



DEPARTMENT OF PLANNING & SUSTAINABILITY

SPECIAL LAND USE PERMIT APPLICATION

Amendments will not be accepted after 5 working days after the filing deadline.

Date Received: 08/14/2025 Application No: 1247732

APPLICANT NAME: Rohail Hada

Daytime Phone: 470-354-9989 E-Mail: office@ataiconstruction.com

Mailing Address: 1400 Indian Trail Lilburn Road NW, Norcross, GA, 30084

Owner Name: Yihu Memorial Inc
(If more than one owner, attach contact information for each owner)

Daytime Phone: 404-610-6630 E-Mail: rohail@ataiconstruction.com

Mailing Address: 1400 Indian Trail Lilburn Road NW, Norcross, GA, 30084

SUBJECT PROPERTY ADDRESS OR LOCATION: 4144 Memorial Drive, Decatur,
DeKalb County, GA 30032

Parcel ID: 15 231 05 002 Acreage or Square Feet: ~~1.01~~ Commission Districts: 4 & 6

Existing Zoning: C-1 Proposed Special Land Use (SLUP): Convenience Store with Gas Pumps

I hereby authorize the staff of the Planning and Sustainable Department to inspect the property that is the subject of this application.

Owner: _____ Agent: ^{Rohail Hada} _____

Signature of Applicant: 



Notice of Special Land Use Permit Application Community Meeting

To Whom it May Concern

Date: 07/25/2025

On behalf of the property owners of 4144 Memorial Drive, Decatur, GA 30032. We are planning to apply for a Dekalb County *Special Land Use Permit* to Extended the store size of existing convenience store and relocate the existing gas pumps. Find out more about the project, ask questions, and voice your opinion at the following community meeting:

Date: 08/11/2025

Time: 4:00 PM (EST)

Location: Zoom Link for virtual meeting

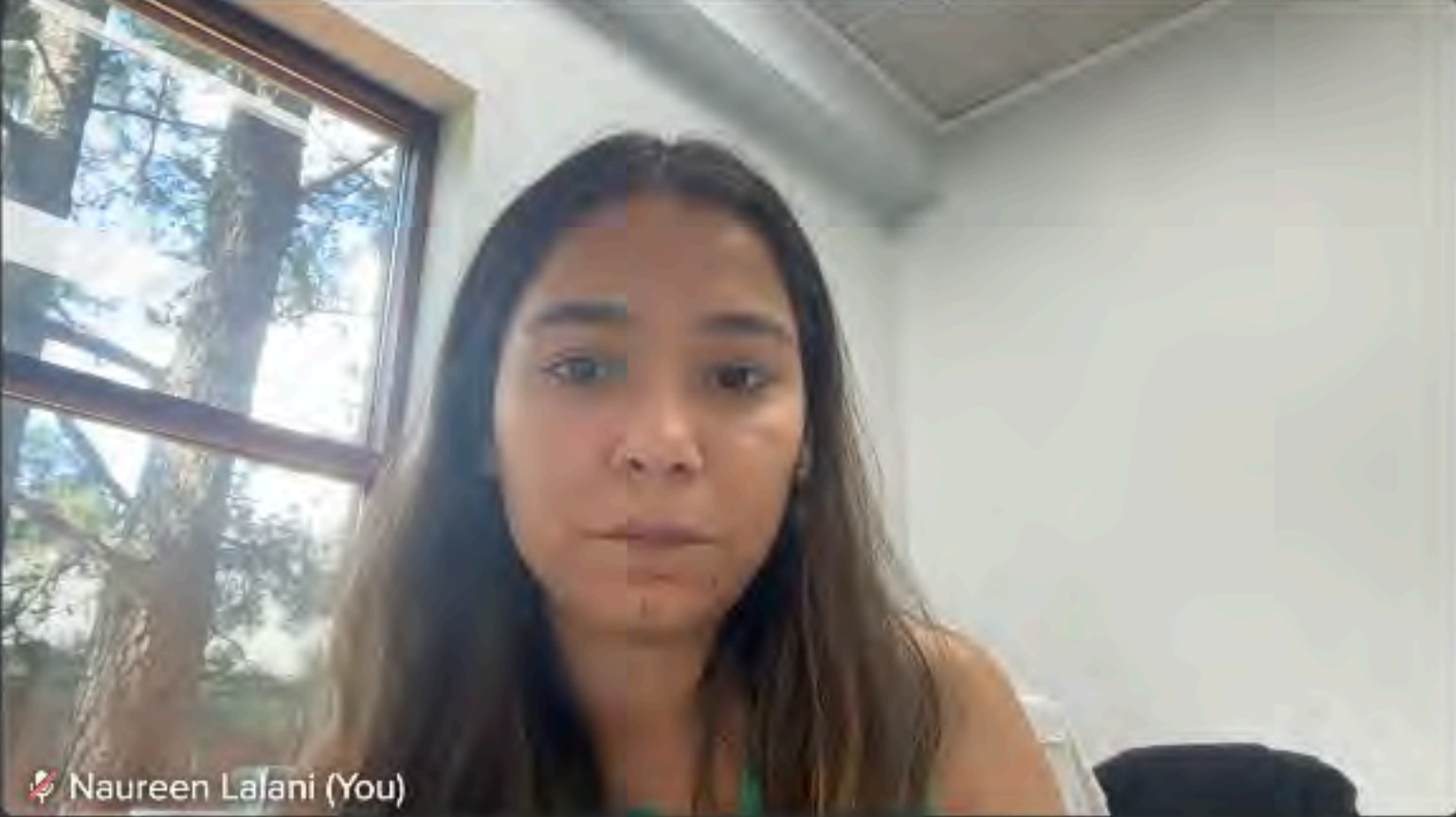
<https://v.ringcentral.com/join/869724022>

If you have any questions about the meeting, please call 470-502-3434 Ext. 101 or e-mail office@ataiconstruction.com. We look forward to seeing you there!


Sincerely,

Atai Constructions LLC


Report issue REC 4:32



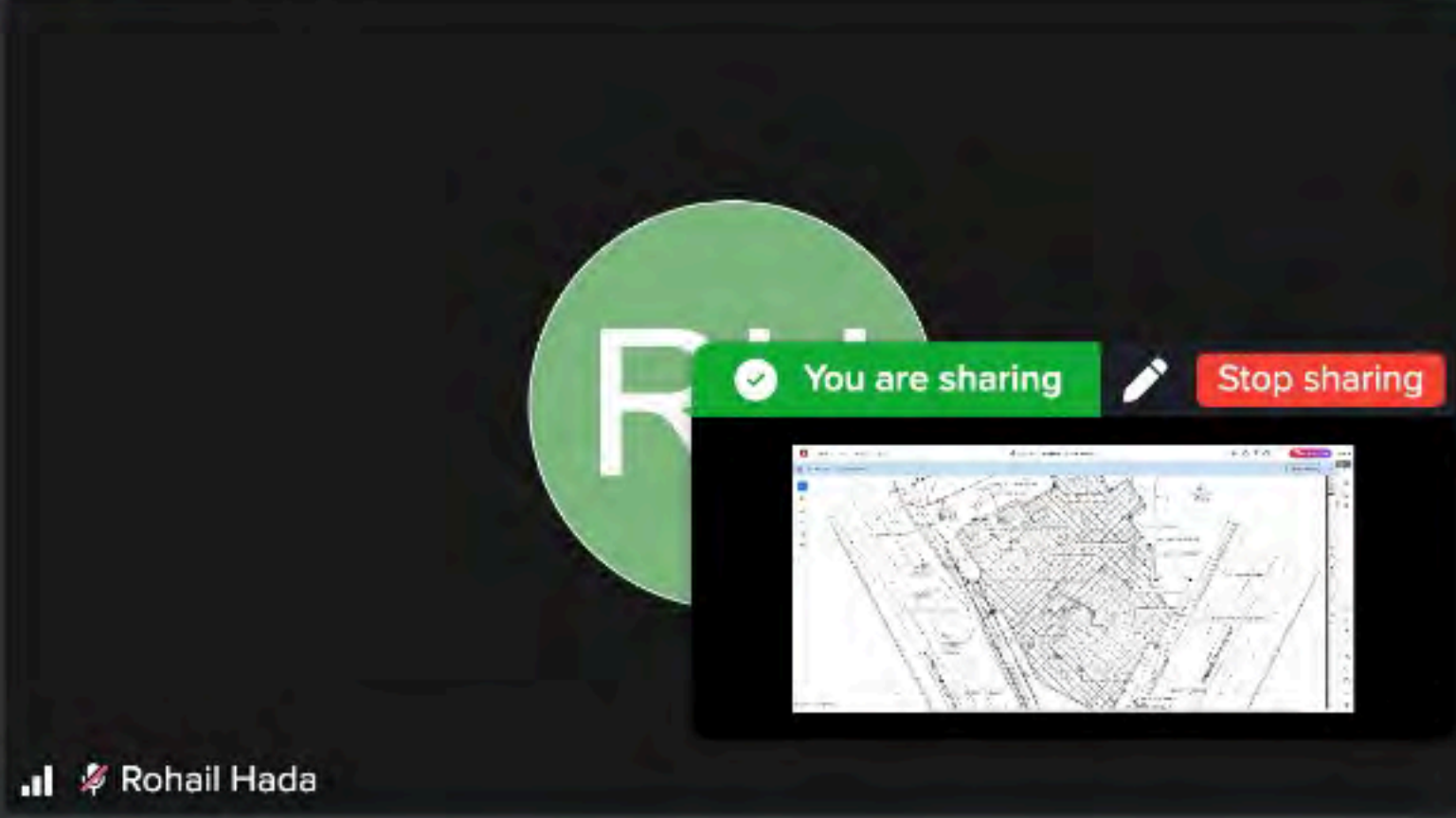
Naureen Lalani (You)



Joedie Scott









+17708157797










Rohail Hada





Participa... (4) Chat Transcript Notes





00:07:20




Naureen Lalani
(You, Host)

+17708157797

Joedie Scott

Rohail Hada

NOT CONNECTED

B Miller
Disconnected

Stop sharing



Participa... (2)



Chat



Transcript



Notes



Allow

Everyone to chat



With everyone

Privately



JS

Joedie Scott

4:12 PM

Joedie Scott

JS

Joedie Scott

4:14 PM

And Beverly Miller

op sharing



Message to everyone

0 / 1000

LETTER OF APPLICATION

Proposed Zoning Classification

The current zoning of the property is C1. We are not requesting rezoning however, a Special Land Use Permit to allow for the intended commercial use consistent with the surrounding corridor. The current use is RC and it will remain RC

Reason for Rezoning Request

The request is for a Special Land Use Permit to accommodate the proposed development of convenience store and gas pumps with the sales of beer and wine which requires a SLUP under the current zoning classification. The proposed classification will align with the County's Comprehensive Plan and the existing commercial character of Covington Road and Memorial Drive.

Existing and Proposed Use of the Property

- **Existing Use:** The site is currently RC - convenience store with gas pumps and sales of beer and wine
- **Proposed Use:** The property will be redeveloped as a RC - convenience store with gas pumps and sale of beer and wine

Characteristics of the Proposed Use

- **Floor Area:** The proposed building will contain approximately 5,000 SqFt of floor area.
- **Height:** The building will be a one-story structure with a maximum height of 21', consistent with nearby commercial buildings.
- **Site Improvements:** The plan includes adequate on-site parking (including ADA spaces), landscaped buffers, and a screened refuse enclosure.
- **Employees:** The facility is expected to employ approximately 3-4 full time employees; exact number to be decided.
- **Hours of Operation:** The proposed hours of operation are 6:00 am to 10:00pm, seven days a week. These hours are consistent with other commercial uses in the vicinity.
- **Traffic and Circulation:** The design provides safe ingress/egress from both Memorial Drive and Covington Road, with clear pedestrian circulation and emergency access.

