

DeKalb County Historic Preservation Commission

Monday, October 20, 2025- 6:00 P.M.

Staff Report

Consent Agenda

G. 1811 Burlington Place, Felicia Johnson. Construct a retaining wall, install fence, and install new landscaping. **1247803.**

Built in 1925 (18 052 14 007)

This property is in the University Park-Emory Highlands-Emory Estates National Register Historic District and Character Area.

Summary

The applicant proposes constructing two retaining walls, a set of steps, and new fencing on the side of a historic house. A set of concrete steps will be installed, leading from the Western side yard to the side façade of the house and replacing a set of existing wood steps. On either side of the steps, a stepped concrete block retaining wall will be constructed. The retaining walls will be stepped according to grade, with a maximum height of 6'. Within the area between the retaining walls and the side façade of the house, gravel will be installed. On the outside of the retaining walls, between the walls and the side and rear yards, a 42" wood fence will be installed.

Recommendation

Approve. These proposed changes do not appear to have a substantial adverse effect on the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.

- 9.4 *Enclosures and Walls* (p90) Guideline - Fences and walls should not be built in front yard spaces and are strongly discouraged from corner lot side yard spaces. Retaining walls should only be used in situations where topography requires their use.
- 9.4 *Enclosures and Walls* (p90) Recommendation - Fences are appropriate in rear yard spaces. Rear yard fences should be coordinated with existing county codes. Suggested materials include wood and chain link. Vinyl- covered chain link fencing, typically in bronze, brown, or black, assist in making fences less obtrusive. Vines are suggested to “soften” the appearance of metal chain link fencing. If wood fencing is used, the paint color and design should be compatible with the architecture of the adjacent residence. Fence heights can range from 4' to 6' depending on the reason for the enclosure.
- 9.7 *Residential Landscape Design* (p91) Recommendation - For residential yards, created without the assistance of landscape designers, historic landscape plans for other residential lots within the district should be used for guidance. These plans can be interpreted to create a new landscape plan that is based on historic traditions. Care should be taken to select designs for yards of similar size containing houses of similar style and scale

Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric W. Hudson, MCRP

Application for Certificate of Appropriateness

Date submitted: _____

Date Received: _____

Address of Subject Property: **1811 BURLINGTON PLACE NE, ATLANTA GA 30307**

Applicant: **FELICIA JOHNSON ON BEHALF OF CARL JOHNSTON** E-Mail: **FJOHNSON.FJ@GMAIL.COM**

Applicant Mailing Address: **1449 MICHAEL RD. MONROE, GA**

Applicant Phone: **678-539-0443**

Applicant's relationship to the owner: Owner ☐ Architect ☐ Contractor/Builder ☒ Other ☐
AGENT

Owner(s): **CARL JOHNSTON** Email: **carlj343@gmail.com**

Owner(s): _____ Email: _____

Owner(s) Mailing Address: **1811 BURLINGTON PLACE NE, ATLANTA GA 30307**

Owner(s) Telephone Number: **404-556-3675**

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

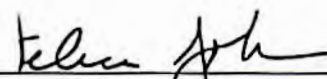
New construction	☐	New Accessory Building	☐	Other Building Changes	☐
Demolition	☐	Landscaping	☒	Other Environmental Changes	☐
Addition	☐	Fence/Wall	☒	Other	☐
Moving a Building	☐	Sign Installation	☐		

Description of Work:

Replace and install both retaining wall and fencing, with new landscaping

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pvjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: CARL JOHNSTON

being owner(s) of the property at: 1811 BURLINGTON PLACE NE, ATLANTA GA 30307

hereby delegate authority to: FELICIA JOHNSON/DRAINAGE SOLUTIONS

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):



Date:

9/5/25

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.**

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

GENERAL CONSTRUCTION NOTES:

- The presence of underground utilities is unknown. The contractor is responsible for locating lines prior to construction.
- Contractor shall protect, mark, and maintain existing utilities and services.
- Disturbed lawn areas shall be reestablished by the contractor with sod of like kind. All disturbed mulch areas shall be replaced with mulch of like kind.
- Contractor shall remove all debris, rubbish, and excess materials from the site on a daily basis.
- Existing sidewalks and traffic areas shall be maintained during construction.
- All work done around existing trees and landscaping shall proceed in such a manner so as not to damage trees and shrubs.
- Erosion control shall be employed during construction and shall include all necessary measures required to prevent soil erosion from the site.
- All construction items and work are considered existing unless noted as new.
- Dimensions are for information only and shall be field verified.

EXCAVATION NOTES:

- Excavate to depths indicated. Where forms are required, provide sufficient space to permit erection of form, shoring, construction, and inspection.
- Keep excavation dry by sloping ground away from holes and trenches. Furnish pumps to keep spaces clear of water where necessary.
- If rock is encountered during excavation, remove as necessary to provide foundation system indicated on the drawing.

BACKFILL AND COMPACTING:

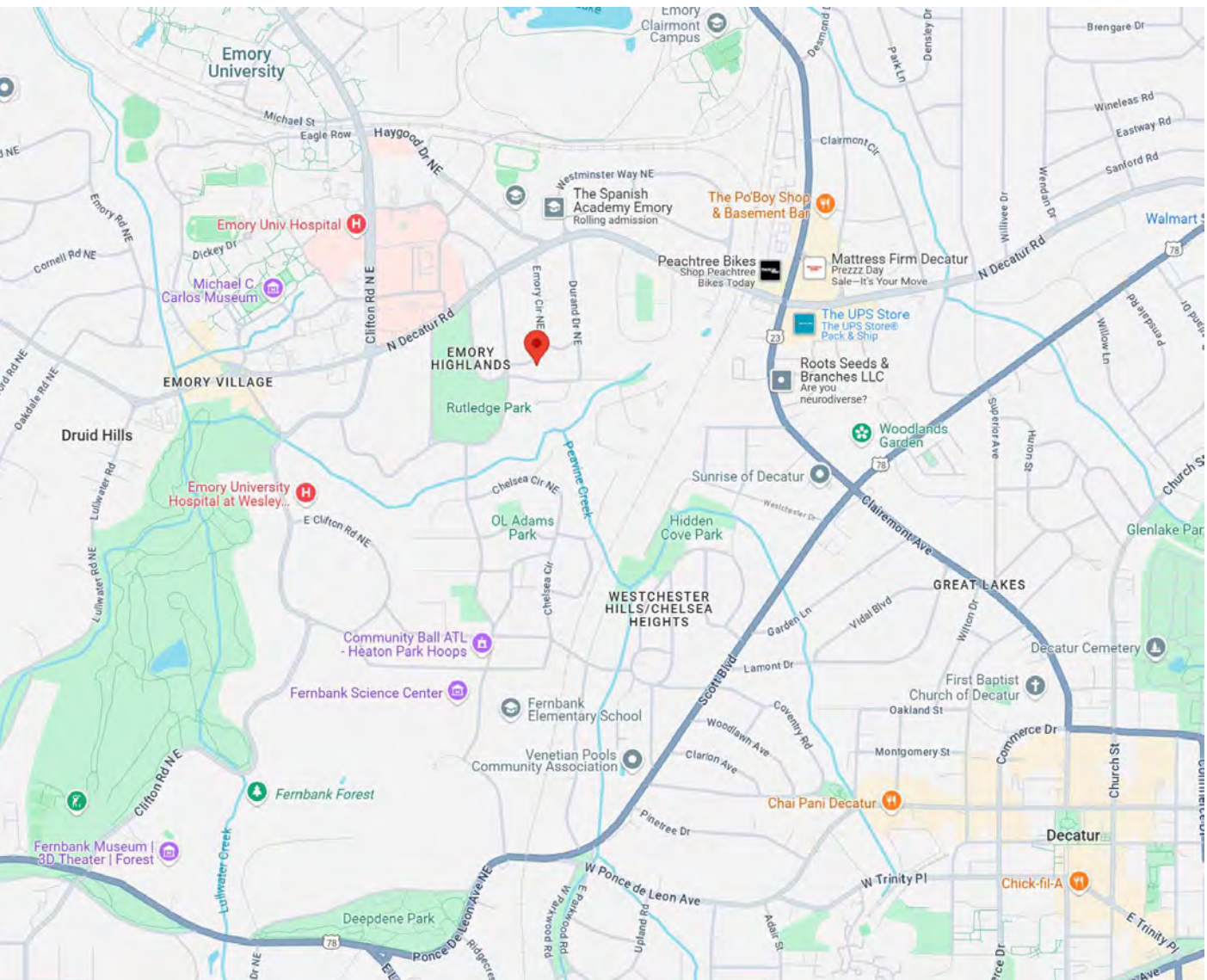
- Do not perform until the Engineer has verified and approved depth of excavation.
- Do not stage backfill of subgrade that is muddy or frozen.
- Use caution to protect walls and retaining walls with granular fill. Place and compact in 6" lifts to levels of adjacent grades.
- Soil shall be compacted to have 95% of standard proctor.

