DeKalb County Historic Preservation Commission

Monday, July 21, 2025- 6:00 P.M.

Staff Report

Consent Agenda

C. 1276 Briardale Lane, Emmanuel A. Baptiste. Replace deck on rear of nonhistoric property. **1247658.**

Built in 1950 - Nonhistoric (18 054 03 010)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

10-99 1276 Briardale Lane (DH), Thomas S. Cross. Veneer front stoop and steps with slate tile. **Approved.** 01-02 1276 Briardale Lane (DH), Thomas Cross. Install 6' tall wooden fence around part of the backyard. Approved.

Summary

The applicant proposes removing and replacing the two-story deck on the rear of a nonhistoric house. The existing wood deck will be removed and replaced with a similar wood deck on the rear façade of the house. The new deck will measure 24' wide and roughly 12½' in height from the lowest grade, reducing the overall size of the deck in width and height. The railing of the new deck will wrap around the entire perimeter of the deck and a set of side stairs will be installed in the center of the deck, leading to the backyard. One tree will be removed from the backyard near the existing deck and new landscaping will be installed at the base of the new deck.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 Design Review Objective (p45) When making a material change to a structure that is in view from a public right-ofway, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 11.0 Nonhistoric Properties (p93) <u>Guideline</u> In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.



Department of Planning & Sustainability

Current Planning Zoning Division 178 Sams Street Decatur, GA 30030

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director

Chief Executive Officer Lorraine Cochran-Johnson

Cedric W. Hudson, MCRP

Application for Certificate of Appropriateness

Date submitted:	_	Date Rec	eived:		<u> </u>	
Address of Subject Property:						
Applicant:			E-Mail:			
Applicant Mailing Address:						
Applicant Phone:			_			
Applicant's relationship to the owners	: Owner	Archi	tect Contract	or/Builder	Other	
***********	********	******	*********	*******	********	
Owner(s):			Email:			
Owner(s):			Email:			
Owner(s) Mailing Address:						
Owner(s) Telephone Number:					_	
Approximate date of construction of t	he primary structu	re on the	property and any other	structures af	fected by this project:	
Nature of work (check all that apply):	New construction		New Accessory Building		Other Building Changes	
	Demolition		Landscaping		Other Environmental Changes	
	Addition		Fence/Wall		Other	
Description of Work:	Moving a Building		Sign Installation			

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pvjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant:



Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We:
being owner(s) of the property at:
hereby delegate authority to:
to file an application for a certificate of appropriateness in my/our behalf.
Signature of Owner(s):
Date

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.



How to Obtain a Certificate of Appropriateness

- 1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by emailing **plansustain@dekalbcountyga.gov** AND **pvjennings@dekalbcountyga.gov**.
- 2. Complete and submit the application via email. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3(HPC Calendar). Email the application and supporting documents to plansustain@dekalbcountyga.gov AND pvjennings@dekalbcountyga.gov. If all documents are not provided the application will not be complete and will not be accepted.
- 3. Once the application has been received, the Administrative Specialist for the Department of Planning and Sustainability will provide a sign template and instructions on how to post the required signage on the property at least ten days before the preservation commission meeting. If the applicant does not post the required signage and provide evidence of posting within ten days before the preservation commission meeting, their application may be deferred or denied due to improper public notification.
- 4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
- 5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
- 6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
- 7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
- 8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.



Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945 or via e-mail at pyjennings@dekalbountyga.gov.

Applicants are also referred to the DeKalb County website, http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width



4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: << Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale



10. Façade

- a. Consistency in style;
- b. Materials and their combinations

brick size and color

stone type and color

fiber-cement (e.g., Hardie-plank) or wood siding

shake or shingle

other

- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- Shutters or canopies
- i. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials



14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing
 deadline has passed and that period has expired, no new applications will be accepted to be heard at that
 month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be
 submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be
 taken into consideration for the staff report. Staff reports will not be edited once finalized and published any
 new materials may be submitted for the record for the commission but will not affect the staff's report for the
 application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - o Representative photos
 - Letters of support/opposition
 - o Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.

