

# DeKalb County Historic Preservation Commission

Monday, July 21, 2025- 6:00 P.M.

## Staff Report

### Consent Agenda

C. 1276 Briardale Lane, Emmanuel A. Baptiste. Replace deck on rear of nonhistoric property.  
**1247658.**

Built in 1950 - Nonhistoric (18 054 03 010)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

10-99 1276 Briardale Lane (DH), Thomas S. Cross. Veneer front stoop and steps with slate tile. **Approved.**

01-02 1276 Briardale Lane (DH), Thomas Cross. Install 6' tall wooden fence around part of the backyard. Approved.

### Summary

The applicant proposes removing and replacing the two-story deck on the rear of a nonhistoric house. The existing wood deck will be removed and replaced with a similar wood deck on the rear façade of the house. The new deck will measure 24' wide and roughly 12½' in height from the lowest grade, reducing the overall size of the deck in width and height. The railing of the new deck will wrap around the entire perimeter of the deck and a set of side stairs will be installed in the center of the deck, leading to the backyard. One tree will be removed from the backyard near the existing deck and new landscaping will be installed at the base of the new deck.

### Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

### Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

11.0 *Nonhistoric Properties* (p93) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.

Chief Executive Officer  
Lorraine Cochran-Johnson

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

Interim Director  
Cedric W. Hudson, MCRP

**Application for Certificate of Appropriateness**

Date submitted: \_\_\_\_\_

Date Received: \_\_\_\_\_

Address of Subject Property: \_\_\_\_\_

Applicant: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

Applicant Phone: \_\_\_\_\_

Applicant's relationship to the owner: Owner ☐ Architect ☐ Contractor/Builder ☐ Other ☐

\*\*\*\*\*

Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s): \_\_\_\_\_ Email: \_\_\_\_\_

Owner(s) Mailing Address: \_\_\_\_\_

Owner(s) Telephone Number: \_\_\_\_\_

Approximate date of construction of the primary structure on the property and any other structures affected by this project: \_\_\_\_\_

Nature of work (check all that apply):

New construction	<input type="checkbox"/>	New Accessory Building	<input type="checkbox"/>	Other Building Changes	<input type="checkbox"/>
Demolition	<input type="checkbox"/>	Landscaping	<input type="checkbox"/>	Other Environmental Changes	<input type="checkbox"/>
Addition	<input type="checkbox"/>	Fence/Wall	<input type="checkbox"/>	Other	<input type="checkbox"/>
Moving a Building	<input type="checkbox"/>	Sign Installation	<input type="checkbox"/>		

Description of Work:

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. **All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) and [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov). An incomplete application will not be accepted.**

Signature of Applicant: \_\_\_\_\_



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DEPARTMENT OF PLANNING & SUSTAINABILITY

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**Authorization of a Second Party to Apply for a Certificate of Appropriateness**

This form is required if the individual making the request is **not** the owner of the property.

I/ We: \_\_\_\_\_

being owner(s) of the property at: \_\_\_\_\_

hereby delegate authority to: \_\_\_\_\_

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): Evan T. Birns

Date: \_\_\_\_\_

**Please review the following information**

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.**

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

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## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by emailing **plansustain@dekalbcountyga.gov** AND **pvjennings@dekalbcountyga.gov**.
2. Complete and submit the application via email. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3(HPC Calendar). **Email the application and supporting documents to plansustain@dekalbcountyga.gov AND pvjennings@dekalbcountyga.gov**. If all documents are not provided the application will not be complete and will not be accepted.
3. Once the application has been received, the Administrative Specialist for the Department of Planning and Sustainability will provide a sign template and instructions on how to post the required signage on the property at least ten days before the preservation commission meeting. If the applicant does not post the required signage and provide evidence of posting within ten days before the preservation commission meeting, their application may be deferred or denied due to improper public notification.
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

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## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945 or via e-mail at [pvjennings@dekalbcountyga.gov](mailto:pvjennings@dekalbcountyga.gov).

