



Lorraine Cochran-Johnson

Chief Executive Officer

**DeKalb County Zoning Board of Appeals**  
Department of Planning & Sustainability  
178 Sams Street,  
Decatur, GA 30030

**Wednesday September 10, 2025**

**Planning Department Staff Analysis**



Juliana Njoku

Interim Director

**D4. Case No: A-25-1247538**

**Parcel ID(s): 18 086 02 007**

**Commission District 02 Super District 06**

Applicant: Scott Young  
1156 Springdale Road NE  
Atlanta, GA 30306

Owner: Scott Young  
1156 Springdale Road NE  
Atlanta, GA 30306

Project Name: 1156 Springdale – Retaining wall height

Location: 1156 Springdale Road NE, Atlanta, GA 30306

Requests: Application by Scott Young to request variance from Section 27-5.4.7 of the DeKalb County Zoning Ordinance to increase retaining wall height from four (4) to eight (8) feet in the R-75 (Residential Medium Lot-75) zoning district.

**Staff Recommendation:** Approval with conditions

**Conditions:**

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance and condition(s) of approval.
2. Safety fencing or railings shall be installed on top of any retaining wall exceeding 4 feet in height to ensure compliance with applicable safety codes and to protect residents and visitors.

## **STAFF FINDINGS:**

The applicant requests a variance from Section 27-5.4.7 of the DeKalb County Zoning Ordinance to increase the maximum allowable retaining wall height from 4 feet to 8 feet on a residential parcel located at 1156 Springdale Road NE within the R-75 zoning district. The property is a narrow, deep lot with significant grade changes and is developed with a historic home built in 1910.

The variance request seeks to construct a system of perimeter retaining walls and terraces in the rear yard to address the property's steep slope, which rises over 35 feet from the rear door of the home to the back of the property. The proposal would allow the owners to safely and reasonably utilize the rear yard, which is currently inaccessible due to the severe topography.

**1. There is an extraordinary or exceptional physical condition(s) pertaining to the particular piece of property (such as, but not limited to, lot size, lot shape, specimen tree(s), steep slope(s), or preservation of historic characteristics of the property), which was not created by the current owner, previous owner, or applicant; by reason of a clearly demonstrable condition(s), the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district, as distinguished from a special privilege or convenience sought by the property owner.**

The subject property exhibits exceptional topographical conditions, dropping over 50 feet across its 450-foot depth. This slope, combined with the narrow configuration of the lot and the presence of historic structures that limit grading options, significantly constrains the usable outdoor space for the homeowners. The grade changes are natural and were not created by the applicant or prior owners.

Given these conditions, the construction of taller retaining walls is necessary to create functional, terraced outdoor areas that can be safely accessed and maintained. Without these modifications, the property's rear yard remains unusable, placing the owners at a disadvantage compared to other property owners in the district who can use their outdoor spaces.

**2. The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located:**

The applicant's request is limited to the height necessary to address the property's slope while ensuring safe, usable terraces. The proposed walls will appear as minimal height extensions above existing grades from neighboring viewpoints, maintaining privacy and minimizing visual impacts on adjacent properties.

The proposal has been reviewed and approved by the Historic Preservation Commission, confirming that the design is appropriate within the context of the historic property. The applicant has demonstrated that the requested increase in wall height is the minimum necessary to achieve functional use of the property without unnecessary intrusion or overbuilding.

**3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located:**

The proposed retaining walls will not result in any material detriment to the public welfare or adjacent properties. The walls will facilitate the creation of safe, landscaped terraces, enhancing the usability and value of the property while preserving the site's aesthetic and privacy.

The applicant plans to install evergreen plantings along the exterior of the walls to provide additional screening, ensuring that the improvements are compatible with the neighborhood's character. No noise, traffic, or drainage concerns are anticipated as a result of the project, and the work will improve the property's stability and usability.

**4. The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship:**

Strict application of the ordinance would limit the retaining wall height to 4 feet, rendering the proposed terraced system infeasible.

The hardship is directly tied to the property's steep grade and narrow layout, conditions that are not self-imposed. The requested variance is necessary to allow for reasonable use of the property consistent with its residential zoning.

**5. The requested variance would be consistent with the spirit and purpose of this Chapter and the DeKalb County Comprehensive Plan Text:**

The requested variance aligns with the Suburban Character Area goals of the DeKalb County Comprehensive Plan by supporting traditional land use patterns while improving accessibility and connectivity within residential properties. The project maintains the character of the historic site while enabling functional improvements that enhance property usability.

Approval of the variance will allow the homeowners to enjoy their property in a manner consistent with neighborhood standards while ensuring that improvements are safe, visually appropriate, and environmentally responsible.

**FINAL STAFF ANALYSIS:**

**Staff recommends approval with conditions of the variance request**, subject to conditions ensuring safety and compliance with zoning and building standards.

Staff Recommendation: Approval with conditions

Conditions:

1. The following information about this variance shall be noted on any site plan prepared for the subject property: case number, approval date, type of variance, and condition(s) of approval.
2. Safety fencing or railings shall be installed on top of any retaining wall exceeding 4 feet in height to ensure compliance with applicable safety codes and to protect residents and visitors.



DeKalb County  
GEORGIA

Development Services Center  
178 Sams Street  
Decatur, GA 30030  
[www.dekalbcountyga.gov/planning](http://www.dekalbcountyga.gov/planning)  
404-371-2155 (o); 404-371-4556 (f)

Chief Executive Officer  
Michael Thurmond

## DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director  
Cedric Hudson

### ZONING BOARD OF APPEALS APPLICATION FOR PUBLIC HEARING (VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF ADMINISTRATIVE DECISIONS)

Applicant and/or

Authorized Representative: SCOTT YOUNG

Mailing Address: 1493 SANDEN FERRY DRIVE

City/State/Zip Code: DECATUR GEORGIA 30033

Email: scottyoung365@gmail.com

Telephone Home: (678) 822-3115

Business: (678) 822-3115

#### OWNER OF RECORD OF SUBJECT PROPERTY

Owner: IVAN RUIZ & GRETCHEN COLON

Address (Mailing): 1156 SPRINGDALE ROAD ATLANTA GA. 30306

Email: gretchenacolon@gmail.com Telephone Home: (678) 907-3310 Business: (678) 907-3310

#### ADDRESS/LOCATION OF SUBJECT PROPERTY

Address: 1156 SPRINGDALE ROAD City: ATLANTA State: GA Zip: 30306

District(s): 18th Land Lot(s): 2 Block: 11 Parcel: \_\_\_\_\_

Zoning Classification: RS-85 Commission District & Super District: 216

#### CHECK TYPE OF HEARING REQUESTED:

☒ VARIANCE (From Development Standards causing undue hardship upon owners of property.)

☐ SPECIAL EXCEPTIONS (To reduce or waive off-street parking or loading space requirements.)

☐ OFFICIAL APPEAL OF ADMINISTRATIVE DECISIONS.

**\*PLEASE REVIEW THE FILING GUIDELINES ON PAGE 4. FAILURE TO FOLLOW GUIDELINES MAY RESULT IN SCHEDULING DELAYS.\***

Email [plansustain@dekalbcountyga.gov](mailto:plansustain@dekalbcountyga.gov) with any questions.

DEPARTMENT OF PLANNING & SUSTAINABILITY

**ZONING BOARD OF APPEALS APPLICATION**

**AUTHORIZATION OF THE PROPERTY OWNER**

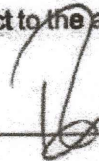
I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property subject to the application.

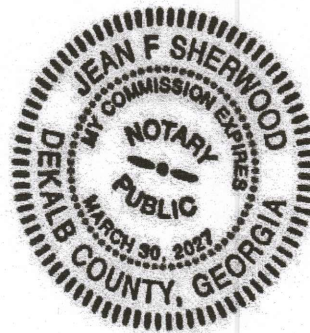
DATE: 05/21/25

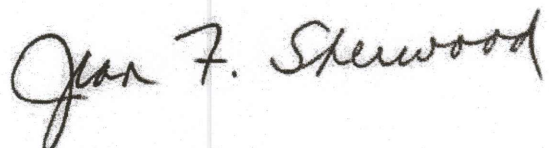
Applicant  
Signature:

 IVAN RIBO

DATE: \_\_\_\_\_

Applicant  
Signature: \_\_\_\_\_







DEPARTMENT OF PLANNING & SUSTAINABILITY

ZONING BOARD OF APPEALS APPLICATION

AUTHORIZATION TO REPRESENT THE PROPERTY OWNER

I hereby authorize the staff and members of the Zoning Board of Appeals to inspect the premises of the Subject Property.

I hereby certify that the information provided in the application is true and correct.

I hereby certify that I am the owner of the property and that I authorize the applicant/agent to apply for a hearing to the Zoning Board of Appeals for the requests as shown in this application.

DATE: 05/21/75 Applicant/Agent Signature: Ivan Riobo

TO WHOM IT MAY CONCERN:

(I) (WE): IVAN RIOBO  
(Name of Owners)

being (owner/owners) of the property described below or attached hereby delegate authority to the above signed agent/applicant.

Jean F. Sherwood  
Notary Public

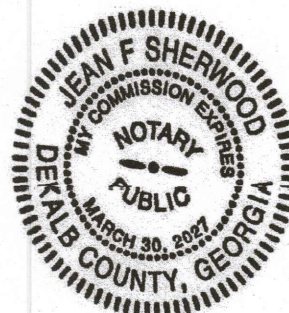
[Signature]  
Owner Signature

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Owner Signature

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Owner Signature



## Letter of Intent

Dear members of the Zoning Board of Appeals,

My name is Scott Young, and I am writing formally request a variance from section 27-2.2.1 of the DeKalb County Zoning Ordinance. My request pertains to the increase in retaining wall heights from 4' up to 8'. This will allow the owners to utilize the rear yard, which is now steep and climbs 35'-6" from the rear door of the home to the rear of the property at its highest point.

The plan utilizes a perimeter retaining wall that maintains existing grades as the property climbs to the rear of the site. The area inside the walls will be a system of three terraces to allow the owners to safely use the space for their rear yard in a way they can not do at this time.

### 1. Physical conditions of the site:

The unique conditions of this property constitute a special case necessitating this variance. The property is narrow and deep (with steep grade changes) which require the need for the taller walls to get more utilization of the property.

### 2. Mimnimum Variance Necessary: Variance request for Retaining wall increase from 4' to 8'-Section 27-2.2.1

I assure you that my request is solely for the minimum variance necessary to render the property usable. The walls from neighboring views will be seen as a 6-9" height above the existing grades. The area between the walls will be terraced and not viewable from either neighbor. This will not impact the neighboring properties and keep the privacy of neighbors and the owners safe. The plan has been reviewed and approved by the Historical Preservation Board as well.

### 3. Public Welfare:

The proposed addition these walls will allow, bring the value and accessibility of the property to the owners in a way that they were not able to do at this time. The neighbors will not see any drastic changes or noisy conditions as a result of these request. The exterior of the property will also be planted with evergreen plantings to maximize privacy for the owners and the neighbors.

4.Ordinace Hardship:

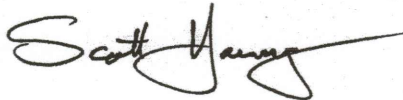
A strict interpretation of the zoning laws, in this case, would cause undue hardship for the owners. The addition of additional walls to limit the height of the proposed walls to 4' would limit the usable space in the rear yard and add additional impervious materials and create the need for additional steps as well. The variance is, therefore, essential to prevent unnecessary hardship and allow for a reasonable use of their property.

5.Alignmment with the spirit of the law:

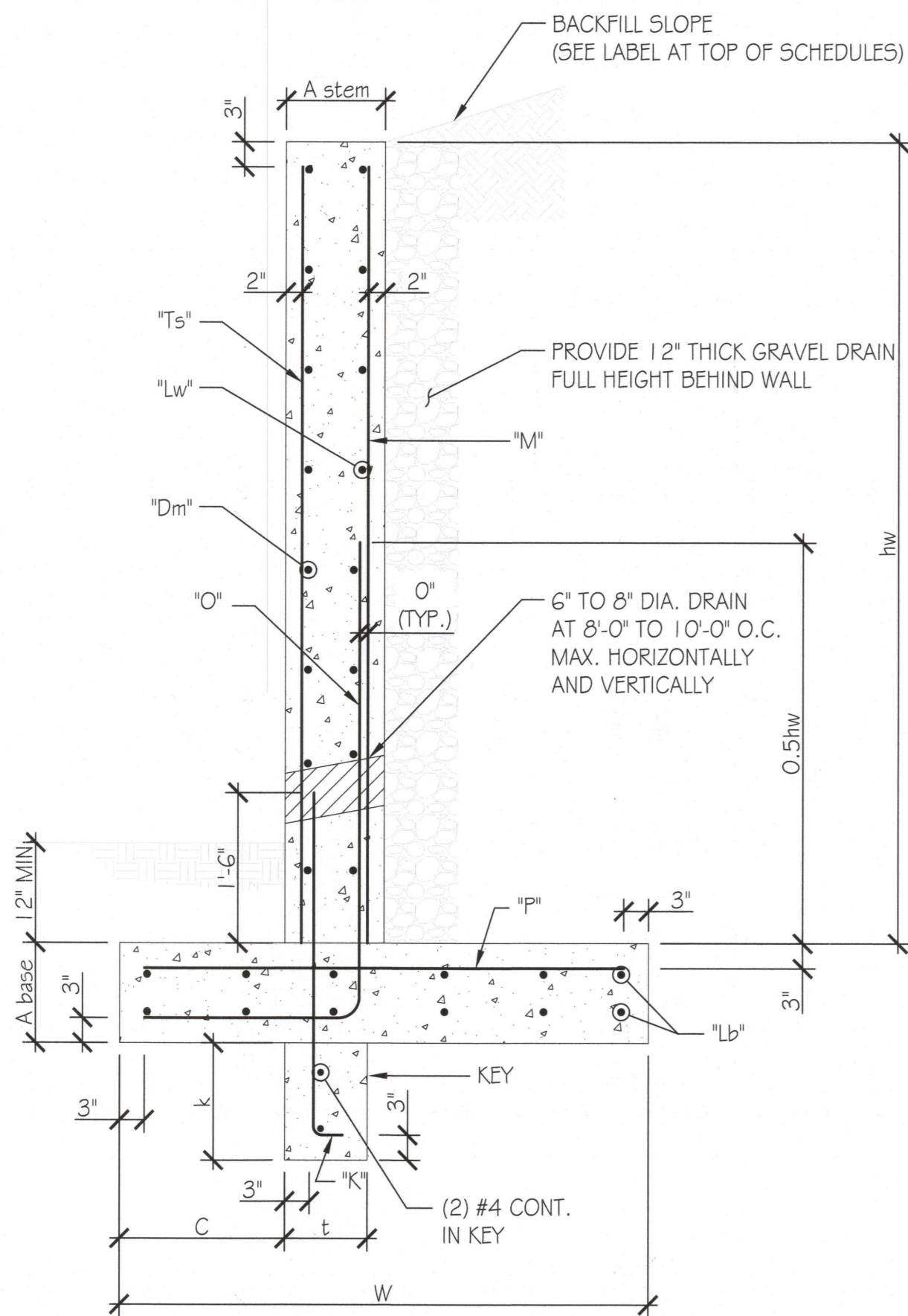
I firmly believe the variance request aligns with the intent of the Suburban Character area, as outlined in the DeKalb County Comprehensive Plan. The proposed construction of these walls and terraces is in line with the Goals of recognizing traditional suburban land use patterns while encouraging increased connectivity and accessibility. The request aims to help the owners better utilize the property, while preserving the character of the site.

In conclusion, I appreciate your time and consideration of my variance request. I am committed to working collaboratively to ensure that the proposed changes align with the broader goals and policies of DeKalb County. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott Hanning", with a stylized, flowing script.