Impact Analysis Letter for 4144 Memorial Drive

A. Adequacy of Site Size

The subject parcel provides adequate land area to accommodate the proposed use, including all required yards, open space, parking, and buffers. The site plan demonstrates compliance with zoning requirements for building setbacks, ADA parking, refuse areas, and transitional buffers.

B. Compatibility with Adjacent Properties

The proposed use is compatible with the surrounding commercial corridors along Covington Road and Memorial Drive. The project is designed to minimize potential impacts such as traffic, noise, or odor. No adverse impacts to adjoining land uses are anticipated given the commercial character of the area and the mitigation provided through site design.

C. Adequacy of Public Services

Public water, sewer, and electrical utilities are available to serve the proposed use. Police, fire, and sanitation services are currently operating in the vicinity and are adequate for the scale of the development.

D. Public Street Adequacy

The subject property fronts both Memorial Drive (110' R/W) and Covington Road (100' R/W), which are major arterials with sufficient capacity to handle traffic generated by the proposed development. No undue congestion is anticipated.

E. Ingress and Egress

Ingress and egress have been designed with multiple access points to promote safe traffic flow and circulation. The design accommodates pedestrian safety, fire access, and emergency response.

F. Hours and Manner of Operation

The manner and hours of operation are consistent with other nearby commercial establishments. No adverse impacts to residential or institutional uses are anticipated.

G. Zoning Consistency

The proposed use complies with the intent and standards of the zoning district. All required design, landscaping, and parking standards will be met.

H. Comprehensive Plan Consistency

The proposal is consistent with the County's Comprehensive Plan, which envisions appropriate commercial development along key transportation corridors. The use supports planned economic activity and service provision for the surrounding community.

I. Refuse and Service Areas

A dedicated dumpster enclosure is provided on site, screened from public view and accessible for service vehicles. Adequate refuse and service areas are included in the plan.

J. Duration of Permit

The application seeks a permanent Special Land Use Permit; a time limit is not necessary given the nature of the project.

K. Size, Scale, and Massing

The size and scale of the proposed building are appropriate for the subject parcel and consistent with adjacent commercial buildings. The proposed building height will not create adverse shadow impacts on adjoining properties.

L. Historic and Archaeological Impacts

There are no known historic buildings, districts, or archaeological resources on or adjacent to the site. No adverse impacts are anticipated.

M. Supplemental Regulations

The proposed development satisfies all supplemental regulations applicable to this use, including site design, screening, and parking.

N. Community Needs

The proposed use addresses community needs by providing services consistent with surrounding land use patterns and supporting corridor revitalization. Feedback received during the review process will continue to guide refinements.

DEPARTMENT OF PLANNING & SUSTAINABILITY

AUTHORIZATION

The property owner should complete this form or a similar signed and notarized form if the individual who will file the application with the County is not the property owner.

Date: 08/14/2025

TO WHOM IT MAY CONCERN:

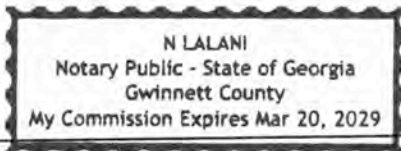
(I), (WE) 4444 Memorial Inc
Name of owners(s) (If more than one owner, attach a separate sheet)

Being (owner) (owners) of the subject property described below or attached hereby delegate authority to:

Rohail Hada

Name of Agent or Representative

to file an application on (my), (our) behalf.



Notary Public

N LALANI

Rohail Hada

Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

DISCLOSURE OF CAMPAIGN CONTRIBUTION

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

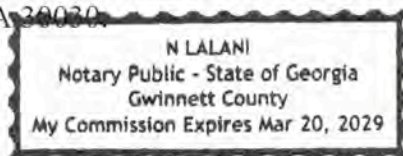
Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filing of this application?

Yes _____ No X *

If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

1. The name and official position of the local government official to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and to the Board of Commissioners of DeKalb County, 1300 Commerce Drive, Decatur, GA 30030.



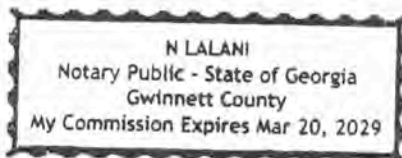
N Lalani

Notary

Signature of Applicant /Date

[Signature]

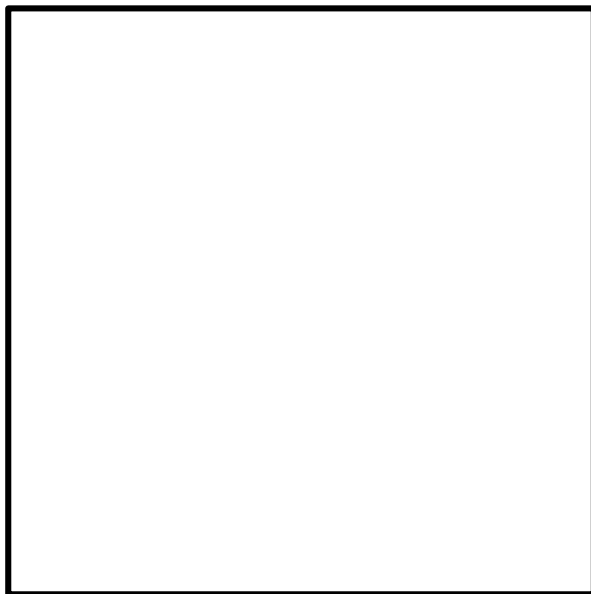
Check one: Owner _____ Agent ✓



03/20/2029.

Expiration Date/ Seal

*Notary seal not needed if answer is "no".



THIS BLOCK RESERVED FOR THE
CLERK OF THE SUPERIOR COURT

LEGEND

DB	DEED BOOK
PB	PLAT BOOK
PG	PAGE
LL	LAND LOT
OTP	OPEN TOP PIPE
RB	REBAR
IPF	IRON PIN FOUND
IPS	1/2" REBAR W/C FDC 000995
CTP	CRIMP TOP PIPE
C&G	CURB & GUTTER
RAW	RIGHT OF WAY
N/F	NOW OR FORMERLY
-E-	OVERHEAD POWER LINE
sq ft	SQUARE FOOT
REF	REFERENCE
TBM	TEMPORARY BENCHMARK
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
CMP	CORRUGATED METAL PIPE
R	PROPERTY LINE
C	CENTERLINE
ID	IDENTIFICATION
B.S.L.	BUILDING SETBACK LINE
BOC	BACK OF CURB
C	CURVE LABEL
CI	CURB INLET
DE	DRAINAGE EASEMENT
EOP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
L	LINE LABEL
PKS	PK NAIL SET
SSE	SANITARY SEWER EASEMENT
UE	UTILITY EASEMENT
SWMF	STORMWATER MANAGEMENT FACILITY
C/O	SEWER CLEAN OUT
	IRON PIN FOUND
	IRON PIN SET
	CALCULATED POINT
	POWER POLE
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	JUNCTION BOX
	SANITARY SEWER MANHOLE
	DROP INLET
	R/W OR CONC. MONUMENT
	SINGLE WING CATCH BASIN
	DOUBLE WING CATCH BASIN
	CURB INLET
	HEADWALL
	FLARED END SECTION
	GAS METER
	GAS VALVE
	ELECTRIC TRANSFORMER
	TELEPHONE PEDESTAL
	LIGHT POST
	ASPHALT
	CONCRETE

SURVEY NOTES

- EQUIPMENT USED : TOPCON ROBOTIC D2 TOTAL STATION - TOPCON RTK GPS ROVER.
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000 FEET AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 142,672 FEET.
- THIS PROPERTY IS SUBJECT TO ALL ZONING ORDINANCES, SETBACK LINES AND EASEMENTS OF RECORD LYING WITHIN.
- AS SHOWN ON FLOOD INSURANCE RATE MAPS OF CITY OF AVONDALE ESTATES, DEKALB COUNTY, GEORGIA COMMUNITY PANEL NUMBER 13089C0069J THIS PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE.
- THIS SURVEY IS REFERENCED TO HORIZONTAL DATUM SPC NAVD 83 AND VERTICAL DATUM.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATE HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR: ATAI CONSTRUCTION

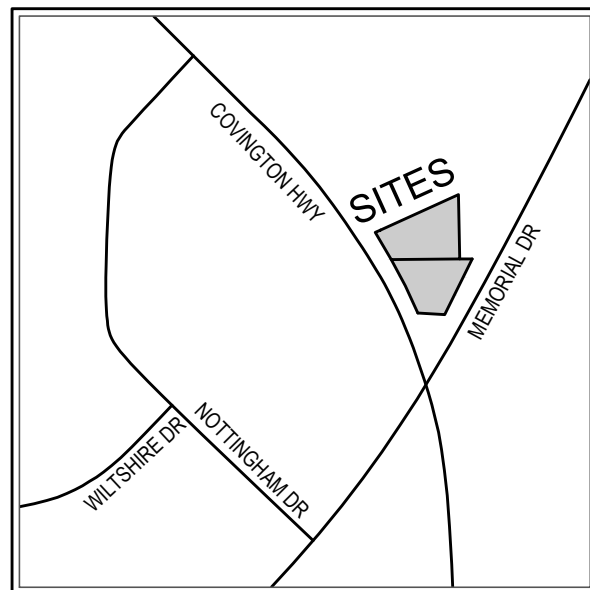
PARCEL IDS:
15 231 05 003 & 15 231 05 002
LAND LOT 231, 15TH DISTRICT
DEKALB COUNTY, GEORGIA

PARCEL ID:
15 231 05 003

AREA
24,582 sq.ft.
0.56 acres

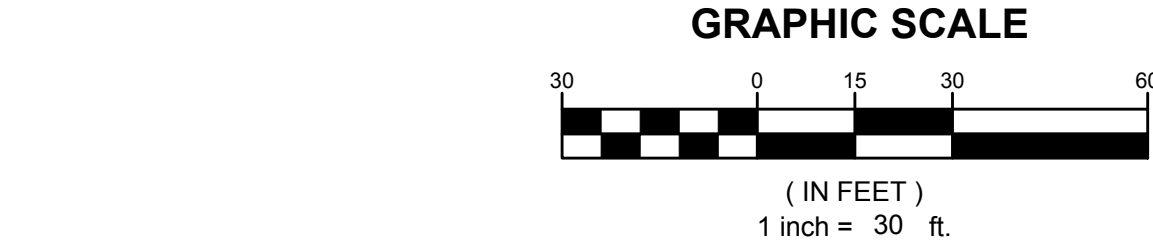
PARCEL ID:
15 231 05 002

AREA
19,702 sq.ft.
0.45 acres



VICINITY MAP

N.T.S.



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

SURVEYORS CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Cullen Preston Hardee
CULLEN PRESTON HARDEE
REGISTERED LAND SURVEYOR #3144, LSF 001321

04/16/2025
DATE

1254 CONCORD ROAD, SUITE 103
SAVANNAH, GEORGIA 30406
Ph: (770) 293-5333
www.united-als.com

VISIT US ON OUR WEBSITE:

UNITED LAND SURVEYING
COA NO. LSF 001321

BOUNDARY & TOPOGRAPHIC SURVEY
ATAI CONSTRUCTION
PARCEL IDS:
15 231 05 003 & 15 231 05 002
LAND LOT 231, 15TH DISTRICT
DEKALB COUNTY
GEORGIA

REVISIONS			
1.			
2.			
3.			
4.			

