratively to ensure that our proposed changes align with the broader goals and policies of Dekalb County.

Thank you again for your time and guidance,

Best regards,

Brian and Heidi Rosen

3186 LYNNRAY DRIVE - VARIANCE NEIGHBOR APPROVAL LIST

NAME	ADDRESS	SIGNATURE
1. Edward Rizzo	3177 LYNNRAY DR.	
2. Meghan Bishop	3194 Lynnray Dr.	
3. Jonathan Durbin	3164 Lynnray Dr.	
4. Virginia Cope	3185 Lynnray	
5.		
6.		
7.		
8.		
9.		
10.		

Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

TO: Mr. Brian Rosen
3186 Lynnray Drive
Doraville, GA 30340

FROM: Mr. Cedric Hudson, Director
DeKalb County Department of Planning & Sustainability
178 Sams Street, Suite A3607
Atlanta, Georgia 30030

DATE: May 28, 2025

SUBJECT: DeKalb County's Letter of Approval under the Provisions of DeKalb County ordinance Chapter 14, Article II, Section 14-44(1-5).
Permit 1247440
3186 Lynnray Drive
Doraville, GA 30340

The DeKalb County Inspections Division of the Department of Planning & Sustainability has reviewed your stream buffer variance application for the property located at *3186 Lynnray Drive*. The review was conducted to consider the potential impacts of the proposed project's encroachment on the buffers to State waters as factored within Georgia Erosion and Sedimentation Act (GESA) and Georgia's National Pollutant Discharge Elimination System (NPDES).

The subject property is located along the North Fork Peachtree Creek basin and the proposed encroachment will be for the redevelopment to the existing single-family, residential structure. The proposed disturbance will be limited to the existing encroachment and does not alter the existing building footprint resting in the stream buffer. This review, and the variance granted, is limited to only the request(s) in the application that was submitted by you, the applicant and/or your agent, for permission to conduct land-disturbance activities within the 75-foot buffer area of the State waters where vegetation has been wrested by normal stream flow or wave action.

You are hereby authorized to encroach within the 75-foot buffer of DeKalb County, for the proposed rebuilding of the existing screened porch. Impacts affecting the buffer, in this request, must be completed within five (5) years of the date of this approval letter.

Please adhere to the following contingencies and conditions:

- I. All slopes must be properly protected until permanent vegetative is established.
- II. Land clearance should be kept to a minimum.
- III. All disturbed areas must be protected until permanent vegetation is established.
- IV. Double row of type "C" silt fence or approved high performance silt fence must be installed between the disturbed land area and the State water.
- V. The project must be conducted in a strict manner and in accordance with the 'approved' erosion and sedimentation control plan'.

If you have any questions, please contact Kennisha Collins, Land Development Inspections Division, at 470-829-1523.

Cedric Hudson,
Director, Department of Planning & Sustainability

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

Homeowners Building Affidavit

Date: 12/19/2024

Applicant: BRIAN ROSEN Phone: (678) 644.4942

Address: 3186 LYNRAY DRIVE ATLANTA GA 30340

This Homeowner's Permit is for: ☐ New Home ☒ Addition ☐ Renovation

Work Description: DEMOLITION OF EXISTING CARPORT, STORAGE, AND DRIVEWAY. NEW WORK CONSISTS OF NEW DRIVEWAY, NEW ENCLOSED GARAGE WITH STORMS, NEW STUDIO/BEDROOM WITH FULL BATHROOM.

The following permit(s) will be required and will be made under separate application:
☒ Heating ☒ Plumbing ☒ Electrical

I, the undersigned homeowner, certify the following to be true and accurate:

- A. The property described in this permit application is currently owned and occupied by the undersigned homeowner and applicant agrees that all electrical, plumbing, heating and air conditioning work is subject to a separate application not covered by this permit.
- B. Applicant will function as the general contractor or subcontractor, and accept inherent responsibilities for the authorized work by the approved master permit. Applicant is authorized to directly supervise and manage all work not performed by licensed contractors and is aware that he cannot delegate that responsibility to any person who does not have a license which covers the scope of work to be managed or supervised.
- C. Applicant agrees to build in accordance with the DeKalb County's Codes and any other applicable laws and codes. Applicant understands that inspections must be performed in an established sequence and that work performed out of sequence may be ordered removed. All non-compliant work must be corrected or may be subject to an order to remove.
- D. Applicant further affirms that he/she is aware that a permit issued may be suspended or revoked wherever the permit was issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or regulation or any of the provisions of any applicable code.
- E. Applicant further affirms that he/she is aware that any knowingly false statement made in the permit application may subject said applicant to prosecution for violation of Georgia Criminal Code, Section 16-10-20 (False Swearing) and a possible fine of not more than \$1,000.00 or imprisonment for not less than one (1) or more than five (5) years, or both.

BRIAN ROSEN
Signature of Homeowner

BRIAN ROSEN
Printed Name of Homeowner

Sworn to and subscribed before me this 19 day of December, 2024.

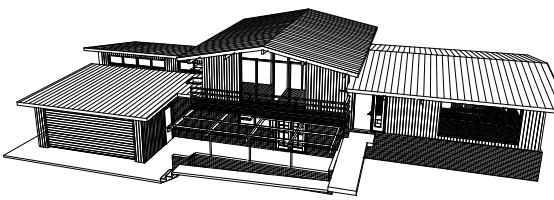
Tiffany Dennis
Signature & Seal of Notary Public

Tiffany Dennis
NOTARY PUBLIC
DeKalb County, Georgia
My Commission Expires
September 20, 2028

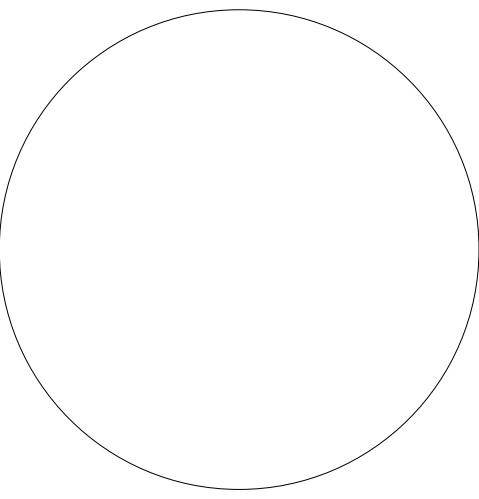
For Official Use Only

☐ ID
Signature of Manager / Supervisor _____

☐ Proof of Ownership



ROSEN
RESIDENCE



RELEASE DATES

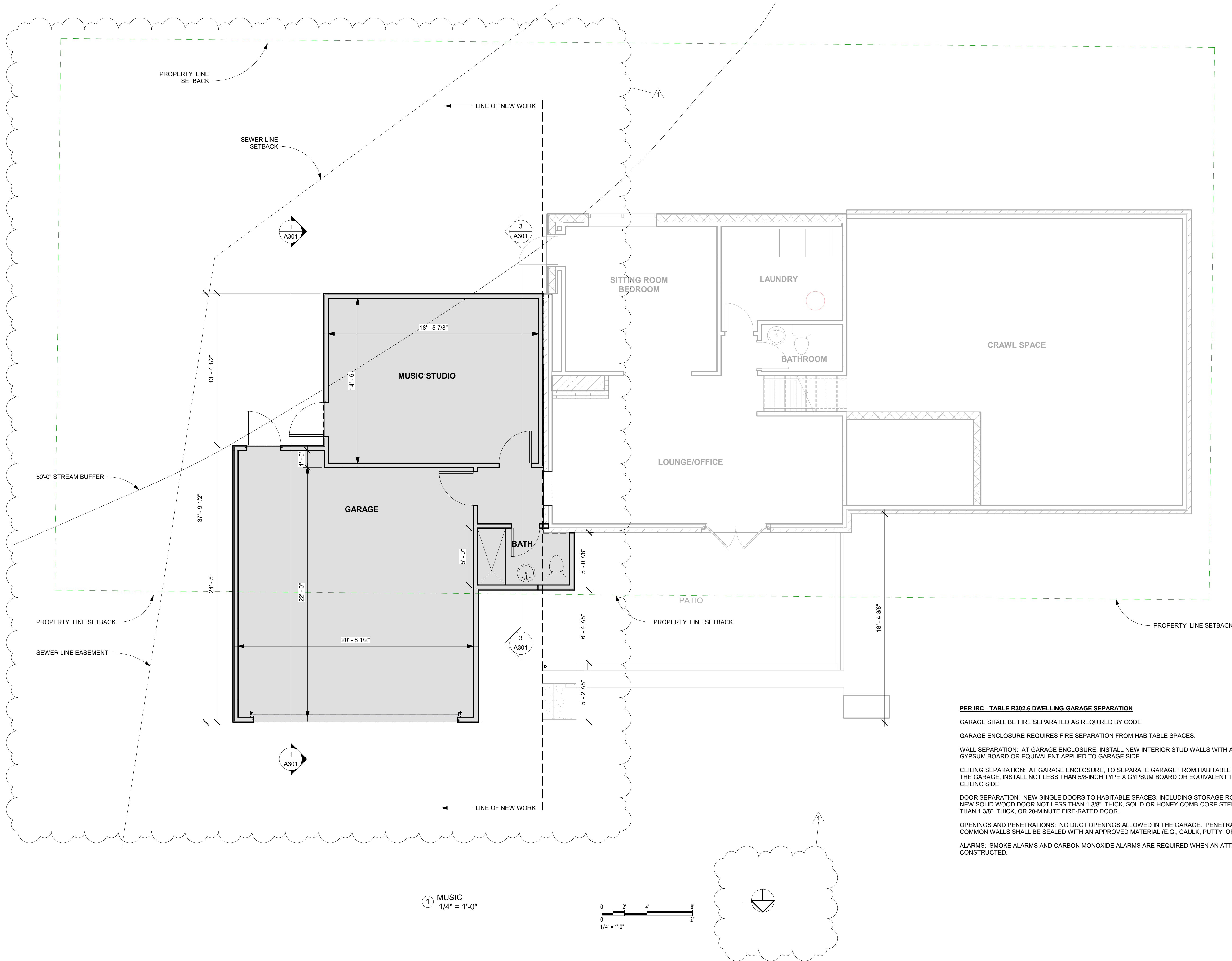
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

LOWER
LEVEL

RELEASED FOR
CONSTRUCTION

A101



PER IRC - TABLE R302.6 DWELLING-GARAGE SEPARATION

GARAGE SHALL BE FIRE SEPARATED AS REQUIRED BY CODE

GARAGE ENCLOSURE REQUIRES FIRE SEPARATION FROM HABITABLE SPACES.

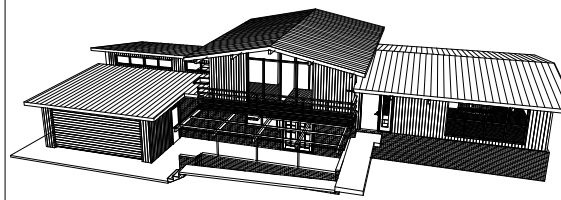
WALL SEPARATION: AT GARAGE ENCLOSURE, INSTALL NEW INTERIOR STUD WALLS WITH A MINIMUM 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO GARAGE SIDE

CEILING SEPARATION: AT GARAGE ENCLOSURE, TO SEPARATE GARAGE FROM HABITABLE ROOMS ABOVE THE GARAGE, INSTALL NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT TO GARAGE CEILING SIDE

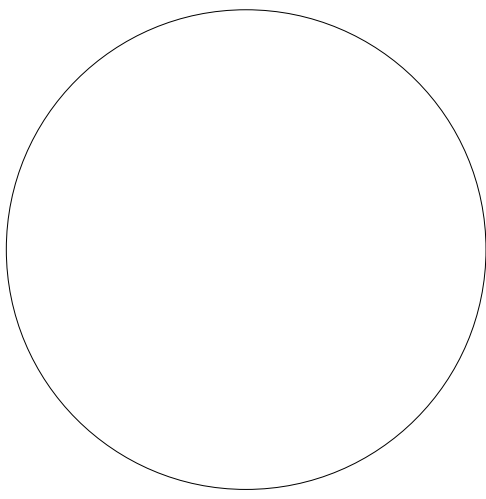
DOOR SEPARATION: NEW SINGLE DOORS TO HABITABLE SPACES, INCLUDING STORAGE ROOM DOOR, TO BE NEW SOLID WOOD DOOR NOT LESS THAN 1 3/8" THICK, SOLID OR HONEY-COMB-CORE STEEL DOOR NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOOR.

OPENINGS AND PENETRATIONS: NO DUCT OPENINGS ALLOWED IN THE GARAGE. PENETRATIONS OF COMMON WALLS SHALL BE SEALED WITH AN APPROVED MATERIAL (E.G., CAULK, PUTTY, OR SEALANT).

ALARMS: SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE REQUIRED WHEN AN ATTACHED GARAGE IS CONSTRUCTED.



ROSEN
RESIDENCE



RELEASE DATES

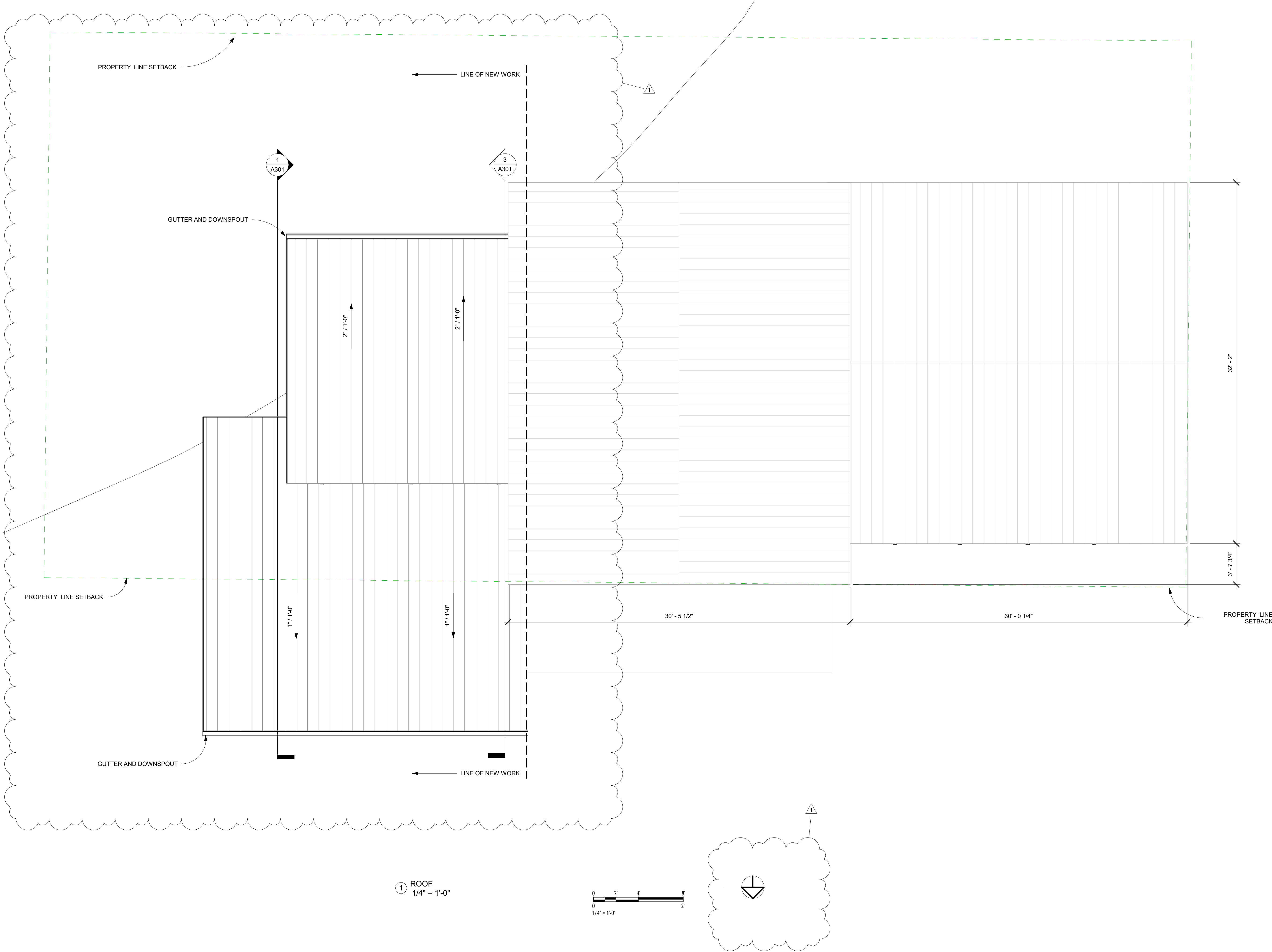
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

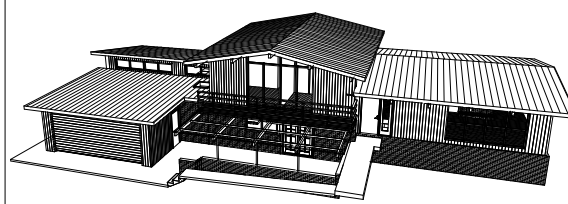
ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

ROOF PLAN

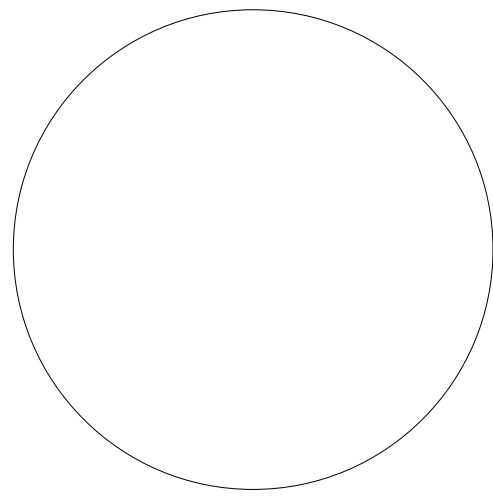
RELEASED FOR
CONSTRUCTION

A102





ROSEN
RESIDENCE



RELEASE DATES

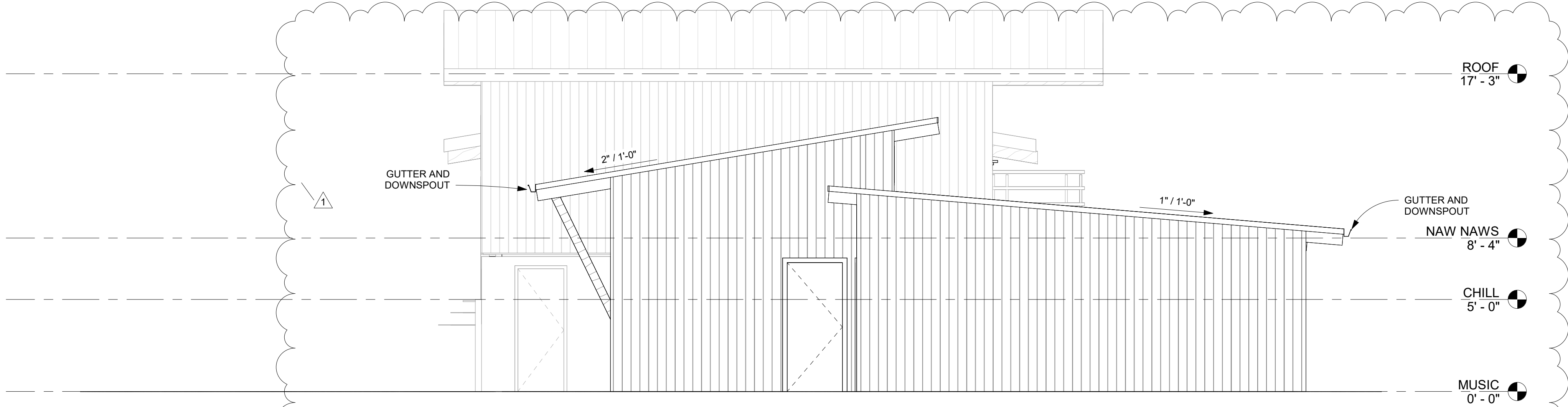
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

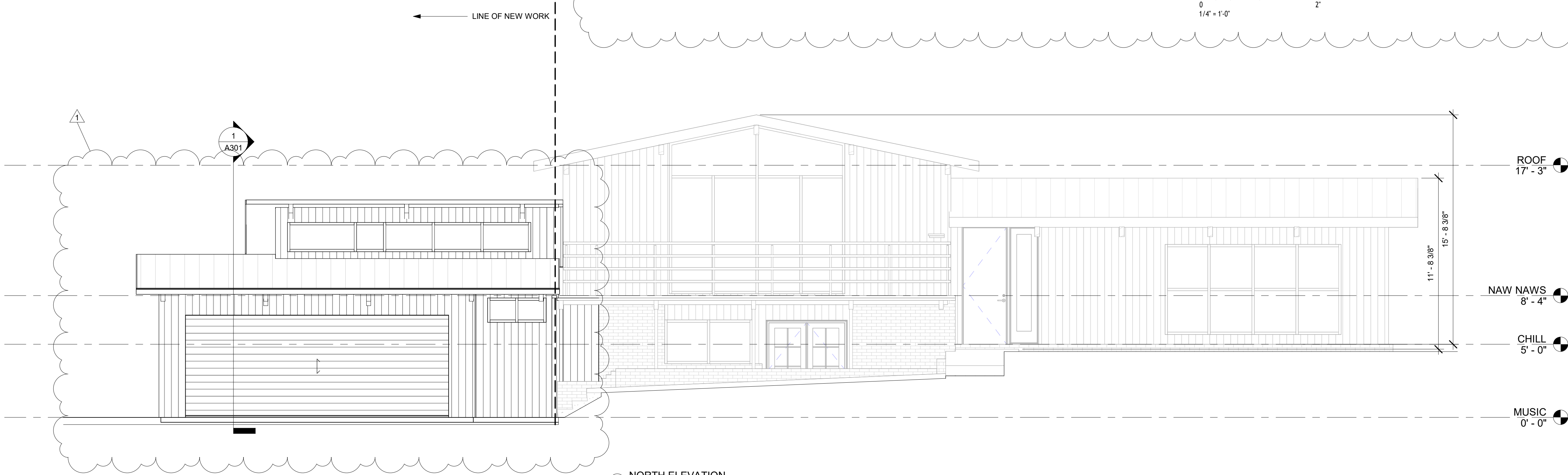
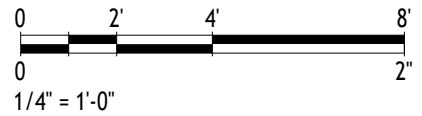
BUILDING
ELEVATIONS

RELEASED FOR
CONSTRUCTION

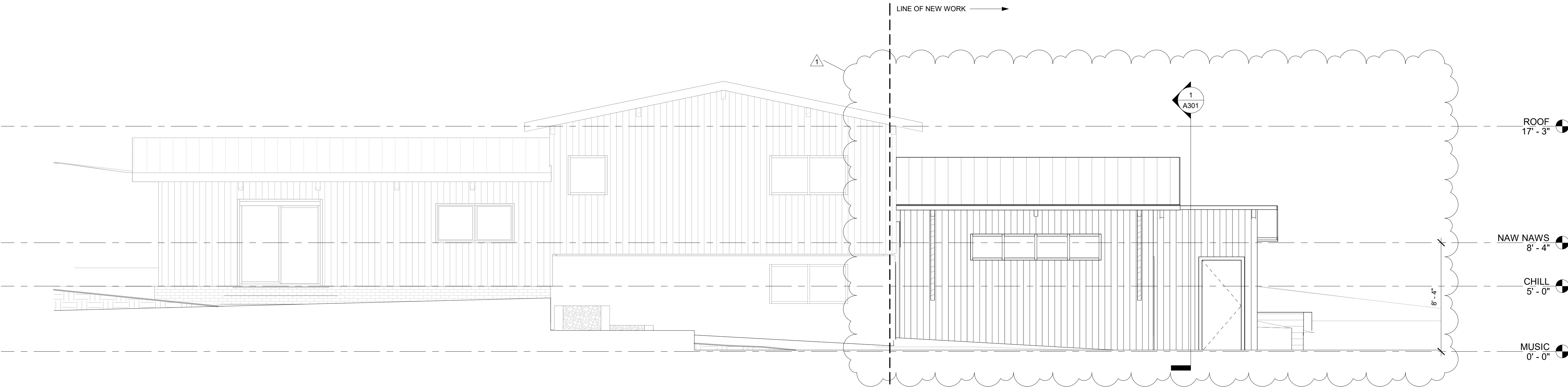
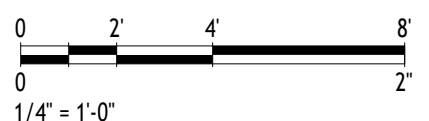
A201



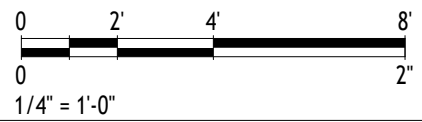
③ EAST ELEVATION
1/4" = 1'-0"

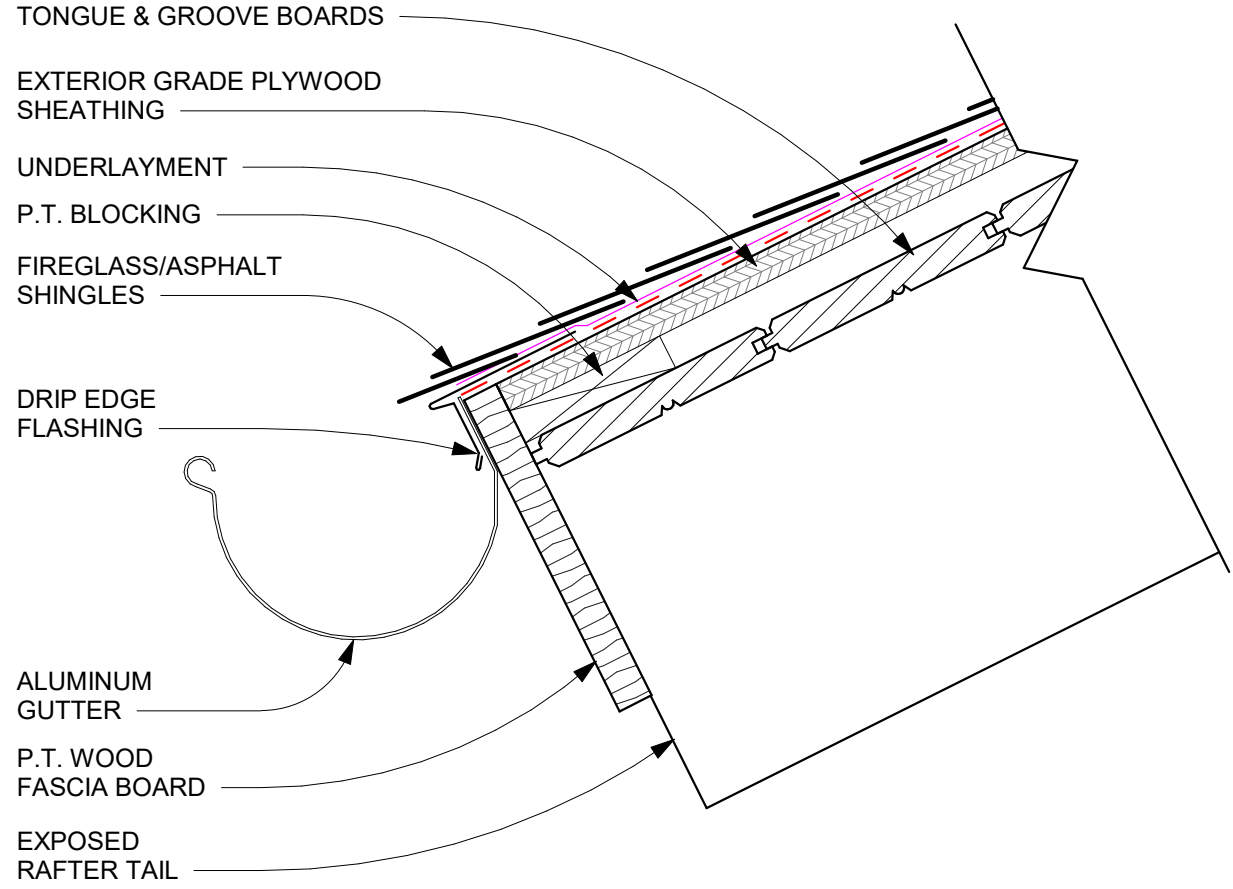


② NORTH ELEVATION
1/4" = 1'-0"

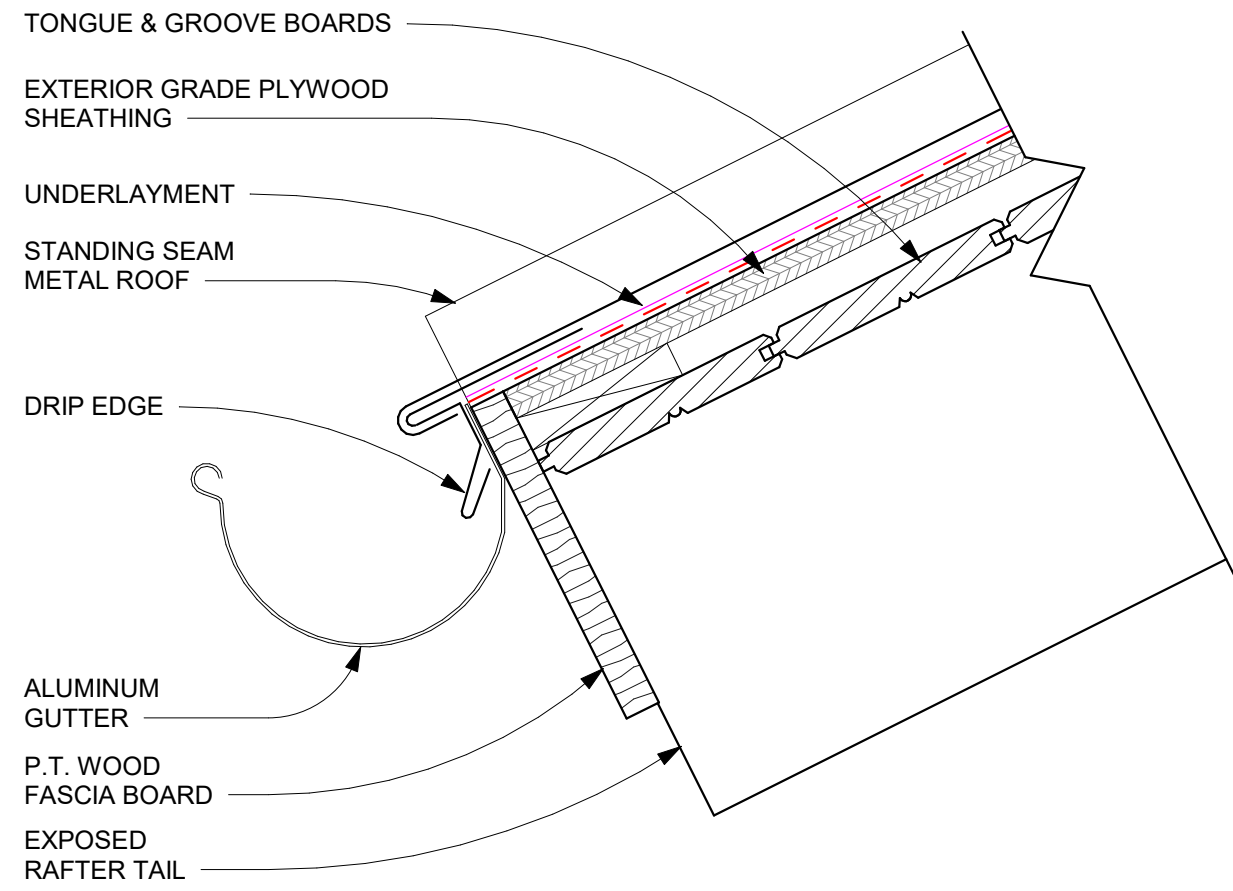


① SOUTH ELEVATION
1/4" = 1'-0"

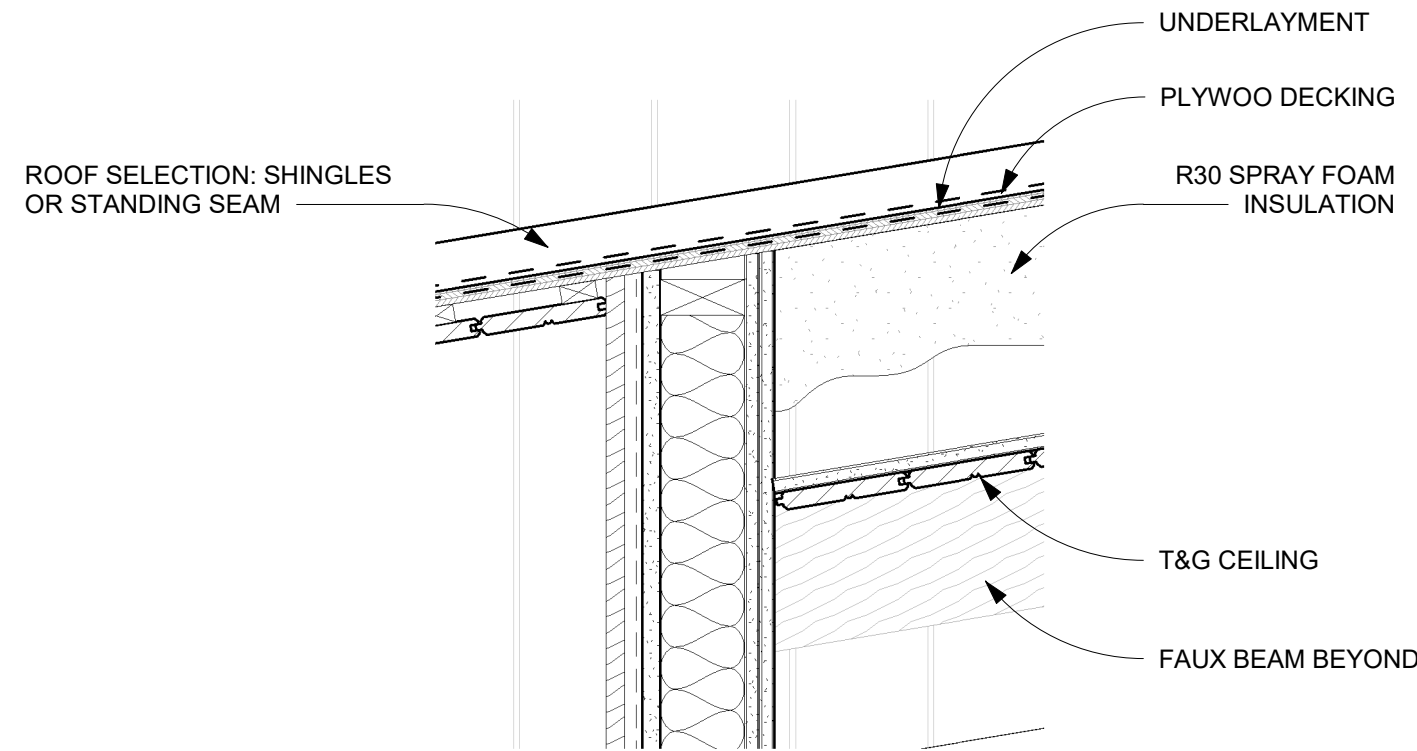




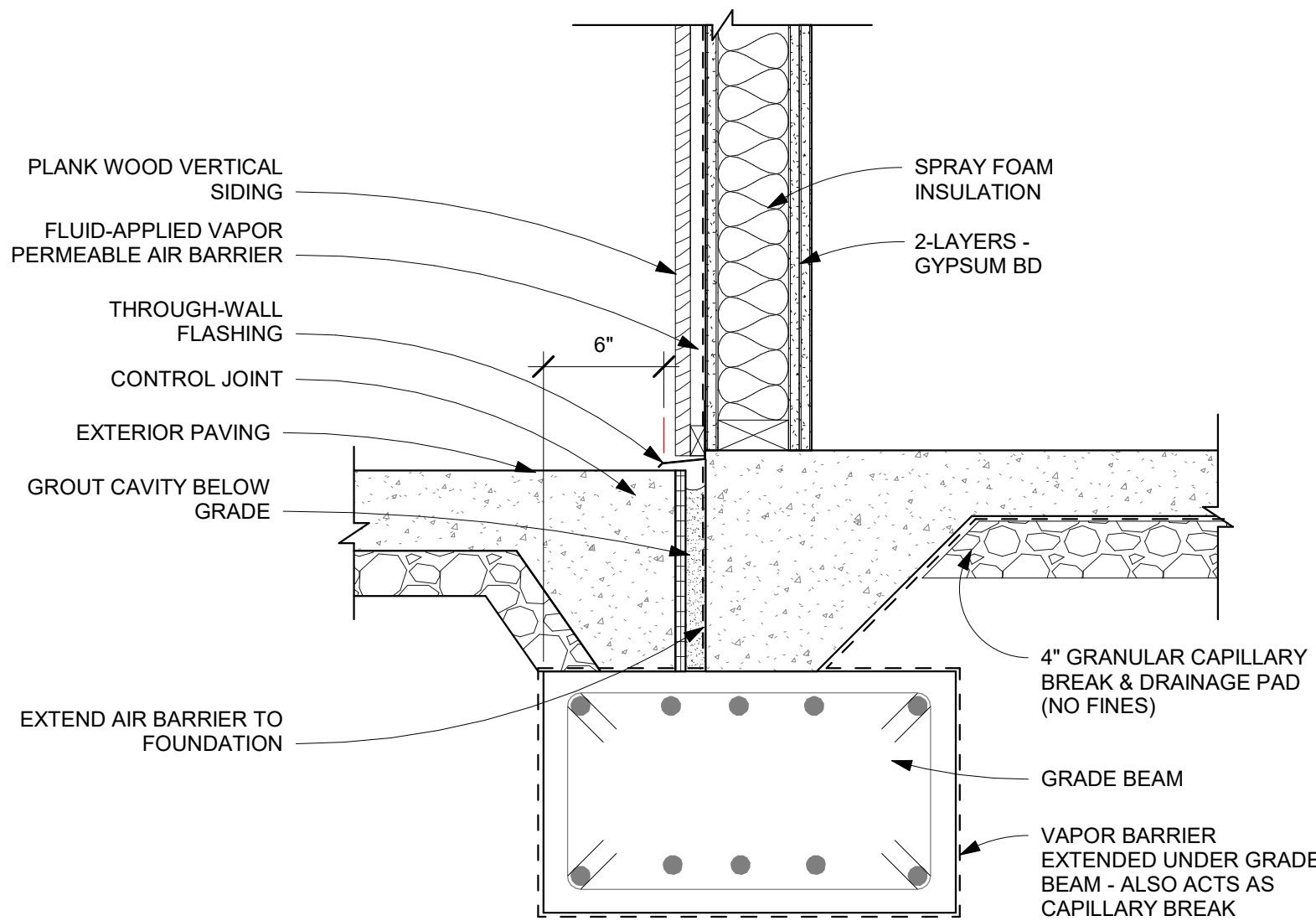
8 GUTTER DETAIL AT SHINGLE ROOF
3" = 1'-0"



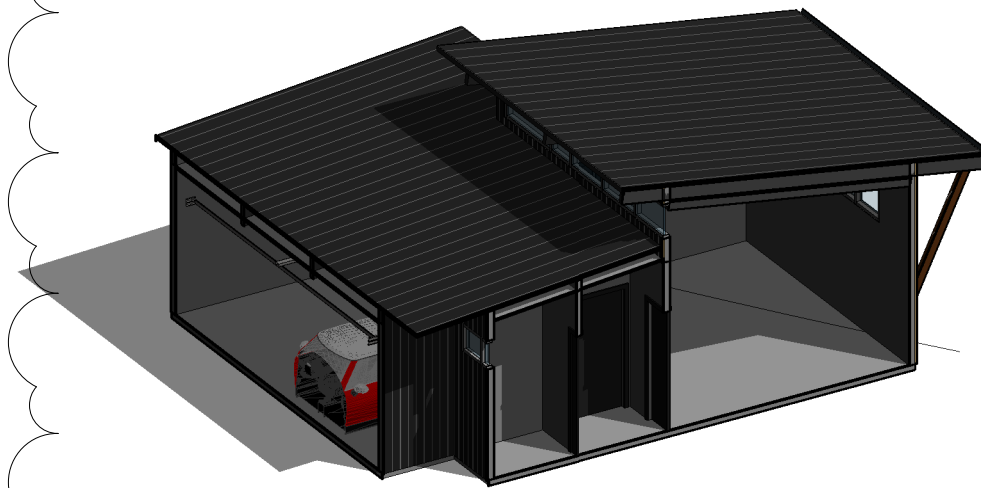
7 GUTTER AT STANDING SEAM ROOF
3" = 1'-0"



