



DEPARTMENT OF PLANNING & SUSTAINABILITY

SPECIAL LAND USE PERMIT APPLICATION

Amendments will not be accepted after 5 working days after the filing deadline.

Applicant Name: \_\_\_\_\_

Applicant Email Address: \_\_\_\_\_

Applicant Mailing Address: \_\_\_\_\_

\_\_\_\_\_

Applicant Phone Number: \_\_\_\_\_

\_\_\_\_\_

Owner Name: \_\_\_\_\_

(If more than one owner, attach list of owners.)

Owner Email Address: \_\_\_\_\_

Owner Mailing Address: \_\_\_\_\_

\_\_\_\_\_

Owner Phone Number: \_\_\_\_\_

\_\_\_\_\_

Subject Property Address: \_\_\_\_\_

\_\_\_\_\_

Parcel ID Number(s): \_\_\_\_\_


Acreage: \_\_\_\_\_ Commission District(s): \_\_\_\_\_ Super District: \_\_\_\_\_

Existing Zoning District(s): \_\_\_\_\_ Proposed Zoning District(s): \_\_\_\_\_

Existing Land Use Designation(s): \_\_\_\_\_ Proposed Land Use Designation(s): \_\_\_\_\_ (if applicable)

I hereby authorize the staff of the Planning and Sustainable Department to inspect the property that is the subject of this application.

Owner: \_\_\_\_\_ Agent: \_\_\_\_\_

  
Signature of Applicant: \_\_\_\_\_

PRE-SUBMITTAL  
COMMUNITY MEETING  
NOTICE AND SIGN-IN  
SHEET

Meeting ID	Topic	Host	Email		Avg Join Me	Start Time	End Time	Duration (hh:mm:ss)		
925 9681 9037	Community Meeting for Proposed Special Land Use Permit at North DeKalb Mall by Edens	Jack Lloyd	jilloyd@sgrlaw.com		1.33	8/6/2025 18:40	7:30:51 PM	0:50:16		
Participant	User Email	Phone	Device		Join Meetin	Location	Network Type	Microphone		
Dennis (Den) Webb	dwebb@sgrlaw.com		win 11+ 22631		1.61	Atlanta (US )	Wifi	Microphone Array (Intel® Smart Sound Technology for Digital Microphones)		
Jim McKenney (Guest)			Unknown		1.7	Chicago (US )	Wired			
14043165503 (Guest)		1404****503	Unknown		0.09	(US )	Others			
Erin T. (Guest)			Unknown		1.67	Nashville (US )	Cellular			
Jessica Mack (Guest)			Unknown		1.78	Elizabeth City (US )	Wifi			
Dustin Quinteros	dquinteros@sgrlaw.com		win 11+ 22631		1.01	(US )	Wired	Microphone (Logitech USB Headset H540)		
Pixel 6 Pro (Guest)			Unknown		1.45	Atlanta (US )	Wifi			

Dear Neighbor:

We represent EDENS, which seeks to file for a Special Land Use Permit for the ±74.63-acre Lulah Hills mixed-use development (the former North DeKalb Mall property) at 2050 Lawrenceville Highway. Redevelopment is currently underway, and EDENS now seeks the following as part of the process and as contemplated in the original rezoning approval:

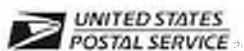
- Special Land Use Permit to allow for a grocery store drive-through pharmacy.

As indicated below, EDENS plans to host a virtual community meeting to provide more information. As property owners within the immediate area, you are invited to participate in the virtual Community Meeting on **August 6th, 2025 at 7:00pm.**

**ZOOM:** <https://sgrlaw.zoom.us/join>  
**Meeting ID:** 925 9681 9037; **Passcode:** 939148

We look forward to discussing the application with you and getting feedback on **August 6th, 2025**. If you are unable to attend or wish to reach out beforehand, please contact Dennis J. Webb, Jr. at [djwebb@sgrlaw.com](mailto:djwebb@sgrlaw.com) or 404.815.3620.





Name and Address of Sender

Dennis J. Webb, Jr.  
1105 W. Peachtree St NE  
Suite 1000  
Atlanta, GA 30309

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1.	DEKALB COUNTY 1300 COMMERCE DR # 6THF DECATUR, GA 30033														
2.	BRANCH BANKING AND TRUST P O BOX 167 WINSTON-SALEM, NC 30033														
3.	NDM III EDENS LLC 100 N TRYON ST NW CHARLOTTE, NC 30033														
4.	NDM EDENS LLC 1221 MAIN ST STE 1000 COLUMBIA, SC 30033														
5.	DOSETAREH RYAN 1268 ARBORVISTA DR NE ATLANTA, GA 30033														
6.	PRINCEWILL ANEKE LLC 1416 GREENRIDGE TRI. LITHONIA, GA 30033														
7.	GHION CULTURAL HALL INC 3761 N DRUID HILLS RD DECATUR, GA 30033														
8.	ALL AMERICAN SPECIALTIES INC 5156 CARSON CT BUFORD, GA 30033														
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2.	J D HUTCHESON PROPERTIES LLC 1763 TILLING WAY STONE MOUNTAIN, GA 30033					
3.	GEORGIA ALABAMA COMMERCIAL INV PO BOX 1565 LAWRENCEVILLE, GA 30033					
4.	T C HOMES AND SON LLLP 6810 STRINGER LN FLOWERY BRANCH, GA 30033					
5.	PLATINUM FEDERAL CREDIT UNION 4794 LAWRENCEVILLE HWY NW LILBURN, GA 30033					
6.	T C HOLMES & SONS LLLP 6810 STRINGER LN FLOWERY BRANCH, GA 30033					
7.	T C HOLMES & SONS LLLP 6810 STRINGER LANE FLOWERY BRANCH, GA 30033					
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2.	NDM EDENS LLC 11000 Richmond AVE STE 350 HOUSTON, TX 30033									
3.	PSP DEKALB HOLDINGS LLC 5555 PEACHTREE DUNWOODY RD STE 130 ATLANTA, GA 30033									
4.	STIVERS REALTY LC 1034 BRENTWOOD BLVD 402 ST LOUIS, MO 30033									
5.	NDM II EDENS LLC 11000 Richmond AVE STE 350 HOUSTON, TX 30033									
6.	FULTON REALTY HOLDING LLC P.O. BOX 33795 DECATUR, GA 30033									
7.	RKR GROUP IV LLC 2929 TURNER HILL RD STE 2280 LITHONIA, GA 30033									
8.	BHINDI BROTHERS GEORGIA LLC 1070 OAKTREE RD DECATUR, GA 30033									
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2.	DECATUR BEARCHICK POOH LLC 101 WEST 55TH ST NEW YORK, NY 30033				
3.	SSR DEKALB HOLDINGS LLC 248 PRINCE AVE ATHENS, GA				
4.	T C HOLMES & SON L.L.P. 6810 STRINGER LN FLOWERY BRANCH, GA 30033				
5.	SKY SPEED DISTRIBUTORS INC 602 GRASSMEADE WAY SNELLVILLE, GA 30033				
6.	EXECUTIVE LEASING CO 5909 PEACHTREE DUNWOODY RD STE 500 ATLANTA, GA 30033				
7.	GRIMAUD HOLDINGS LLC 804 OLD FORGE RD CHAPIN, SC 30033				
8.	MAH BROWN LLC 3597 SUNDERLAND CIR NE ATLANTA, GA 30033				
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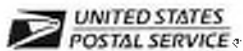
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1.	PLANT IMPROVEMENT COMPANY INC 1800 BRIARCLIFF RD NE ATLANTA, GA 30033																
2.	LERNER STEPHEN M 1505 BILTMORE DR NE ATLANTA, GA 30033																
3.	JESSUP KEVIN ALEXANDER 1076 LATHAM RD DECATUR, GA 30033																
4.	STEVENS FREDDIE NAPOLEON III 1068 LATHAM RD DECATUR, GA 30033																
5.	YATES ELIZABETH 1028 LATHAM RD DECATUR, GA 30033																
6.	OLSEN MORGAN 1020 LATHAM RD DECATUR, GA 30033																
7.	SWEAT SUE 1012 LATHAM RD DECATUR, GA 30033																
8.	SIMON CHRISTOPHER NICHOLAS 1006 LATHAM RD DECATUR, GA 309033																
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2.	ANGEL AMY K 1001 LATHAM RD DECATUR, GA 309033			
3.	KEENAN SINEAD T 1007 LATHAM RD DECATUR, GA 309033			
4.	BOATRIGHT MICHAEL 1013 LATHAM RD DECATUR, GA 309033			
5.	TOOMBS ERIN MELISSA 1035 LATHAM RD DECATUR, GA 309033			
6.	SHERMAN JOHN CLEVELAND 1041 LATHAM RD DECATUR, GA 309033			
7.	BUI AND LE REAL ESTATE CORP 2221 SEVER RD LAWRENCEVILLE, GA 30033			
8.	FIFTH MAN GROUP LLC 315 W PONCE DE LEON AVE # 100 DECATUR, GA 30033			
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FAYNE JOHN C  
4720 NUTMEG WAY SW  
LILBURN, GA 30033

2.

BLANCHARD CLAYTON E JR  
4500 RED CEDAR CV SW  
LILBURN, GA 30033

3.

DAY ANDREW D  
1095 LATHAM RD  
DECATUR, GA 30033

4.

ROSE SHELLEY A  
1105 N DRUID HILLS CIR  
DECATUR, GA 30033

5.

CARROLL CHERYL L  
1113 N DRUID HILLS CIR  
DECATUR, GA 30033

6.

KELSO ROBERT W  
1119 N DRUID HILLS CIR  
DECATUR, GA 30033

7.

FENG SI J  
950 HOMEWOOD CT  
DECATUR, GA 30033

8.

ARTIKOV SHUKHRAT  
2199 THORNCLIFF DR NE  
ATLANTA, GA 30033

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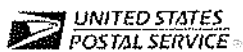
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2.	PRYOR CHRISTOPHER MICHAEL 968 HOMEWOOD CT DECATUR, GA 30033			
3.	BEITZEL LORRIE L 970 HOMEWOOD CT DECATUR, GA 30033			
4.	JACOB LOUIS F III 807 N PARKWOOD RD DECATUR, GA 30033			
5.	GARRETT MARY 984 HOMEWOOD CT DECATUR, GA 30033			
6.	HILLIS REBECCA A 988 HOMEWOOD CT DECATUR, GA 30033			
7.	SVIRSKAITE KRISTINA 994 HOMEWOOD CT DECATUR, GA 30033			
8.	KIRBY KENNETH O 998 HOMEWOOD CT DECATUR, GA 30033			
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1.	STARK CAITLIN H 1006 HOMEWOOD CT DECATUR, GA 30033				
2.	KEKEISEN-CHEN THOMAS JAMES 1012 HOMEWOOD CT DECATUR, GA 30033				
3.	RICE JAMES WALLACE 1005 HOMEWOOD CT DECATUR, GA 30033				
4.	PARKER MCMANAMON LIVING TRUST 1037 N VALLEY DR DECATUR, GA 30033				
5.	DEEDAR ALIHEE M SHEIK 985 HOMEWOOD CT DECATUR, GA 30033				
6.	SCHMIDT RENAE DANIELLE 971 HOMEWOOD CT DECATUR, GA 30033				
7.	VANN JOHNATHAN 957 HOMEWOOD CT DECATUR, GA 30033				
8.	Druid Hills Condominium Association Homeside Properties 2555 Westside Parkway, Suite 600 Alpharetta, GA 30004				
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1.	Gavid Wood Homeowner's Association 1140 Gavinwood Place Decatur, GA 30033													
2.	Druid Glen Homeowner's Association 3580 North Druid Hills Road Decatur, GA 30033													
3.	Druid Lake Homeowner's Association 1075 Druid Lake Decatur, GA 30033													
4.	Laurel Heights Homeowner's Association 3245 Peachtree Parkway, Ste D242 Suwanee, GA 30024													
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# LETTER OF INTENT

**STATEMENT OF INTENT**

and

Other Material Required by  
DeKalb County Zoning Ordinance  
for the  
Special Land Use Permit

of

**NDM (EDENS), LLC**

For

$\pm$  74.63 Acres of Land  
located in  
Land Lot 100, 18th District, Lulah Hills, DeKalb County

Submitted for Applicant by:

Dennis J. Webb, Jr.  
J. Alexander Brock  
Smith, Gambrell & Russell, LLP  
1105 W. Peachtree Street, NE, Ste. 1000  
Atlanta, Georgia 30309  
404-815-3500

## **I. INTRODUCTION**

This Application seeks a Special Land Use Permit (“SLUP”) to allow for a drive-thru associated with a grocery store pharmacy. The land at issue is in Land Lot 100, 18<sup>th</sup> District, DeKalb County (Parcel ID 18 100 02 005) (the “Subject Property”). The Applicant, NDM (EDENS), LLC (“EDENS” and/or “Applicant”), is the owner and developer of “Lulah Hills,” a new mixed-used project that will transform the former North DeKalb Mall into a vibrant, pedestrian-oriented, live-work-play environment. EDENS’ plan for the ±74.63 acre site consists of, among other things, ±320,000 square feet of retail, commercial and restaurant space, ±180,000 square feet of office space, a ±150-room hotel and ±1,800 residential units, to consist of a mix of apartment and townhome units. To allow for the development, the Dekalb County Board of Commissioners (“BOC”) rezoned the Subject Property from C-1 (Local Commercial) to MU-4 (Mixed Use High Density) (CCZ-22-1245595) in May of 2022 (the “2022 Rezoning”). The 2022 Rezoning was approved subject to multiple conditions, a Master Development Plan, a Sign Plan and a Subdivision Plan, among other things. EDENS later acquired two additional parcels in proximity that collectively totaled ±1.52 acres, one located at 3861 North Druid Hills Road Decatur, GA 30033 (Parcel ID 18 100 02 052) and the other at 2052 Lawrenceville Highway Decatur, GA 30033 (Parcel ID 18 100 02 001). These two tracts were likewise rezoned and added to the Subject Property and its Master Plan (CZ-24-1247114; CZ-24-1247113).

From the beginning EDENS proposed adding a grocery store with a drive-thru pharmacy in Block A, specifically at Building A10. The drive-thru pharmacy was shown on early iterations of the Site Plan and is on the approved Master Plan. Equally important, it is authorized by a zoning condition that reads:

A drive-thru pharmacy shall be allowed as indicated at Building A10 subject to a Special Land Use Permit.

EDENS files this application to meet the technical requirement of this condition and submits this document as a Statement of Intent with regard to this Application, a preservation of the Applicant's constitutional rights, a Written Justification for the Application as required by the DeKalb County Zoning Ordinance §27-7.3.5.

## **II. CRITERIA TO BE APPLIED TO SPECIAL LAND USE PERMITS**

### **A. Adequacy of the size of the site for use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.**

The Subject Property is entitled for a large mixed-use development, divided into blocks. The Subject Property is of adequate size and provides for all yards, open space, off-street parking and all other applicable requirements of the MU-4 Zoning district.

### **B. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.**

The grocery store which will have the pharmacy was approved as part of the Master Plan. By approving the Master Plan, the BOC confirmed that the proposed use is compatible with adjacent properties and land uses.

### **C. Adequacy of public services, public facilities, and utilities to serve the use contemplated.**

There are adequate public services, public facilities, and utilities to serve the Proposed Development.

### **D. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.**

The Lulah Hills development qualified as a Development of Regional Impact ("DRI") and both traffic impacts were considered and traffic mitigation required as part of that review.

- E. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.**

No. The character of the vehicles and volume of traffic generated by the proposed use will be identical to what is approved for the Subject Property today.

- F. Adequacy of ingress and egress to the Subject Property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.**

DeKalb County Transportation Department has already reviewed and approved the proposed plans from both a pedestrian and automotive access and safety standpoint.

- G. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.**

No, the proposed use will not create such adverse impacts. Additionally, the drive-thru facilities will generally comply with the requirements of Section 27-4.2.3.

- H. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.**

No. Hours of use will remain the same and mirror those of the similar businesses in the area.

- I. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.**

The manner of operation will be similar to the manner of operation of all other uses on the site. Accordingly, the proposed use will not constitute a more intense manner of operation that would adversely impact surrounding properties.

- J. Whether the proposed plan is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.**

As stated in subsection A above, the proposed use will be fully compliant with the MU-4 district regulations.

**K. Whether the proposed use is consistent with the policies of the Comprehensive Plan.**

The Subject Property is designated as being in the “Town Center” (TC) character area which supports the mixed-use development and its components.

**L. Whether the proposed plan provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.**

All district regulations are being adhered to.

**M. Whether there is adequate provision of refuse and service areas.**

The refuse and service areas will be adequate to accommodate all aspects of the development.

**N. Whether the length of time for which the special land use permit is granted should be limited in duration.**

Because the proposed use complies with the Master Plan for the Subject Property and is otherwise compatible, there is no reason to limit the duration of the requested SLUP.

**O. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the Subject Property and in relation to the size, scale and massing of the adjacent and nearby lots and buildings.**

The proposed grocery building with a drive-thru was adopted as part of a Master Plan already approved by the County. That Master Plan showed a drive-thru pharmacy, and by approving it the BOC indicated that the size, scale and massing of buildings was appropriate.