LEGAL REFERENCE:	
DEED BOOK: 6444/20469	PAGE: 389/265
PLAT BOOK: ---	PAGE: ---

SHEET 1 OF 1

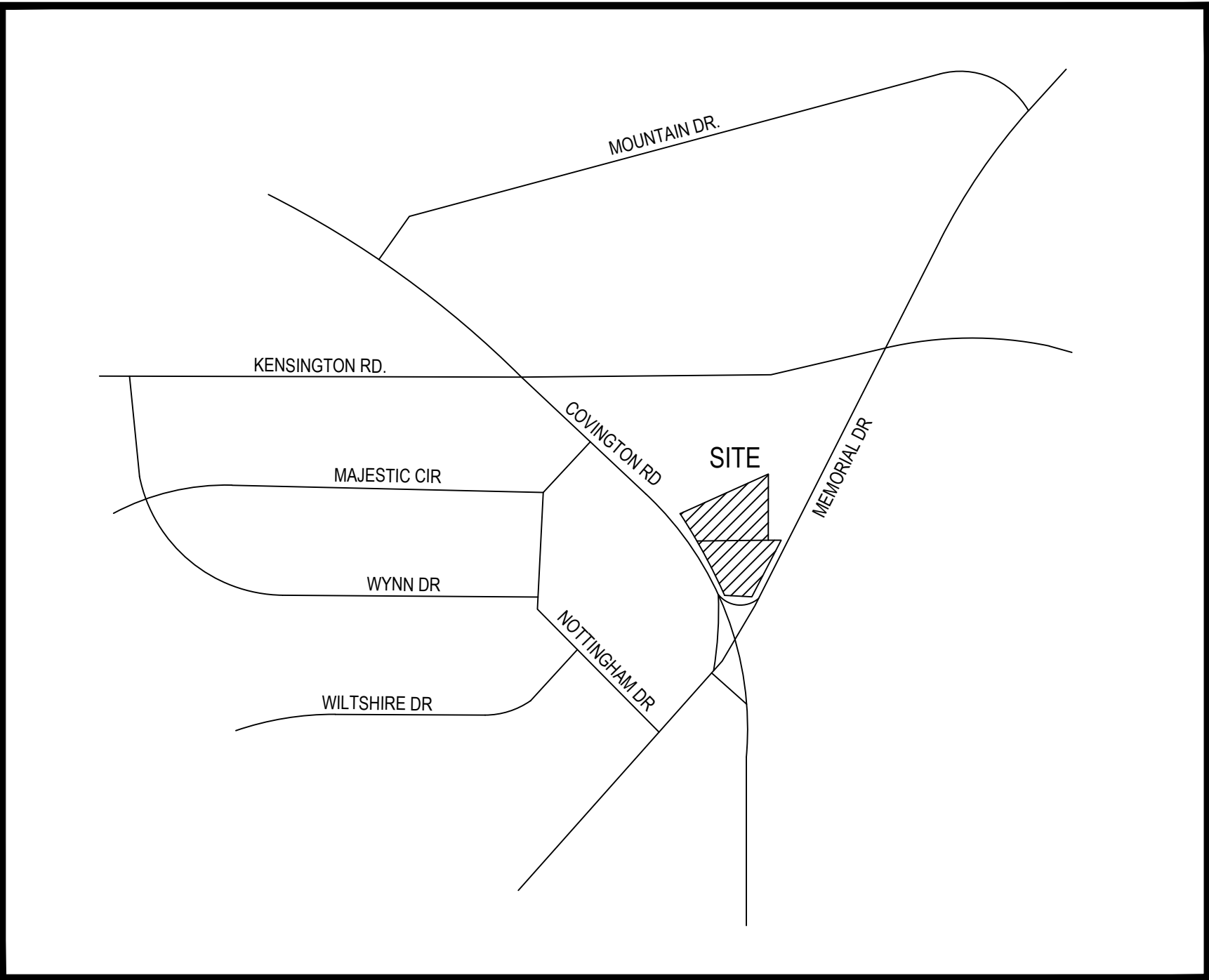
PLAT DATE:	04/16/2025
FIELD DATE:	03/26/2025
SCALE:	1" = 30'
DRAWN BY:	E.L.Z.
REVIEWED BY:	C.P.H.



JOB NUMBER:
25-115

UNITED LAND SURVEYING, LLC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT PRIOR WRITTEN PERMISSION FROM UNITED LAND SURVEYING, LLC. IS EXPRESSLY PROHIBITED.

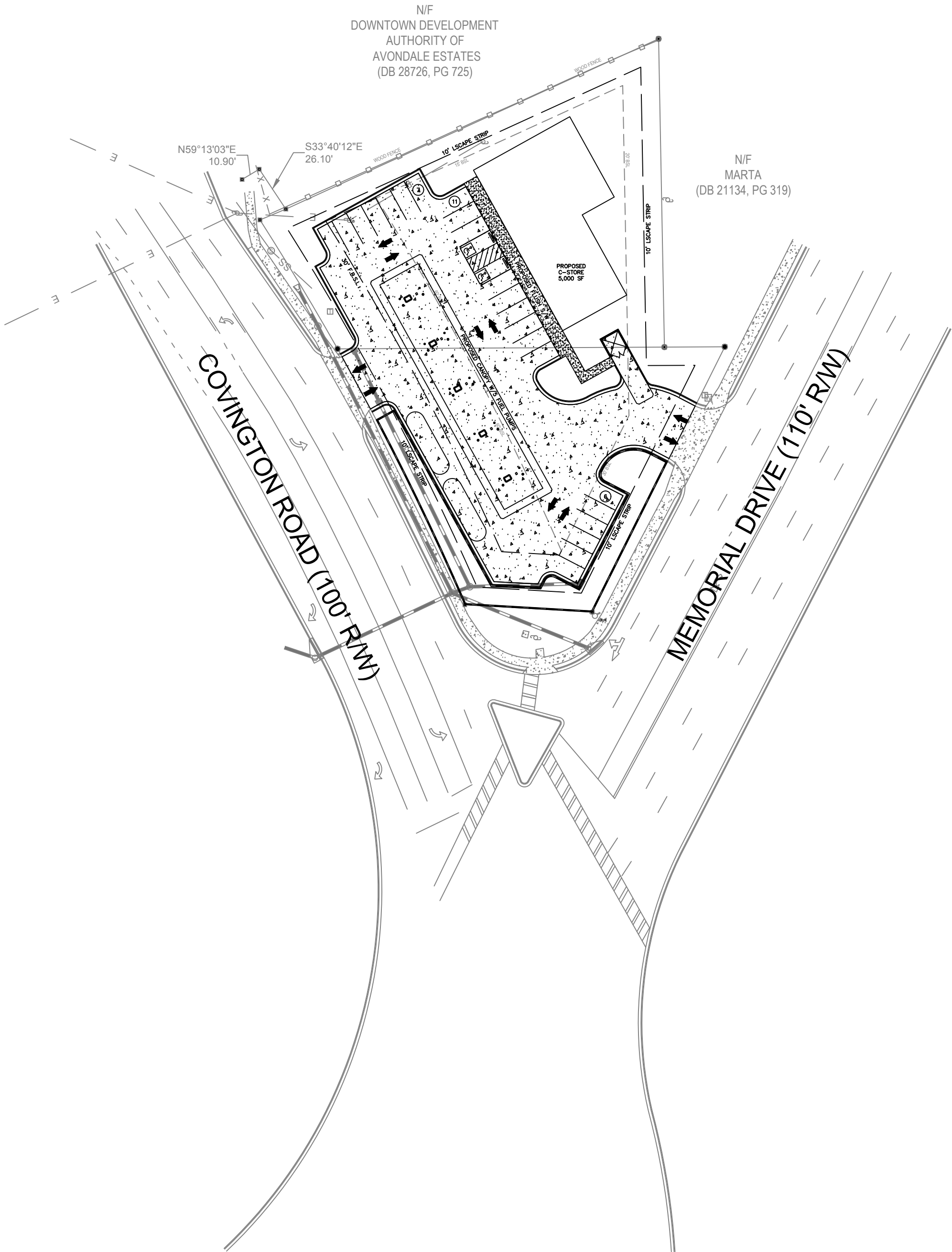
4144 MEMORIAL DR & 3416
COVINGTON HWY DECATUR, GA 30032



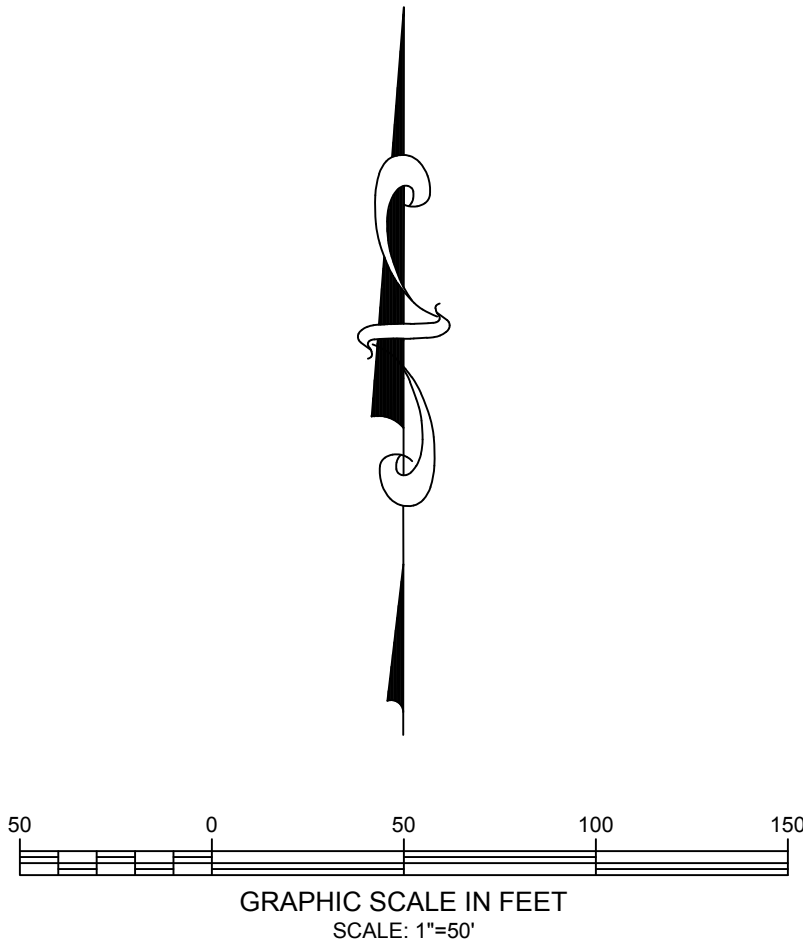
SITE LOCATION SKETCH
N.T.S

PROJECT DATA
SITE ADDRESS: 4144 MEMORIAL DR & 3416 COVINGTON HWY
OWNER: SADIYA INVESTMENTS INC
PARCEL ID: 1523105002 & 1523105003
COUNTY: DECATUR, GA 30032
ZONING:XXX
ACREAGE: 0.5 & 0.55
TOTAL DISTURBED: XXX

SHEET INDEX	
Sheet Number	Sheet Title
01	COVER SHEET
02	DEMOLITION PLAN
03	SITE PLAN
04	GRADING PLAN
05	UTILITY PLAN
06	BIORETENTION BASIN PLAN
07	EROSION CONTROL NOTES
08	EROSION CONTROL PLAN-PHASE 1
09	EROSION CONTROL PLAN-PHASE 2
10	EROSION CONTROL PLAN-PHASE 3
11	EROSION CONTROL DETAILS
12	CONSTRUCTION DETAILS