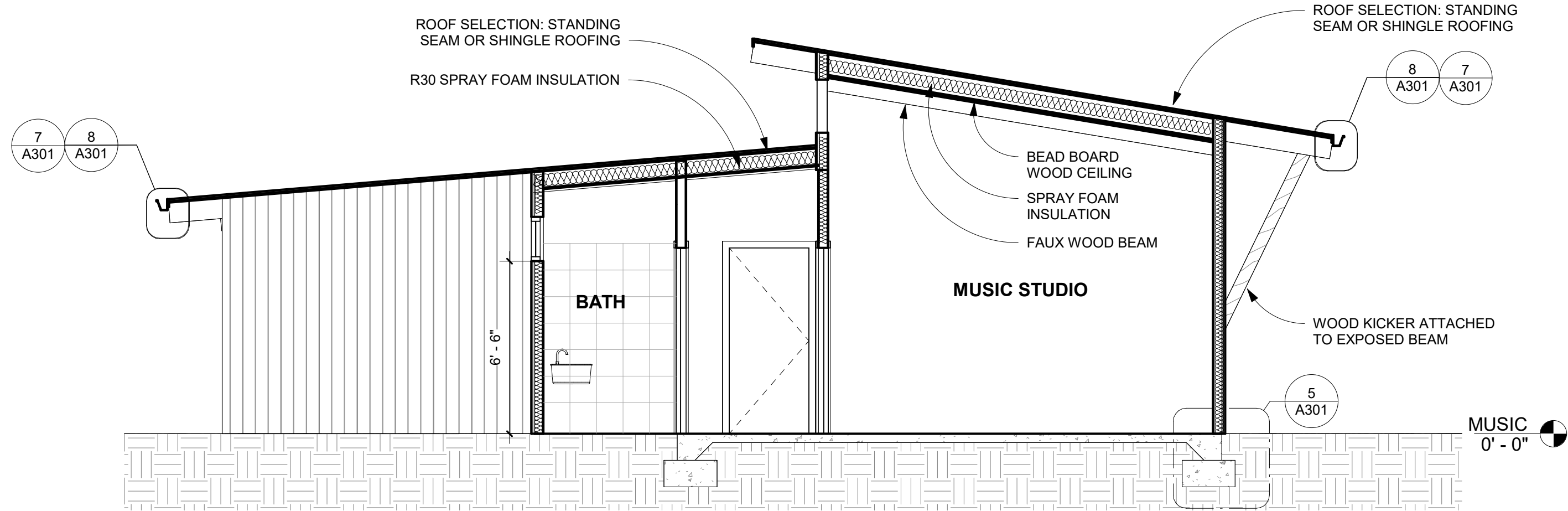
6 SECTION DETAIL - WALL TO ROOF
1 1/2" = 1'-0"



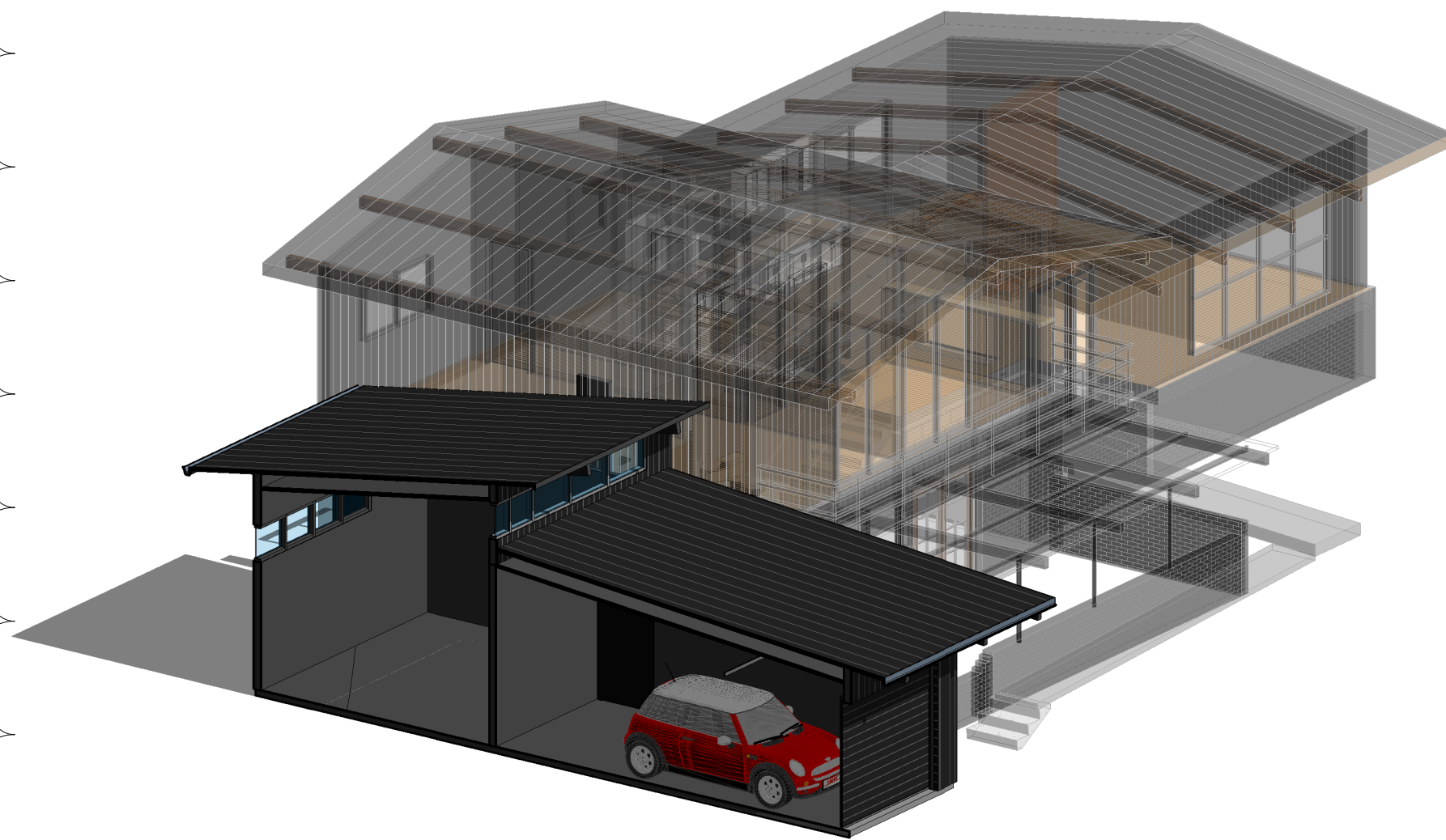
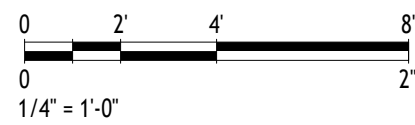
5 SECTION DETAIL - WALL @ FOUNDATION
1 1/2" = 1'-0"



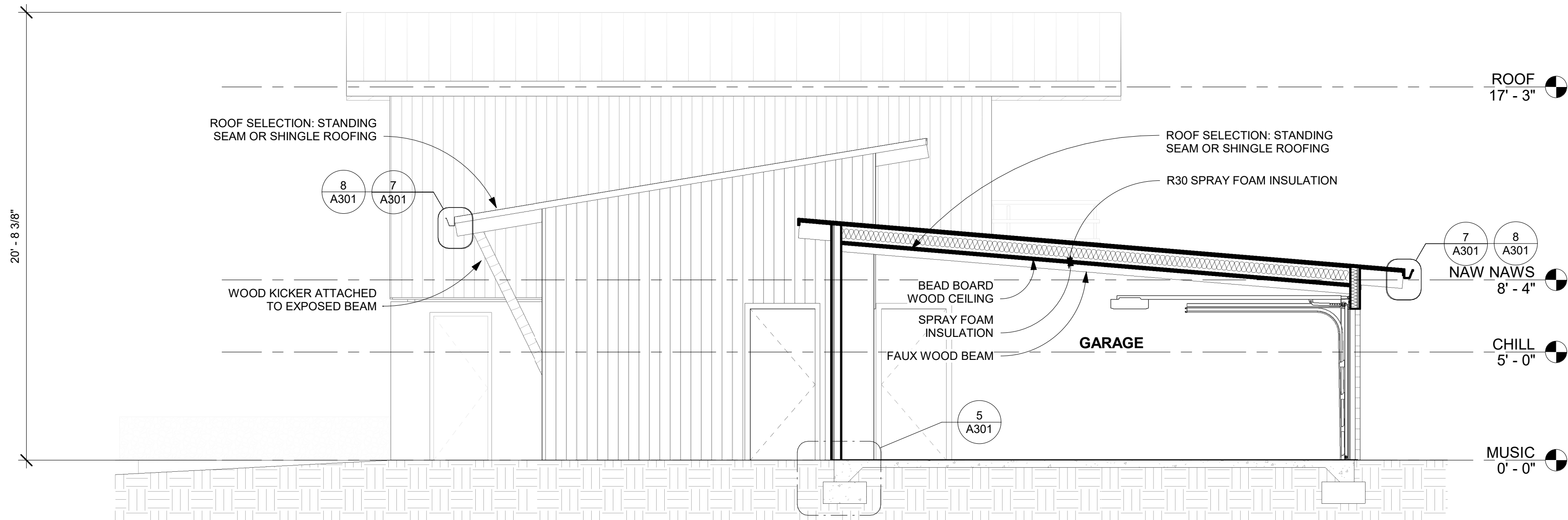
4 3D - CROSS SECTION 2 - GARAGE/STUDIO



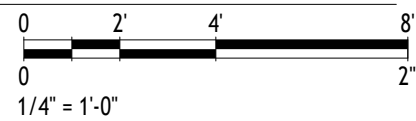
3 CROSS SECTION 2 - GARAGE/STUDIO
1/4" = 1'-0"



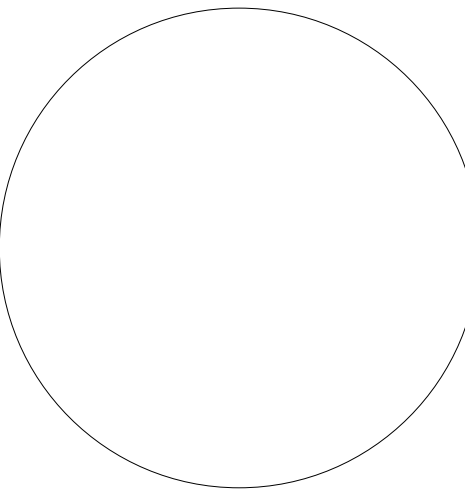
2 3D - CROSS SECTION - GARAGE/STUDIO



1 CROSS SECTION 1 - GARAGE/STUDIO
1/4" = 1'-0"



ROSEN RESIDENCE



RELEASE DATES

12/20/2024 - ISSUE FOR PERMIT

02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE

3186 LYNNRAY DRIVE, ATLANTA GEORGIA

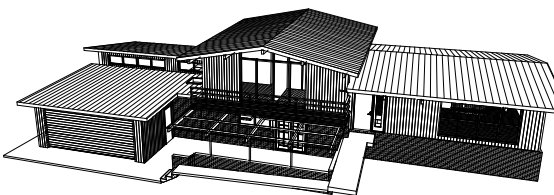
BUILDING SECTION

RELEASED FOR CONSTRUCTION

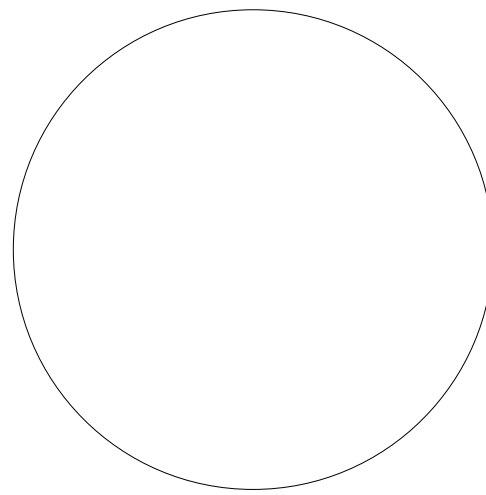
A301

ROSEN RESIDENCE - ADDITION

3186 LYNNRAY DRIVE

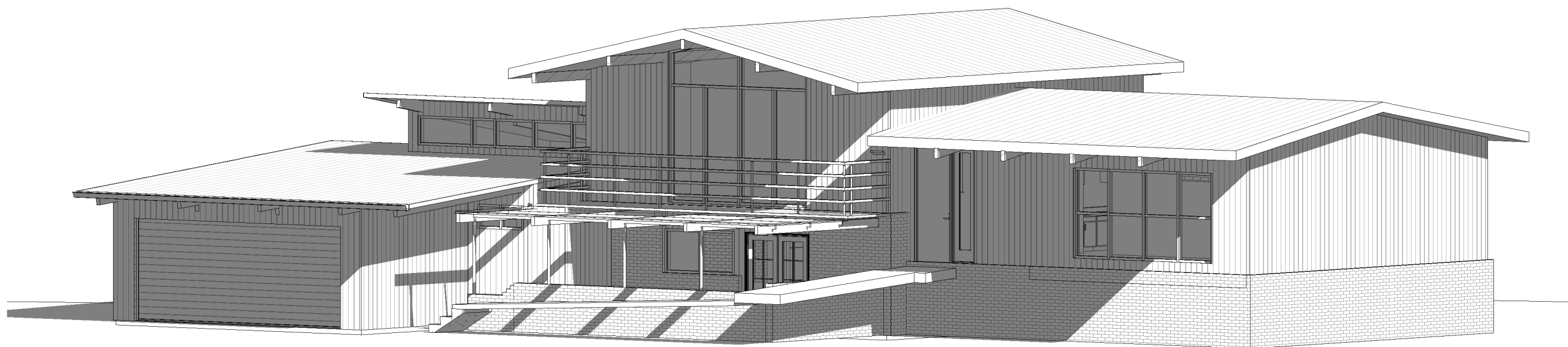
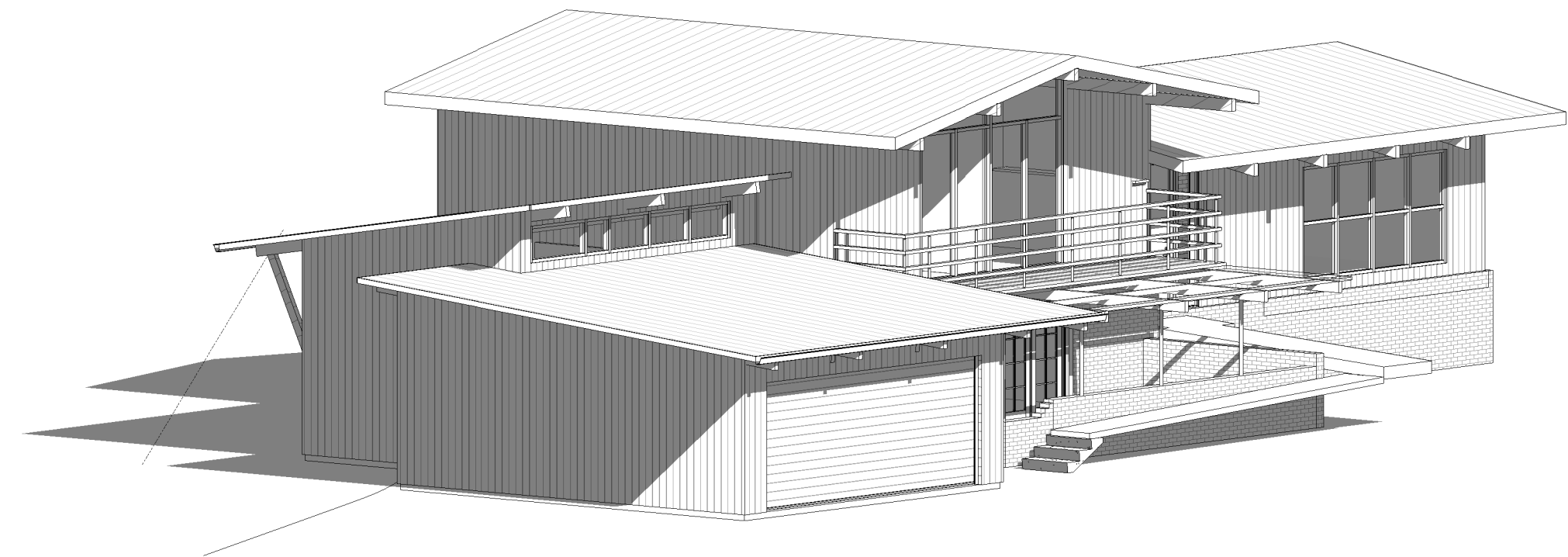


ROSEN
RESIDENCE



RELEASE DATES

12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS



PROJECT INFORMATION

OWNER:

MR.BRIAN AND HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA 30340

678.644.4942

CIVIL ENGINEER:

ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA 30052
ROBERT@ALPHASURVEYOR.COM

770.696.4054

CONTRACTOR:

S R HOME IMPROVEMENT, INC.
4279 ROSWELL ROAD, N.E.
SUITE 208 - BOX 240
ATLANTA, GA 30342

404.705.4396

BUILDING INFORMATION:

**SEE ALPHA LAND SERVICES SITE PLAN DRAWINGS
FOR ALL INFORMATION RELATED TO THE WORK.**

GENERAL		
Sheet Number	Sheet Name	Current Revision Date
G001	COVER SHEET	02/18/25
G002	LOCATION MAP, GENERAL NOTES & SCHEDULES	
G003	PERSPECTIVES	
G005	DEMO - LOWER LEVEL	
G006	DEMO - ROOF LEVEL	

A - SERIES		
Sheet Number	Sheet Name	Current Revision Date
A101	LOWER LEVEL	02/18/25
A102	ROOF PLAN	02/18/25
A201	BUILDING ELEVATIONS	02/18/25
A301	BUILDING SECTION	02/18/25

***FOR REFERENCE ONLY
SEE CIVIL (SIGNED AND SEALED) SITE DRAWINGS FOR OFFICIAL INFORMATION**

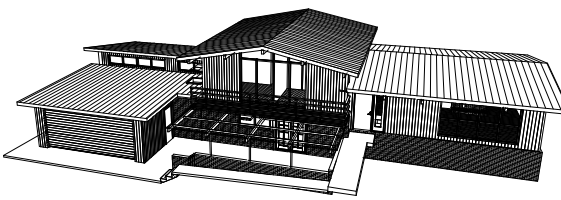
ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

COVER
SHEET

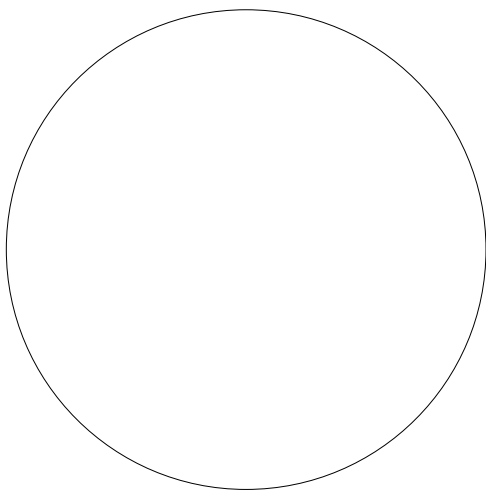
RELEASED FOR
CONSTRUCTION

G001

DESIGNER	SCOPE OF WORK		APPLICABLE CODES																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
BRIAN ROSEN 3186 LYNNRAY DRIVE PH: 678.644.4942 EMAIL: BROSEN73@YAHOO.COM CONTACT: BRIAN ROSEN	THE DRAWINGS HEREIN DESCRIBE THE DEMOLITION OF EXISTING DRIVEWAY/CARPORT/STORAGE AT 3186 LYNNRAY DRIVE IN ATLANTA, GA. THE WORK INCLUDES: INSTALLATION OF NEW DRIVEWAY, CONCRETE PAD WITH FOUNDATION FOR NEW WOOD CONSTRUCTION OF ENCLOSED GARAGE, STUDIO WITH FULL BATH, AND STORAGE SPACE. NEW CONSTRUCTION TO INCLUDE SPRAY FOAM INSULATION WITHIN WALL AND CEILING CAVITIES. NEW HVAC SYSTEM, PLUMBING, AND ELECTRICAL TO BE INCLUDED IN NEW WORK.		INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
CLIENT	SCHEDULES - Door & Wall Partition Details	ABBREVIATIONS	SYMBOLS LEGEND																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
BRIAN & HEIDI ROSEN 3186 LYNNRAY DRIVE PH: 678.644.4942 (BRIAN ROSEN) 404.513.6673 (HEIDI ROSEN)	<table><tr><th colspan="5">Door Schedule</th></tr><tr><th>Mark</th><th>Height</th><th>Width</th><th>Type</th><th>Comments</th></tr><tr><td>G10</td><td>7' - 0"</td><td>2' - 10"</td><td>34" x 84"</td><td></td></tr><tr><td>G11</td><td>7' - 0"</td><td>18' - 0"</td><td>Hafele Automatic Garage Door LPU44 ROSEWOOD</td><td></td></tr><tr><td>G13</td><td>7' - 0"</td><td>3' - 0"</td><td>36" x 84"</td><td>EXTRA LOCK PROTECTION</td></tr><tr><td>G04</td><td>7' - 0"</td><td>3' - 0"</td><td>36" x 84"</td><td></td></tr><tr><td>G05</td><td>7' - 0"</td><td>2' - 6"</td><td>30" x 84"</td><td></td></tr><tr><td>G06</td><td>7' - 0"</td><td>3' - 0"</td><td>36" x 84"</td><td></td></tr><tr><td>G14</td><td>6' - 8"</td><td>2' - 6"</td><td>30" x 80"</td><td></td></tr></table>	Door Schedule					Mark	Height	Width	Type	Comments	G10	7' - 0"	2' - 10"	34" x 84"		G11	7' - 0"	18' - 0"	Hafele Automatic Garage Door LPU44 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PANEL</td><td></td><td></td></tr><tr><td>ACT</td><td>ACOUSTICAL CEILING TILE</td><td>MATL</td><td>MATERIAL</td></tr><tr><td>ADJ</td><td>ADJACENT</td><td>MAX</td><td>MAXIMUM</td></tr><tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>MDF</td><td>MEDIUM-DENSITY FIBERBOARD</td></tr><tr><td>AIA</td><td>AMERICAN INSTITUTE OF ARCHITECTS</td><td>MCM</td><td>METAL COMPOSITE MATERIAL</td></tr><tr><td>AIB</td><td>AIR INFILTRATION BARRIER</td><td>MECH</td><td>MECHANICAL</td></tr><tr><td>AISC</td><td>AMERICAN INSTITUTE OF STEEL CONSTRUCTION</td><td>MFR</td><td>MANUFACTURER</td></tr><tr><td>ALT</td><td>ALTERNATE</td><td>MIN</td><td>MINIMUM</td></tr><tr><td>ALUM</td><td>ALUMINUM</td><td>MISC</td><td>MISCELLANEOUS</td></tr><tr><td>ANSI</td><td>AMERICAN NATIONAL STANDARDS INSTITUTE</td><td>MO</td><td>MASONRY OPENING</td></tr><tr><td>APPROX</td><td>APPROXIMATE</td><td>MDO</td><td>MODIFIED</td></tr><tr><td>ARCH</td><td>ARCHITECT/ARCHITECTURAL</td><td>MOD BIT</td><td>MODIFIED BITUMEN</td></tr><tr><td>ASTM</td><td>AMERICAN SOCIETY FOR TESTING AND MATERIALS</td><td>NR</td><td>MOISTURE RESISTANT</td></tr><tr><td>AUT0</td><td>AUTOMATIC</td><td>MTD</td><td>MOUNTED</td></tr><tr><td>AWB</td><td>AIR WEATHER BARRIER</td><td>MTL</td><td>METAL</td></tr><tr><td>B.O.</td><td>BOTTOM OF.../BACK OF...</td><td>NFPA</td><td>NATIONAL FIRE PROTECTION ASSOCIATION</td></tr><tr><td>BD</td><td>BOARD</td><td>NIC</td><td>NOT IN CONTRACT</td></tr><tr><td>BF</td><td>BOARD FOOT</td><td>NRP</td><td>NON-REMOVABLE PIN</td></tr><tr><td>BFA</td><td>BARRIER FREE ACCESSIBLE</td><td>NTS</td><td>NOT TO SCALE</td></tr><tr><td>BLKG</td><td>BLOCKING</td><td></td><td></td></tr><tr><td>BLW</td><td>BELOW</td><td>OC</td><td>ON CENTER</td></tr><tr><td>BM</td><td>BEAM</td><td>OH</td><td>OPPOSITE HAND</td></tr><tr><td>BOC</td><td>BACK OF CURB</td><td>OPNG</td><td>OPENING</td></tr><tr><td>BRK</td><td>BRICK</td><td></td><td></td></tr><tr><td>BTWN</td><td>BETWEEN</td><td>PCP</td><td>PORTLAND CEMENT PLASTER</td></tr><tr><td></td><td></td><td>PFT</td><td>PORCELAIN FLOOR TILE</td></tr><tr><td>C</td><td>CHANNEL</td><td>PL</td><td>PLATE</td></tr><tr><td>CAB</td><td>CABINET</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr><tr><td>CC</td><td>COLOR CHANGE</td><td>PLMB</td><td>PLUMBING</td></tr><tr><td>CER</td><td>CERAMIC</td><td>PLYWD</td><td>PLYWOOD</td></tr><tr><td>CFMF</td><td>COLD-FORMED METAL FRAMING</td><td>PMJF</td><td>PRE-MOLDED JOINT FILLER</td></tr><tr><td>CIP</td><td>CAST-IN-PLACE</td><td>PT</td><td>PAINT OR PRESSURE TREATED</td></tr><tr><td>CI</td><td>CONTINUOUS INSULATION</td><td>PVC</td><td>POLYVINYL CHLORIDE</td></tr><tr><td>CJ</td><td>CONTROL JOINT</td><td></td><td></td></tr><tr><td>CL</td><td>CENTER LINE</td><td>QT</td><td>QUARRY TILE</td></tr><tr><td>CLG</td><td>CEILING</td><td></td><td></td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>RAD</td><td>RADIUS</td></tr><tr><td>CO</td><td>CLEAN OUT</td><td>RCP</td><td>REFLECTED CEILING PLAN</td></tr><tr><td>COL</td><td>COLUMN</td><td>RD</td><td>ROOF DRAIN</td></tr><tr><td>CONC</td><td>CONCRETE MASONRY UNIT</td><td>REINF</td><td>REINFORCED</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>REQD</td><td>REQUIRED</td></tr><tr><td>CSI</td><td>CONSTRUCTION SPECIFICATIONS INSTITUTE</td><td>RI</td><td>RIGID INSULATION</td></tr><tr><td>CT</td><td>CERAMIC TILE</td><td>RJ</td><td>RAKED JOINT</td></tr><tr><td>CW</td><td>CURTAIN WALL</td><td>RL</td><td>RAIN LEADER</td></tr><tr><td></td><td></td><td>RO</td><td>ROUGH OPENING</td></tr><tr><td></td><td></td><td>RTD</td><td>RATED</td></tr><tr><td>DAS</td><td>DRESSED FOUR SIDES</td><td></td><td></td></tr><tr><td>DBL</td><td>DOUBLE</td><td>S4S</td><td>SMOOTH FOUR SIDES</td></tr><tr><td>DEFS</td><td>DIRECT-APPLIED EXTERIOR FINISH SYSTEM</td><td>SC</td><td>SOLID CORE</td></tr><tr><td>DET</td><td>DETAIL</td><td>SF</td><td>STOREFRONT</td></tr><tr><td>DIAG</td><td>DIAGONAL</td><td>SHLV</td><td>SHELVES</td></tr><tr><td>DLO</td><td>DAYLIGHT OPENING</td><td>SHT</td><td>SHEET</td></tr><tr><td>DS</td><td>DOWNSPOUT</td><td>SHTHG</td><td>SHEATHING</td></tr><tr><td>DWG</td><td>DRAWING</td><td>SIM</td><td>SIMILAR</td></tr><tr><td></td><td></td><td>SQ</td><td>SQUARE</td></tr><tr><td>E.O.</td><td>EDGE OF...</td><td>SS</td><td>STAINLESS STEEL</td></tr><tr><td>EB</td><td>EXPANSION BOLT</td><td>STD</td><td>STANDARD</td></tr><tr><td>EFC</td><td>EPOXY FLOOR COATING</td><td>STL</td><td>STEEL</td></tr><tr><td>EIFS</td><td>EXTERIOR INSULATION AND FINISHING SYSTEM</td><td>STOR</td><td>STORAGE</td></tr><tr><td>EJ</td><td>EXPANSION JOINT</td><td>STR</td><td>STAIR</td></tr><tr><td>ELEC</td><td>ELECTRICAL</td><td>STRUCT</td><td>STRUCTURAL</td></tr><tr><td>EDS</td><td>EDGE OF SLAB</td><td>SUB</td><td>SUBCONTRACTOR</td></tr><tr><td>EQ</td><td>EQUAL</td><td>SUSP</td><td>SUSPENDED</td></tr><tr><td>EQUIP</td><td>EQUIPMENT</td><td></td><td></td></tr><tr><td>ERD</td><td>EMERGENCY ROOF DRAIN</td><td></td><td></td></tr><tr><td>ES</td><td>EACH SIDE</td><td>T.O.</td><td>TOP OF...</td></tr><tr><td>ETR</td><td>EXISTING TO REMAIN</td><td>T&G</td><td>TONGUE AND GROOVE</td></tr><tr><td>EW</td><td>EACH WAY</td><td>TEL</td><td>TELEPHONE</td></tr><tr><td>EXP</td><td>EXPANSION</td><td>TEXT</td><td>TEXTURE</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>THK</td><td>THICKNESS</td></tr><tr><td></td><td></td><td>THOLD</td><td>THRESHOLD</td></tr><tr><td>F.O.</td><td>FACE OF...</td><td>TJ</td><td>TOOL JOINT</td></tr><tr><td>FAB</td><td>FABRICATE</td><td>TOS</td><td>TOP OF STEEL</td></tr><tr><td>FE</td><td>FIRE EXTINGUISHER - WALL MOUNT</td><td>TPO</td><td>THERMOPLASTIC POLYOLEFIN TYPICAL</td></tr><tr><td>FEC</td><td>FIRE EXTINGUISHER - RECESSED CABINET</td><td></td><td></td></tr><tr><td>FFE</td><td>FINISH FLOOR ELEVATION</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr><tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr><tr><td>FLR</td><td>FLOOR</td><td></td><td></td></tr><tr><td>FMW</td><td>FORMED METAL WALL PANEL</td><td>VB</td><td>VAPOR BARRIER</td></tr><tr><td>FR GWB</td><td>FIRE RATED GYPSUM WALLBOARD</td><td>VCT</td><td>VINYL CERAMIC TILE</td></tr><tr><td>FTG</td><td>FOOTING</td><td>VENT</td><td>VENTILATION</td></tr><tr><td></td><td></td><td>VERT</td><td>VERTICAL</td></tr><tr><td>GA</td><td>GAUGE</td><td>VHB</td><td>VERY HIGH BOND</td></tr><tr><td>GALV</td><td>GALVANIZED</td><td>VIF</td><td>VERIFY IN FIELD</td></tr><tr><td>GC</td><td>GENERAL CONTRACTOR</td><td>VWC</td><td>VINYL WALLCOVERING</td></tr><tr><td>GTR</td><td>GUTTER</td><td></td><td></td></tr><tr><td>GWB</td><td>GYPSUM WALLBOARD</td><td>W/</td><td>WITH</td></tr><tr><td>GYP BD</td><td>GYPSUM WALLBOARD</td><td>WB</td><td>WEATHER BARRIER</td></tr><tr><td></td><td></td><td>WWF</td><td>WELDED WIRE FABRIC</td></tr><tr><td></td><td></td><td>WWM</td><td>WELDED WIRE MESH</td></tr><tr><td>HB</td><td>HOSE BIBB</td><td></td><td></td></tr><tr><td>HGT</td><td>HEIGHT</td><td></td><td></td></tr><tr><td>HORIZ</td><td>HORIZONTAL</td><td></td><td></td></tr></table>	#/FT	PER FOOT	IBC	INTERNATIONAL BUILDING CODE	@	AT	INSUL	INSULATION	A/C	AIR CONDITIONING	INT	INTERIOR	AB	ANCHOR BOLT	LAM	LAMINATE	ABV	ABOVE	LAV	LAVATORY	AC	AIR CONDITIONING	LIA	LINE ITEM ALTERNATE	ACMU	ARCHITECTURAL CONCRETE MASONRY UNIT	LLH	LONG LEG HORIZONTAL	ACM	ALUMINUM COMPOSITE METAL	LLV	LONG LEG VERTICAL	ACQUST	ACOUSTICAL	LSC	LIFE SAFETY CODE	ACP	ACOUSTICAL CEILING PANEL			ACT	ACOUSTICAL CEILING TILE	MATL	MATERIAL	ADJ	ADJACENT	MAX	MAXIMUM	AFF	ABOVE FINISHED FLOOR	MDF	MEDIUM-DENSITY FIBERBOARD	AIA	AMERICAN INSTITUTE OF ARCHITECTS	MCM	METAL COMPOSITE MATERIAL	AIB	AIR INFILTRATION BARRIER	MECH	MECHANICAL	AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	MFR	MANUFACTURER	ALT	ALTERNATE	MIN	MINIMUM	ALUM	ALUMINUM	MISC	MISCELLANEOUS	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MO	MASONRY OPENING	APPROX	APPROXIMATE	MDO	MODIFIED	ARCH	ARCHITECT/ARCHITECTURAL	MOD BIT	MODIFIED BITUMEN	ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NR	MOISTURE RESISTANT	AUT0	AUTOMATIC	MTD	MOUNTED	AWB	AIR WEATHER BARRIER	MTL	METAL	B.O.	BOTTOM OF.../BACK OF...	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	BD	BOARD	NIC	NOT IN CONTRACT	BF	BOARD FOOT	NRP	NON-REMOVABLE PIN	BFA	BARRIER FREE ACCESSIBLE	NTS	NOT TO SCALE	BLKG	BLOCKING			BLW	BELOW	OC	ON CENTER	BM	BEAM	OH	OPPOSITE HAND	BOC	BACK OF CURB	OPNG	OPENING	BRK	BRICK			BTWN	BETWEEN	PCP	PORTLAND CEMENT PLASTER			PFT	PORCELAIN FLOOR TILE	C	CHANNEL	PL	PLATE	CAB	CABINET	PLAM	PLASTIC LAMINATE	CC	COLOR CHANGE	PLMB	PLUMBING	CER	CERAMIC	PLYWD	PLYWOOD	CFMF	COLD-FORMED METAL FRAMING	PMJF	PRE-MOLDED JOINT FILLER	CIP	CAST-IN-PLACE	PT	PAINT OR PRESSURE TREATED	CI	CONTINUOUS INSULATION	PVC	POLYVINYL CHLORIDE	CJ	CONTROL JOINT			CL	CENTER LINE	QT	QUARRY TILE	CLG	CEILING			CMU	CONCRETE MASONRY UNIT	RAD	RADIUS	CO	CLEAN OUT	RCP	REFLECTED CEILING PLAN	COL	COLUMN	RD	ROOF DRAIN	CONC	CONCRETE MASONRY UNIT	REINF	REINFORCED	CONT	CONTINUOUS	REQD	REQUIRED	CSI	CONSTRUCTION SPECIFICATIONS INSTITUTE	RI	RIGID INSULATION	CT	CERAMIC TILE	RJ	RAKED JOINT	CW	CURTAIN WALL	RL	RAIN LEADER			RO	ROUGH OPENING			RTD	RATED	DAS	DRESSED FOUR SIDES			DBL	DOUBLE	S4S	SMOOTH FOUR SIDES	DEFS	DIRECT-APPLIED EXTERIOR FINISH SYSTEM	SC	SOLID CORE	DET	DETAIL	SF	STOREFRONT	DIAG	DIAGONAL	SHLV	SHELVES	DLO	DAYLIGHT OPENING	SHT	SHEET	DS	DOWNSPOUT	SHTHG	SHEATHING	DWG	DRAWING	SIM	SIMILAR			SQ	SQUARE	E.O.	EDGE OF...	SS	STAINLESS STEEL	EB	EXPANSION BOLT	STD	STANDARD	EFC	EPOXY FLOOR COATING	STL	STEEL	EIFS	EXTERIOR INSULATION AND FINISHING SYSTEM	STOR	STORAGE	EJ	EXPANSION JOINT	STR	STAIR	ELEC	ELECTRICAL	STRUCT	STRUCTURAL	EDS	EDGE OF SLAB	SUB	SUBCONTRACTOR	EQ	EQUAL	SUSP	SUSPENDED	EQUIP	EQUIPMENT			ERD	EMERGENCY ROOF DRAIN			ES	EACH SIDE	T.O.	TOP OF...	ETR	EXISTING TO REMAIN	T&G	TONGUE AND GROOVE	EW	EACH WAY	TEL	TELEPHONE	EXP	EXPANSION	TEXT	TEXTURE	EXT	EXTERIOR	THK	THICKNESS			THOLD	THRESHOLD	F.O.	FACE OF...	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ROSEN RESIDENCE



RELEASE DATES

12/20/2024 - ISSUE FOR PERMIT

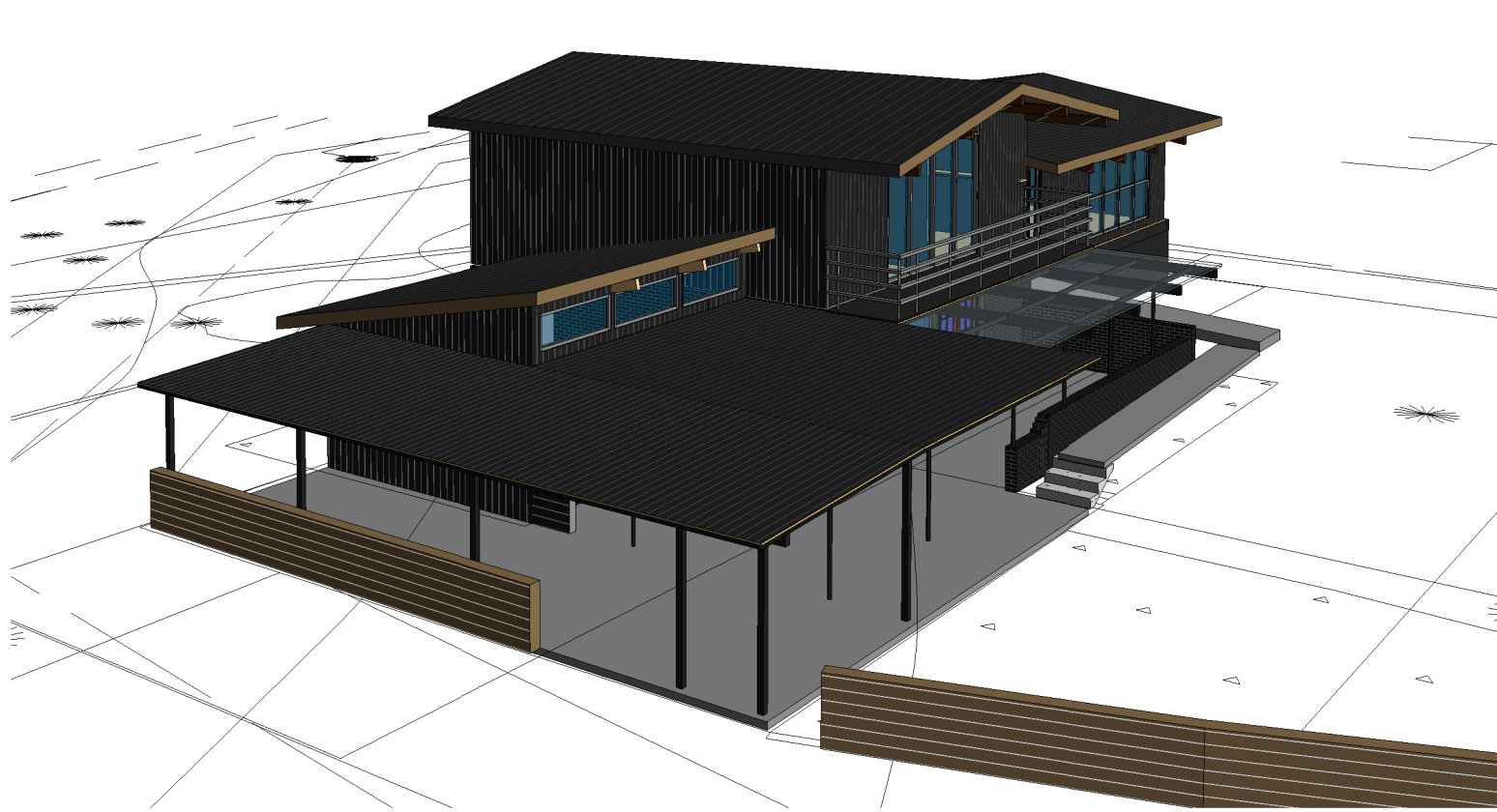
02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE

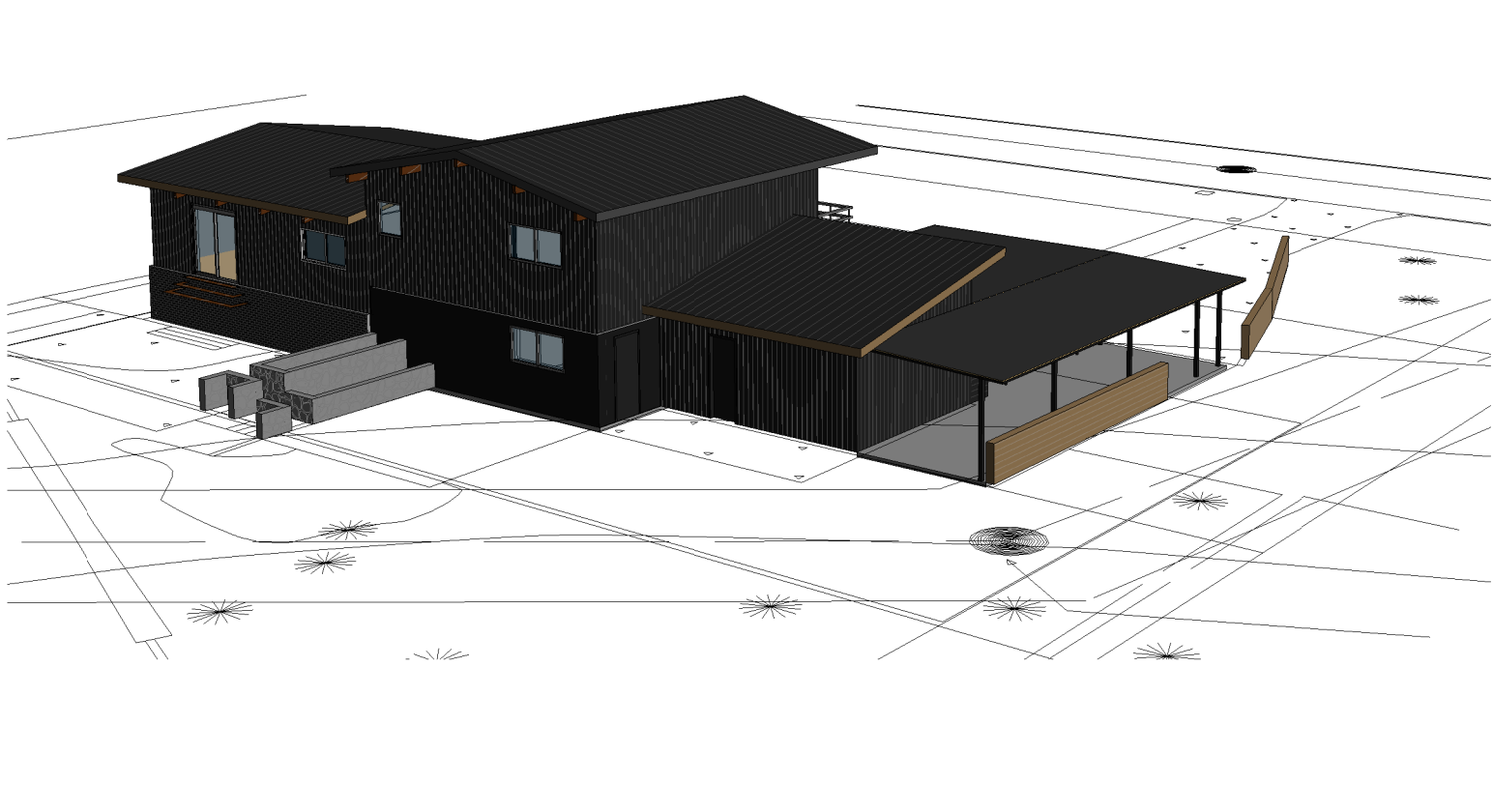
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

LOCATION
MAP,
GENERAL
NOTES &
SCHEDULES
CONSTRUCTION

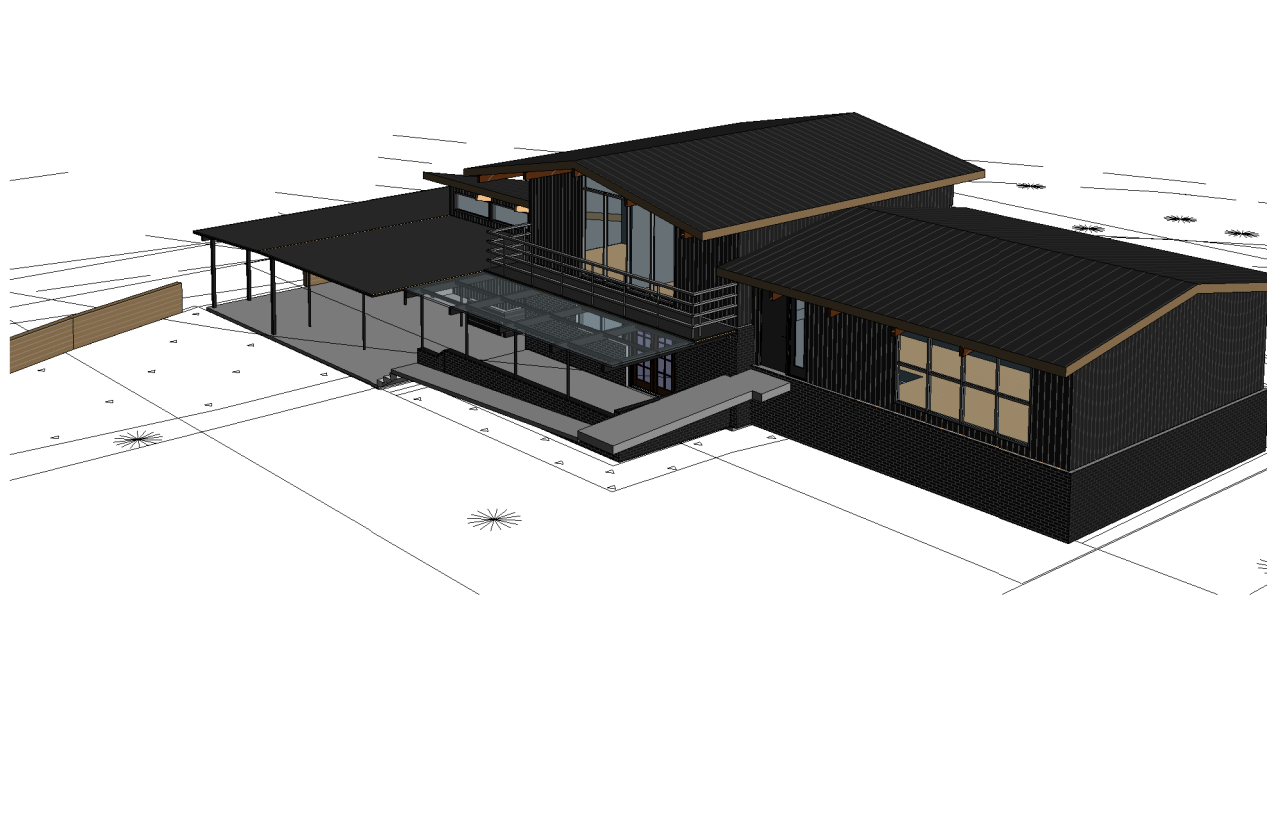
G002



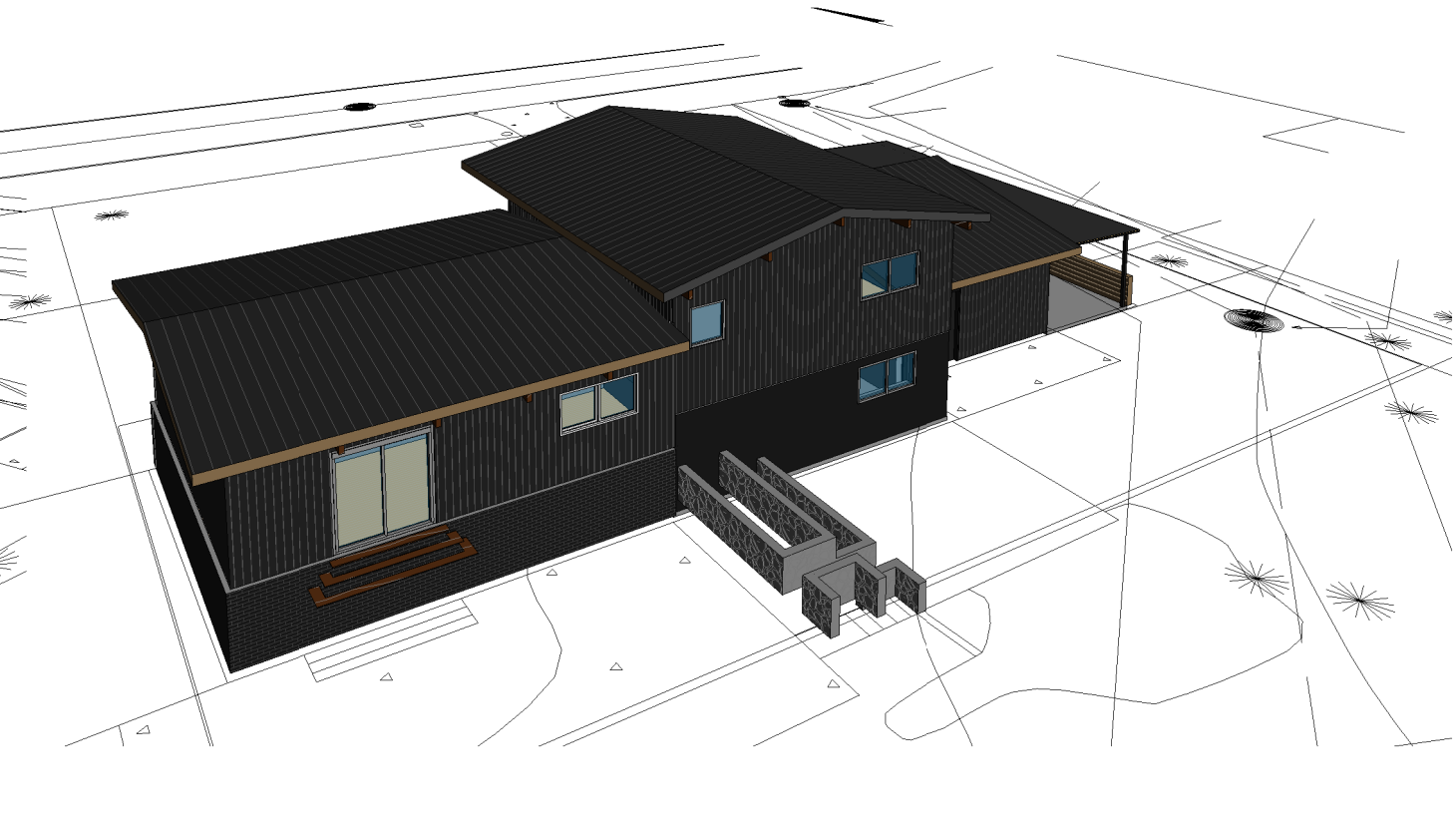
2 3D View 1 - NE - Existing



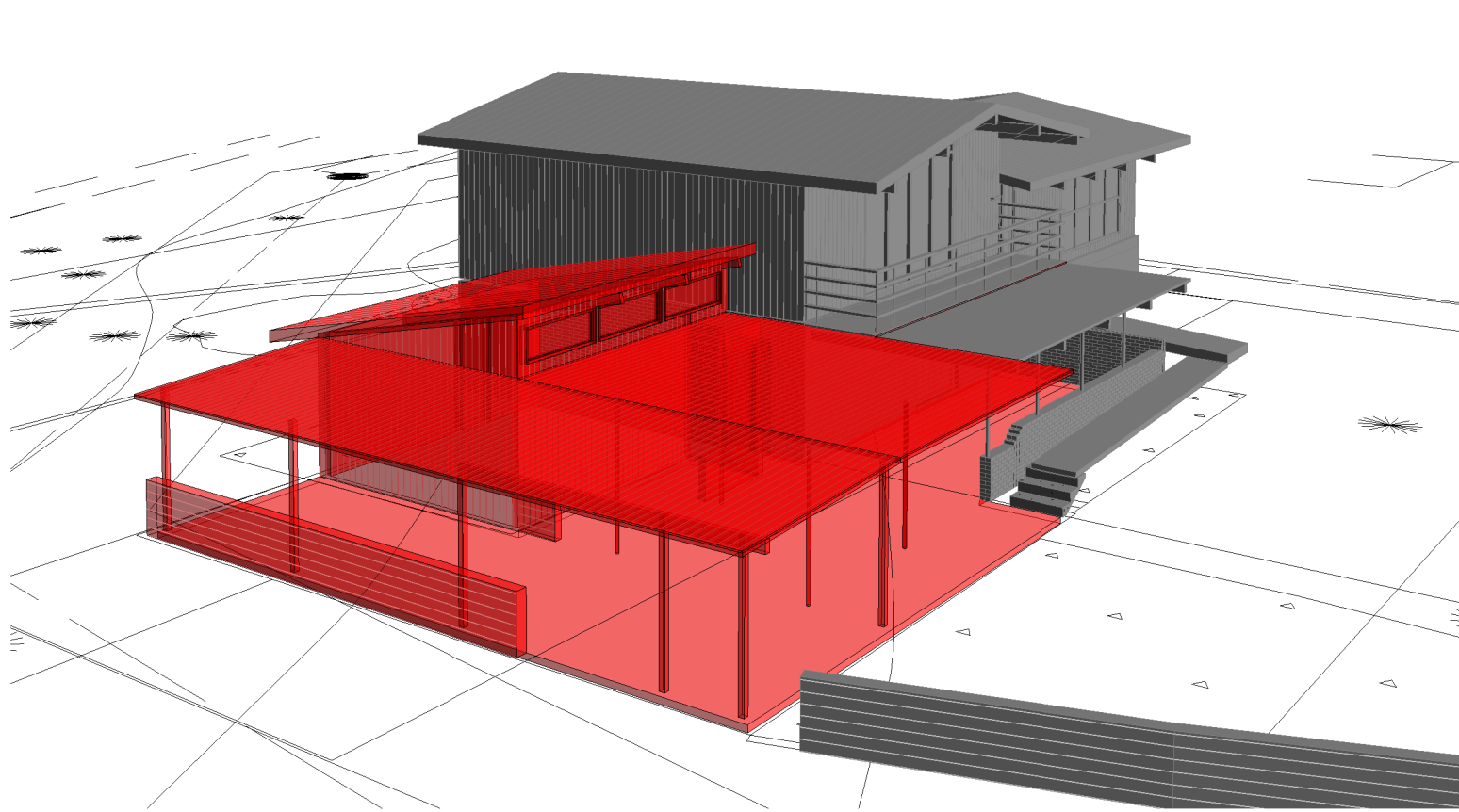
5 3D View 2 - SE - Existing



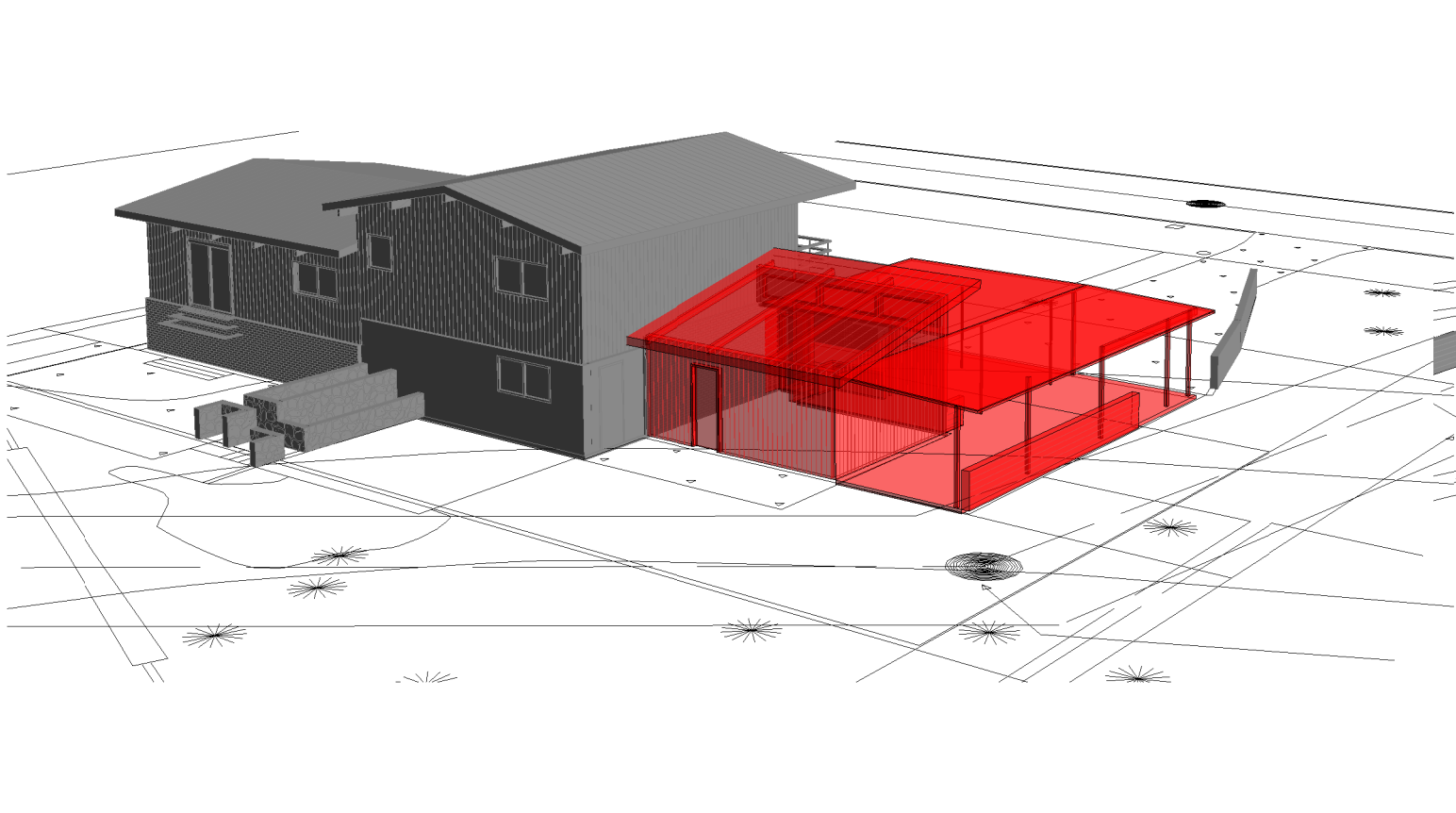
8 3D View 3 - NW - Existing



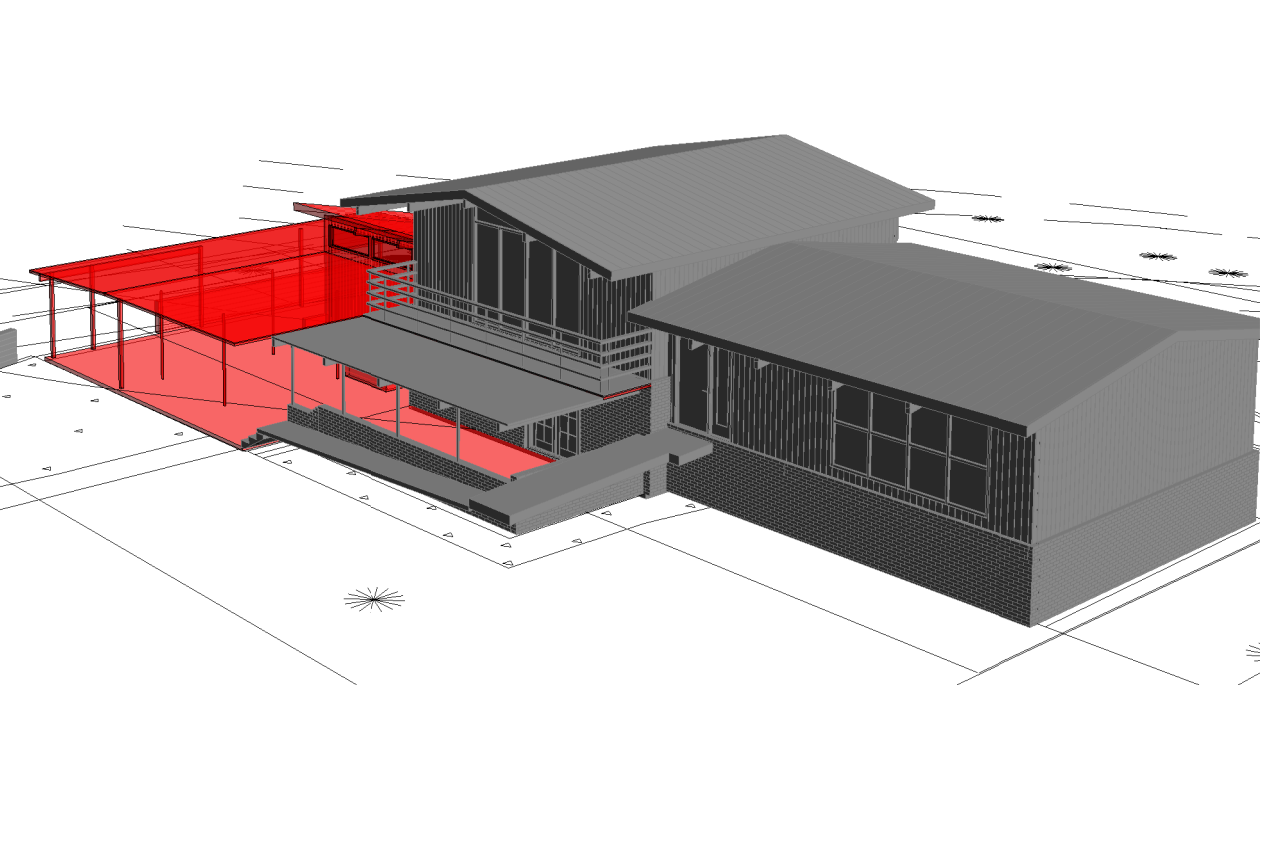
11 3D View 4 - SW - Existing



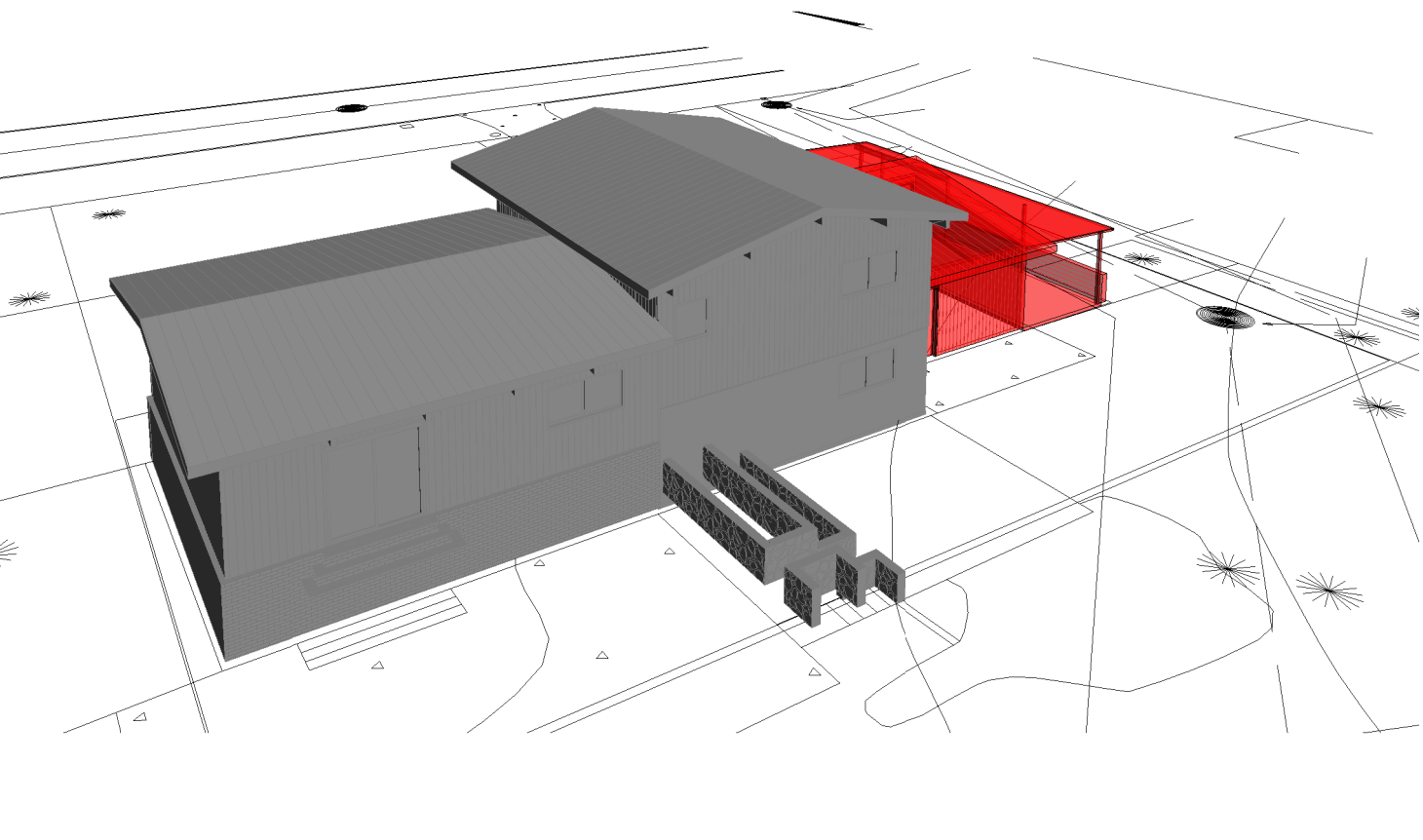
1 3D View 1 - NE - Demo



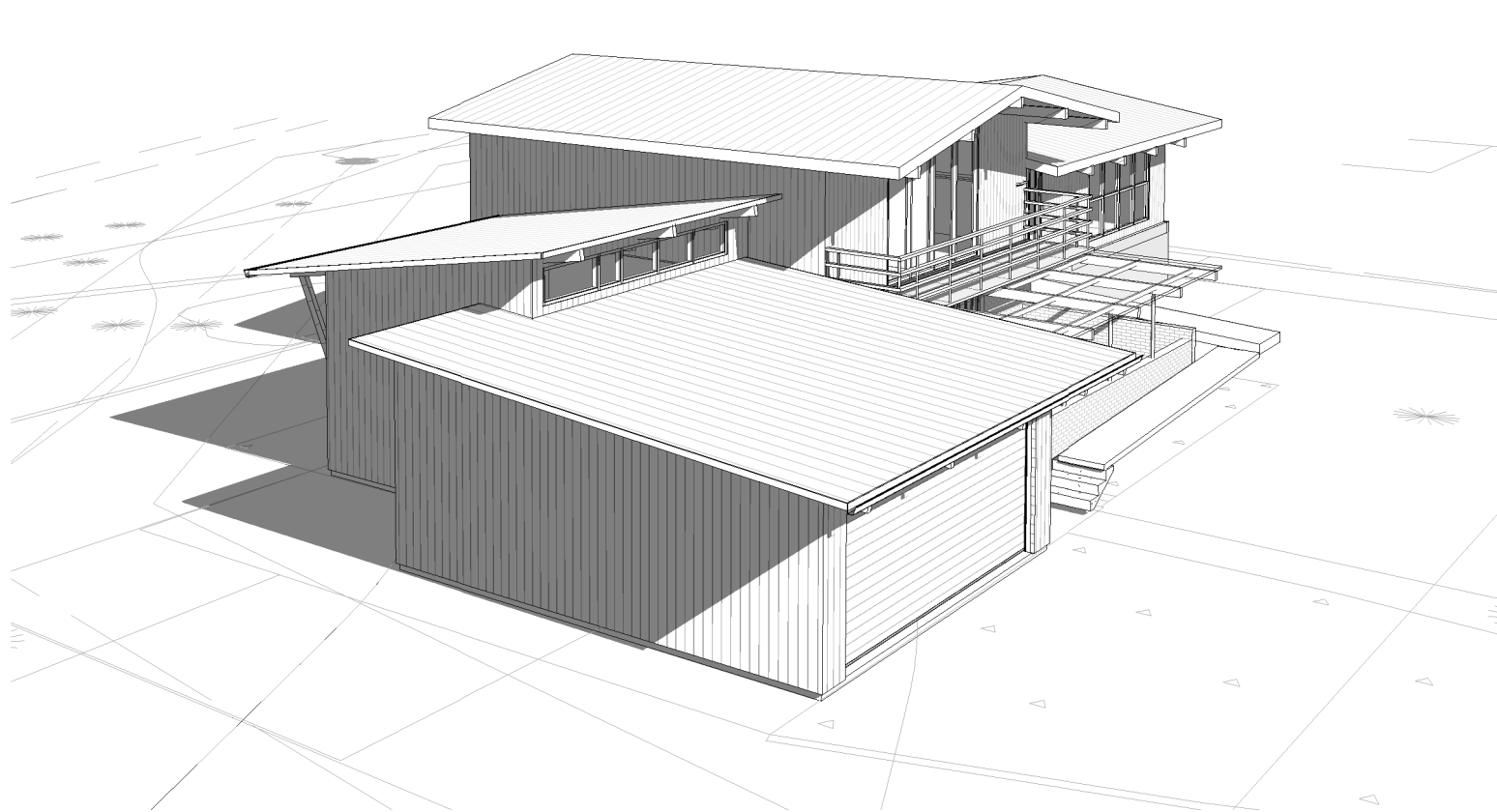
4 3D View 2 - SE - Demo



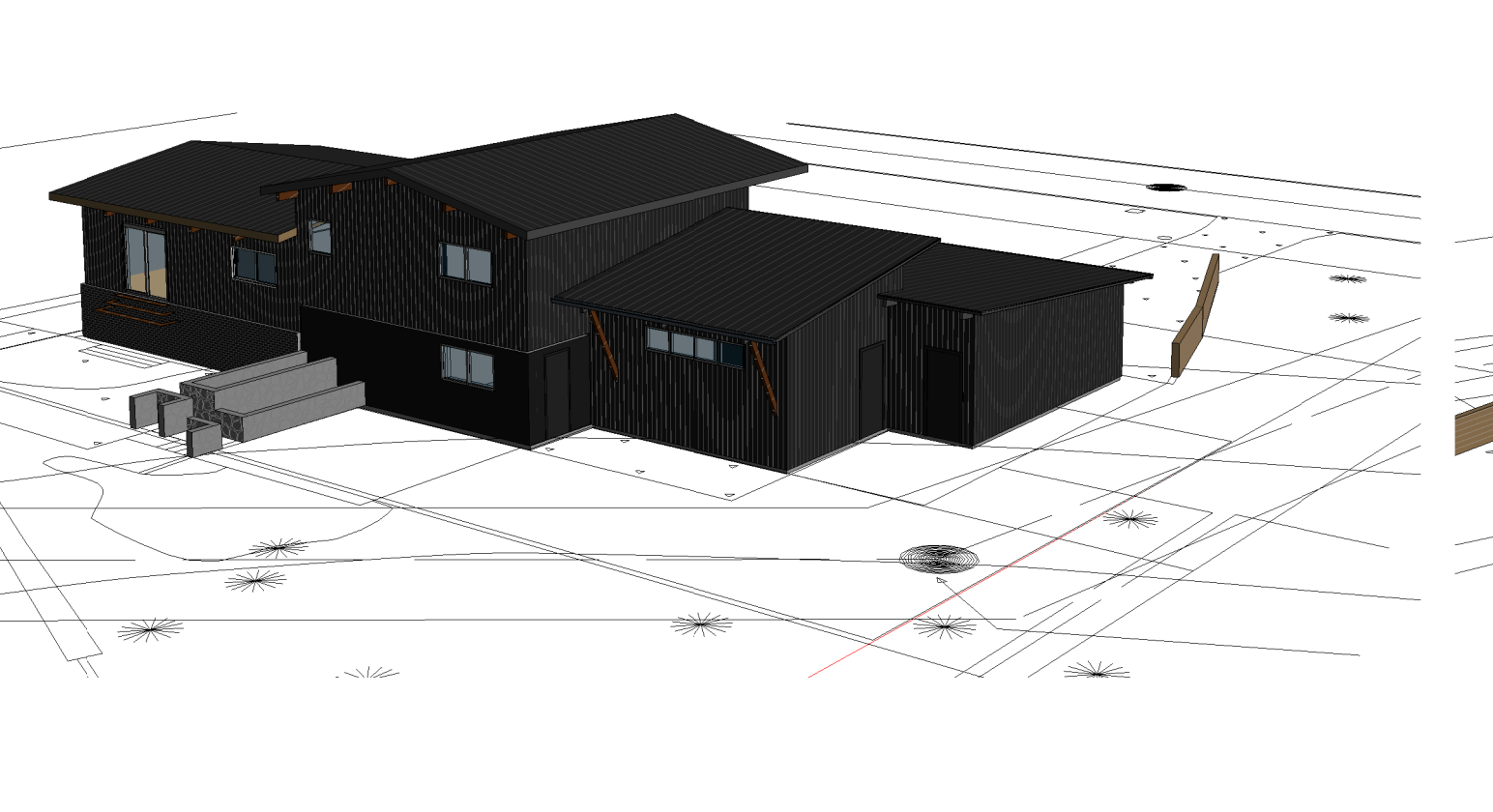
7 3D View 3 - NW - Demo



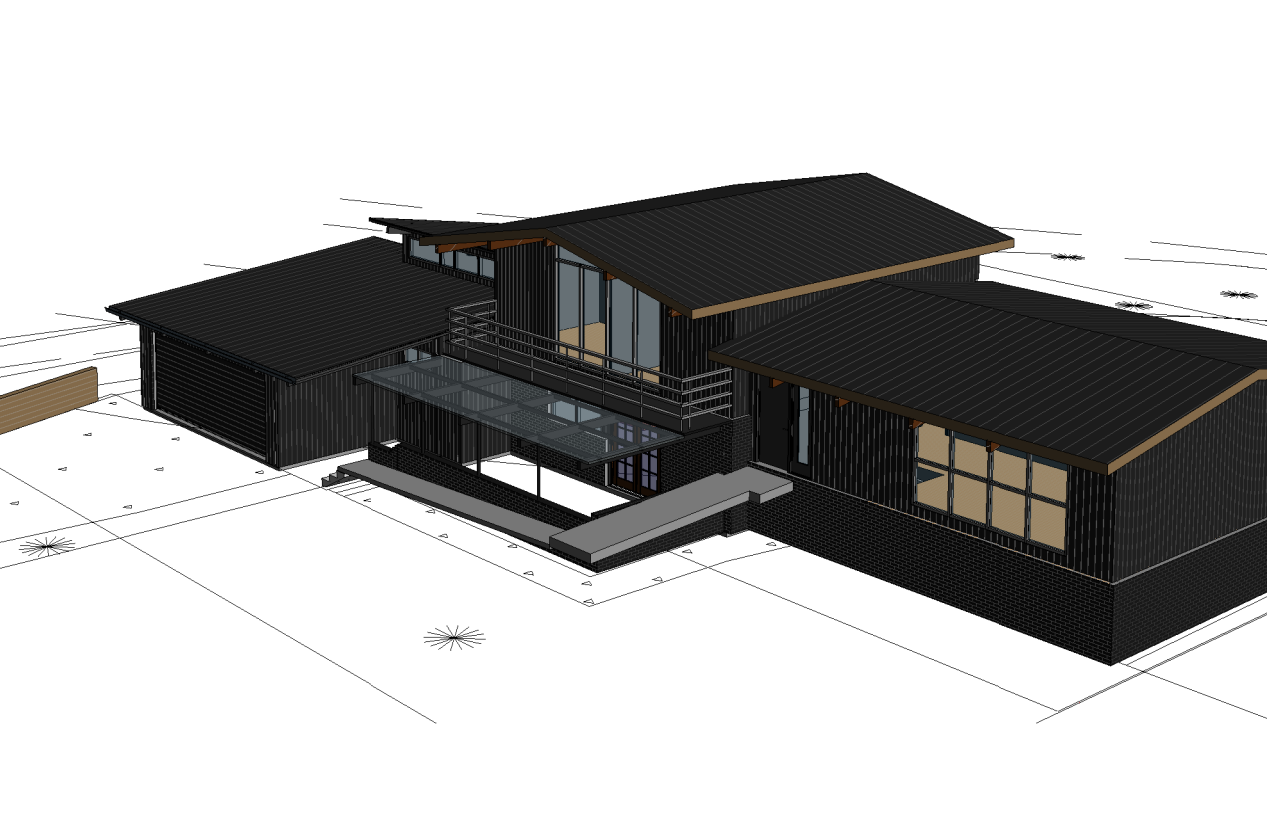
10 3D View 4 - SW - Demo



3 3D View 1 - NE - New Work



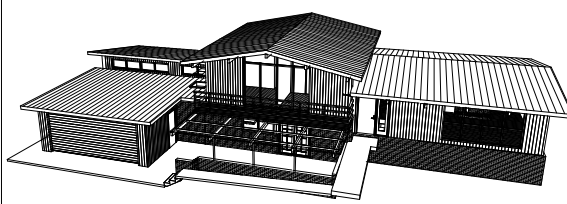
6 3D View 2 - SE - New



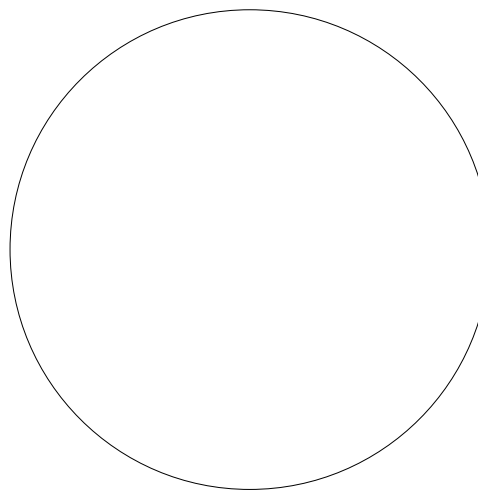
9 3D View 3 - NW - New



12 3D View 4 - SW - New



ROSEN
RESIDENCE



RELEASE DATES

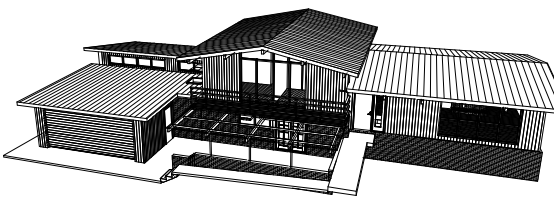
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

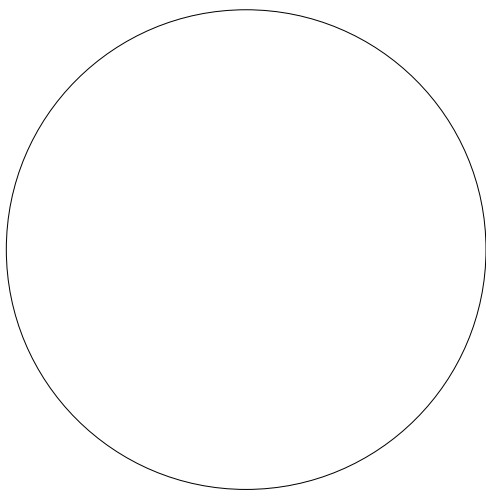
PERSPECTIVES

RELEASED FOR
CONSTRUCTION

G003



ROSEN
RESIDENCE



RELEASE DATES

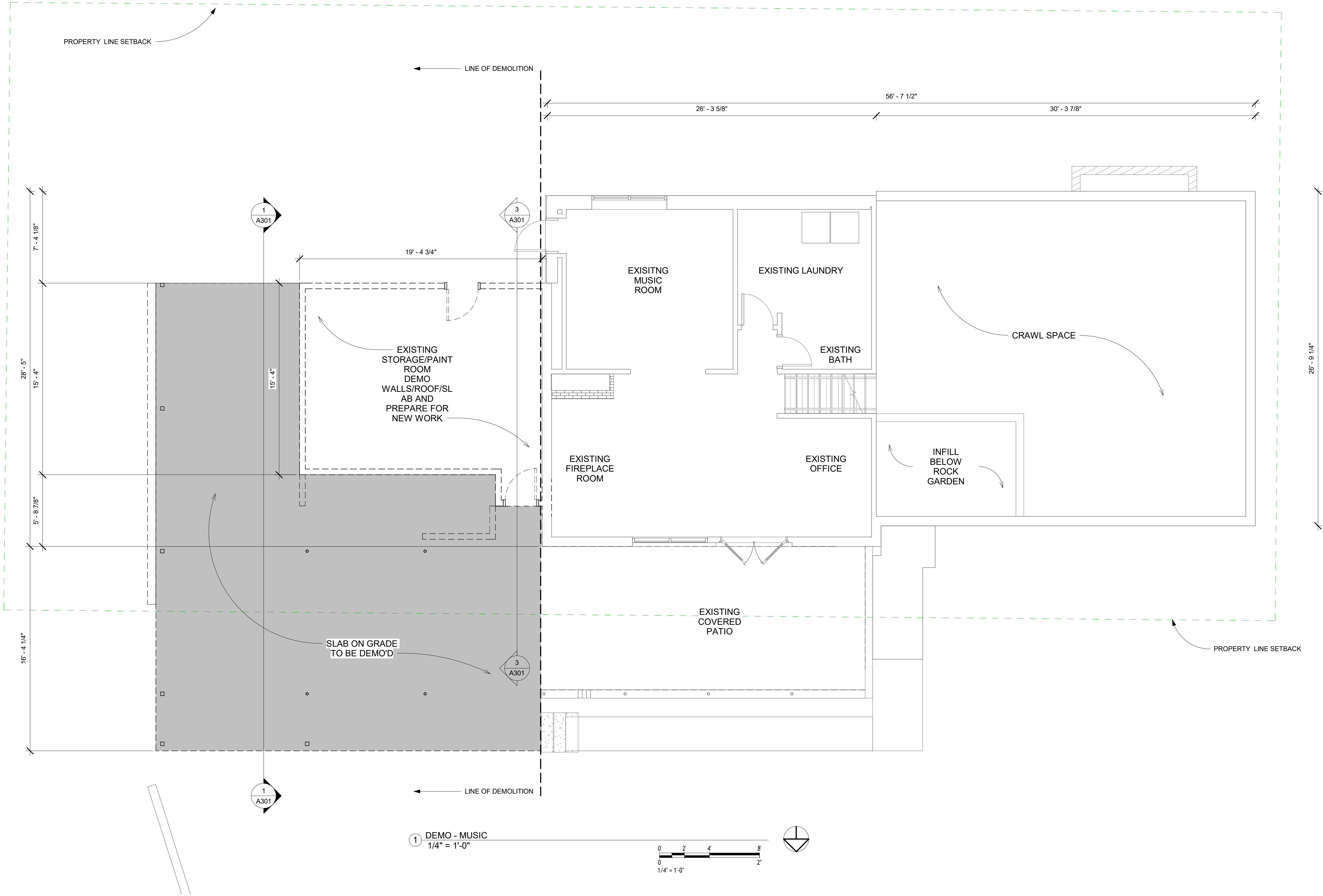
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