PROJECT NAME

PROPOSED UPGRADE TO THE:

BIRNS FAMILY RESIDENCE

REAR WOOD DECK, LOCATED AT 1276 BRIARDALE LANE NE, ATL, GA 30306

CONTACTS

Evan Birns

1276 Briardale Ln NE, ATL, GA. 30306 Tell: (516) 424–0946 Email: Ebirnes97@gmail.com/

OWNER:

ARCHITECT:

Allan Graham
434 Rolfe Ct,

McDonough, GA. 30252
Tell: (404) 259-0093
Email: grahamaa33@gmail.com

CONTRACTOR:

PROPERTY ELEVATION FROM STREET



SCOPE OF WORK

THESE DOCUMENTS REFLECT EXISTING CONDITIONS TO THE BEST OF THE ARCHITECT KNOWLEDGE. THE BUILDING ADDRESS IS AN EXISTING 1- FAMILY & TO REMAIN AS A 1- FAMILY & UPGRADING A REAR WOOD DECK

LIST OF ARCHITECTURAL & STRUCTURAL DWGS.

		ANOTHIEGIONAL	\(\sigma\)	SINOCIONAL DWOS.
SHT. #		SHEET INDEX	SHT. #	SHEET INDEX
A01	COVER SHEET, PLOT PLAN & LEGEND			
A02	NOTES AND LEGEND			
A03	PROPOSED SITE PLAN			
A04	EXISTING /DEMO REAR WOOD DECK PLANS			
A05	PROPOSED FOUNDATION & 1ST. FLOOR WOOD DECK PLANS			
A06	PROPOSED WOOD DECK ROOF FRAMING PLAN, EXTERIOR STAIR & COL	_ DETAILS & LEDGER DETAIL		
A07	TYPICAL WOOD DECK SECTION 01 DETAILS			
A08	PRO.POSED WOOD DECK ELEVATION			
U			ļ	•

AUTHORITIES HAVING JURISDICTION

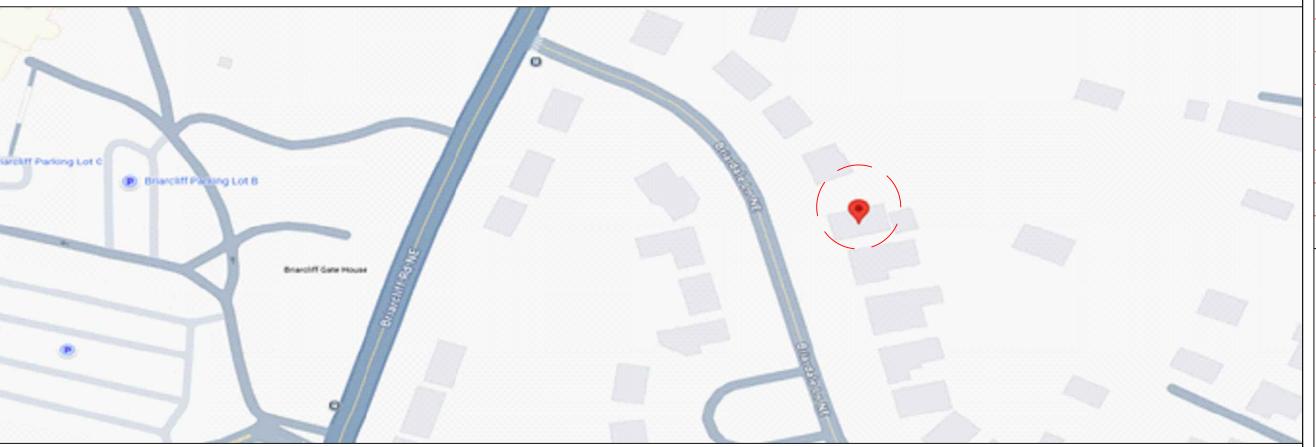
JURIDICTION: GWINNETT COUNTY

DEPARTMENT: PLANNING AND ZONING DEPARTMENT

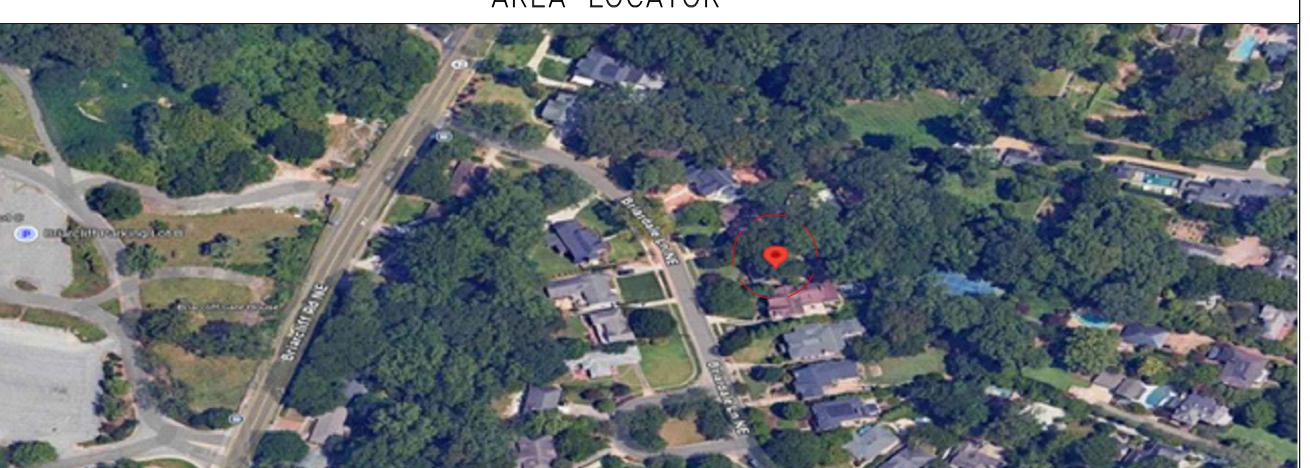
Address: 76 Main St, NW, Lilburn, GA 30047