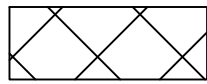


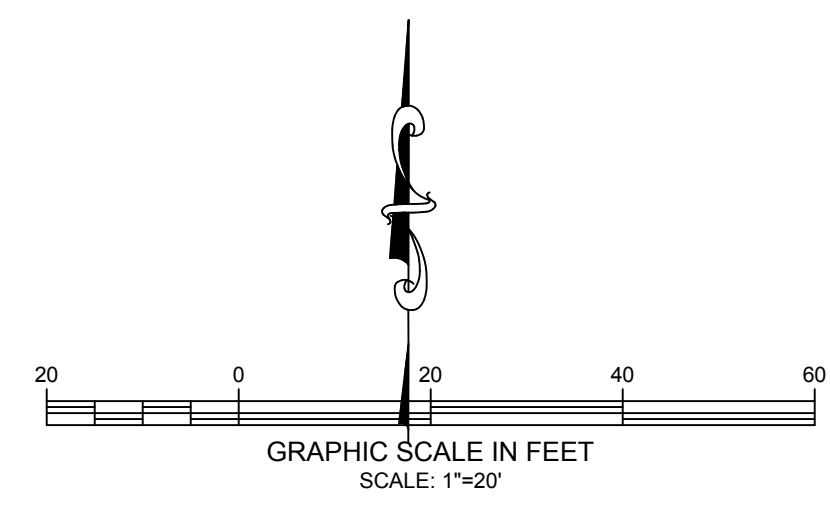
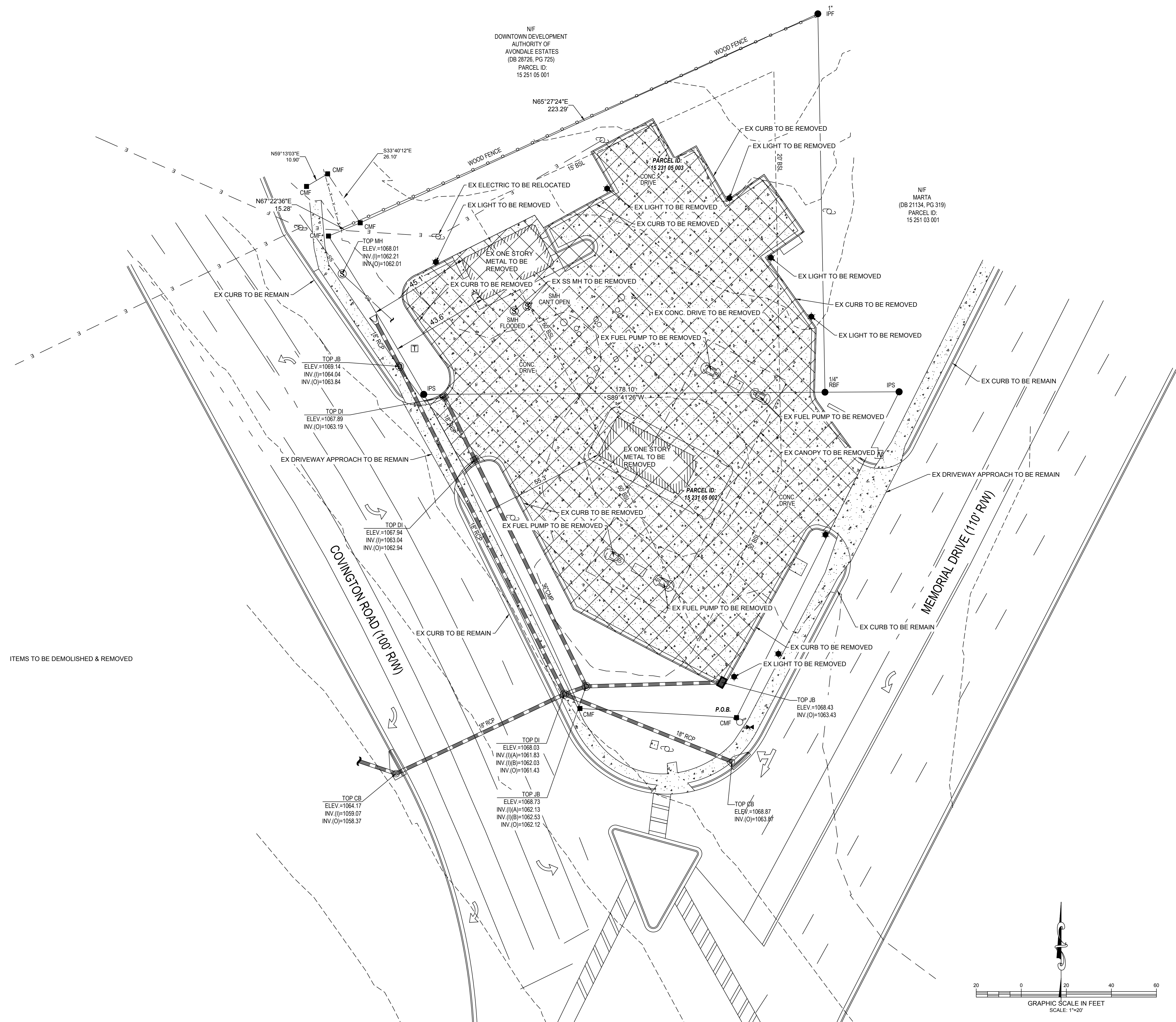
COVER SHEET
SCALE: 1"=50'



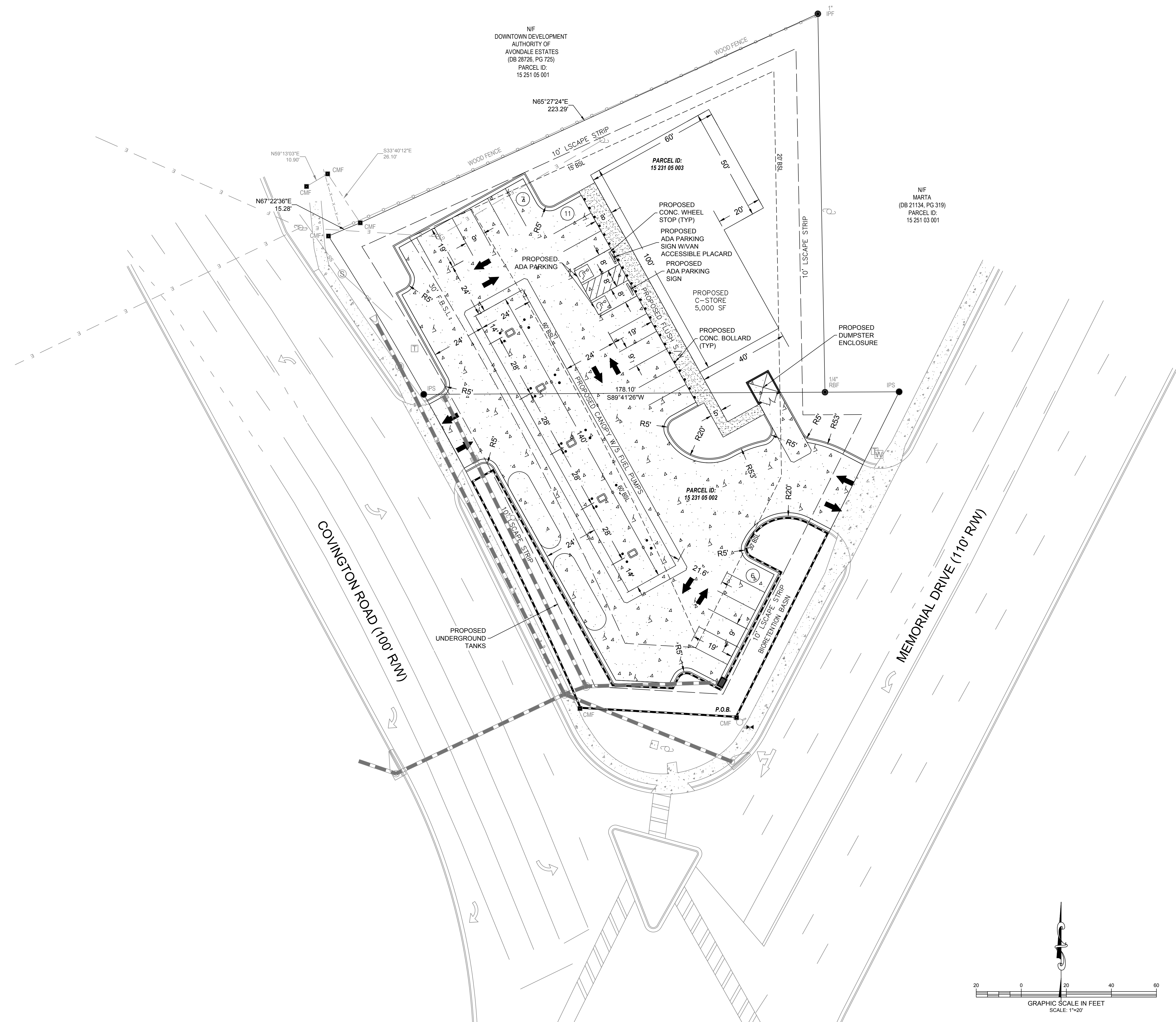
DESCRIPTION	
DATE	
NO.	
DATE:	5/26/2025
DESIGNED BY:	AARON WADLEY
DRAWN BY:	A2ZCE
CHECKED BY:	AARON WADLEY
LINCO PLANNING ENGINEERING CONSTRUCTION MADISON, GEORGIA AARON.WADLEY@LINCOPECCOM 706.318.5425	
MEMORIAL DRIVE C-STORE 4144 MEMORIAL DR & 3416 COVINGTON HWY DECATUR, GA 30032	
COVER SHEET	
SHEET NUMBER: 01 of 12	