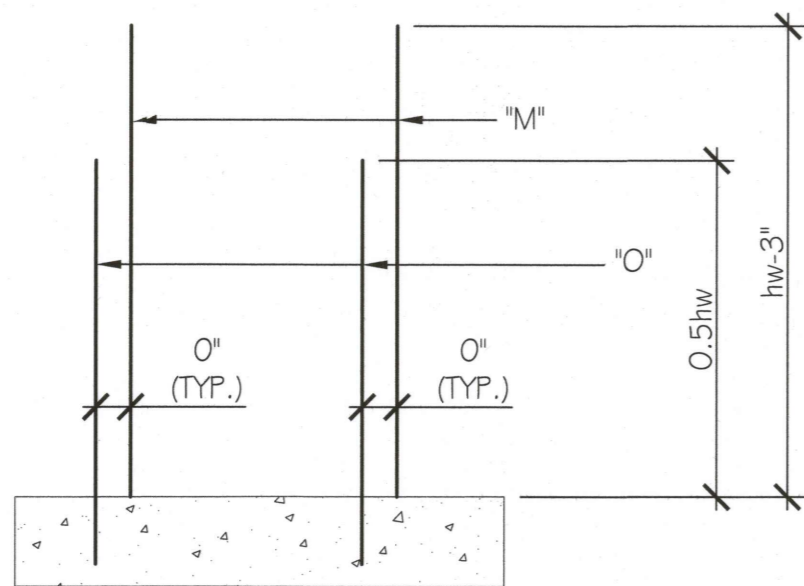
1  
S-1

## STANDARD RETAINING WALL SCHEDULE

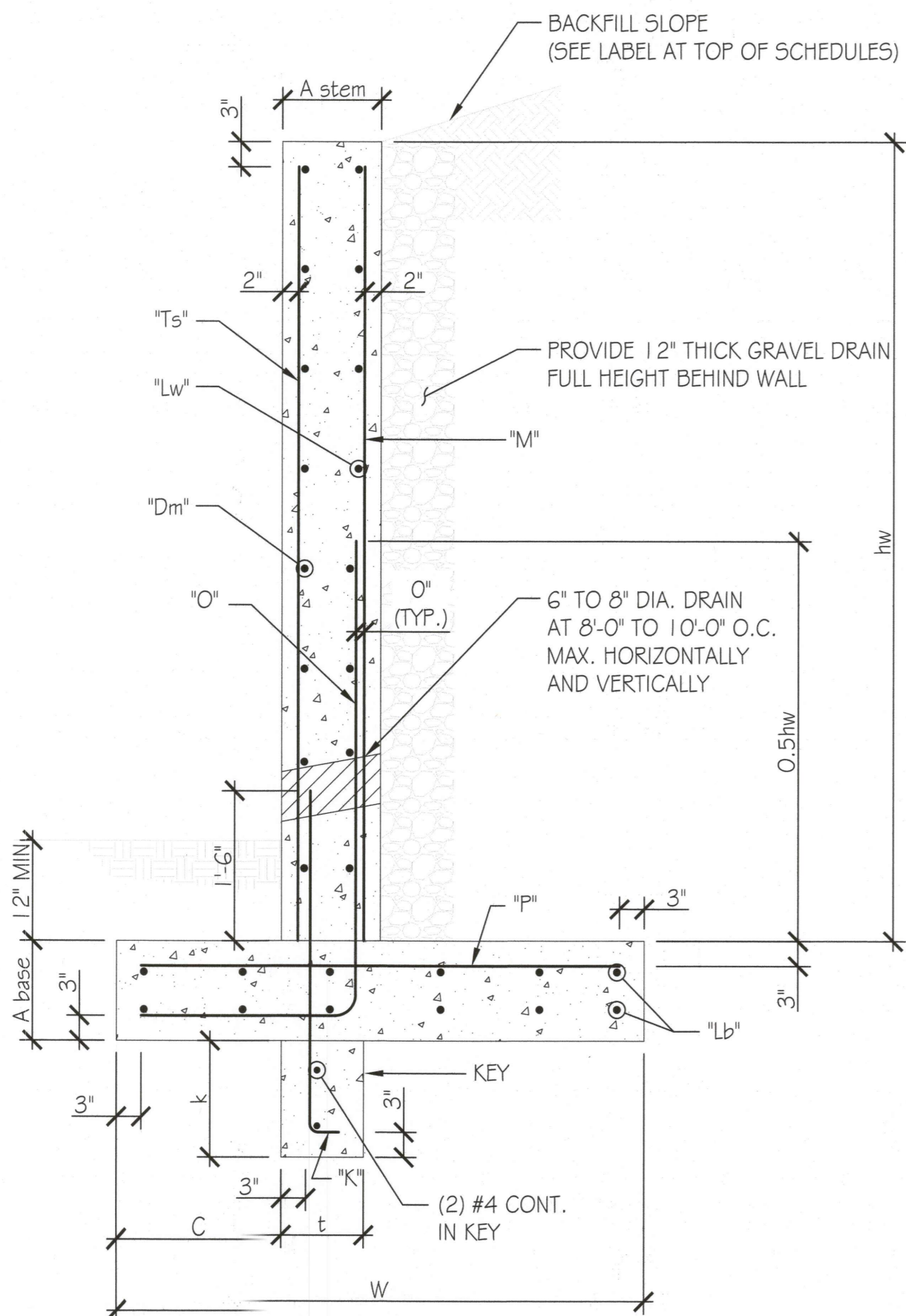
SCALE: N.T.S.

FACTORS USED IN THE DESIGN OF THIS RETAINING WALL THAT NEED TO BE VERIFIED BY OTHERS:

1. SOIL SPECIFIC WEIGHT (SOIL DENSITY COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY BASED ON ASTM D698 METHOD),  $\gamma = 110$  PCF
2. SOIL ALLOWABLE BEARING CAPACITY= 2,000 PSF
3. INTERNAL FRICTION ANGLE,  $\Phi = 30^\circ$
4. EXTERNAL FRICTION FACTOR,  $\mu = 0.35$
5. ACTIVE SOIL PRESSURE (or EFP),  $P_a = 36.7$  PSF
6. PASSIVE SOIL PRESSURE,  $P_p = 330$  PSF
7.  $f_c' = 3,000$  psi,  $F_y = 60,000$  psi



NOTE:  
NUMBER OF "Lb" BARS SHALL BE  
PLACED TOP & BOTTOM IN FOOTING.



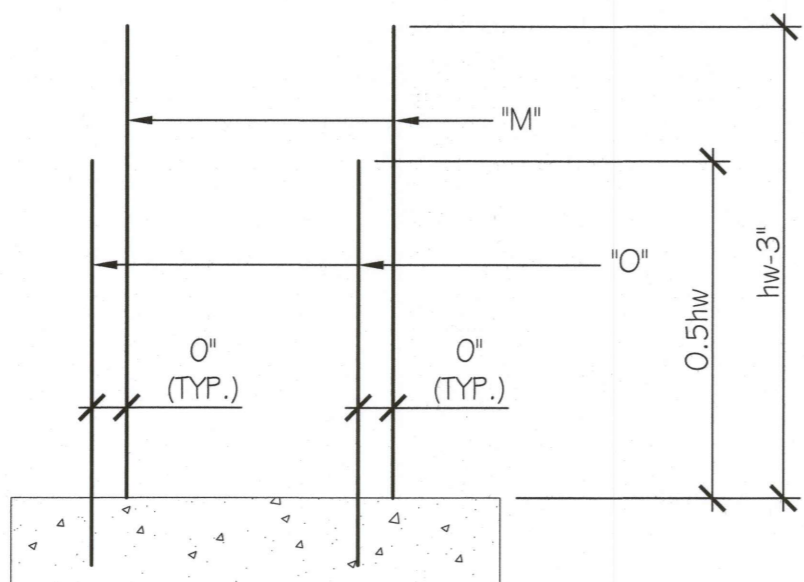
2  
S-1

## MINIMAL HEEL RETAINING WALL SCHEDULE

SCALE: N.T.S.

FACTORS USED IN THE DESIGN OF THIS RETAINING WALL THAT NEED TO BE VERIFIED BY OTHERS:

1. SOIL SPECIFIC WEIGHT (SOIL DENSITY COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY BASED ON ASTM D698 METHOD),  $\gamma = 110$  PCF
2. SOIL ALLOWABLE BEARING CAPACITY= 2,000 PSF
3. INTERNAL FRICTION ANGLE,  $\Phi = 30^\circ$
4. EXTERNAL FRICTION FACTOR,  $\mu = 0.35$
5. ACTIVE SOIL PRESSURE (or EFP),  $P_a = 36.7$  PSF
6. PASSIVE SOIL PRESSURE,  $P_p = 330$  PSF
7.  $f_c' = 3,000$  psi,  $F_y = 60,000$  psi



NOTE:  
NUMBER OF "Lb" BARS SHALL BE  
PLACED TOP & BOTTOM IN FOOTING.

## LEVEL BACKFILL

STANDARD CANTILEVERED RETAINING WALL SCHEDULE (G) (7)													
CONCRETE DIMENSIONS (1)						REINFORCEMENT							
Height Above Base (hw)	Stem Thickness (A stem)	Toe Dim. & Key Location (C)	Width of Base (W)	Base Depth (A base)	Key (t x k)	"O" Bars (2) (5)	"M" Bars (5)	"Dm" Bars	"Lw" Bars	"P" Bars	"Ts" Bars	"Lb" Bars (4)	"K" Bars (3)
ft	in	ft-in	ft-in	in	in x in	Size@in	Size@in	Size@in	Size@in	Size@in	Size@in	No. Size	Size@in
4	8	0-6	2-6	10	N/A	#4@18	#4@18	N/A	#4@12	N/A	N/A	(2)#4	N/A
6	8	0-9	3-0	12	N/A	#4@18	#4@18	N/A	#4@12	N/A	N/A	(2)#4	N/A
8	8	1-0	3-0	12	N/A	#4@10	#4@18	N/A	#4@12	#4@12	N/A	(4)#4	N/A
10	10	1-6	7-3	12	N/A	#5@10	#4@18	N/A	#4@10	#5@10	N/A	(5)#4	N/A
12	12	2-6	8-0	14	6 x 12	#5@8	#4@18	#4@16	#4@16	#5@9	#4@18	(6)#4	#4@18
14	14	3-0	9-0	15	10 x 18	#6@10	#4@18	#4@14	#4@14	#5@8	#4@18	(8)#4	#4@18
16	16	4-0	10-9	16	12 x 24	#7@8	#4@18	#4@12	#4@12	#6@8	#4@18	(10)#4	#4@12
18	18	5-0	12-0	18	16 x 30	#7@8	#4@18	#5@16	#4@16	#6@8	#4@18	(12)#4	#5@12

- (1) PROVIDE CONTRACTION JOINTS AT 25'-0" O.C. MAX. AND EXPANSION JOINTS @ 200'-0" MAX. ALONG CONTINUOUS WALL SECTION.
- (2) ALL "O" BARS TO HAVE A 90° HOOK INTO TOE OF FOOTING.
- (3) "K" BARS SHALL HAVE 90° HOOK IN BOTTOM OF KEY. KEY TO HAVE (2) #4 CONT. BARS PLACED LONGITUDINALLY. "K" BARS SHALL EXTEND 1'-6" INTO STEM ABOVE.
- (4) NUMBER OF "Lb" BARS SHALL BE PLACED TOP & BOTTOM IN FOOTING.
- (5) IF "O" BARS ARE FULL WALL HEIGHT, "M" BARS MAY BE OMITTED.
- (6) IF RETAINING WALL IS SURCHARGED BY A DRIVEWAY, CONSTRUCT THE WALL USING SPECIFICATIONS FROM THE SCHEDULE FOR A WALL 2'-0" GREATER IN HEIGHT.
- (7) THIS DESIGN IS NOT APPLICABLE WITH ANY SURCHARGE.

## LEVEL BACKFILL

"MINIMAL HEEL" CANTILEVERED RETAINING WALL SCHEDULE (G) (7)													
CONCRETE DIMENSIONS (1)						REINFORCEMENT							
Height Above Base (hw)	Stem Thickness (A stem)	Toe Dim. & Key Location (C)	Width of Base (W)	Base Depth (A base)	Key (t x k)	"O" Bars (2) (5)	"M" Bars (5)	"Dm" Bars	"Lw" Bars	"P" Bars	"Ts" Bars	"Lb" Bars (4)	"K" Bars (3)
ft	in	ft-in	ft-in	in	in x in	Size@in	Size@in	Size@in	Size@in	Size@in	Size@in	No. Size	Size@in
4	8	1-10	2-6	10	N/A	#4@18	#4@18	N/A	#4@12	N/A	N/A	(2)#4	N/A
6	8	2-10	3-6	12	6 x 6	#4@18	#4@18	N/A	#4@12	N/A	N/A	(3)#4	#4@18
8	8	4-4	5-0	12	6 x 12	#4@10	#4@18	N/A	#4@12	N/A	N/A	(4)#4	#4@18
10	10	5-4	6-2	14	12 x 18 (8)	#5@10	#4@18	N/A	#4@10	N/A	N/A	(5)#4	#4@12 (8)
12	12	7-3	8-3	16	12 x 24	#5@8	#4@18	#4@16	#4@16	N/A	#4@18	(8)#4	#4@10
14	14	12-4	13-6	24	18 x 36 (8)	#6@10	#4@18	#4@14	#4@14	N/A	#4@18	(12)#5	#5@8 (8)
16	14	12-10	14-0	24	18 x 36 (8)	#7@9	#4@18	#4@14	#4@14	N/A	#4@18	(12)#5	#5@8 (8)

- (1) PROVIDE CONTRACTION JOINTS AT 25'-0" O.C. MAX. AND EXPANSION JOINTS @ 200'-0" MAX. ALONG CONTINUOUS WALL SECTION.
- (2) ALL "O" BARS TO HAVE A 90° HOOK INTO TOE OF FOOTING.
- (3) "K" BARS SHALL HAVE 90° HOOK IN BOTTOM OF KEY. KEY TO HAVE (2) #4 CONT. BARS PLACED LONGITUDINALLY. "K" BARS SHALL EXTEND 1'-6" INTO STEM ABOVE.
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- (5) IF "O" BARS ARE FULL WALL HEIGHT, "M" BARS MAY BE OMITTED.
- (6) IF RETAINING WALL IS SURCHARGED BY A DRIVEWAY, CONSTRUCT THE WALL USING SPECIFICATIONS FROM THE SCHEDULE FOR A WALL 2'-0" GREATER IN HEIGHT.
- (7) THIS DESIGN IS APPLICABLE WITH BUILDING SURCHARGE.
  - a) 18'-0" TRIBUTARY WIDTH OF ROOF, CEILING & 2ND FLOOR OF SURCHARGE WAS CONSIDERED FOR DESIGN. SURCHARGE TO BE APPLIED ON THE TOE SIDE. CONTACT EOR IF SURCHARGE NEED BE APPLIED ON HEEL SIDE.
  - (8) SINCE KEY IS WIDER THAN STEM, ALIGN REAR EDGE OF KEY WITH REAR EDGE OF FOOTING. BEND "K" BARS SO THEY ARE EMBEDDED IN STEM 2" FROM FRONT FACE OF STEM. (APPLIES TO 10' AND 14' WALL HEIGHTS ONLY.)

KOBLASZ & KENNISON  
ENGINEERING, PC

333 CREEKSTONE RIDGE  
WOODSTOCK, GEORGIA 30188

404 | 860 | 2600

THESE DRAWINGS, DESIGNS, AND SPECIFICATIONS REPRESENTED ARE THE PROPERTY OF THE STRUCTURAL ENGINEER OF RECORD, AND MAY NOT BE REPRODUCED OR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN CONSENT. COPYRIGHT AS PER DRAWING DATE. BUILDER SHALL BE SOLELY RESPONSIBLE FOR ENSURING THAT THESE PLANS ARE ACCURATE AND THAT THE STRUCTURE IS CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING CONSTRUCTION.

PRIVATE  
RESIDENCE

1156 SPRINGDALE ROAD  
ATLANTA, GEORGIA

### SUBMITTALS:

08-28-2024 STRUCTURAL DESIGN ISSUED

PROJECT NUMBER: 24546

DESIGNED BY: CLAUDIU BORDEA  
(404) 860-2600 EXT.105  
email@k&k-eng.com

CHECKED BY: GARY KOBLASZ

STAMP

STANDARD &  
MINIMAL HEEL  
RETAINING WALL  
DESIGN

S-1

RELEASED FOR CONSTRUCTION

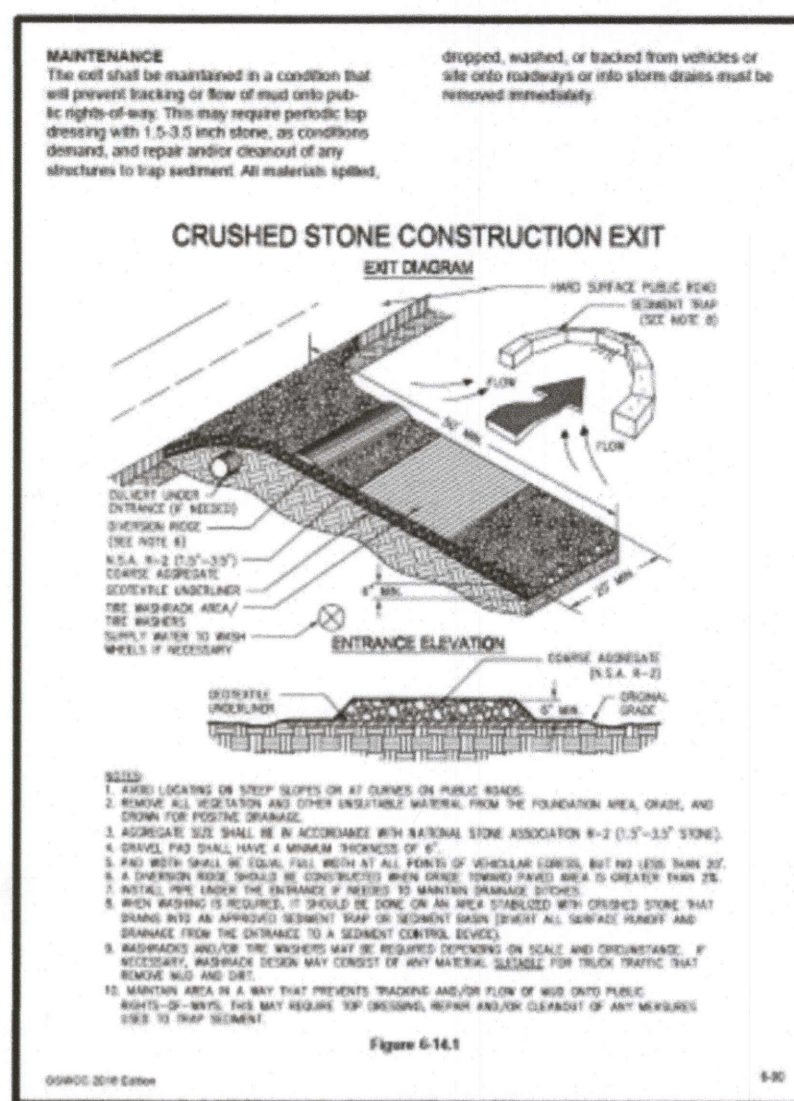
Wall Details  
Standard Retaining Wall and  
Minimal Toe Retaining Wall