DEMO -
LOWER
LEVEL

RELEASED FOR
CONSTRUCTION

G005



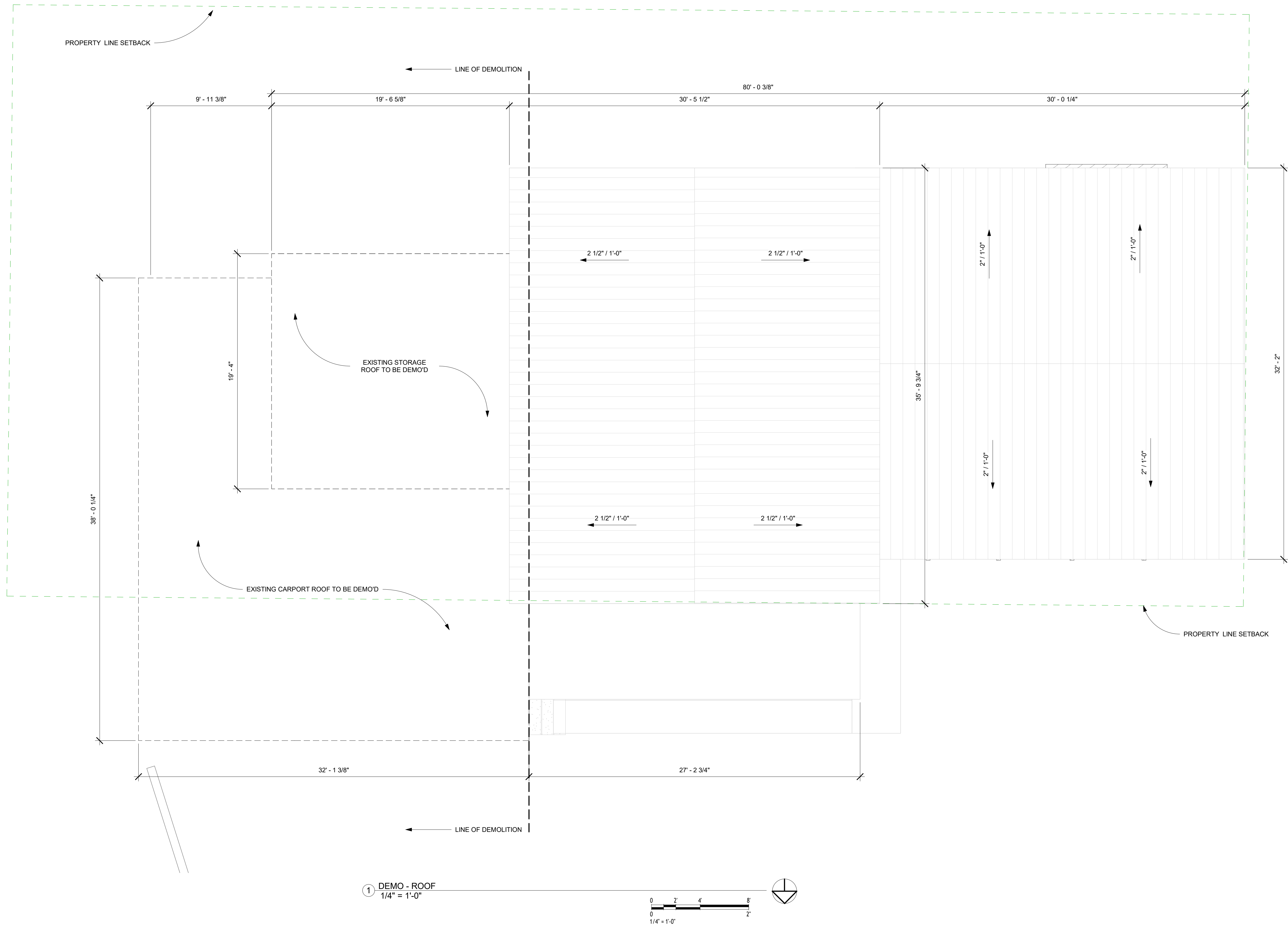


ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

DEMO -
ROOF
LEVEL

RELEASED FOR
CONSTRUCTION

G006



The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0038K, DATED 08/15/19

ZONING INFORMATION:

CLASSIFICATION: R-100
MINIMUM LOT WIDTH - 100 FEET
MINIMUM LOT AREA - 15,000 sf.
SETBACKS: FRONT - 35 FEET
 SIDE - 10 FEET
 REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

OWNER/24 HR CONTACT:

BRIAN & HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA. 30340
ROSEN@RABUNARCHITECTS.COM
(678)644-4942

CONTRACTOR:

S R HOME IMPROVEMENT, INC.
(404)705-4396
4279 ROSWELL ROAD NE
SUITE 208, BOX 240
ATLANTA, GA. 30342

LOT AREA:

18,008 sf.
0.413 ACRES

APPLICABLE BUILDING CODES:

- INTERNATIONAL BUILDING CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2022), (2024), (2025)
- INTERNATIONAL RESIDENTIAL CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2024)
- INTERNATIONAL FIRE CODE
2018 EDITION, (CONTACT STATE FIRE MARSHALL)
- INTERNATIONAL PLUMBING CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2022), (2023), (2024)
- INTERNATIONAL MECHANICAL CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2024)
- INTERNATIONAL FUEL GAS CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2022)
- NATIONAL ELECTRICAL CODE
2023 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE
2015 EDITION, WITH GEOGIA SUPPLEMENTS AND AMMENDMENTS (2020), (2022), (2023)
- INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020)
- NFPA 101
LIFE SAFETY CODE 2018 EDITION WITH STATE AMMENDMENTS (2020) - EFFECTIVE JANUARY 1, 2020

PROJECT SCOPE:

- DEMOLITION AND REPLACEMENT OF EXISTING CONCRETE DRIVE
- DEMOLITION AND REPLACEMENT OF DRIVE RETAINING WALL
- DEMOLITION OF EXISTING CARPORT;
- CONSTRUCTION OF ENCLOSED GARAGE/STUDIO



GSWCC

GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

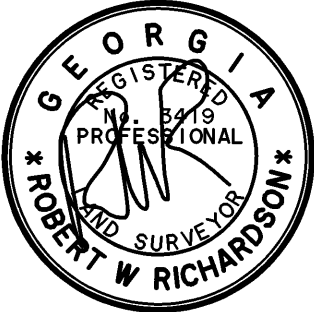
ROBERT W. RICHARDSON

LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000089322

ISSUED 10/12/2019 EXPIRES 10/11/2025

SIGNATURE DATE



ALPHA LAND SERVICES P.O. BOX 1651 LOGANVILLE, GA. 30052 ENGINEERING * LAND SURVEYING OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM		PAGE 1 OF 5 SITE PLAN FOR: 3186 LYNNRAY DRIVE TAX PARCEL: 18-291-05-036	
REVISION:	LAND LOT: 291 DISTRICT: 18TH DEKALB COUNTY GEORGIA FIELD DATE: 01/09/24 PLAT DATE: 02/18/25	LOT: 7 BLOCK: B SUB: NORTHCREST EAST AREA = 0.413 ACRES JOB No. 24011COV	
REF. PLAT: PB. 53 P. 48			

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0038K, DATED 08/15/19

ZONING INFORMATION:

CLASSIFICATION: R-100
MINIMUM LOT WIDTH - 100 FEET
MINIMUM LOT AREA - 15,000 sf.
SETBACKS: FRONT - 35 FEET
SIDE - 10 FEET
REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET
L.L. = LAND LOT
L.L.L. = LAND LOT LINE
P.L. = PROPERTY LINE
CL = CENTERLINE
B.L. = BUILDING LINE
R/W = RIGHT-OF-WAY
S.S.E. = SANITARY SEWER EASEMENT
D.E. = DRAINAGE EASEMENT
MH = MANHOLE
C.B. = CATCH BASIN
J.B. = JUNCTION BOX
HW = HEADWALL
D.I. = DROP INLET
PP = POWER/UTILITY POLE
F.H. = FIRE HYDRANT
I.E. = INVERT ELEVATION
F.F.E. = FINISHED FLOOR ELEVATION
F.F.B. = FINISHED FLOOR BASEMENT
F.F.G. = FINISHED FLOOR GARAGE
BOC = BACK OF CURB
EP = EDGE OF PAVEMENT
N/F = NOW OR FORMERLY
P.O.B. = POINT OF BEGINNING
SS = SANITARY SEWER LINE/PIPE
X-X-X = FENCE LINE
O = FLOOD HAZARD ZONE LINE
S = STORM SEWER LINE/PIPE
W = WATER LINE
G = GAS LINE
CM = CONCRETE MONUMENT
C.E. = CONSTRUCTION EASEMENT
C&G = CURB AND GUTTER
LS = LIGHT STANDARD
OTP = OPEN TOP PIPE FOUND
CTP = CRIMP TOP PIPE FOUND

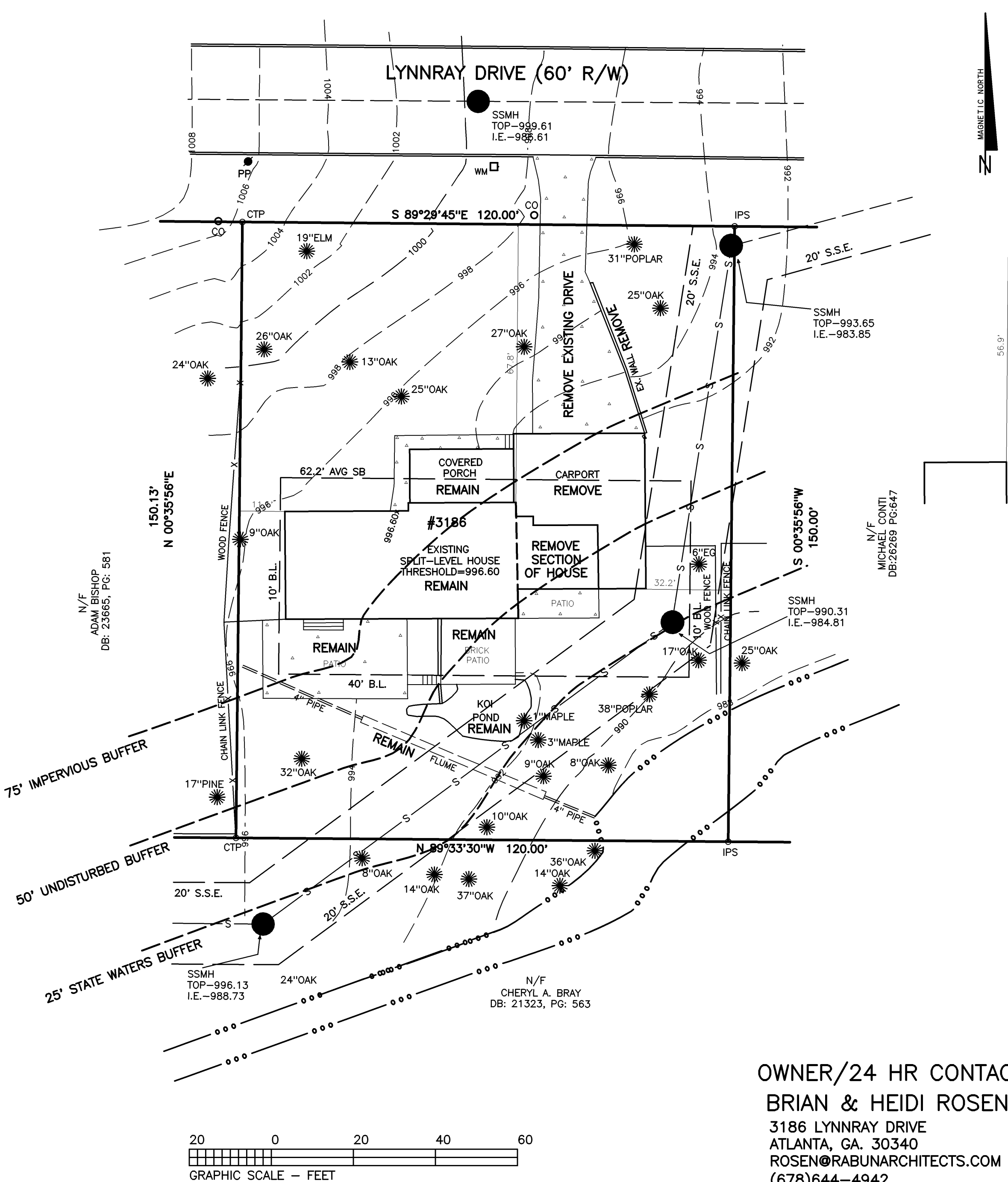
EXISTING LOT COVERAGE:

HOUSE = 1853 sf.
CONCRETE DRIVEWAY = 915 sf.
FRONT PORCH = 331 sf.
CONCRETE WALK = 161 sf.
CARPORT = 882 sf.
CONCRETE PATIOS = 821 sf.
BRICK PATIO = 322 sf.
KOI POND = 282 sf.
CONCRETE FLUME = 107 sf.
TOTAL = 5674 sf.
LOT COVERAGE = 31.5%

DEMOLITION NOTES:

- 1) ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION
- 2) ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE
- 3) ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- 4) DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- 5) ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR
- 6) CALL FOR FINAL INSPECTION AT 404-371-3010
- 7) NO TREE REMOVAL DURING DEMOLITION

LOT AREA:
18,008 sf.
0.413 ACRES



OWNER/24 HR CONTACT:
BRIAN & HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA. 30340
ROSEN@RABUNARCHITECTS.COM
(678)644-4942

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED 10/12/2019 EXPIRES 10/11/2025
SIGNATURE DATE 02/18/25



ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM
REVISION: _____
REF. PLAT: PB. 53 P. 48

EXISTING CONDITIONS/DEMOLITION PLAN FOR:
3186 LYNNRAY DRIVE
TAX PARCEL: 18-291-05-036
LAND LOT: 291
DISTRICT: 18TH
DEKALB COUNTY
GEORGIA
FIELD DATE: 01/09/24
PLAT DATE: 02/18/25
LOT: 7 BLOCK: B
SUB: NORTHCREST
EAST
AREA = 0.413 ACRES
JOB No. 24011D1

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0038K, DATED 08/15/19

ZONING INFORMATION:

CLASSIFICATION: R-100
MINIMUM LOT WIDTH - 100 FEET
MINIMUM LOT AREA - 15,000 sf.
SETBACKS: FRONT - 35 FEET
SIDE - 10 FEET
REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET
L.L. = LAND LOT
L.L.L. = LAND LOT LINE
P.L. = PROPERTY LINE
CL = CENTERLINE
B.L. = BUILDING LINE
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S.S.E. = SANITARY SEWER EASEMENT
D.E. = DRAINAGE EASEMENT
MH = MANHOLE
C.B. = CATCH BASIN
J.B. = JUNCTION BOX
HW = HEADWALL
D.I. = DROP INLET
PP = POWER/UTILITY POLE
F.H. = FIRE HYDRANT
I.E. = INVERT ELEVATION
F.F.E. = FINISHED FLOOR ELEVATION
F.F.B. = FINISHED FLOOR BASEMENT
F.F.G. = FINISHED FLOOR GARAGE
BOC = BACK OF CURB
EP = EDGE OF PAVEMENT
N/F = NOW OR FORMERLY
P.O.B. = POINT OF BEGINNING
SS = SANITARY SEWER LINE/PIPE
X-X-X = FENCE LINE
O = FLOOD HAZARD ZONE LINE
S = STORM SEWER LINE/PIPE
W = WATER LINE
G = GAS LINE
CM = CONCRETE MONUMENT
C.E. = CONSTRUCTION EASEMENT
C&G = CURB AND GUTTER
LS = LIGHT STANDARD
OTP = OPEN TOP PIPE FOUND
CTP = CRIMP TOP PIPE FOUND

- Tr - 4' ORANGE TREE-SAVE FENCING
Sd1-S - TYPE SENSITIVE SILT-FENCING (32" HIGH)
Co - CONSTRUCTION EXIT
SdHb - STAKED HAYBALES AS EROSION CONTROL

GENERAL NOTES:

- 1) THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- 2) EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 3) ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- 4) ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- 5) LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 6) ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- 7) ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 8) ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- 9) A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 10) A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 11) DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- 12) WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- 13) ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
- 14) NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- 15) WORK HOURS AND CONSTRUCTION DELIVERIES ARE:

MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

- 16) I, ROBERT W. RICHARDSON CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

STREAM BUFFER IMPERVIOUS ENCROACHMENT

BUFFER	EXISTING	PROPOSED
25'	26 sf.	26 sf.(NO CHANGE)
50'	893 sf.	672 sf.(-24.7%)
75'	2237 sf.	2144 sf.(-4.2%)
TOTAL	3156 sf.	2852 sf.(-9.9%)

NO GRADED SLOPE SHALL EXCEED 3H:1V
ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 3250 sf.
0.075 ACRES

EXISTING LOT COVERAGE:

HOUSE = 1853 sf.
CONCRETE DRIVEWAY = 915 sf.
FRONT PORCH = 331 sf.
CONCRETE WALK = 161 sf.
CARPORT = 882 sf.
CONCRETE PATIOS = 821 sf.
BRICK PATIO = 322 sf.
KOI POND = 282 sf.
CONCRETE FLUME = 107 sf.
TOTAL = 5674 sf.
LOT COVERAGE = 31.5%

PROPOSED LOT COVERAGE:

EXISTING HOUSE = 1544 sf.
FRONT PORCH = 320 sf.
CONCRETE WALK = 161 sf.
CONCRETE PATIOS = 821 sf.
BRICK PATIO = 322 sf.
KOI POND = 282 sf.
CONCRETE FLUME = 107 sf.
NEW CONCRETE DRIVE = 949 sf.
GARAGE ADDITION = 507 sf.
STUDIO ADDITION = 365 sf.
TOTAL = 5378 sf.
LOT COVERAGE = 29.9%

TREE INVENTORY:

SAVED:
19" ELM - 5.4
31" POPLAR - IMPACT
25" OAK - IMPACT
27" OAK - IMPACT
27" OAK - 8.0
26" OAK - 7.4
13" OAK - 4.0
25" OAK - 6.8
9" OAK - 2.4
6" EVERGREEN - 1.6
17" OAK - 4.8
38" POPLAR - 15.8
32" OAK - 11.2
9" OAK - 2.4
8" OAK - 2.4
10" OAK - 3.2

REMOVED:
NONE

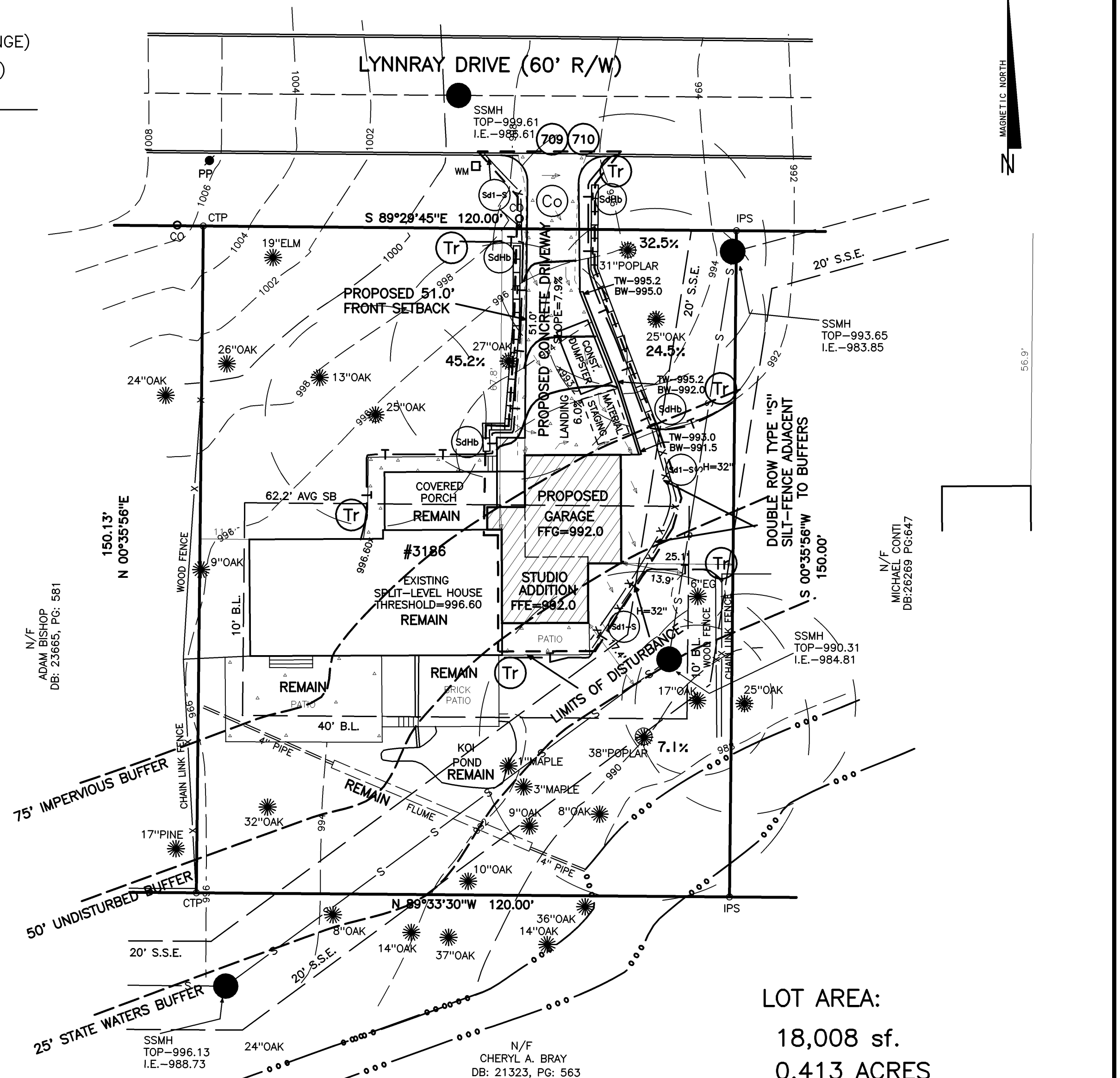
LANDSCAPE REQUIREMENTS:

15 x 0.413 = 6.2 UNITS REQUIRED
PRESERVED = 75.4 UNITS
SURPLUS = 69.2
120 x 0.413 = 50" DBH REQUIRED
PRESERVED = 239" DBH
SURPLUS = 189" DBH
TWO FRONT YARD TREES REQUIRED
REQUIREMENT MET

CUT/FILL VOLUMES:

CUT VOLUME = 2-3 CU YRDS
FILL VOLUME = 2-3 CU YRDS
- SITE TO BE BALANCED
- QUANTITIES ARE APPROXIMATE

DRIVEWAY TO BE REPLACED "IN-KIND" IN AN EFFORT TO REDUCE TREE IMPACT



LOT AREA:
18,008 sf.
0.413 ACRES

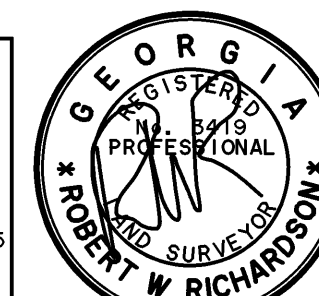
OWNER/24 HR CONTACT:
BRIAN & HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA. 30340
ROSEN@RABUNARCHITECTS.COM
(678)644-4942

PAGE 3 OF 5

SITE PLAN FOR:

3186 LYNNRAY DRIVE
TAX PARCEL: 18-291-05-036

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED 10/12/2019 EXPIRES 10/11/2025
SIGNATURE DATE

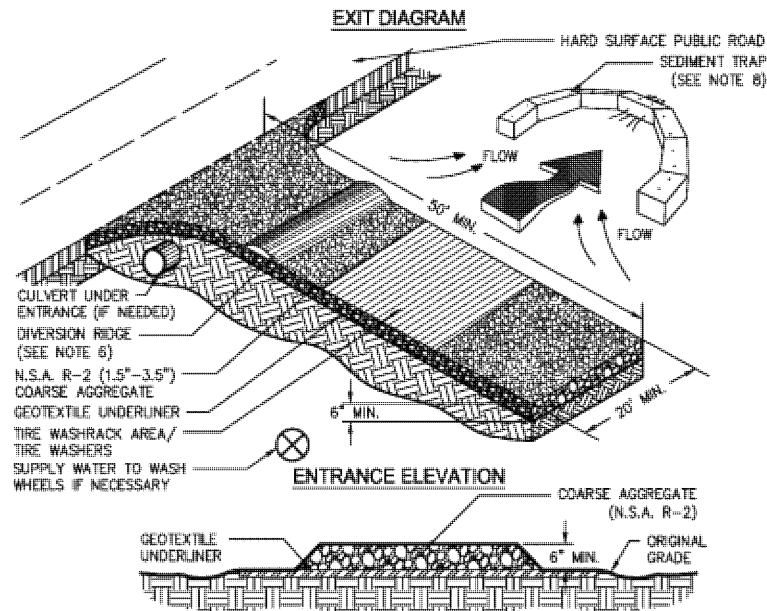


ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM
REVISION:
REF. PLAT: PB. 53 P. 48

LAND LOT: 291	LOT: 7	BLOCK: B
DISTRICT: 18TH	SUB: NORTHCREST	
DEKALB COUNTY	EAST	
FIELD DATE: 01/09/24	AREA = 0.413 ACRES	
PLAT DATE: 02/18/25	JOB No. 2401151	

MAINTENANCE
The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT



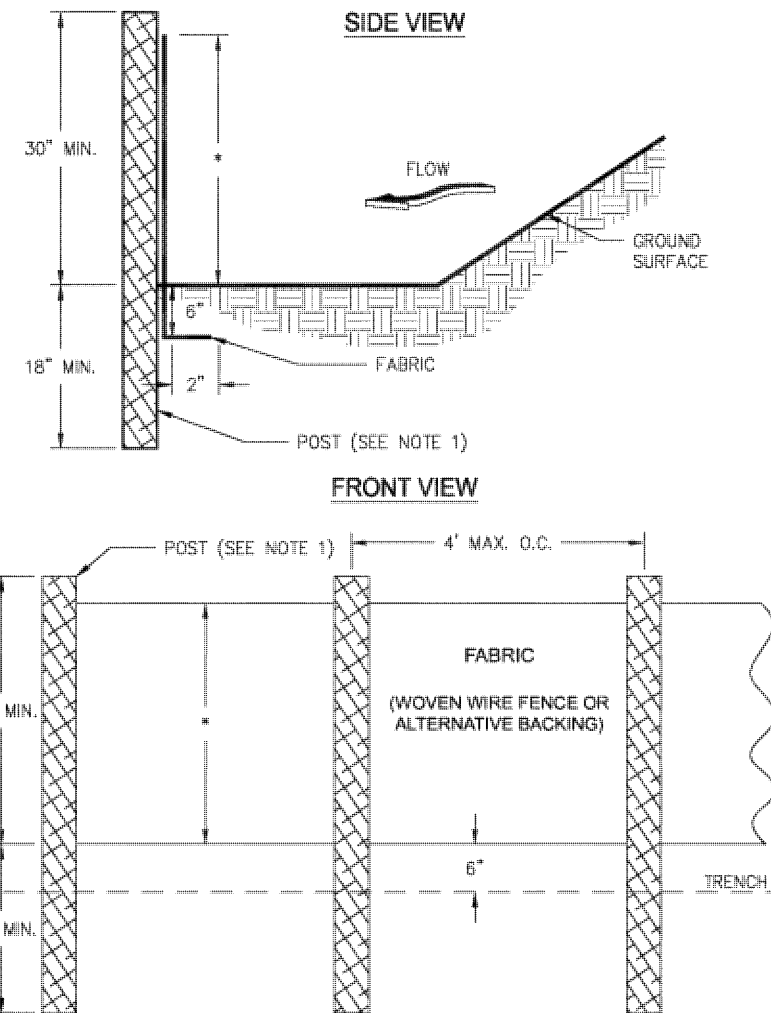
- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE & NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (OVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

GSWCC (Amended - 2013)

6-142

SILT FENCE Sd1-S (TYPE C)



- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Figure 6-27.2

GSWCC 2016 Edition

6-142

Ds4

MATERIALS

- Sod selected should be certified. Sod grown in the general area of the project is desirable.
- Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or thatch.
- Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather, if irrigation is not available.
- The sod type should be shown on the plans or installed according to Table 2. See page 60 for your Resource Area.

Table 2. Sod Planting Requirements			
Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L, P, C P, C P, C	Warm weather
Bahiagrass	Pensacola	P, C	Warm weather
Centipede	—	P, C	Warm weather
St. Augustine	Common Bitterblue Raleigh	C	Warm weather
Zoysia	Emerald Myer	P, C	Warm weather
Tall Fescue	Kentucky 31	M-L, P	Cool weather

MAINTENANCE

- Re-sod areas where an adequate stand of sod is not obtained.
- New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
- Apply one ton of agricultural lime as indicated

- Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.
- Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with herbicides or soil sterilants.
- Mix fertilizer into soil surface. Fertilize based on soil tests or Table 1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.
- Agricultural lime should be applied based on soil tests or at a rate of 1-2 tons/acre.
- Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod.

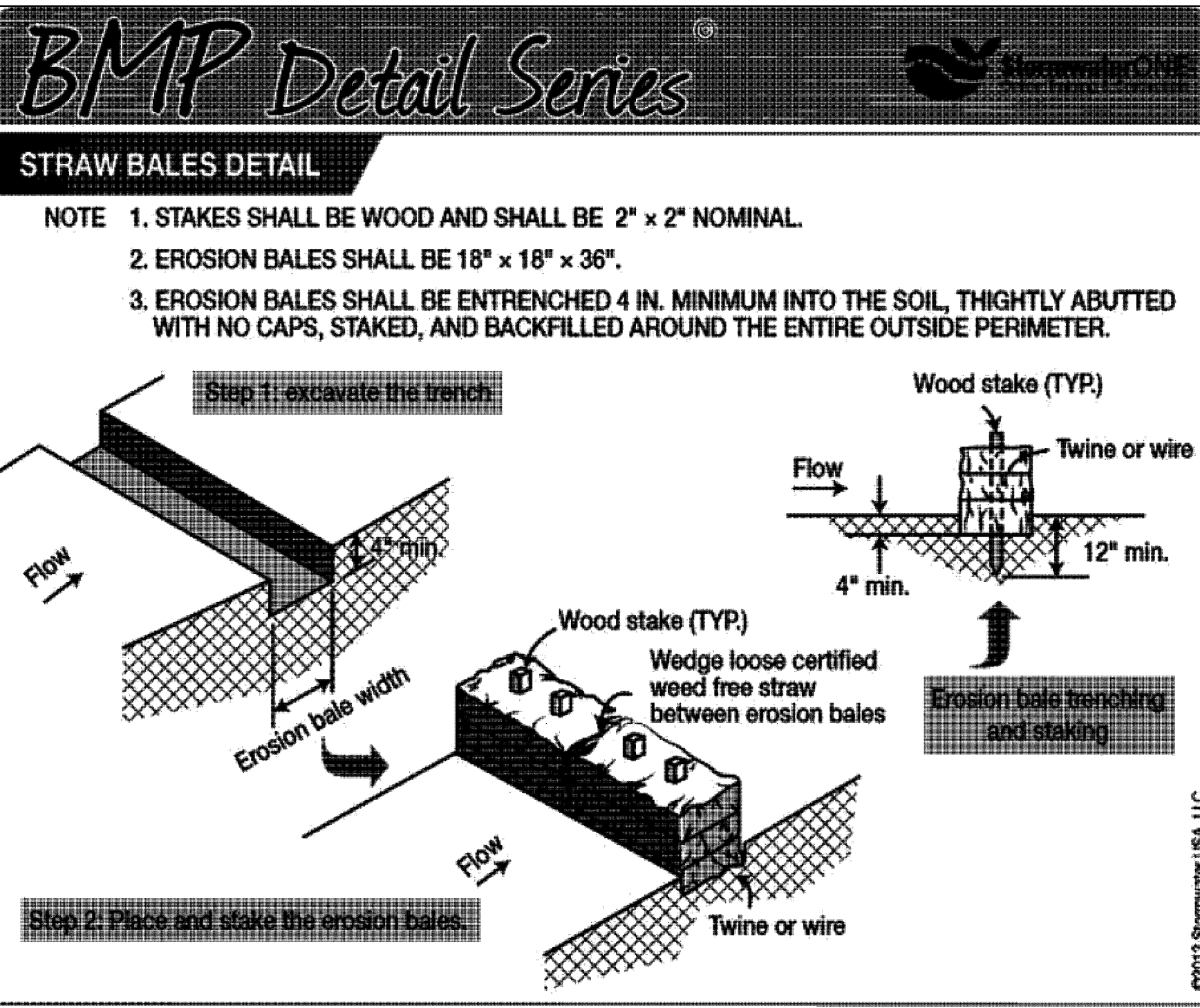
Table 1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type (lbs./acre)	Fertilizer Rate (lbs./sq.ft.)	Fertilizer Rate	Season
10-10-10	1000	.025	Fall

- On slopes steeper than 3:1, sod should be anchored with pins or other approved methods.
- Installed sod should be rolled or tamped to provide good contact between sod and soil.
- Irrigate sod and soil to a depth of 4" immediately after installation.
- Sod should not be cut or spread in extremely wet or dry weather.
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.
- Fertilize grasses in accordance with soil tests or Table 3.

Table 3. Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
Cool season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	---
	Maintenance	10-10-10	400	30
Warm season	First	6-12-12	1500	50-100
	Second	6-12-12	800	50-100



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SPECIES	Broadcast Rates 1/- pls 2/		Resource Area 3/	Planting Dates by Resource												Areas	Remarks
	Per Acre	Per 1000 sq. ft.		Planting Dates													
Ds3				(Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates)													
				J	F	M	A	M	J	J	A	S	O	N	D		
BAHIA, PENSACOLA (Paspalum notatum) alone or with temporary cover with other perennials	60 lbs.	1.4 lb.	P C											166,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with a companion crop. Will spread into bermuda pastures and lawns. Mix with Sericea lespedeza or weeping lovegrass.	Low		
	30 lbs.	0.7 lb.	lb.														
BAHIA, WILMINGTON (Cynodon dactylon) alone or with temporary cover with other perennials	60 lbs.	1.4 lb.	M-L P C											Same as above			
	30 lbs.	0.7 lb.	lb.														
BERMUDA, COMMON (Cynodon dactylon) Hulled seed alone with other perennials	10 lbs.	0.2 lb.	P C											1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.			
	6 lbs.	0.1 lb.	lb.														
BERMUDA, COMMON (Cynodon dactylon) unhulled seed with temporary cover with other perennials	10 lbs.	0.2 lb.	P C											Plant with winter annuals.			
	6 lbs.	0.1 lb.	lb.											Plant with Tall fescue.			
BERMUDA, COMMON (Cynodon dactylon) Coastal Common, Midland, or Tift Coastal, Common, or Tift 44, Tift 78	40 cu. ft. or 4800 plugs 3' x 3'	0.9 cu. ft.	M-L P C											A cubic foot contains approximately 650 sprigs. A bushel contains 1.25 cubic feet or approximately 800 sprigs. Same as above			
														Southern Coastal Plain only			
FESCUE, TALL (Festuca arundinacea) alone with other perennials	50 lbs.	1.1 lb.	M-L P C											227,000 seed per pound. Use alone only on better sites. Not for droughty soils. Mix with perennial lespedezas or Crownvetch. Apply topdressing in spring following fall planting. Not for heavy use areas or athletic fields.	Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.		
	30 lbs.	0.7 lb.	P C														
				J	F	M	A	M	J	J	A	S	O	N	D		
Species	Broadcast Rates 2/ - Pls 3/		Resource Area 4/	Planting Dates by Resource												Areas	Remarks
Ds2	Per Acre	Per 1000 sq. ft.		Planting Dates													
				(Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates.)													
				J	F	M	A	M	J	J	A	S	O	N	D		
MILLET, PEARL (Pennisetum glaucum) alone	50 lbs.	1.1 lb.	M-L P C											88,000 seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.	Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.		
OATS (Avena sativa) alone in mixtures	4 bu. (128 lbs.)	2.9 lb.	M-L P C											13,000 seed per pound. Use on productive soils. Not as winterhardy as rye or barley	Use on productive soils. Not as winterhardy as rye or barley		
	1 bu. (32 lbs.)	0.7 lb.	lb.														
RYE (Secale cereale) alone in mixtures	3 bu. (168 lbs.)	3.9 lb.	M-L P C											18,000 seed per pound. Quick cover. Drought tolerant and winterhardy	Quick cover. Drought tolerant and winterhardy		
	1/2 bu. (28 lbs.)	0.6 lb.	lb.														
RYE alone	40 lbs.	0.9 lb.	M-L P C											227,000 seed per pound. Dense cover. Very competitive and is not to be used in mixtures	Dense cover. Very competitive and is not to be used in mixtures		
RYE alone	60 lbs.	1.4 lb.	M-L P C											55,000 seed per pound. Good on droughty sites. Not recommended for mixtures.	Good on droughty sites. Not recommended for mixtures.		
				J	F	M	A	M	J	J	A	S	O	N	D		

PERM. & TEMP. GROUND COVER

Ds1

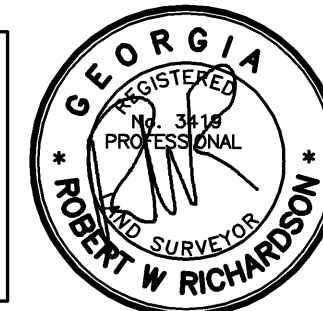
DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

MULCHING APPLICATION REQUIREMENTS

MATERIAL	RATE	DEPTH
STRAW OR HAY	2-1/2 TONS/ACRE	6" TO 10"
WOOD WASTE, CHIPS, SAWDUST, BARK	6 TO 9 TONS/ACRE	2" TO 3"
CUTBACK ASPHALT	1200 GAL/AC OR 1/4 GAL/SQ.YD.	---
POLYETHYLENE FILM	SECURE WITH SOIL, ANCHORS, WEIGHTS	---
CUTBACK ASPHALT	SEE MANUFACTURER'S RECOMMENDATIONS	---
GEOTEXTILES, JUTE MATTING, NETTING, ETC.	SEE MANUFACTURER'S RECOMMENDATIONS	---

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED: 10/11/2019 EXPIRES 10/11/2025
SIGNATURE DATE



ALPHA LAND SERVICES
P.O. BOX 1851
LOGANVILLE, GA. 30052

ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

REVISION:

LAND LOT: 291

DISTRICT: 18TH

DEKALB COUNTY

GEORGIA

FIELD DATE: 01/09/24

PLAT DATE: 02/18/25

REF. PLAT: PB. 53 P. 48

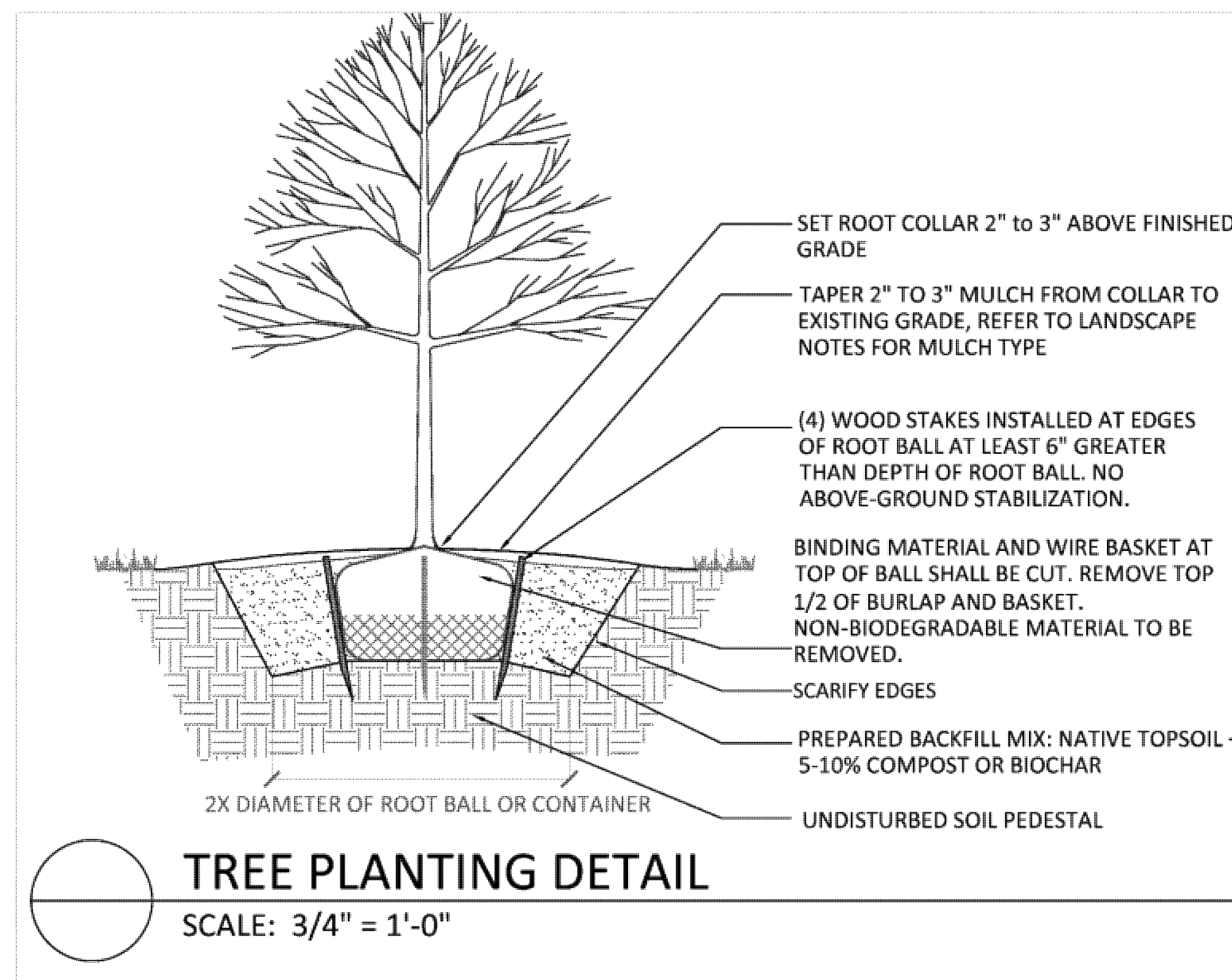
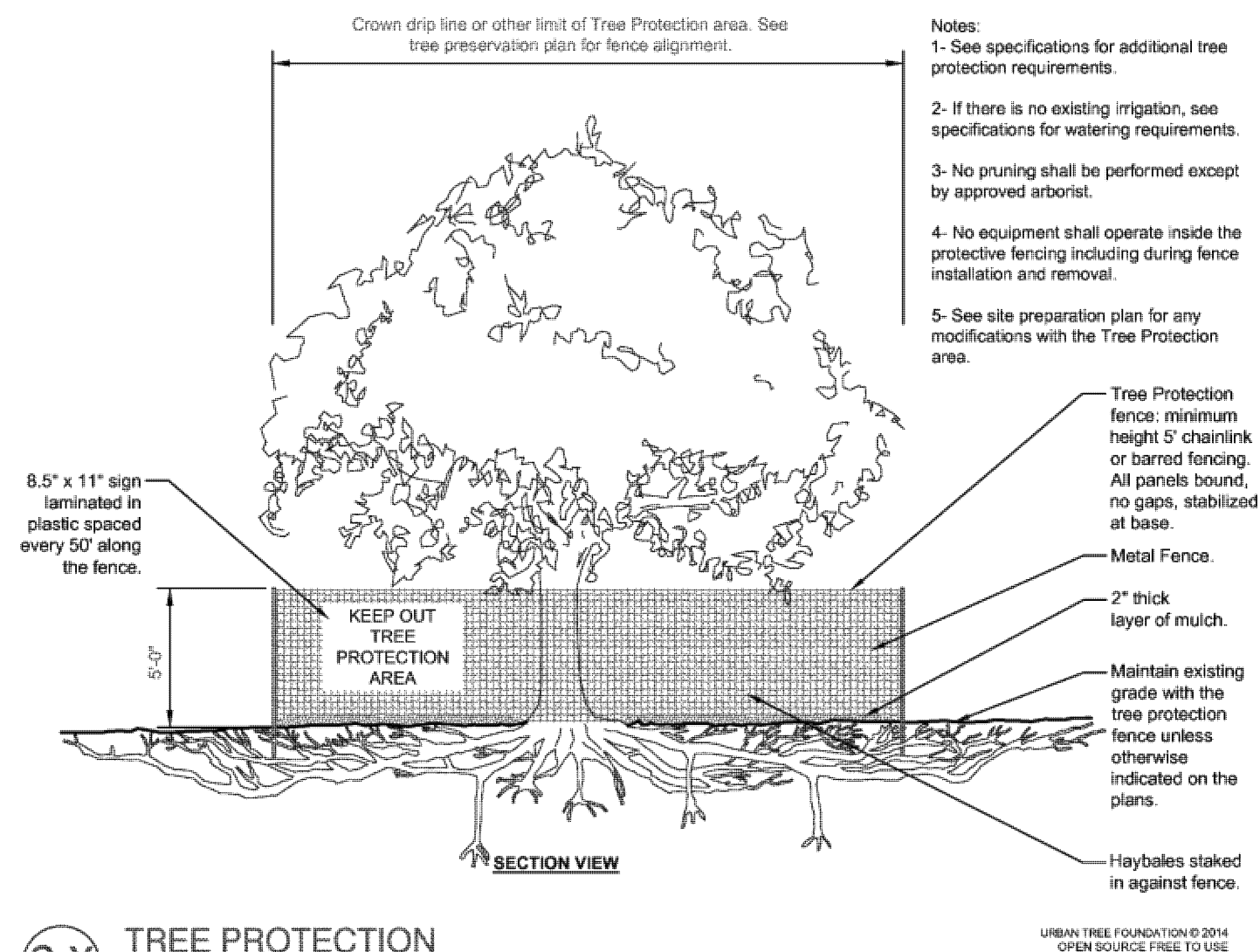
LOT: 7 BLOCK: B

SUB: NORTHCREST

EAST

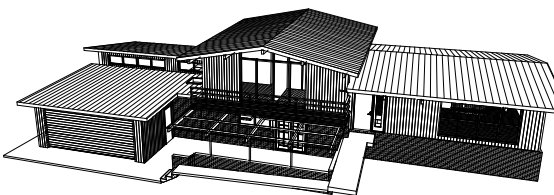
AREA = 0.413 ACRES

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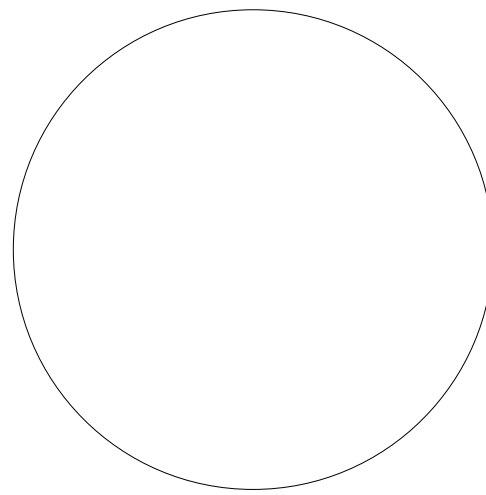


ROSEN RESIDENCE - ADDITION

3186 LYNNRAY DRIVE

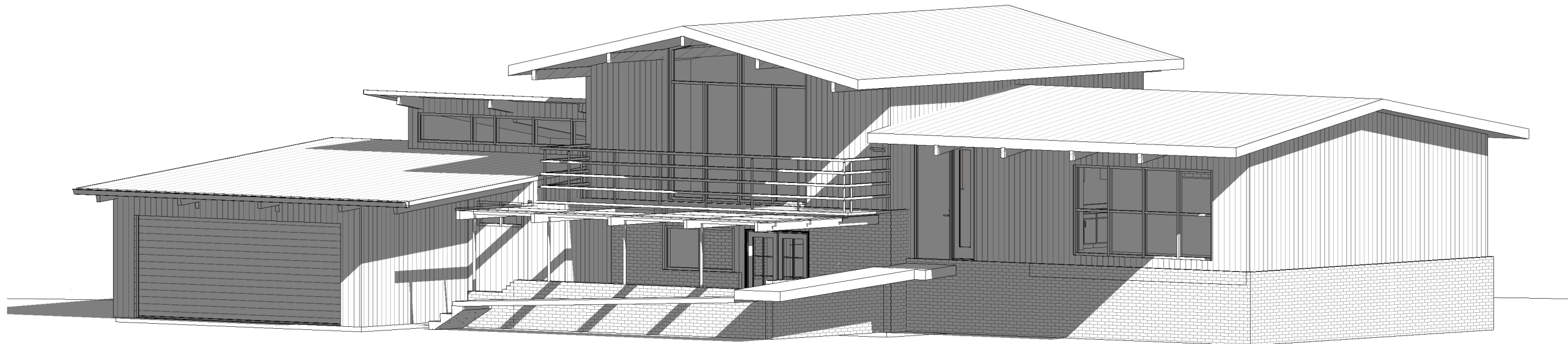
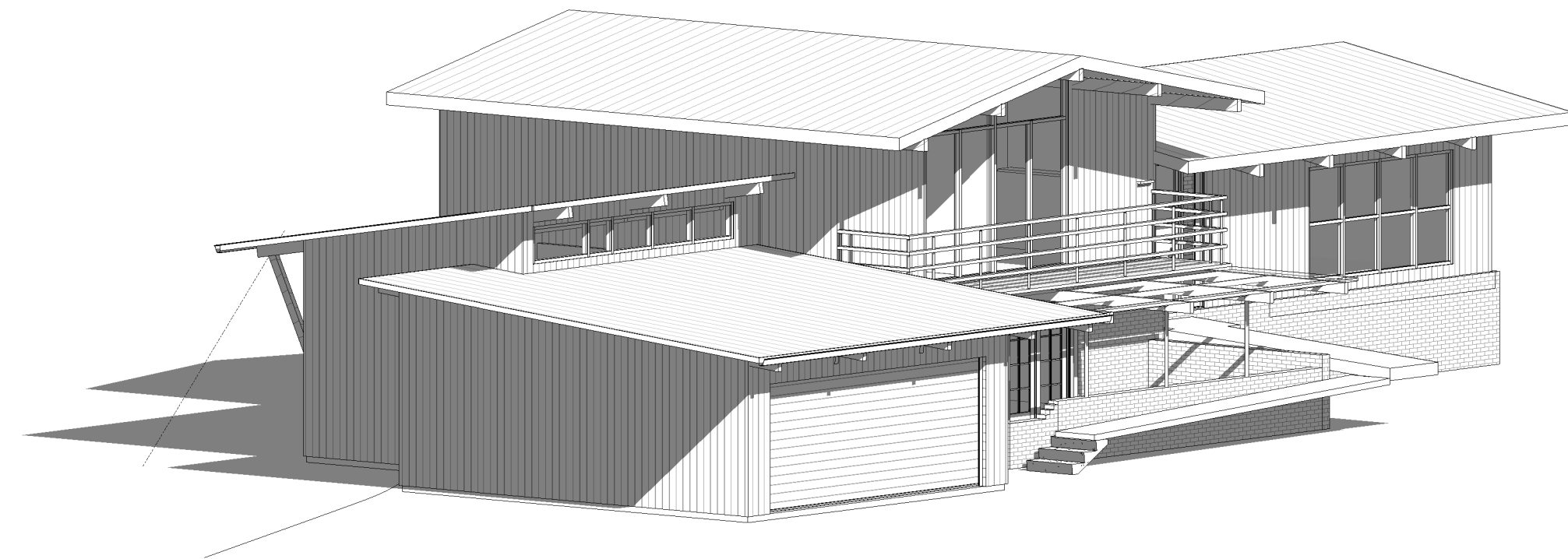


ROSEN
RESIDENCE



RELEASE DATES

12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS



PROJECT INFORMATION

OWNER:

MR.BRIAN AND HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA 30340

678.644.4942 (24 hour contact)

CIVIL ENGINEER:

ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA 30052
robert@alphasurveyor.com

770.696.4054

CONTRACTOR:

S R HOME IMPROVEMENT, INC.
4279 ROSWELL ROAD, N.E.
SUITE 208 - BOX 240
ATLANTA, GA 30342
renato@sridealhome.com

404.705.4396

BUILDING INFORMATION:

SEE ALPHA LAND SERVICES SITE PLAN DRAWINGS
FOR ALL INFORMATION RELATED TO THE WORK.

GENERAL		
Sheet Number	Sheet Name	Current Revision Date
G001	COVER SHEET	02/18/25
G002	LOCATION MAP, GENERAL NOTES & SCHEDULES	
G003	PERSPECTIVES	
G005	DEMO - LOWER LEVEL	
G006	DEMO - ROOF LEVEL	

A - SERIES		
Sheet Number	Sheet Name	Current Revision Date
A101	LOWER LEVEL	02/18/25
A102	ROOF PLAN	02/18/25
A201	BUILDING ELEVATIONS	02/18/25
A301	BUILDING SECTION	02/18/25

***FOR REFERENCE ONLY**
SEE CIVIL (SIGNED AND SEALED) SITE DRAWINGS FOR OFFICIAL INFORMATION

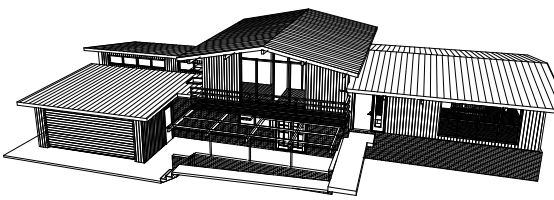
ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

COVER
SHEET

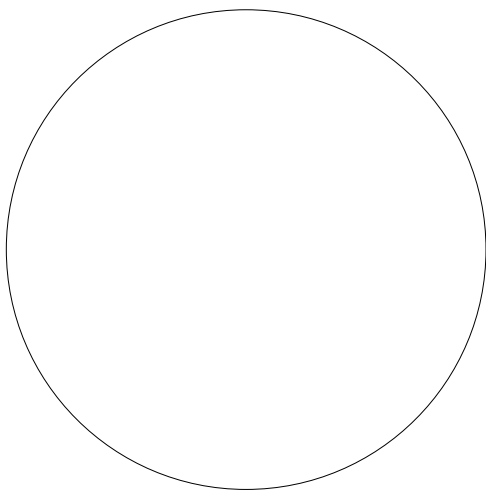
RELEASED FOR
CONSTRUCTION

G001

DESIGNER	SCOPE OF WORK		APPLICABLE CODES																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
BRIAN ROSEN 3186 LYNNRAY DRIVE PH: 678.644.4942 EMAIL: BROSEN73@YAHOO.COM CONTACT: BRIAN ROSEN	THE DRAWINGS HEREIN DESCRIBE THE DEMOLITION OF EXISTING DRIVEWAY/CARPORT/STORAGE AT 3186 LYNNRAY DRIVE IN ATLANTA, GA. THE WORK INCLUDES: INSTALLATION OF NEW DRIVEWAY, CONCRETE PAD WITH FOUNDATION FOR NEW WOOD CONSTRUCTION OF ENCLOSED GARAGE, STUDIO WITH FULL BATH, AND STORAGE SPACE. NEW CONSTRUCTION TO INCLUDE SPRAY FOAM INSULATION WITHIN WALL AND CEILING CAVITIES. NEW HVAC SYSTEM, PLUMBING, AND ELECTRICAL TO BE INCLUDED IN NEW WORK.		INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
CLIENT	SCHEDULES - Door & Wall Partition Details	ABBREVIATIONS	SYMBOLS LEGEND																																																																																																																																																																																																																																																																																																																																																																																																																																																																					
BRIAN & HEIDI ROSEN 3186 LYNNRAY DRIVE PH: 678.644.4942 (BRIAN ROSEN) 404.513.6673 (HEIDI ROSEN)	<table><tr><th colspan="5">Door Schedule</th></tr><tr><th>Mark</th><th>Height</th><th>Width</th><th>Type</th><th>Comments</th></tr><tr><td>G10</td><td>7' - 0"</td><td>2' - 10"</td><td>34" x 84"</td><td></td></tr><tr><td>G11</td><td>7' - 0"</td><td>18' - 0"</td><td>Hafele Automatic Garage Door LPU44 ROSEWOOD</td><td></td></tr><tr><td>G13</td><td>7' - 0"</td><td>3' - 0"</td><td>36" x 84"</td><td>EXTRA LOCK PROTECTION</td></tr><tr><td>G04</td><td>7' - 0"</td><td>3' - 0"</td><td>36" x 84"</td><td></td></tr><tr><td>G05</td><td>7' - 0"</td><td>2' - 6"</td><td>30" x 84"</td><td></td></tr><tr><td>G06</td><td>7' - 0"</td><td>3' - 0"</td><td>36" x 84"</td><td></td></tr><tr><td>G14</td><td>6' - 8"</td><td>2' - 6"</td><td>30" x 80"</td><td></td></tr></table>	Door Schedule					Mark	Height	Width	Type	Comments	G10	7' - 0"	2' - 10"	34" x 84"		G11	7' - 0"	18' - 0"	Hafele Automatic Garage Door LPU44 ROSEWOOD		G13	7' - 0"	3' - 0"	36" x 84"	EXTRA LOCK PROTECTION	G04	7' - 0"	3' - 0"	36" x 84"		G05	7' - 0"	2' - 6"	30" x 84"		G06	7' - 0"	3' - 0"	36" x 84"		G14	6' - 8"	2' - 6"	30" x 80"		<table><tr><th>#/FT</th><th>PER FOOT</th><th>IBC</th><th>INTERNATIONAL BUILDING CODE</th></tr><tr><td>@</td><td>AT</td><td>INSUL</td><td>INSULATION</td></tr><tr><td>A/C</td><td>AIR CONDITIONING</td><td>INT</td><td>INTERIOR</td></tr><tr><td>AB</td><td>ANCHOR BOLT</td><td>LAM</td><td>LAMINATE</td></tr><tr><td>ABV</td><td>ABOVE</td><td>LAV</td><td>LAVATORY</td></tr><tr><td>AC</td><td>AIR CONDITIONING</td><td>LIA</td><td>LINE ITEM ALTERNATE</td></tr><tr><td>ACMU</td><td>ARCHITECTURAL CONCRETE MASONRY UNIT</td><td>LLH</td><td>LONG LEG HORIZONTAL</td></tr><tr><td>ACM</td><td>ALUMINUM COMPOSITE METAL</td><td>LLV</td><td>LONG LEG VERTICAL</td></tr><tr><td>ACQUST</td><td>ACOUSTICAL</td><td>LSC</td><td>LIFE SAFETY CODE</td></tr><tr><td>ACP</td><td>ACOUSTICAL CEILING PANEL</td><td></td><td></td></tr><tr><td>ACT</td><td>ACOUSTICAL CEILING TILE</td><td>MATL</td><td>MATERIAL</td></tr><tr><td>ADJ</td><td>ADJACENT</td><td>MAX</td><td>MAXIMUM</td></tr><tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>MDF</td><td>MEDIUM-DENSITY FIBERBOARD</td></tr><tr><td>AIA</td><td>AMERICAN INSTITUTE OF ARCHITECTS</td><td>MCM</td><td>METAL COMPOSITE MATERIAL</td></tr><tr><td>AIB</td><td>AIR INFILTRATION BARRIER</td><td>MECH</td><td>MECHANICAL</td></tr><tr><td>AISC</td><td>AMERICAN INSTITUTE OF STEEL CONSTRUCTION</td><td>MFR</td><td>MANUFACTURER</td></tr><tr><td>ALT</td><td>ALTERNATE</td><td>MIN</td><td>MINIMUM</td></tr><tr><td>ALUM</td><td>ALUMINUM</td><td>MISC</td><td>MISCELLANEOUS</td></tr><tr><td>ANSI</td><td>AMERICAN NATIONAL STANDARDS INSTITUTE</td><td>MO</td><td>MASONRY OPENING</td></tr><tr><td>APPROX</td><td>APPROXIMATE</td><td>MCD</td><td>MODIFIED</td></tr><tr><td>ARCH</td><td>ARCHITECT/ARCHITECTURAL</td><td>MOD BIT</td><td>MODIFIED BITUMEN</td></tr><tr><td>ASTM</td><td>AMERICAN SOCIETY FOR TESTING AND MATERIALS</td><td>NR</td><td>MOISTURE RESISTANT</td></tr><tr><td>AUTO</td><td>AUTOMATIC</td><td>MTD</td><td>MOUNTED</td></tr><tr><td>AWB</td><td>AIR WEATHER BARRIER</td><td>MTL</td><td>METAL</td></tr><tr><td>B.O.</td><td>BOTTOM OF.../BACK OF...</td><td>NFPA</td><td>NATIONAL FIRE PROTECTION ASSOCIATION</td></tr><tr><td>BD</td><td>BOARD</td><td>NIC</td><td>NOT IN CONTRACT</td></tr><tr><td>BF</td><td>BOARD FOOT</td><td>NRP</td><td>NON-REMOVABLE PIN</td></tr><tr><td>BFA</td><td>BARRIER FREE ACCESSIBLE</td><td>NTS</td><td>NOT TO SCALE</td></tr><tr><td>BLKG</td><td>BLOCKING</td><td></td><td></td></tr><tr><td>BLW</td><td>BELOW</td><td>OC</td><td>ON CENTER</td></tr><tr><td>BM</td><td>BEAM</td><td>OH</td><td>OPPOSITE HAND</td></tr><tr><td>B/C</td><td>BACK OF CURB</td><td>OPNG</td><td>OPENING</td></tr><tr><td>BRK</td><td>BRICK</td><td></td><td></td></tr><tr><td>BTWN</td><td>BETWEEN</td><td>PCP</td><td>PORTLAND CEMENT PLASTER</td></tr><tr><td></td><td></td><td>PFT</td><td>PORCELAIN FLOOR TILE</td></tr><tr><td>C</td><td>CHANNEL</td><td>PL</td><td>PLATE</td></tr><tr><td>CAB</td><td>CABINET</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr><tr><td>CC</td><td>COLOR CHANGE</td><td>PLMB</td><td>PLUMBING</td></tr><tr><td>CER</td><td>CERAMIC</td><td>PLYWD</td><td>PLYWOOD</td></tr><tr><td>CFMF</td><td>COLD-FORMED METAL FRAMING</td><td>PMJF</td><td>PRE-MOLDED JOINT FILLER</td></tr><tr><td>CIP</td><td>CAST-IN-PLACE</td><td>PT</td><td>PAINT OR PRESSURE TREATED</td></tr><tr><td>CI</td><td>CONTINUOUS INSULATION</td><td>PVC</td><td>POLYVINYL CHLORIDE</td></tr><tr><td>CJ</td><td>CONTROL JOINT</td><td></td><td></td></tr><tr><td>CL</td><td>CENTER LINE</td><td>QT</td><td>QUARRY TILE</td></tr><tr><td>CLG</td><td>CEILING</td><td></td><td></td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>RAD</td><td>RADIUS</td></tr><tr><td>CO</td><td>CLEAN OUT</td><td>RCP</td><td>REFLECTED CEILING PLAN</td></tr><tr><td>COL</td><td>COLUMN</td><td>RD</td><td>ROOF DRAIN</td></tr><tr><td>CONC</td><td>CONCRETE MASONRY UNIT</td><td>REINF</td><td>REINFORCED</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>REQD</td><td>REQUIRED</td></tr><tr><td>CSI</td><td>CONSTRUCTION SPECIFICATIONS INSTITUTE</td><td>RI</td><td>RIGID INSULATION</td></tr><tr><td>CT</td><td>CERAMIC TILE</td><td>RJ</td><td>RAKED JOINT</td></tr><tr><td>CW</td><td>CURTAIN WALL</td><td>RL</td><td>RAIN LEADER</td></tr><tr><td></td><td></td><td>RO</td><td>ROUGH OPENING</td></tr><tr><td></td><td></td><td>RTD</td><td>RATED</td></tr><tr><td>DAS</td><td>DRESSED FOUR SIDES</td><td></td><td></td></tr><tr><td>DBL</td><td>DOUBLE</td><td>S4S</td><td>SMOOTH FOUR SIDES</td></tr><tr><td>DEFS</td><td>DIRECT-APPLIED EXTERIOR FINISH SYSTEM</td><td>SC</td><td>SOLID CORE</td></tr><tr><td>DET</td><td>DETAIL</td><td>SF</td><td>STOREFRONT</td></tr><tr><td>DIAG</td><td>DIAGONAL</td><td>SHLV</td><td>SHELVES</td></tr><tr><td>DLO</td><td>DAYLIGHT OPENING</td><td>SHT</td><td>SHEET</td></tr><tr><td>DS</td><td>DOWNSPOUT</td><td>SHTHG</td><td>SHEATHING</td></tr><tr><td>DWG</td><td>DRAWING</td><td>SIM</td><td>SIMILAR</td></tr><tr><td></td><td></td><td>SQ</td><td>SQUARE</td></tr><tr><td>E.O.</td><td>EDGE OF...</td><td>SS</td><td>STAINLESS STEEL</td></tr><tr><td>EB</td><td>EXPANSION BOLT</td><td>STD</td><td>STANDARD</td></tr><tr><td>EFC</td><td>EPOXY FLOOR COATING</td><td>STL</td><td>STEEL</td></tr><tr><td>EIFS</td><td>EXTERIOR INSULATION AND FINISHING SYSTEM</td><td>STOR</td><td>STORAGE</td></tr><tr><td>EJ</td><td>EXPANSION JOINT</td><td>STR</td><td>STAIR</td></tr><tr><td>ELEC</td><td>ELECTRICAL</td><td>STRUCT</td><td>STRUCTURAL</td></tr><tr><td>EDS</td><td>EDGE OF SLAB</td><td>SUB</td><td>SUBCONTRACTOR</td></tr><tr><td>EQ</td><td>EQUAL</td><td>SUSP</td><td>SUSPENDED</td></tr><tr><td>EQUIP</td><td>EQUIPMENT</td><td></td><td></td></tr><tr><td>ERD</td><td>EMERGENCY ROOF DRAIN</td><td></td><td></td></tr><tr><td>ES</td><td>EACH SIDE</td><td>T.O.</td><td>TOP OF...</td></tr><tr><td>ETR</td><td>EXISTING TO REMAIN</td><td>T&G</td><td>TONGUE AND GROOVE</td></tr><tr><td>EW</td><td>EACH WAY</td><td>TEL</td><td>TELEPHONE</td></tr><tr><td>EXP</td><td>EXPANSION</td><td>TEXT</td><td>TEXTURE</td></tr><tr><td>EXT</td><td>EXTERIOR</td><td>THK</td><td>THICKNESS</td></tr><tr><td></td><td></td><td>THOLD</td><td>THRESHOLD</td></tr><tr><td>F.O.</td><td>FACE OF...</td><td>TJ</td><td>TOOL JOINT</td></tr><tr><td>FAB</td><td>FABRICATE</td><td>TOS</td><td>TOP OF STEEL</td></tr><tr><td>FE</td><td>FIRE EXTINGUISHER - WALL MOUNT</td><td>TPO</td><td>THERMOPLASTIC POLYOLEFIN TYPICAL</td></tr><tr><td>FEC</td><td>FIRE EXTINGUISHER - RECESSED CABINET</td><td></td><td></td></tr><tr><td>FFE</td><td>FINISH FLOOR ELEVATION</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr><tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr><tr><td>FLR</td><td>FLOOR</td><td></td><td></td></tr><tr><td>FMW</td><td>FORMED METAL WALL PANEL</td><td>VB</td><td>VAPOR BARRIER</td></tr><tr><td>FR GWB</td><td>FIRE RATED GYPSUM WALLBOARD</td><td>VCT</td><td>VINYL CERAMIC TILE</td></tr><tr><td>FTG</td><td>FOOTING</td><td>VENT</td><td>VENTILATION</td></tr><tr><td></td><td></td><td>VERT</td><td>VERTICAL</td></tr><tr><td>GA</td><td>GAUGE</td><td>VHB</td><td>VERY HIGH BOND</td></tr><tr><td>GALV</td><td>GALVANIZED</td><td>VIF</td><td>VERIFY IN FIELD</td></tr><tr><td>GC</td><td>GENERAL CONTRACTOR</td><td>VWC</td><td>VINYL WALLCOVERING</td></tr><tr><td>GTR</td><td>GUTTER</td><td></td><td></td></tr><tr><td>GWB</td><td>GYPSUM WALLBOARD</td><td>W/</td><td>WITH</td></tr><tr><td>GYP BD</td><td>GYPSUM WALLBOARD</td><td>WB</td><td>WEATHER BARRIER</td></tr><tr><td></td><td></td><td>WWF</td><td>WELDED WIRE FABRIC</td></tr><tr><td></td><td></td><td>WWM</td><td>WELDED WIRE MESH</td></tr><tr><td>HB</td><td>HOSE BIBB</td><td></td><td></td></tr><tr><td>HGT</td><td>HEIGHT</td><td></td><td></td></tr><tr><td>HORIZ</td><td>HORIZONTAL</td><td></td><td></td></tr></table>	#/FT	PER FOOT	IBC	INTERNATIONAL BUILDING CODE	@	AT	INSUL	INSULATION	A/C	AIR CONDITIONING	INT	INTERIOR	AB	ANCHOR BOLT	LAM	LAMINATE	ABV	ABOVE	LAV	LAVATORY	AC	AIR CONDITIONING	LIA	LINE ITEM ALTERNATE	ACMU	ARCHITECTURAL CONCRETE MASONRY UNIT	LLH	LONG LEG HORIZONTAL	ACM	ALUMINUM COMPOSITE METAL	LLV	LONG LEG VERTICAL	ACQUST	ACOUSTICAL	LSC	LIFE SAFETY CODE	ACP	ACOUSTICAL CEILING PANEL			ACT	ACOUSTICAL CEILING TILE	MATL	MATERIAL	ADJ	ADJACENT	MAX	MAXIMUM	AFF	ABOVE FINISHED FLOOR	MDF	MEDIUM-DENSITY FIBERBOARD	AIA	AMERICAN INSTITUTE OF ARCHITECTS	MCM	METAL COMPOSITE MATERIAL	AIB	AIR INFILTRATION BARRIER	MECH	MECHANICAL	AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	MFR	MANUFACTURER	ALT	ALTERNATE	MIN	MINIMUM	ALUM	ALUMINUM	MISC	MISCELLANEOUS	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MO	MASONRY OPENING	APPROX	APPROXIMATE	MCD	MODIFIED	ARCH	ARCHITECT/ARCHITECTURAL	MOD BIT	MODIFIED BITUMEN	ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NR	MOISTURE RESISTANT	AUTO	AUTOMATIC	MTD	MOUNTED	AWB	AIR WEATHER BARRIER	MTL	METAL	B.O.	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NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	BD	BOARD	NIC	NOT IN CONTRACT	BF	BOARD FOOT	NRP	NON-REMOVABLE PIN	BFA	BARRIER FREE ACCESSIBLE	NTS	NOT TO SCALE	BLKG	BLOCKING			BLW	BELOW	OC	ON CENTER	BM	BEAM	OH	OPPOSITE HAND	B/C	BACK OF CURB	OPNG	OPENING	BRK	BRICK			BTWN	BETWEEN	PCP	PORTLAND CEMENT PLASTER			PFT	PORCELAIN FLOOR TILE	C	CHANNEL	PL	PLATE	CAB	CABINET	PLAM	PLASTIC LAMINATE	CC	COLOR CHANGE	PLMB	PLUMBING	CER	CERAMIC	PLYWD	PLYWOOD	CFMF	COLD-FORMED METAL FRAMING	PMJF	PRE-MOLDED JOINT FILLER	CIP	CAST-IN-PLACE	PT	PAINT OR PRESSURE TREATED	CI	CONTINUOUS INSULATION	PVC	POLYVINYL CHLORIDE	CJ	CONTROL JOINT			CL	CENTER LINE	QT	QUARRY TILE	CLG	CEILING			CMU	CONCRETE MASONRY UNIT	RAD	RADIUS	CO	CLEAN OUT	RCP	REFLECTED CEILING PLAN	COL	COLUMN	RD	ROOF DRAIN	CONC	CONCRETE MASONRY UNIT	REINF	REINFORCED	CONT	CONTINUOUS	REQD	REQUIRED	CSI	CONSTRUCTION SPECIFICATIONS INSTITUTE	RI	RIGID INSULATION	CT	CERAMIC TILE	RJ	RAKED JOINT	CW	CURTAIN WALL	RL	RAIN LEADER			RO	ROUGH OPENING			RTD	RATED	DAS	DRESSED FOUR SIDES			DBL	DOUBLE	S4S	SMOOTH FOUR SIDES	DEFS	DIRECT-APPLIED EXTERIOR FINISH SYSTEM	SC	SOLID CORE	DET	DETAIL	SF	STOREFRONT	DIAG	DIAGONAL	SHLV	SHELVES	DLO	DAYLIGHT OPENING	SHT	SHEET	DS	DOWNSPOUT	SHTHG	SHEATHING	DWG	DRAWING	SIM	SIMILAR			SQ	SQUARE	E.O.	EDGE OF...	SS	STAINLESS STEEL	EB	EXPANSION BOLT	STD	STANDARD	EFC	EPOXY FLOOR COATING	STL	STEEL	EIFS	EXTERIOR INSULATION AND FINISHING SYSTEM	STOR	STORAGE	EJ	EXPANSION JOINT	STR	STAIR	ELEC	ELECTRICAL	STRUCT	STRUCTURAL	EDS	EDGE OF SLAB	SUB	SUBCONTRACTOR	EQ	EQUAL	SUSP	SUSPENDED	EQUIP	EQUIPMENT			ERD	EMERGENCY ROOF DRAIN			ES	EACH SIDE	T.O.	TOP OF...	ETR	EXISTING TO REMAIN	T&G	TONGUE AND GROOVE	EW	EACH WAY	TEL	TELEPHONE	EXP	EXPANSION	TEXT	TEXTURE	EXT	EXTERIOR	THK	THICKNESS			THOLD	THRESHOLD	F.O.	FACE OF...	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ROSEN RESIDENCE



RELEASE DATES

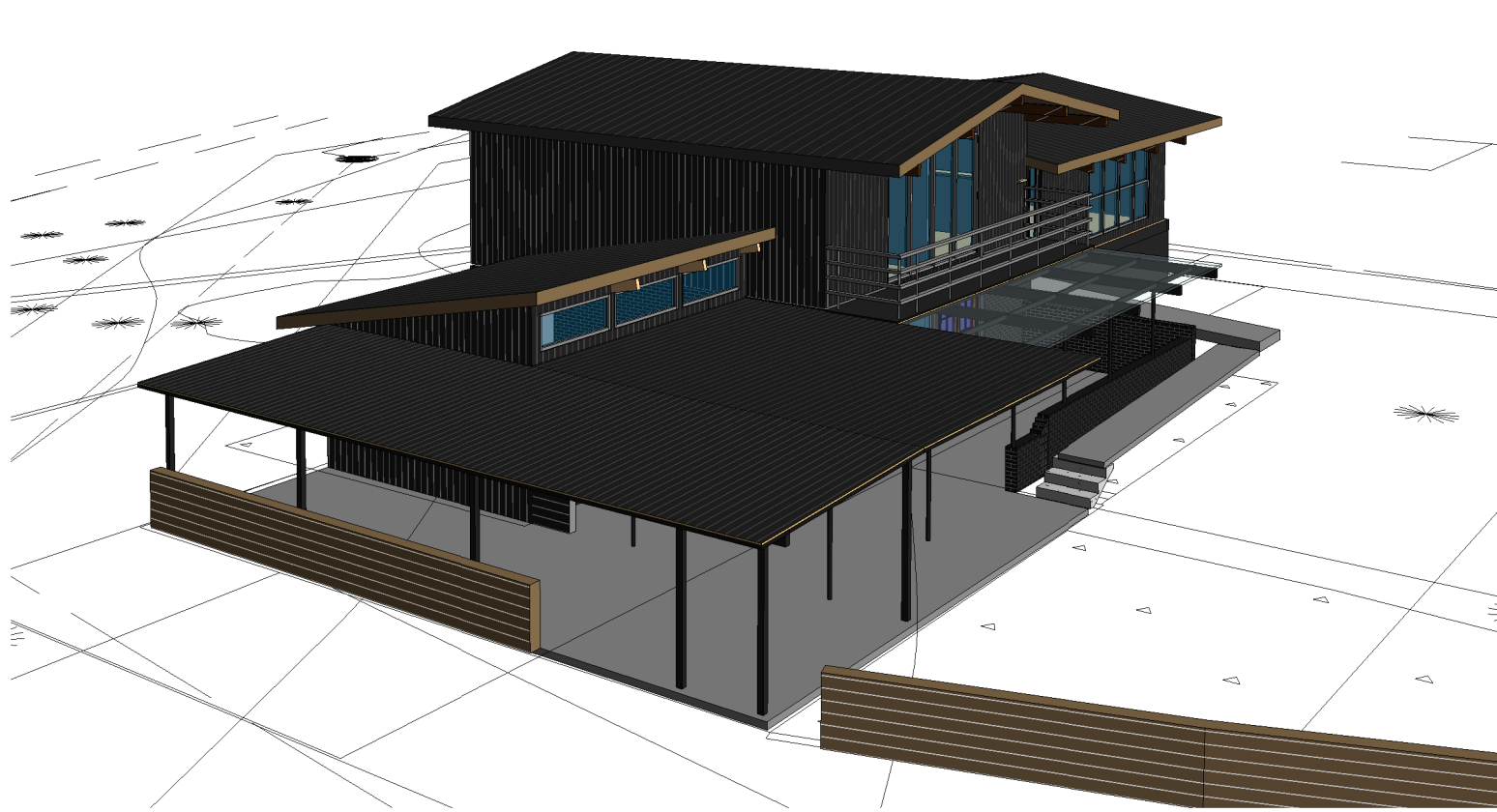
12/20/2024 - ISSUE FOR PERMIT

02/18/2024 - CITY COMMENTS

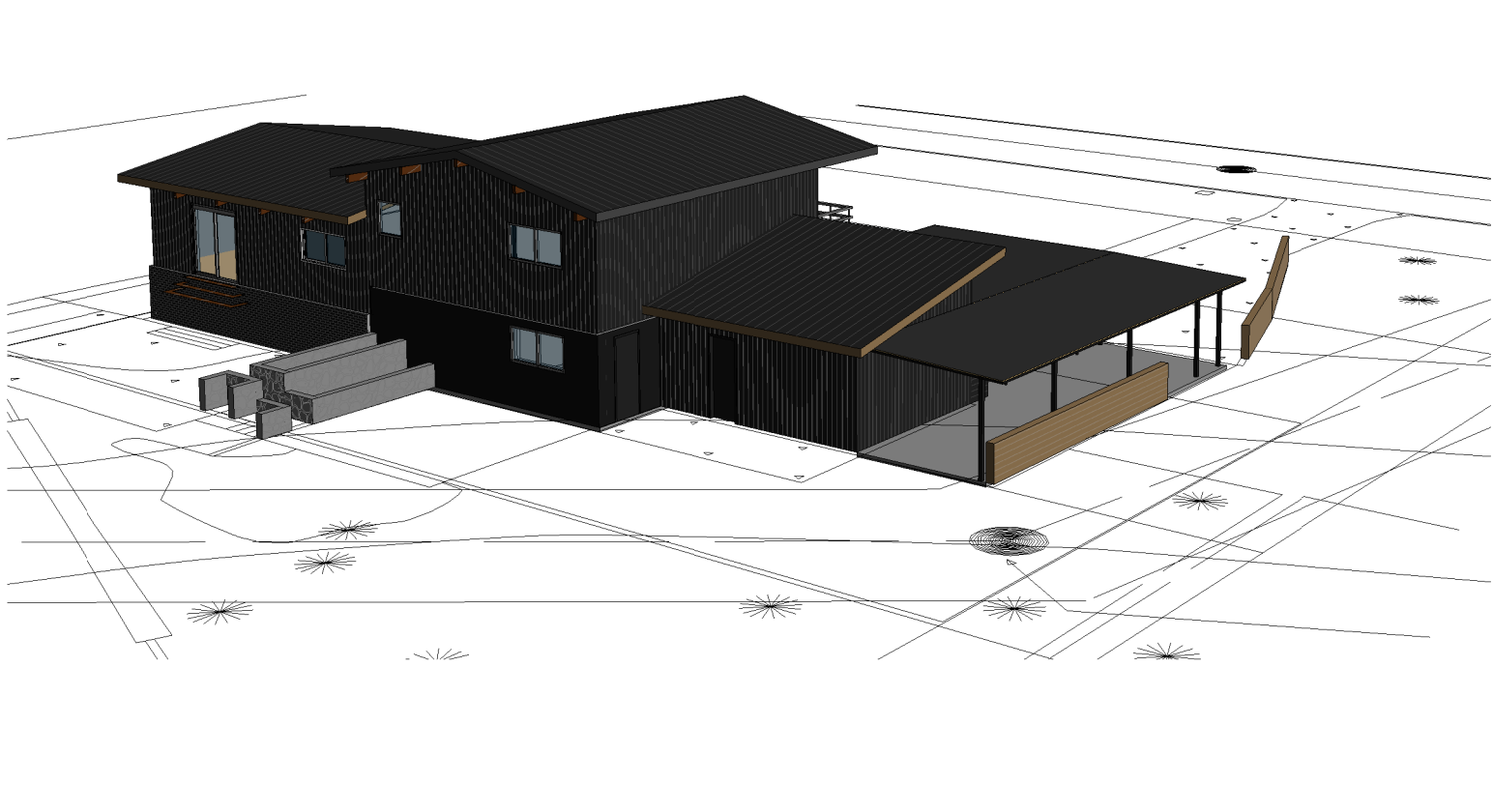
ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