Phone: (770) 921-2784

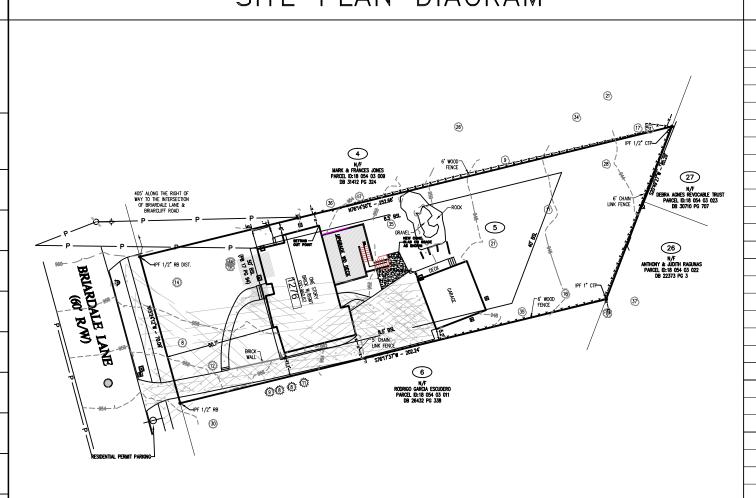
STREET LOCATOR



AREA LOCATOR



SITE PLAN DIAGRAM



PROJECT DATA

ADDRESS	11276 BRIARDALE LN NE, ATL, GA 30306	
APN:	18 054 03 010	
Valuation		
ZONING	R-85	
YEAR BUILT	1950	
OCCUPANCY	R3	
HEIGHT LIMIT	N/A	
LEGISLATIVE SETBACKS	N/A	
STORY'S	1 & BASEMENT	
RESTRICTIONS	NONE	
TYPE	VB/ WOOD FRAME	
	JECT FEATURES	
SINGLE FAMILY DWELLING	YES	
GARAGE PARKING SPACES	2	
NUMBER OF BUILDINGS	1	
HEIGHT OF BUILDING(S)	NA	
NUMBER OF STORIES	2	
GRO	SS SQUARE FOOTAGE	
	EXISTING	
MAIN FLOOR		
UPPERFLOOR		
(GARAGE & ENTRY)	YES	
CRAWLSPACE	N/A	
FOUNDATION SLAB ON GRADE	NYES	
TOTAL CONDITIONED SPACED	2,562 Sq Ft	
	SUMMARY	
OTAL GROSS SQUARE FOOTAGE	XXXX Sq Ft	
LOT SIZE	15,956 Sq. Ft .4 AC	
IMPERVIOUS AREA ADDED	113.32 Sq Ft	

HODAVIAH GENERAL CONSTRUCTION
AND ARCHITECTURAL SERVICE, LLC
4304 Rolfe Court, McDonough, GA.30252

DFFICE NO: (404) 259-0093

\wedge	DATE: 07/03/2025	
/1\	PER COUNTY COMMENTS	S

CONSULTANTS

REVISIONS

PROJECT / CLIENT

Mr. Evan Birns
1276 Briardale Lane NE, ATL, GA 30306

Mr. Evan Birns 1276 Briadale Lane NE, ATL, GA 30306 Tell: (516) 424-0946

DRAWN BY A.A.GRAHAM

CHECK BY

DATE

SCALE AS SHOWN

JOB NO:

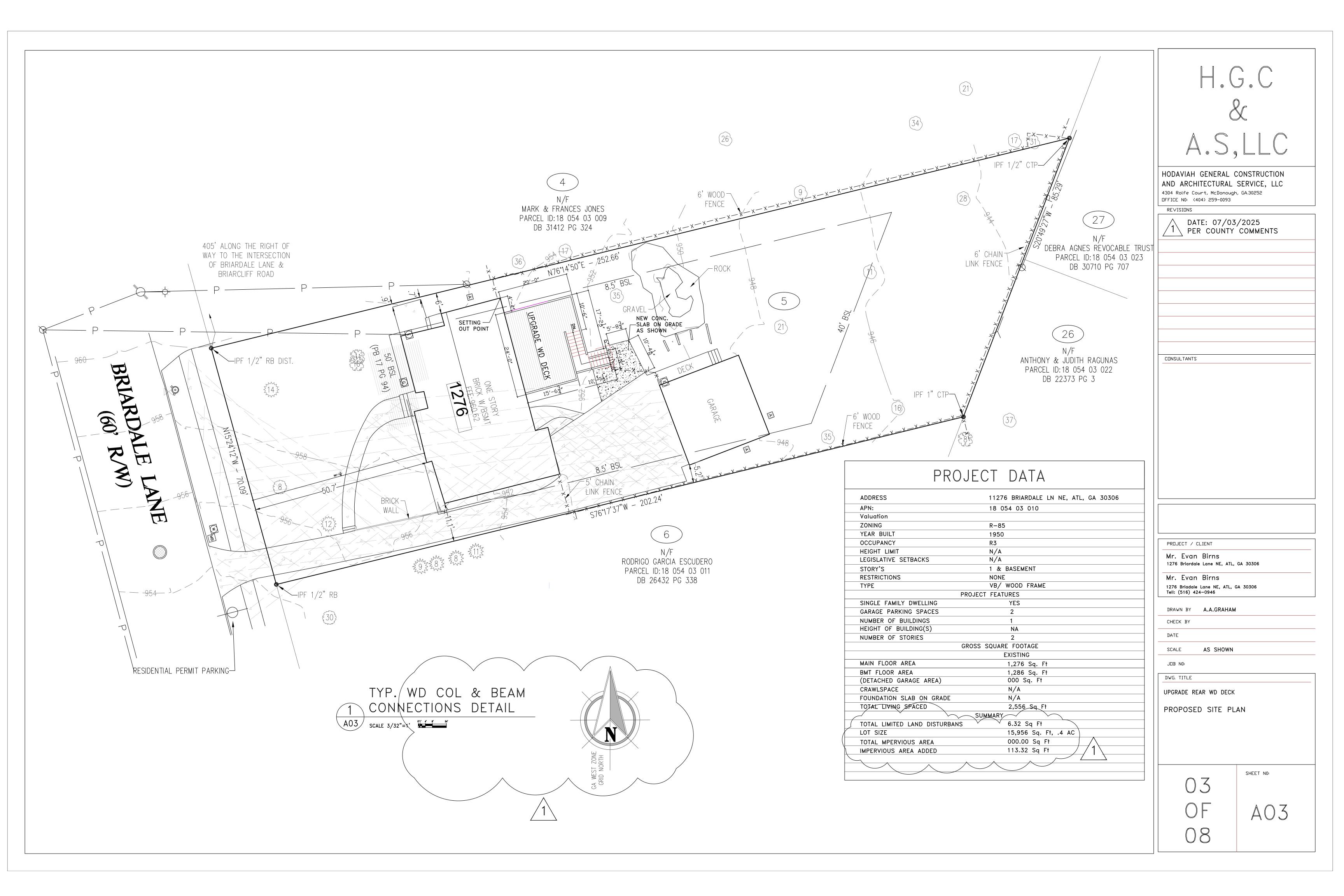
DWG. TITLE

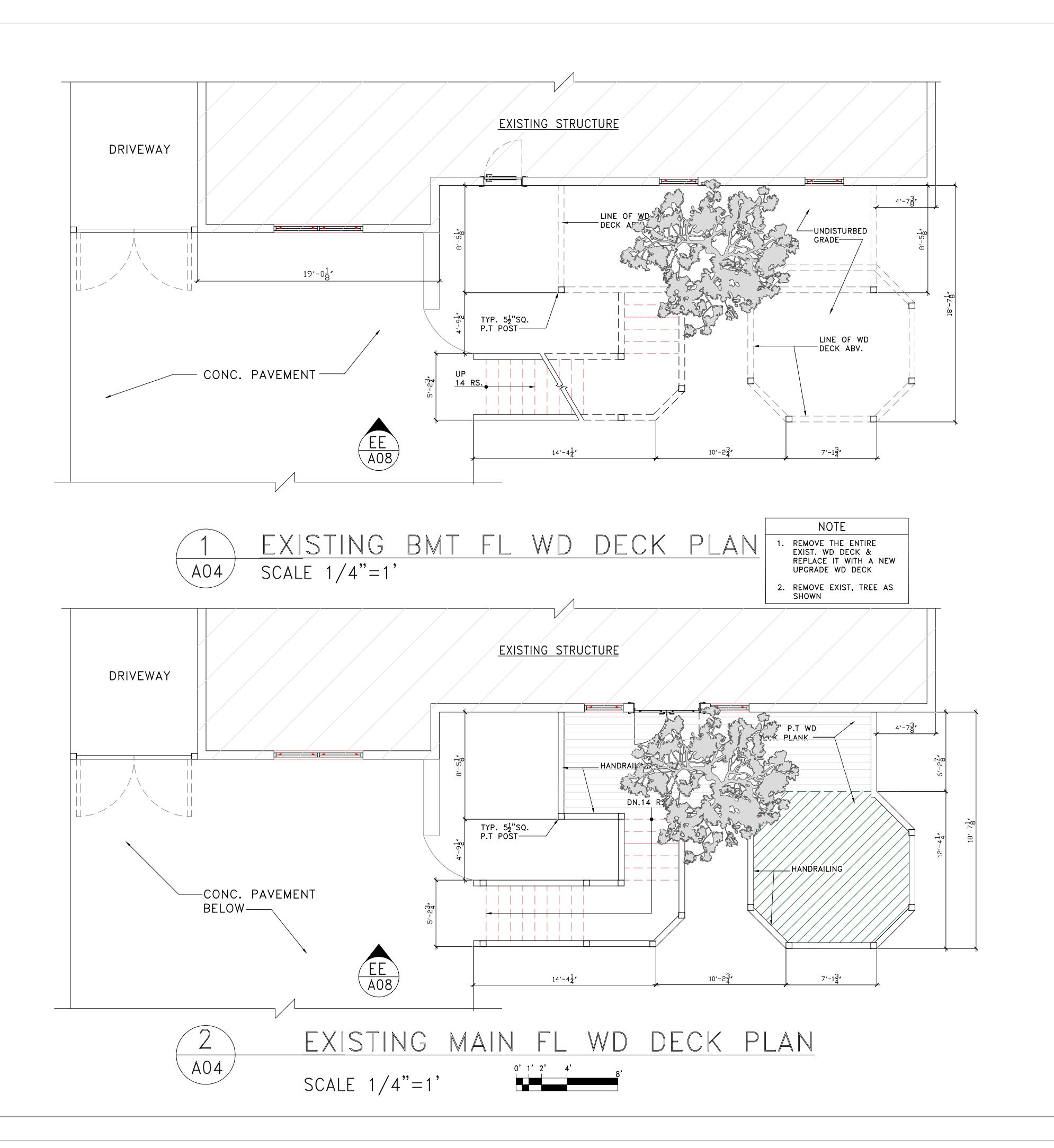
UPGRADE REAR WD DECK

EXIST. REAR WD DECK DWG LIST, SCOPE OF WORK & NOTES

01 0F A01 08

		LEGEND OF MATERIALS	LIST OF SYMBOLS	GENERAL	NOTES:	
	ACOUSTIC ALUMINUM			GENERAL CONSTRUCTION NOTES:	10. ALL BEDROOM WINDOWS SHALL COMPLY	
	ARCHITECTURAL ASBESTOS	EXISTING	DENOTES LETTER OR	1. ALL MATERIALS, HARDWARE, APPLIANCES	WITH THE BUILDING CODE WHEN USED AS A	
	BLOCK BOARD		NUMBER OF SECTION OR DETAIL	AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE AND	MEANS OF ESCAPE OR RESCUE. MINIMUM NET CLEAR OPENING SHALL BE NO LESS THAN 5.7 SQ.	
	BUILDING	REMOVE	DENOTES DRAWING NO. ON WHICH SECTION OR	THE MANUFACTURER'S WRITTEN INSTRUCTIONS	FT. MINIMUM CLEAR OPENING HEIGHT SHALL NOT	
	CEILING CEMENT	CONCRETE	DETAIL APPEARS SECTION OR DETAIL	AND REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND	BE LESS THAN 24", MINIMUM CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20". THE	
	CERAMIC CENTER	CONCRETE	DENOTES NUMBER	MATERIALS, INCLUDING BLOCKING, NAILER,	FINISHED SILL HEIGHT SHALL NOT EXCEED 44"	
	CLOSET	CONCRETE BLOCK	OF ELEVATION	MOLDINGS, ETC. IN ORDER TO MEET THE REQUIREMENTS EVEN IF THEY ARE NOT	ABOVE THE FINISH FLOOR. 11. ALL GLASS SLIDING DOORS AND SIDELIGHTS	
	COLUMN CONCRETE		DENOTES DRAWING NO. ON WHICH ELEVATION	INDICATED ON THE PLANS.	SUBJECT TO IMPACT SHALL BE TEMPERED AND	HODAVIAH GENERAL CONSTRUCTION
	CONSTRUCTION CORRUGATED	BRICK MASONRY	APPEARS	2. IT IS THE CONTRACTORS RESPONSIBILITY TO PAINT ALL SURFACES THAT REQUIRE	COMPLY WITH THE BUILDING CODE. 12. CONTRACTOR TO PROVIDE VENTILATION AT	AND ARCHITECTURAL SERVICE, LLC