Johnston Residence 1811 Burlington Place NE Atlanta, GA 30307

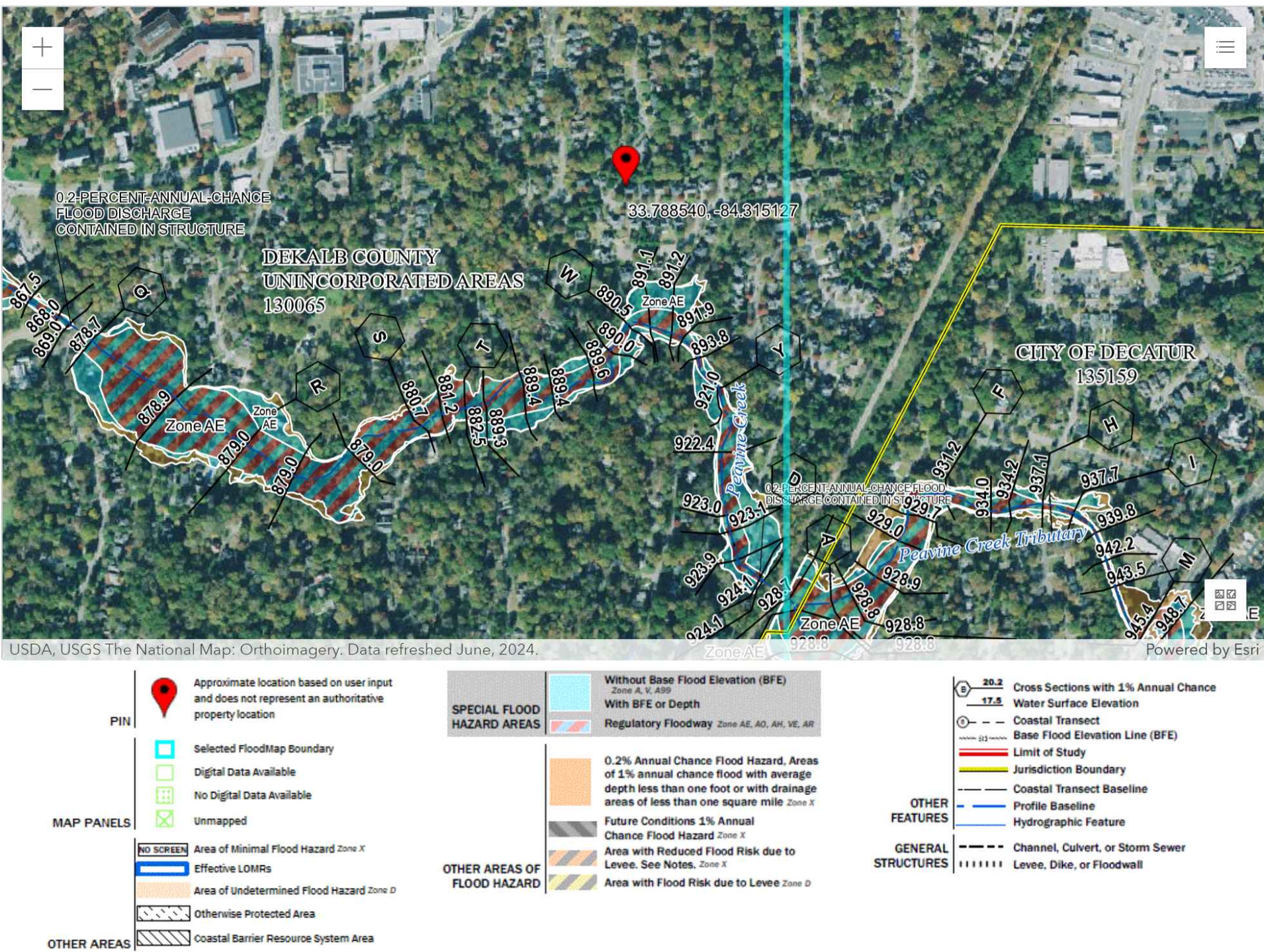
RETAINING WALL RESTORATION

INDEX OF DRAWINGS:

- C-0 COVER SHEET
1 OF 1 TOPOGRAPHICAL SURVEY
C-1 SITE AND GRADING PLAN
C-2 EROSION CONTROL AND TREE PROTECTION PLAN
C-3 ESC NOTES
C-4 RETAINING WALL ELEVATION, TYP. SECTIONS AND NOTES
C-5 DETAILS



VICINITY MAP
NTS



FLOOD NOTE:

THIS PROPERTY LIES IN ZONE X WHICH IS NOT IN A SPECIAL FLOOD HAZARD AREA PER THE FLOOD INSURANCE RATE MAP FOR DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NO. 13089C0062K, WHICH BEARS AN EFFECTIVE DATE OF 08/15/2019.

ALL INFORMATION ON EXISTING CONDITIONS OBTAINED FROM THE CIVIL BASE SURVEY PREPARED BY HUSSEY GAY BELL, DATED 12-13-24.



72 HOUR NOTICE IS REQUIRED TO GEORGIA 811. UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING. <http://www.georgia811.com>



EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GRATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

NOTES:

- WATERS OF THE STATE DO NOT EXIST WITHIN 200 FEET OF PROJECT SITE. NO DRAINAGE COURSES, SWALES OR WETLAND EXIST WITHIN THE PROJECT SITE.
- NO DISTURBANCE TO OCCUR WITHIN THE 25-FOOT BUFFERS OF STATE WATERS AND THE 75-FOOT COUNTY BUFFERS.
- NOTIFY THE COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION. PRIOR TO LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A RE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR.

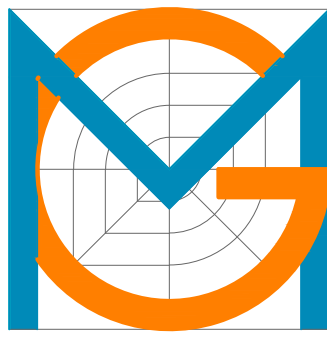
I, Durdica Matkovic, a professional engineer, Architect, or Landscape Architect licensed in the State of Georgia, hereby certify that I have personally reviewed the attached submittal plans for a land disturbance/development permit. In my opinion, these submittal plans meet all applicable regulations and ordinances of DeKalb County. DeKalb County and other affected parties may rely on this certification.

Signature: Durdica Matkovic Georgia Registration# 029260

LL 52
LOT 15B, EMORY ESTATES
18TH DISTRICT
DEKALB COUNTY
GEORGIA

AREA OF LAND DISTURBANCE:
APPROX. 470 SQ.FT. = 0.011 AC.

NO GRADING PROPOSED, JUST FOR
INSTALLATION OF REINFORCEMENT.
THE WALL WILL BE REPLACED IN THE
SAME LOCATION AND HEIGHT.