LOCATION MAP,
GENERAL NOTES &
SCHEDULES
CONSTRUCTION

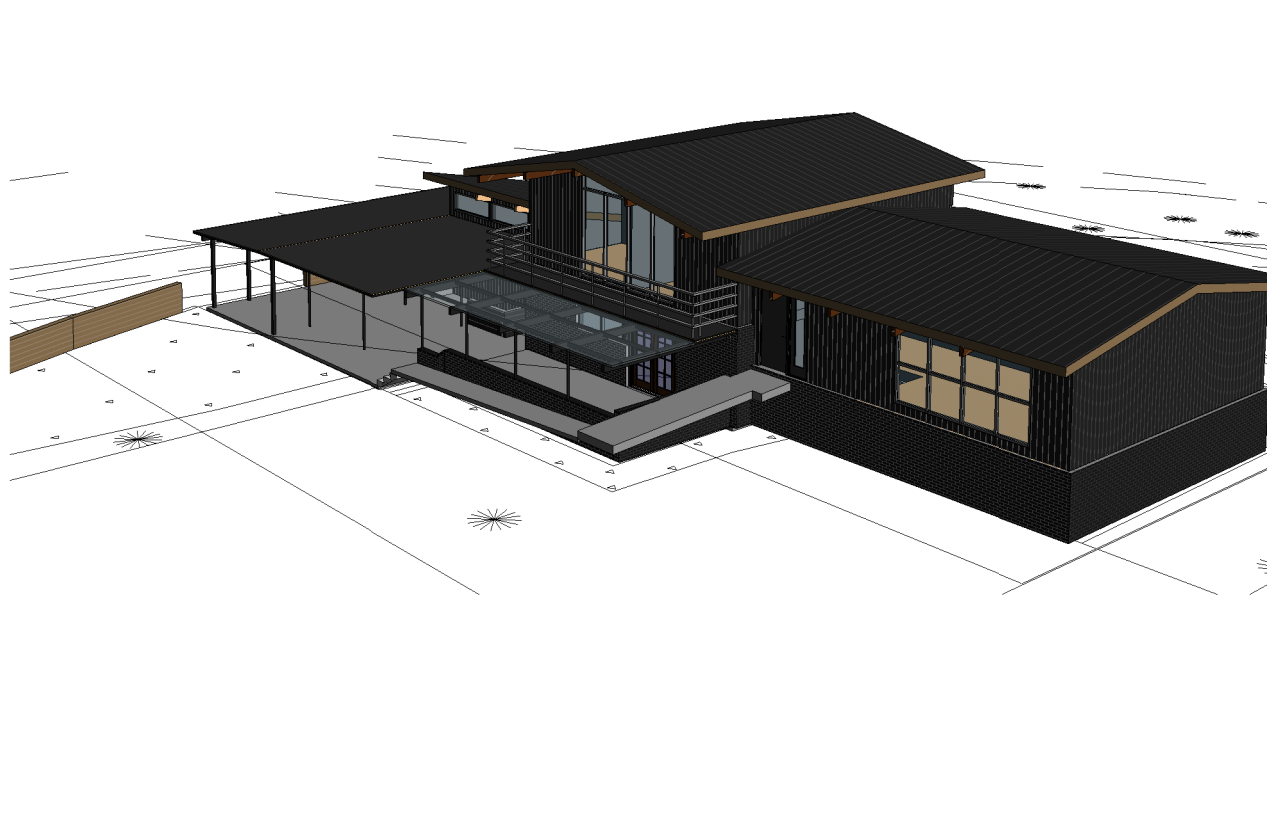
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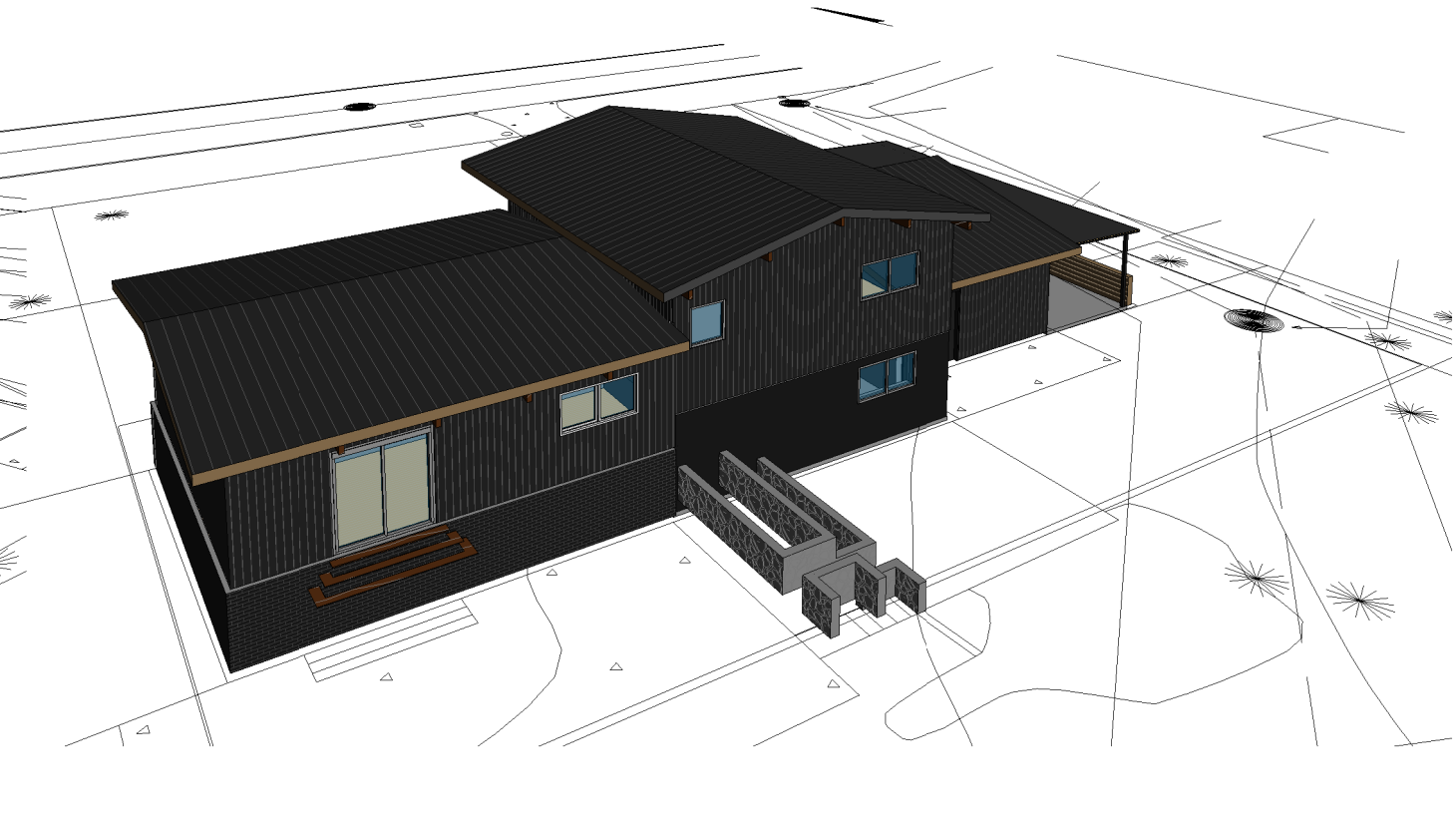
2 3D View 1 - NE - Existing



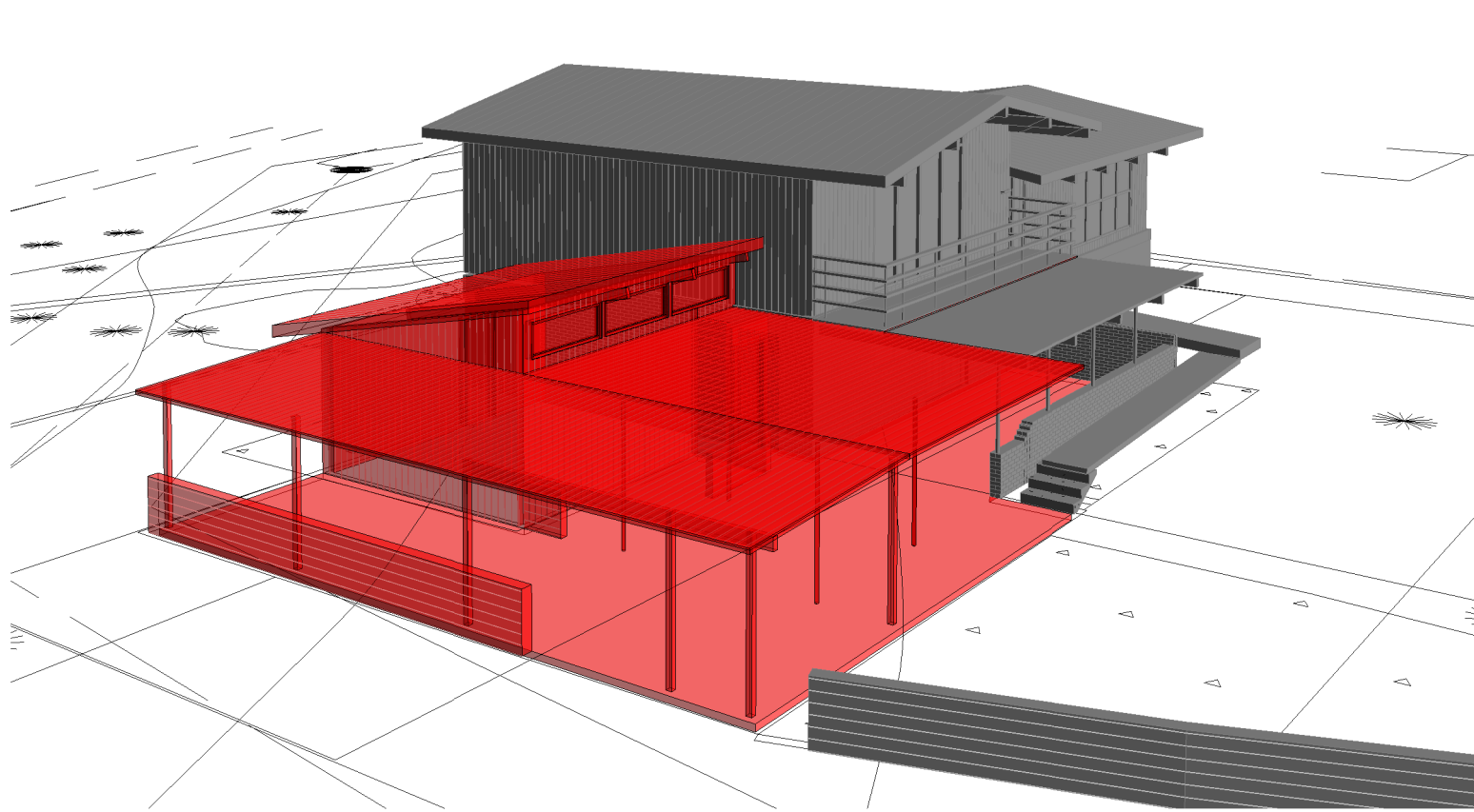
5 3D View 2 - SE - Existing



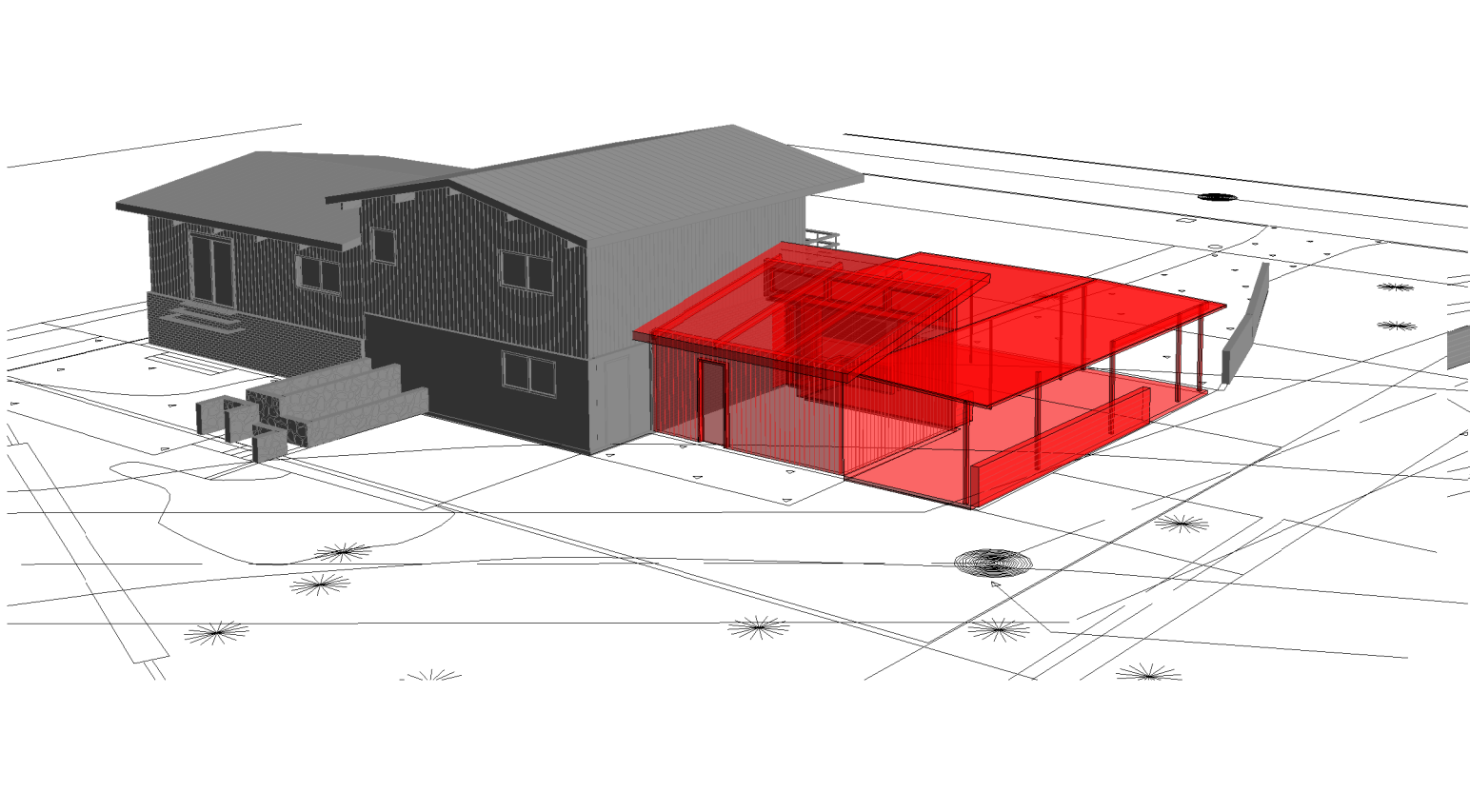
8 3D View 3 - NW - Existing



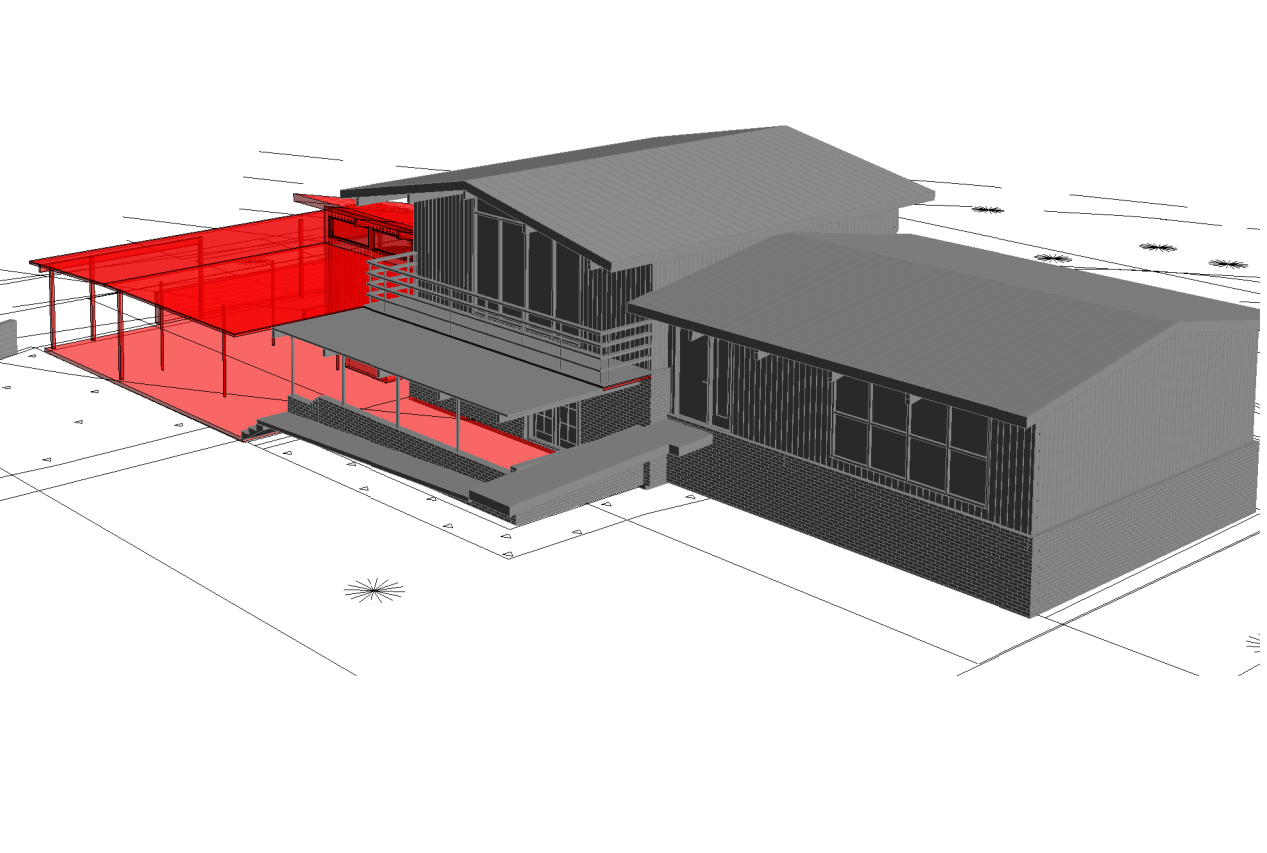
11 3D View 4 - SW - Existing



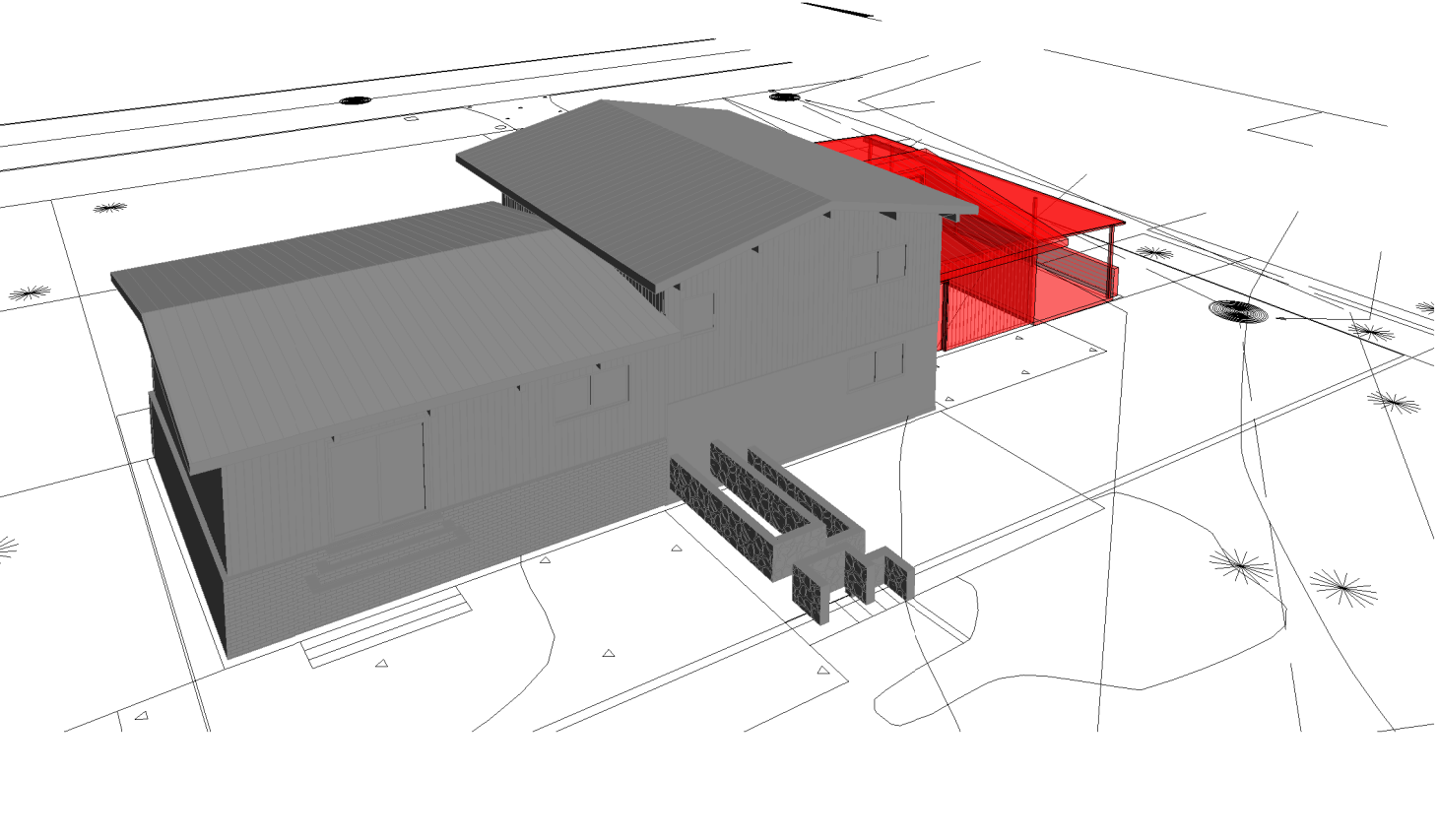
1 3D View 1 - NE - Demo



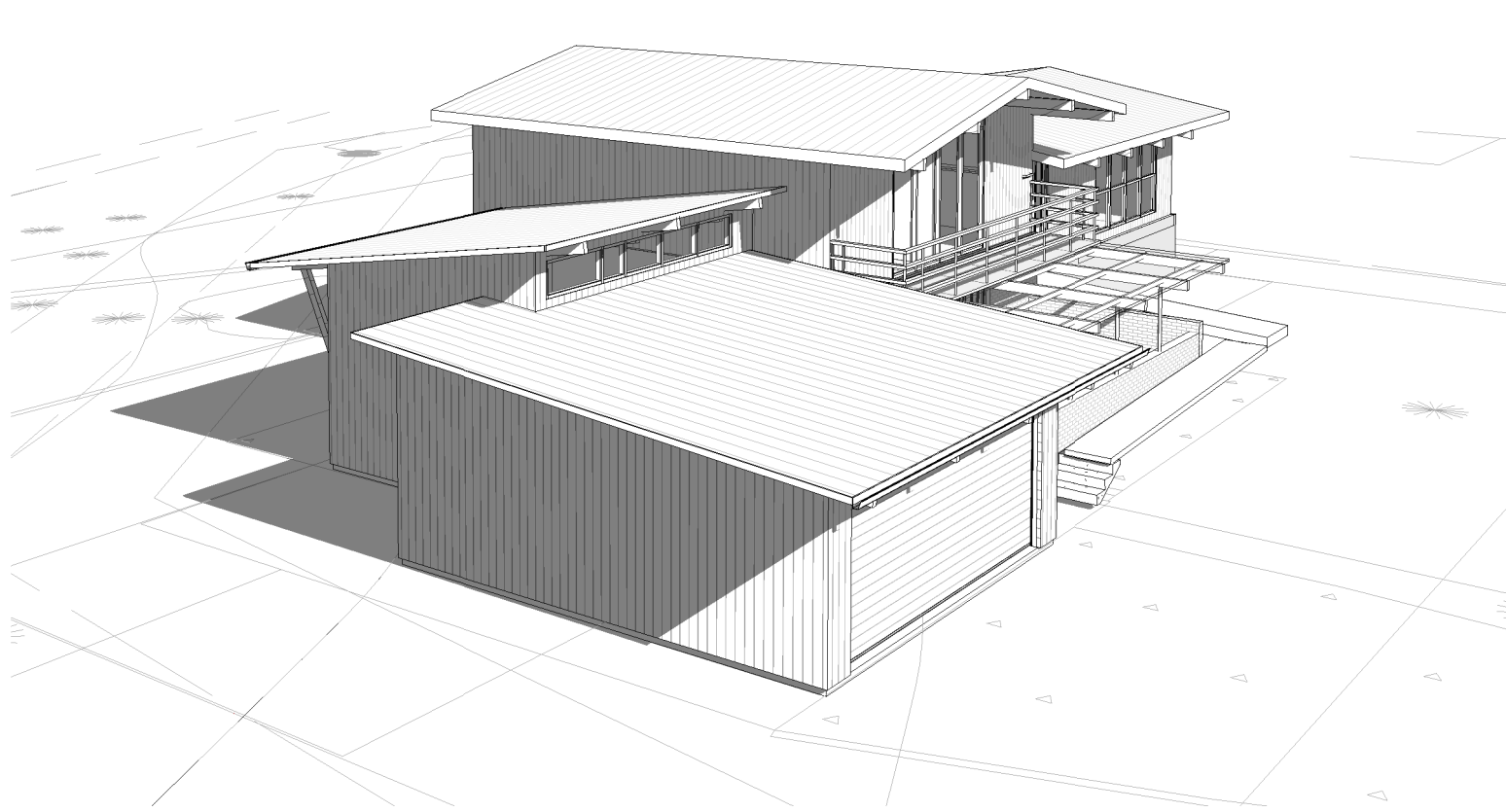
4 3D View 2 - SE - Demo



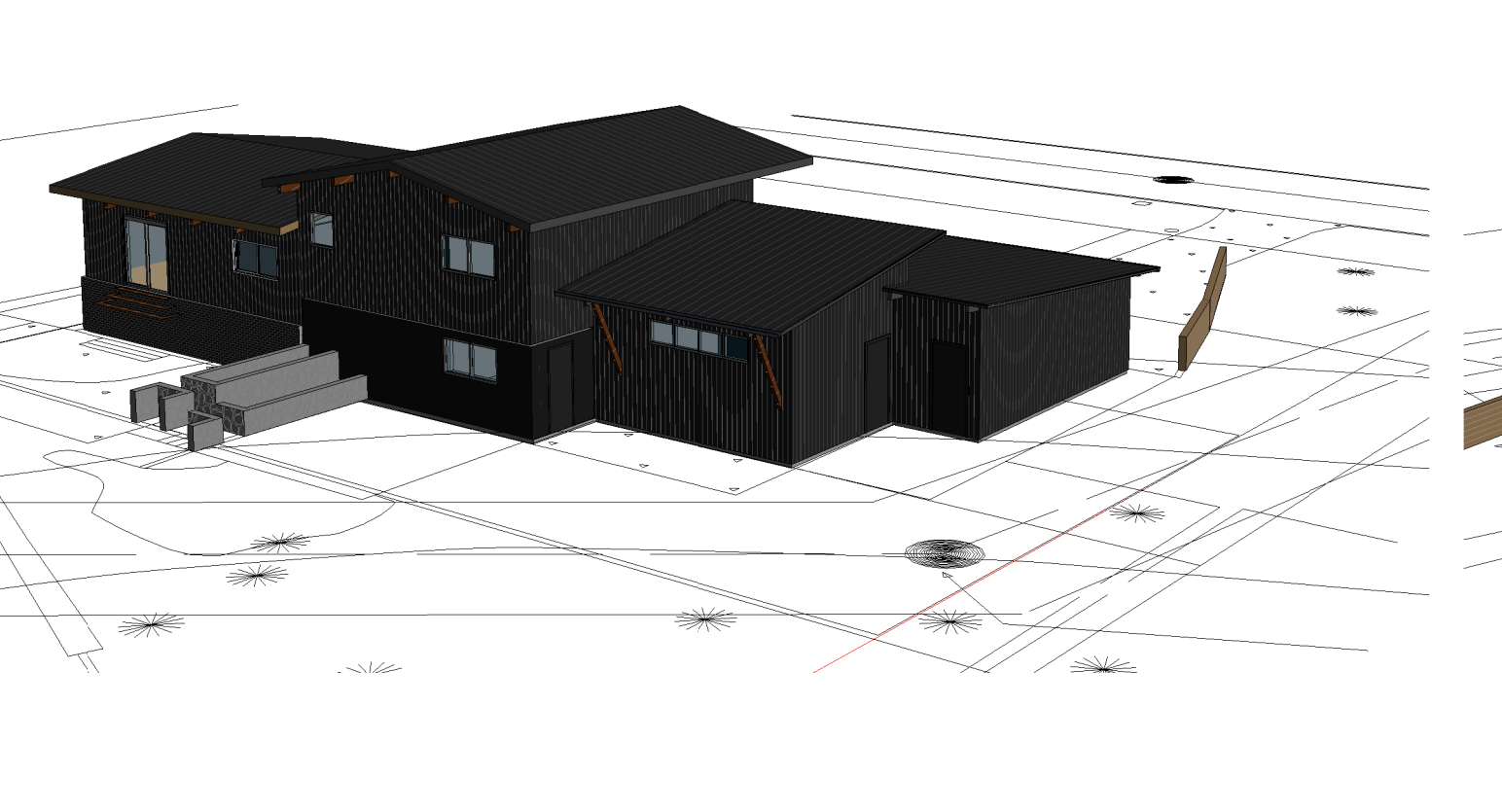
7 3D View 3 - NW - Demo



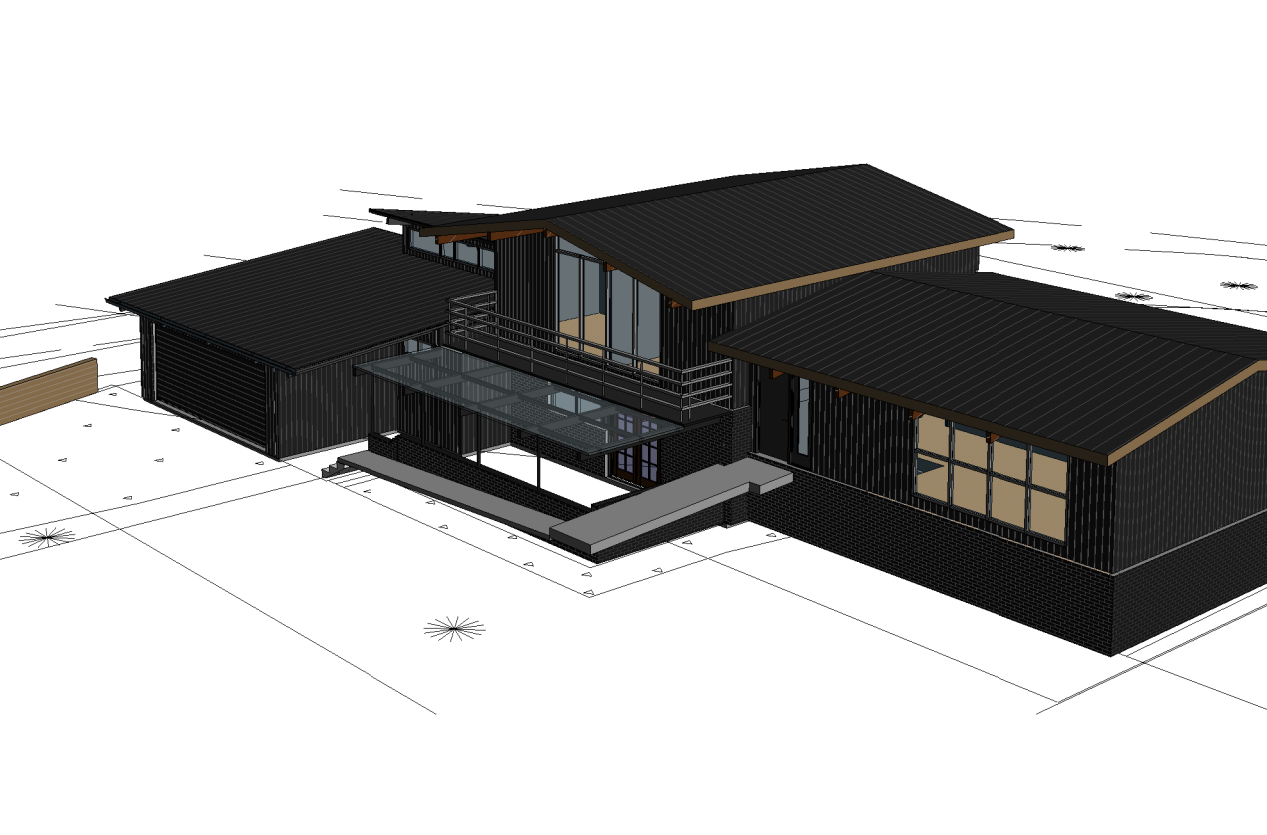
10 3D View 4 - SW - Demo



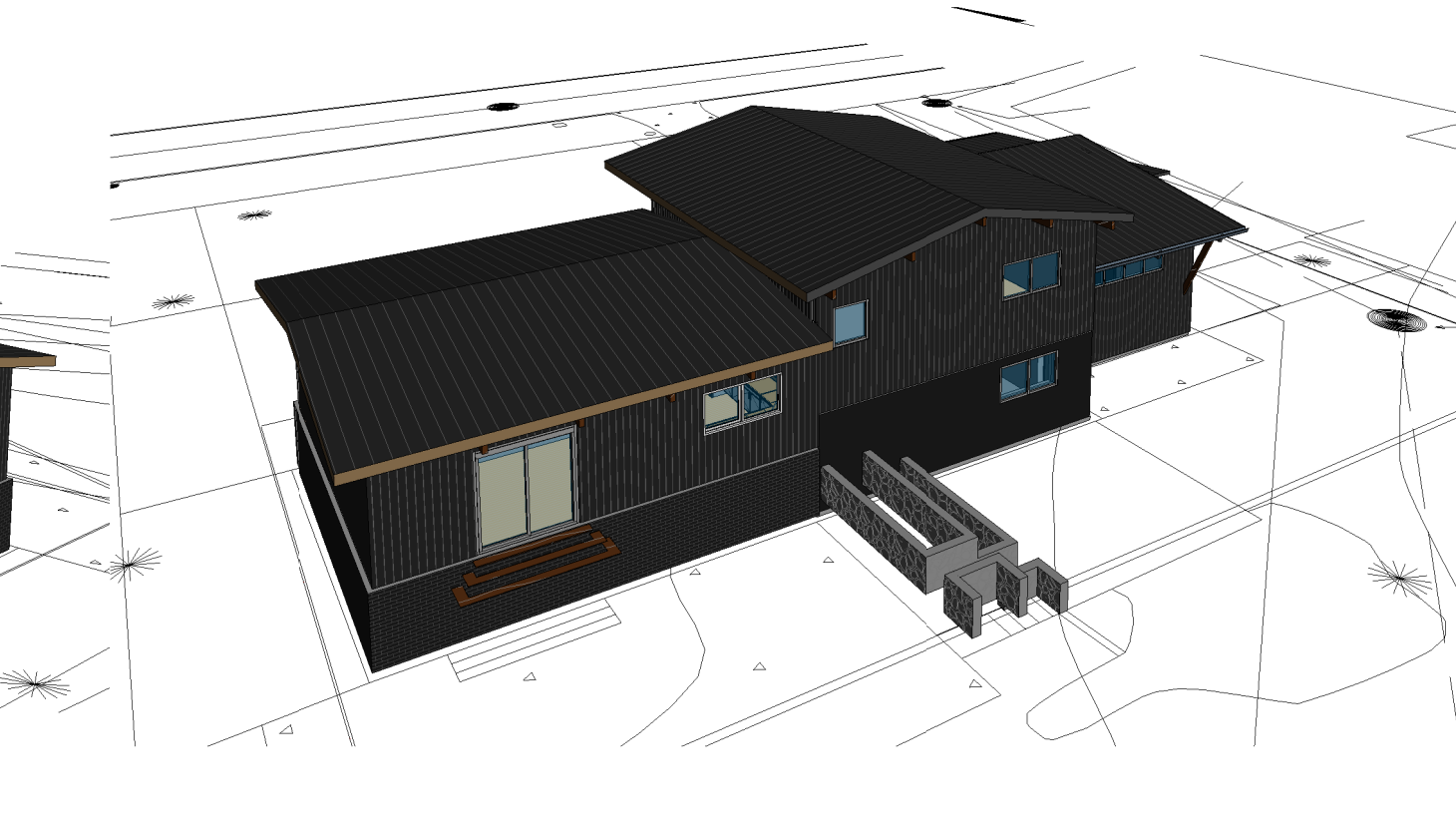
3 3D View 1 - NE - New Work



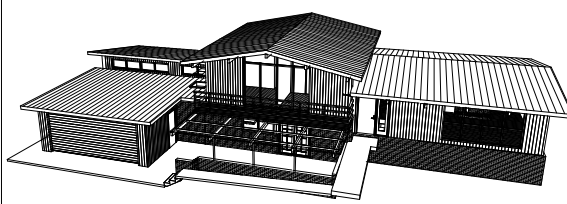
6 3D View 2 - SE - New



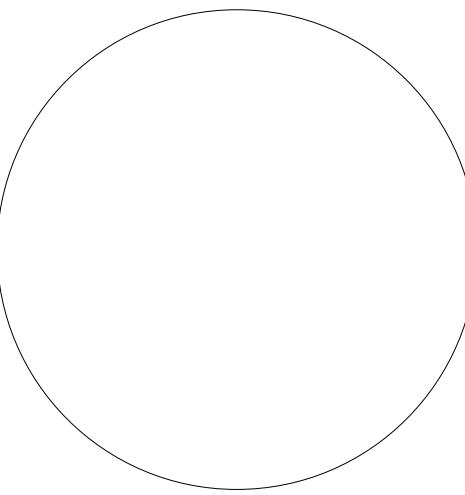
9 3D View 3 - NW - New



12 3D View 4 - SW - New



ROSEN RESIDENCE



RELEASE DATES

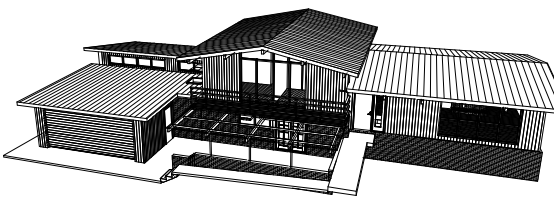
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

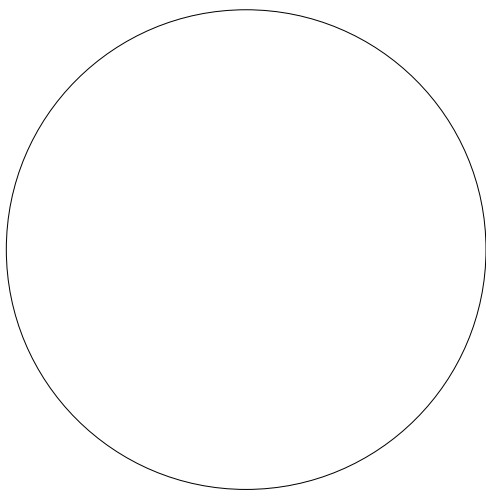
PERSPECTIVES

RELEASED FOR
CONSTRUCTION

G003



ROSEN
RESIDENCE



RELEASE DATES

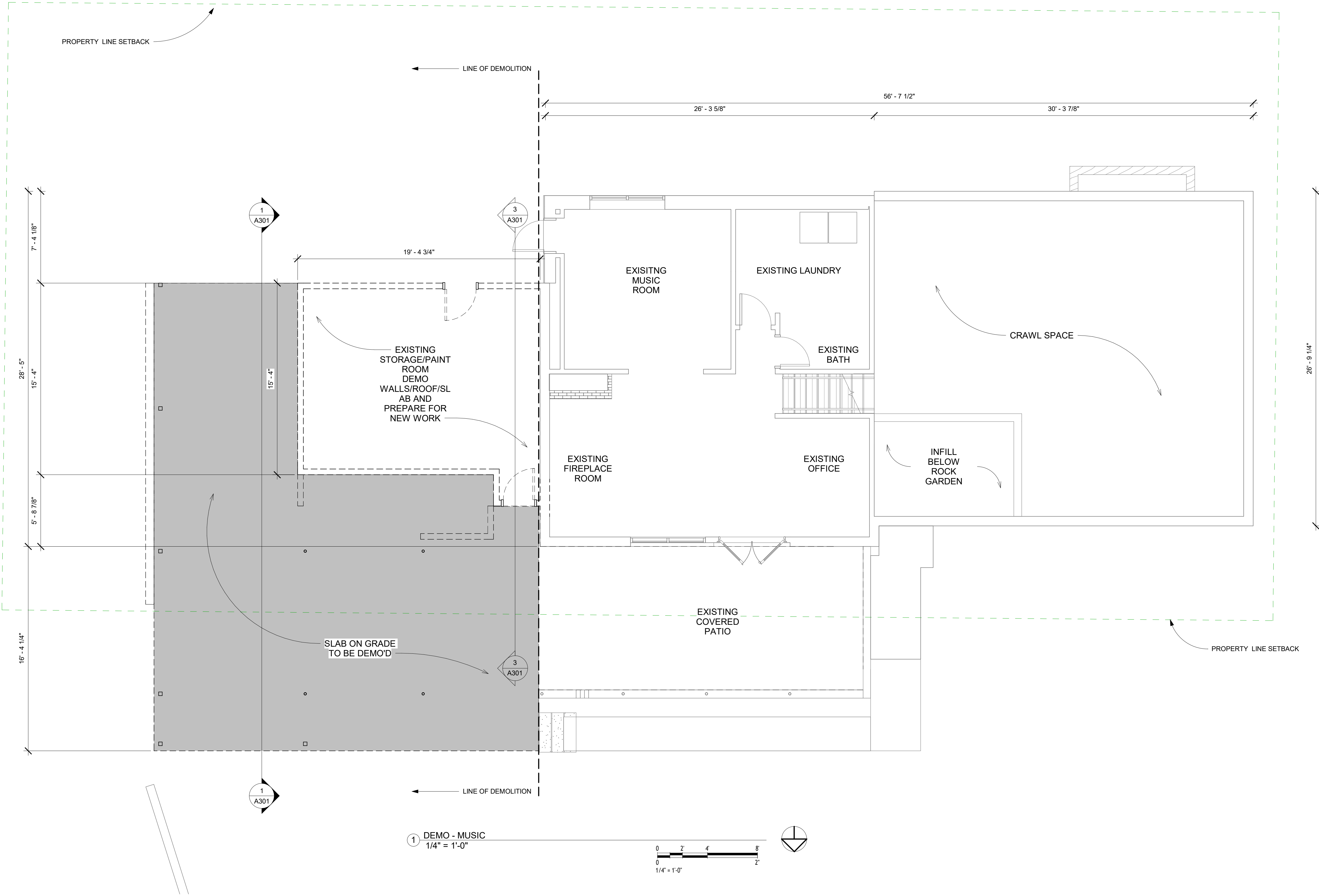
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

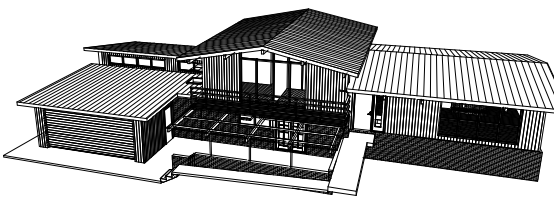
ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