LEGEND:
 ITEMS TO BE DEMOLISHED & REMOVED



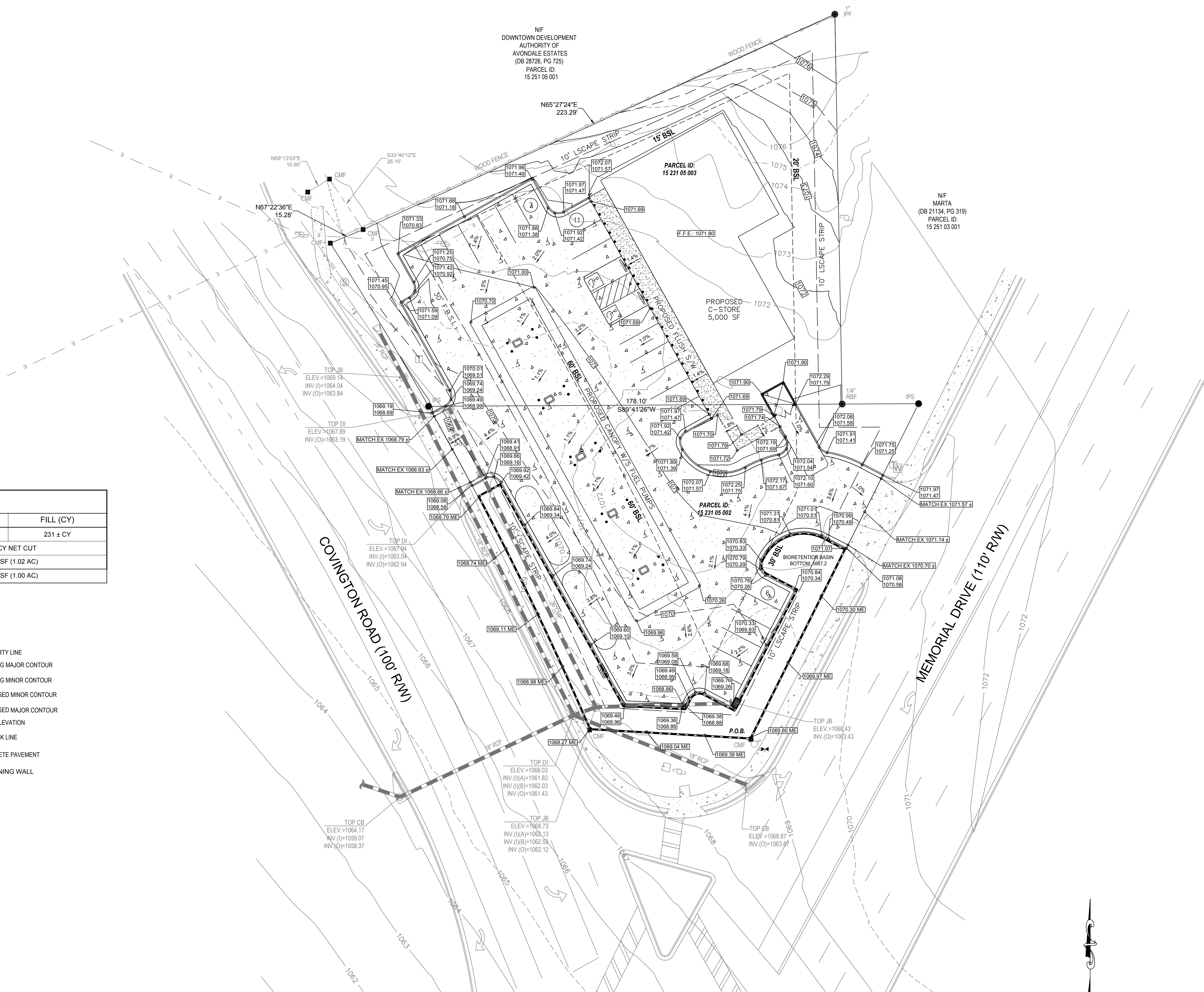
DESCRIPTION	
NO.	DATE
DATE: 5/26/2025	
DESIGNED BY: AARON WADLEY	
DRAWN BY: A2ZCE	
CHECKED BY: AARON WADLEY	
LNCO PLANNING ENGINEERING CONSTRUCTION MADISON, GEORGIA AARON.WADLEY@LNCOPEC.COM 706.318.5425	
MEMORIAL DRIVE C-STORE 4144 MEMORIAL DR & 3416 COVINGTON HWY DECATUR, GA 30032	
DEMOLITION PLAN	
SHEET NUMBER: 02 of 12	



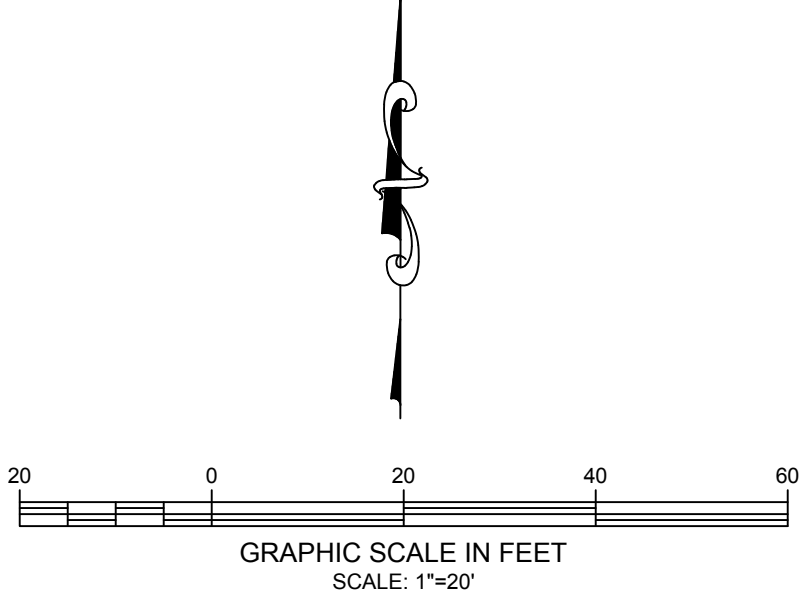
DESCRIPTION	
NO.	DATE
DATE: 5/26/2025	
DESIGNED BY: AARON WADLEY	
DRAWN BY: AZZCE	
CHECKED BY: AARON WADLEY	
LINCO PLANNING ENGINEERING CONSTRUCTION MADISON, GEORGIA AARON.WADLEY@LINCOPECCOM 706.318.5425	
MEMORIAL DRIVE C-STORE 4144 MEMORIAL DR & 3416 COVINGTON HWY DECATUR, GA 30032	
SITE PLAN	
SHEET NUMBER: 03 of 12	

EARTHWORK SUMMARY		
TOTAL QUANTITIES & AREAS	CUT (CY)	FILL (CY)
TOTAL QUANTITY	1199 ± CY	231 ± CY
TOTAL QUANTITY DIFFERENCE	968 ± CY NET CUT	
TOTAL PROJECT AREA	44,284 SF (1.02 AC)	
TOTAL DISTURBED AREA	43,625 SF (1.00 AC)	

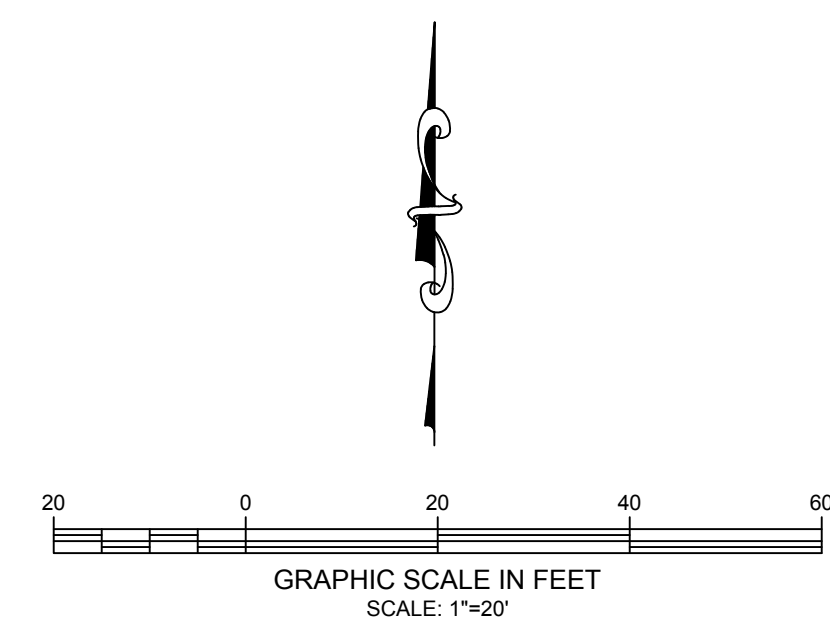
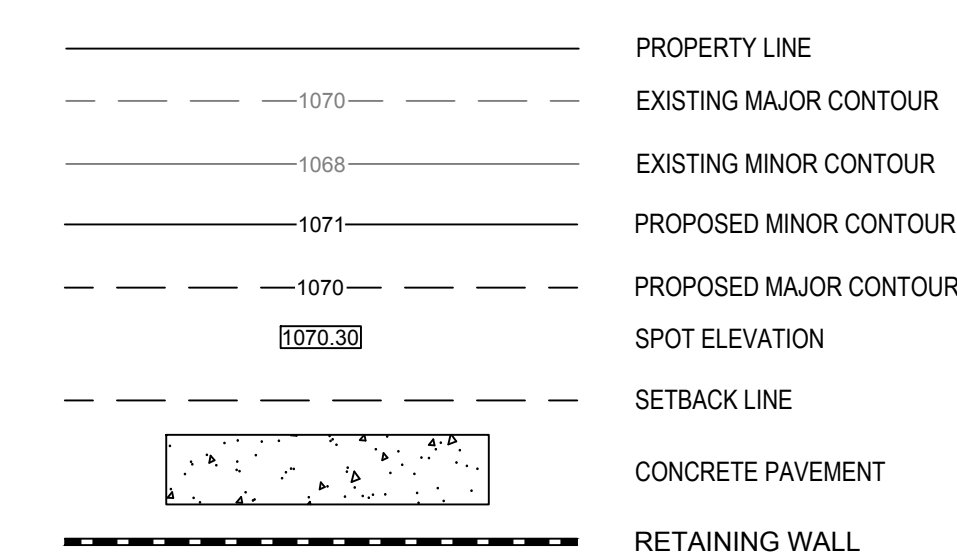
LEGENDS:	
	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	SPOT ELEVATION
	SETBACK LINE
	CONCRETE PAVEMENT
	RETAINING WALL



GRADING PLAN
SCALE: 1"=20'



DESCRIPTION	
DATE	
NO.	
DATE:	5/26/2025
DESIGNED BY:	AARON WADLEY
DRAWN BY:	A2ZCE
CHECKED BY:	AARON WADLEY
LNCO PLANNING ENGINEERING CONSTRUCTION MADISON, GEORGIA AARON.WADLEY@LNCOPECCOM 706.318.5425	
MEMORIAL DRIVE C-STORE 4144 MEMORIAL DR & 3416 COVINGTON HWY DECATUR, GA 30032	
GRADING PLAN	
SHEET NUMBER: 04 of 12	



1. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT AND CERTIFY THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
2. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
3. THERE ARE NO BUFFERS REQUIRED ON SITE.
4. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
5. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
6. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
7. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
8. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
9. THE PROJECT SITE IS NOT LOCATED WITHIN 1 LINEAR MILE FROM A "BIO F" AND/OR "BIO M" IMPAIRED STREAM.
10. THERE IS NO T.M.D.L. PLAN FOR THE RECEIVING WATERS.
11. BMPs FOR CONCRETE WASHDOWN OF TOOLS, MIXER CHUTES, AND REAR OF VEHICLES ARE SHOWN ON THE ES&PC PLANS. CONCRETE TRUCK DRUMS MAY NOT BE WASHED OUT ONSITE.
12. SOIL CLEANUP AND CONTROL PRACTICES FOR SPILLS & LEAKS

* LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND - PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.

* MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL - MATERIAL AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, GLOVES, GOGGLES, CAT LITTER, - SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.

* SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO - FUTURE SPILLS.

* ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS.

* FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER). THE NATIONAL RESPONSE CENTER - (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.

* FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.

* FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.

* FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

* THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS _ OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 560 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTER _ MEASURES PLAN BY THAT LICENSED PROFESSIONAL.

13. THE SITE DRAINS TO AN ONSITE BIORETENTION BASIN.

14. FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (e.g. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE.)

15. EROSION CONTROL BMPs ARE UTILIZED TO REDUCE POLLUTANTS IN STORM WATER DISCHARGES. THESE INCLUDE SEDIMENT TRAPS, PONDS, PERIMETER CONTROLS, AND TEMPORARY & PERMANENT VEGETATIVE COVER.

PETROLEUM BASED PRODUCTS-CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORMWATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT OR MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

PAINTS/FINISHES/SOLVENTS-ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING-NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT THE DRUM ON-SITE.

FERTILIZER/HERBICIDES-THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION CONTROL. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

16. INSPECTIONS (GAR100001-IV.D.4.a)

a. Permittee requirements.

(1). Each day when any type of construction activity has taken place at a Primary Permittee's site, certified personnel provided by the Primary Permittee shall inspect: (a) all areas at the Primary Permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations at the Primary Permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted.

(2). Measure and record rainfall within disturbed areas of the site that have not met final stabilization once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday. The data collected for the purpose of compliance with this permit shall be representative of the monitored activity. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.

(3). Certified personnel (provided by the Primary Permittee) shall inspect the following at least once every seven (7) calendar days: (a) disturbed areas of the Primary Permittee's construction site; (b) areas used by the Primary Permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the Primary Permittee's site shall be observed to ensure that they are operating correctly. Certified personnel shall also conduct inspections within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first). Post-rain inspections will reset the 7-day inspection frequency requirement. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.a.(4). These inspections must be conducted until a Notice of Termination is submitted.