G & M Engineering, Inc.
P.O. Box 464607
Lawrenceville, GA 30042
770-883-9476
gmatkovic@gandm-engineering.com



01-31-2025

ISSUED AND RELEASED FOR CONSTRUCTION

No.	Revision/Issue	Date

Owner/Developer
Carl Johnston
1811 Burlington Place NE
Atlanta, GA 30307

Project Name and Address
Johnston Residence
1811 Burlington Place NE
Atlanta, GA 30307

Sheet Title
SITE AND GRADING PLAN

Date
01-31-2025

Scale
NTS 1"=10'

Sheet
C-0

i:\proj\surv\2024\24074 burlington place (#181)-decatur ga\dwg\24074-topo.dwg
surveynew.ctb

GENERAL NOTES

1. THE FIELD SURVEY WAS COMPLETED ON DECEMBER 6, 2024. ISSUE OR REVISION DATES ARE BASED ON FIELD OBSERVATIONS MADE AT THAT TIME. ANY CHANGES IN SITE CONDITIONS AFTER THE DATE OF THE FIELD SURVEY ARE NOT REFLECTED HEREON.
2. HORIZONTAL AND VERTICAL DATUM WAS ESTABLISHED BY PERFORMING REPETITIVE RTK GPS OBSERVATIONS ON PRIMARY SURVEY CONTROL POINTS UTILIZING AN EGPS 20TL DUAL FREQUENCY GPS RECEIVER AND THE eGPS GNSS NETWORK. THE POSITIONAL ACCURACY OF THE REPETITIVE OBSERVATION AVERAGES IS 0.05 FOOT OR GREATER HORIZONTALLY AND 0.04 FOOT OR GREATER VERTICALLY. ALL GROUND MEASUREMENTS WERE OBTAINED UTILIZING A 5 SECOND TRIMBLE SS ROBOTIC TOTAL STATION.
3. TOPOGRAPHY AND ELEVATIONS SHOWN ARE BASED ON NAVD '88 DATUM AS ESTABLISHED UTILIZING THE FIELD EQUIPMENT AND PROCEDURES REFERENCED ABOVE. THE CONTOUR INTERVAL IS 1 FOOT BASED ON A FIELD-RUN SURVEY.
4. THE HORIZONTAL DATUM IS NAD '83 (2011), GEORGIA WEST ZONE, AS ESTABLISHED UTILIZING THE FIELD EQUIPMENT AND PROCEDURES REFERENCED ABOVE. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
5. NO BOUNDARY SURVEY WAS PERFORMED BY HUSSEY GAY BELL IN THE PREPARATION OF THIS SURVEY. NO PLAT CLOSURE WAS CALCULATED AND NO EASEMENTS ARE SHOWN. SEE CERTIFICATION HEREON FOR BOUNDARY REFERENCES.
6. BASED ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 13089C0062K, DEKALB COUNTY GEORGIA AND INCORPORATED AREAS, EFFECTIVE DATE 08/15/2019, THE SUBJECT PROPERTY LIES WITHIN F.E.M.A. ZONES "X" (OTHER AREAS), DEFINED THEREON AS FOLLOWS:

ZONE "X" (OTHER AREAS): AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

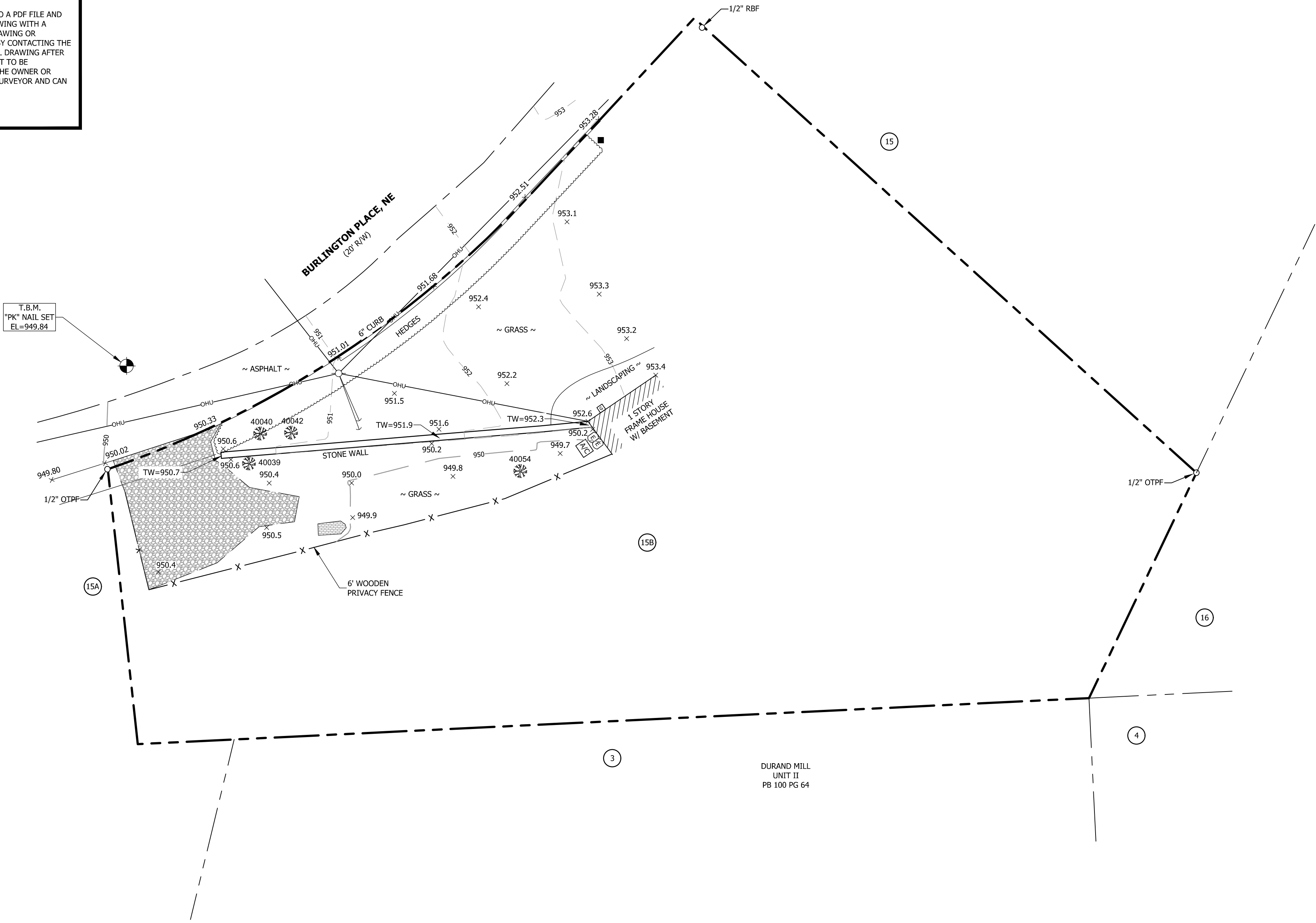
THE REFERENCED FLOOD MAP OR MAPS WERE PREPARED FOR INSURANCE RATE PURPOSES AND ARE NOT A GUARANTEE, EITHER EXPRESSED OR IMPLIED, THAT FLOODING WILL NOT OCCUR ANYWHERE ON THIS PROPERTY. OTHER LOCAL FLOODING CONDITIONS MAY EXIST OR SEVERE LOCAL STORMS MAY OCCUR. INDEPENDENT ENGINEERING STUDIES SHOULD BE PERFORMED TO DETERMINE IF CONDITIONS EXIST THAT MAY CAUSE LOCAL FLOODING.
8. NO ZONING INFORMATION IS SHOWN.
9. NO UNDERGROUND UTILITIES ARE SHOWN.