	DETAIL	SLATE	ELEVATION 	PROTECTION FROM THE ELEMENTS WITH THE	ALL BATH AND UTILITY ROOMS THROUGH NATURAL	4304 Rolfe Court, McDonough, GA.30252 DFFICE NO: (404) 259-0093
	DIAMETER DOWN		NUMBER OR LETTER DENOTES COLUMN	APPROPRIATE PLAN INCLUDING NECESSARY PRIMER COATS AND BACK PRIMING WHERE	OR MECHANICAL MEANS AND COMPLY WITH THE BUILDING CODE.	REVISIONS
	DRAWING	PLASTER, GROUT OR SAND	CENTERLINE	REQUIRED.	13. CONTRACTOR SHALL APPLY 5/8" FIRE CODE	
	ELECTRICAL ELEVATION	STONE FILL		3. CONTRACTOR TO PROVIDE AND INSTALL	GYPSUM BOARD TO WALLS AND CEILINGS OF	
	ELEVATOR EQUIPMENT		COLUMN GRID	ALL NECESSARY FLASHING INCLUDED, BUT NOT LIMITED TO THRU FLASHING, STEP FLASHING,	USABLE SPACE UNDER STAIR AND TO WALL AND CEILING OF ATTACHED GARAGE ADJOIN LIVING	
	EXPANSION	CERAMIC TILE	NUMBER DENOTES	COUNTER FLASHING, CAP FLASHING, BASE	SPACES WHERE GARAGE EXISTS WITHIN THE	
	EXTERIOR FIRE-PROOF SELF CLOSING	TO TO THE CONTRACT OF THE CONT	5 WINDOW TYPE	FLASHING AND FLEXIBLE FLASHING WHERE NECESSARY TO MAKE A WATER TIGHT BUILDING.	DESIGN. 14. PROVIDE 5/8" FIRE RETARDANT PLYWOOD ON	
	FINISH	GRANITE	WINDOW	PROTECT MATERIAL WHICH ARE SENSITIVE TO	EXPOSED PANEL OF ATTIC ACCESS. OPENING	
	FLATHEAD FLOOR	STEEL	NUMBER DENOTES	DETERIORATION, AND TO MAKE TRANSITION AT	SHALL BE A MINIMUM OF 6'-0" MEASURED ON HODIZONTAL PLANE FROM A GAS WATER HEATER	
	FLOOR DRAIN		LOUVER TYPE	DISSIMILAR MATERIALS. 4. CONTRACTOR TO SEAL WITH THE	HORIZONTAL PLANE FROM A GAS WATER HEATER OR GAS PER IRC R309.2.	
	FOOT OR FEET GALVANIZED	METAL	LOUVER	APPROPRIATE TYPE OF CAULK AT ALL	15. FIRE STOP ALL PENETRATIONS IN WALLS,	
	GLAZED GYPSUM		NUMBER DENOTES	LOCATIONS NECESSARY TO PREVENT THE PENETRATION OF MOISTURE AND AT THE	FLOORS, AND CEILINGS REQUIRING PROTECTED OPENINGS AS PER THE LOCAL BUILDING CODE OR	