(4). Certified personnel (provided by the Primary Permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination has been submitted) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).

(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(5), of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction site that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit.

17a. SAMPLING FREQUENCY (GAR 100001 IV.D.6.d)

(1). The Primary Permittee must sample in accordance with the Plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any stormwater discharge to a monitored receiving water and/or from a monitored outfall location within in forty-five (45) minutes or as soon as possible.

(2). However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond the permittee's control, the permittee shall take samples as soon as possible, but in no case more than twelve (12) hours after the beginning of the stormwater discharge.

(3). Sampling by the permittee shall occur for the following qualifying events:

(a). For each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a stormwater discharge that occurs during normal business hours after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;

(b). In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a stormwater discharge that occurs during normal business hours either 90 days after the first sampling event or after all mass grading operations have been completed, but prior to submittal of a NOT, in the drainage area of the location selected as the sampling location, whichever comes first;

(c). At the time of sampling performed pursuant to (a) and (b) above, if BMPs in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained, corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours* until the selected turbidity standard is attained, or until post-rain event inspections determine that BMPs are properly designed, installed and maintained;

(d). Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the permittee, in accordance with Part IV.D.4.a.(6), must include a written justification in the inspection report of why sampling was not performed. Providing this justification does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and

(e). Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met the sampling required by (a) above shall sample in accordance with (b). Those existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as required by (c) above.

*Note that the permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day or week.

17b. REPORTING (GAR 100001 IV.E)

1. The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part II.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any stormwater discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD using the electronic submittal service provided by EPD. Sampling reports must be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.

2. All sampling reports shall include the following information:

- The rainfall amount, date, exact place and time of sampling or measurements;
- The name(s) of the certified personnel who performed the sampling and measurements;
- The date(s) analyses were performed;
- The time(s) analyses were initiated;
- The name(s) of the certified personnel who performed the analyses;
- References and written procedures, when available, for the analytical techniques or methods used;
- The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc., used to determine these results;
- Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and
- Certification statement that sampling was conducted as per the Plan.

3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate EPD District Office or delivery receipt email to the appropriate EPD District Office resource mailbox according to the schedule in Appendix A of this permit. The permittee shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI.

18. RETENTION OF RECORDS (GAR 100001 IV.F)

1. The Primary Permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- A copy of all Notices of Intent submitted to EPD;
- A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
- The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
- A copy of all sampling information, results, and reports required by this permit;
- A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
- A copy of all violation summaries and violation summary reports generated in accordance with Part III.D. of this permit; and
- Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.

2. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI. of this permit. These records must be maintained at the permittee's primary place of business or at a designated alternative location once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

19. SAMPLING ANALYSIS METHODS

THERE ARE TWO (2) SAMPLING LOCATIONS FOR THIS PROJECT. SAMPLING LOCATION A IS AT THE SOUTHWESTERN CORNER OF THE SITE BELOW THE POND OUTFALL AND PROPOSED HEADWALL (P-HW.A-1.1). SAMPLING LOCATION D IS LOCATED IN THE DITCH ALONG BROWNSVILLE RD AT THE SOUTHEASTERN CORNER OF THE SITE. SAMPLING AT THE LOCATIONS SHALL BE CONDUCTED AS FOLLOWS:

ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

(1). SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.

(2). SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.

(3). LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.

(4). MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.

(5). SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

20. APPENDIX B RATIONALE FOR NTU VALUES

STORM WATER IS TO BE SAMPLED FOR NEPHELOMETRIC TURBIDITY UNITS (NTU) AT THE OUTFALL LOCATION. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDING 75. THE VALUE THAT WAS SELECTED FROM APPENDIX B IN PERMIT NO. GAR 100001. THE NTU IS BASED UPON THE TOTAL SITE ACREAGE OF 4.51 AC FOR THE PROJECT SITE. THE SURFACE WATER DRAINAGE OF 0-4.99 SQUARE MILES, AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES. THE RECEIVING WATER IS UNNAMED TRIBUTARIES OF SWEETWATER CREEK.

WASTE DISPOSAL PRACTICES:

WASTE MATERIALS ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND ANY STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A DUMP. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AND THE INDIVIDUAL WHO MANAGES THE DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BE LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS's) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THE ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEAN UP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

SANITARY WASTE A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE SANITARY UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE ORDINANCES.

ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPs MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE. TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES, THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE ESPC PLANS GRADING PHASE, SHEET 12 & 13 BY THE CONTRACTOR ONCE THE LOCATIONS ARE DETERMINED.

SANITARY SEWER SERVICE WILL BE PROVIDED BY GRAVITY SEWER AT THE PROJECT'S COMPLETION.

OFFSITE VEHICLE TRACKING:

A STABILIZED CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

SPILL PREVENTION:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:

-AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB

-ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE

-PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURERS LABEL

-SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER

-WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER

-MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED

-THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE

HAZARDOUS PRODUCTS:

-PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RE-SEALABLE

-ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION

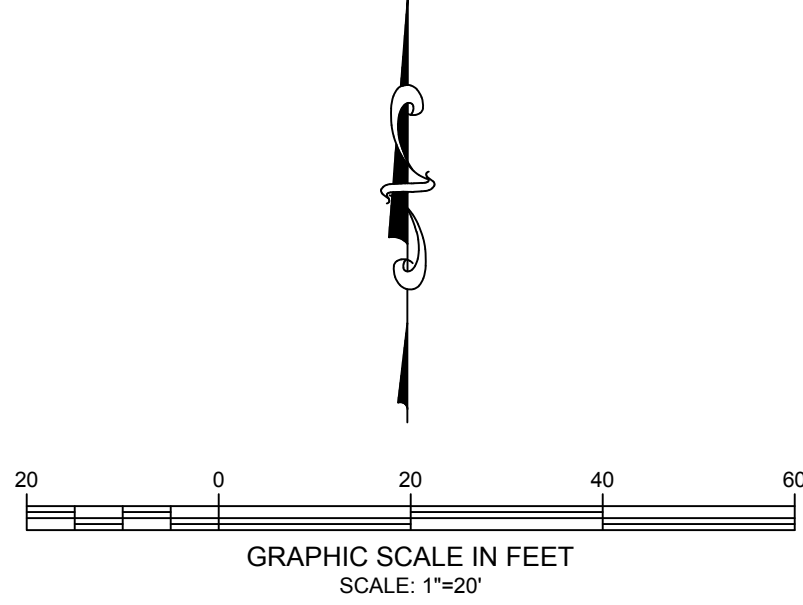
-IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED

PETROLEUM PRODUCTS:

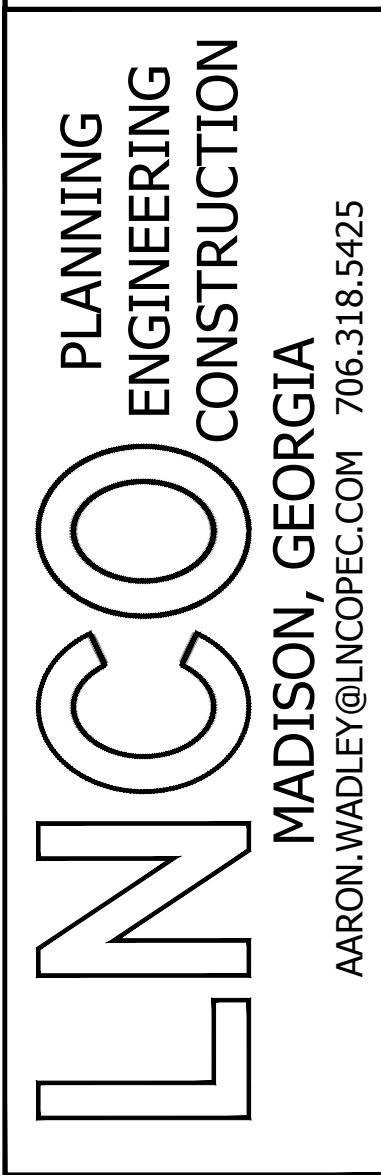
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

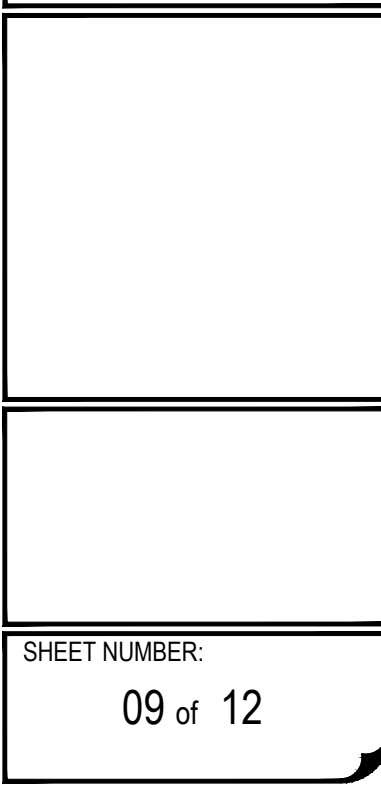
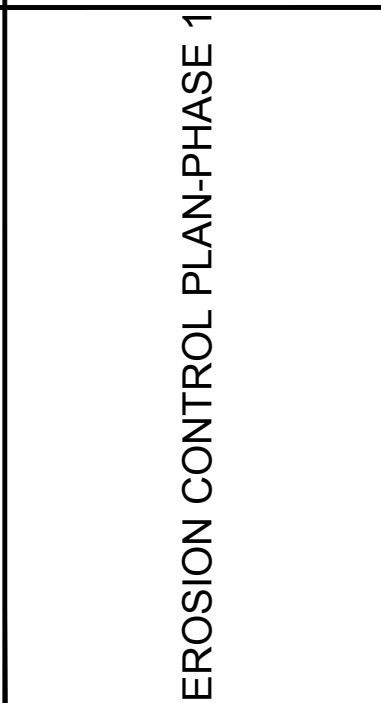
PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS INSTRUCTIONS OF STATE AND LOCAL REGULATIONS.