10. THIS DRAWING WAS PRODUCED ON A 24" X 36" SHEET UTILIZING ELECTRONIC MEDIA, PLOTTED TO A PDF FILE AND DIGITALLY SIGNED BY THE SURVEYOR UTILIZING BLUEBEAM REVU SOFTWARE. THE ORIGINAL DRAWING WITH A SIGNATURE VALIDATION IS KEPT IN THE OFFICE OF THE SURVEYOR. ANY HARD COPIES OF THE DRAWING OR ELECTRONIC COPIES THAT DO NOT CONTAIN A SIGNATURE VALIDATION CAN BE AUTHENTICATED BY CONTACTING THE SURVEYOR TO OBTAIN A COPY OF THE ORIGINAL DRAWING. ANY CHANGES MADE TO THE ORIGINAL DRAWING AFTER RELEASE BY THE SURVEYOR WERE DONE WITHOUT THE SURVEYOR'S AUTHORIZATION AND ARE NOT TO BE CONSIDERED PART OF THE SURVEY INFORMATION. ANY OTHER SIGNATURES OR STATEMENTS BY THE OWNER OR JURISDICTIONAL AUTHORITIES WERE DONE AFTER RELEASE OF THE ORIGINAL DRAWING BY THE SURVEYOR AND CAN BE AUTHENTICATED BY CONTACTING THOSE PARTIES.

TREE TABLE				
POINT #	DIA	DESC	NOTE	
40039	10"	UNDERSTORY	CREPE MYRTLE (3TRUNK)	
40040	10"	UNDERSTORY	CREPE MYRTLE (3TRUNK)	
40042	10"	UNDERSTORY	CREPE MYRTLE (2TRUNK)	
40054	22"	UNDERSTORY	CHERRY	

HATCH LEGEND

	BUILDING LINE
	BRICK PAVERS
	GRAVEL



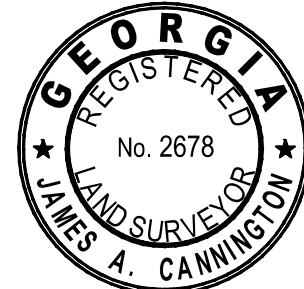
SURVEYOR'S CERTIFICATION

THIS DRAWING WAS PREPARED UNDER DIRECT SUPERVISORY CONTROL OF THE UNDERSIGNED AND COMPLIES WITH THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR TOPOGRAPHY AND VERTICAL MEASUREMENTS; RULE 180-7-.04. HOWEVER, NO BOUNDARY SURVEY WAS PERFORMED BY THE UNDERSIGNED FOR THE PREPARATION OF THIS DRAWING AND ANY PROPERTY BOUNDARY LINES DEPICTED HEREON ARE APPROXIMATE ONLY. THIS SURVEYOR'S CERTIFICATION EXTENDS ONLY TO THE TOPOGRAPHIC AND/OR GEOSPATIAL ASPECTS SHOWN HEREON. THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS NOT TO BE RECORDED OR USED TO CONVEY TITLE OR INTEREST TO THE PROPERTY.

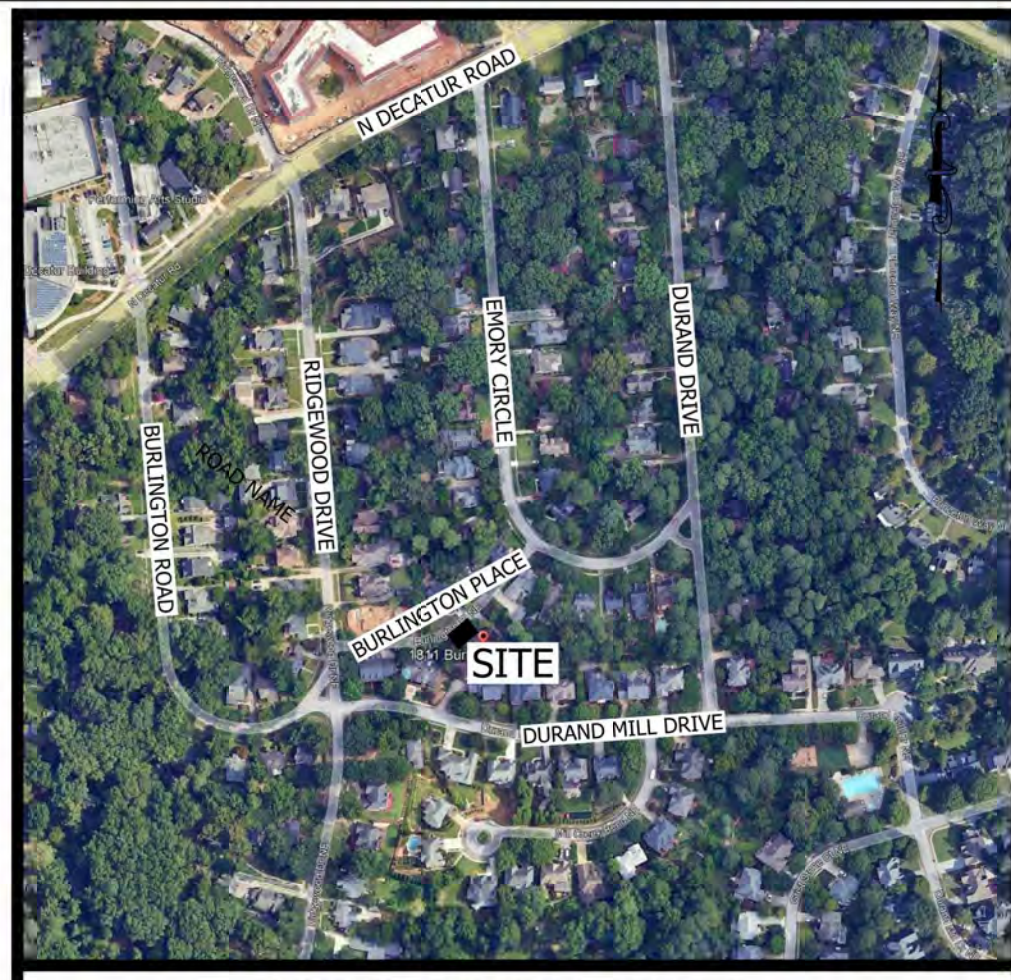
James A. Cannington
JAMES A. CANNINGTON
GEORGIA REGISTERED LAND SURVEYOR NO. 2678
AS SURVEYOR FOR HUSSEY, GAY, BELL & DEYOUNG, INC.
CERTIFICATE OF AUTHORIZATION # LSF000300

DIGITALLY SIGNED
2024.12.11 09:48:17-05'00'

DATE:



* THE SOURCE OF THE BOUNDARY INFORMATION SHOWN ON THIS SURVEY IS A BOUNDARY/ASBUILT AND TREE SURVEY FOR EDWARD I. ADAMS III AND MARION C. ADAMS BY AAROW SURVEYING DATED SEPTEMBER 2, 2020.



VICINITY MAP - N.T.S.