**P. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.**

The Applicant is not aware of any historic buildings, sites, districts, or archaeological resources on or around the Subject Property.



**Q. Whether the proposed use satisfies the requirements contained within the Supplemental Regulations for such special land use permit.**

Yes. The renovated restaurant and drive-thru facilities meet the requirements of Zoning Code § 27-4.2.23. Specifically, the drive-thru facilities will:

- (a) not be located within 60 feet of a residentially zoned property;
- (b) not be located on a property less than 10,000 square feet in area and will meet the stacking requirements of Article VI;
- (c) provide drive-thru lanes and service windows on the side of the building;
- (d) provide drive-thru canopies and structures constructed of the same materials and of the same architectural quality as the primary buildings;
- (e) meet the requirements for speaker boxes ;
- (f) have lighting which will be directed away from any residential properties;
- (g) provide stacking spaces with a minimum of 10' in width and 25' in length;
- (h) provide sufficient stacking spaces;
- (i)(1) have a drive-thru lane that will not impede on and off-site traffic, cross through off-street parking areas, or create unsafe conditions for pedestrians;
- (i)(2) provide a marked drive-thru lane separated by striping from off-street parking areas;
- (i)(3) include a bypass lane with a minimum width of 10';
- (i)(4) be set back at least 5' from all lot lines and right-of-way lines;
- (i)(5) be cleaned of litter and debris daily, along with the remainder of the property;
- (i)(6) not be located within 500 feet of an elementary, middle or high school;
- (i)(7) be operated pursuant to the SLUP requested herein; and
- (i)(8) use the appropriate distance measurements.

**R. Whether the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.**

The proposed use will not create any negative shadow impacts on any adjoining properties.

**S. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.**

The drive-thru pharmacy will serve both residents from the surrounding neighborhood as well as travelers passing through the area.

**III. NOTICE OF CONSTITUTIONAL CHALLENGE TO UNDERLYING ZONING AND PRESERVATION OF CONSTITUTIONAL RIGHTS**

The Applicant respectfully submits that the current zoning classification of and rules relative to the Subject Property owner's right to use the Property established in the DeKalb County Zoning Ordinance, to the extent they prohibit this use, are unconstitutional and constitute an arbitrary, irrational abuse of discretion and unreasonable use of the zoning power because they bear no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Applicant in violation of the due process and equal protection rights guaranteed by the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia. Further, the failure to allow this use would constitute a taking of private property without just compensation and without due process in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia, and would be in violation of the Commerce Clause, Article I, Section 8, Clause 3 of the Constitution of the United States.

The Applicant respectfully submits that the Board of Commissioners' failure to approve the requested Special Land Use Permit would be unconstitutional and would discriminate in an

arbitrary, capricious and unreasonable manner between the Subject Property's owner and owners of similarly situated property in violation of Article I, Section III, Paragraph I of the Constitution of the State of Georgia and the Equal Protection Clause of the Fourteenth Amendment of the Constitution of the United States.

A refusal to allow the use in question would be unjustified from a fact-based standpoint and instead would result only from constituent opposition, which would be an unlawful delegation of authority in violation of Article IX, Section II, Paragraph IV of the Georgia Constitution.

A refusal to allow the use in question would be invalid inasmuch as it would be denied pursuant to an ordinance which is not in compliance with the Zoning Procedures Law, O.C.G.A. § 36-66-1 et seq., due to the manner in which the Ordinance as a whole and its map(s) have been adopted.

#### **IV. CONCLUSION**

For the foregoing reasons, the Applicant respectfully requests that the Special Land Use Permit at issue be approved. The Applicant also invites and welcomes any comments from Staff or other officials of DeKalb County so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 18th day of August, 2025.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "D Webb, Jr.", is positioned above a horizontal line.

---

Dennis J. Webb, Jr.  
J. Alexander Brock  
Attorneys For Applicant

# OWNER AUTHORIZATION

DEPARTMENT OF PLANNING & SUSTAINABILITY

AUTHORIZATION

The property owner should complete this form or a similar signed and notarized form if the individual who will file the application with the County is not the property owner.

Date: 9/15/25

TO WHOM IT MAY CONCERN:

I/WE:  Herbert F. Ames Jr. for NDM (EDENS), LLC  
Name of Owner(s)

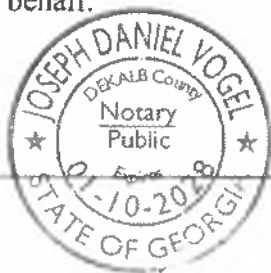
being owner(s) of the subject property described below or attached hereby delegate authority to:

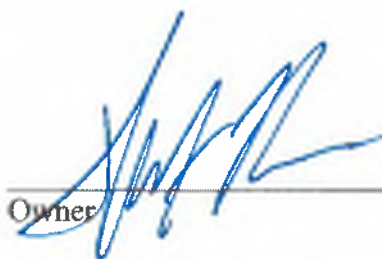
Dennis J. Webb, Jr. - Smith, Gambrell & Russell, LLP

Name of Agent or Representative

to file an application on my/our behalf.

  
Notary Public



  
Owner

# DISCLOSURE FORM

DEPARTMENT OF PLANNING & SUSTAINABILITY

**DISCLOSURE OF CAMPAIGN CONTRIBUTION**

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filing of this application?


Yes: \_\_\_\_\_ No: X \_\_\_\_\_ \*

If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

1. The name and official position of the local government official to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and to the Board of Commissioners of DeKalb County, 1300 Commerce Drive, Decatur, GA 30030.

Notary \_\_\_\_\_

  
Signature of Applicant /Date

James McKenny for NDM (EDENS), LLC

Check one: Owner ☒ Agent ☐

7/28/25

Expiration Date/ Seal \_\_\_\_\_

\*Notary seal not needed if answer is "No".

**DEPARTMENT OF PLANNING & SUSTAINABILITY**

**DISCLOSURE OF CAMPAIGN CONTRIBUTION**

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

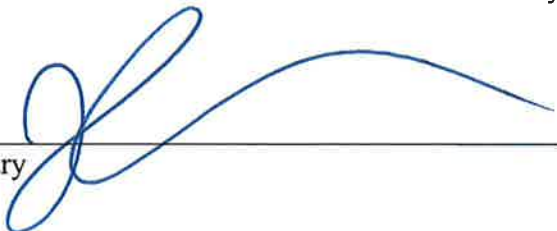
Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filing of this application?


Yes:   X        No:            \*

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Notary 

 7/30/2025  
Signature of Applicant /Date  
Dennis J. Webb, Jr. - Smith, Gambrell & Russell, LLP

Check one: Owner            Agent   X  

01/14/2029

Expiration Date/ Seal

\*Notary seal not needed if answer is "No".





DEPARTMENT OF PLANNING & SUSTAINABILITY

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Notary

Kathryn M Zickert

7/30/2025

Signature of Applicant /Date

Kathryn M. Zickert - Smith, Gambrell & Russell, LLP

Check one: Owner \_\_\_\_\_ Agent X

01/14/2029

Expiration Date/ Seal

\*Notary seal not needed if answer is "No".



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DEPARTMENT OF PLANNING & SUSTAINABILITY

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\_\_\_\_\_  
Notary

  
\_\_\_\_\_  
Signature of Applicant /Date  
J. Alexander Brock - Smith, Gambrell & Russell, LLP

Check one: Owner \_\_\_\_\_ Agent \_\_\_\_\_

\_\_\_\_\_  
Expiration Date/ Seal

**\*Notary seal not needed if answer is "No".**

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DEPARTMENT OF PLANNING & SUSTAINABILITY

---

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\_\_\_\_\_  
Notary



\_\_\_\_\_  
Signature of Applicant /Date  
Kirk R. Fjelstul - Smith, Gambrell & Russell, LLP

Check one: Owner \_\_\_\_\_ Agent \_\_\_\_\_

\_\_\_\_\_  
Expiration Date/ Seal

**\*Notary seal not needed if answer is "No".**

# PRE-APPLICATION FORM

## DEPARTMENT OF PLANNING & SUSTAINABILITY

Chief of Executive Officer  
Lorraine Cochran-Johnson

Director  
Juliana A. Njoku

### PRE-APPLICATION FORM REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE

(Required prior to filing application: signed copy of this form must be submitted at filing.)

Applicant(s) Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Property Address: \_\_\_\_\_

Tax Parcel ID: \_\_\_\_\_ Comm. District(s): \_\_\_\_\_ Acreage: \_\_\_\_\_

Existing Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Supplemental Regs: \_\_\_\_\_ Overlay District: \_\_\_\_\_

Rezoning: Yes \_\_\_\_\_ No \_\_\_\_\_ Existing Zoning: \_\_\_\_\_ Proposed Zoning: \_\_\_\_\_

DRI: \_\_\_\_\_ Square Footage/Number of Units: \_\_\_\_\_

Rezoning Request: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Land Use Plan Amendment: Yes \_\_\_\_\_ No \_\_\_\_\_ Existing Land Use: \_\_\_\_\_

Proposed Land Use: \_\_\_\_\_ Consistent \_\_\_\_\_ Inconsistent \_\_\_\_\_

Special Land Use Permit: Yes \_\_\_\_\_ No \_\_\_\_\_ Article Number(s) 27-\_\_\_\_\_

Special Land Use Request(s): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Major Modification: Yes \_\_\_\_\_ No \_\_\_\_\_ Existing Zoning Conditions: \_\_\_\_\_

Major Modification Request: \_\_\_\_\_

\_\_\_\_\_

Condition(s) to be modified: \_\_\_\_\_



# LAND SURVEY & LEGAL DESCRIPTION



## UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:

UTILISURVEY, LLC  
1227 NORTH PEACHTREE PARKWAY, STE 178  
PEACHTREE CITY, GA 30269

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC, UTILIZING RADIO FREQUENCY TECHNIQUE. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

## PROPERTY DESCRIPTIONS

## SEE SHEET 10

N/F PROPERTY OF  
LCI-SVAP NDM JV, LP

DEED BOOK 24380 / PAGE 183  
DEED BOOK 24380 / PAGE 192  
DEED BOOK 24380 / PAGE 218  
DEED BOOK 24380 / PAGE 227  
DEED BOOK 24380 / PAGE 239  
DEED BOOK 24380 / PAGE 244

TRACT ONE  
45,306 Acres  
1,973,547 sf

TRACT FOUR  
1,439 Acres  
62,662 sf

TRACT FIVE  
0.007 Acres  
327 sf

TRACT SIX  
21.585 Acres  
940,248 sf

TRACT SEVEN  
1.194 Acres  
51,995 sf

TRACT EIGHT  
0.526 Acres  
22,909 sf

TRACT NINE  
0.667 Acres  
29,075 sf

LCI-SVAP NDM (MCY), LLC

DEED BOOK 25269 / PAGE 45

TRACT TWO  
3,000 Acres  
130,680 sf  
ZONED C-1

TRACT THREE  
0.561 Acres  
25,321 sf  
ZONED C-1

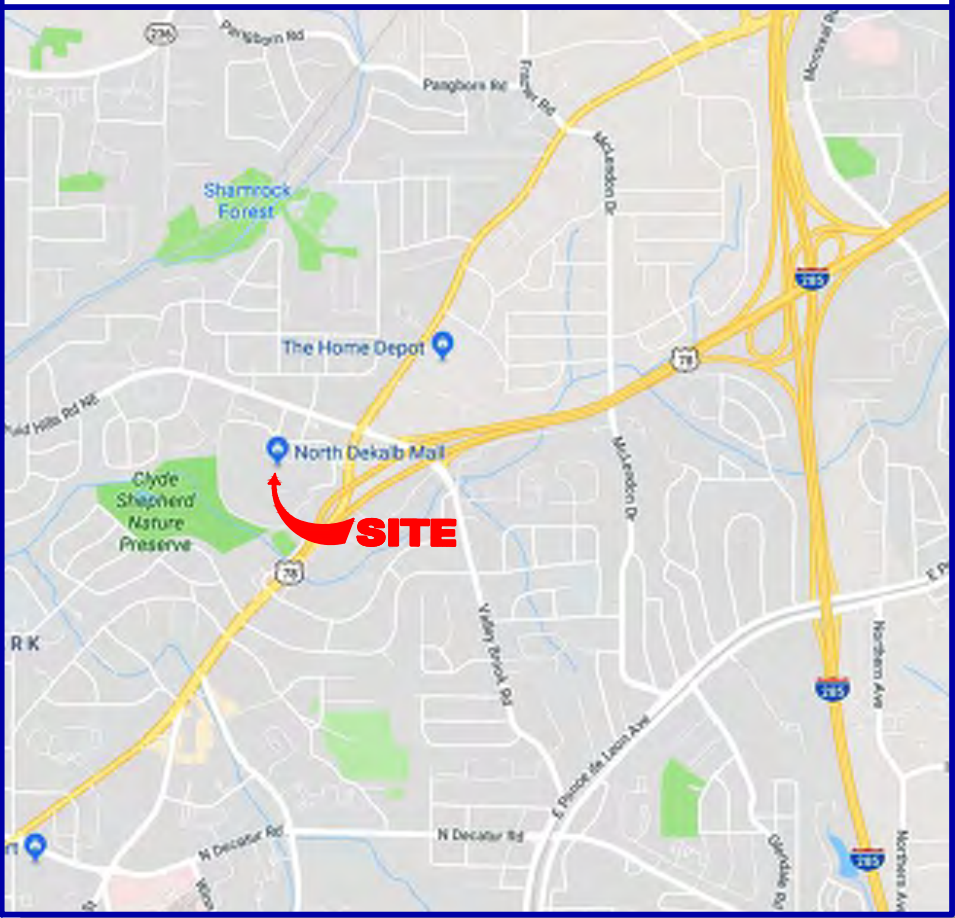
TOTAL SITE AREA  
74,305 Acres  
3,236,764 sf