The Riobo - Colon Residence

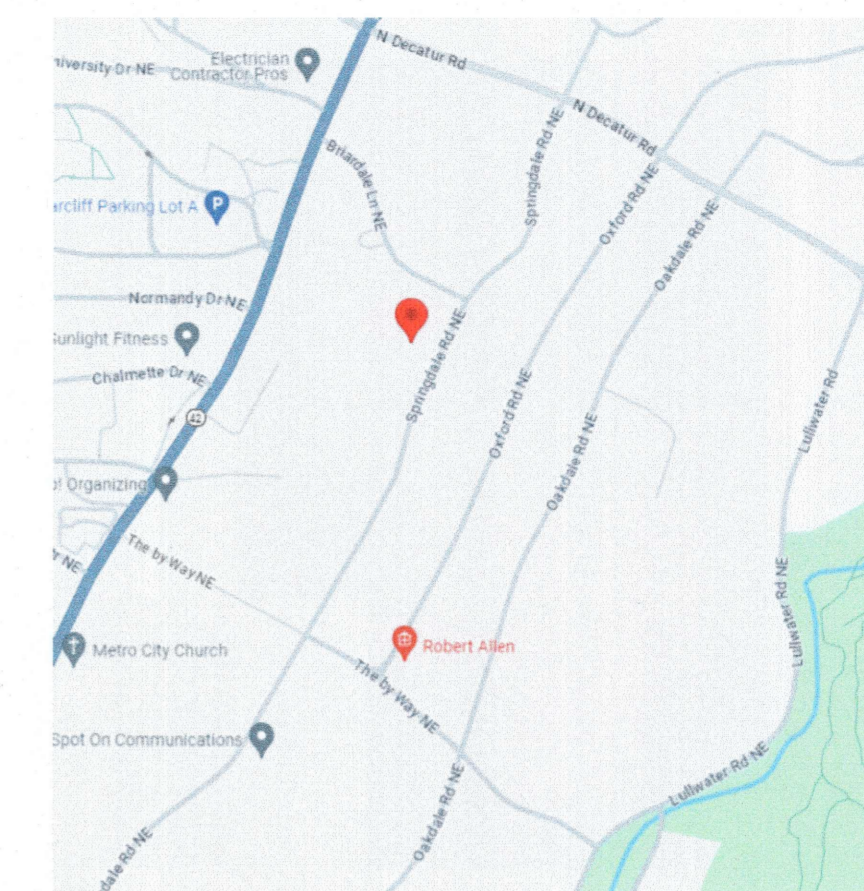
1156 Springdale Road  
Atlanta, Georgia  
Date : 3-17-2025

SHEET

S-1

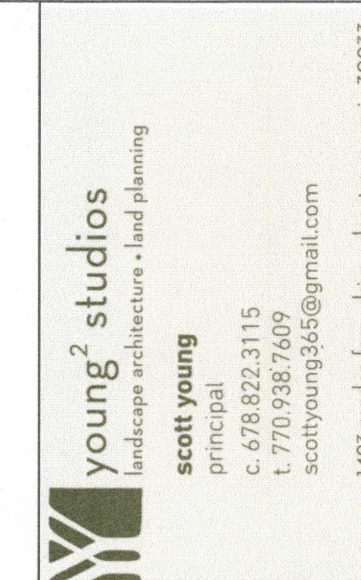


24 Hour Contact Mrs. Gretchen Colon  
(678) 907-3310



## Site Vicinity Map

Not To Scale

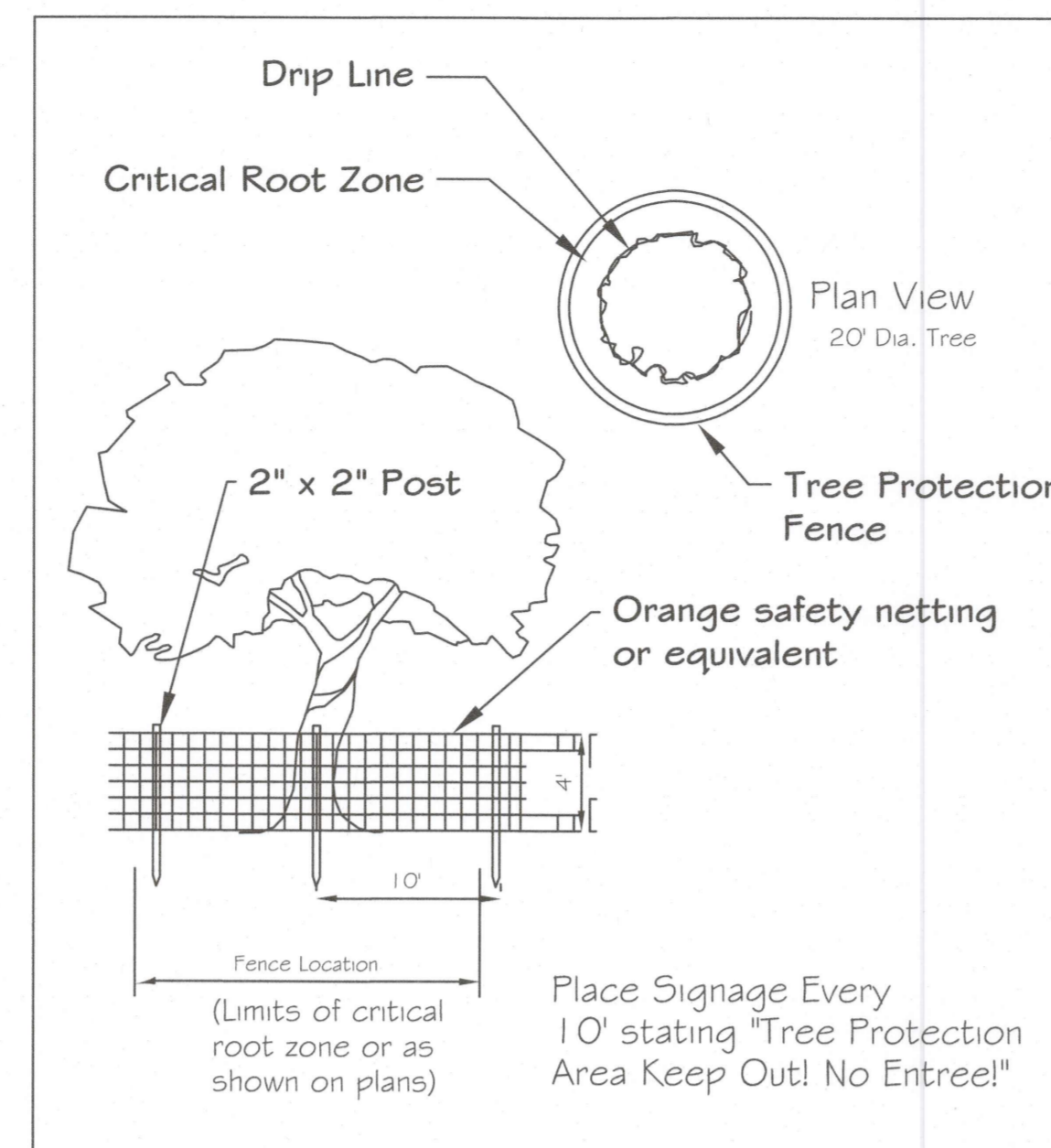


Project Notes:  
Owner: Mr. Ivan Riobo and  
Mrs. Gretchen Colon  
1156 Springdale Road Atlanta, Georgia  
Property Zoned R-85  
Building setbacks  
Front-35 Feet  
Side-8.5 Feet  
Rear-40 Feet  
Total lot area= 45,257 square feet (1.04 acre)  
Lot coverage allowed=35%  
or 15,839.95 square feet  
Existing lot coverage: (square feet)  
Items with Stars after figures (\*\*\*) to be removed  
House = 2,173 s.f.  
Garage = 709 s.f.\*\*\*  
Drive = 3,531 s.f. \*\*\*  
Front Porch / Steps = 400  
Front sidewalks = 312 s.f.  
Rear Steps and walk at garage = 262 s.f.\*\*\*  
Walls = 11 s.f. \*\*\*  
Rear patio = 573.75 \*\*\*  
Ac units and pad = 22 s.f.\*\*\*  
Rock Walk = 29 s.f.\*\*\*  
Dog House = 31 s.f.\*\*\*  
Conc Pad = 19 s.f.\*\*\*  
Stepping Stones = 40 s.f.\*\*\*  
Gravel = 113 s.f.\*\*\*  
Rip Rap = 245 s.f.\*\*\*  
Total existing lot coverage=8,470.75 s.f. (18.7%)  
Existing coverage to be removed 5,585.75 s.f.  
Existing (8,470.75 ) - Existing to be removed (5,585.75)= 2,885.00  
Existing to remain = 2,885.00 s.f.  
Proposed Lot Coverage:  
House Addition = 1,742.46  
Drive = 4,052.53 (New Drive)  
Orangery = 630.41 s.f.  
Pool = 638.91  
Pool Deck = 1,106.67 s.f.  
Retaining walls in rear yard = 404.90  
Retaining Wall by Driveway = 88.50  
Terrace above pool = 921.23  
Total Proposed Coverage = 9,585.61

Flood Statement  
This property is not located in a flood hazard area according to F.I.R.M. panel  
#13089C0062 K  
last revised on August 15, 2019

Survey information taken from survey by  
Solar Land Surveying Company  
P.O. Box 723993  
Atlanta, Georgia 30339-0993  
Phone (770) 794-9055  
Dated: 3-26-2020

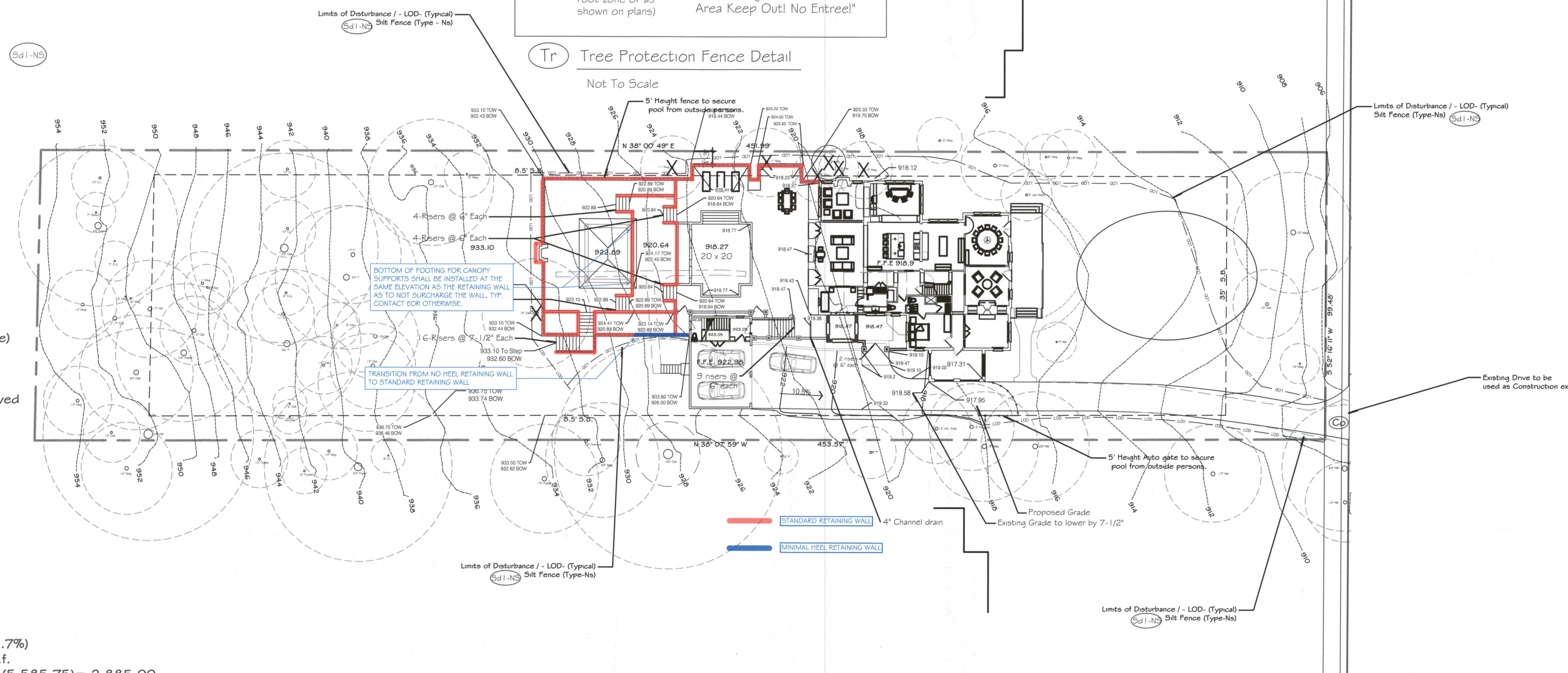
Total lot coverage existing (2,885) +  
Proposed coverage 9,585.61 =  
12,470.61 (27.5% Coverage)  
Total Cut = 867 Cubic Yards  
Total Fill= 18.03 Cubic Yards  
Area disturbed= 19,846.44 s.f. (0.455 Acres)



Place Signage Every  
10' stating "Tree Protection  
Area Keep Out! No Entree!"

(Tr) Tree Protection Fence Detail

Not To Scale



Project Description: Proposed construction of:

- 1) Demolition of existing Garage, Drive, Walks, Steps, Gravel areas
- 2) Addition to House, New Garage / Pool
- 3) New Drive, walls and walks as needed

"This project will comply with the current applicable codes that apply to all the commercial and residential swimming pool projects during reviews and inspections:  
International building code, 2012 edition, with Georgia amendments.-International Residential Code, 2012 edition, with Georgia amendments.-International Fire Code, 2012 edition, with Georgia amendments.-International Plumbing Code, 2012 edition, with Georgia amendments.-International Mechanical Code, 2012 edition, with Georgia amendments.-International Fuel Gas code, 2012 edition, with Georgia amendments.-National Electrical Code, 2014 edition (NO Georgia amendments). -Georgia Accessibility Code-GA 120-3-20A (2010 ADA Standards for Accessible design)"

Graphic Scale: 1" = 20'

0 20 40 60 feet

1" = 20'

North



## Site Plan

## The Riobo - Colon Residence

SHEET  
LA-1

## Wall Legend

## The Riobo - Colon Residence

SHEET  
S-2



Tree Preservation Calculations  
 120 inches / Acre X 1.04 Acres=125 inches required or  
 25% of existing trees to remain 686" x .25 = 171.50 inches required to remain  
 686" Caliper Inches exist on site  
 7 Trees to be lost due to construction for 87" caliper inches removed  
 686 - 87" = 599" caliper inches remain on property  
 599" > 125" Therefore density is satisfied

15 Units / Acre required for site  
 Site = 1.04 Acre x 15(Units) = 15.6 Units required  
 15.8 Units remain on site so Unit requirement is satisfied



24 Hour Contact Mrs. Gretchen Colon  
(678) 907-3310



Not To Scale

Not To Scale

Site plan for 10000 Springdale Road. The plan shows existing and proposed structures, trees, and landscaping. Key features include:

- Structures:** Existing Footprint (F.F.E. 918.9) and Proposed Footprint (F.F.E. 918.9). A concrete drive is marked for demolition.
- Trees and Landscaping:**
  - 33" Poplar: 0.08 % Disturbed
  - 19" Oak (Lost)
  - 19" Poplar: 0% Disturbed
  - 20" Magnolia: 12.6% Disturbed
  - 40" Oak: 0.0% Disturbed
  - 20" Magnolia: 12.6% Disturbed
  - 12" Hemlock: 15.2% Disturbed
  - 19" Magnolia: 19.8% Disturbed
  - 15" Hemlock (Lost): 41.4% Disturbed
  - 12" Holly (Lost): 47.9% Disturbed
  - 20" HW: 12.8% Disturbed
  - 9" Pine: 0.8% Disturbed
- Notes:**
  - Note: Demolition of concrete drive to be performed with hand tools in the drip line of the 40" Oak in the area shown to reduce impact
  - Existing Drive to be used as Construction exit

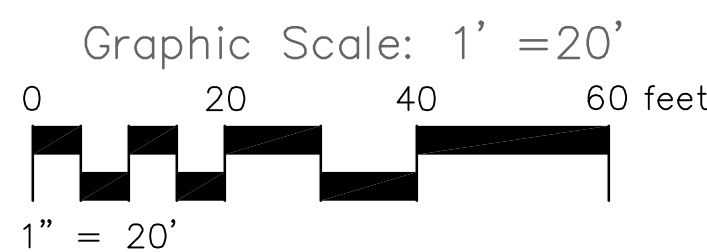
## Flood Statement

This property is not located in a flood hazard area according to F.I.R.M. panel #13089C0062 K last revised on August 15, 2019

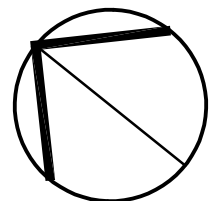
Survey information taken from survey by  
Solar Land Surveying Company  
P.O. Box 723993  
Atlanta, Georgia 30339-0993  
Phone (770) 794-9055  
Dated: 3-26-2020

"This project will comply with the current applicable codes that apply to all the commercial and residential swimming pool projects during reviews and inspections:

International building code, 2012 edition, with Georgia amendments.-International Residential Code, 2012 edition, with Georgia amendments-International Fire Code, 2012 edition, with Georgia amendments-International Plumbing Code, 2012 edition, with Georgia amendments.-International Mechanical Code, 2012 edition, with Georgia amendments.-International Fuel Gas code, 2012 edition, with Georgia amendments.-National Electrical Code, 2014 edition (NO Georgia amendments). -Georgia Accessibility Code-GA 120-3-20A (2010 ADA Standards for Accessible design)"