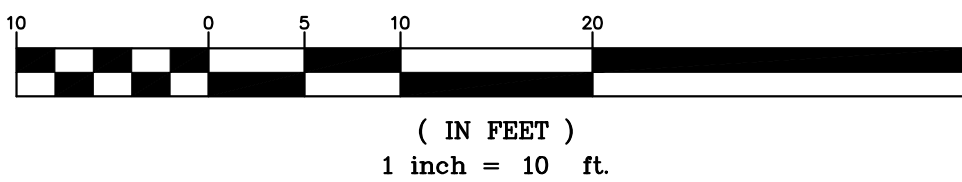
SYMBOL LEGEND

● CORNER MONUMENT SET	✱ TRAFFIC CONTROL BOX
○ IRON PIN FOUND (TYPE NOTED)	■ MAILBOX
▣ RW/MF - CONCRETE R/W MONUMENT FOUND	■ MONITORING WELL
▲ INTERSECTION POINT	♣ STREET SIGN
P.O.B. POINT OF BEGINNING	● BOLLARD
P.O.C. POINT OF COMMENCEMENT	▲ LANDSCAPE LIGHT
R/W RIGHT-OF-WAY	AC AIR CONDITIONING UNIT
RBF REBAR FOUND	Ⓟ PARKING COUNT
OTPF OPEN TOP PIPE FOUND	➡ PAINTED TRAFFIC ARROW
CTPF CRIMP TOP PIPE FOUND	♿ HANDICAPPED SPACE
☼ SINGLE WING CATCH BASIN	EV EVERGREEN TREE
☼ DOUBLE WING CATCH BASIN	US UNDERSTORY TREE
▤ FLARED END SECTION	HW DECIDUOUS TREE (HARDWOOD)
▤ DROP INLET	⊕ BENCHMARK
▤ HEADWALL	⊕ TEST HOLE
▤ CURB INLET	AE ACCESS EASEMENT
⊕ STORM MANHOLE	SSE SANITARY SEWER EASEMENT
⊕ STORM JUNCTION BOX	DE DRAINAGE EASEMENT
⊕ PEDESTAL INLET	CMP CORRUGATED METAL PIPE
⊕ FIRE HYDRANT	DIP DUCTILE IRON PIPE
⊕ WATER VALVE	HDPE HIGH DENSITY POLYETHYLENE PIPE
⊕ WATER METER	PVC POLYVINYL CHLORIDE PIPE
⊕ IRRIGATION CONTROL VALVE	RCP REINFORCED CONCRETE PIPE
⊕ FIRE DEPARTMENT CONNECTION	VCP VITRIFIED CLAY PIPE
⊕ WATER SPIGOT	CPP CORRUGATED PLASTIC PIPE
⊕ GAS VALVE	--- BROKEN LINE (NOT TO SCALE)
⊕ GAS METER	⊕ END NOT LOCATED
⊕ TELEPHONE BOX	CI CURB INLET
⊕ TELEPHONE MANHOLE	DI DROP INLET
⊕ CABLE PEDESTAL	IE INVERT ELEVATION
⊕ GUY WIRE	× 925.34 EXISTING SPOT ELEVATION
⊕ LIGHT POLE	BW BOTTOM OF WALL
⊕ POWER POLE	TW TOP OF WALL
⊕ POWER MANHOLE	FFE FINISHED FLOOR ELEVATION
⊕ ELECTRIC METER	(M) MEASURED DISTANCE
⊕ TRANSFORMER	(R) RECORD DISTANCE
⊕ SANITARY SEWER MANHOLE	(MA) MEASURED ANGLE
⊕ SANITARY SEWER GREASE TRAP	(RA) RECORD ANGLE
⊕ CLEANOUT	N/F NOW OR FORMERLY
⊕ CROSS WALK SIGNAL POLE	BSL BUILDING SETBACK LINE
⊕ TRAFFIC SIGNAL HAND HOLE	TE# TITLE EXCEPTION NUMBER
⊕ TRAFFIC SIGNAL POLE	C&G CURB AND GUTTER
⊕ SIDEWALK	CLF CHAIN LINK FENCE
⊕ SATELLITE DISH	LS LANDSCAPE

LINE LEGEND

---	APPROX. BOUNDARY LINE
---	ADJACENT BOUNDARY LINE
---	INTERIOR BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	DITCH/CREEK LINE
---	APPROX. FLOOD LIMITS
---	ROAD CENTERLINE
---	CURB & GUTTER
---	FENCE
---	STORM SEWER
---	CONTOURS
---	WATER LINE
---	SANITARY SEWER
---	FORCEMAIN
---	GAS LINE
---	TELEVISION CABLE
---	UNKNOWN UTILITY LINE
---	TELEPHONE LINE
---	OVERHEAD UTILITY
---	UNDERGROUND POWER
---	GUARDRAIL
---	PAINT STRIPING
---	TREE LINE
---	CREEK BUFFER
---	CREEK BANK

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

HUSSEY GAY BELL
Established 1958

3100 BRECKINRIDGE BLVD.
BLDG. 300
DULUTH, GEORGIA 30096-4986
TEL: (770) 923-1600
FAX: (770) 923-4202

CLIENT:

G & M ENGINEERING, INC.
PO BOX 464607
LAWRENCEVILLE, GA 30042

This document is prepared for the exclusive use of the parties listed hereon and no certification extends to any unnamed parties.

No.	By	Date	REVISION	Description
0	KBW	12-11-2024	INITIAL	ISSUE
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				

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This drawing and their reproductions are the property of the surveyor and may not be reproduced, published, or used in whole or in part without the written permission of the surveyor.

TOPOGRAPHIC SURVEY

1811 BURLINGTON PLACE, DECATUR, GEORGIA
LOT 155, EMORY ESTATES
PB 10 PG 143

LOCATED IN LAND LOT 52 OF THE 18TH DISTRICT,
DEKALB COUNTY, GEORGIA

Project No.

24-0074

Drawn By:

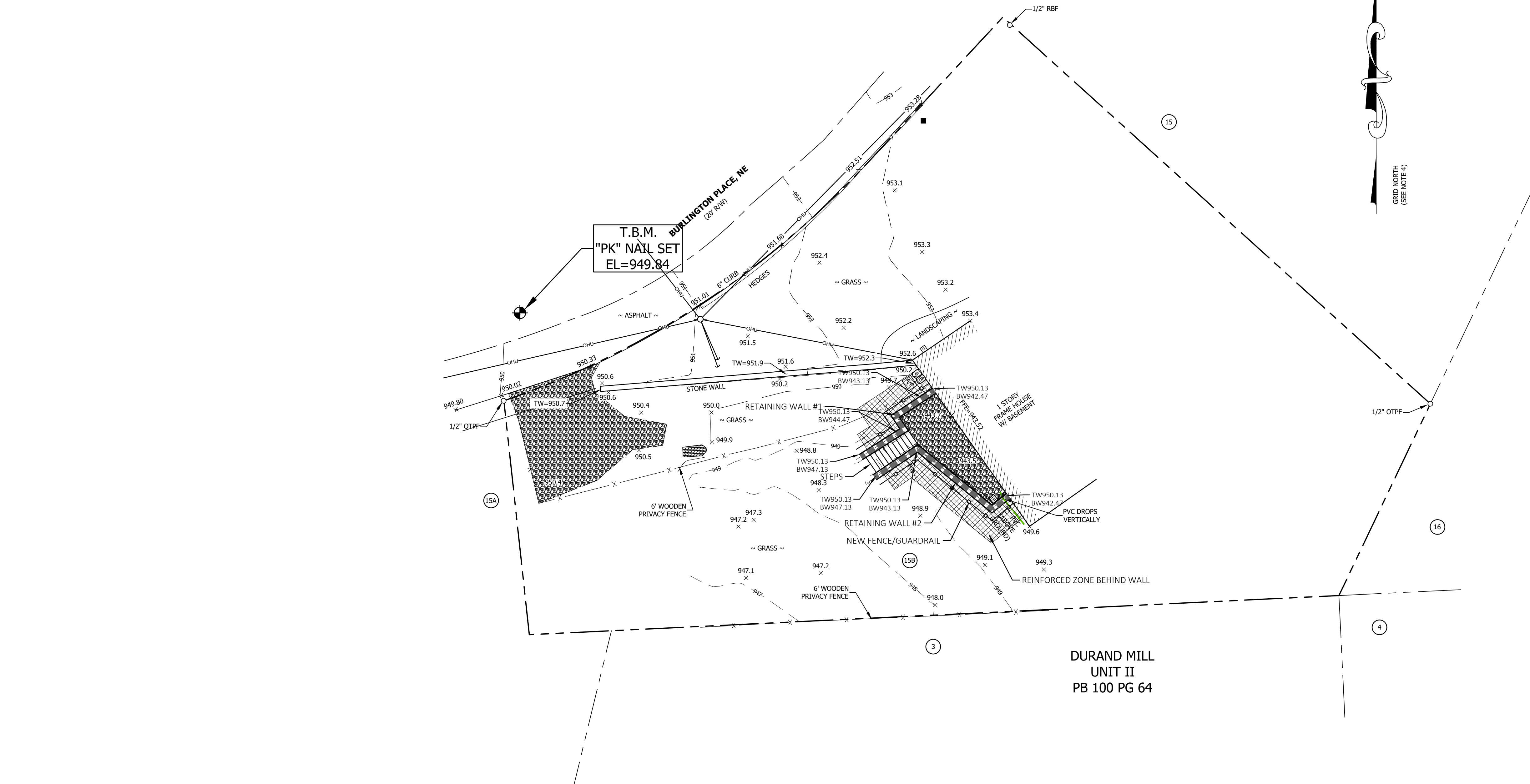
KBW

Checked By:

JAC

Sheet Number

1 of 1



FLOOD NOTE:
THIS PROPERTY LIES IN ZONE X WHICH IS NOT IN A SPECIAL FLOOD HAZARD AREA PER THE FLOOD INSURANCE RATE MAP FOR DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NO. 13089C0062K, WHICH BEARS AN EFFECTIVE DATE OF 08/15/2019.