	HANDICAP		DOOR NUMBER	TRANSITION OF DISSIMILAR MATERIALS.	IRC 2009.	
	HEIGHT HIGH POINT	RIGID INSULATION	DOOR LETTER DENOTES	5. CONTRACTOR TO PROVIDE AND INSTALL ALL LOCKING AND SECURITY DEVICES REQUIRED	16. LABEL ALL FIRE RATED AND TREATED DOORS WITH THE MANUFACTURER'S LABEL DESIGNATING	
	HORIZONTAL	GLASS	BUILDING IN WHICH ROOM OCCURS	BY FEDERAL, STATE & LOCAL LAWS,	THE PROTECTION RATING.	CONSULTANTS
	HEATING, VENTILATING & AIR CONDITIONING		F-201 NUMBER DENOTES ROOM NUMBER	REGULATIONS AND REQUIREMENTS.	17. USE FIRE RETARDANT TREATED WOOD IN ALL NEW CONSTRUCTION.	- CEROSE FRICTS
	HOUR	SMOKE DETECTOR	ROOM NUMBER	6. CONTRACTOR TO PROVIDE AND INSTALL ALL GLASS IN ACCORDANCE WITH FEDERAL,	NEW CONSTRUCTION. 18. VENTILATE ALL ROOMS AND SPACES IN	
	INSIDE DIAMETER INSULATION			STATE AND LOCAL LAWS, REGULATIONS AND	ACCORDANCE WITH THE IRC 2009.	
	JANITOR JOINT		LETTER DENOTES OCCUPANCY GROUP	REQUIREMENTS. 7. CONTRACTOR TO MEET ALL THE	19. ALL ENTRY DOORS TO BE SOLID CORE 1-3/4" THICK (REFER TO DOOR SCHEDULE FOR SIZE).	
	LOW POINT		AS PER NYC BUILDING OCCUPANCY GROUP CODE	REQUIREMENTS OF THE BUILDING CODE AND	,	
	MATERIAL MAXIMUM			FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND REQUIREMENTS, EVEN IF IT		
	MINIMUM			REQUIRES LABOR AND / OR MATERIALS NOT		
	MASONRY OPENING METAL			INDICATED ON THE PLANS.		
	NOT IN CONTRACT			8. CONTRACTOR MUST CONSTRUCT THIS PROJECT FROM WRITTEN DIMENSIONS ON THE		
	NUMBER ON CENTER			PLANS. DO NOT SCALE DRAWINGS.		
	OPENING OUTSIDE DIAMETER			9. ALL MECHANICAL AND ELECTRICAL		
	PLATE			SUBCONTRACTORS SHALL HAVE A CURRENT MASTER'S LICENSE IN STANDINGS WITH THE		
	PLASTER RISER			LOCAL GOVERNING BODY WITH A MINIMUM OF 5 YEARS EXPERIEN	NCE.	
	ROOF DRAIN					
	ROOM SECTION					
SCMD	SMOKE DETECTOR OR SMOKE & CARBON MONOXIDE DETR. SMOKE DETECTOR					