# North



# Tree Protection Plan

# The Riobo - Colon Residence

1156 Springdale Road

Atlanta, Georgia

Date : 3-17-2025

SHEET

LA-2



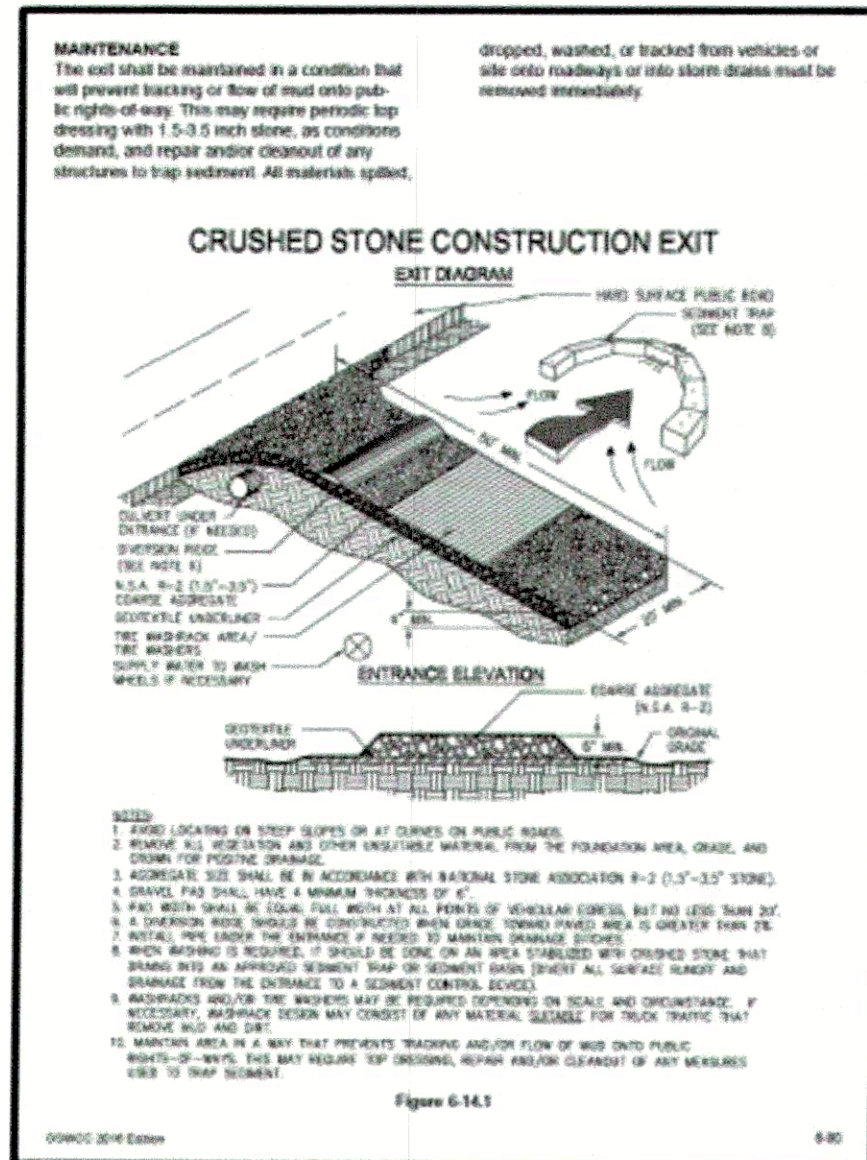
young<sup>2</sup> studios  
landscape architecture • and planning

**scott young**  
principal

c. 678.822.3115  
t. 770.938.7609

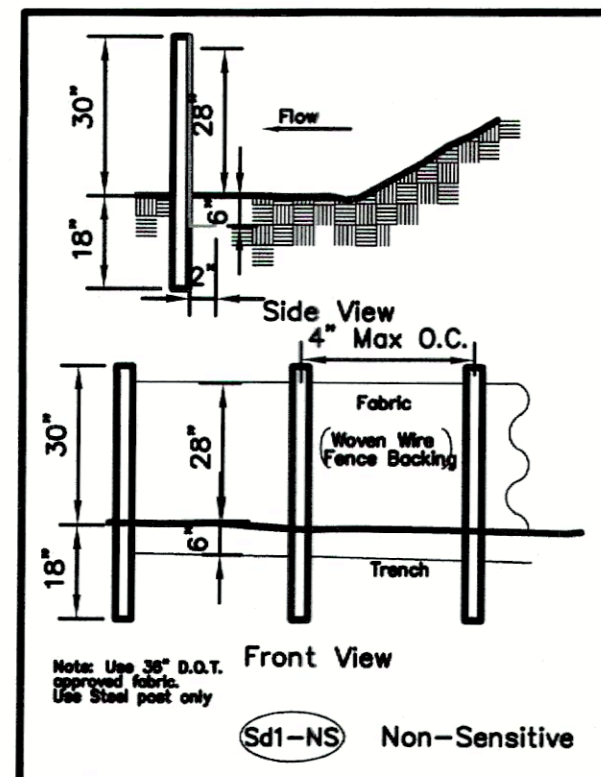
scottyoung365@gmail.com  
1493 sanden ferry drive • decatur





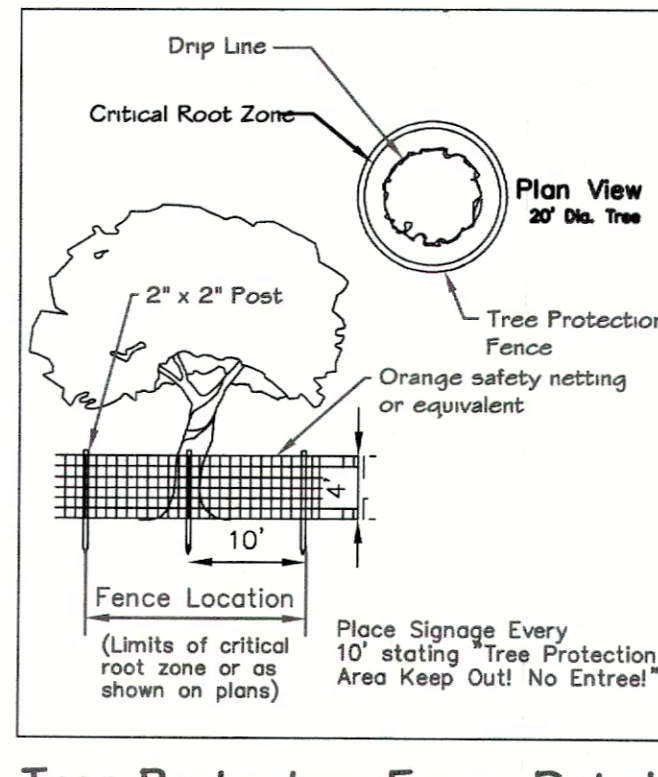
### Construction Exit Detail

Not To Scale



### Tree Protection Fence Detail

Not To Scale



### Tree Protection Fence Detail

Not To Scale



NOTE:  
All land disturbance to be stabilized with vegetation upon completion of demolition.  
All trees to remain and have property protection unless approved plans indicate otherwise.  
Dumpsters and / or temporary sanitary facilities shall not be located in the street or tree protection area or right of way.  
Additional erosion controls shall be installed as deemed necessary by the on-site inspector(s)

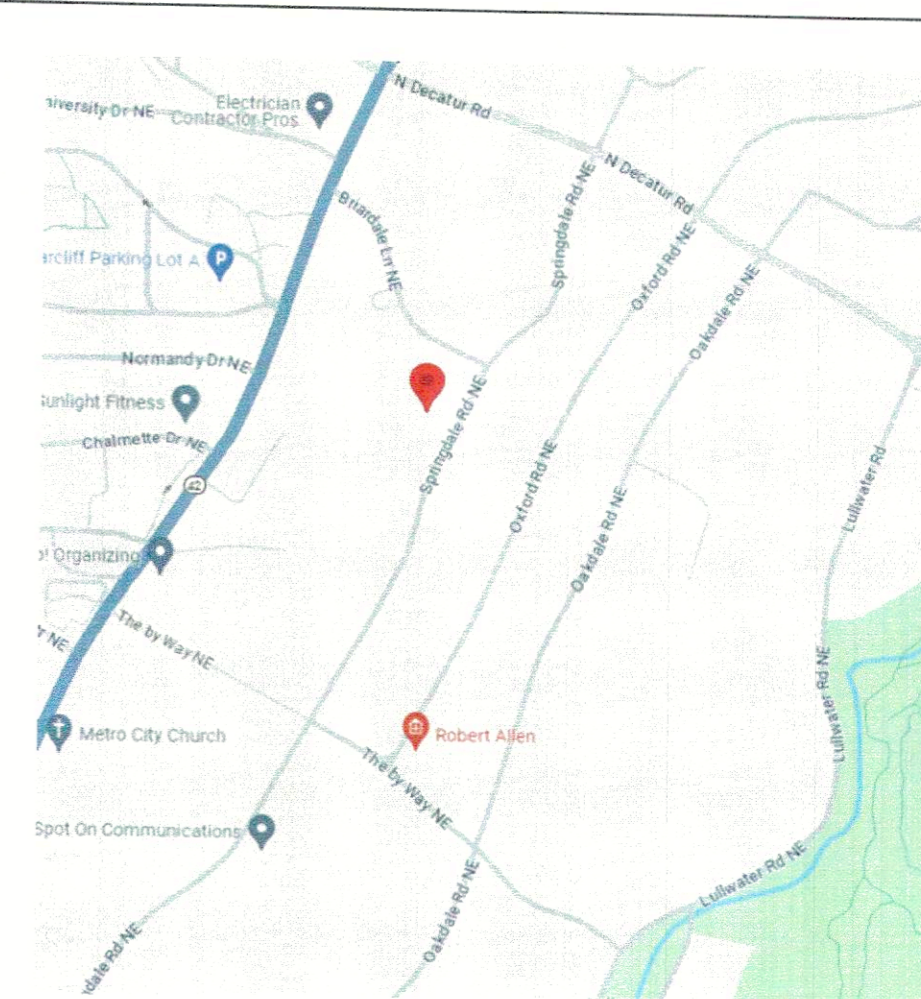
Utility lines to be cut off and capped at the street (if applicable)



Know what's below.  
Call before you dig.

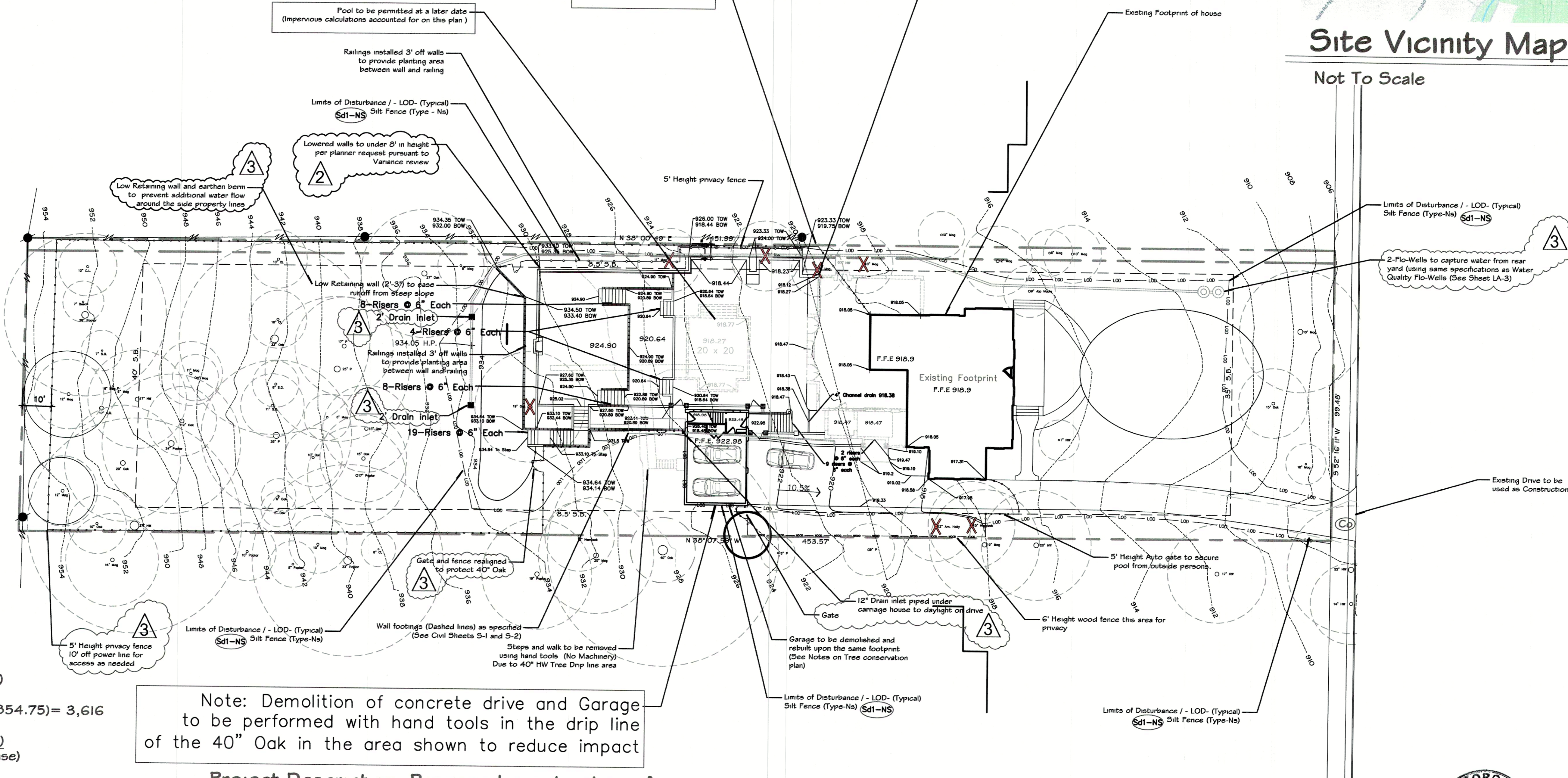
24 Hour Contact Mrs. Gretchen Colon  
(678) 907-3310

NOTE: House addition will be part of future permit submission  
(Impervious calculations accounted for on this plan)



## Site Vicinity Map

Not To Scale



Note: Demolition of concrete drive and Garage to be performed with hand tools in the drip line of the 40" Oak in the area shown to reduce impact

### Project Description: Proposed construction of:

- 1) Demolition and rebuilding of Carriage house.
- 2) Demolition of drive at carriage house.
- 3) Retaining walls and grading as shown.
- 4) Perimeter fencing (5' height) around property as shown
- 5) Water Quality devices calculated for this plan and future impervious additions to be permitted later.

"This project will comply with the current applicable codes that apply to all the commercial and residential swimming pool projects during reviews and inspections:

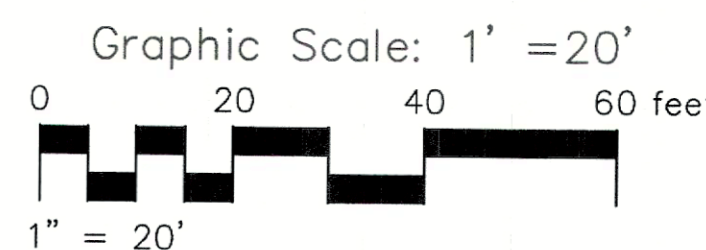
International building code, 2012 edition, with Georgia amendments.-International Residential Code, 2012 edition, with Georgia amendments-International Fire Code, 2012 edition, with Georgia amendments-International Plumbing Code, 2012 edition, with Georgia amendments.-International Mechanical Code, 2012 edition, with Georgia amendments.-International Fuel Gas code, 2012 edition, with Georgia amendments.-National Electrical Code, 2014 edition (NO Georgia amendments). -Georgia Accessibility Code-GA 120-3-20A (2010 ADA Standards for Accessible design)"

### Flood Statement

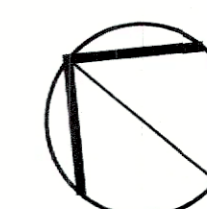
This property is not located in a flood hazard area according to F.I.R.M. panel #13089C0062 K last revised on August 15, 2019

Survey information taken from survey by  
Solar Land Surveying Company  
P.O. Box 723993  
Atlanta, Georgia 30339-0993  
Phone (770) 794-9055  
Dated: 3-26-2020

Total lot coverage existing (3,616) +  
Proposed coverage 9,057.33 =  
12,673.33 (28.0% Coverage)  
Net Impervious gain = 4,202.58 S.F.  
Total Cut = 867 Cubic Yards  
Total Fill= 18.03 Cubic Yards  
Area disturbed= 23,002.63 s.f. (0.528 Acres)



North



## Site Plan

Revised 4-18-25 Per Planner comments

Revised 6-2-25 Per Planner comments on retaining wall (revised walls to under 8' in height)

Revised 6-17-25 Per comments by neighbors for protection of 40" Oak on neighbors property