## TITLE EXCEPTIONS

THE FOLLOWING EXCEPTIONS ARE LISTED IN SCHEDULE B, SECTION 2, OF A COMMITMENT FOR TITLE INSURANCE, AS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. NCS-1076934-ATL, EFFECTIVE DATE JULY 12, 2021. THE FOLLOWING MATTERS AFFECT TRACTS ONE, FOUR, FIVE, SIX, SEVEN, EIGHT AND NINE:  
12. Sewer Easement from Albert Day to DeKalb County, Georgia, dated August 8, 1947, filed for record June 14, 1948, and recorded in Deed Book 734, Page 381, aforesaid records.  
AFFECTS SITE – EASEMENT WIDTH NOT SPECIFIED  
13. Sewer Easement from J. L. Gistman to DeKalb County, Georgia, dated August 18, 1947, filed for record June 14, 1948, and recorded in Deed Book 734, Page 395, aforesaid records.  
AFFECTS SITE – EASEMENT WIDTH NOT SPECIFIED  
14. Reservation of easements as contained in that certain Warranty Deed from Rich's, Inc., a Delaware corporation domesticated in Georgia to John Hancock Mutual Life Insurance Company, a corporation domiciled in the State of Massachusetts and licensed to do business in the State of Georgia dated April 13, 1964, filed for record April 13, 1964, and recorded in Deed Book 1869, Page 33, aforesaid records.  
AFFECTS SITE – BLANKET EASEMENTS – NOT PLOTTABLE  
15. Reservation of easements as contained in that certain Warranty Deed from Rich's, Inc., a Delaware corporation domesticated in Georgia to John Hancock Mutual Life Insurance Company, a corporation domiciled in the State of Massachusetts and licensed to do business in the State of Georgia dated April 13, 1964, filed for record April 13, 1964, and recorded in Deed Book 1869, Page 37, aforesaid records.  
AFFECTS SITE – BLANKET EASEMENTS – NOT PLOTTABLE  
16. Matters as shown on ALTA/ACSM Land Title Survey prepared by Donald W. Harkness, Jr., GA RLS #2453 for Harkness and Associates, Inc., ("Survey"), dated July 5, 2019, last revised August 13, 2019, Job No. 4878SRVJ19: DOCUMENT NOT PROVIDED  
The following matters affect Parcels A and B:  
17. INTENTIONALLY DELETED  
18. Limitations of access contained in Declaration of Taking in DeKalb Superior Court Civil Action No. 41349, styled State Highway Department of Georgia vs. 1988 acres of land, et al., dated July 12, 1966.  
AFFECTS SITE – LIMITS ACCESS TO STONE MOUNTAIN PARKWAY  
19. INTENTIONALLY DELETED  
20. INTENTIONALLY DELETED  
21. Conveyance of access rights as contained in that certain Right of Way Deed from CF-H North DeKalb Center Associates, a Georgia limited partnership, dated August 7, 1986, filed for record July 8, 1986, and recorded in Deed Book 5516, Page 659, aforesaid records.  
AFFECTS SITE – LIMITS ACCESS TO LAWRENCEVILLE HIGHWAY  
22. Terms and provisions of that certain Access Easement Agreement, by and between CF-H North DeKalb Center Associates, a Georgia limited partnership and The Citizens and Southern National Bank, a national bank, dated August 15, 1986, filed for record August 16, 1986, and recorded in Deed Book 5557, Page 596, aforesaid records.  
AFFECTS SITE – BLANKET EASEMENT – NOT PLOTTABLE  
23. Terms and provisions of that certain Encroachment Easement Agreement, by and between CF-H North DeKalb Center Associates, a Georgia limited partnership and The Citizens and Southern National Bank, a national bank, dated August 15, 1986, filed for record August 16, 1986, and recorded in Deed Book 5557, Page 605, aforesaid records.  
AFFECTS SITE AS SHOWN  
24. Reservation of easements as contained in that certain Deed of Exchange from CF-H North DeKalb Center Associates, a Georgia limited partnership to DeKalb County, Georgia, a political subdivision of the State of Georgia dated November 11, 1986, filed for record December 16, 1986, and recorded in Deed Book 5679, Page 646, aforesaid records.  
AFFECTS SITE AS SHOWN  
25. Sewer Easement from CF-H North DeKalb Center Associates, a Georgia limited partnership to DeKalb County, Georgia, dated July 29, 1987, filed for record July 29, 1987, and recorded in Deed Book 5900, Page 615, aforesaid records.  
AFFECTS SITE – CANNOT DETERMINE LOCATION OF EASEMENT – DOCUMENT ILLIGIBLE  
26. Easement from CF-H North DeKalb Center Associates, a Georgia limited partnership to Georgia Power Company, dated July 14, 1987, filed for record November 9, 1987, and recorded in Deed Book 5992, Page 553, aforesaid records.  
AFFECTS SITE – BLANKET EASEMENT – NOT PLOTTABLE  
27. Terms and provisions of that certain unrecorded lease as evidenced by Memorandum of Lease from CF-H North DeKalb Center Associates, a Georgia limited partnership to American Multi-Cinema, Inc., a Missouri corporation, dated August 14, 1996, filed for record September 4, 1996 and recorded in Deed Book 9125, Page 444, aforesaid records; as affected by that certain Notice of Assignment and Assumption of Leases from Hendon North Dekalb, LLC, a Georgia limited liability company to LCI-SVAP NDM JV, LP, a Delaware limited partnership, dated May 9, 2014, filed for record May 15, 2014, and recorded in Deed Book 24380, Page 198, aforesaid records.  
NOT A SURVEY MATTER  
28. Terms and provisions of that certain unrecorded lease as evidenced by Memorandum of Lease from CF Georgia North Dekalb LP, a Delaware limited partnership to Burlington Coat Factory Warehouse of North Dekalb, Inc., a Georgia corporation, dated May 31, 2002, filed for record June 17, 2002 and recorded in Deed Book 13354, Page 395, aforesaid records; as affected by that certain Notice of Assignment and Assumption of Leases from Hendon North Dekalb, LLC, a Georgia limited liability company to LCI-SVAP NDM JV, LP, a Delaware limited partnership, dated May 9, 2014, filed for record May 15, 2014, and recorded in Deed Book 24380, Page 198, aforesaid records.  
NOT A SURVEY MATTER  
29. Terms and provisions of that certain unrecorded lease as evidenced by Memorandum of Lease from Hendon North Dekalb Mall, LLC, a Georgia limited liability company to Marshall's of MA, Inc., a Massachusetts corporation, dated December 5, 2003, filed for record February 3, 2004 and recorded in Deed Book 21960, Page 238, aforesaid records; as affected by that certain Notice of Assignment and Assumption of Leases from Hendon North Dekalb, LLC, a Georgia limited liability company to LCI-SVAP NDM JV, LP, a Delaware limited partnership, dated May 9, 2014, filed for record May 15, 2014, and recorded in Deed Book 24380, Page 198, aforesaid records.  
NOT A SURVEY MATTER  
30. Permanent Water Easement (When Installed by Developer) from Metro Corral Partners, LLC, Hendon Ring Road, LLC to DeKalb County, Georgia, a political subdivision of the State of Georgia, dated March 28, 2013, filed for record April 5, 2013, and recorded in Deed Book 23685, Page 543, aforesaid records.  
AFFECTS SITE AS SHOWN  
31. Matters as shown on that certain plat recorded in Plat Book 221, Page 32, aforesaid records.  
SETBACKS AFFECTING SITE ARE SHOWN  
32. Matters as shown on that certain plat recorded in Plat Book 221, Page 52, aforesaid records.  
SETBACKS AFFECTING SITE ARE SHOWN  
33. Easements and conveyance of access rights as contained in that Condemnation Order Docket No. 41,643, being State Highway Department of Georgia vs. 3,231 acres of land and Access Rights in Land Abutting and a Slope Easement; John Hancock Mutual Life Insurance Company, Rich's, Inc., and D. Scott Hudgens, Jr.  
AFFECTS SITE – RESTRICTS ACCESS TO STONE MOUNTAIN FREEWAY  
34. Easement from Robert D. Glaze to Georgia Power Company, dated March 30, 1953, filed for record August 4, 1953, and recorded in Deed Book 985, Page 486, aforesaid records; as affected by that certain Quitclaim Deed from Georgia Power Company to CF-H North Dekalb Center Associates, a Georgia limited partnership, dated August 20, 1987, filed for record August 31, 1987, and recorded in Deed Book 5534, Page 237, aforesaid records.  
DOES NOT AFFECT SITE – EASEMENT QUITCLAIMED PER DB 5934, PG 237  
35. Easement from T. C. Holmes, Jr. to Georgia Power Company, dated December 3, 1954, filed for record January 4, 1955, and recorded in Deed Book 1080, Page 158, aforesaid records; as affected by that certain Quitclaim Deed from Georgia Power Company to CF-H North Dekalb Center Associates, a Georgia limited partnership, dated August 20, 1987, filed for record August 31, 1987, and recorded in Deed Book 5534, Page 237, aforesaid records.  
DOES NOT AFFECT SITE – EASEMENT QUITCLAIMED PER DB 5934, PG 237  
36. Terms and provisions of that certain Stormwater Detention Facility Inspection and Maintenance Agreement, by and between Hendon North Dekalb, LLC, a Georgia limited liability company to LCI-SVAP NDM JV, LP, a Delaware limited partnership, dated December 17, 2010, filed for record December 21, 2010, and recorded in Deed Book 22282, Page 388, aforesaid records.  
AFFECTS SITE – BLANKET RESTRICTIONS – NOT PLOTTABLE  
37. Terms and provisions of that certain Declaration of Easements, Covenants and Restrictions by Hendon Columbia, LLC, a Georgia limited liability company, dated October 31, 2011, filed for record November 7, 2011, and recorded in Deed Book 22714, Page 748, aforesaid records; as affected by Assignment and Assumption of Declaration of Easements, Covenants and Restrictions from Hendon Columbia, LLC, a Georgia limited liability company to LCI-SVAP NDM JV, LP, a Delaware limited partnership, dated May 9, 2014, filed for record May 15, 2014, and recorded in Deed Book 24380, Page 217, aforesaid records.  
AFFECTS SITE – BLANKET RESTRICTIONS & RESTRICTIONS – NOT PLOTTABLE  
38. Easements and conveyance of access rights as contained in that Condemnation Order Docket No. 41,643, being State Highway Department of Georgia vs. 3,231 acres of land and Access Rights in Land Abutting and a Slope Easement; John Hancock Mutual Life Insurance Company, Rich's, Inc., and D. Scott Hudgens, Jr.  
AFFECTS SITE – RESTRICTS ACCESS TO STONE MOUNTAIN FREEWAY  
The following matters affect Tracts One, Two and Three:  
39. Terms and provisions of that certain Restated Construction, Operation and Reciprocal Easement Agreement for Marketsquare at North Dekalb, DeKalb County, Georgia, by and between CF-H North Dekalb Center Associates, a Georgia limited partnership, Federated Department Stores, Inc., a Delaware corporation, Lechmere, Inc., a Massachusetts corporation and Mervyn's, a California corporation, dated December 7, 1987, filed for record December 11, 1987, and recorded in Deed Book 6017, Page 142, aforesaid records; as affected by that certain Assignment and Assumption of Operating Agreement from Federated Department Stores, Inc., a Delaware corporation to Rich's North Dekalb Real Estate, Inc., a Delaware corporation, dated July 29, 1988, filed for record August 18, 1988, and recorded in Deed Book 616, Page 318, aforesaid records; as affected by that certain Certificate of Compliance by CF-H North Dekalb Center Associates, a Georgia limited partnership, whose sole general partner is CF North Dekalb Associates, a Georgia limited partnership, having as its authorized general partner Oakliff Fairview Shopping Center Properties (Georgia) Inc., a Delaware corporation, dated May 16, 1990, filed for record May 16, 1990, and recorded in Deed Book 6703, Page 680, aforesaid records; as affected by that certain Agreement Respecting Restated Construction, Operation and Reciprocal Easement for North Dekalb Mall, DeKalb County, Georgia by and between CF Georgia North Dekalb LP, a Delaware limited partnership and Rich's Real Estate, Inc., a Delaware corporation, dated June 30, 1997, filed for record July 18, 1997, and recorded in Deed Book 9532, Page 626, aforesaid records; as affected by that certain Assignment and Assumption of Construction, Operation and Reciprocal Easement Agreement from CF Georgia North Dekalb LP, a Delaware limited partnership to Hendon North Dekalb, LLC, a Georgia limited liability company, dated October 21, 2003, filed for record October 22, 2003, and recorded in Deed Book 15242, Page 611, aforesaid records; as affected by that certain Amendment to Restated Construction, Operation and Reciprocal Easement Agreement by and between Hendon North Dekalb, LLC, a Georgia limited liability company and Macy's Retail Holdings, Inc., a New York corporation, dated August 20, 2007, and recorded in Deed Book 20310, Page 304, aforesaid records; as affected by that certain Second Amendment to Restated Construction, Operation and Reciprocal Easement Agreement by and among Hendon North Dekalb, LLC, a Georgia limited liability company, Hendon Ring Road, LLC, a Georgia limited liability company and Macy's Retail Holdings, Inc., a New York corporation, dated November 14, 2011, filed for record July 20, 2012, and recorded in Deed Book 23151, Page 583, aforesaid records; and as affected by that certain Assignment and Assumption of Core Agreement from Hendon North Dekalb, LLC, a Georgia limited liability company and Hendon Ring Road, LLC, a Georgia limited liability company to LCI-SVAP NDM JV, LP, a Delaware limited partnership, dated May 9, 2014, filed for record May 15, 2014, and recorded in Deed Book 24380, Page 203, aforesaid records.  
AFFECTS SITE – BLANKET EASEMENTS & RESTRICTIONS – NOT PLOTTABLE  
40. Any rights, interests, or claims which may exist or arise by reason of the following facts shown on the ALTA/NSPS Land Title Survey dated August 4, 2021, last revised August 4, 2021, prepared by GeoSurvey, bearing the seal of John T. Newman, GRLS #3324, as Job Number 20175643.

## VICINITY MAP

SITE LOCATION — LATITUDE: 33° 48' 30" LONGITUDE: 84° 16' 39"



## GENERAL NOTES

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

SURVEY TRACTS ONE THROUGH FIVE ARE LOCATED IN FLOOD ZONE "X" AND SURVEY TRACTS SIX, EIGHT, & NINE ARE LOCATED IN FLOOD ZONE "AE" BASED ON THE FLOOD INSURANCE RATE MAP FOR THIS AREA. THE MAP NUMBER FOR THIS AREA IS 1308900067K, AND THE DATE OF SAID MAP IS AUGUST 15, 2019. THIS DETERMINATION WAS MADE BY GRAPHICALLY DETERMINING THE POSITION OF THIS SITE ON SAID FIRM MAPS UNLESS OTHERWISE NOTED.

PLEASE NOTE: TREES 6-INCH DBH (DIAMETER AT BREAST HEIGHT) AND LARGER WITHIN THE BOUNDARIES OF SURVEY TRACTS ONE THROUGH FIVE WERE LOCATED IN DECEMBER 2017 AND ARE SHOWN BASED ON SURVEY REFERENCE 1.

RIGHT-OF-WAY LINES SHOWN ON THIS SURVEY THAT ARE NOT ACTUAL BOUNDARIES OF THE SUBJECT TRACT(S) ARE DEPICTED GRAPHICALLY AND ARE SHOWN APPROXIMATELY FOR INFORMATIONAL PURPOSES ONLY. SAID RIGHT-OF-WAY LINES SHOULD NOT BE UTILIZED FOR DESIGN PURPOSES

REVISIONS LISTED ON THIS SURVEY APPLY ONLY TO THE SPECIFIC CHANGES REFERENCED, AND DO NOT CONSTITUTE AN UPDATE OF OTHER DATA ON THIS SURVEY. THE "SURVEY DATE" SHOWN HEREON IS THE APPLICABLE DATE AS RELATED TO PROVISIONS OF STATUTES OF LIMITATION UNLESS SPECIFICALLY NOTED OTHERWISE.

THE INTERIOR BUILDING LINES DIVIDING THE INDIVIDUAL SUITES ARE APPROXIMATE, BASED UPON OBSERVATIONS AND DIMENSIONS MADE FROM THE EXTERIOR OF THE BUILDING AND ARE NOT TO BE USED FOR REMODELING, CONSTRUCTION OR CALCULATIONS OF LEASE AREAS.

THE DATUM FOR THIS SITE WAS ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEMS, AND BASED ON POSITIONAL VALUES FOR THE VIRTUAL REFERENCE STATION NETWORK DEVELOPED BY eGPS SOLUTIONS. THE HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(NAD83) STATE PLANE COORDINATE SYSTEM OF GEORGIA-WEST ZONE. THE VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988. ANY DIRECTIONS OR DIMENSIONS SHOWN ARE A RECTANGULAR, GROUND LEVEL PROJECTION OF THE STATE PLANE COORDINATE SYSTEM.

NO ZONING REPORT OR ZONING LETTER WAS PROVIDED TO THE SURVEYOR. THE SITE IS ZONED "C-1" (LOCAL COMMERCIAL DISTRICT) AS SHOWN ON THE ZONING MAP OF DEKALB COUNTY.

THE MINIMUM YARD SETBACKS ARE:  
FRONT (THROUGHFARE & ARTERIAL) – 60 FEET; FRONT (OTHER) – 50 FEET  
SIDE (INTERIOR) – 20 FEET; SIDE (CORNER LOT) – 50 FEET; REAR – 30 FEET

PLEASE NOTE: ZONING AND SETBACKS SHOULD BE CONFIRMED AND VERIFIED BY PLANNING AND ZONING PRIOR TO DESIGN OR CONSTRUCTION ACTIVITIES.

## SURVEY REFERENCES

1> ALTA/NSPS LAND TITLE SURVEY OF NORTH DEKALB MALL, PREPARED BY GEOSURVEY, LTD., DATED DECEMBER 15, 2017 (JOB NO. 20175643-01).

## SURVEYOR CERTIFICATION (ALTA/NSPS)

To: Edens Limited Partnership and Edens Realty, Inc., their lenders, and First American Title Insurance Company, their respective successors and assigns:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a)(b), 7(a)(c), 8, 9, 10, 11(a)(b), 13, 14, 16, 17, 18 & 19 of Table A thereof. The field work was completed on August 4, 2021.

Date: August 4, 2021

John T. Newman  
John T. Newman  
Georgia Registered  
Land Surveyor # 3324



1 SHEET  
OF  
10

## SURVEYOR CERTIFICATION (GEORGIA)

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

John T. Newman  
John T. Newman  
Georgia Registered  
Land Surveyor # 3324

## ALTA/NSPS LAND TITLE SURVEY

## North Dekalb Mall

FOR

## Edens Limited Partnership

## Edens Realty, Inc

## First American Title Insurance Company

GS JOB NO:	20175643	DRAWING SCALE:	1"= 40'	SURVEY DATE:	08-04-2021
FIELD WORK:	ZM/WG	CITY:	UNINCORPORATED	REVISIONS	
PROJ MGR:	JTN	COUNTY:	DEKALB	DATE	Description
REVIEWED:	DLH	LAND LOT:	100 & 101	1. 8-19-21	Address Comments
DWG FILE:	20175643-04.dwg	DISTRICT:	18TH	2. 9-16-21	Address Comments

## SHEET INDEX

## SHEET 2

## SHEET 3

## SHEET 4

## SHEET 5

## SHEET 7

## SHEET 9

## SHEET 8

## CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	131.39'	27.85'	27.79'	S35°30'32"W
C2	303.36'	17.02'	17.02'	S31°02'34"W
C3	27.00'	6.28'	6.27'	S25°58'53"W
C4	350.00'	97.01'	96.70'	S44°27'06"W
C5	302.36'	81.23'	80.99'	S59°45'17"W
C6	347.00'	115.56'	115.03'	S76°59'11"W
C7	623.13'	323.11'	319.50'	N73°37'25"W
C8	371.00'	218.97'	214.48'	N43°36'27"W
C9	296.99'	111.43'	110.78'	N12°41'45"W
C10	2283.00'	116.80'	116.79'	N00°29'06"W
C11	7018.44'	99.82'	99.82'	N00°34'20"E
C12	233.00'	197.89'	192.00'	N36°51'10"E
C13	27.00'	13.45'	13.31'	N46°55'32"E
C14	182.00'	118.33'	116.26'	N81°31'39"E
C15	219.00'	186.10'	186.55'	S55°30'10"E
C16	217.00'	102.25'	101.31'	S44°39'28"E
C17	114.00'	161.32'	148.19'	S48°56'11"E
C18	33.00'	51.69'	46.56'	S53°24'16"E
C19	441.76'	64.52'	64.52'	N85°52'43"E
C20	48.00'	39.15'	38.07'	N66°41'00"E
C21	1203.92'	78.21'	78.20'	S05°39'35"W

## LINE TABLE

LINE	BEARING	DISTANCE
L1	S17°52'15"W	11.94'
L2	N71°05'44"W	27.36'
L3	N17°52'15"E	11.94'
L4	S71°05'44"E	27.36'
L5	N48°31'39"W	13.69'
L6	S22°48'07"W	28.21'
L7	S00°17'10"W	24.24'
L8	S84°45'57"E	8.00'

## CLOSURE STATEMENT

THE FIELD CLOSURE UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 149,225, AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. A TRIMBLE S-6 TOTAL STATION AND TRIMBLE TSC-3 DATA COLLECTOR WERE USED TO COLLECT THIS FIELD DATA.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 699,292 FEET. JTN, INT.