ALL INFORMATION ON EXISTING CONDITIONS OBTAINED FROM THE CIVIL BASE SURVEY PREPARED BY HUSSEY GAY BELL, DATED 12-13-24.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GRATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

Developers and property owners' associations shall ensure access to all private streets by emergency and law enforcement vehicles and shall ensure that private streets are constructed to allow access by all emergency vehicles and law enforcement vehicles.

- NOTES:
- WATERS OF THE STATE DO NOT EXIST WITHIN 200 FEET OF PROJECT SITE. NO DRAINAGE COURSES, SWALES OR WETLAND EXIST WITHIN THE PROJECT SITE.
 - NO DISTURBANCE TO OCCUR WITHIN THE 25-FOOT BUFFERS OF STATE WATERS AND THE 75-FOOT COUNTY BUFFERS.
 - NOTIFY THE COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION. PRIOR TO LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A RE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR.

LL 52
LOT 15B, EMORY ESTATES
18TH DISTRICT
DEKALB COUNTY
GEORGIA

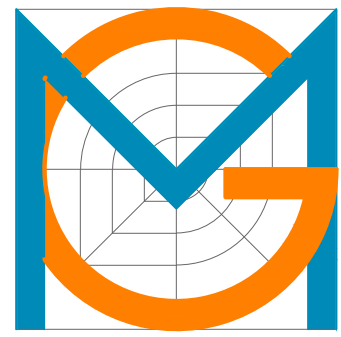
AREA OF LAND DISTURBANCE:
APPROX. 470 SQ.FT. = 0.011 AC.

NO GRADING PROPOSED, JUST FOR
INSTALLATION OF REINFORCEMENT.
THE WALL WILL BE REPLACED IN THE
SAME LOCATION.

THE PROPOSED RESTORATION WILL NOT
IMPACT THE WATER QUALITY OR FLOOD
CONDITIONS IN THE AREA BECAUSE
PROPER BMP MEASUREMENTS WILL BE
IMPLEMENTED DURING THE RESTORATION.



72 HOUR NOTICE IS REQUIRED TO GEORGIA 811
UTILITY PROTECTION CENTER BEFORE ANY PLANNED
DIGGING. <http://www.georgia811.com>



G & M Engineering, Inc.
P.O. Box 464607
Lawrenceville, GA 30042
770-883-9476
gmatkovic@gandm-engineering.com



01-31-2025

ISSUED AND RELEASED FOR CONSTRUCTION

No.	Revision/Issue	Date
-----	----------------	------

Owner/Developer
Carl Johnston
1811 Burlington Place NE
Atlanta, GA 30307

Project Name and Address
Johnston Residence
1811 Burlington Place NE
Atlanta, GA 30307

Sheet Title	
SITE AND GRADING PLAN	
Date 01-31-2025	Sheet C-1
Scale 1"=10'	

GEORGIA
UNIFORM CODING SYSTEM
FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES
STATE SOIL AND WATER CONSERVATION COMMISSION OF GEORGIA

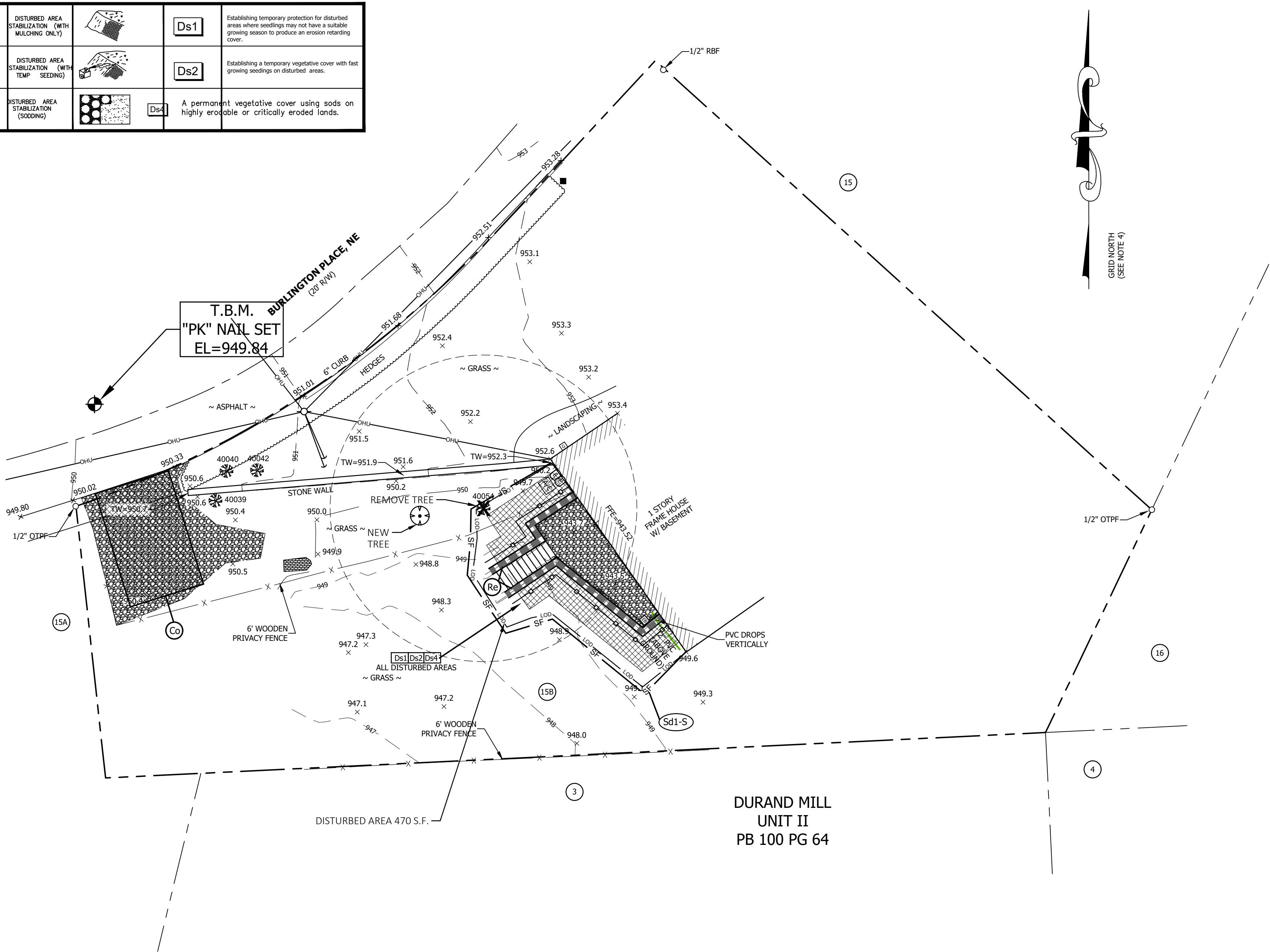
STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales or straw or hay, brushlogs and poles, gravel or a sediment fence. The barriers are usually temporary and inexpensive.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.

VEGETATIVE MEASURES

Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP. SEEDING)			Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SOODINGS)			Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.