## The Riobo - Colon Residence

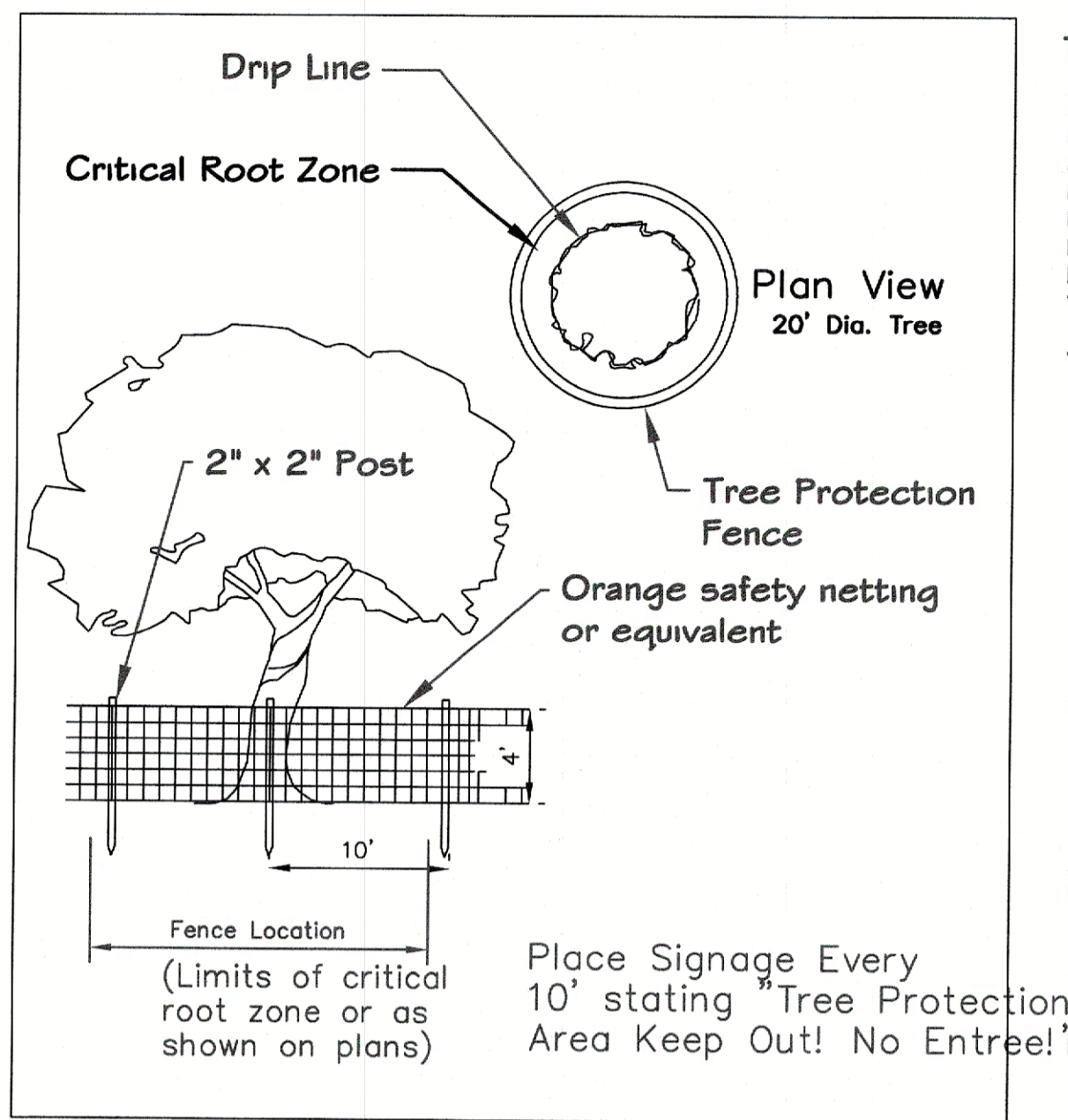
1156 Springdale Road

Atlanta, Georgia

Date : 3-17-2025

SHEET  
LA-1

young² studios  
landscape architecture • land planning  
scott young  
principal  
c. 678.922.3115  
t. 770.938.7619  
scottyoung365@gmail.com  
1493 sander ferry drive • decatur, georgia 30033



### Tree Protection Fence Detail

Not To Scale

### Trees to be removed

- 9" Magnolia
- 11" Magnolia
- 11" Magnolia
- 10" Magnolia
- 19" Hardwood
- 12" Holly
- 15" Hemlock
- Total of 87" Removed
- 7 Trees to be removed

### Tree Preservation Calculations

120 inches / Acre X 1.04 Acres = 125 Inches required or  
 25% of existing trees to remain 686" x .25 = 171.50 inches required to remain  
 686" Caliper inches exist on site  
 7 Trees to be lost due to construction for 87" caliper inches removed  
 686 - 87" = 599" caliper inches remain on property  
 599" > 125" Therefore density is satisfied

15 Units / Acre required for site  
 Site = 1.04 Acre x 15(Units) = 15.6 Units required  
 195.8 Units remain on site so Unit requirement is satisfied

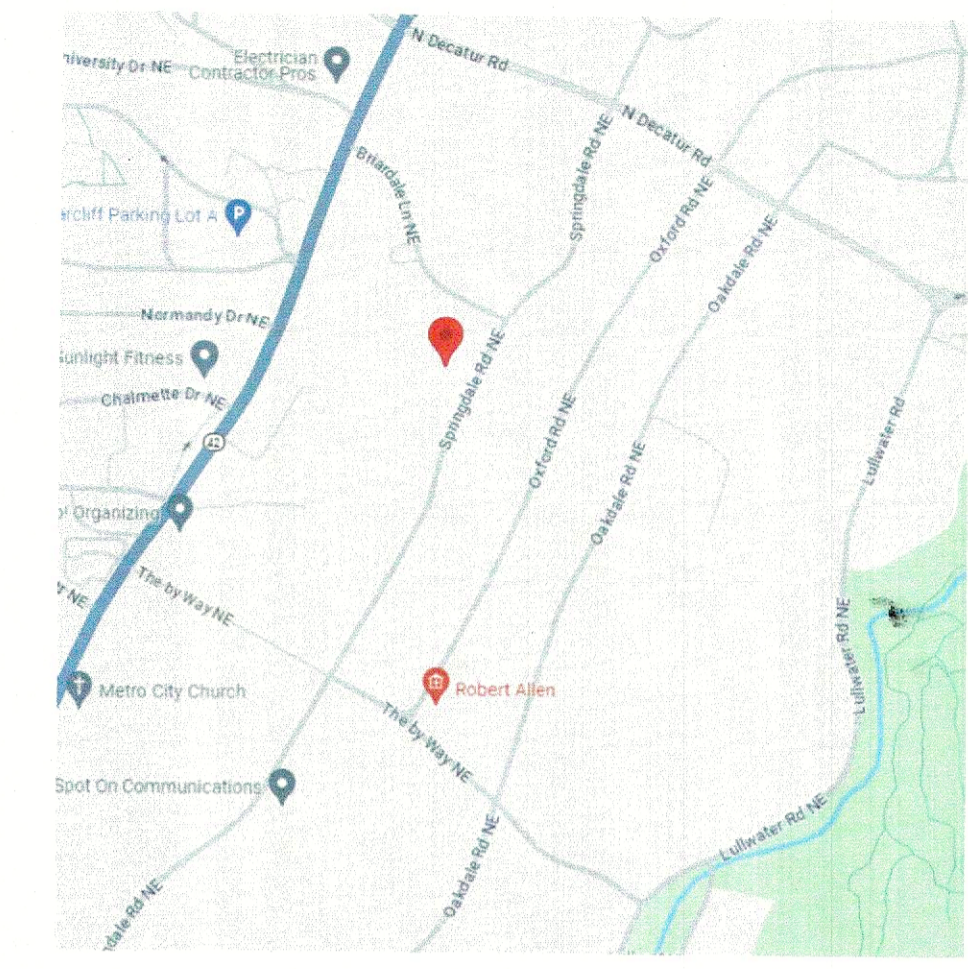
### Arborist requirement for replacement of existing driveway and Garage within CRZ of existing 40" Oak

1. Use hand machinery to remove pavement ie, Jack hammer
2. No cut or fill of earth allowed within CRZ
3. Level using 57 stone- do not compact soil
4. Lay 6 mil plastic sheet before pouring concrete



Know what's below.  
Call before you dig.

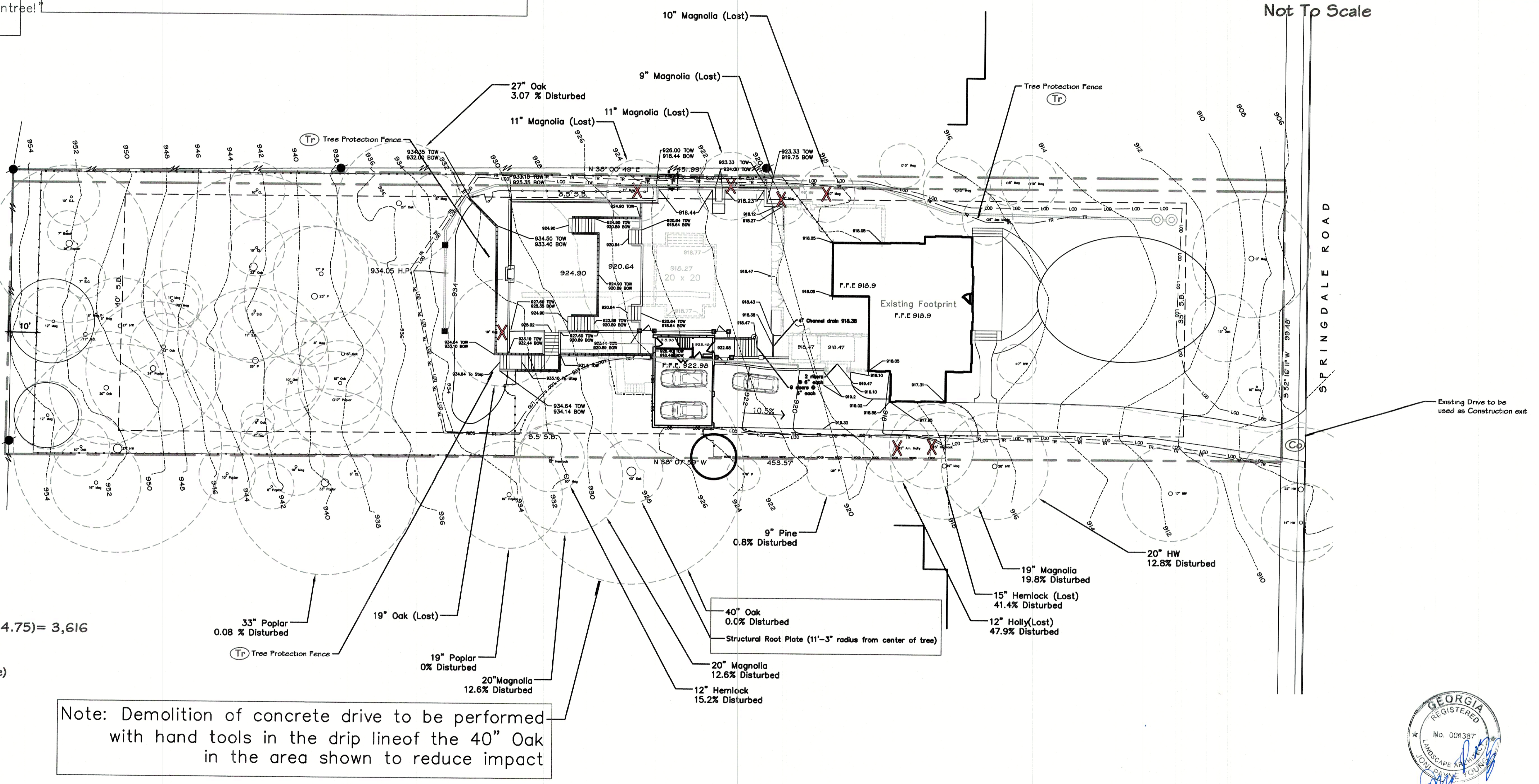
24 Hour Contact Mrs. Gretchen Colon  
(678) 907-3310



### Site Vicinity Map

Not To Scale

**Project Notes:**  
 Owner: Mr. Ivan Riobo and Mrs. Gretchen Colon  
 1156 Springdale Road Atlanta, Georgia  
 Property Zoned R-85  
 Building setbacks  
 Front-35 Feet  
 Side-8.5 Feet  
 Rear-40 Feet  
 Total lot area= 45,257 square feet (1.04 acre)  
 Lot coverage allowed=35%  
 or 15,839.95 square feet  
 Existing lot coverage: (square feet)  
 Items with Stars after figures (\*\*\*) to be removed  
 House = 2,173 s.f.  
 Garage = 709 s.f.  
 Drive = 3,531 s.f. \*\*\*  
 Front Porch / Steps = 400  
 Front sidewalks = 312 s.f.  
 Rear Steps and walk at garage = 262 s.f.\*\*\*  
 Walls = 11 s.f. \*\*\*  
 Rear patio = 573.75 \*\*\*  
 Ac units and pad = 22 s.f.  
 Rock Walk = 29 s.f.\*\*\*  
 Dog House = 31 s.f.\*\*\*  
 Conc Pad = 19 s.f.\*\*\*  
 Stepping Stones = 40 s.f.\*\*\*  
 Gravel = 113 s.f.\*\*\*  
 Rip Rap = 245 s.f.\*\*\*  
 Total existing lot coverage=8,470.75 s.f. (18.7%)  
 Existing coverage to be removed 4,854.75 s.f.  
 Existing (8,470.75) - Existing to be removed (4,854.75)= 3,616  
 Existing to remain = 3,616.00 s.f.  
 Proposed Lot Coverage: (all figures in Square feet)  
 House Addition = 1,633.87 (Not shown on his phase)  
 Drive = 2,654.52 (New Drive)  
 Pool = 581.33 s.f. (Not shown on this phase)  
 Lower Deck (Pool Deck) = 1,664.25  
 Perimeter Retaining Wall = 253.53  
 1st wall and steps = 190.77  
 2nd wall and steps = 106.54  
 Steps to upper yard = 138.98  
 Middle Terrace = 540.05  
 Upper Terrace = 1,162.78  
 Retaining wall above rear Wall = 42.21  
 Retaining Wall by Driveway = 88.50  
 Total Proposed Coverage = 9,057.33



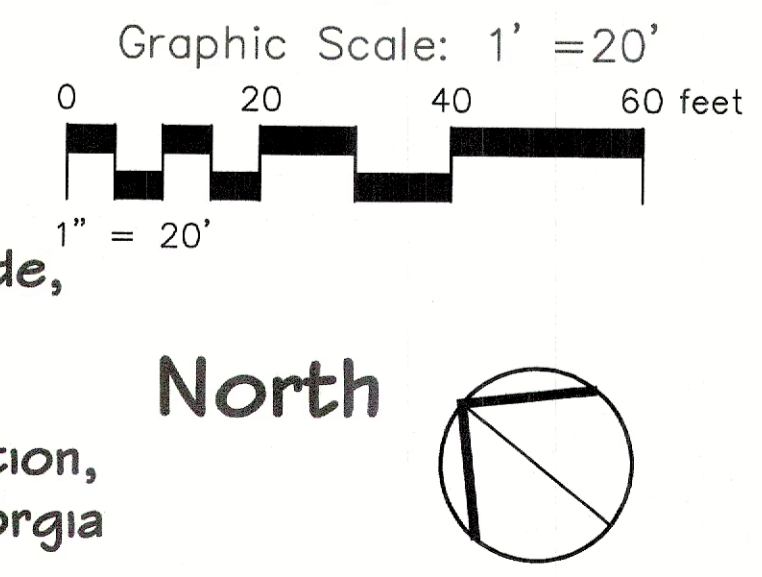
Note: Demolition of concrete drive to be performed with hand tools in the drip line of the 40" Oak in the area shown to reduce impact

### Flood Statement

This property is not located in a flood hazard area according to F.I.R.M. panel #13089C0062 K last revised on August 15, 2019

Survey information taken from survey by Solar Land Surveying Company  
 P.O. Box 723993  
 Atlanta, Georgia 30339-0993  
 Phone (770) 794-9055  
 Dated: 3-26-2020

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### Tree Protection Plan

The Riobo - Colon Residence  
 1156 Springdale Road  
 Atlanta, Georgia  
 Date : 3-17-2025

SHEET  
LA-2

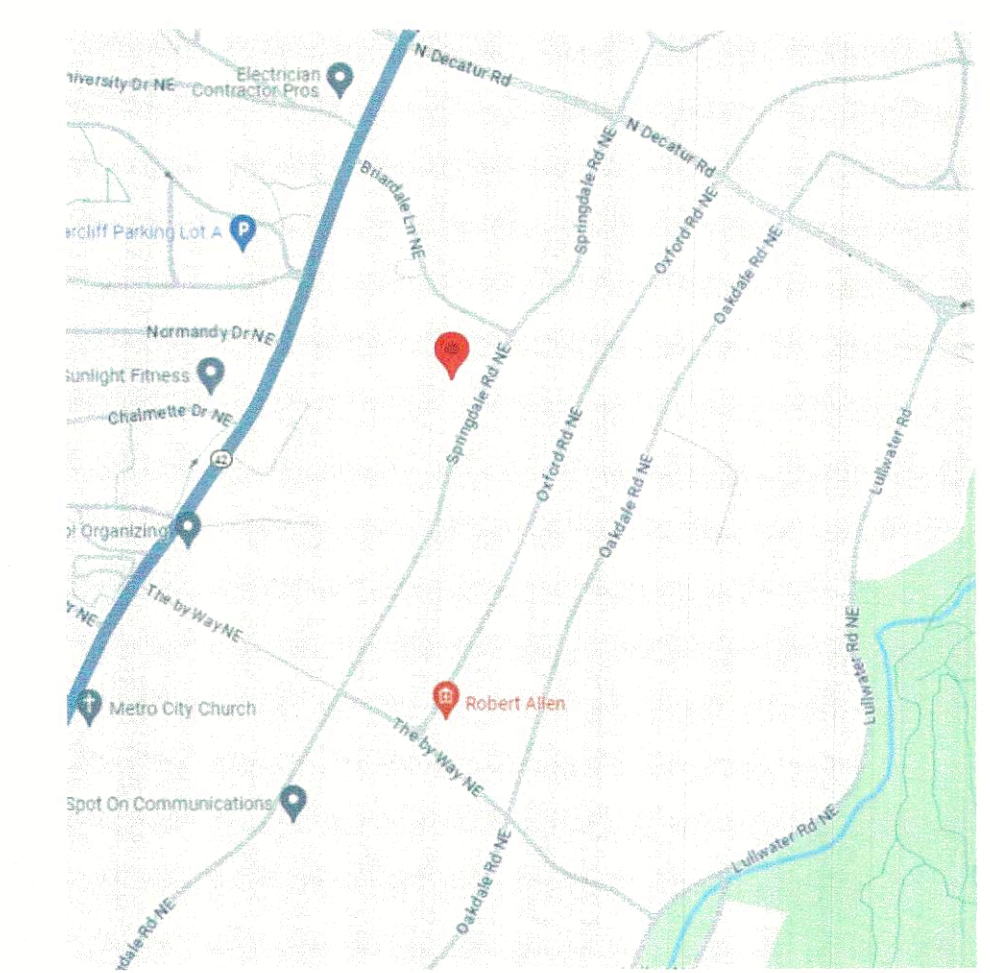
young studios  
 landscape architecture • land planning  
 scott young  
 principal  
 c. 678.822.3115  
 t. 770.938.7609  
 scott.young@youngstudios.com  
 1493 warden ferry drive • decatur, georgia 30033