## AERIAL PHOTOGRAPH



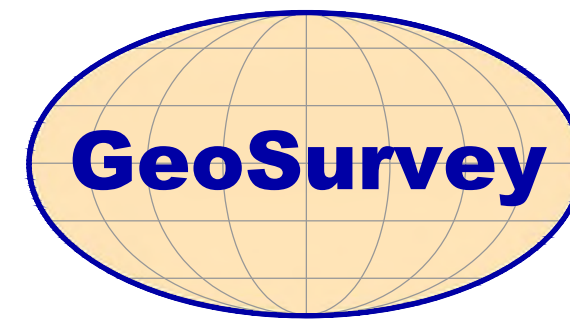


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# SITE PHOTOGRAPHS



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ALTA/NSPS LAND TITLE SURVEY

North Dekalb Mall

FOR

Edens Limited Partnership

Edens Realty, Inc

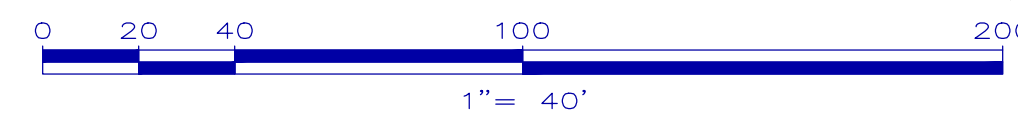
First American Title Insurance Company

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FIELD WORK:	ZM/WG	CITY:	UNINCORPORATED	REVISIONS	
PROJ MGR:	JTN	COUNTY:	DEKALB	STATE:	GA
REVIEWED:	DLH	LAND LOT:	100 & 101	1. Date	Description
DWG FILE:	20175643-04.dwg	DISTRICT:	18TH	2. 8-19-21	Address Comments
				3. 9-16-21	Address Comments

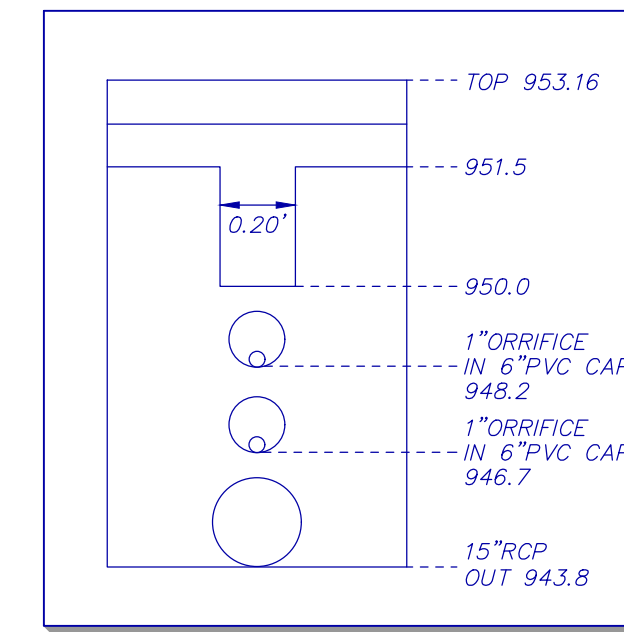
# LEGEND

STANDARD ABBREVIATIONS	STANDARD SYMBOLS
AC AIR CONDITIONER	POWER POLE
BH BORE HOLE	GUY WIRE
BSL BUILDING SETBACK LINE	POWER LINE
CI CORRUGATED METAL PIPE	LIGHT POLE
CMF CONCRETE MONUMENT FND	ELECTRIC VAULT
CD SANITARY CLEANOUT	ELECTRIC TRANSFORMER
CPED COMMUNICATION PEDESTAL	WATER VAULT
CTP CRIMPED TOP PIPE	GAS VALVE
DI DROP INLET	GAS METER
DIP DUCTILE IRON PIPE	WATER VALVE
DWCB DOUBLE WING CATCH BASIN	WATER METER
FND FOUND	FIRE HYDRANT
GM GAS METER	UNDERGROUND ELECTRIC LINE
INV INVERT	UNDERGROUND GAS LINE
JB JUNCTION BOX	UNDERGROUND COMMUNICATION LINE
MH MANHOLE	UNDERGROUND WATER LINE
OHP OVERHEAD POWER	REGULAR PARKING SPACE COUNT
OTP OPEN TOP PIPE	HANDICAP PARKING SPACE
PM POWER METER	TREE POSITION INDICATOR
POB POINT OF BEGINNING	SIGN
POC POINT OF COMMENCEMENT	
RCP REINFORCED CONCRETE PIPE	
RBR IRON REINFORCING BAR	
S/S SANITARY SEWER	
SWCB SINGLE WING CATCH BASIN	
TRANS ELECTRIC TRANSFORMER	

# GRAPHIC SCALE

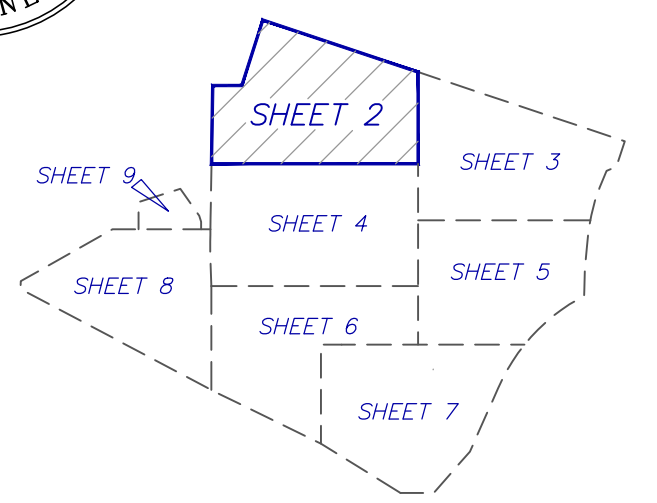


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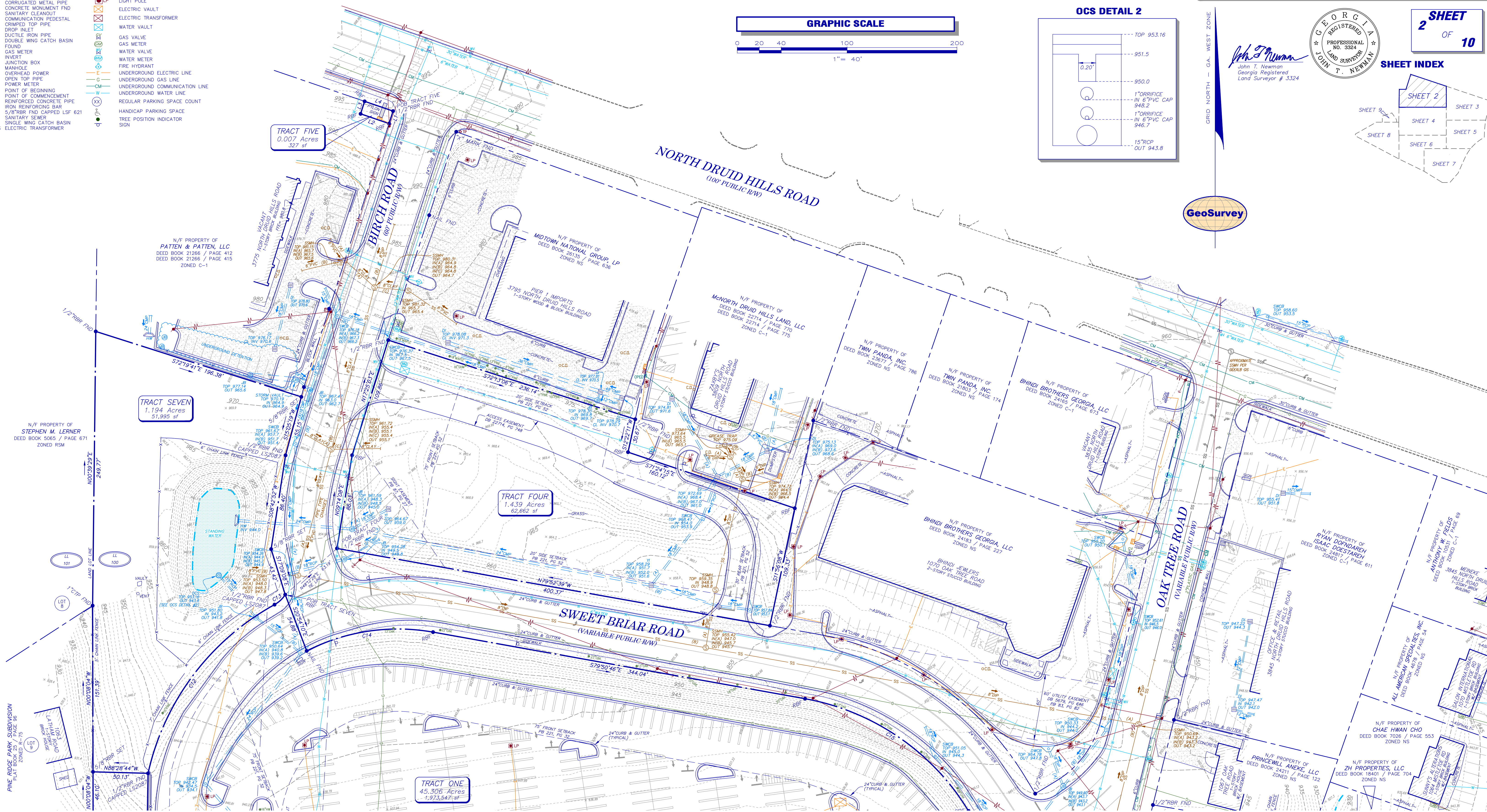
SHEET  
2 OF 10

# SHEET INDEX



John T. Newman  
Georgia Registered  
Land Surveyor # 3324

GeoSurvey

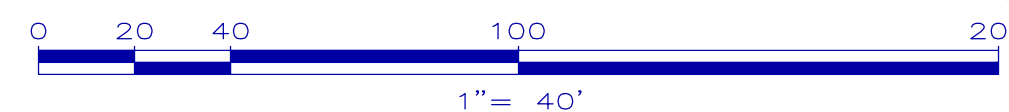




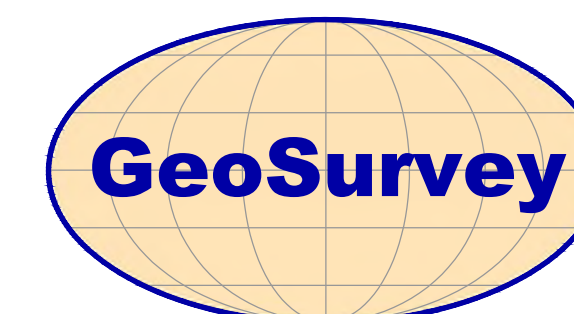


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### GRAPHIC SCALE



### SITE PHOTOGRAPHS



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ALTA/NSPS LAND TITLE SURVEY

North Dekalb Mall

FOR

Edens Limited Partnership

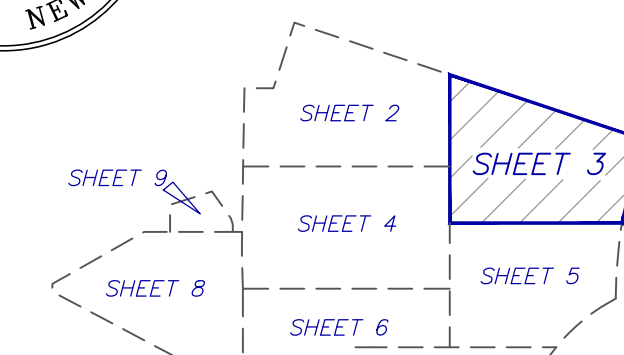
Edens Realty, Inc

First American Title Insurance Company

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FIELD WORK:	ZM/WG	CITY:	UNINCORPORATED	REVISIONS:	
PROJ MGR:	JTN	COUNTY:	DEKALB STATE: GA	1. 8-19-21	Description
REVIEWED:	DLH	LAND LOT:	100 & 101	2. 9-16-21	Address Comments
DWG FILE:	20175643-04.dwg	DISTRICT:	18TH		

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OF 10

SHEET INDEX

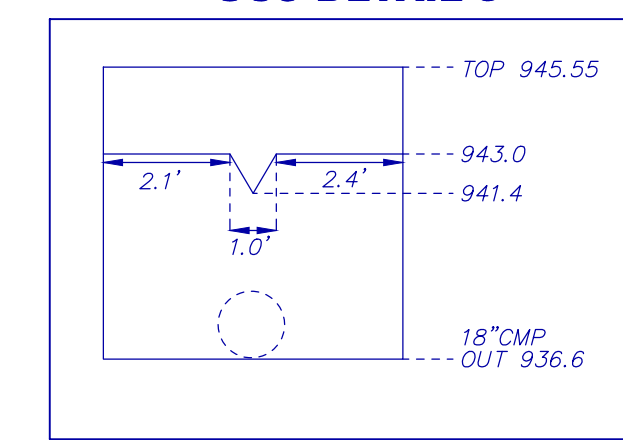


### LEGEND

STANDARD ABBREVIATIONS	STANDARD SYMBOLS
AC AIR CONDITIONER	POWER POLE
BH BORE HOLE	GUY WIRE
BSL BUILDING SETBACK LINE	LIGHT POLE
CI CURB INLET	LP ELECTRIC VAULT
CMF CORRUGATED METAL PIPE	ET ELECTRIC TRANSFORMER
CMF CONCRETE MONUMENT FND	WV WATER VAULT
CO SANITARY CLEANOUT	GV GAS VALVE
CPED CORRUGATED PEDESTAL	GM GAS METER
CTP CRIMPED TOP PIPE	WM WATER METER
DI DROP INLET	FI FIRE HYDRANT
DIP DUCTILE IRON PIPE	OHV OVERHEAD POWER
DWCB DOUBLE WING CATCH BASIN	OT OPEN TOP PIPE
FND FOUND	PM POWER METER
INV GAS METER	POB POINT OF BEGINNING
MV MANHOLE	POC POINT OF COMMENCEMENT
JJB JUNCTION BOX	RCP REINFORCED CONCRETE PIPE
OHV OVERHEAD POWER	RRB IRON REINFORCING BAR
OT OPEN TOP PIPE	RFB 5/8" RFB FND CAPPED LSF 621
PM POWER METER	SS SINGLE SWER
POB POINT OF BEGINNING	SWCB SINGLE WING CATCH BASIN
POC POINT OF COMMENCEMENT	TRANS ELECTRIC TRANSFORMER
RCP REINFORCED CONCRETE PIPE	
RRB IRON REINFORCING BAR	
RFB 5/8" RFB FND CAPPED LSF 621	
SS SINGLE SWER	
SWCB SINGLE WING CATCH BASIN	
TRANS ELECTRIC TRANSFORMER	



### OCS DETAIL 3





# SITE PHOTOGRAPHS



STANDARD ABBREVIATIONS

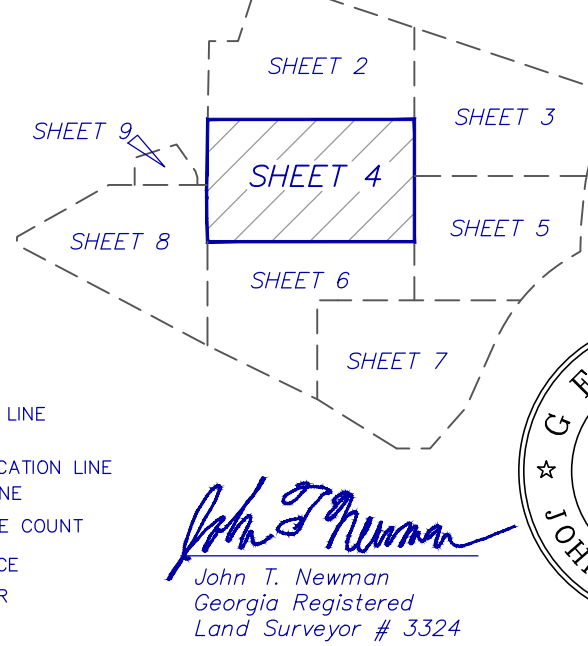
AC AIR CONDITIONER  
BH BORE HOLE  
BSL BUILDING SETBACK LINE  
CI CURB INLET  
CMP CORRUGATED METAL PIPE  
CMP CONCRETE MONUMENT FND  
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POC POINT OF COMMENCEMENT  
RCP REINFORCED CONCRETE PIPE  
RBR 8" RBR FND CAPPED LSF 621  
SS SANITARY SEWER  
SWCB SINGLE WING CATCH BASIN  
TRANS ELECTRIC TRANSFORMER