TREE TABLE			
POINT #	DIA	DESC	NOTE
40039	10"	UNDERSTORY	CREPE MYRTLE (3TRUNK)
40040	10"	UNDERSTORY	CREPE MYRTLE (3TRUNK)
40042	10"	UNDERSTORY	CREPE MYRTLE (2TRUNK)
40054	22"	UNDERSTORY	CHERRY



FLOOD NOTE:
THIS PROPERTY LIES IN ZONE X WHICH IS NOT IN A SPECIAL FLOOD HAZARD AREA PER THE FLOOD INSURANCE RATE MAP FOR DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NO. 13089C0062K. WHICH BEARS AN EFFECTIVE DATE OF 08/15/2019.

ALL INFORMATION ON EXISTING CONDITIONS OBTAINED FROM THE CIVIL BASE SURVEY PREPARED BY HUSSEY GAY BELL, DATED 12-13-24.



72 HOUR NOTICE IS REQUIRED TO GEORGIA 811
UTILITY PROTECTION CENTER BEFORE ANY PLANNED
DIGGING. <http://www.georgia811.com>



Developers and property owners' associations shall ensure access to all private streets by emergency and law enforcement vehicles and shall ensure that private streets are constructed to allow access by all emergency vehicles and law enforcement vehicles.

CONSTRUCTION SCHEDULE					
INSTALL SEDIMENT & EROSION CONTROL STRUCTURES					
SEDIMENT AND EROSION CONTROL STRUCT.-MAINTAIN					
CLEARING					
OLD WALL DEMOLITION & NEW RET. WALL INSTALLATION					
FENCE INSTALL					
TEMPORARY STABILIZATION					
PERMANENT GRASSING					
FINAL LANDSCAPING					
DISPOSITION OF TEMP. SEDIM. CONTROL MEAS.					
2025	WEEK1	WEEK2	WEEK3	WEEK4	
		MAR			

TREE TO BE REMOVED: 22" CHERRY

NEW TREES:	SPECIES	SIZE	QUANTITY
	SHUMARD OAK	3" CALIPER	1
	QUERCUS SHUMARDII		

NOTES:

- WATERS OF THE STATE DO NOT EXIST WITHIN 200 FEET OF PROJECT SITE. NO DRAINAGE COURSES, SWALES OR WETLAND EXIST WITHIN THE PROJECT SITE.
- NO DISTURBANCE TO OCCUR WITHIN THE 25-FOOT BUFFERS OF STATE WATERS AND THE 75-FOOT COUNTY BUFFERS.
- NOTIFY THE COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION. PRIOR TO LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A RE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GRATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
Matkovic
DURDICA MATKOVIC, PE
GA LEVEL II GSWCC CERT. # 48657
EXPIRATION DATE 12-14-25

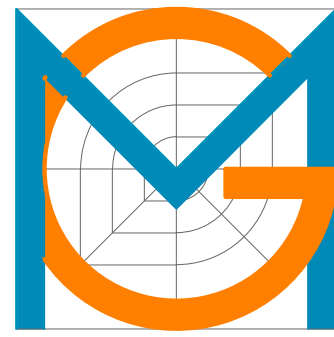
LL 52
LOT 15B, EMORY ESTATES
18TH DISTRICT
DEKALB COUNTY
GEORGIA

AREA OF LAND DISTURBANCE:
APPROX. 470 SQ.FT. = 0.011 AC.

NO GRADING PROPOSED, JUST FOR INSTALLATION OF REINFORCEMENT.

THE WALLS WILL BE REPLACED IN APPROX. THE SAME LOCATION AND HEIGHT.

THE PROPOSED RESTORATION WILL NOT IMPACT THE WATER QUALITY OR FLOOD CONDITIONS IN THE AREA BECAUSE PROPER BMP MEASUREMENTS WILL BE IMPLEMENTED DURING THE RESTORATION.



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gmatkovic@gandm-engineering.com



ISSUED AND RELEASED FOR CONSTRUCTION

Owner/Developer

Carl Johnston
1811 Burlington Place NE
Atlanta, GA 30307

Project Name and Address

Johnston Residence
1811 Burlington Place NE
Atlanta, GA 30307

Sheet Title

EROSION CONTROL AND TREE PLAN

Date
01-31-2025

Scale
1"=10'

Sheet

C-2

SOIL EROSION NOTES:

- SOIL EROSION AND SEDIMENTATION WILL BE CONTROLLED BY IMPLEMENTING THE REQUIREMENTS AS ESTABLISHED BY THE SOIL CONSERVATION SERVICE AND THE MANUAL OF EROSION CONTROL FOR THE STATE OF GEORGIA.
- THE CONTRACTOR WILL MAINTAIN THE SEDIMENT CONTROL FACILITIES DURING CONSTRUCTION. POST CONSTRUCTION MAINTENANCE OF VEGETATIVE COVER WILL BE THE RESPONSIBILITY OF THE HOMEOWNER.
- ALL SITE DOES NOT CONTAIN WETLANDS.
- ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA STANDARD SPECIFICATION, 1993 EDITION AND BE WIRE REINFORCED.
- EXCESS SEDIMENT TO BE REMOVED WHEN SILT REACHES ONE THIRD (1/3) OF THE HEIGHT OF THE FENCE.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS ADJACENT TO THE LOT CLEAR OF SILT AND DEBRIS.
- ALL EROSION DEVICES ARE TO REMAIN IN PLACE UNTIL STABILIZATION WITH A SUITABLE GROUND COVER IS ESTABLISHED.
- ANY DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON RESIDENTIAL PROJECTS AND LOTS, AND SLOPES SHALL NOT EXCEED 2H:1V ON ALL OTHER PROJECTS.
- VEGETATIVE MATERIAL AND CONSTRUCTION DEBRIS MAY NEITHER BE BURNED NOR BURIED ON SITE AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.
- APPROVAL OF THIS PLAN DOES NOT ALLOW FOR GRADING ON ADJACENT LOTS. A SEPARATE LAND DISTURBANCE PERMIT AND APPROVAL FROM THE OWNER MUST BE OBTAINED PRIOR TO GRADING ON ALL ADJOINING LOTS.
- ALL GRADED SLOPES 3:1 OR GREATER MUST BE HYDROSEEDDED AND COVERED WITH GaDOT APPROVED WHEAT STRAW, WOOD FIBER MATTING OR COCONUT FIBER MATTING. IF NOT HYDROSEEDDED, GaDOT APPROVED MATTING THAT HAS BEEN INCORPORATED WITH SEED AND FERTILIZER MUST BE USED. ALL SLOPES MUST BE PROPERLY PROTECTED UNTIL A PERMANENT VEGETATIVE STAND IS ESTABLISHED.
- THE AMOUNT OF LAND CLEARED DURING CONSTRUCTION MUST BE KEPT TO A MINIMUM.
- ALL DISTURBED AREAS MUST BE SEEDDED, FERTILIZED AND MULCHED AS SOON AS THE FINAL GRADE IS ACHIEVED. ALSO, THESE DISTURBED AREAS MUST BE PROTECTED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GRATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

Sediment and erosion measures and practices to be inspected daily.

All disturbed areas to be grassed as soon as construction phases permit.

Weekly erosion and sediment control reports shall be submitted to the development department starting with the issuance of the development permit and ending when project is released by the inspector.

Contractor shall prevent tracking or flow of mud and or sediment onto floodway, streets, and adjacent properties. All material spilled, dropped, washed or tracked from vehicles or sites onto roadways or into storm drains must be removed immediately by the contractor.

Contractor is responsible of acquiring right of entries for access/construction prior to beginning of construction

Ds1 DISTURBED AREA STABILIZATION (With Mulching Only)

DEFINITION

Applying plant residues or other suitable materials not produced on the site to the soil surface.

PURPOSE

- To reduce runoff and erosion.
- To conserve moisture, prevent surface compaction or crushing.
- To control undesirable vegetation.
- To modify soil temperature.
- To increase biological activity in the soil.

SPECIFICATIONS

- A. For temporary protection of critical areas without seeding.
- This standard applies to grades or cleared areas which may be subjected to erosion for 6-months or less, where seedings may not have a suitable growing season to produce an erosion retardant cover, but which can be stabilized with a mulch cover.