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

**I have reviewed the "Design Manual for the Druid Hills Local Historic District".**

**I have reviewed the DeKalb County Tree Ordinance.**

**I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.**

#### 1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

#### 2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

#### 3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

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DEPARTMENT OF PLANNING & SUSTAINABILITY

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**4. Fences & Retaining Walls**

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

**5. Elevations and Floor Plans:** <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

**6. Additions**

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

**7. Roof Plan**

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

**8. Dormers**

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

**9. Skylights**

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

**10. Façade**

- a. Consistency in style;
- b. Materials and their combinations
  - brick size and color
  - stone type and color
  - fiber-cement (e.g., Hardie-plank) or wood siding
  - shake or shingle
  - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

**11. Entrance**

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

**12. Windows**

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

**13. Materials**

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

## DEPARTMENT OF PLANNING & SUSTAINABILITY

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### 14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

### 15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

## Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
  - Representative photos
  - Letters of support/opposition
  - Architectural drawings
  - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.

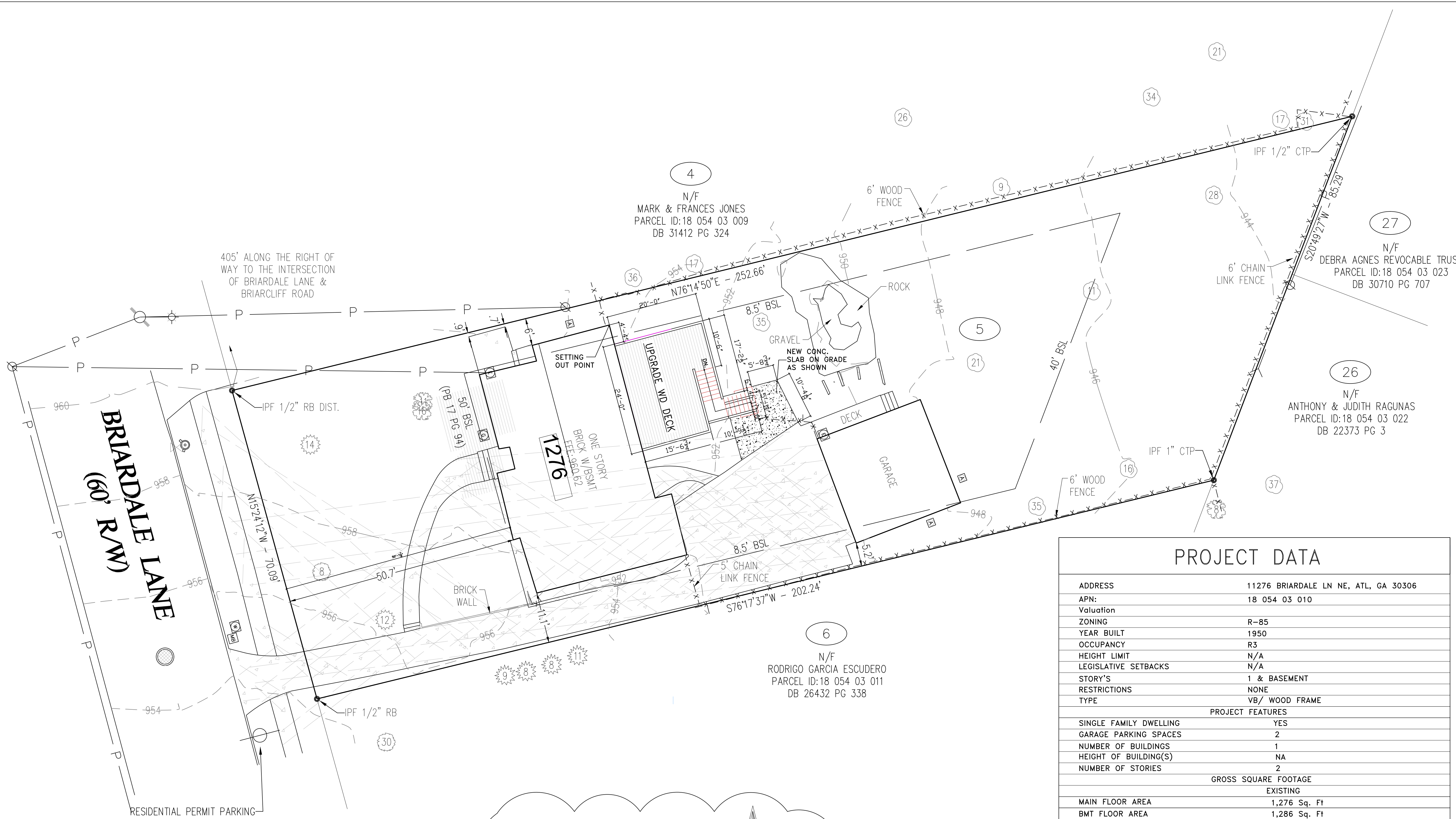








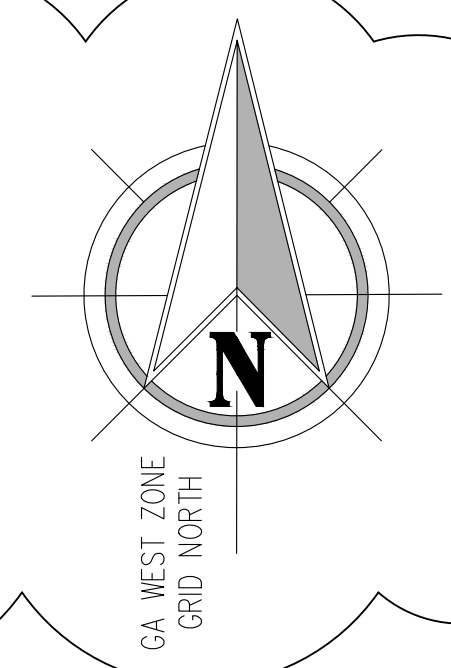




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A03

TYP. WD COL & BEAM  
CONNECTIONS DETAIL

SCALE 3/32"=1'



PROJECT DATA	
ADDRESS	11276 BRIARDALE LN NE, ATL, GA 30306
APN:	18 054 03 010
Valuation	
ZONING	R-85
YEAR BUILT	1950
OCCUPANCY	R3
HEIGHT LIMIT	N/A
LEGISLATIVE SETBACKS	N/A
STORY'S	1 & BASEMENT
RESTRICTIONS	NONE
TYPE	VB/ WOOD FRAME
PROJECT FEATURES	
SINGLE FAMILY DWELLING	YES
GARAGE PARKING SPACES	2
NUMBER OF BUILDINGS	1
HEIGHT OF BUILDING(S)	NA
NUMBER OF STORIES	2
GROSS SQUARE FOOTAGE	
EXISTING	
MAIN FLOOR AREA	1,276 Sq. Ft
BMT FLOOR AREA	1,286 Sq. Ft
(DETACHED GARAGE AREA)	000 Sq. Ft
CRAWLSPACE	N/A
FOUNDATION SLAB ON GRADE	N/A
TOTAL LIVING SPACED	2,556 Sq Ft
SUMMARY	
TOTAL LIMITED LAND DISTURBANS	6.32 Sq Ft
LOT SIZE	15,956 Sq. Ft, .4 AC
TOTAL IMPERVIOUS AREA	000.00 Sq Ft
IMPERVIOUS AREA ADDED	113.32 Sq Ft

H.G.C  
&  
A.S,LLC

HODAVIAH GENERAL CONSTRUCTION  
AND ARCHITECTURAL SERVICE, LLC  
4304 Rolfe Court, McDonough, GA 30252  
OFFICE NO: (404) 259-0093

REVISIONS  
DATE: 07/03/2025  
PER COUNTY COMMENTS

CONSULTANTS

PROJECT / CLIENT  
Mr. Evan Birns  
1276 Briardale Lane NE, ATL, GA 30306  
Mr. Evan Birns  
1276 Briardale Lane NE, ATL, GA 30306  
Telt: (516) 424-0946

DRAWN BY: A.A.GRAHAM  
CHECK BY:  
DATE:  
SCALE: AS SHOWN  
JOB NO:  
DWG. TITLE  
UPGRADE REAR WD DECK  
PROPOSED SITE PLAN

03  
OF  
08

SHEET NO:  
A03



HODAVIAH GENERAL CONSTRUCTION  
AND ARCHITECTURAL SERVICE, LLC  
4304 Rolfe Court, McDonough, GA.30252  
OFFICE NO: (404) 259-0093

## REVISIONS

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Tell: (516) 424-0946

DRAWN BY A.A.GRAHAM

CHECK BY

DATE \_\_\_\_\_

SCALE AS SHOWN

JOB NO:

DWG. TITLE

UPGRADE REAR WD DECK

EXIST. REAR WD DECK NOTES

04  
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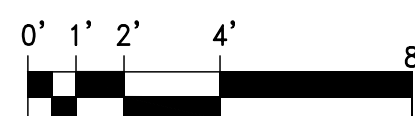
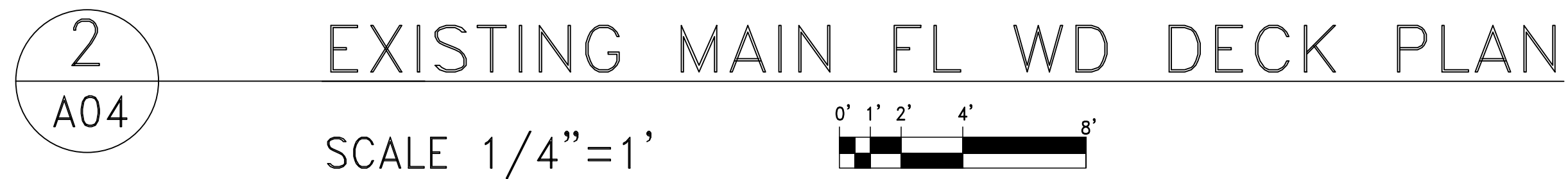
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NOTE

1. REMOVE THE ENTIRE EXIST. WD DECK & REPLACE IT WITH A NEW UPGRADE WD DECK
2. REMOVE EXIST. TREE AS SHOWN



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DRAWN BY A.A.GRAHAM

CHECK BY

DATE \_\_\_\_\_

SCALE AS SHOWN

JOB NO:

DWG. TITLE

UPGRADE REAR WD DECK

PROPOSED UPGRADE REAR WD DECK  
FOUNDATION & 1ST. FLOOR PLANS

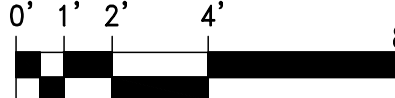
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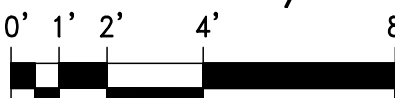
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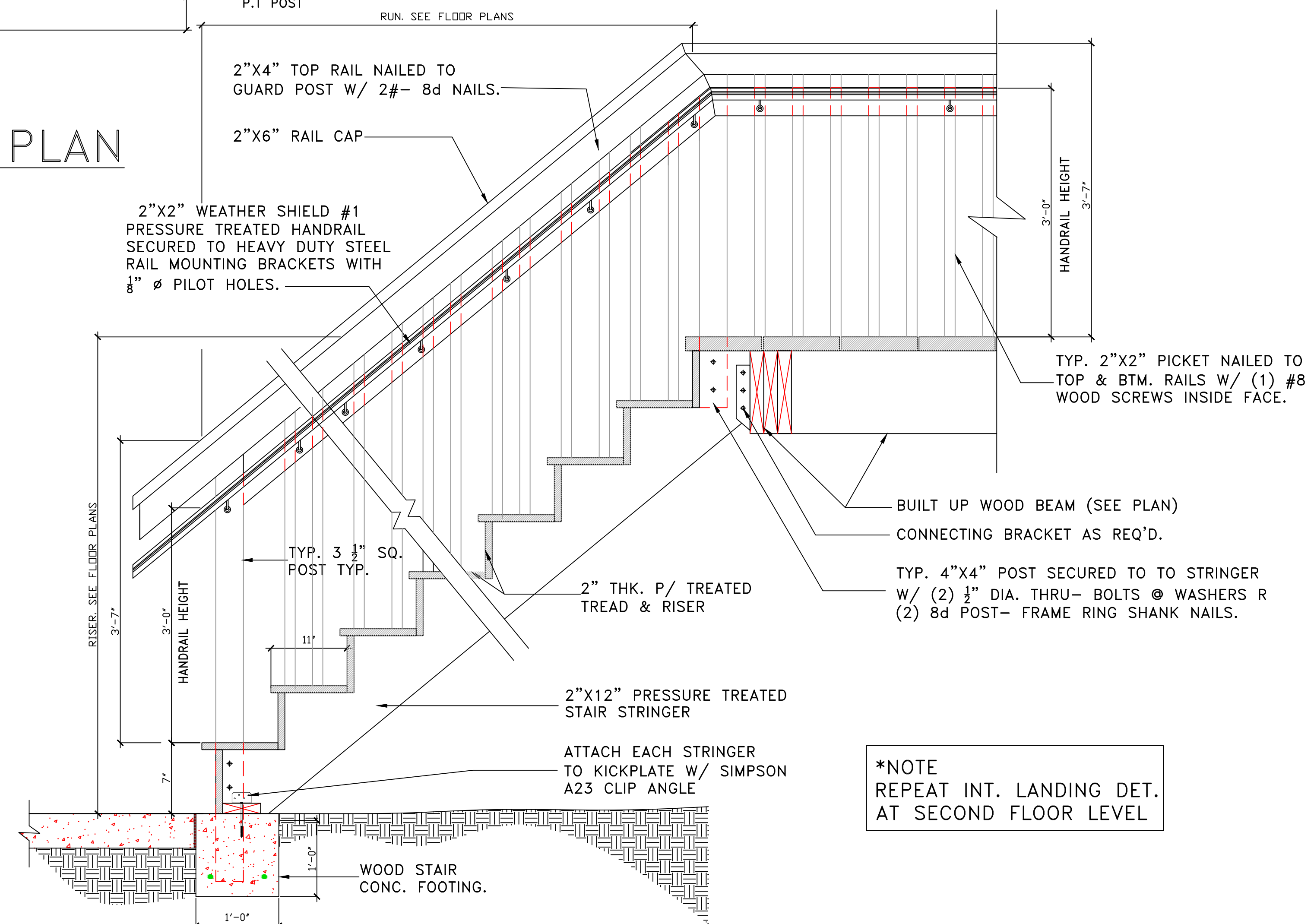
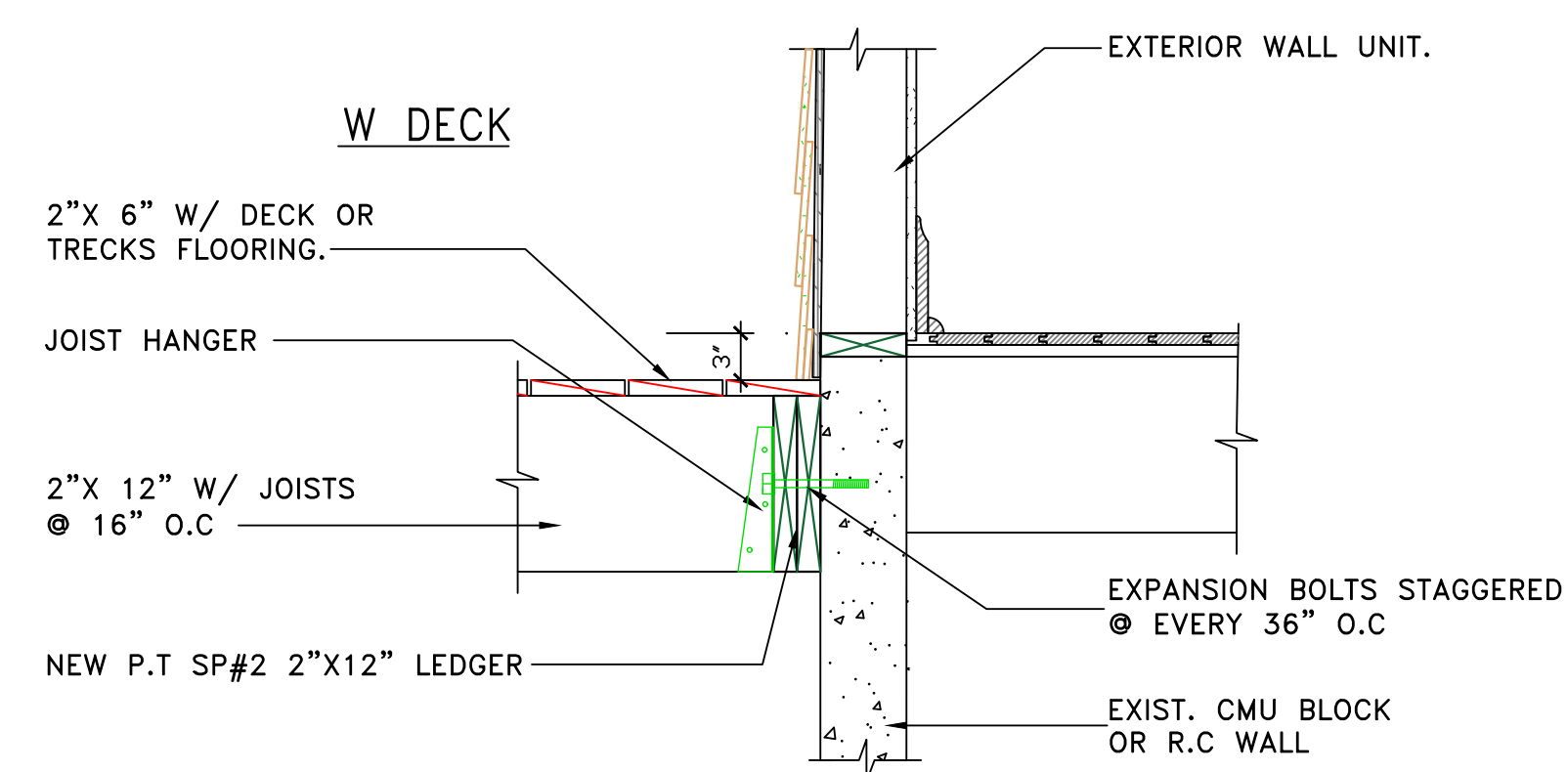
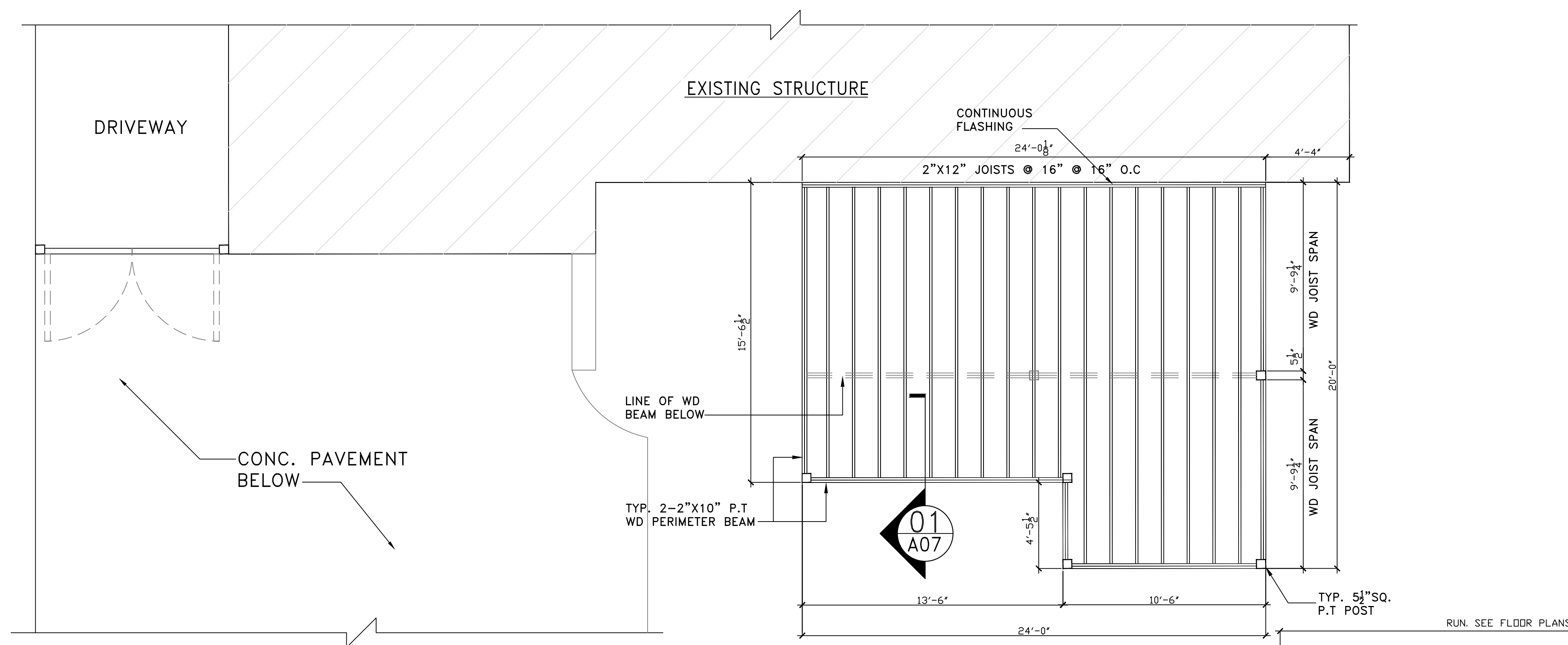