# LEGEND

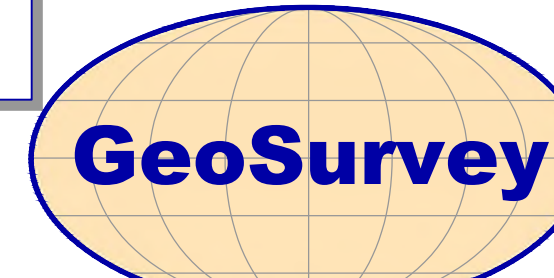
STANDARD SYMBOLS

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GUY WIRE  
POWER LINE  
LIGHT POLE  
ELECTRIC VAULT  
ELECTRIC TRANSFORMER  
WATER VAULT  
GAS VALVE  
GAS METER  
WATER VALVE  
WATER METER  
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UNDERGROUND WATER LINE  
REGULAR PARKING SPACE COUNT  
HANDICAP PARKING SPACE  
TREE POSITION INDICATOR  
SIGN

# SHEET INDEX



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ALTA/NSPS LAND TITLE SURVEY

North Dekalb Mall

FOR

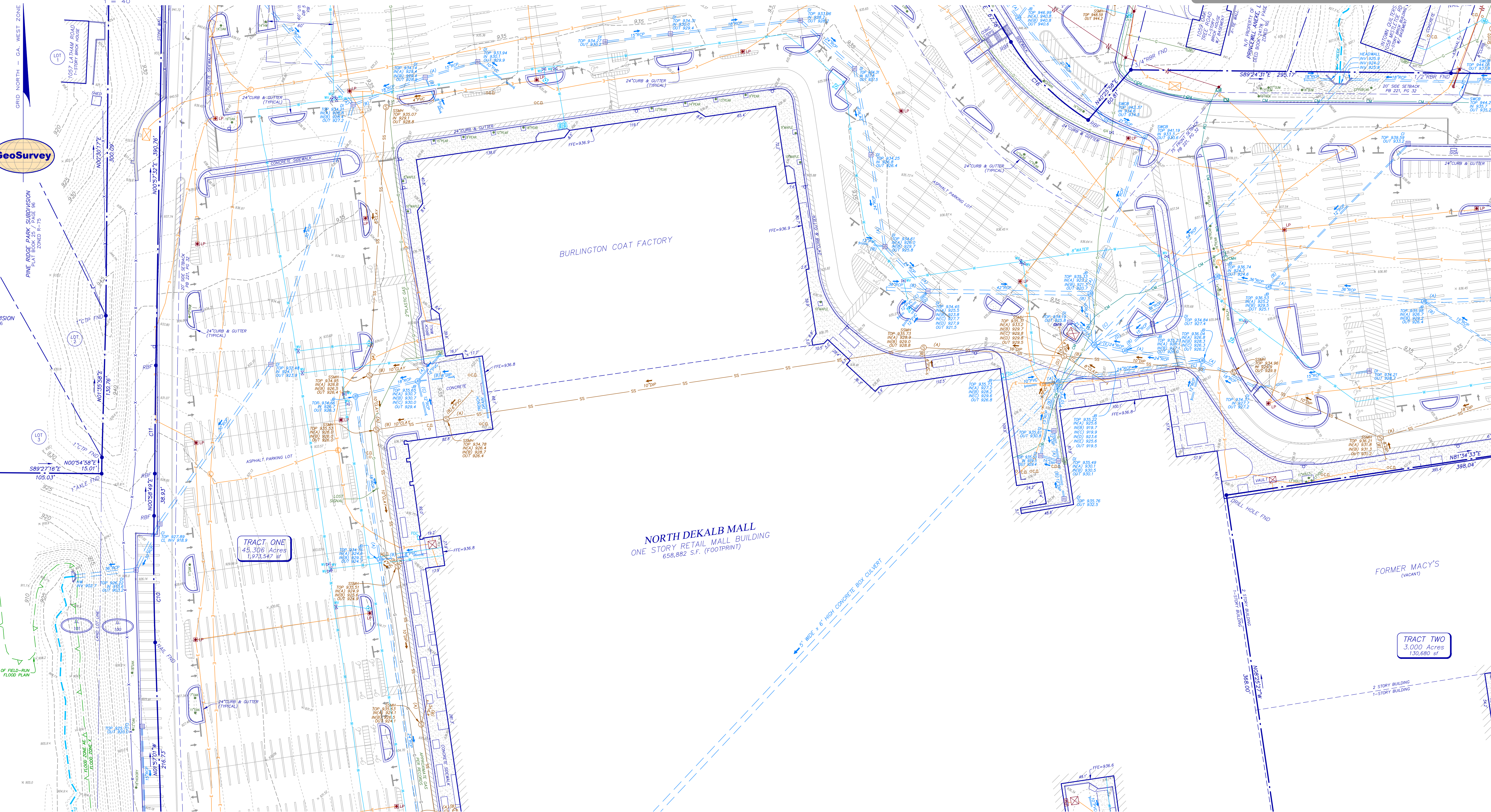
Edens Limited Partnership

Edens Realty, Inc

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GS JOB NO:	20175643	DRAWING SCALE:	1" = 40'	SURVEY DATE:	08-04-2021
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DWG FILE:	20175643-04.dwg	DISTRICT:	18TH	1. 8-19-21 Address Comments	
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# GRAPHIC SCALE





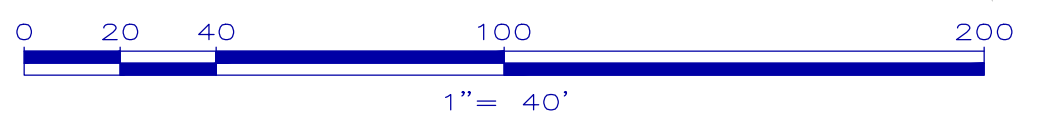
SITE PHOTOGRAPHS



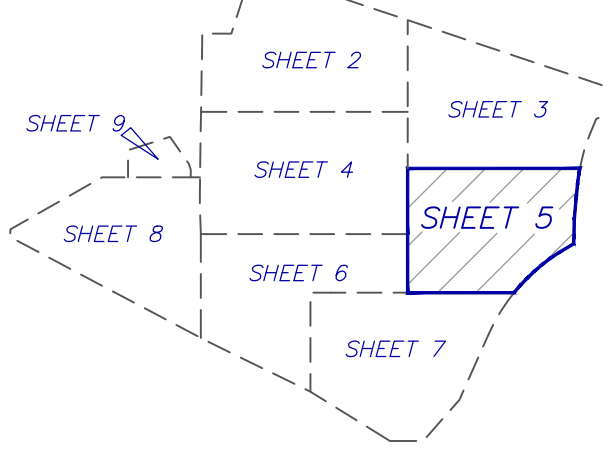
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RFB IRON REINFORCING BAR	
RFB 5/8" RFB FND CAPPED LSF 621	
SS SANITARY SEWER	
SWCB SINGLE WING CATCH BASIN	
TRANS ELECTRIC TRANSFORMER	

GRAPHIC SCALE



SHEET INDEX



**SHEET 5**  
OF  
**10**

*John T. Newman*  
John T. Newman  
Georgia Registered  
Land Surveyor # 3324



ALTA/NSPS LAND TITLE SURVEY

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REVIEWED:	DLH	LAND LOT:	100 & 101		
DWG FILE:	20175643-04.dwg	DISTRICT:	18TH		

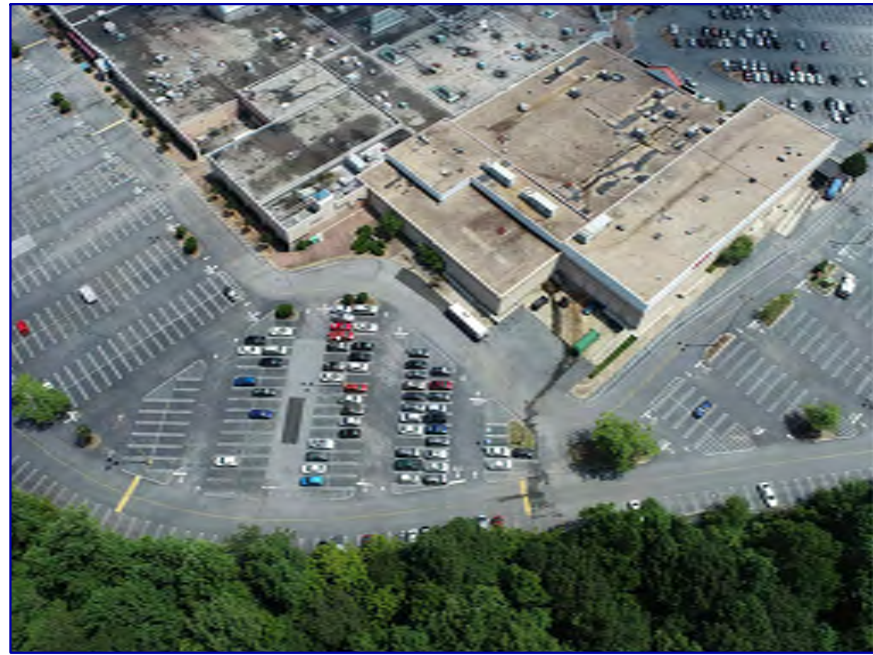


GRID NORTH - GA. WEST ZONE

(CLERK OF COURT RECORDING INFORMATION)

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SITE PHOTOGRAPHS

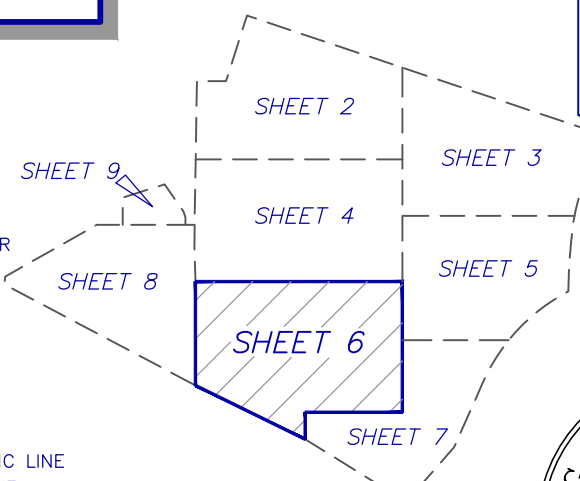


LEGEND

STANDARD ABBREVIATIONS  
AC AIR CONDITIONER  
BH BORE HOLE  
BSL BUILDING SETBACK LINE  
C CURB INLET  
CMP CORRUGATED METAL PIPE  
CMT CONCRETE MONUMENT FND  
CO CONCRETE CLEANOUT  
CPED COMMUNICATION PEDESTAL  
CPT CRIMPED TOP PIPE  
DIP DUCTILE IRON PIPE  
DWCB DOUBLE WING CATCH BASIN  
FND FOUND  
FM FOUND  
INV INVERT  
J BOX JUNCTION BOX  
MH MANHOLE  
OHP OVERHEAD POWER  
OTF OPEN TOP PIPE  
PM POWER METER  
POB POINT OF BEGINNING  
POC POINT OF COMMENCEMENT  
RCP REINFORCED CONCRETE PIPE  
RBR IRON REINFORCING BAR  
RFB 5/8" RBR FND CAPPED LSF 621  
SS SANITARY SEWER  
SWCB SINGLE WING CATCH BASIN  
TRANS ELECTRIC TRANSFORMER

STANDARD SYMBOLS  
POWER POLE  
GUY WIRE  
POWER LINE  
ELECTRIC VAULT  
ELECTRIC TRANSFORMER  
WATER VAULT  
GAS VALVE  
GAS METER  
WATER VALVE  
FIRE HYDRANT  
UNDERGROUND ELECTRIC LINE  
UNDERGROUND GAS LINE  
UNDERGROUND COMMUNICATION LINE  
UNDERGROUND WATER LINE  
REGULAR PARKING SPACE  
HANDICAP PARKING SPACE  
TREE POSITION INDICATOR  
SIGN

SHEET INDEX



SHEET 6 OF 10

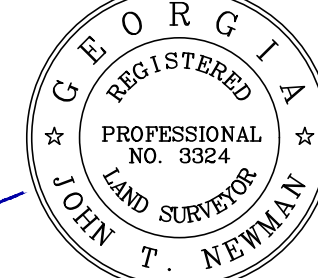
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Fax: (770) 795-8880