DEMO -
LOWER
LEVEL

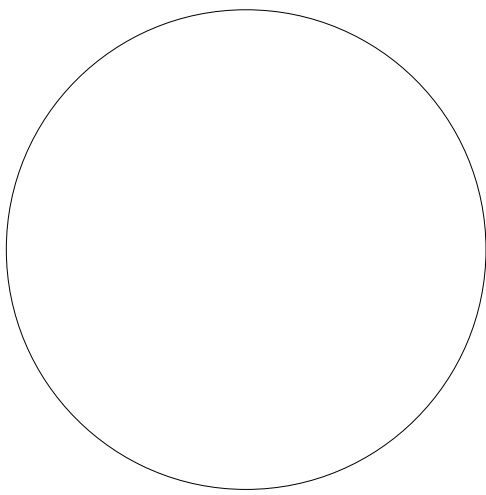
RELEASED FOR
CONSTRUCTION

G005





ROSEN
RESIDENCE



RELEASE DATES

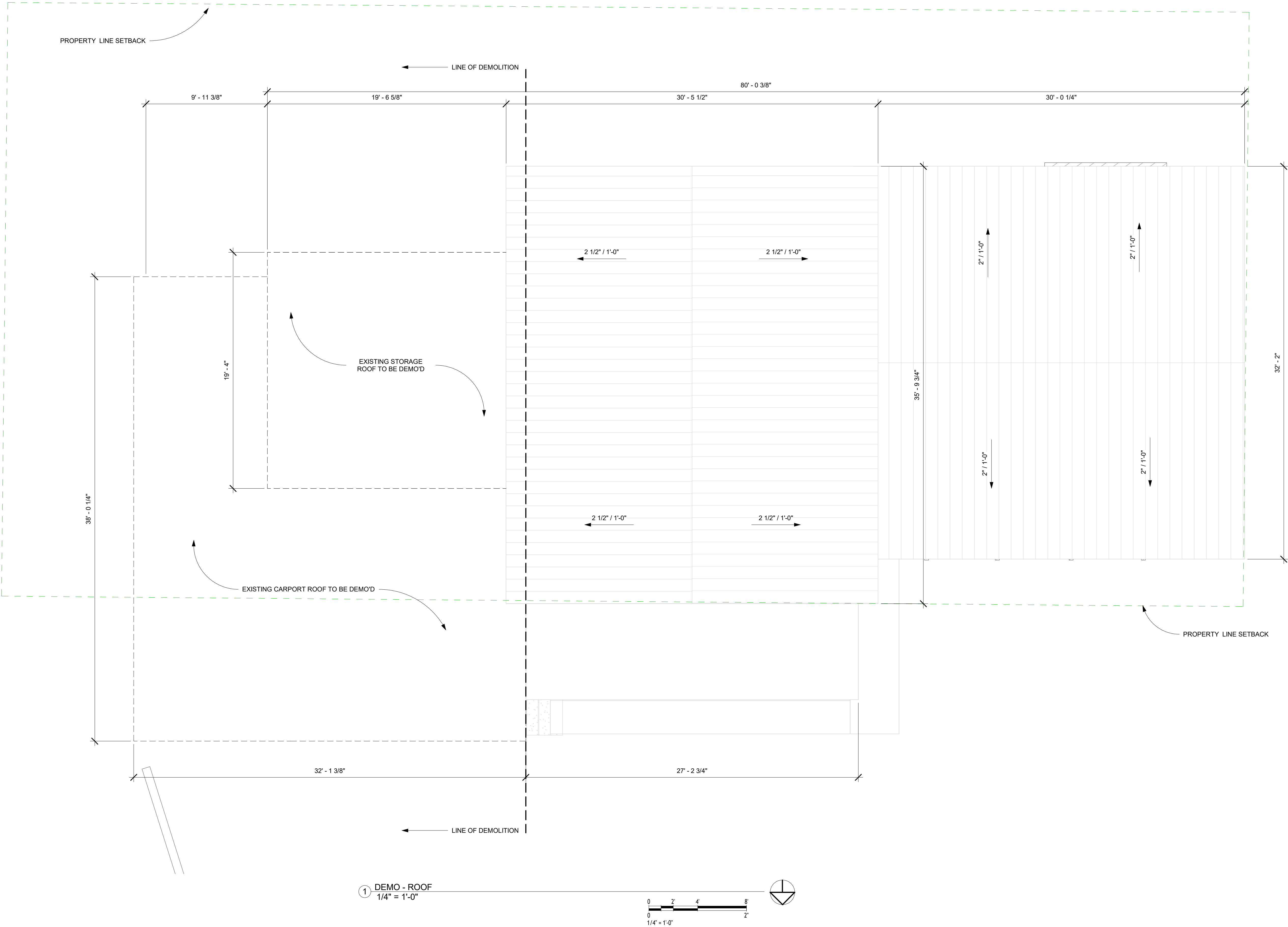
12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

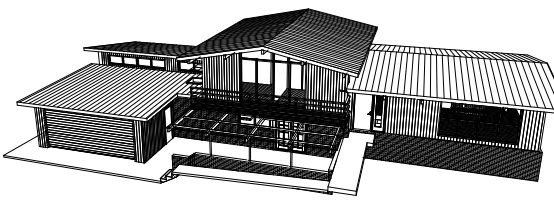
ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

DEMO -
ROOF
LEVEL

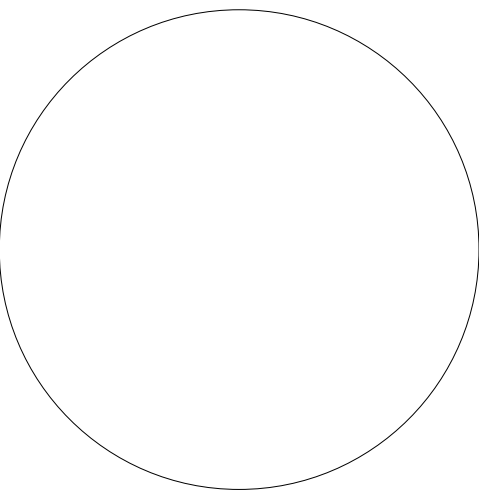
RELEASED FOR
CONSTRUCTION

G006





ROSEN
RESIDENCE



RELEASE DATES

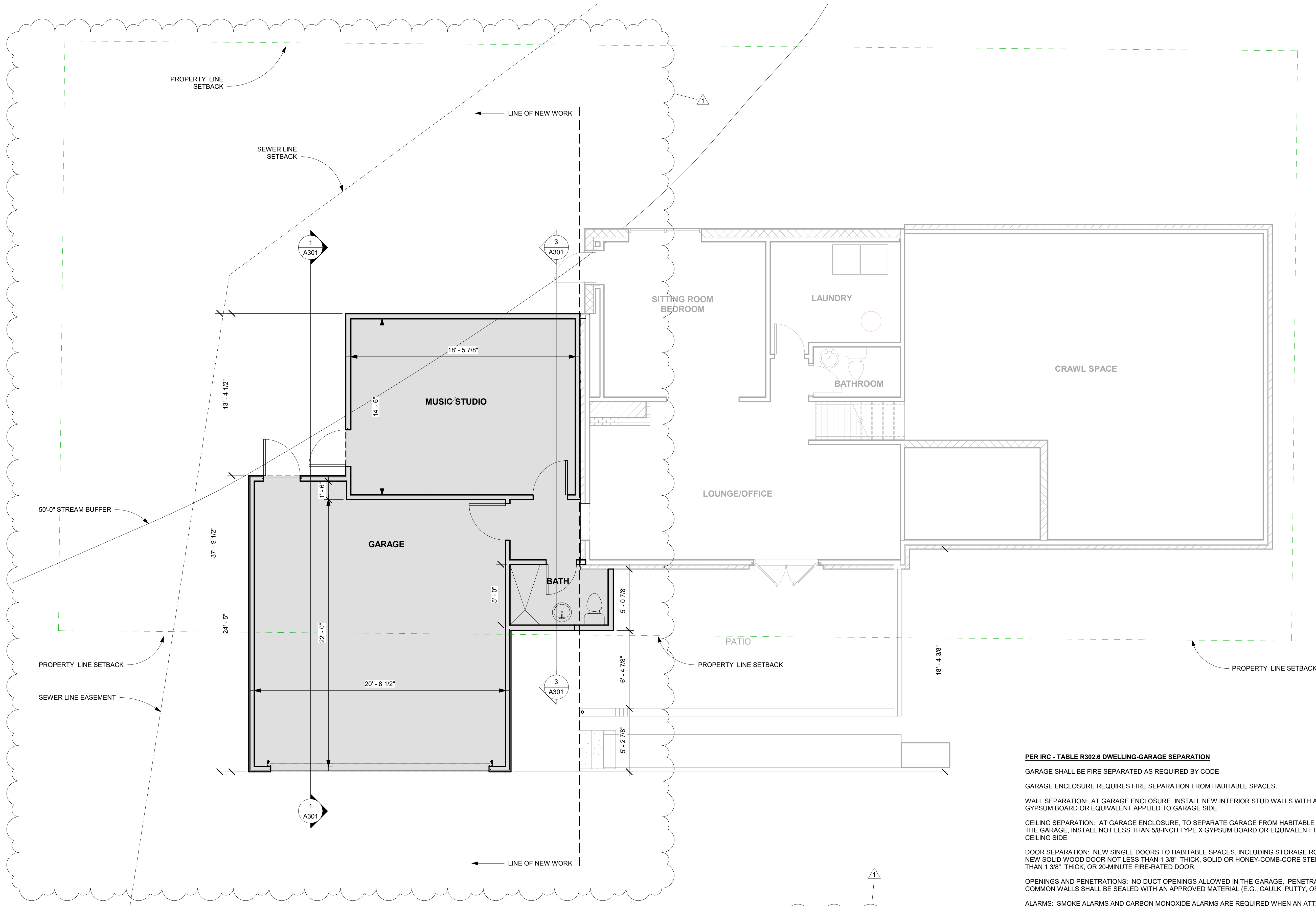
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02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

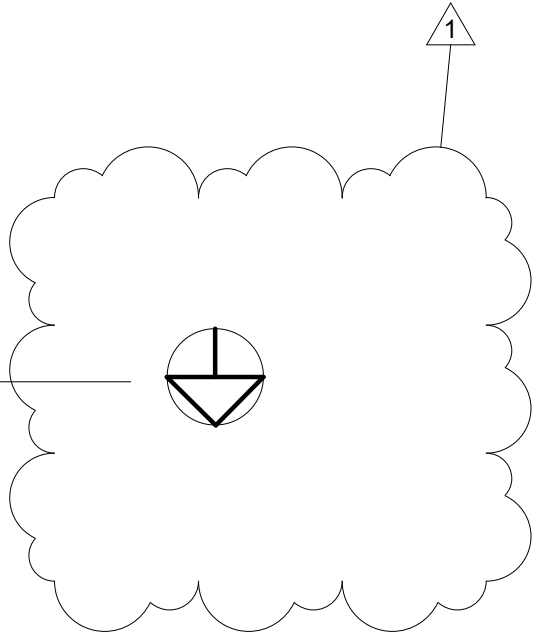
LOWER
LEVEL

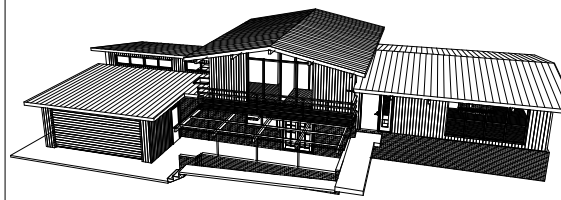
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A101

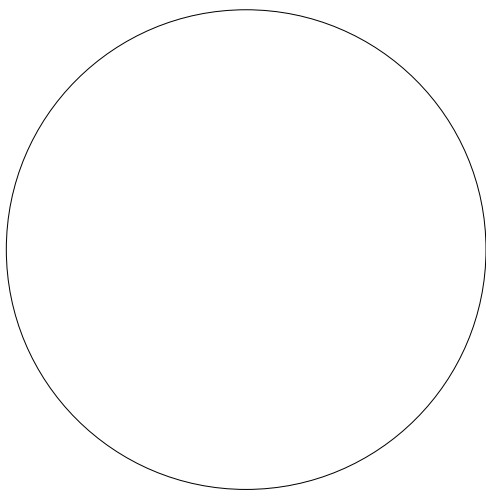


PER IRC - TABLE R302.6 DWELLING-GARAGE SEPARATION
GARAGE SHALL BE FIRE SEPARATED AS REQUIRED BY CODE
GARAGE ENCLOSURE REQUIRES FIRE SEPARATION FROM HABITABLE SPACES.
WALL SEPARATION: AT GARAGE ENCLOSURE, INSTALL NEW INTERIOR STUD WALLS WITH A MINIMUM 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO GARAGE SIDE
CEILING SEPARATION: AT GARAGE ENCLOSURE, TO SEPARATE GARAGE FROM HABITABLE ROOMS ABOVE THE GARAGE, INSTALL NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT TO GARAGE CEILING SIDE
DOOR SEPARATION: NEW SINGLE DOORS TO HABITABLE SPACES, INCLUDING STORAGE ROOM DOOR, TO BE NEW SOLID WOOD DOOR NOT LESS THAN 1 3/8" THICK, SOLID OR HONEY-COMB-CORE STEEL DOOR NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOOR.
OPENINGS AND PENETRATIONS: NO DUCT OPENINGS ALLOWED IN THE GARAGE. PENETRATIONS OF COMMON WALLS SHALL BE SEALED WITH AN APPROVED MATERIAL (E.G., CAULK, PUTTY, OR SEALANT).
ALARMS: SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE REQUIRED WHEN AN ATTACHED GARAGE IS CONSTRUCTED.





ROSEN
RESIDENCE



RELEASE DATES

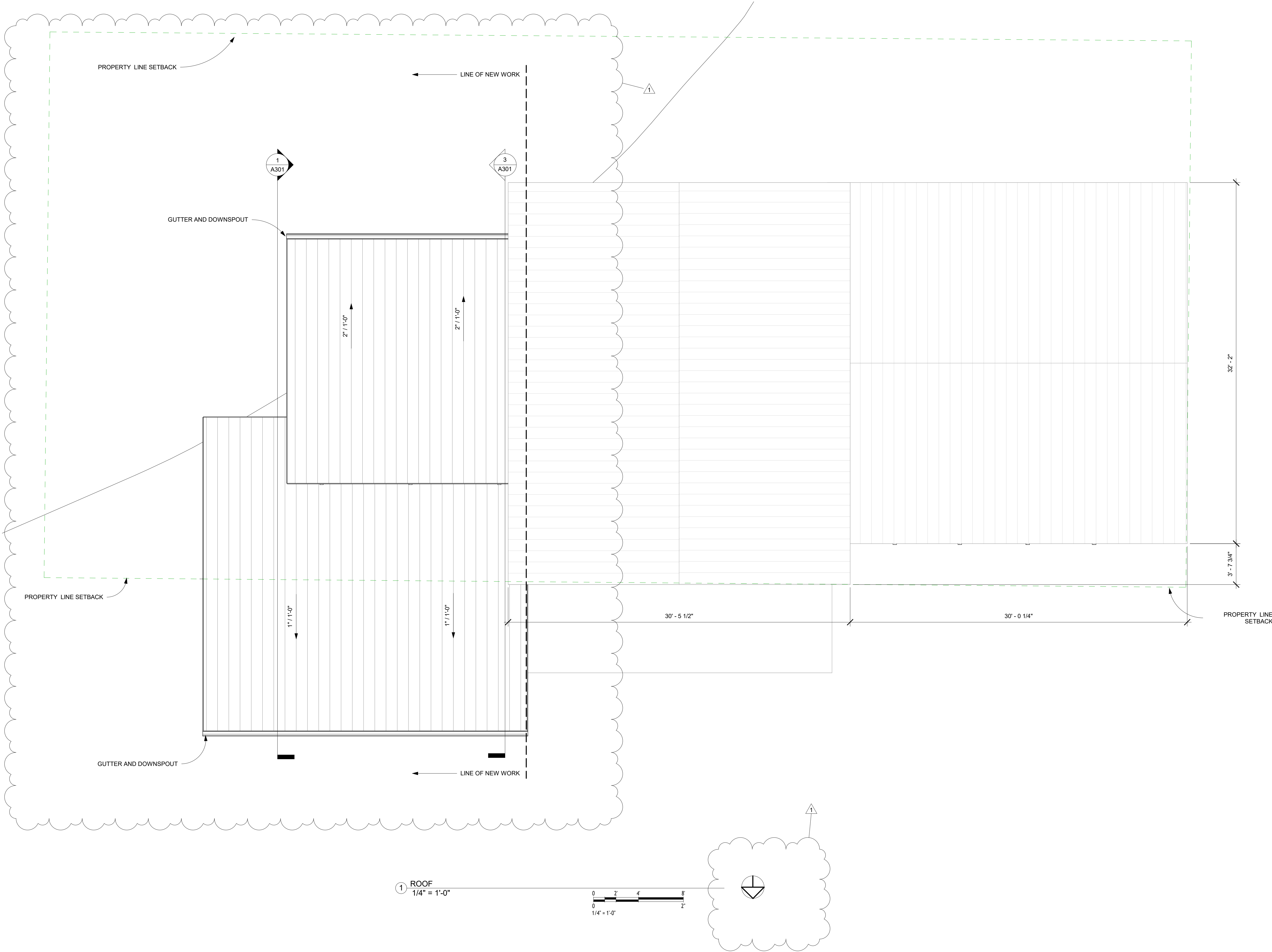
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02/18/2024 - CITY COMMENTS

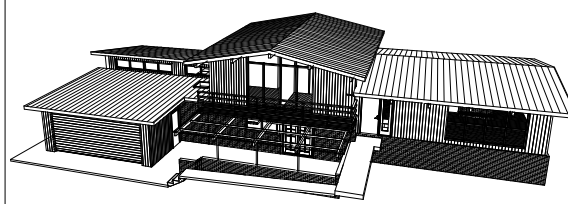
ROSEN RESIDENCE
3186 LYNNRAY DRIVE, ATLANTA GEORGIA

ROOF PLAN

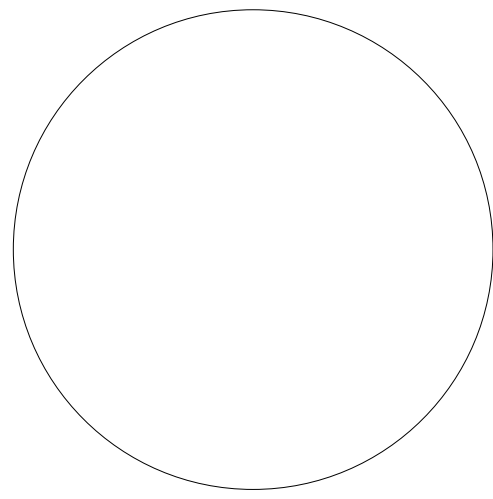
RELEASED FOR
CONSTRUCTION

A102





ROSEN
RESIDENCE



RELEASE DATES

12/20/2024 - ISSUE FOR PERMIT
02/18/2024 - CITY COMMENTS

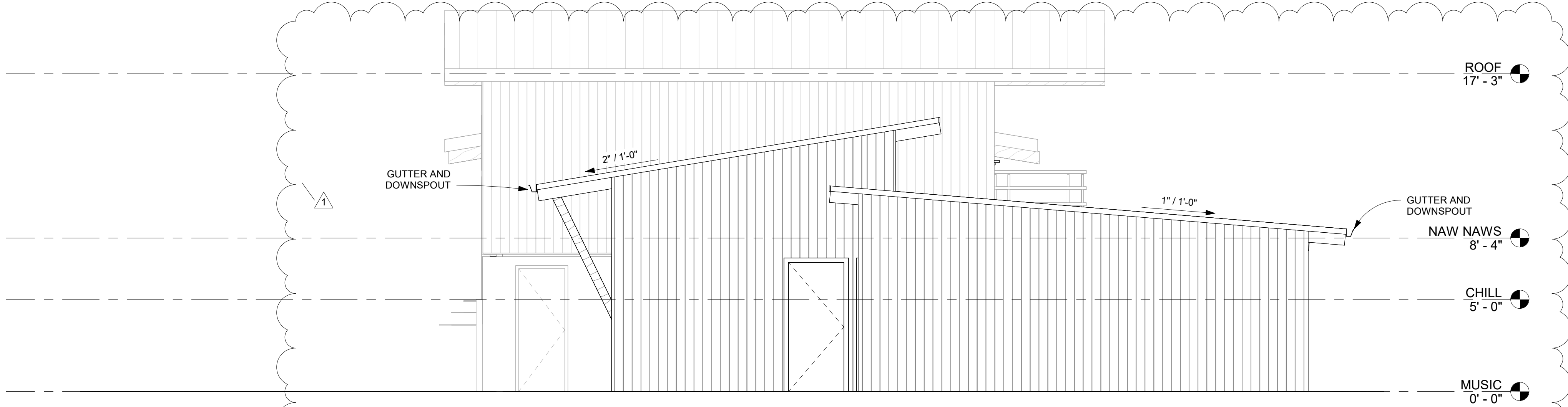
ROSEN RESIDENCE

3186 LYNNRAY DRIVE, ATLANTA GEORGIA

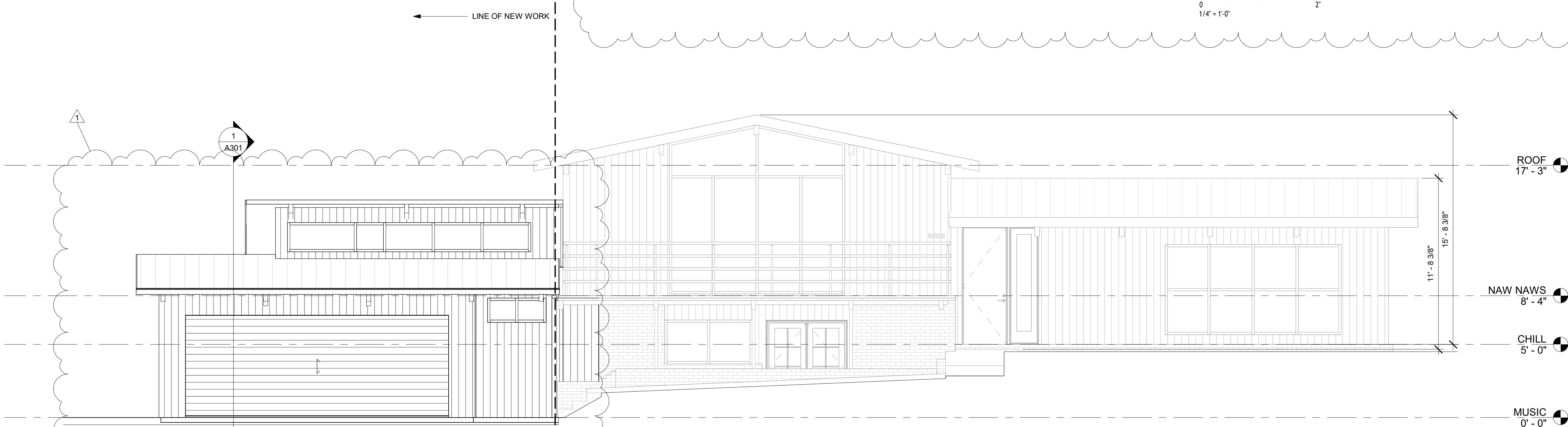
BUILDING
ELEVATIONS

RELEASED FOR
CONSTRUCTION

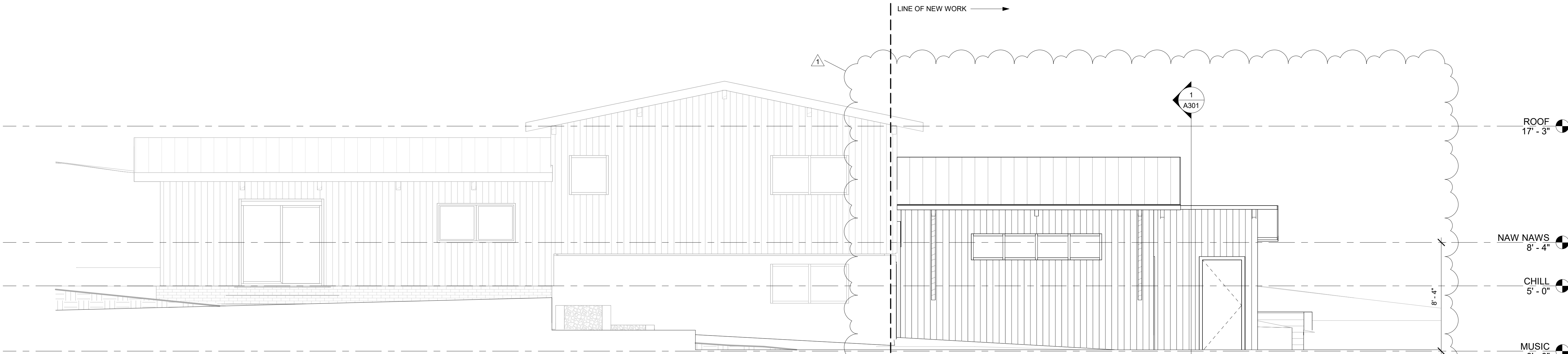
A201



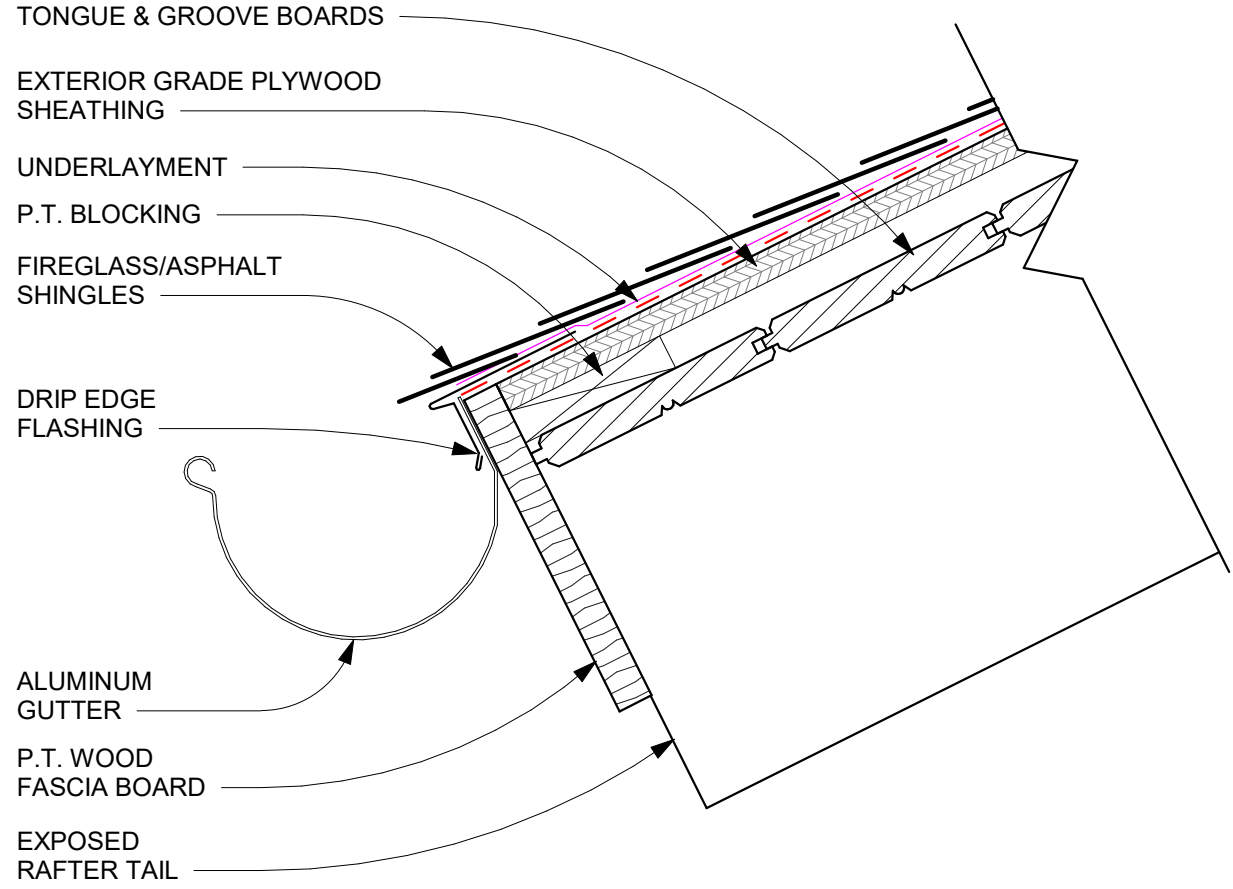
③ EAST ELEVATION
1/4" = 1'-0"



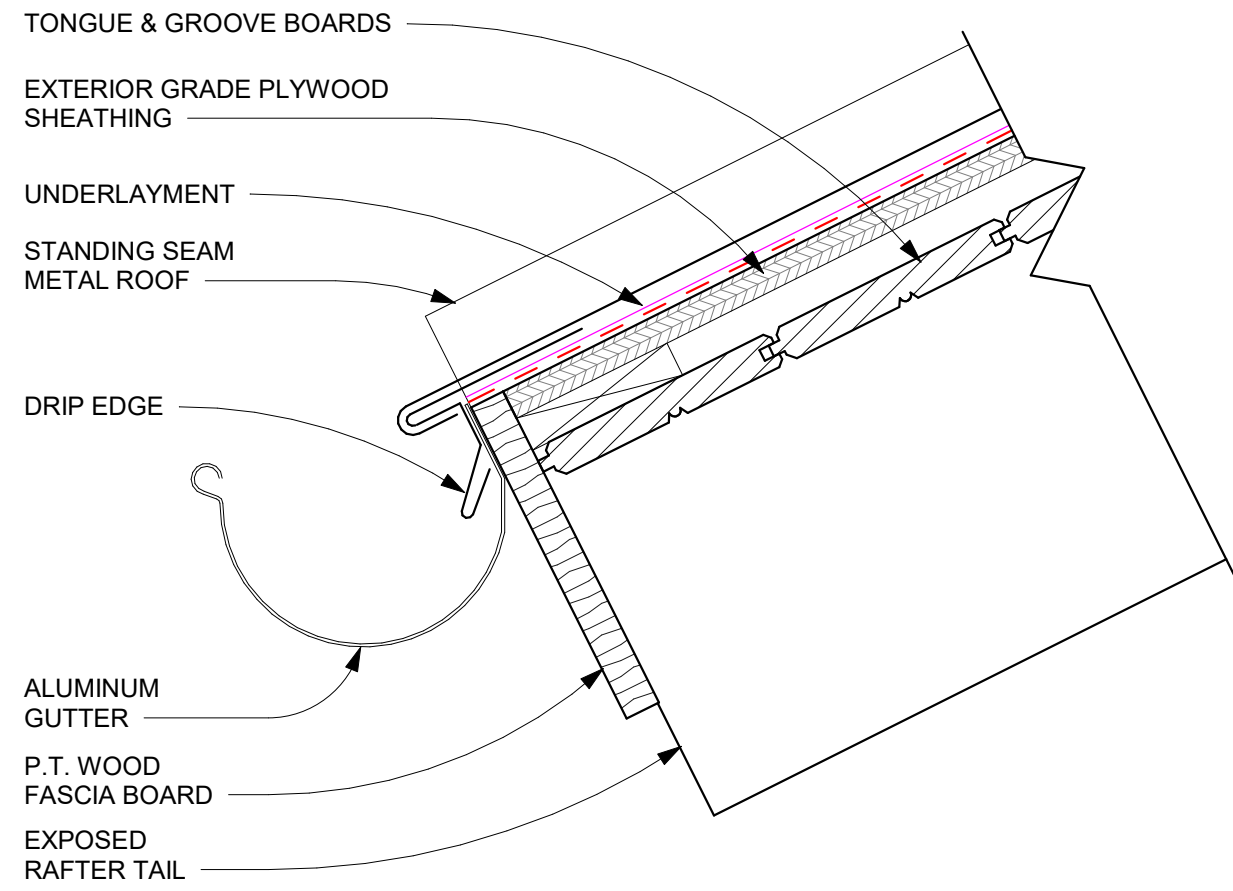
② NORTH ELEVATION
1/4" = 1'-0"



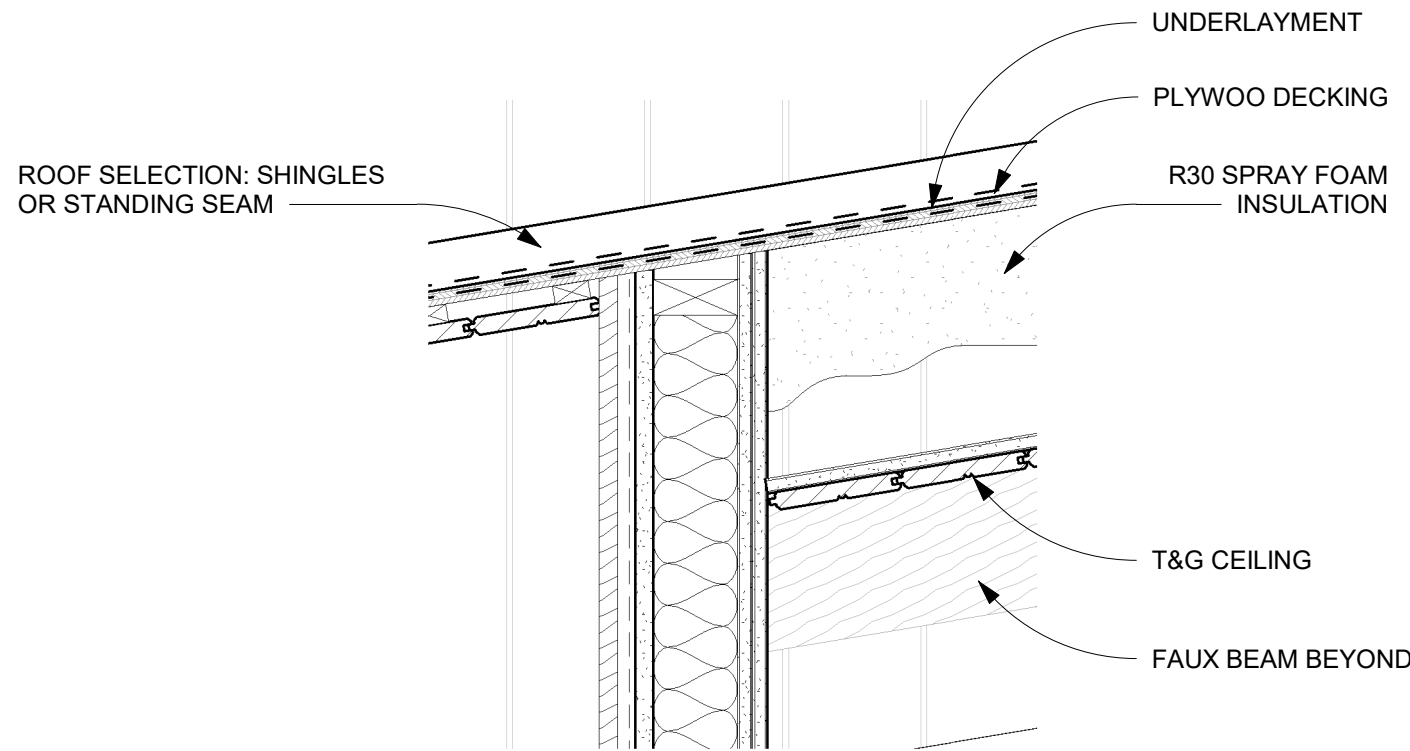
① SOUTH ELEVATION
1/4" = 1'-0"



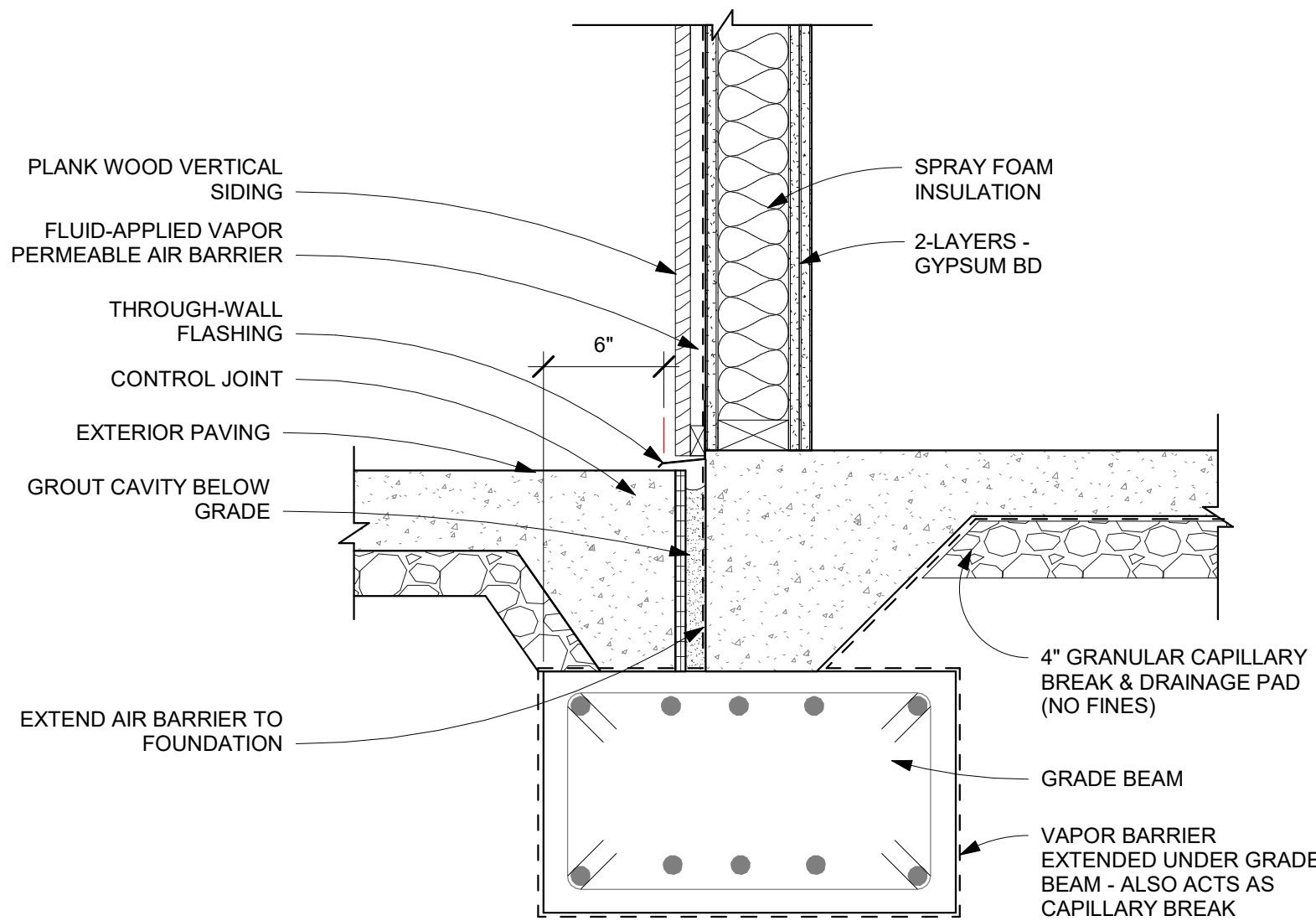
8 GUTTER DETAIL AT SHINGLE ROOF
3" = 1'-0"



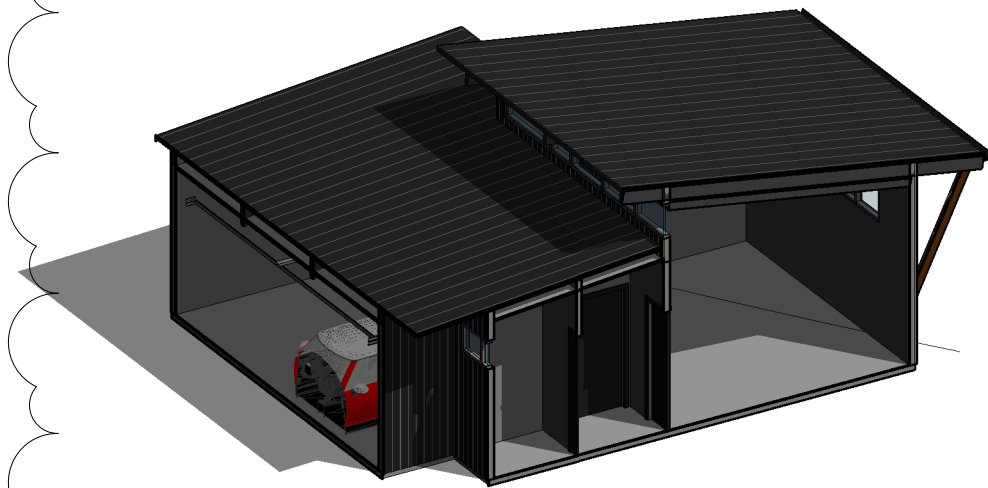
7 GUTTER AT STANDING SEAM ROOF
3" = 1'-0"