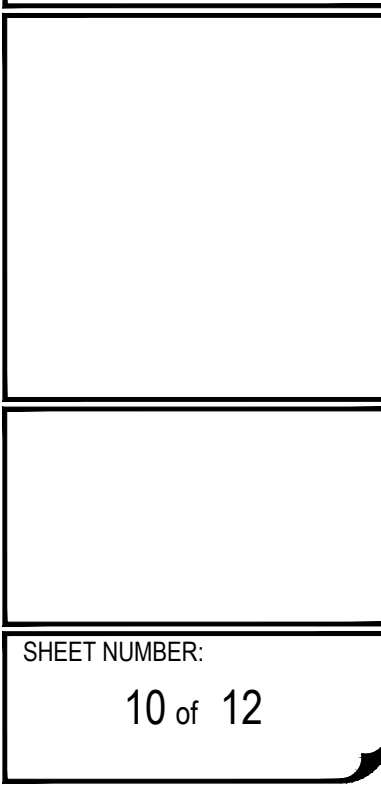
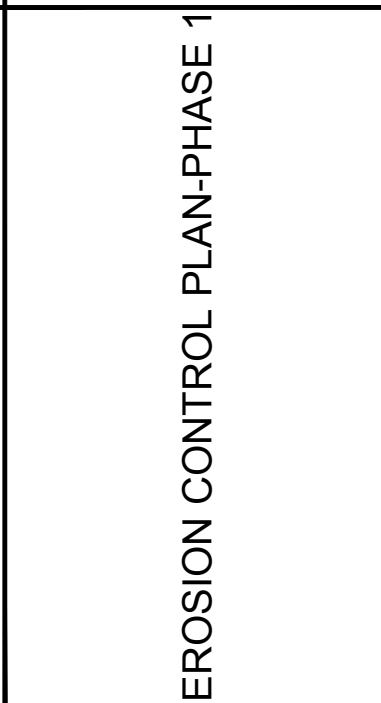
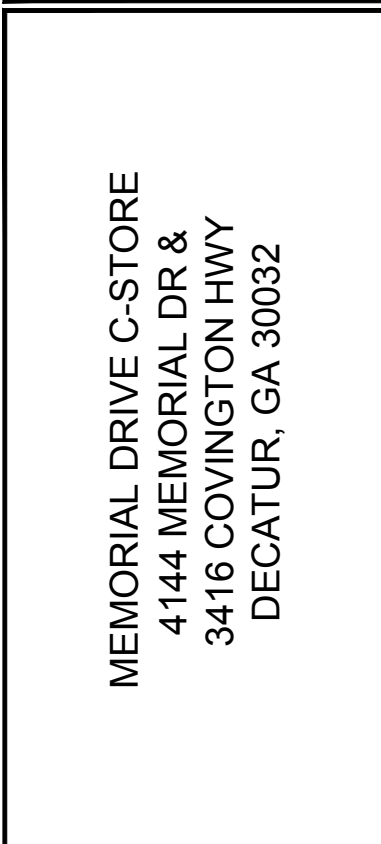
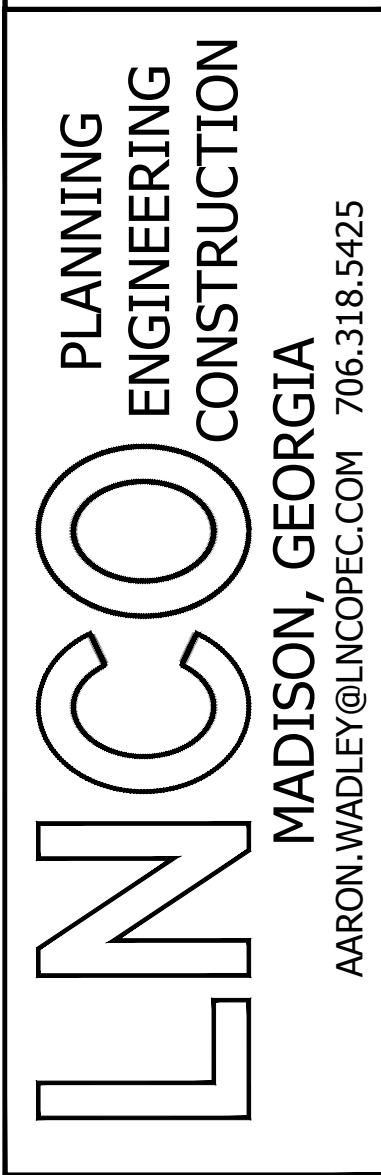
DESCRIPTION	
NO.	DATE
DATE: 5/26/2025	
DESIGNED BY: AARON WADLEY	
DRAWN BY: AZZCE	
CHECKED BY: AARON WADLEY	
PLANNING ENGINEERING CONSTRUCTION LINCO MADISON, GEORGIA AARON.WADLEY@LINCOPC.COM 706.318.5425	
MEMORIAL DRIVE C-STORE 4144 MEMORIAL DR & 3416 COVINGTON HWY DECATUR, GA 30032	
EROSION CONTROL NOTES	
SHEET NUMBER: 07 of 12	

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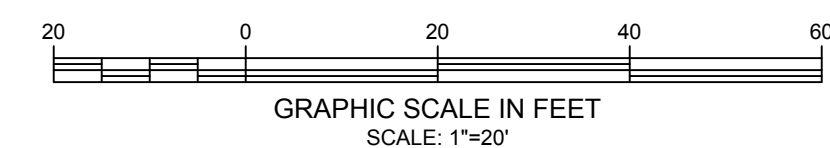
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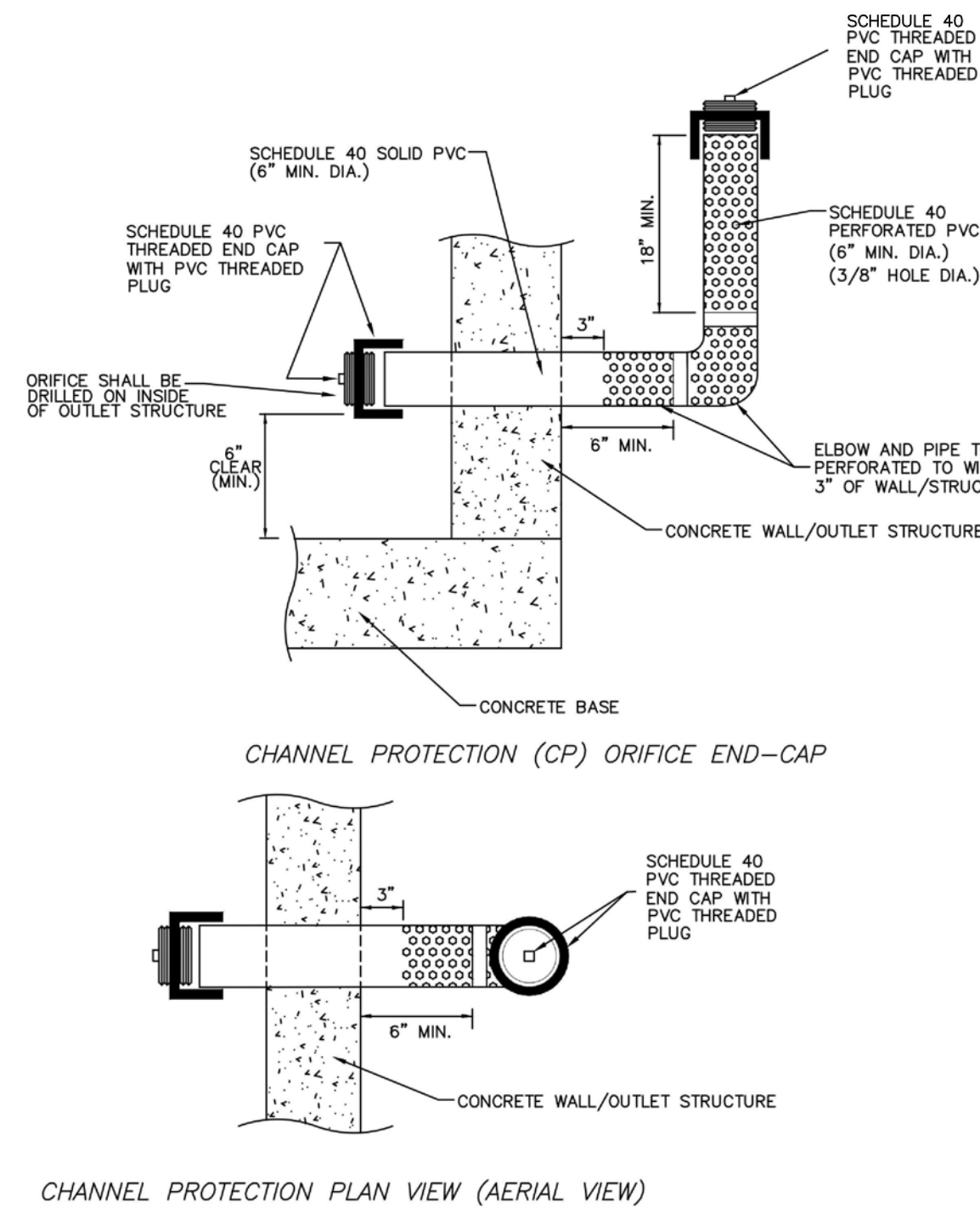
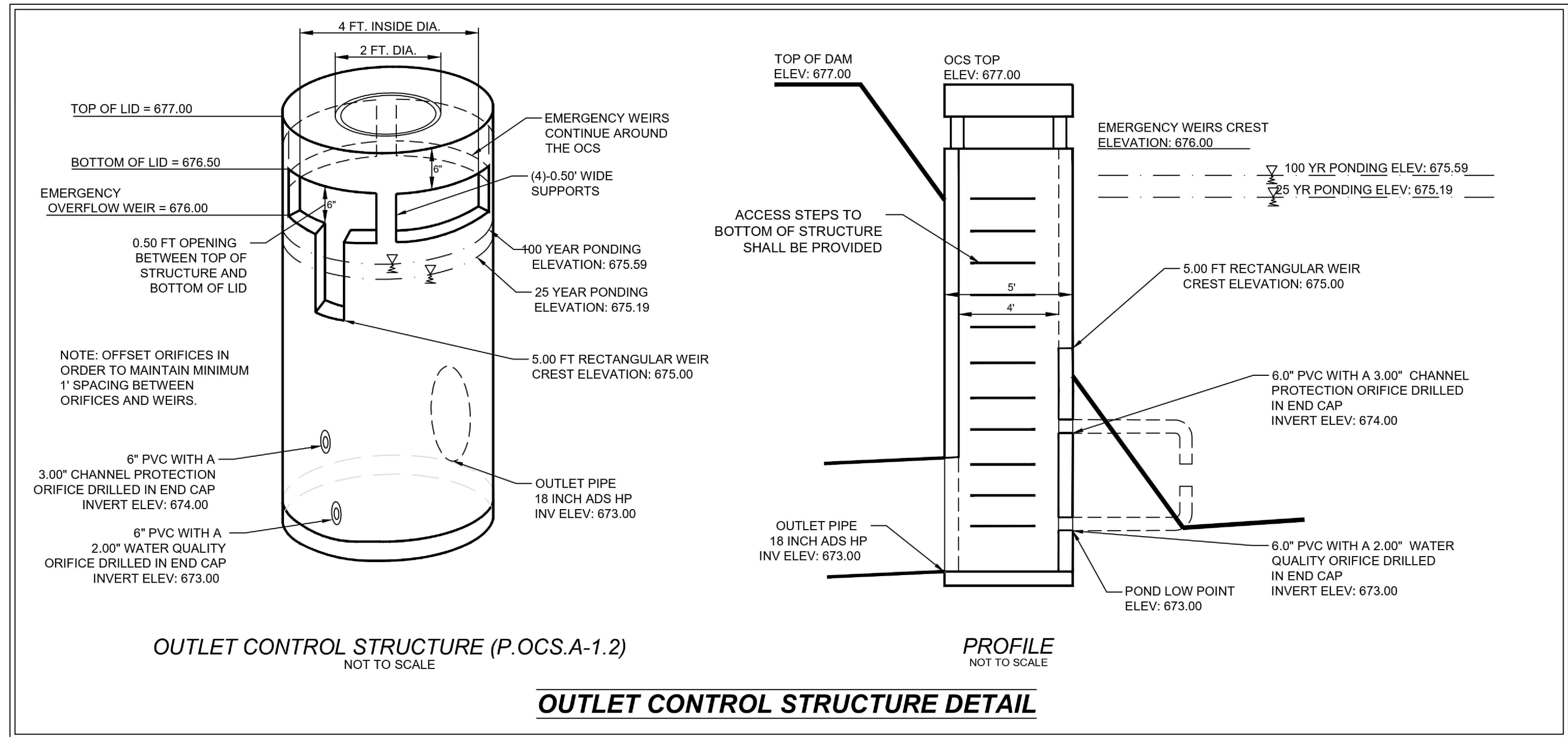


**Know what's below.
Call before you dig**

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GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL



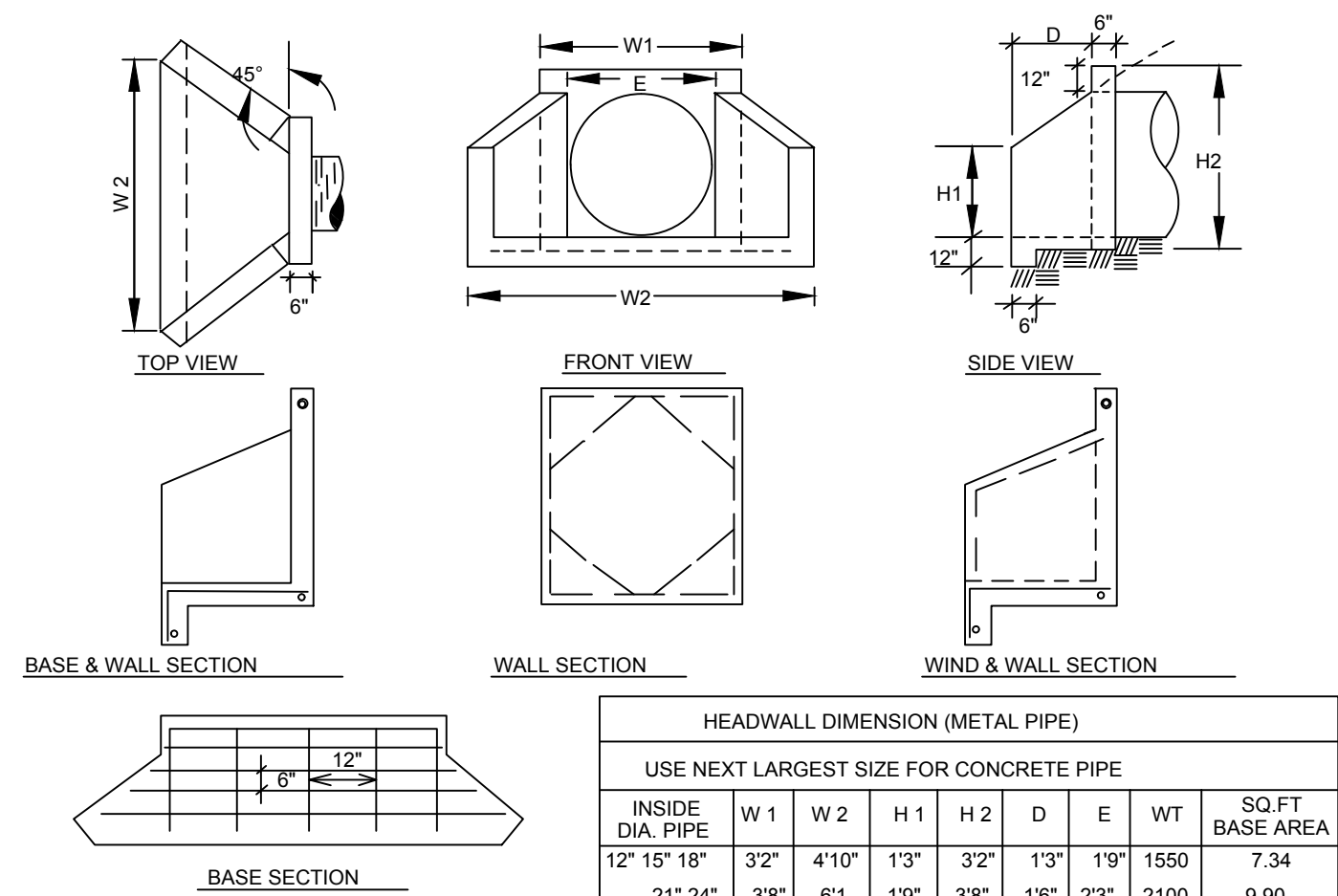


NOTES (TO APPLY TO ALL):

- 1.) FILL GAP BETWEEN STRUCTURE & PVC WITH MORTAR OR INSTALL A FERNCO ADAPTER.
- 2.) SIZE ORIFICE AS REQUIRED
- 3.) PIPE SIZE SHALL BE SPECIFIED PER TABLE BELOW. PIPE SIZES SHALL BE CONSISTENT FOR EACH END-CAP ASSEMBLY.
- 4.) VARIATIONS TO THIS DETAIL MAY BE ACCEPTABLE ON A CASE BY CASE BASIS. MODIFICATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE STORMWATER DEPARTMENT.

OUTLET ORIFICE DIAMETER	PIPE SIZE
<3"	6"
3" TO <5"	8"
5" TO <11"	12"

LEGEND	
AIF	- ANGLE IRON FOUND
AKA	- ALSO KNOWN AS
AQOSP	- ALUMINUM TYPE 2 CORRUGATED STEEL PIPE
BC	- BACK OF CURB
BL	- BUILDING SETBACK LINE
BWF	- BARB WIRE FENCE
C&G	- CURB & GUTTER
C/T	- CRIMP TOP PIPE
CI	- CURB INLET
CL	- CENTER LINE
CLF	- CHAIN LINK FENCE
CMF	- CONCRETE MONUMENT FOUND
CMP	- CORRUGATED METAL PIPE
CO	- CLEAN OUT
CONC	- CONCRETE
CORPS	- ARMY CORPS OF ENGINEERS
DB.PG	- DEED BOOK, PAGE
DI	- DROP INLET
DIP	- DUCTILE IRON PIPE
DS	- DOWN SPOUT
DWCB	- DOUBLE WING CATCH BASIN
EP	- EDGE OF PAVEMENT
FFE	- FINISH FLOOR ELEVATION
FH	- FIRE HYDRANT
G	- GAS LINE
GM	- GAS METER
GP	- GUY POLE
GV	- GAS VALVE
GW	- GUY WIRE
HC	- HANDICAP
HW	- HEADWALL
HWF	- HOG WIRE FENCE
IE	- INVERT ELEVATION
IPF	- IRON PIN FOUND
IPS	- IRON PIN SET
JB	- JUNCTION BOX
LL	- LAND LOT
LLL	- LAND LOT LINE
LP	- LIGHT POLE
MH	- MANHOLE
MON	- MONUMENT
N/F	- NOW OR FORMERLY
O/T	- OPEN TOP PIPE
PBX	- POWER BOX / TRANSFORMER
-P	- OVERHEAD POWER LINE
-P/T	- O/H POWER & TELE LINE
PL	- PROPERTY LINE
PM	- POWER METER
POB	- POINT OF BEGINNING
PP	- POWER POLE
PTP	- POWER & TELEPHONE POLE
PVC	- POLYVINYLCHLORIDE PIPE
R/B	- REINFORCING IRON BAR
RCP	- REINFORCED CONCRETE PIPE
R/W	- RIGHT OF WAY
-SS	- SANITARY SEWER LINE
SSE	- SANITARY SEWER EASEMENT
SW	- SIDEWALK
SWCB	- SINGLE WING CATCH BASIN
TBM	- TEMPORARY BENCHMARK
TBX	- TELEPHONE BOX
TF	- TRANSFORMER
TMH	- TELEPHONE MANHOLE
TP	- TELEPHONE POLE
TPOB	- TRUE POINT OF BEGINNING
-T	- OVERHEAD TELEPHONE LINE
UP	- UNDERGROUND POWER
UT	- UNDERGROUND TELEPHONE
WI	- WEIR INLET
-W	- WATER LINE
WM	- WATER METER
WMH	- WATER MANHOLE
WV	- WATER VALVE



ALL CONCRETE SHALL BE 4000 PSI
REINFORCEMENT STEEL SHALL BE 1/2" ϕ
INTERMEDIATE.
GRADE PLACE REINF. 2" MIN CLEARANCE.
CHAMFER ALL EXPOSED EDGES 1/4"

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric Hudson

PRE-APPLICATION FORM REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE (Required prior to filing application: signed copy of this form must be submitted at filing)

Applicant Name: _____ Phone: _____ Email: _____

Property Address: _____

Tax Parcel ID: _____ Comm. District(s): _____ Acreage: _____

Existing Use: _____ Proposed Use: _____

Supplemental Regs: _____ Overlay District: _____ DRI: _____

Rezoning: Yes _____ No _____

Existing Zoning: _____ Proposed Zoning: _____ Square Footage/Number of Units: _____

Rezoning Request: _____

Land Use Plan Amendment: Yes _____ No _____

Existing Land Use: _____ Proposed Land Use: _____ Consistent _____ Inconsistent _____

Special Land Use Permit: Yes _____ No _____ Article Number(s) 27- _____

Special Land Use Request(s): _____

Major Modification:

Existing Case Number(s): _____

Condition(s) to be modified:

WHAT TO KNOW BEFORE YOU FILE YOUR APPLICATION

Pre-submittal Community Meeting: _____ Review Calendar Dates: _____ PC: _____ BOC: _____
 Letter of Intent: _____ Impact Analysis: _____ Owner Authorization(s): _____ Campaign Disclosure: _____
 Zoning Conditions: _____ Community Council Meeting: _____ Public Notice, Signs: _____
 Tree Survey, Conservation: _____ Land Disturbance Permit (LDP): _____ Sketch Plat: _____
 Bldg. Permits: _____ Fire Inspection: _____ Business License: _____ State License: _____
 Lighting Plan: _____ Tent Permit: _____ Submittal Format: NO STAPLES, NO BINDERS PLEASE

Review of Site Plan

Density: _____ Density Bonuses: _____ Mix of Uses: _____ Open Space: _____
 Enhanced Open Space: _____ Setbacks: front _____ sides _____ side corner _____ rear _____
 Lot Size: _____ Frontage: _____ Street Widths: _____ Landscape Strips: _____
 Buffers: _____ Parking Lot Landscaping: _____ Parking - Auto: _____ Parking - Bicycle: _____
 Screening: _____ Streetscapes: _____ Sidewalks: _____ Fencing/Walls: _____
 Bldg. Height: _____ Bldg. Orientation: _____ Bldg. Separation: _____ Bldg. Materials: _____
 Roofs: _____ Fenestration: _____ Façade Design: _____ Garages: _____ Pedestrian Plan: _____
 Perimeter Landscape Strip: _____
 Possible Variances: _____

Comments: _____

Planner: _____ Date: _____

FILING FEES

REZONING:	RE, RLG, R-100, R-85, R-75, R-60, MHP, RSM, MR-1	\$500.00
	RNC, MR-2, HR-1, HR-2, HR-3, MU-1, MU-2, MU-3, MU-4, MU-5	\$750.00
	OI, OD, OIT, NS, C1, C2, M, M2	\$750.00
LAND USE MAP AMENDMENT		\$500.00
SPECIAL LAND USE PERMIT		\$400.00



Department of Planning & Sustainability
Division of Business Licensing
178 Sams Street, Decatur, GA 30030
(404) 371-2461
BUSINESS AND OCCUPATIONAL TAX CERTIFICATE

4144 MEMORIAL INC
4144 MEMORIAL DR
DECATUR, GA 30032

Business Name:
4144 MEMORIAL, INC
4144 MEMORIAL DR
DECATUR, GA 30032-

This is your Business and Occupation Tax Certificate for 2025. We are pleased that you are doing business in DeKalb County and hope you have great success in your enterprise this year.

.....
Detach the certificate below and display it for public view at your place of business.
This certificate must be displayed for public view

Not Transferable

Department of Planning & Sustainability
178 Sams Street, Decatur, GA 30030
BUSINESS AND OCCUPATIONAL TAX CERTIFICATE

4144 MEMORIAL INC
4144 MEMORIAL DR
DECATUR, GA 30032

4144 MEMORIAL, INC
4144 MEMORIAL DR
DECATUR, GA 30032-



ACCOUNT:
1249612

EXPIRES:
12/31/2025

Business Description: CONVENIENCE/GAS

This certificate is only valid at this location and when the location conforms to DeKalb County's Zoning Regulations