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ALTA/NSPS LAND TITLE SURVEY

North Dekalb Mall

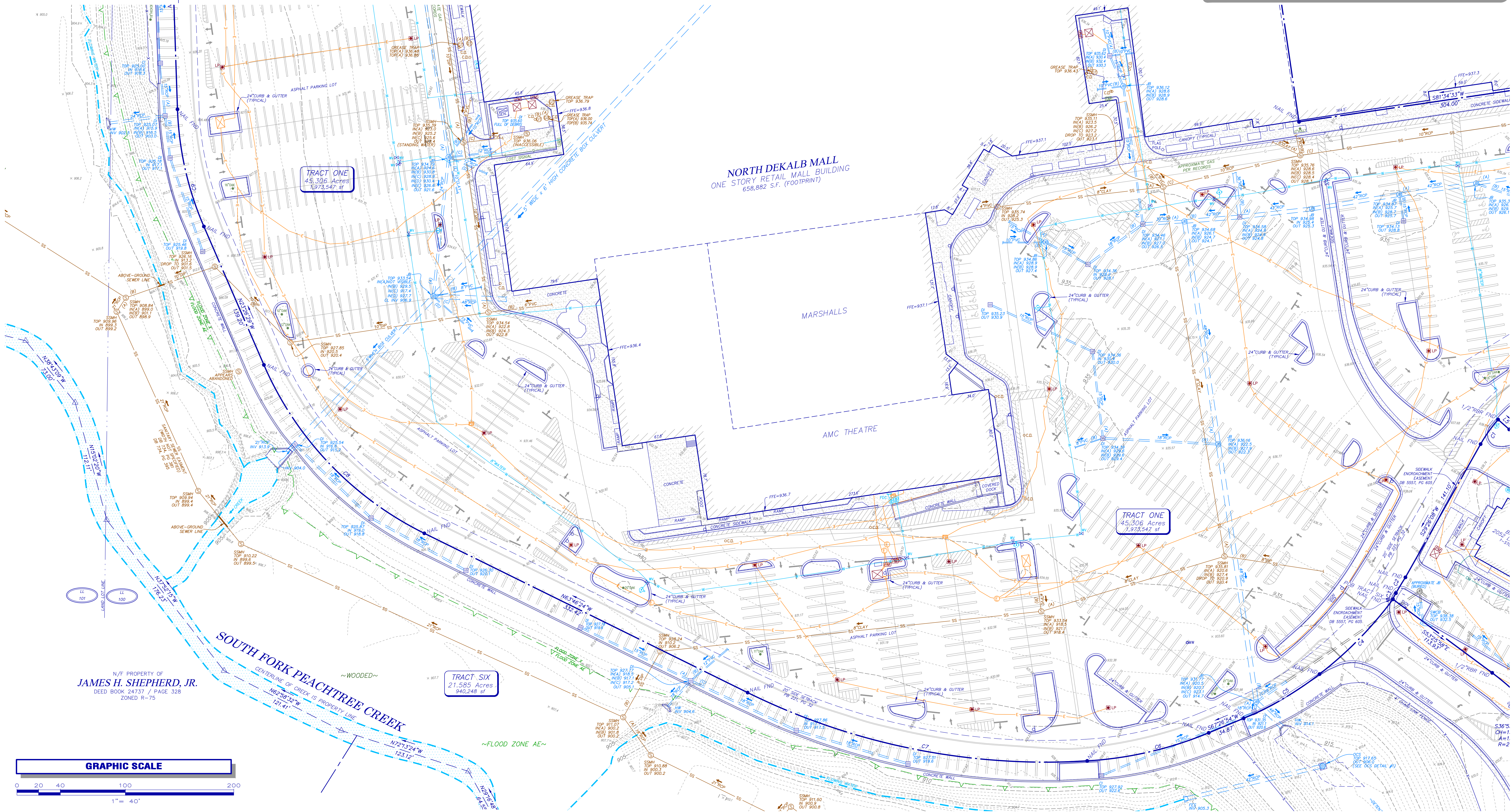
FOR

Edens Limited Partnership

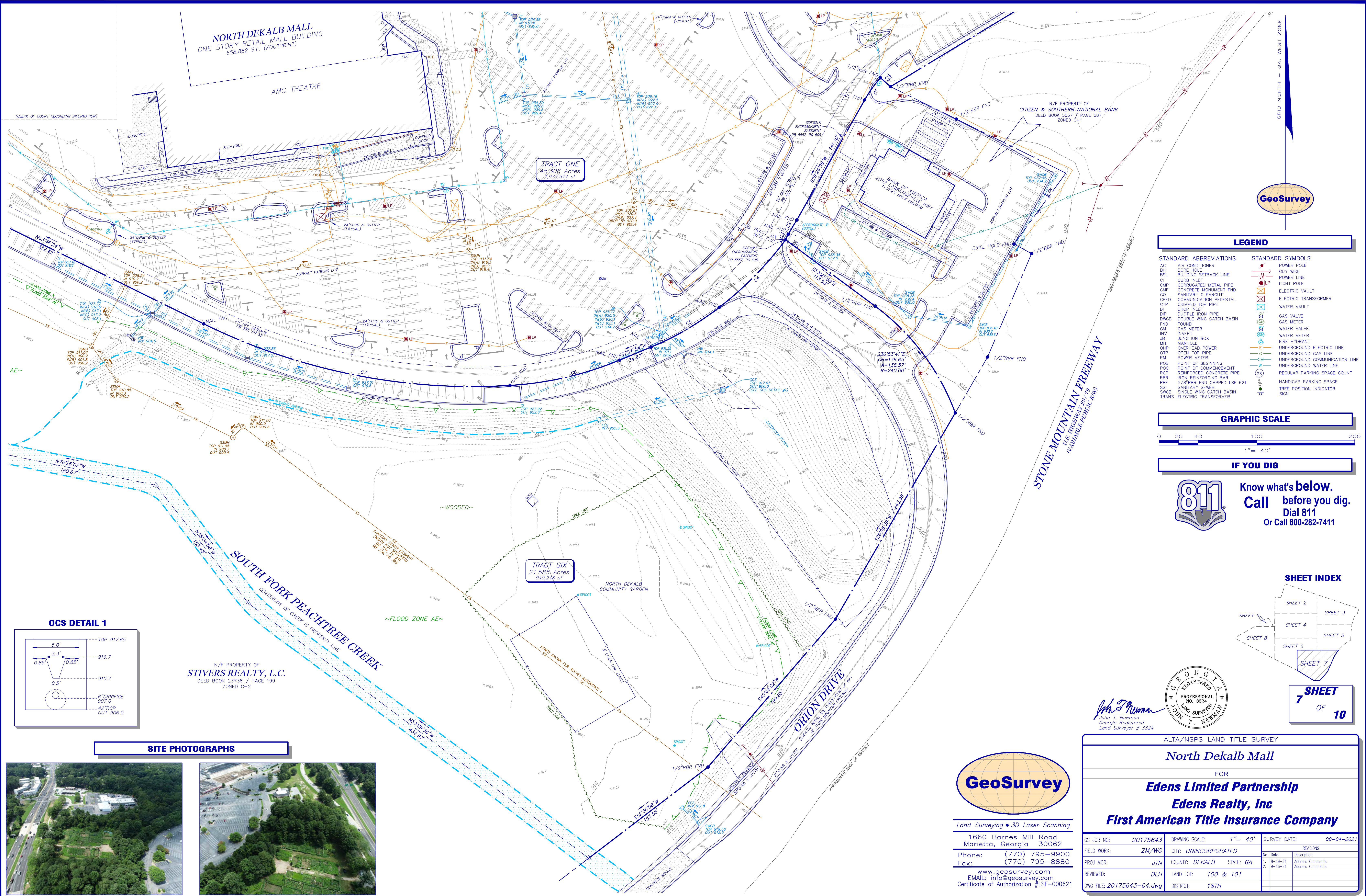
Edens Realty, Inc

First American Title Insurance Company

GS JOB NO:	20175643	DRAWING SCALE:	1" = 40'	SURVEY DATE:	08-04-2021
FIELD WORK:	ZM/WG	CITY:	UNINCORPORATED	REVISIONS:	
PROJ MGR:	JTN	COUNTY:	DEKALB	STATE:	GA
REVIEWED:	DLH	LAND LOT:	100 & 101	1. 8-19-21	Description
DWG FILE:	20175643-04.dwg	DISTRICT:	18TH	2. 9-16-21	Address Comments







(CLERK OF COURT RECORDING INFORMATION)

NORTH DEKALB MALL  
ONE STORY RETAIL MALL BUILDING  
658,882 S.F. (FOOTPRINT)

AMC THEATRE

TRACT ONE  
45,306 Acres  
1,973,547 sf

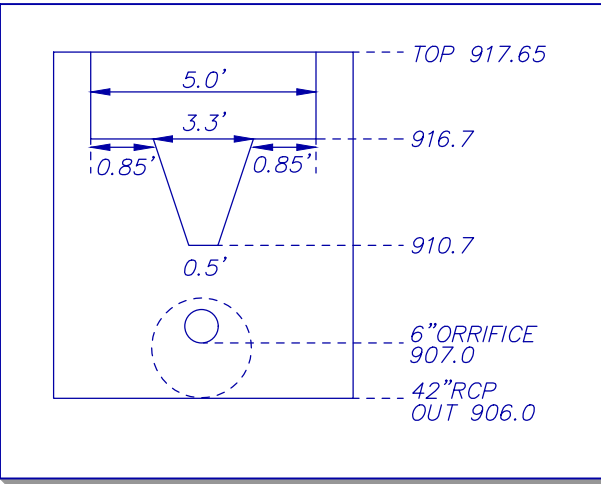
TRACT SIX  
21,585 Acres  
940,248 sf

N/F PROPERTY OF  
STIVERS REALTY, L.C.  
DEED BOOK 23736 / PAGE 199  
ZONED C-2

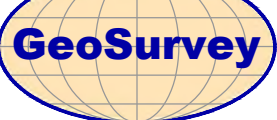
STONE MOUNTAIN FREEWAY  
U.S. HIGHWAY 29 / 78  
(VARIABLE PUBLIC R/W)

ORION DRIVE  
(LOCATE WITHIN THE PUBLIC RIGHT OF WAY)

OCS DETAIL 1



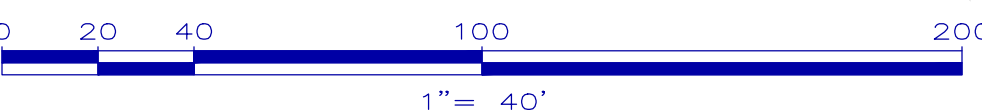
SITE PHOTOGRAPHS



LEGEND

STANDARD ABBREVIATIONS	STANDARD SYMBOLS
AC AIR CONDITIONER	POWER POLE
BH BORE HOLE	GUY WIRE
BSL BUILDING SETBACK LINE	POWER LINE
CI CURB INLET	ELECTRIC VAULT
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CMF CONCRETE MONUMENT FND	WATER VAULT
CO SANITARY CLEANOUT	ELECTRIC TRANSFORMER
CPED COMMUNICATION PEDESTAL	WATER VALVE
CTP CRIMPED TOP PIPE	GAS VALVE
DI DROP INLET	GAS METER
DIP DUCTILE IRON PIPE	WATER VALVE
DWCB DOUBLE WING CATCH BASIN	WATER METER
FND FOUND	WATER METER
QM GAS METER	WATER METER
INV INVERT	UNDERGROUND ELECTRIC LINE
JH JUNCTION BOX	UNDERGROUND GAS LINE
MH MANHOLE	UNDERGROUND COMMUNICATION LINE
OHP OVERHEAD POWER	UNDERGROUND WATER LINE
OTP OPEN TOP PIPE	REGULAR PARKING SPACE COUNT
PM POWER METER	HANDICAP PARKING SPACE
POB POINT OF BEGINNING	TREE POSITION INDICATOR
POC POINT OF COMMENCEMENT	
RCP REINFORCED CONCRETE PIPE	
RFB REINFORCING BAR	
RSF 5/8" RBR FND CAPPED LSF 621	
SS SANITARY SEWER	
SWCB SINGLE WING CATCH BASIN	
TRANS ELECTRIC TRANSFORMER	

GRAPHIC SCALE

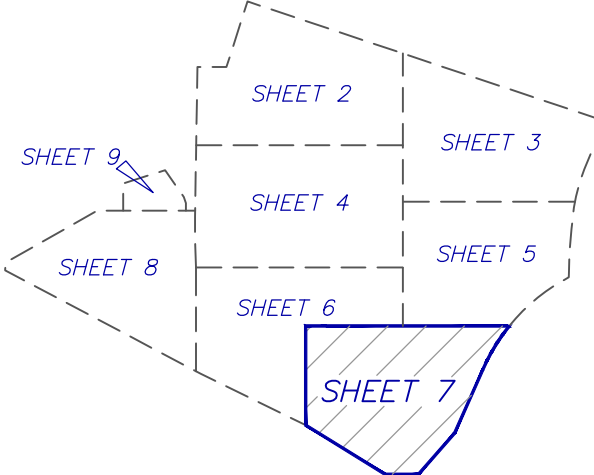


IF YOU DIG

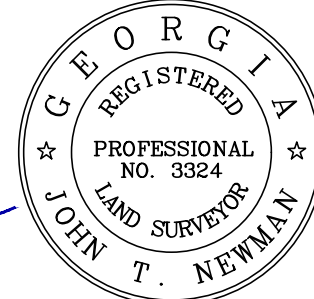


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SHEET INDEX



SHEET  
7 OF 10



John T. Newman  
Georgia Registered  
Land Surveyor # 3324



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Marietta, Georgia 30062

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Fax: (770) 795-8880

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ALTA/NSPS LAND TITLE SURVEY

North Dekalb Mall

FOR

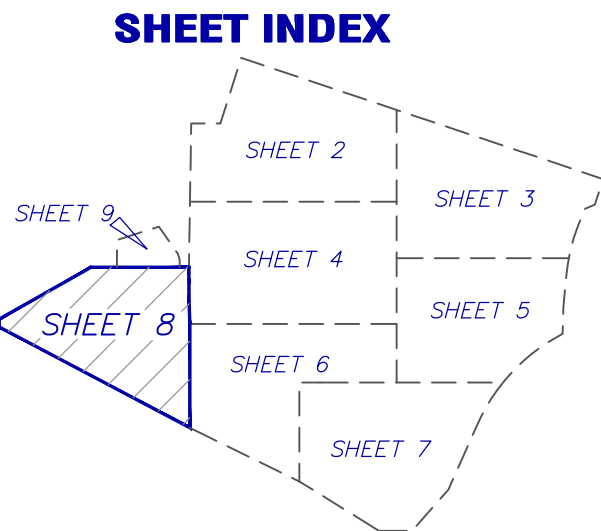
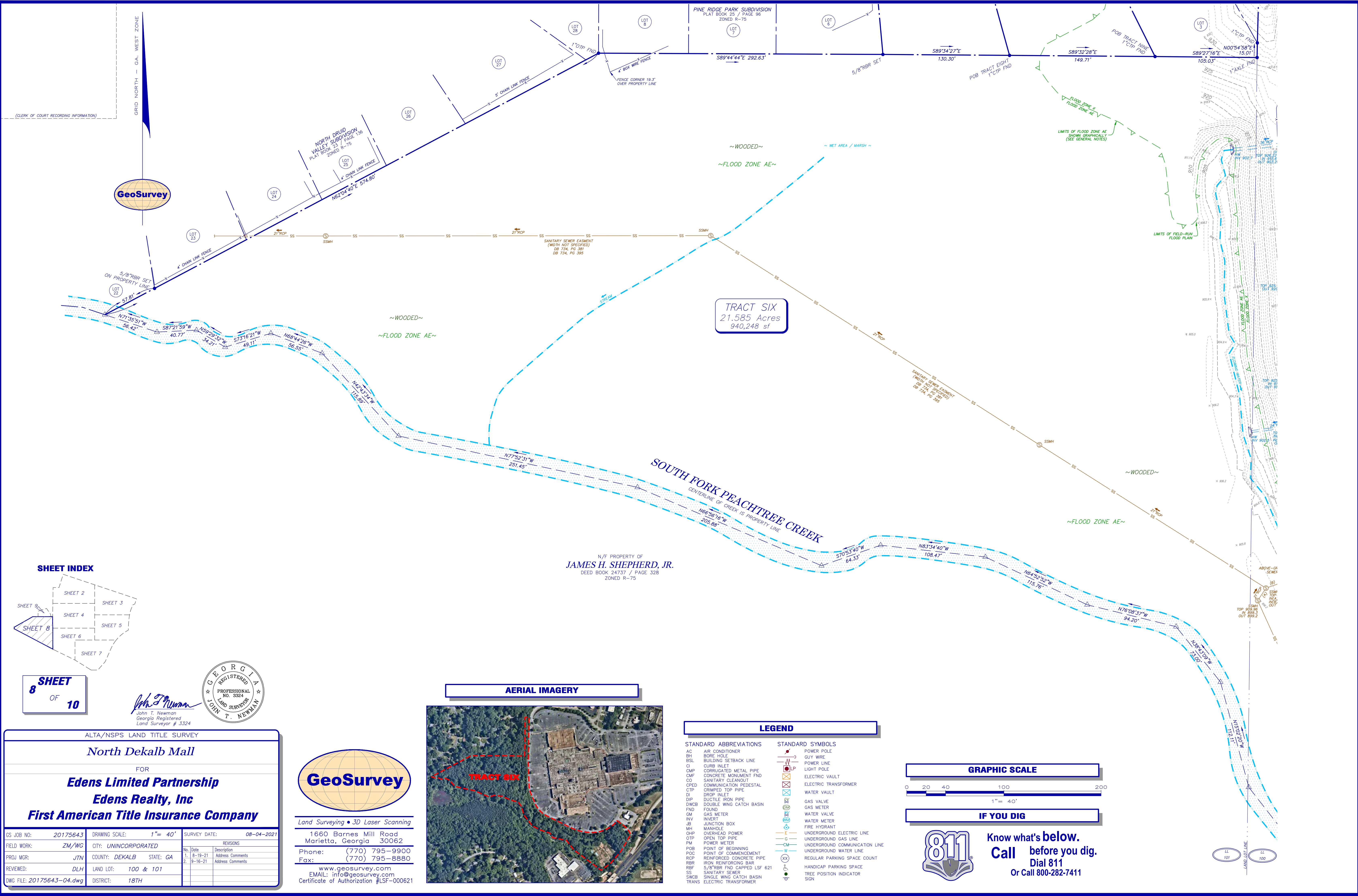
Edens Limited Partnership

Edens Realty, Inc

First American Title Insurance Company

GS JOB NO:	20175643	DRAWING SCALE:	1" = 40'	SURVEY DATE:	08-04-2021
FIELD WORK:	ZM/WG	CITY:	UNINCORPORATED	No. Date Description	REVISIONS
PROJ MGR:	JTN	COUNTY:	DEKALB	1. 8-19-21	Address Comments
REVIEWED:	DLH	STATE:	GA	2. 9-16-21	Address Comments
DWG FILE:	20175643-04.dwg	LAND LOT:	100 & 101		
		DISTRICT:	18TH		





**SHEET 8**  
OF 10

*John T. Newman*  
John T. Newman  
Georgia Registered  
Land Surveyor # 3324

ALTA/NSPS LAND TITLE SURVEY			
North Dekalb Mall			
FOR			
Edens Limited Partnership			
Edens Realty, Inc			
First American Title Insurance Company			
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		DISTRICT:	18TH
SURVEY DATE:		08-04-2021	
No.		Date	REVISIONS
1		8-19-21	Description
2		9-16-21	Address Comments