# Land Disturbance Stabilization Key



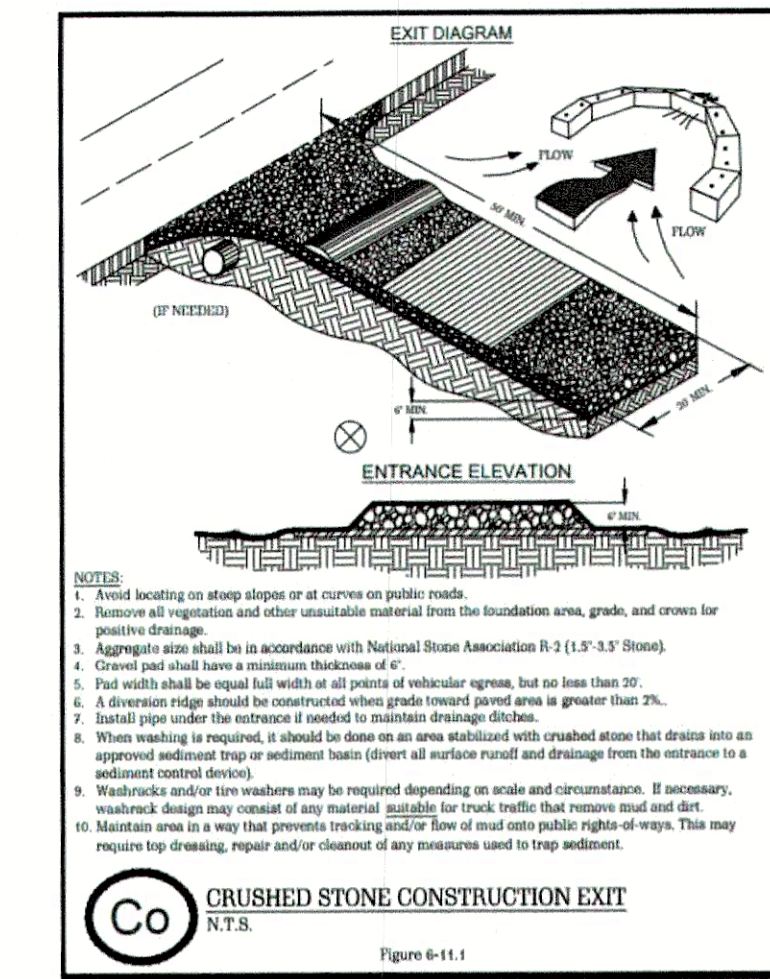
Know what's below.  
Call before you dig.

24 Hour Contact Mrs. Gretchen Colon  
(678) 907-3310

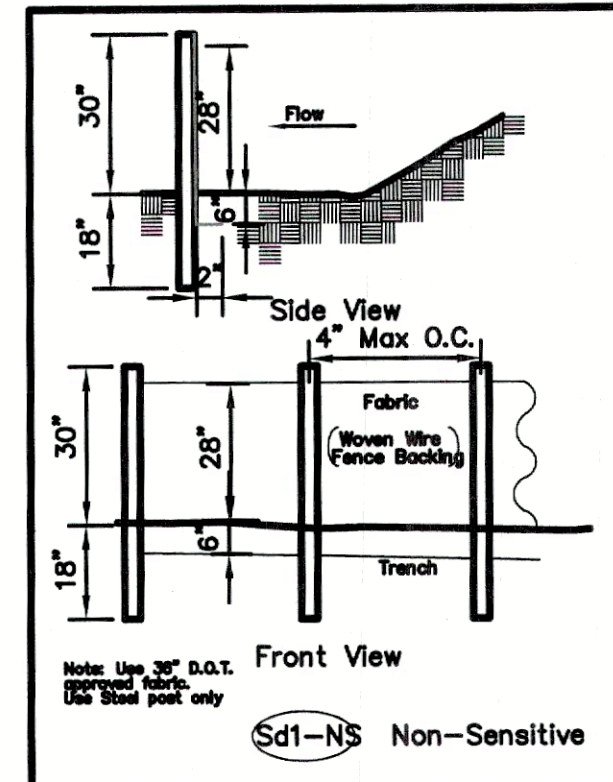


## Site Vicinity Map

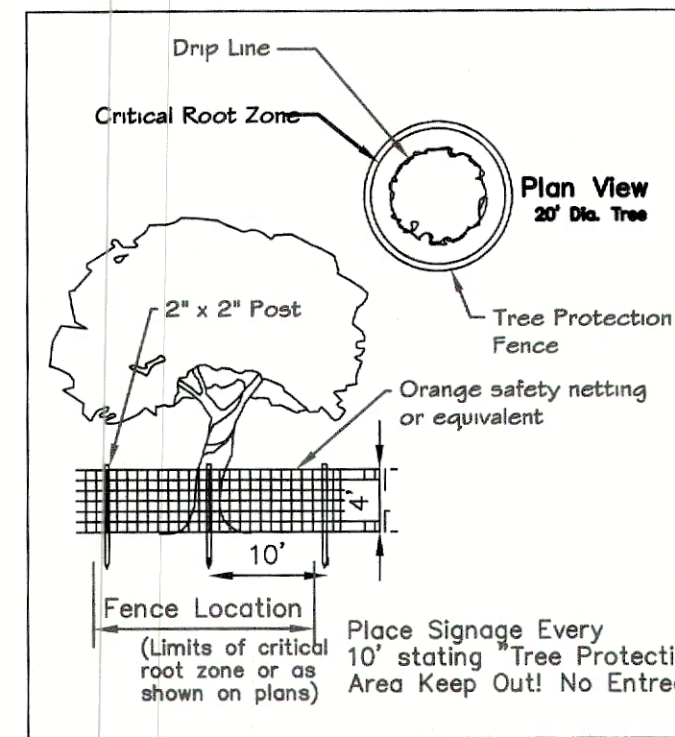
Not To Scale



- Ds1 Disturbed area stabilization (with mulching only)
- Ds2 Disturbed area stabilization (with temporary seeding)
- Ds3 Disturbed area stabilization (with permanent seeding)
- Ds4 Disturbed area stabilization (with sodding)



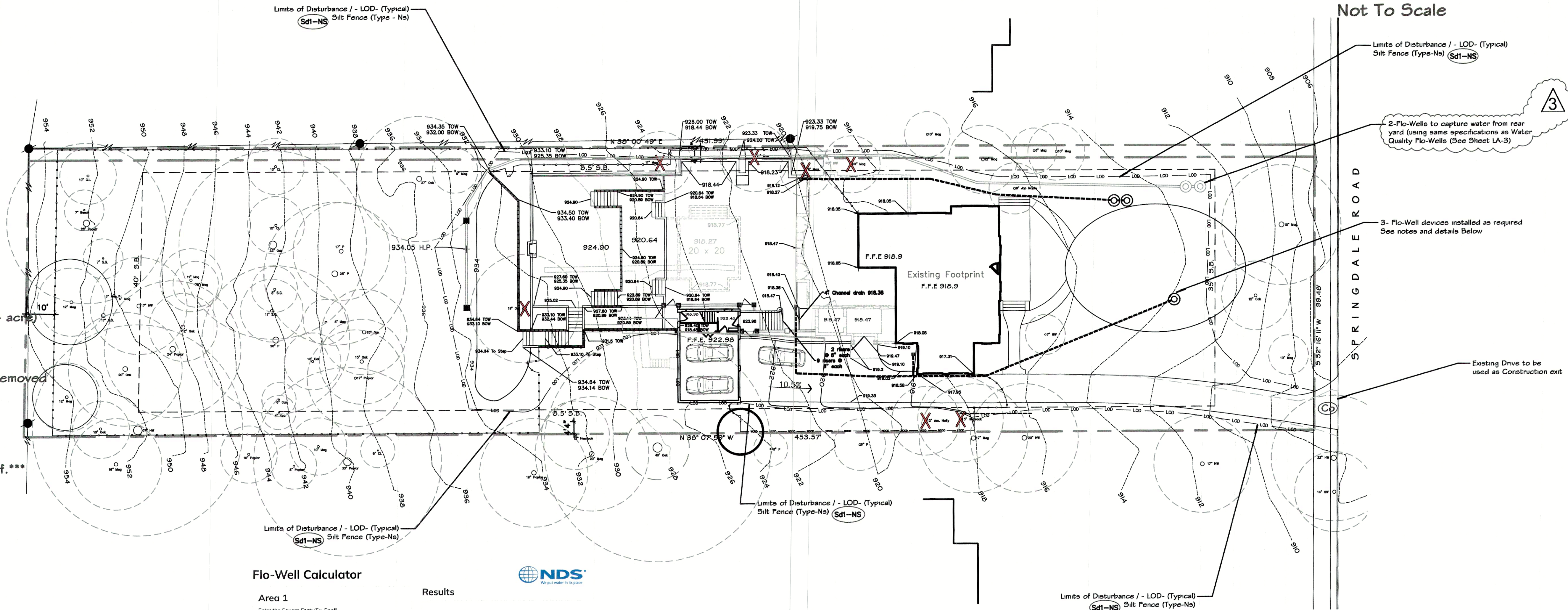
Silt Fence Detail  
Not To Scale



Tree Protection Fence Detail  
Not To Scale

**Project Notes:**  
Owner: Mr. Ivan Riobo and Mrs. Gretchen Colon  
1156 Springdale Road Atlanta, Georgia  
Property Zoned R-85  
Building setbacks  
Front-35 Feet  
Side-8.5 Feet  
Rear-40 Feet  
Total lot area= 45,257 square feet (1.04 acres)  
Lot coverage allowed=35%  
or 15,839.95 square feet  
Existing lot coverage: (square feet)  
Items with Stars after figures (\*\*\*) to be removed  
House = 2,173 s.f.  
Garage = 709 s.f.  
Drive = 3,531 s.f. \*\*\*  
Front Porch / Steps = 400  
Front sidewalks = 312 s.f.  
Rear Steps and walk at garage = 262 s.f.\*\*\*  
Walls = 11 s.f. \*\*\*  
Rear patio = 573.75 \*\*\*  
Ac units and pad = 22 s.f.  
Rock Walk = 29 s.f.\*\*\*  
Dog House = 31 s.f.\*\*\*  
Conc Pad = 19 s.f.\*\*\*  
Stepping Stones = 40 s.f.\*\*\*  
Gravel = 113 s.f.\*\*\*  
Rip Rap = 245 s.f.\*\*\*  
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Existing coverage to be removed 4,854.75 s.f.  
Existing (8,470.75 ) - Existing to be removed (4,854.75)= 3,616  
Existing to remain = 3,616.00 s.f.  
**Proposed Lot Coverage: (all figures in Square feet)**  
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Drive = 2,654.52 (New Drive)  
Pool = 581.33 s.f. (Not shown on this phase)  
Lower Deck (Pool Deck) = 1,664.25  
Perimeter Retaining Wall = 253.53  
1st wall and steps = 190.77  
2nd wall and steps = 106.54  
Steps to upper yard = 138.98  
Middle Terrace = 540.05  
Upper Terrace = 1,162.78  
Retaining wall above rear Wall = 42.21  
Retaining wall by Driveway = 88.50  
Total Proposed Coverage = 9,057.33

Total lot coverage existing (3,616) +  
Proposed coverage 9,057.33 =  
12,673.33 (28.0% Coverage)  
Net Impervious gain = 4,202.58 S.F.  
Total Cut = 867 Cubic Yards  
Total Fill= 18.03 Cubic Yards  
Area disturbed= 23,002.63 s.f. (0.528 Acres)



### Flo-Well Calculator

#### Area 1

Enter the Square Feet (Ex. Roof)

4203

Choose the Coefficient of Runoff:

1.0 (Concrete/Asphalt/Roof)

ADD AREA

Choose the 25 Year Rainfall:

1.25

(see rainfall map)

Enter the depth of the gravel backfill beneath the Flo-Well: (Dimension A)

2

Enter the thickness of the gravel backfill around the Flo-Well: (Dimension B)