	SUMP PUMP	CONSTRUCTIO)N RULES	SIAIR, HANL	DRAIL & GUARDRAIL NOTES	PROJECT / CLIENT
	SPECIFICATIONS STEEL					Mr. Evan Birns 1276 Briardale Lane NE, ATL, GA 30306
	STRUCTURAL	PROVIDE DUST ABATEMENT BY SPRAYING DURING EXCAVATION		1. VERIFY STAIR LAYOUT, RISER/TREAD SIZES IN		
	STAINLESS STEEL STAINLESS STEEL	MAINTAIN A CLEAN JOBSITE IN GENERAL TO MINIMIZE INCONVENIENCE TO NEIGHBORS		2. STAIRS PER CBC 1009 FOR PRIVATE RESIDENC DEPTH: 9" (UNLESS OCCUPANT LOAD IS 10 OR MC	·	Mr. Evan Birns 1276 Briadale Lane NE, ATL, GA 30306
ļ	SUSPENDED	CONSTRUCTION NOISE TO BE LIMITED TO 8AM-6PM WHENEVER		TREAD DEPTH IS 11").	ONE, THEN WAY, NIGENTIEIGHT IS I AND WIIN.	Tell: (516) 424-0946
	TREAD	POSSIBLE POWER TOOLS NOT TO START UNTIL 9AM		3. DEPTH OF LANDING GREATER THAN OR EQUAL	L TO STAIR WIDTH, 36" OK FOR STRAIGHT RUNS.	DRAWN BY A.A.GRAHAM
	THICK	. STANGER LITTLE NICH IN STADI HATH OAM		4. MAINTAIN A CONSTANT CLEAR HEAD HEIGHT O	DF 6'8" AT ALL TIMES, AS MEASURED VERTICALLY	CHECK BY
	TYPICAL				STAIRWAY TREAD NOSING TO THE SOFFIT OR	
	TYPICAL UNLESS OTHERWISE NOTED UNDERSIDE	PORTABLE TOILET TO BE PROVIDED AND CONCEALED WITH DECORATIVE HOUSING				DATE
	TYPICAL UNLESS OTHERWISE NOTED	PORTABLE TOILET TO BE PROVIDED AND CONCEALED WITH DECORATIVE HOUSING NOISY WORK IS TO BE AVOIDED ON WEEKENDS UNLESS		OTHER CONSTRUCTION ABOVE AT ALL POINTS.	O RE 3/8" OD LESS IN EACH ELICHT OF STAIRS	
	TYPICAL UNLESS OTHERWISE NOTED UNDERSIDE VERTICAL VESTIBULE WITH	PORTABLE TOILET TO BE PROVIDED AND CONCEALED WITH DECORATIVE HOUSING NOISY WORK IS TO BE AVOIDED ON WEEKENDS UNLESS COMPLETELY NECESSARY AND DEFINATELY NOT ON A SUNDAY				SCALE AS SHOWN
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H.G.C & A.S.LLC