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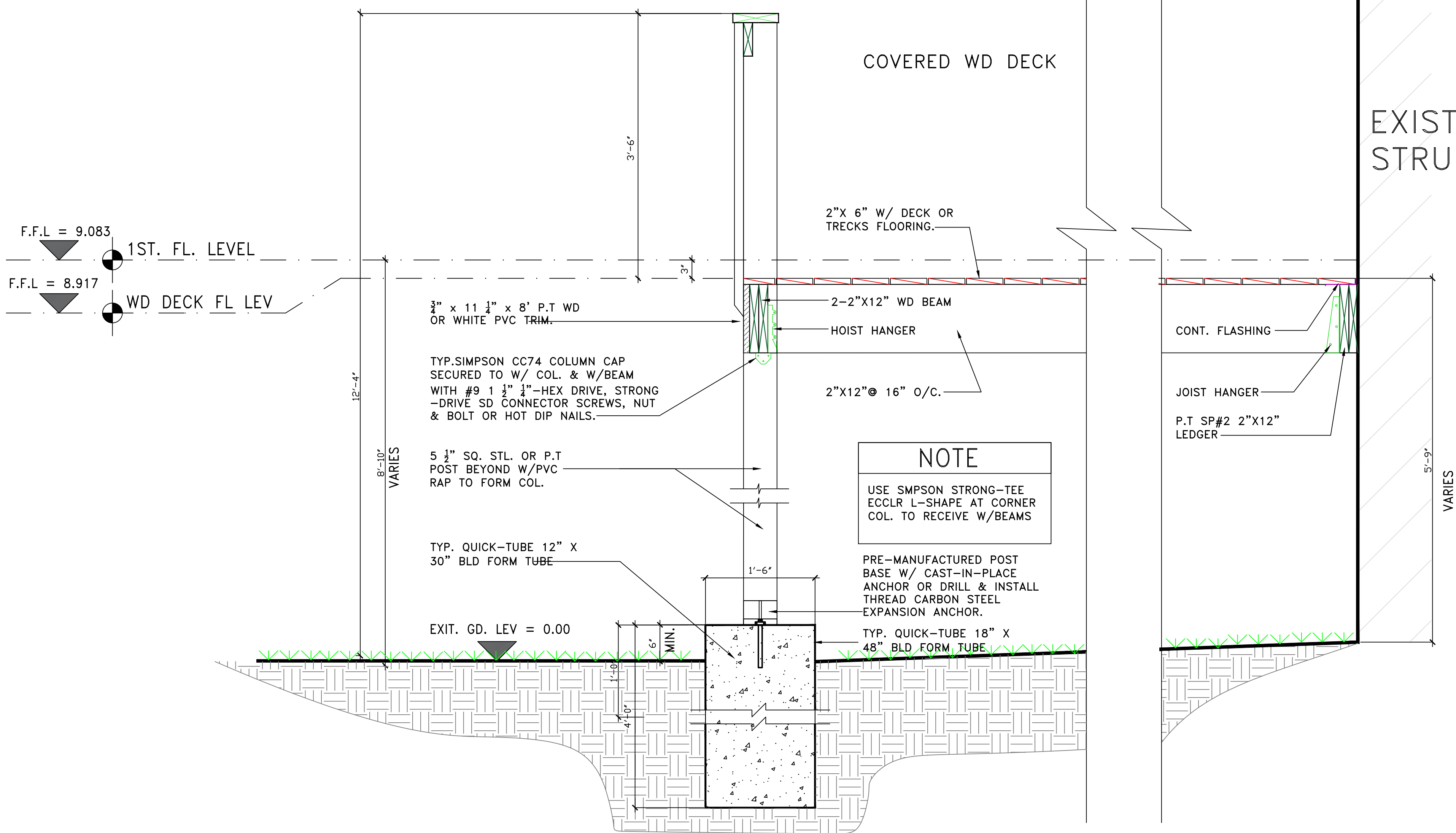


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DRAWN BY A.A.GRAHAM

CHECK BY

DATE \_\_\_\_\_

SCALE AS SHOWN

JOB NO:

DWG. TITLE

UPGRADE REAR WD DECK

PROPOSED UPGRADE REAR WD  
DECK ELEVATION

SHEET NO:

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OF  
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A08