3

RESET PRINT CALCULATE

Rational Method

Q=CIA

Q=Runoff Flow Rate

C=Runoff Coefficient

I=Rainfall Intensity

A=Area

Gravel Specifications

#### Results

Runoff

54.6 GPM

0.13 CFS

# of Flo-Well Needed 3

#### Volume of water to be stored

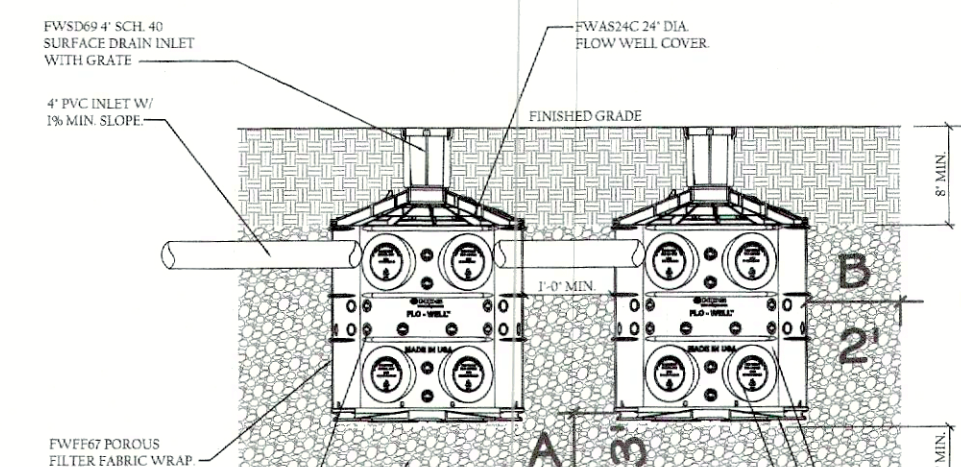
1638.00 Gallons

218.98 Cubic Feet

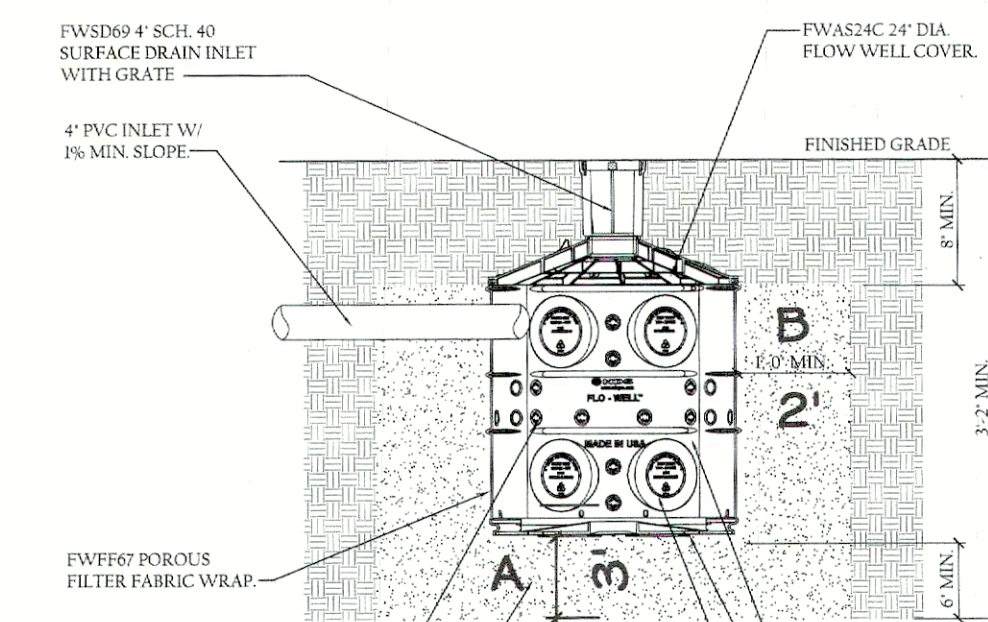
#### Amount of Gravel Needed

16.27 Cubic yards

439.29 Cubic feet

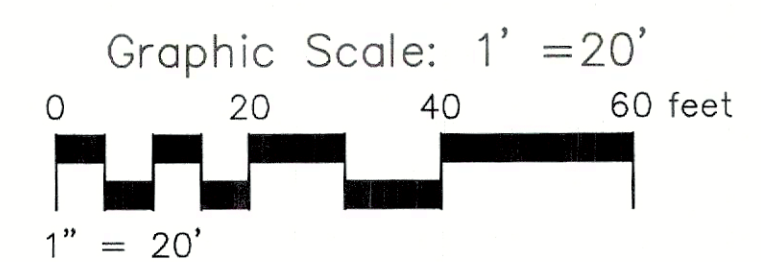


Side by Side Flo-Well installation detail  
Not To Scale

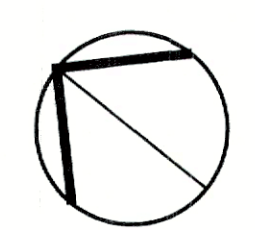


Single Flo-Well installation detail  
Not To Scale

**Note:**  
Doors and windows adjacent to pool, to have alarms placed so they will sound if opened.



North

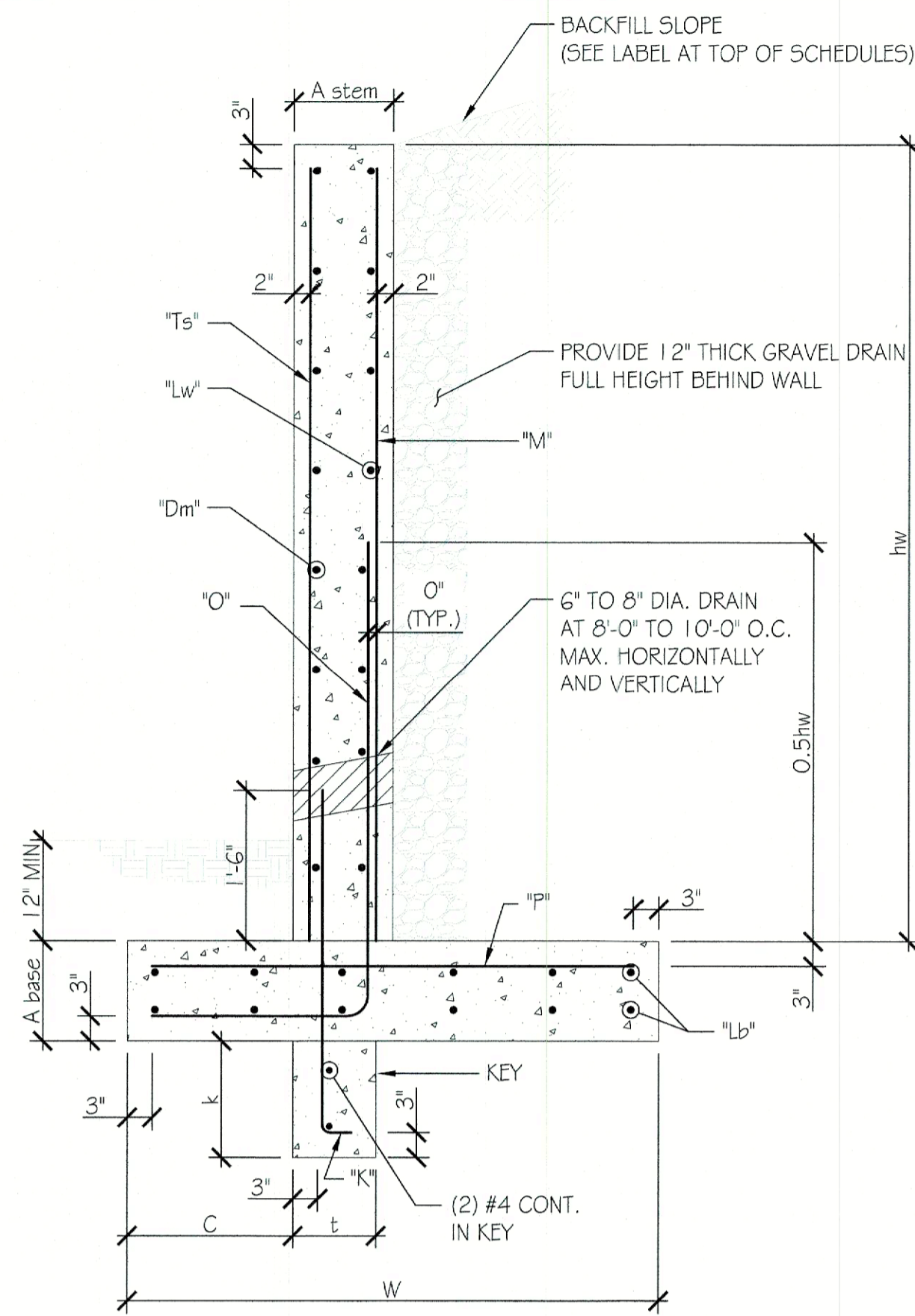


ES & PC Plan

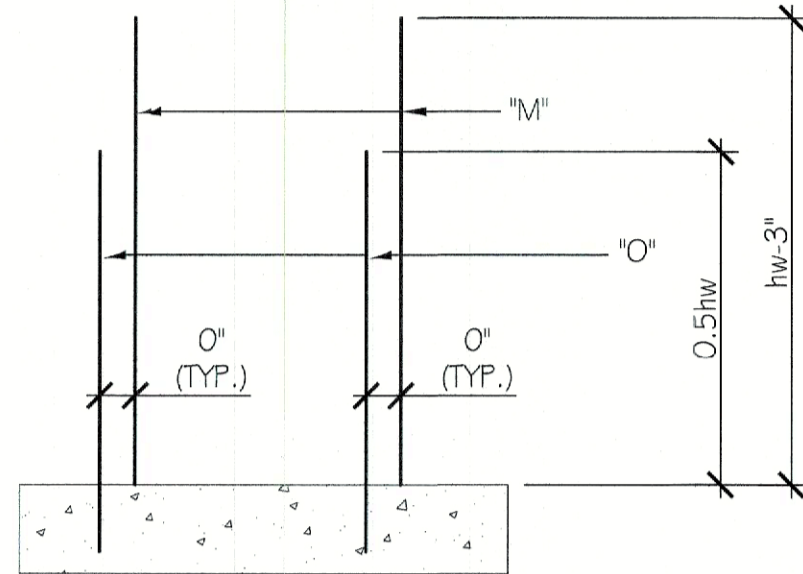
The Riobo - Colon Residence  
1156 Springdale Road  
Atlanta, Georgia  
Date : 3-17-2025

SHEET  
LA-3

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t. 770.938.7609  
scottyoung365@gmail.com  
1493 arden ferry drive • decatur, georgia 30033



- FACTORS USED IN THE DESIGN OF THIS RETAINING WALL THAT NEED TO BE VERIFIED BY OTHERS:
1. SOIL SPECIFIC WEIGHT (SOIL DENSITY COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY BASED ON ASTM D698 METHOD),  $\gamma = 110$  PCF
  2. SOIL ALLOWABLE BEARING CAPACITY= 2,000 PSF
  3. INTERNAL FRICTION ANGLE,  $\phi = 30^\circ$
  4. EXTERNAL FRICTION FACTOR,  $\mu = 0.35$
  5. ACTIVE SOIL PRESSURE (or EFP),  $P_a = 36.7$  PSF
  6. PASSIVE SOIL PRESSURE,  $P_p = 330$  PSF
  7.  $f'_c = 3,000$  psi,  $F_y = 60,000$  psi



NOTE:  
NUMBER OF "Lb" BARS SHALL BE  
PLACED TOP & BOTTOM IN FOOTING.

1  
S-1

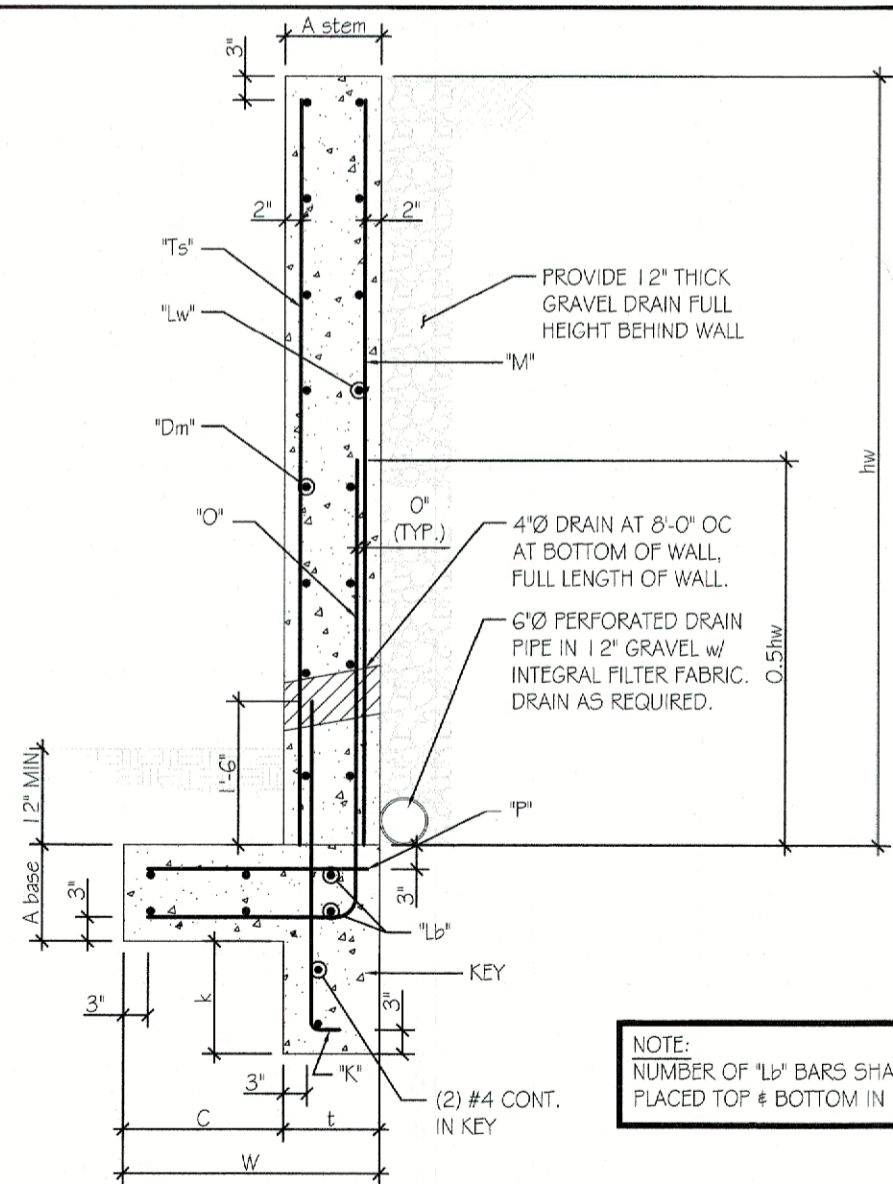
## STANDARD RETAINING WALL SCHEDULE

SCALE: N.T.S.

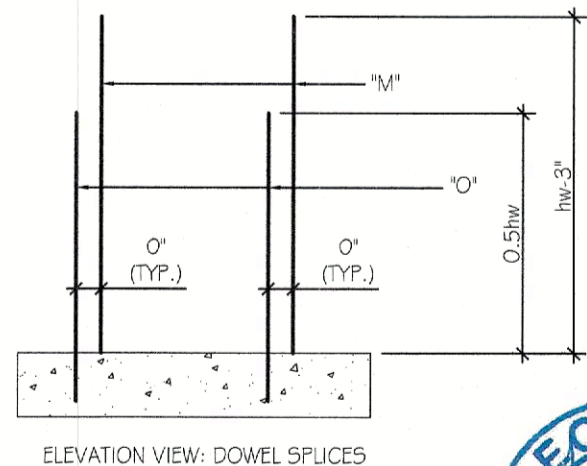
## LEVEL BACKFILL

STANDARD CANTILEVERED RETAINING WALL SCHEDULE (G) (7)													
CONCRETE DIMENSIONS (1)						REINFORCEMENT							
Height Above Base (hw)	Stem Thickness (A stem)	Toe Dim. # Key Location (C)	Width of Base (W)	Base Depth (A base)	Key (t x k)	"O" Bars (2) (5)	"M" Bars (5)	"Dm" Bars	"Lw" Bars	"P" Bars	"Ts" Bars	"Lb" Bars (4)	"K" Bars (3)
ft	in	ft-in	ft-in	in	in x in	Size@in	Size@in	Size@in	Size@in	Size@in	Size@in	No. Size	Size@in
4	8	0-6	2-6	10	N/A	#4@18	#4@18	N/A	#4@12	N/A	N/A	(2)#4	N/A
6	8	0-9	3-0	12	N/A	#4@18	#4@18	N/A	#4@12	N/A	N/A	(2)#4	N/A
8	8	1-0	3-0	12	N/A	#4@18	#4@18	N/A	#4@12	N/A	N/A	(4)#4	N/A
10	10	1-6	7-3	12	N/A	#5@10	#4@18	N/A	#4@10	#5@10	N/A	(5)#4	N/A
12	12	2-6	8-0	14	6 x 12	#5@8	#4@18	#4@16	#4@16	#5@9	#4@18	(6)#4	#4@18
14	14	3-0	9-0	15	10 x 18	#6@10	#4@18	#4@14	#4@14	#5@8	#4@18	(8)#4	#4@18
16	16	4-0	10-9	16	12 x 24	#7@8	#4@18	#4@12	#4@12	#6@8	#4@18	(10)#4	#4@12
18	18	5-0	12-0	18	16 x 30	#7@8	#4@18	#5@16	#5@16	#6@8	#4@18	(12)#4	#5@12

- (1) PROVIDE CONTRACTION JOINTS AT 25'-0" O.C. MAX. AND EXPANSION JOINTS @ 200'-0" MAX. ALONG CONTINUOUS WALL SECTION.
- (2) ALL "O" BARS TO HAVE A 90° HOOK INTO TOE OF FOOTING.
- (3) "K" BARS SHALL HAVE 90° HOOK IN BOTTOM OF KEY. KEY TO HAVE (2) #4 CONT. BARS PLACED LONGITUDINALLY. "K" BARS SHALL EXTEND 1'-6" INTO STEM ABOVE.
- (4) NUMBER OF "Lb" BARS SHALL BE PLACED TOP & BOTTOM IN FOOTING.
- (5) IF "O" BARS ARE FULL WALL HEIGHT, "M" BARS MAY BE OMITTED.
- (6) IF RETAINING WALL IS SURCHARGED BY A DRIVEWAY, CONSTRUCT THE WALL USING SPECIFICATIONS FROM THE SCHEDULE FOR A WALL 2'-0" GREATER IN HEIGHT.
- (7) THIS DESIGN IS NOT APPLICABLE WITH ANY SURCHARGE.



- FACTORS USED IN THE DESIGN OF THIS RETAINING WALL THAT NEED TO BE VERIFIED BY OTHERS:
1. SOIL SPECIFIC WEIGHT (SOIL DENSITY COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY BASED ON ASTM D698 METHOD),  $\gamma = 110$  PCF
  2. SOIL ALLOWABLE BEARING CAPACITY= 2,000 PSF
  3. INTERNAL FRICTION ANGLE,  $\phi = 30^\circ$
  4. EXTERNAL FRICTION FACTOR,  $\mu = 0.35$
  5. ACTIVE SOIL PRESSURE (or EFP),  $P_a = 36.7$  PSF
  6. PASSIVE SOIL PRESSURE,  $P_p = 330$  PSF
  7.  $f'_c = 3,000$  psi,  $F_y = 60,000$  psi
  8. BACKFILL = LEVEL



NOTE:  
NUMBER OF "Lb" BARS SHALL BE  
PLACED TOP & BOTTOM IN FOOTING.