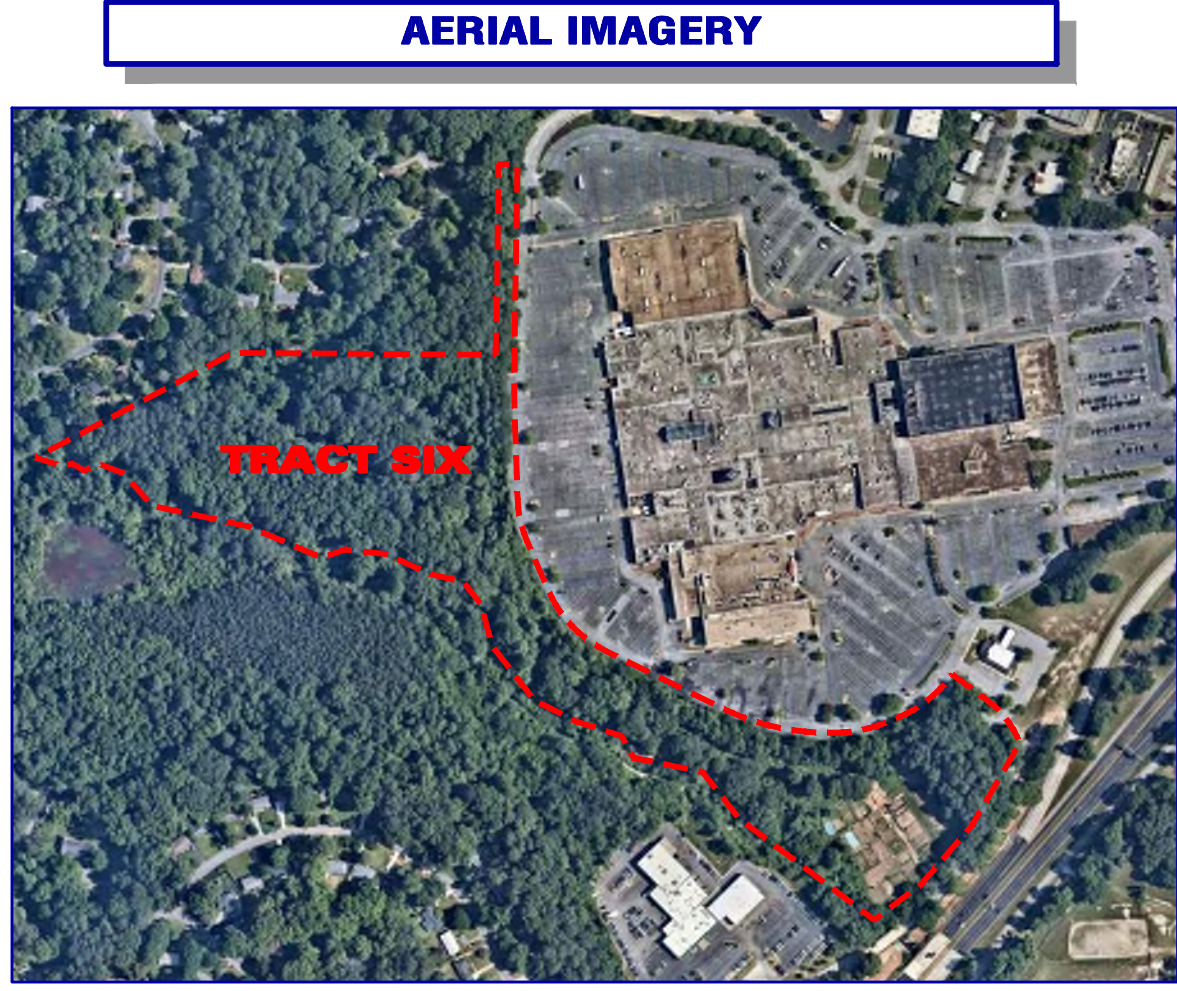
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LEGEND	
STANDARD ABBREVIATIONS	STANDARD SYMBOLS
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PM POWER METER	REGULAR PARKING SPACE COUNT
POB POINT OF BEGINNING	REGULAR PARKING SPACE COUNT
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RFB 5/8"RBR FND CAPPED LSF 621	REGULAR PARKING SPACE COUNT
SS SANITARY SEWER	REGULAR PARKING SPACE COUNT
SWCB SINGLE WING CATCH BASIN	REGULAR PARKING SPACE COUNT
TRANS ELECTRIC TRANSFORMER	REGULAR PARKING SPACE COUNT

**GRAPHIC SCALE**

0 20 40 100 200

1"= 40'

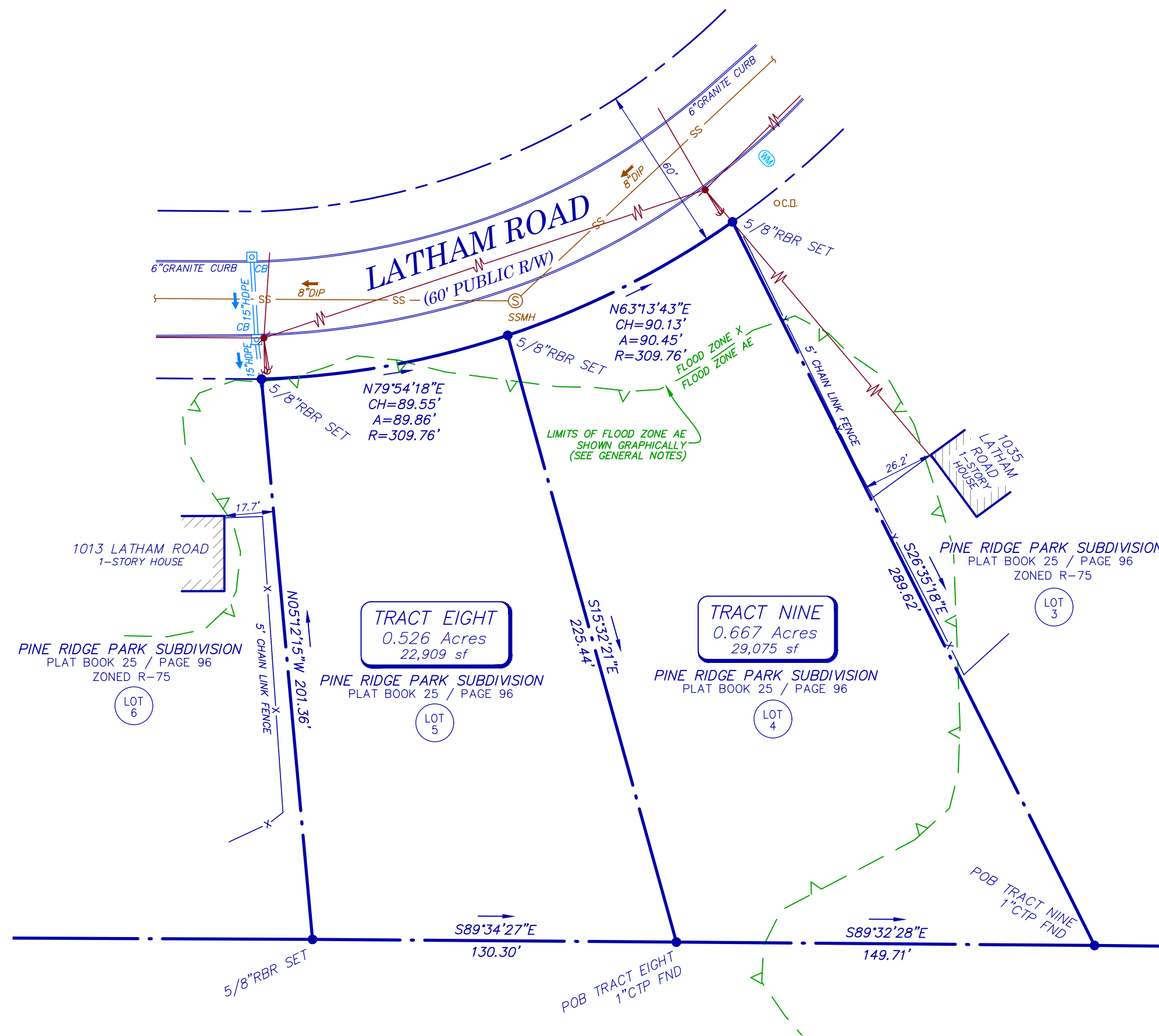
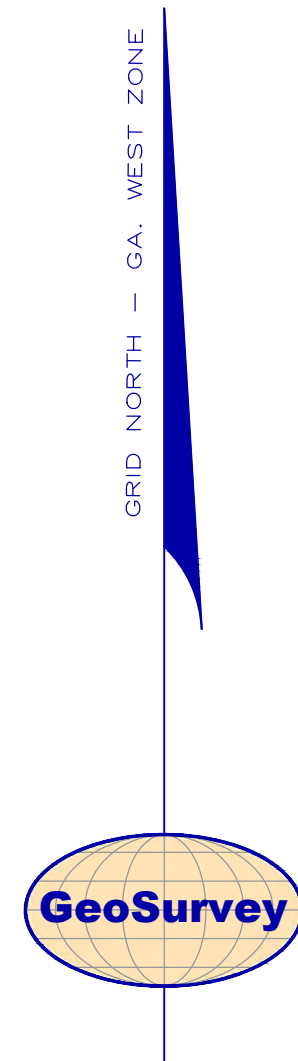
**IF YOU DIG**

**811**

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(CLERK OF COURT RECORDING INFORMATION)



AERIAL IMAGERY



LEGEND

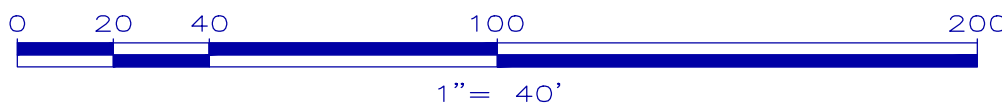
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	REGULAR PARKING SPACE COUNT
	HANDICAP PARKING SPACE
	TREE POSITION INDICATOR
	SIGN

IF YOU DIG

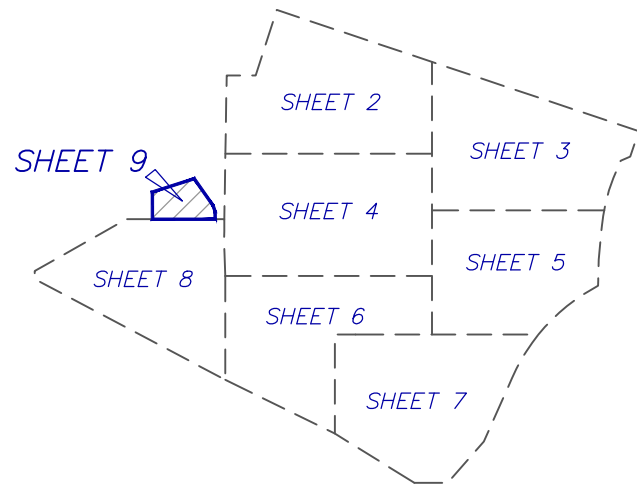


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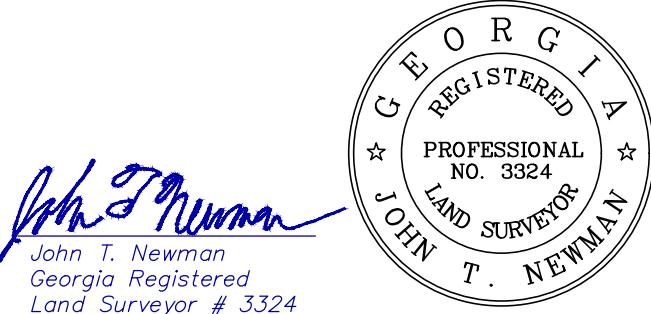
GRAPHIC SCALE



SHEET INDEX



9 SHEET  
OF  
10



ALTA/NSPS LAND TITLE SURVEY

North Dekalb Mall

FOR

Edens Limited Partnership

Edens Realty, Inc

First American Title Insurance Company

GS JOB NO:	20175643	DRAWING SCALE:	1" = 40'	SURVEY DATE:	08-04-2021
FIELD WORK:	ZM/WG	CITY:	UNINCORPORATED	REVISIONS	
PROJ MGR:	JTN	COUNTY:	DEKALB	STATE:	GA
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DWG FILE:	20175643-04.dwg	DISTRICT:	18TH	1.	8-19-21
				2.	9-16-21
					Description
					Address Comments
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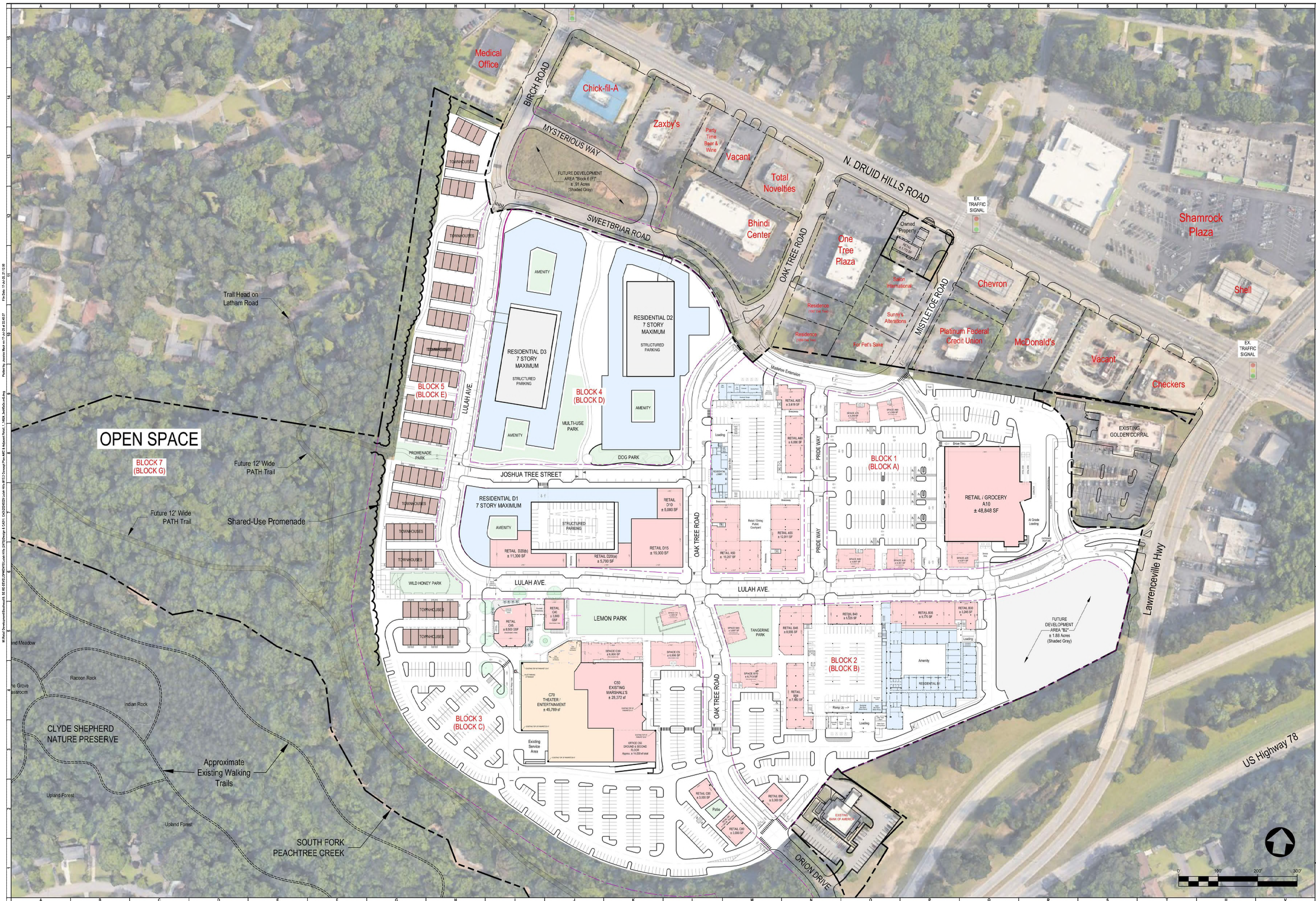






# SITE PLAN





Project: 2022020201 Latham Hills, SC 29517  
Scale: 1" = 100' (Horizontal)  
Date: 12/20/2023  
Author: J. Smith  
Reviewer: M. Jones  
Title: Preliminary Site Plan  
Status: For Review

PROJECT #

2022020201

DATE

12/20/2023

SCALE

1" = 100'

PROJECT #

2022020201

DATE

12/20/2023

SCALE

1" = 100'

PROJECT #

2022020201

DATE

12/20/2023

SCALE

1" = 100'

PROJECT #

2022020201

DATE

12/20/2023

SCALE

1" = 100'

EDENS™

1221 Main Street • Suite 1000 • Columbia, SC • 29201 Phone: 803.779.4420 • Fax: 877.217.355

M15.2







**APPROVED**

AP 1246647  
DATE 7/10/2023

This Department is not responsible for any errors or omissions by engineers or other design professionals on design or county code requirements of this project.

The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of applicable codes or of any other ordinance of the jurisdiction. Permittees presuming to give authority to violate or cancel the provisions of applicable codes or any other ordinance of the jurisdiction shall not be valid. The issuance of a permit based on construction documents and other data shall not prevent the code official from requiring the correction of errors.

Plumbing, Mechanical, Gas, and Electrical sections of these plans have not been reviewed for compliance with technical codes and will be field-verified during inspection.

A set of these approved plans shall be kept on the jobsite at all times and shall not be modified or altered without authorization from DeKalb County Development Services.