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DRAWN BY A.A.GRAHAM

CHECK BY

DATE

SCALE AS SHOWN

J□B N0:

UPGRADE REAR WD DECK

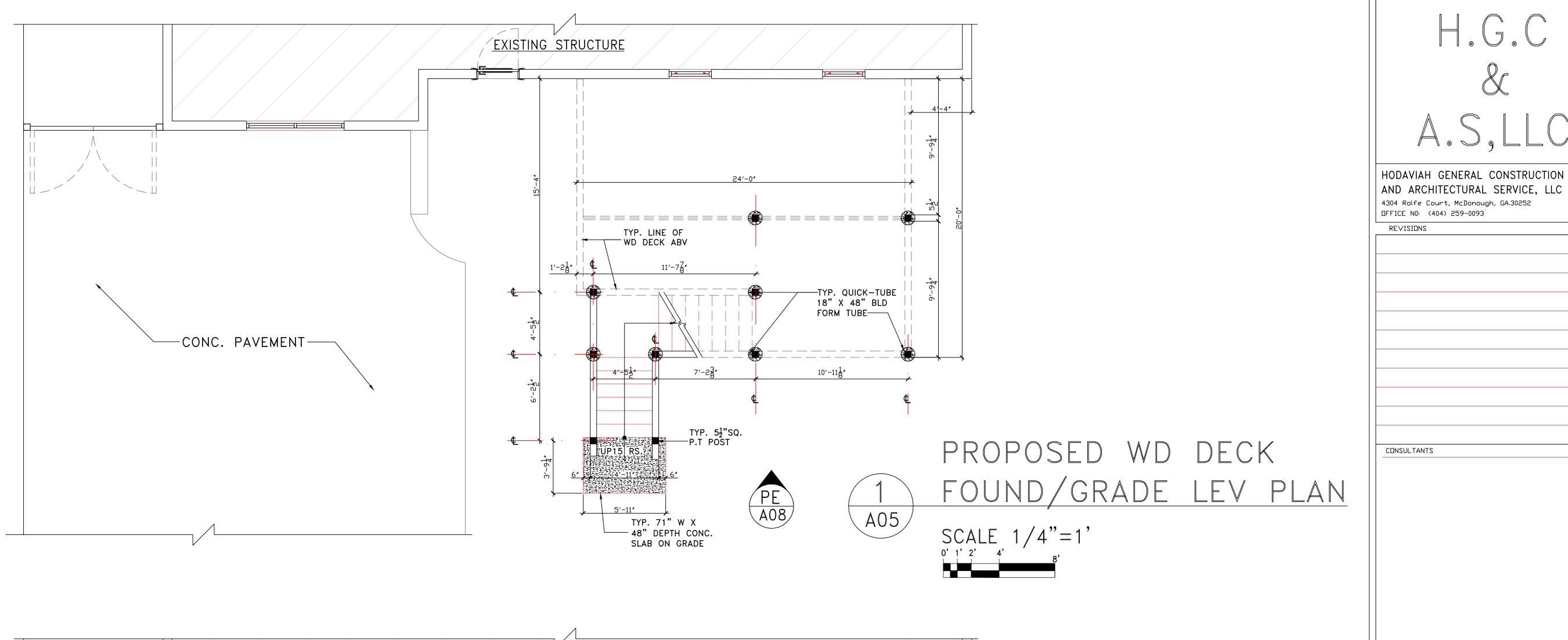
EXIST. REAR WD DECK NOTES

04

SHEET NO:

A04

08



REVISIONS

CONSULTANTS