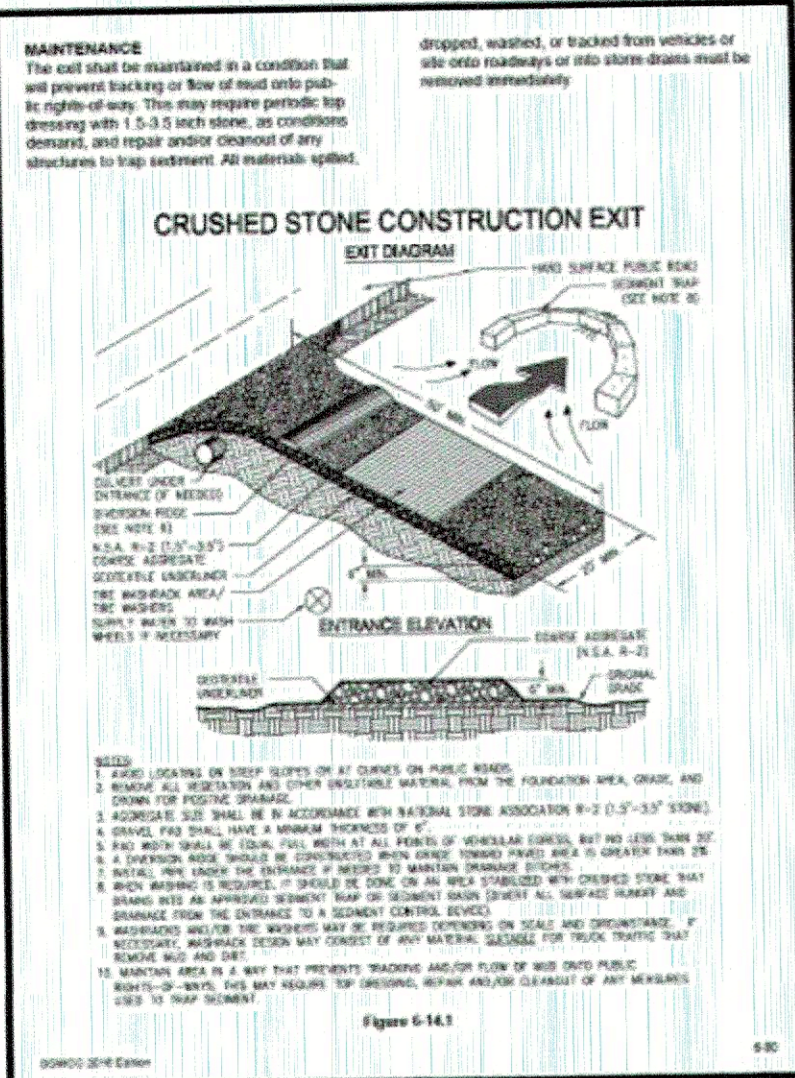
1156 SPRINGDALE ROAD ATLANTA, GA		KOBLASZ & KENNISON ENGINEERING, PC 333 CREEKSTONE RIDGE Woodstock, GA 30188 404 860 2600
CONCRETE RETAINING WALL		
DATE: 06-03-2025	ENGINEER: LHK	
JOB #: 24346	DRAFTSMAN: LHK	
SCALE: NTS	CHECKED BY: LHK	RW-1

CANTILEVERED RETAINING WALL SCHEDULE (G) (7)													
CONCRETE DIMENSIONS (1)						REINFORCEMENT							
Height Above Base (hw)	Stem Thickness (A stem)	Toe Dim. # Key Location (C)	Width of Base (W)	Base Depth (A base)	Key (t x k)	"O" Bars (2) (5)	"M" Bars (5)	"Dm" Bars	"Lw" Bars	"P" Bars	"Ts" Bars	"Lb" Bars (4)	"K" Bars (3)
ft	in	ft-in	ft-in	in	in x in	Size@in	Size@in	Size@in	Size@in	Size@in	Size@in	No. Size	Size@in
4	8	2-0	2-6	12	N/A	#4@18	#4@18	N/A	#4@12	N/A	N/A	(2)#4	N/A
6	8	3-0	3-6	12	8 x 8	#4@18	#4@18	N/A	#4@12	N/A	N/A	(2)#4	N/A
8	8	4-6	5-2	12	8 x 11	#4@8	#4@18	N/A	#4@12	#4@24	N/A	(4)#4	#4@16
10	10	6-6	7-4	12	10 x 18	#5@8	#4@18	N/A	#4@10	#4@24	N/A	(5)#4	#4@16

- (1) PROVIDE CONTRACTION/EXPANSION JOINTS AT 25'-0" INTERVALS. KEYED JOINTS SHALL BE AT EVERY FOURTH JOINT.
- (2) ALL "O" BARS TO HAVE A 90° HOOK INTO TOE OF FOOTING.
- (3) "K" BARS SHALL HAVE 90° HOOK IN BOTTOM OF KEY. KEY TO HAVE (2) #4 CONT. BARS PLACED LONGITUDINALLY. "K" BARS SHALL EXTEND 1'-6" INTO STEM ABOVE.
- (4) NUMBER OF "Lb" BARS SHALL BE PLACED TOP & BOTTOM IN FOOTING.
- (5) IF "O" BARS ARE FULL WALL HEIGHT, "M" BARS MAY BE OMITTED.
- (6) IF RETAINING WALL IS SURCHARGED BY A DRIVEWAY, CONSTRUCT THE WALL USING SPECIFICATIONS FROM THE SCHEDULE FOR A WALL 2'-0" GREATER IN HEIGHT.
- (7) THIS DESIGN IS NOT APPLICABLE WITH A BUILDING SURCHARGE.



1156 SPRINGDALE ROAD ATLANTA, GA		KOBLASZ & KENNISON ENGINEERING, PC 333 CREEKSTONE RIDGE Woodstock, GA 30188 404 860 2600
CONCRETE RETAINING WALL SCHEDULE		
DATE: 06-03-2025	ENGINEER: LHK	
JOB #: 24346	DRAFTSMAN: LHK	
SCALE: NTS	CHECKED BY: LHK	
		RW-2

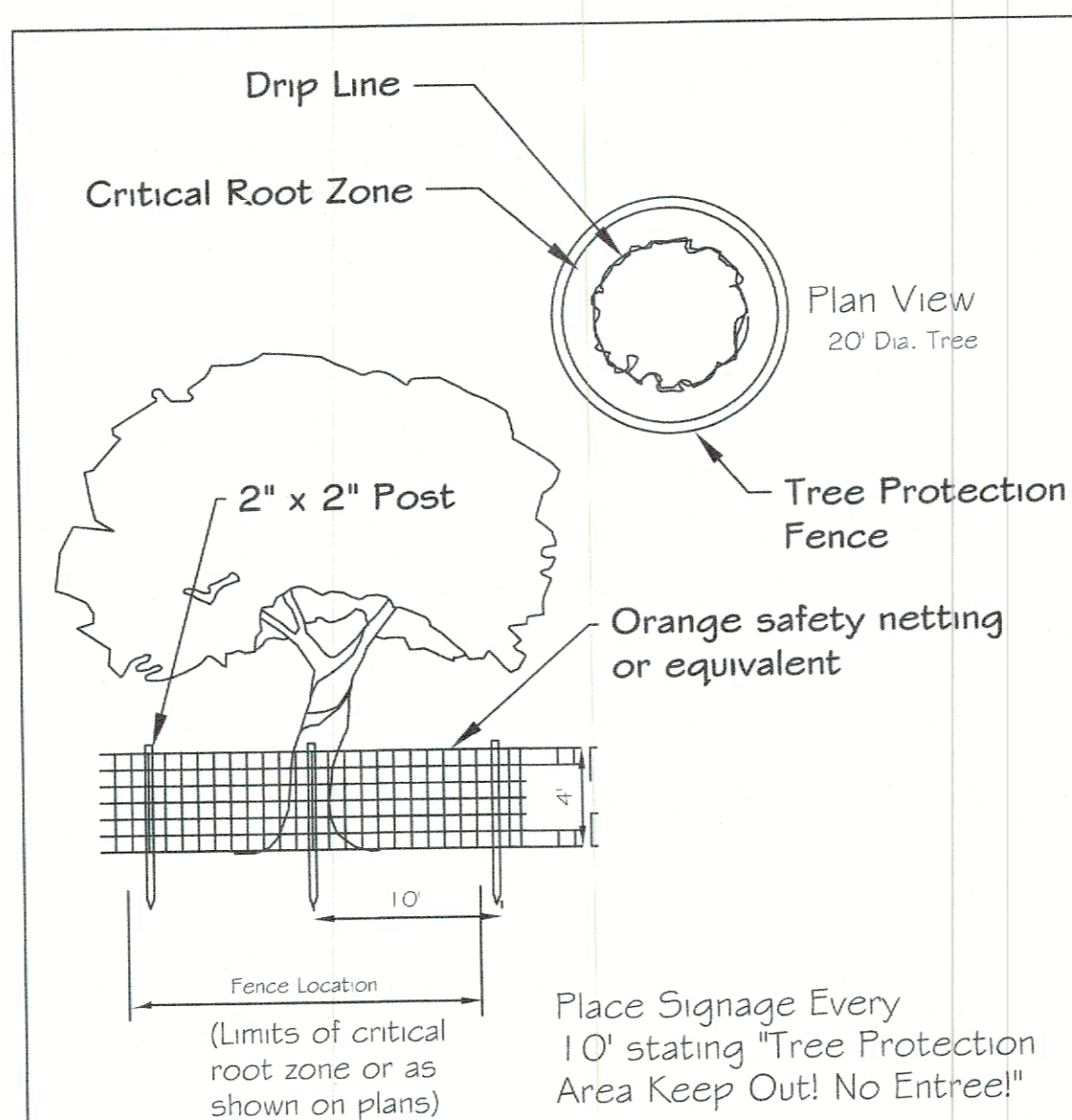


Project Notes:  
Owner: Mr. Ivan Riobo and  
Mrs. Gretchen Colon  
1156 Springdale Road Atlanta, Georgia  
Property Zoned R-85  
Building setbacks  
Front-35 Feet  
Side-8.5 Feet  
Rear-40 Feet  
Total lot area= 45,257 square feet (1.04 acre)  
Lot coverage allowed=35%  
or 15,839.95 square feet  
Existing lot coverage: (square feet)  
Items with Stars after figures (\*\*) to be removed  
House = 2,173 s.f.  
Garage = 709 s.f.\*\*  
Drive = 3,531 s.f. \*\*  
Front Porch / Steps = 400  
Front sidewalks = 312 s.f.  
Rear Steps and walk at garage = 262 s.f.\*\*  
Walls = 11 s.f. \*\*  
Rear patio = 573.75 \*\*  
Ac units and pad = 22 s.f.\*\*  
Rock Walk = 29 s.f.\*\*  
Dog House = 31 s.f.\*\*  
Conc Pad = 19 s.f.\*\*  
Stepping Stones = 40 s.f.\*\*  
Gravel = 113 s.f.\*\*  
Rip Rap = 245 s.f.\*\*  
Total existing lot coverage=8,470.75 s.f. (18.7%)  
Existing coverage to be removed 5,585.75 s.f.  
Existing (8,470.75) - Existing to be removed (5,  
Existing to remain = 2,885.00 s.f.  
**Proposed Lot Coverage:**  
House Addition = 1,742.46  
Drive = 4,052.53 (New Drive)  
Orangery = 630.41 s.f.  
Pool = 638.91  
Pool Deck = 1,106.67 s.f.  
Retaining walls in rear yard = 404.90  
Retaining Wall by Driveway = 88.50  
Terrace above pool = 921.23  
Total Proposed Coverage = 9,585.61

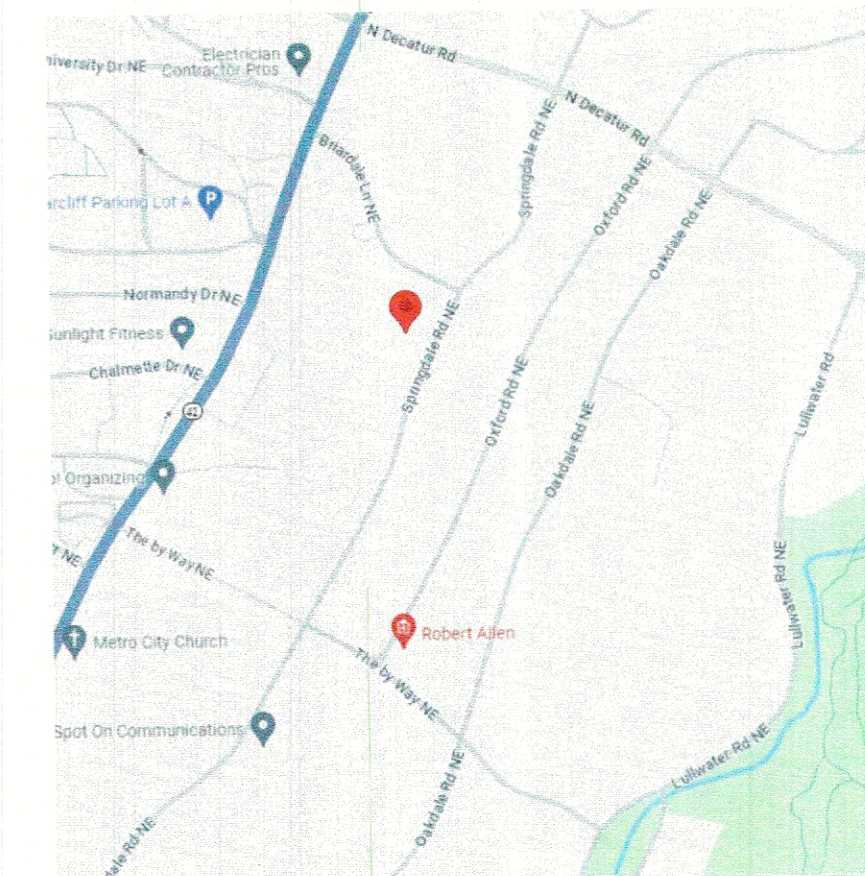
Total lot coverage existing (2,885) +  
Proposed coverage 9,585.61 =  
12,470.61 (27.5% Coverage)  
Total Cut = 867 Cubic Yards  
Total Fill= 18.03 Cubic Yards  
Area disturbed= 19,846.44 s.f. (0.455 Acres)

Flood Statement  
This property is not located in a flood hazard area according to F.I.R.M. panel  
#13089C0062 K  
last revised on August 15, 2019

Survey information taken from survey by  
Solar Land Surveying Company  
P.O. Box 723993  
Atlanta, Georgia 30339-0993  
Phone (770) 794-9055  
Dated: 3-26-2020

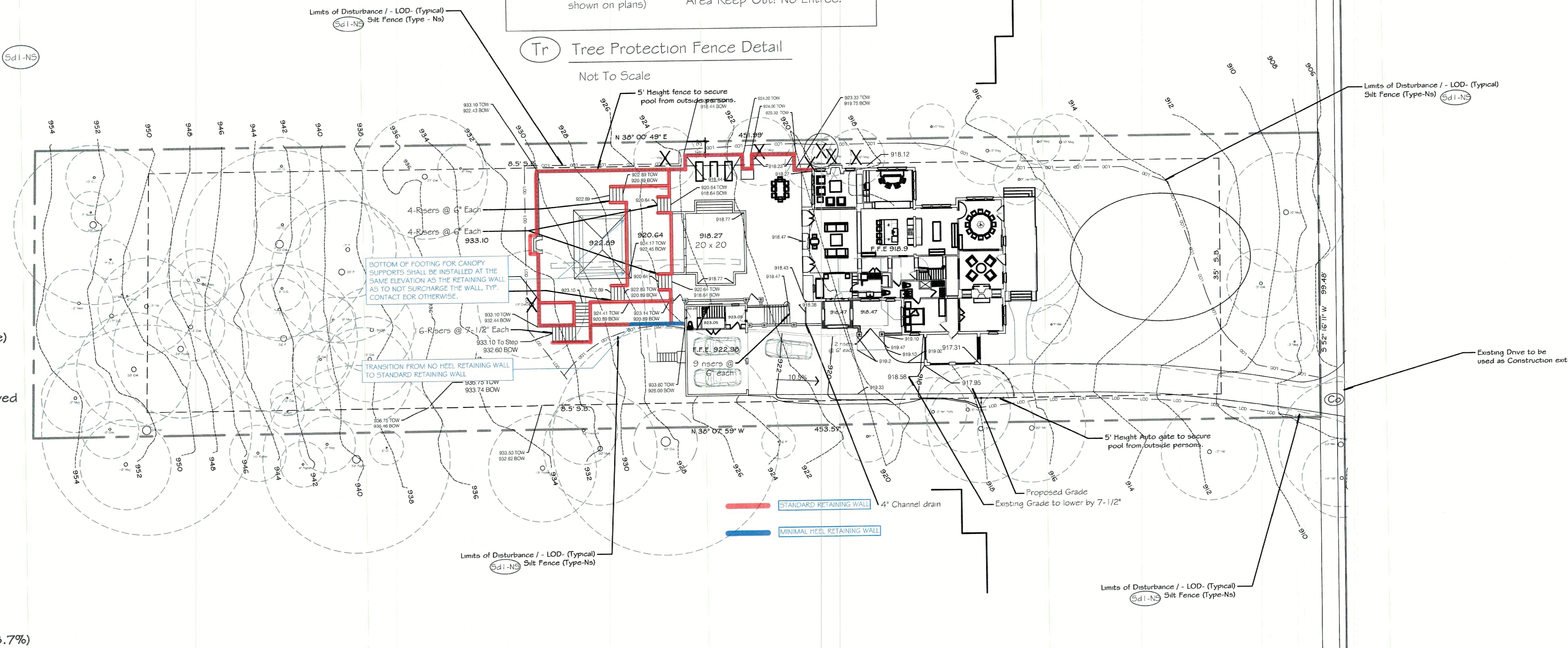


24 Hour Contact Mrs. Gretchen Colon  
(678) 907-3310



## Site Vicinity Map

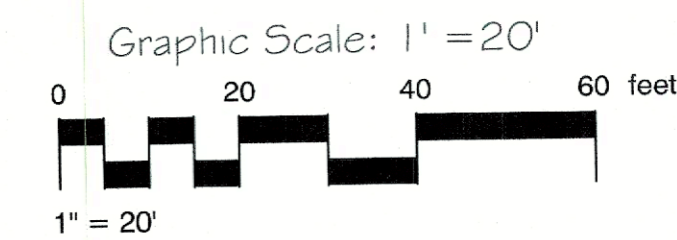
Not To Scale



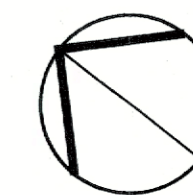
Project Description: Proposed construction of:

- 1) Demolition of existing Garage, Drive, Walks, Steps, Gravel areas
- 2) Addition to House, New Garage / Pool
- 3) New Drive, walls and walks as needed

"This project will comply with the current applicable codes that apply to all the commercial and residential swimming pool projects during reviews and inspections:  
International building code, 2012 edition, with Georgia amendments.-International Residential Code, 2012 edition, with Georgia amendments.-International Fire Code, 2012 edition, with Georgia amendments.-International Plumbing Code, 2012 edition, with Georgia amendments.-International Mechanical Code, 2012 edition, with Georgia amendments.-International Fuel Gas code, 2012 edition, with Georgia amendments.-National Electrical Code, 2014 edition (NO Georgia amendments). -Georgia Accessibility Code-GA 120-3-20A (2010 ADA Standards for Accessible design)"



North



## Wall Legend

## The Riobo - Colon Residence

**The Riobo - Co**  
1156 Springdale Road  
Atlanta, Georgia  
Date : 3-17-2025

SHEET

S-2