**Kimley»Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
3930 E Jones Bridge Rd #350  
PEACHTREE CORNERS, GEORGIA 30092  
PHONE (770) 825-0744  
WWW.KIMLEY-HORN.COM

EDENS<sup>®</sup>

1221 MAIN ST, SUITE 1000  
COLUMBIA, SC 29201

NO	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY
1	LDP SUBMITTAL	09/06/2023	TGB
2	LDP SUBMITTAL	11/21/2023	TGB
3	LDP SUBMITTAL	01/28/2024	TGB
4	LDP SUBMITTAL	04/25/2024	TGB
5	REVISED PRICING SET	08/19/2024	SPG
6	PERMIT REVISION	12/18/2024	SPG
7	PERMIT REVISION RESUBMITTAL	04/01/2025	SPG

LULAH HILLS PHASE 1

050 LAWRENCEVILLE HWY, DEKALB COUNTY, GA 30033



GSWCC NO. 00000095760

DRAWN BY AG

DESIGNED BY SPG

REVIEWED BY JTR

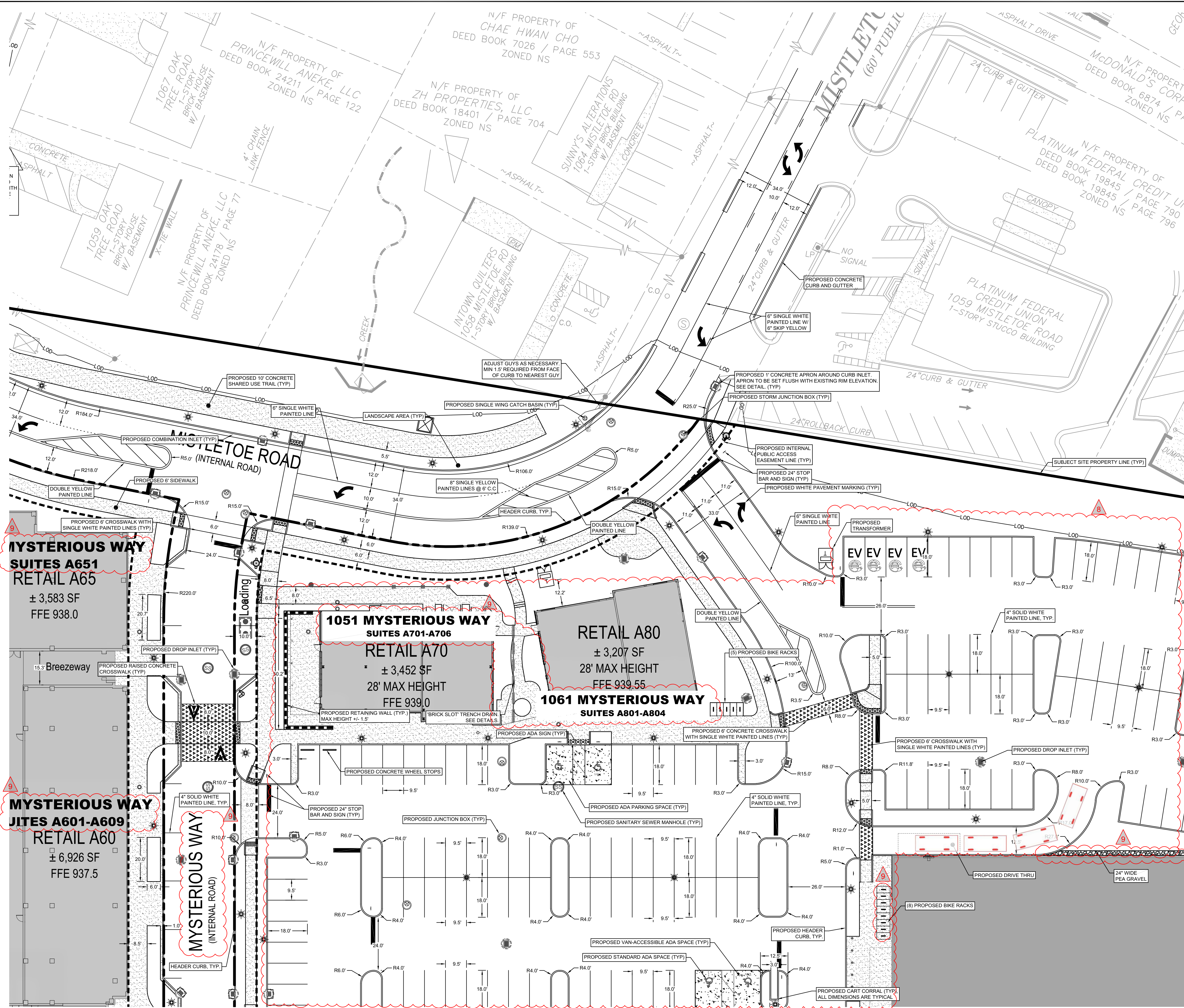
DATE	9/6/2023
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PROJECT NO. 018381020

TITLE  
DETAILED SITE  
PLAN VIEW 4 OF  
15

SHEET NUMBER  
**C2.13**

Drawing name: K:\atl civil\018381014 north dekalb mall\CAD\plansheets\DETAILED SITE PLAN VIEW 4 OF 14 Apr 07, 2025 5:01pm by: alex.gallejos

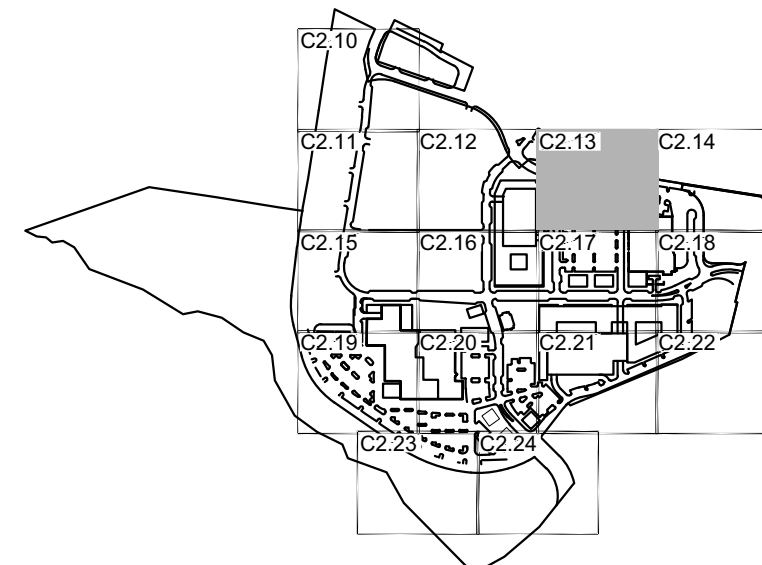


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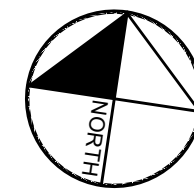
1. SEE SHEETS C2-40 TO C2-43 FOR VEHICULAR PAVEMENT LIMITS AND TYPES. LIMITS OF HATCH SHOWN REPRESENT PEDESTRIAN PAVEMENTS.
2. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. TRANSFORMER PAD LOCATIONS SHALL BE A MINIMUM OF 10 FEET FROM ANY BUILDING, OVERHANGS, CANOPIES, EXTERIOR WALLS, BALCONIES, EXTERIOR STAIRS AND/OR WALKWAYS CONNECTED TO THE BUILDING. TRANSFORMER PAD EDGES SHALL BE NOT LESS THAN 14 FEET FROM ANY DOORWAY, AND BE NOT LESS THAN 10 FEET FROM ANY WIDOW OR OTHER OPENING. (CHAPTER 102-33 MOD'S TO CHAPTER 6 SECTION 604.12.)

LEGEND:

FOR SITE PLAN LEGEND (20-SC), REFER TO SHEET C2.10.



**KEY MAP**  
N.T.S.



GRAPHIC SCALE IN FEET



# GEORGIA811.

**Utility Protection Center, Inc.**

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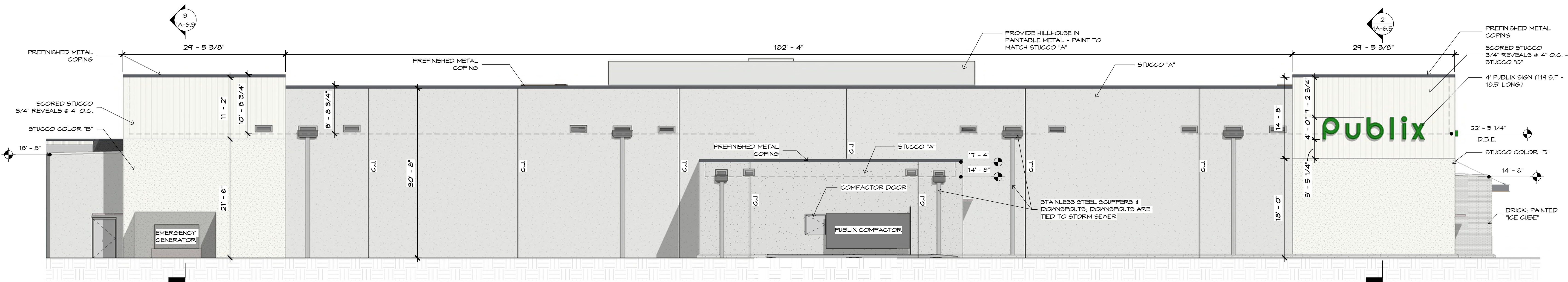


# ELEVATIONS

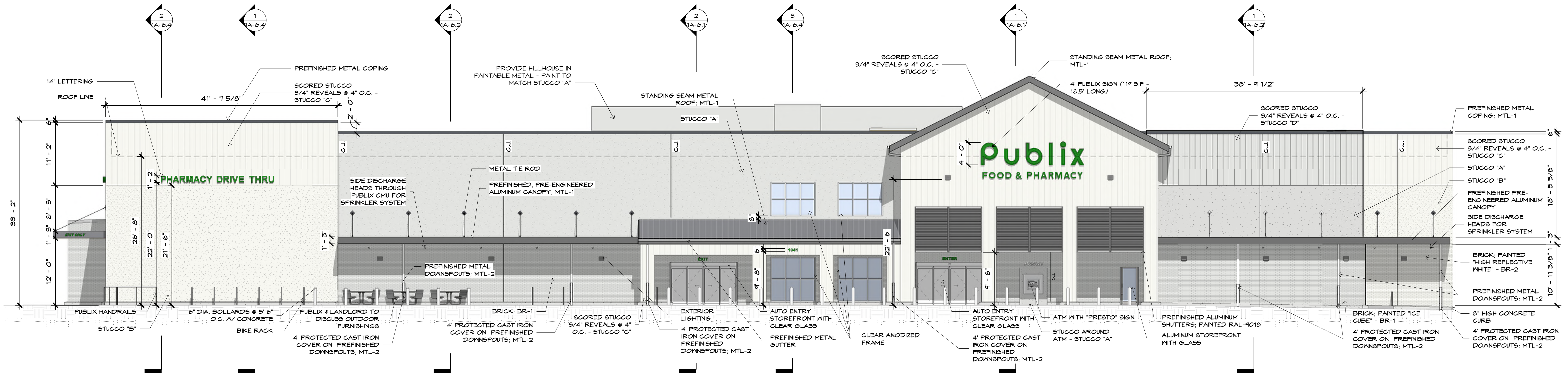


EXTERIOR FINISH SCHEDULE			
MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	CHEROKEE BRICK	PAINTED SW6252 ICE CUBE	MODULAR, SMOOTH
BR-2 - BRICK 2	CHEROKEE BRICK	PAINTED SW7151 HIGH REFLECTIVE WHITE	MODULAR, SMOOTH
BRICK MORTAR	COOSA	MASON'S GRAY	TOOLED CONCAVE JOINTS
STUCCO "A"	DRYVIT	SW6252 ICE CUBE	SAND FINE
STUCCO "B"	DRYVIT	SW7151 HIGH REFLECTIVE WHITE	SAND FINE
STUCCO "C"	DRYVIT	SW7151 HIGH REFLECTIVE WHITE	SAND FINE WITH VERTICAL REVEALS @ 4" O.C.
STUCCO "D"	DRYVIT	SW6252 ICE CUBE	SAND FINE WITH VERTICAL REVEALS @ 4" O.C.
ALUMINUM STOREFRONT FRAME	BY PUBLIX	CLEAR ANODIZED FRAME	
MTL-1 - PREFINISHED METAL 1 - COPING, CANOPY, & SS METAL ROOFING	PAC-CLAD	SLATE GREY	
MTL-2 - PREFINISHED METAL 2 - SCUPPERS & DOWNSPOUTS	PAC-CLAD	BONE WHITE	UNLESS NOTED OTHERWISE
MTL-3 - PREFINISHED METAL 3 - ALUMINUM SHUTTERS		PAINTED RAL-9010 PAPHYRUS WHITE	

- FINISH MATERIAL NOTES:  
1. SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.  
2. ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.  
3. A SAMPLE PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



2 REAR ELEVATION  
SCALE 1/8" = 1'-0"



1 FRONT ELEVATION  
SCALE 1/8" = 1'-0"

PROJECT:  
**PUBLIX CANOPY at LULAH HILLS**  
1041 MYSTERIOUS WAY  
DECATUR, GEORGIA 30033  
FOR:  
NDM (EDENS), LLC  
Atlanta, Georgia

SHEET TITLE:  
EXTERIOR ELEVATIONS

ISSUE DATE:  
02/05/25  
1 07/09/25 PUBLIX COMMENTS 3

PROJECT NO: 23120  
FILE: 23120 LULAH HILLS  
DRAWN BY: MRC

PUBLIX CANOPY  
1A-4.1

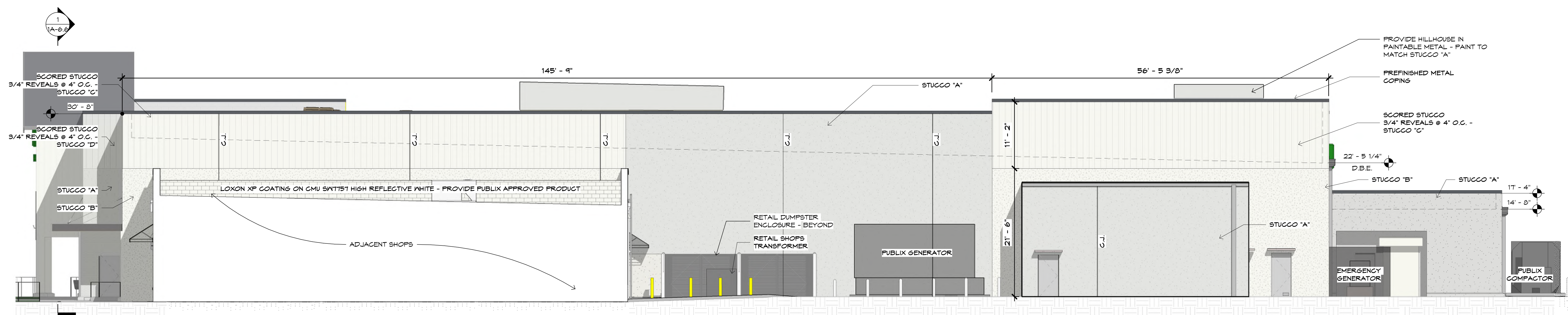


## A10 Building

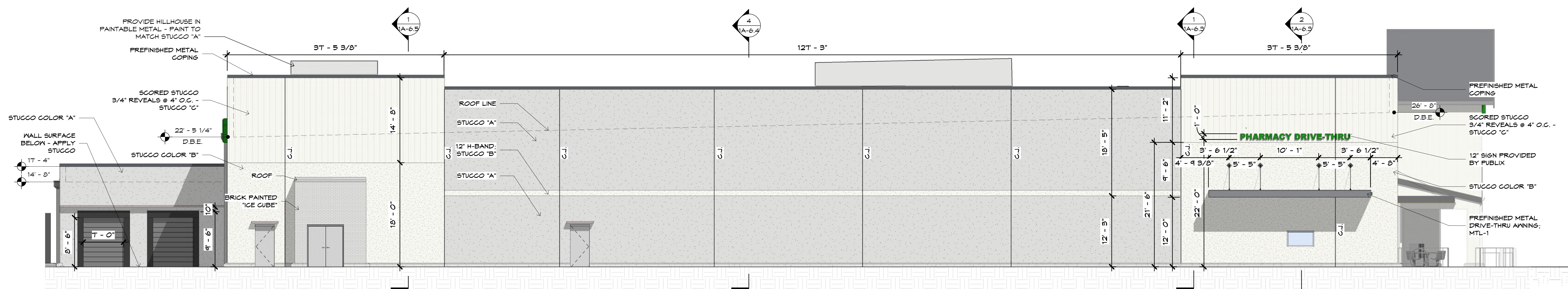
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STUCCO "B"	DRYVIT	SWT151 HIGH REFLECTIVE WHITE	SAND FINE
STUCCO "C"	DRYVIT	SWT151 HIGH REFLECTIVE WHITE	SAND FINE WITH VERTICAL REVEALS @ 4" O.C.
STUCCO "D"	DRYVIT	SW6252 ICE CUBE	SAND FINE WITH VERTICAL REVEALS @ 4" O.C.
ALUMINUM STOREFRONT FRAME	BY PUBLIX	CLEAR ANODIZED FRAME	
MTL 1 - PREFINISHED METAL 1 - COPING, CANOPY, 1/8" METAL ROOFING	FAC-CLAD	SLATE GREY	
MTL 2 - PREFINISHED METAL 2 - SCUPPERS 4 DOWNSCUTS	FAC-CLAD	BONE WHITE	UNLESS NOTED OTHERWISE
MTL 3 - PREFINISHED METAL 3 - ALUMINUM SHUTTERS		PAINTED RAL-9010 PAFYRUS WHITE	

FINISH MATERIAL NOTES:

1. SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
2. ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PAULETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
3. A SAMPLE PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



2 RIGHT ELEVATION  
1A-4.2 SCALE 1/8" = 1'-0"



1 LEFT ELEVATION  
1A-4.2 SCALE 1/8" = 1'-0"

PROJECT: **PUBLIX CANOPY at  
LULAH HILLS**  
1041 MYSTERIOUS WAY  
DECATUR, GEORGIA 30033

FOR: **NDM (EDENS), LLC**  
Atlanta, Georgia

**SHEET TITLE:**  
**EXTERIOR**  
**ELEVATIONS**

ISSUE DATE: 02/05/25

1. 05/29/25 PUBLIC COMMENTS 2.

2 07/09/25 PUBLIC COMMENTS 3.

PROJECT NO: 23120  
FILE: 23120 LULAH HILLS  
DRAWN BY: MRC

PUBLIX CANOPY

**1A-4.2**