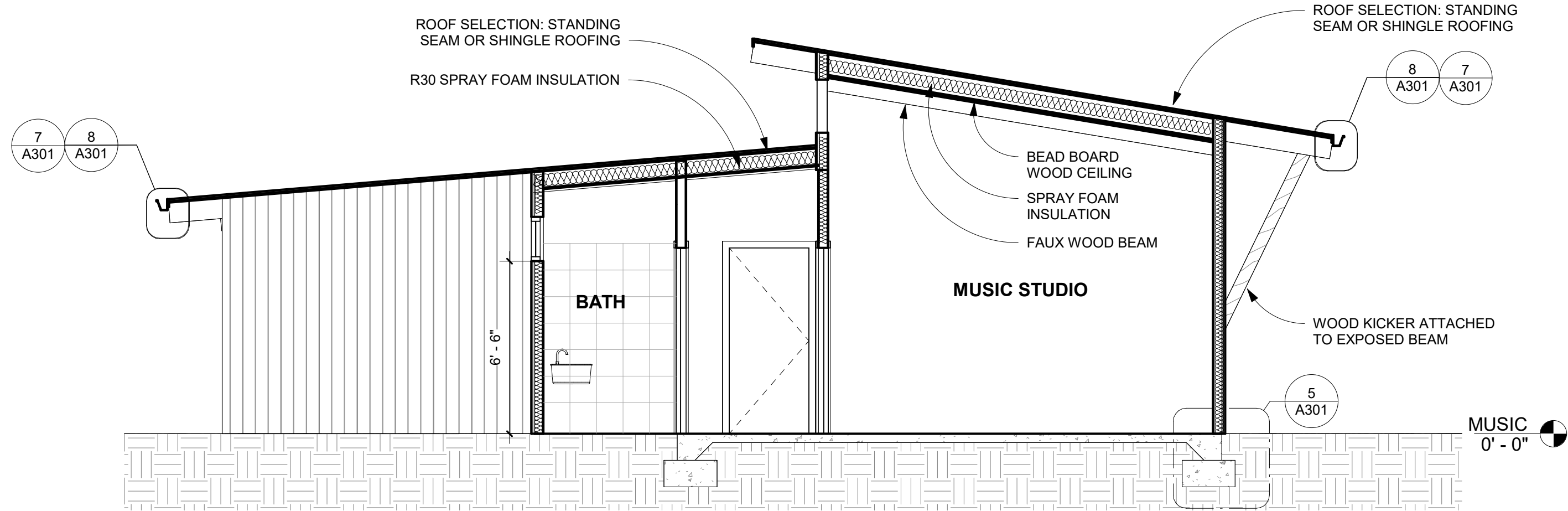
6 SECTION DETAIL - WALL TO ROOF
1 1/2" = 1'-0"



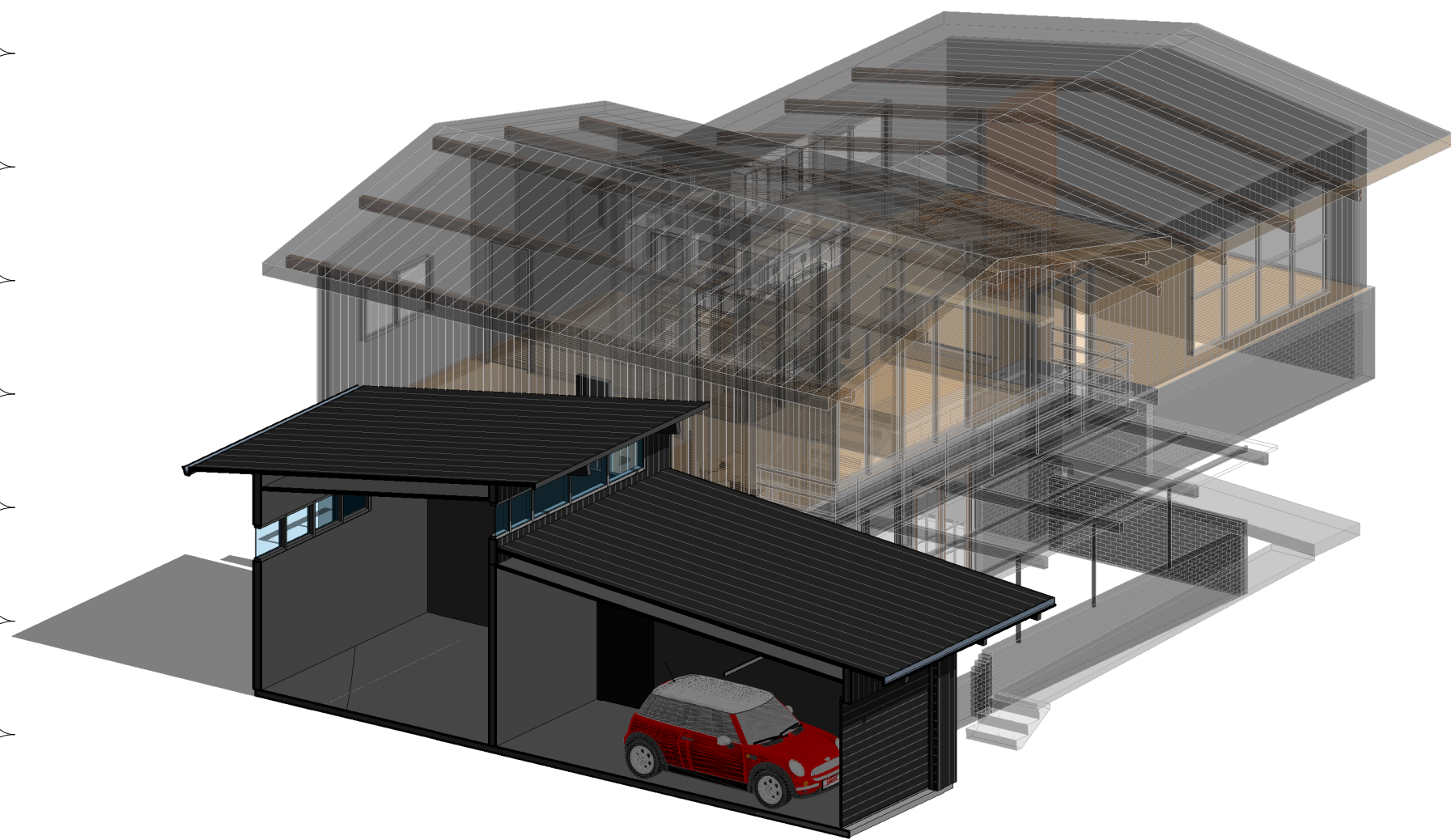
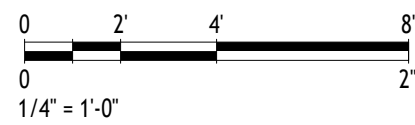
5 SECTION DETAIL - WALL @ FOUNDATION
1 1/2" = 1'-0"



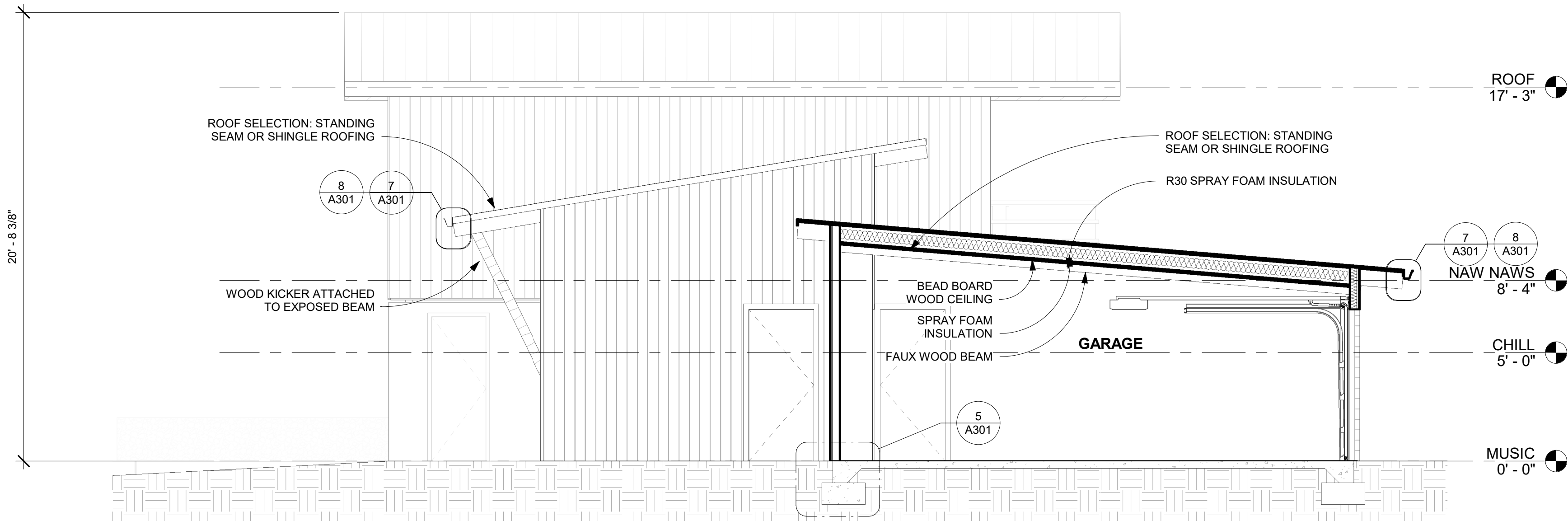
4 3D - CROSS SECTION 2 - GARAGE/STUDIO



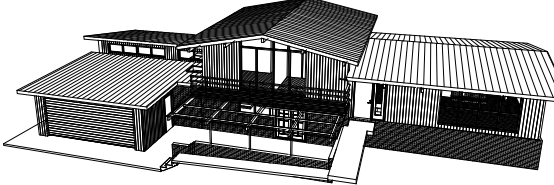
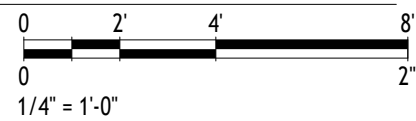
3 CROSS SECTION 2 - GARAGE/STUDIO
1/4" = 1'-0"



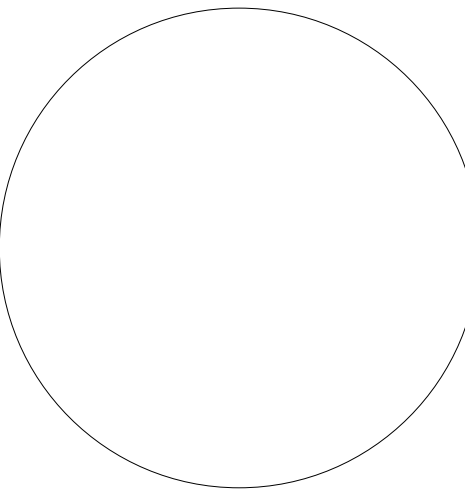
2 3D - CROSS SECTION - GARAGE/STUDIO



1 CROSS SECTION 1 - GARAGE/STUDIO
1/4" = 1'-0"



ROSEN RESIDENCE



RELEASE DATES

12/20/2024 - ISSUE FOR PERMIT

02/18/2024 - CITY COMMENTS

ROSEN RESIDENCE

3186 LYNNRAY DRIVE, ATLANTA GEORGIA

BUILDING SECTION

RELEASED FOR CONSTRUCTION

A301

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0038K, DATED 08/15/19

ZONING INFORMATION:

CLASSIFICATION: R-100
MINIMUM LOT WIDTH - 100 FEET
MINIMUM LOT AREA - 15,000 sf.
SETBACKS: FRONT - 35 FEET
 SIDE - 10 FEET
 REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

OWNER/24 HR CONTACT:

BRIAN & HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA. 30340
ROSEN@RABUNARCHITECTS.COM
(678)644-4942

CONTRACTOR:

S R HOME IMPROVEMENT, INC.
(404)705-4396
4279 ROSWELL ROAD NE
SUITE 208, BOX 240
ATLANTA, GA. 30342

LOT AREA:

18,008 sf.
0.413 ACRES

APPLICABLE BUILDING CODES:

- INTERNATIONAL BUILDING CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2022), (2024), (2025)
- INTERNATIONAL RESIDENTIAL CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2024)
- INTERNATIONAL FIRE CODE
2018 EDITION, (CONTACT STATE FIRE MARSHALL)
- INTERNATIONAL PLUMBING CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2022), (2023), (2024)
- INTERNATIONAL MECHANICAL CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2024)
- INTERNATIONAL FUEL GAS CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020), (2022)
- NATIONAL ELECTRICAL CODE
2023 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE
2015 EDITION, WITH GEOGIA SUPPLEMENTS AND AMMENDMENTS (2020), (2022), (2023)
- INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 EDITION, WITH GEORGIA AMMENDMENTS (2020)
- NFPA 101
LIFE SAFETY CODE 2018 EDITION WITH STATE AMMENDMENTS (2020) - EFFECTIVE JANUARY 1, 2020

PROJECT SCOPE:

- DEMOLITION AND REPLACEMENT OF EXISTING CONCRETE DRIVE
- DEMOLITION AND REPLACEMENT OF DRIVE RETAINING WALL
- DEMOLITION OF EXISTING CARPORT;
- CONSTRUCTION OF ENCLOSED GARAGE/STUDIO



GSWCC

GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

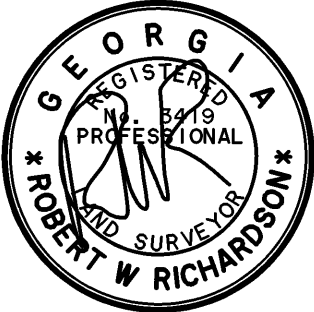
ROBERT W. RICHARDSON

LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000089322

ISSUED 10/12/2019 EXPIRES 10/11/2025

SIGNATURE DATE



ALPHA LAND SERVICES

P.O. BOX 1651
LOGANVILLE, GA. 30052

ENGINEERING * LAND SURVEYING

OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

REVISION:

REF. PLAT: PB. 53 P. 48

PAGE 1 OF 5

SITE PLAN FOR:

3186 LYNNRAY DRIVE

TAX PARCEL: 18-291-05-036

LAND LOT: 291	LOT: 7	BLOCK: B
DISTRICT: 18TH	SUB: NORTHCREST	
DEKALB COUNTY	EAST	
GEORGIA		
FIELD DATE: 01/09/24	AREA = 0.413 ACRES	
PLAT DATE: 02/18/25	JOB No. 24011COV	

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0038K, DATED 08/15/19

ZONING INFORMATION:

CLASSIFICATION: R-100
MINIMUM LOT WIDTH - 100 FEET
MINIMUM LOT AREA - 15,000 sf.
SETBACKS: FRONT - 35 FEET
SIDE - 10 FEET
REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET
L.L. = LAND LOT
L.L.L. = LAND LOT LINE
P.L. = PROPERTY LINE
CL = CENTERLINE
B.L. = BUILDING LINE
R/W = RIGHT-OF-WAY
S.S.E. = SANITARY SEWER EASEMENT
D.E. = DRAINAGE EASEMENT
MH = MANHOLE
C.B. = CATCH BASIN
J.B. = JUNCTION BOX
HW = HEADWALL
D.I. = DROP INLET
PP = POWER/UTILITY POLE
F.H. = FIRE HYDRANT
I.E. = INVERT ELEVATION
F.F.E. = FINISHED FLOOR ELEVATION
F.F.B. = FINISHED FLOOR BASEMENT
F.F.G. = FINISHED FLOOR GARAGE
BOC = BACK OF CURB
EP = EDGE OF PAVEMENT
N/F = NOW OR FORMERLY
P.O.B. = POINT OF BEGINNING
SS = SANITARY SEWER LINE/PIPE
X-X-X = FENCE LINE
O = FLOOD HAZARD ZONE LINE
S = STORM SEWER LINE/PIPE
W = WATER LINE
G = GAS LINE
CM = CONCRETE MONUMENT
C.E. = CONSTRUCTION EASEMENT
C&G = CURB AND GUTTER
LS = LIGHT STANDARD
OTP = OPEN TOP PIPE FOUND
CTP = CRIMP TOP PIPE FOUND

EXISTING LOT COVERAGE:

HOUSE = 1853 sf.
CONCRETE DRIVEWAY = 915 sf.
FRONT PORCH = 331 sf.
CONCRETE WALK = 161 sf.
CARPORT = 882 sf.
CONCRETE PATIOS = 821 sf.
BRICK PATIO = 322 sf.
KOI POND = 282 sf.
CONCRETE FLUME = 107 sf.
TOTAL = 5674 sf.
LOT COVERAGE = 31.5%

DEMOLITION NOTES:

- 1) ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION
- 2) ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE
- 3) ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- 4) DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- 5) ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR
- 6) CALL FOR FINAL INSPECTION AT 404-371-3010
- 7) NO TREE REMOVAL DURING DEMOLITION

LOT AREA:
18,008 sf.
0.413 ACRES

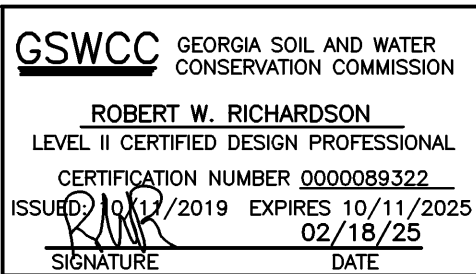
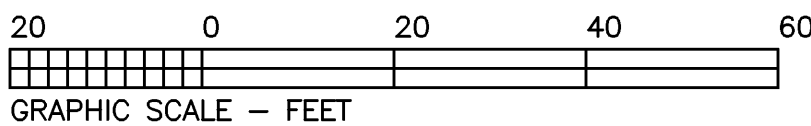
67.6'

N/F
ADAM BISHOP
DB: 23665, PG: 581

75' IMPERVIOUS BUFFER

50' UNDISTURBED BUFFER

25' STATE WATERS BUFFER



ALPHA LAND SERVICES	
P.O. BOX 1651 LOGANVILLE, GA. 30052	
ENGINEERING * LAND SURVEYING	
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM	
REVISION:	
REF. PLAT: PB. 53	P. 48

EXISTING CONDITIONS/DEMOLITION PLAN FOR:	
3186 LYNNRAY DRIVE	
TAX PARCEL: 18-291-05-036	
LAND LOT: 291	LOT: 7 BLOCK: B
DISTRICT: 18TH	SUB: NORTHCREST
DEKALB COUNTY	EAST
GEORGIA	
FIELD DATE: 01/09/24	AREA = 0.413 ACRES
PLAT DATE: 02/18/25	JOB No. 24011D1

OWNER/24 HR CONTACT:
BRIAN & HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA. 30340
ROSEN@RABUNARCHITECTS.COM
(678)644-4942

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0038K, DATED 08/15/19

ZONING INFORMATION:

CLASSIFICATION: R-100
MINIMUM LOT WIDTH - 100 FEET
MINIMUM LOT AREA - 15,000 sf.
SETBACKS: FRONT - 35 FEET
SIDE - 10 FEET
REAR - 40 FEET
MAXIMUM LOT COVERAGE - 35%
MINIMUM FLOOR AREA - 2000 sf.
MAXIMUM BUILDING HEIGHT - 35 FEET

LEGEND

IPF = 1/2" REBAR FOUND
IPS = 1/2" REBAR PIN SET
L.L. = LAND LOT
L.L.L. = LAND LOT LINE
P.L. = PROPERTY LINE
CL = CENTERLINE
B.L. = BUILDING LINE
R/W = RIGHT-OF-WAY
S.S.E. = SANITARY SEWER EASEMENT
D.E. = DRAINAGE EASEMENT
MH = MANHOLE
C.B. = CATCH BASIN
J.B. = JUNCTION BOX
HW = HEADWALL
D.I. = DROP INLET
PP = POWER/UTILITY POLE
F.H. = FIRE HYDRANT
I.E. = INVERT ELEVATION
F.F.E. = FINISHED FLOOR ELEVATION
F.F.B. = FINISHED FLOOR BASEMENT
F.F.G. = FINISHED FLOOR GARAGE
BOC = BACK OF CURB
EP = EDGE OF PAVEMENT
N/F = NOW OR FORMERLY
P.O.B. = POINT OF BEGINNING
SS = SANITARY SEWER LINE/PIPE
X-X-X = FENCE LINE
O = FLOOD HAZARD ZONE LINE
S = STORM SEWER LINE/PIPE
W = WATER LINE
G = GAS LINE
CM = CONCRETE MONUMENT
C.E. = CONSTRUCTION EASEMENT
C&G = CURB AND GUTTER
LS = LIGHT STANDARD
OTP = OPEN TOP PIPE FOUND
CTP = CRIMP TOP PIPE FOUND

- Tr - 4' ORANGE TREE-SAVE FENCING
Sd1-S - TYPE SENSITIVE SILT-FENCING (32" HIGH)
Co - CONSTRUCTION EXIT
SdHb - STAKED HAYBALES AS EROSION CONTROL

GENERAL NOTES:

- 1) THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- 2) EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 3) ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- 4) ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- 5) LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 6) ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- 7) ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 8) ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- 9) A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 10) A FINAL AS-BUILT WATER QUALITY CERTIFICATE REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.
- 11) DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- 12) WATER QUALITY BMP(S) TO BE INSTALLED AT THE TIME OF FINAL LANDSCAPING.
- 13) ALL COLLECTED WATER SHALL BE DIRECTED TO THE WATER QUALITY BMP(S).
- 14) NO WATER QUALITY BMP(S) ALLOWED IN UNDISTURBED STREAM BUFFERS OR TREE SAVE/CRITICAL ROOT ZONE.
- 15) WORK HOURS AND CONSTRUCTION DELIVERIES ARE:

MONDAY-FRIDAY 7:00am-7:00pm
SATURDAY 8:00am-5:00pm

- 16) I, ROBERT W. RICHARDSON CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

STREAM BUFFER IMPERVIOUS ENCROACHMENT

BUFFER	EXISTING	PROPOSED
25'	26 sf.	26 sf.(NO CHANGE)
50'	893 sf.	672 sf.(-24.7%)
75'	2237 sf.	2144 sf.(-4.2%)
TOTAL	3156 sf.	2852 sf.(-9.9%)

NO GRADED SLOPE SHALL EXCEED 3H:1V
ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 3250 sf.
0.075 ACRES

EXISTING LOT COVERAGE:

HOUSE = 1853 sf.
CONCRETE DRIVEWAY = 915 sf.
FRONT PORCH = 331 sf.
CONCRETE WALK = 161 sf.
CARPORT = 882 sf.
CONCRETE PATIOS = 821 sf.
BRICK PATIO = 322 sf.
KOI POND = 282 sf.
CONCRETE FLUME = 107 sf.
TOTAL = 5674 sf.
LOT COVERAGE = 31.5%

PROPOSED LOT COVERAGE:

EXISTING HOUSE = 1544 sf.
FRONT PORCH = 320 sf.
CONCRETE WALK = 161 sf.
CONCRETE PATIOS = 821 sf.
BRICK PATIO = 322 sf.
KOI POND = 282 sf.
CONCRETE FLUME = 107 sf.
NEW CONCRETE DRIVE = 949 sf.
GARAGE ADDITION = 507 sf.
STUDIO ADDITION = 365 sf.
TOTAL = 5378 sf.
LOT COVERAGE = 29.9%

TREE INVENTORY:

SAVED:
19" ELM - 5.4 9" OAK - 2.4
31" POPLAR - IMPACT 6" EVERGREEN - 1.6
25" OAK - IMPACT 17" OAK - 4.8
27" OAK - IMPACT 38" POPLAR - 15.8
27" OAK - 8.0 32" OAK - 11.2
26" OAK - 7.4 9" OAK - 2.4
13" OAK - 4.0 8" OAK - 2.4
25" OAK - 6.8 10" OAK - 3.2

REMOVED:
NONE

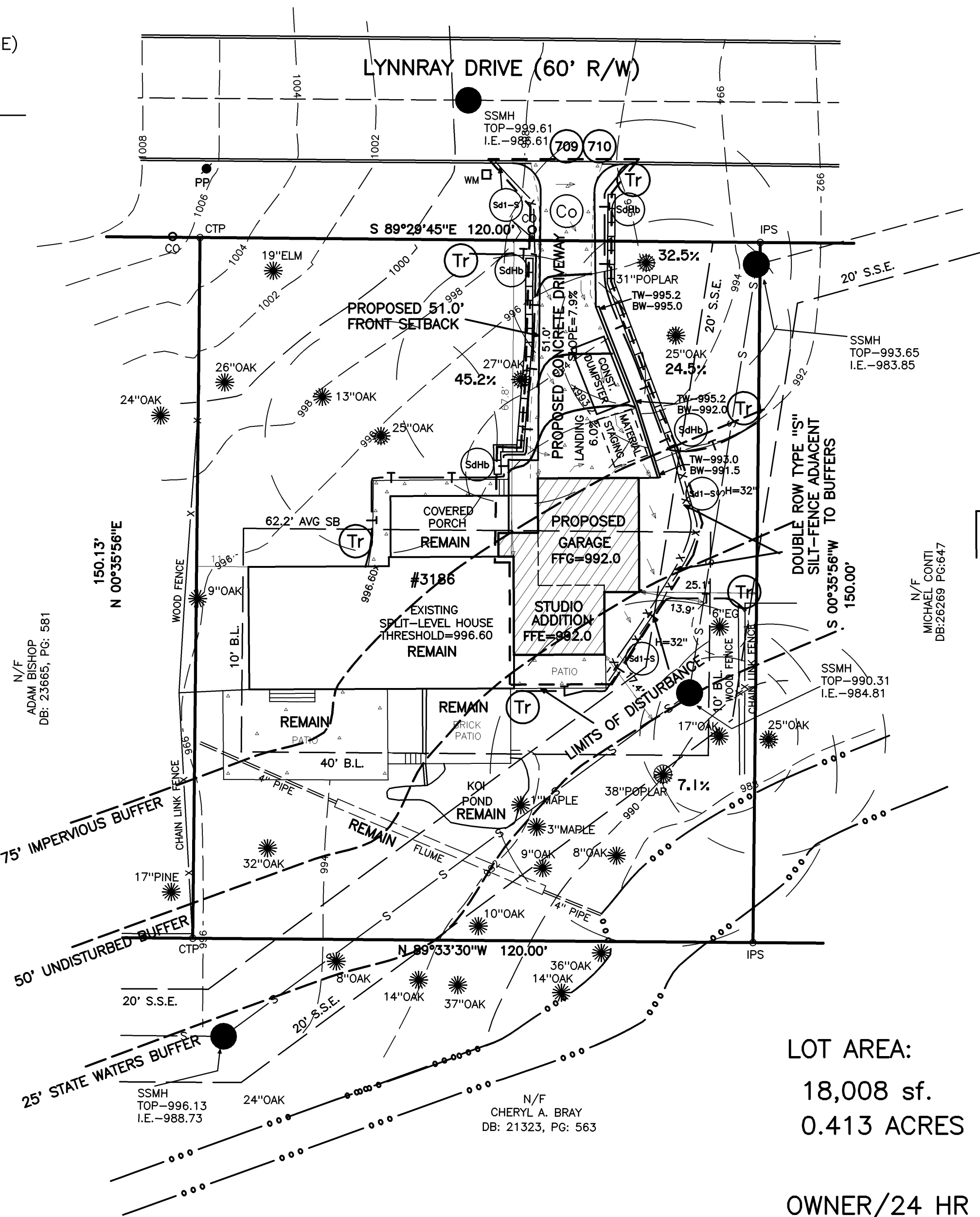
LANDSCAPE REQUIREMENTS:

15 x 0.413 = 6.2 UNITS REQUIRED
PRESERVED = 75.4 UNITS
SURPLUS = 69.2
120 x 0.413 = 50" DBH REQUIRED
PRESERVED = 239" DBH
SURPLUS = 189" DBH
TWO FRONT YARD TREES REQUIRED
REQUIREMENT MET

CUT/FILL VOLUMES:

CUT VOLUME = 2-3 CU YRDS
FILL VOLUME = 2-3 CU YRDS
- SITE TO BE BALANCED
- QUANTITIES ARE APPROXIMATE

DRIVEWAY TO BE REPLACED "IN-KIND" IN AN EFFORT TO REDUCE TREE IMPACT



LOT AREA:
18,008 sf.
0.413 ACRES

OWNER/24 HR CONTACT:
BRIAN & HEIDI ROSEN
3186 LYNNRAY DRIVE
ATLANTA, GA. 30340
ROSEN@RABUNARCHITECTS.COM
(678)644-4942

PAGE 3 OF 5

SITE PLAN FOR:

3186 LYNNRAY DRIVE
TAX PARCEL:18-291-05-036

GSWCC GEORGIA SOIL AND WATER
CONSERVATION COMMISSION
ROBERT W. RICHARDSON
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 0000089322
ISSUED 10/12/2019 EXPIRES 10/11/2025
02/18/25
SIGNATURE DATE

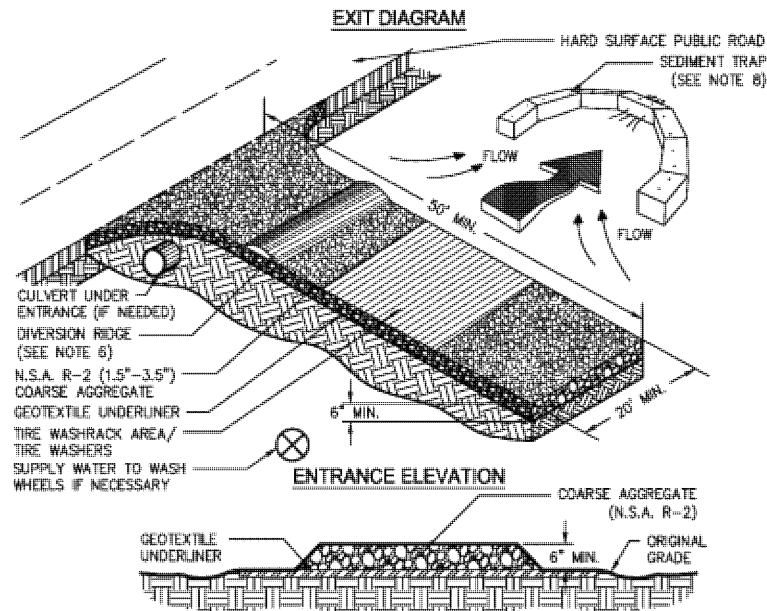


ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM
REVISION:
REF. PLAT: PB. 53 P. 48

LAND LOT: 291
DISTRICT: 18TH
DEKALB COUNTY
GEORGIA
FIELD DATE: 01/09/24
PLAT DATE: 02/18/25
LOT: 7 BLOCK: B
SUB: NORTHCREST
EAST
AREA = 0.413 ACRES
JOB No. 2401151

MAINTENANCE
The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT



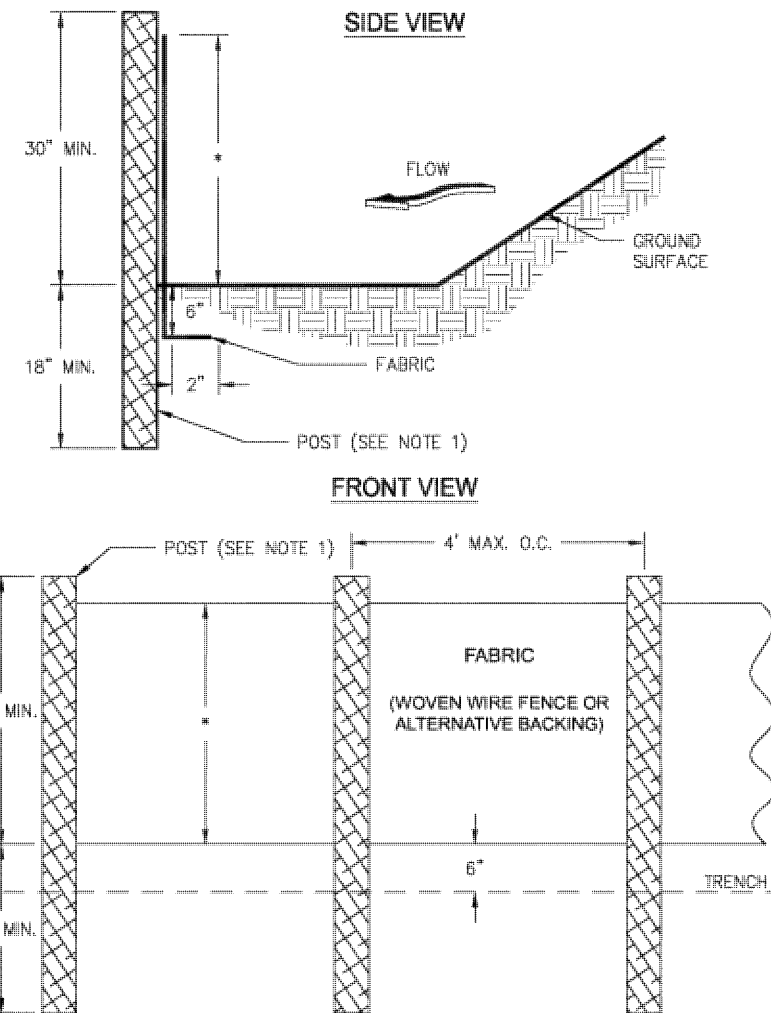
- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE & NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (OVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

GSWCC (Amended - 2013)

6-142

SILT FENCE Sd1-S (TYPE C)



- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Figure 6-27.2

GSWCC 2016 Edition

6-142

Ds4

MATERIALS

- Sod selected should be certified. Sod grown in the general area of the project is desirable.
- Sod should be machine cut and contain 3/4" (+ or - 1/4") of soil, not including shoots or thatch.
- Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected.
- Sod should be cut and installed within 36 hours of digging.
- Avoid planting when subject to frost heave or hot weather, if irrigation is not available.
- The sod type should be shown on the plans or installed according to Table 2. See page 60 for your Resource Area.

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L, P, C P, C P, C	Warm weather
Bahiagrass	Pensacola	P, C	Warm weather
Centipede	—	P, C	Warm weather
St. Augustine	Common Bitterblue Raleigh	C	Warm weather
Zoysia	Emerald Myer	P, C	Warm weather
Tall Fescue	Kentucky 31	M-L, P	Cool weather

MAINTENANCE

- Re-sod areas where an adequate stand of sod is not obtained.
- New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
- Apply one ton of agricultural lime as indicated.

- Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.
- Topsoil properly applied will help guarantee a stand. Don't use topsoil recently treated with herbicides or soil sterilants.
- Mix fertilizer into soil surface. Fertilize based on soil tests or Table 1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.
- Agricultural lime should be applied based on soil tests or at a rate of 1-2 tons/acre.
- Lay sod with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch sod.

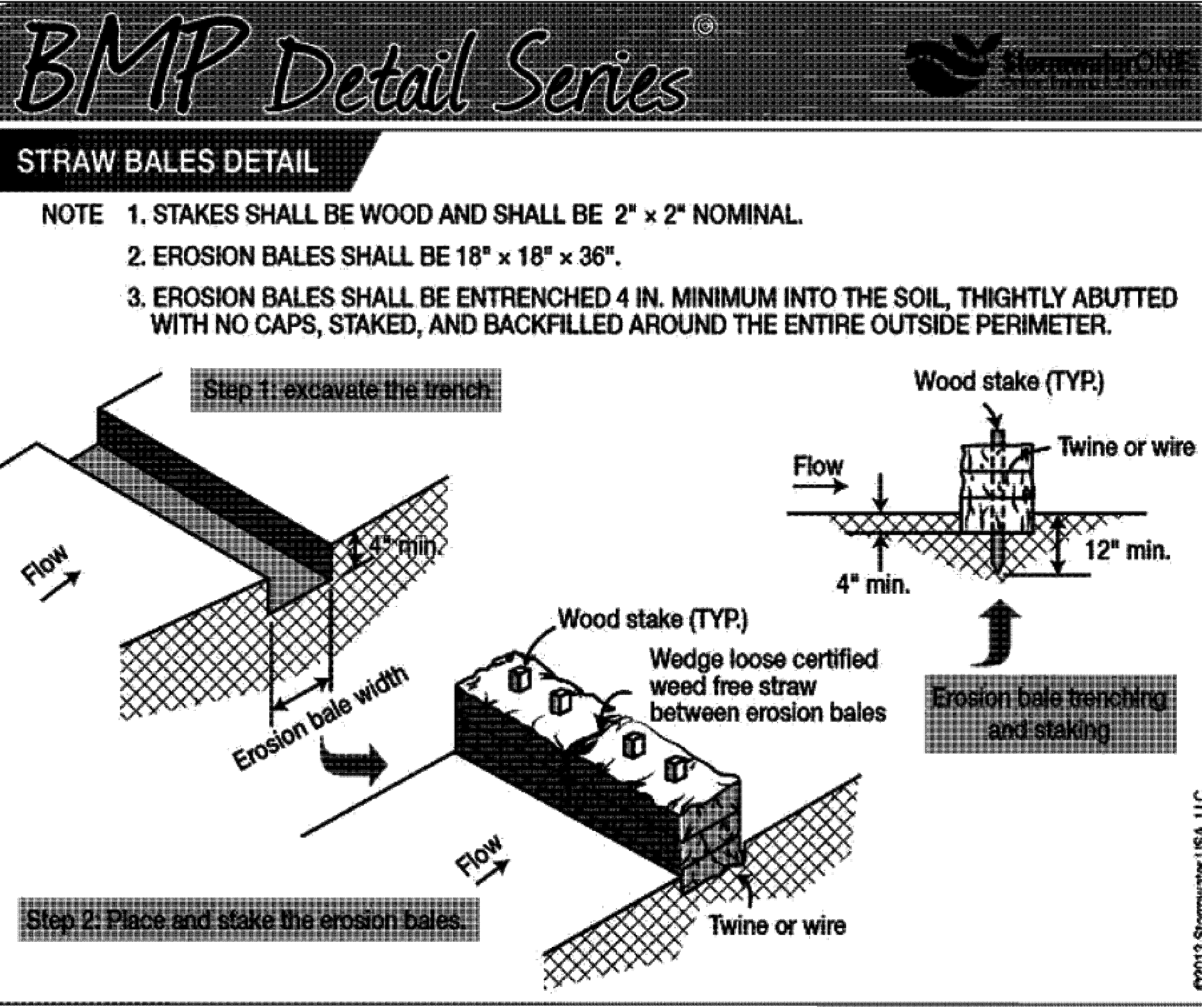
Table 1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type (lbs./acre)	Fertilizer Rate (lbs./sq.ft.)	Fertilizer Rate	Season
10-10-10	1000	.025	Fall

- On slopes steeper than 3:1, sod should be anchored with pins or other approved methods.
- Installed sod should be rolled or tamped to provide good contact between sod and soil.
- Irrigate sod and soil to a depth of 4" immediately after installation.
- Sod should not be cut or spread in extremely wet or dry weather.
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.
- Fertilize grasses in accordance with soil tests or Table 3.

Table 3. Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
Cool season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	---
	Maintenance	10-10-10	400	30
Warm season	First	6-12-12	1500	50-100
	Second	6-12-12	800	50-100



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SPECIES	Broadcast Rates 1/- plg 2/ Per Acre	Per 1000 sq. ft.	Resource Area 3/	Planting Dates by Resource Planting Dates		Areas Remarks										
<div>Ds3</div>				(Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates)												
				J	F	M	A	M	J	J	A	S	O	N	D	
BAHIA, PENSACOLA (Paspalum notatum) alone or with temporary cover with other perennials	60 lbs.	1.4 lb.	P C													166,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with a companion crop. Will spread into bermuda pastures and lawns. Mix with Sericea lespedeza or weeping lovegrass.
BAHIA, WILMINGTON (Cynodon notatum) alone or with temporary cover with other perennials	60 lbs. 30 lbs.	1.4 0.7	lb lb.	M-L P												Same as above
BERMUDA, COMMON (Cynodon notatum) Hulled seed alone with other perennials	10 lbs. 6 lbs.	0.2 0.1	lb. lb.	P C												1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.
BERMUDA, COMMON (Cynodon dactylon) unhulled seed with temporary cover with other perennials	10 lbs. 6 lbs.	0.2 0.1	lb. lb.	P C												Plant with winter annuals. Plant with Tall fescue.
BERMUDA, SPRINGS (Cynodon dactylon) or Coastal Common, Midland, or Tift 44 Coastal, Common, or Tift 78	40 cu. ft. or 9 cu. ft. sod plugs 3' x 3'	0.9 cu. ft. 3'	ft. P C C	M-L												A cubic foot contains approximately 650 sprigs. A bushel contains 1.25 cubic feet or approximately 800 sprigs. Same as above
FESCUE, TALL (Festuca arundinacea) alone with other perennials	50 lbs. 30 lbs.	1.1 0.7	lb lb.	M-L P												Southern Coastal Plain only 227,000 seed per pound. Use alone only on better sites. Not for droughty soils. Mix with perennial lespedezas or Crownvetch. Apply topdressing in spring following fall planting. Not for heavy use areas or athletic fields.
<div>Species</div> <div>Ds2</div>	Broadcast Rates 2/ - PLG 3/ Per Acre	Per 1000 sq. ft.	Resource Area 4/	Planting Dates by Resource Planting Dates		Areas Remarks										
				(Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates.)												
				J	F	M	A	M	J	J	A	S	O	N	D	
MILLET, PEARL (Pennisetum glaucum) alone	50 lbs.	1.1 lb.	M-L P C													88,000 seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.
OATS (Avena sativa) alone in mixtures	4 bu. (128 lbs.) 1 bu. (32 lbs.)	2.9 lb. 0.7 lb.	M-L P C													13,000 seed per pound. Use on productive soils. Not as winterhardy as rye or barley
RYE (Secale cereale) alone in mixtures	3 bu. (168 lbs.) 1/2 bu. (28 lbs.)	3.9 lb. 0.6 lb.	M-L P C													18,000 seed per pound. Quick cover. Drought tolerant and winterhardy
RYE alone	40 lbs.	0.9 lb.	M-L P C													227,000 seed per pound. Dense cover. Very competitive and is not to be used in mixtures
RYE alone	60 lbs.	1.4 lb.	M-L P C													55,000 seed per pound. Good on droughty sites. Not recommended for mixtures.

PERM. & TEMP. GROUND COVER

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

MULCHING APPLICATION REQUIREMENTS

MATERIAL	RATE	DEPTH
STRAW OR HAY	2-1/2 TONS/ACRE	6" TO 10"
WOOD WASTE, CHIPS, SAWDUST, BARK	6 TO 9 TONS/ACRE	2" TO 3"
CUTBACK ASPHALT	1200 GAL/AC OR 1/4 GAL/SQ.YD.	---
POLYETHYLENE FILM	SECURE WITH SOIL, ANCHORS, WEIGHTS	---
CUTBACK ASPHALT	SEE MANUFACTURER'S RECOMMENDATIONS	---
GEOTEXTILES, JUTE MATTING, NETTING, ETC.	SEE MANUFACTURER'S RECOMMENDATIONS	---