Site Preparation

- Grade, as needed and feasible, to permit the use of equipment for applying and anchoring mulch.
- Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.
- As needed and feasible, loosen compact soil to a minimum depth of 3 inches.

Mulching Materials

- Dry straw or hay – spread at a rate of 2 1/2 tons per acre.
- Wood waste, chips, sawdust or bark – spread 2 to 3 inches deep (about 6 to 9 tons per acre).
- Erosion control matting or netting, such as excelsior, jute, textile and plastic matting and netting, – applied in accordance with manu-facturer's recommendations.
- Outback asphalt, slow curing – applied at 1200 gallons per acre (or 1/4 gallon per sq. yd.).
- Polyethylene film – secured over bands or stock-piled soil material for temporary protection.

Applying and Anchoring Mulch

- Apply straw or hay mulch uniformly by hand or mechanically. Anchor as appropriate and feasible. It may be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk." The disk may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position.
 - Straw hay mulch spread with a special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion must be sprayed onto the mulch as it is ejected from the machine. Use 100 gallons of water per ton of mulch.
 - Spread wood waste uniformly on slopes that are 3:1 and flatter. No anchoring is needed.
 - Commercial matting and netting. Follow manu-facturer's specification included with the material.
 - Apply asphalt so area has uniform appearance. (Note: Use in areas of pedestrian traffic could cause problems of "tracking in" or damage to shoes, clothing, etc.)

- B. To conserve moisture and control weeds in nurseries, ornamental beds, around shrubs, and on bare areas on lawns.

Mulching Materials

Use one of the materials given below and apply at thickness indicated.

Material

- Grain straw or grass hay
- Pine needles
- Wood waste (sawdust, bark, chips)
- Shredded residues (crops, leaves, etc.)
- Completely cover area with black polyethylene film and hold in place by placing soil on the outer edge.

When using organic mulches, apply 20-30 pounds of nitrogen in addition to the normal amount needed for plant growth to offset the tie-up of N by decomposition of mulch.

Ds4 DISTURBED AREA STABILIZATION (With Sodding)

SOD PLANTING REQUIREMENTS

GRASS	VARIETIES	RESOURCE AREA	GROWING SEASON
BERMUDAGRASS	COMMON TIFWAY TIFGREEN	M-L, P, C	WARM WEATHER
TALL FESCUE	KENTUCKY	M-L, P	COLD WEATHER

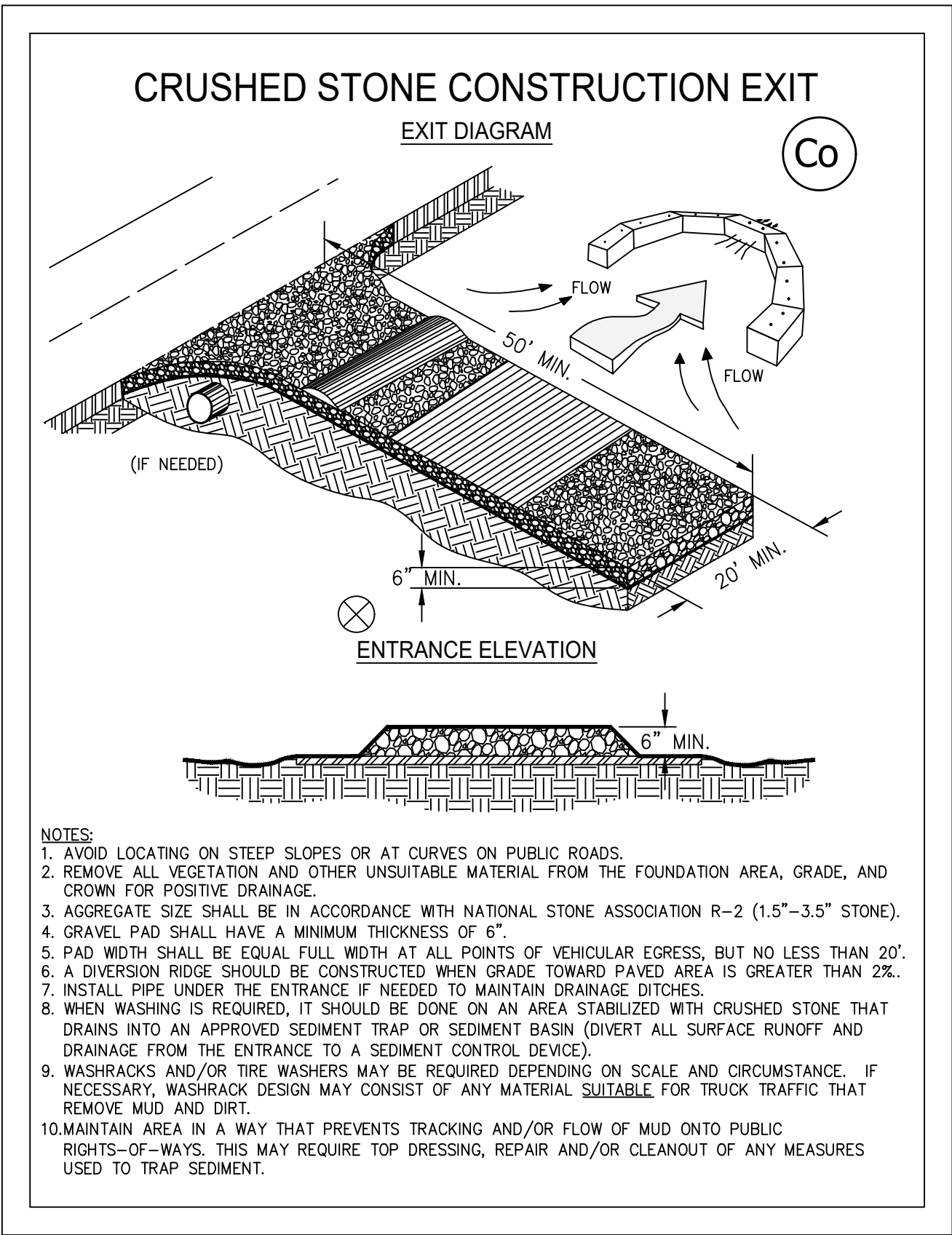
TABLE 2 – FERTILIZER REQUIREMENTS

TYPE OF SPECIES	YEAR	ANALYSIS N-P-K	RATE LBS./ACRE	N TOP DRESSING RATE
COOL SEASON GRASSES	First	6-12-12	1500 lbs./acre	50-100 lbs./acre 1/ 2/
	Second	6-12-12	1000 lbs./acre	30 lbs./acre
GROUND COVERS	First	10-10-10	1300 lbs./acre 3/	
	Second	10-10-10	1300 lbs./acre 3/	
WARM SEASON GRASSES	First	6-12-12	1500 lbs./acre	50-100 lbs./acre 2/ 4/
	Second	6-12-12	800 lbs./acre	50-100 lbs./acre 2/ 30 lbs./acre

- 1/ Apply in spring following seeding.
- 2/ Apply in split applications when high rates are used.
- 3/ Apply in split applications
- 4/ Apply when plants grow to a height of 2 to 4 inches.

- "ANY DISTURBED AREA LEFT IDLE FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION."
- "ANY DISTURBED AREA REMAINING IDLE FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION."
- "EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED AS NECESSARY."
- "ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION."
- "SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TYPE C TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION."
- "THE PROPERTY OWNER AND CONTRACTOR ARE EQUALLY RESPONSIBLE FOR ALL EROSION CONTROL ACTIVITIES."
- "IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL MEASURES, NOT THE CITY OF ATLANTA."
- "ALL TEMPORARY AND PERMANENT SEEDING SHALL BE PERFORMED IN THE APPROPRIATE SEASON. IN SUCH INSTANCES WHERE THE ESTABLISHED VEGETATION IS INOPORTUNE DUE TO SEASON OR DROUGHT, DISTURBED AREAS SHALL BE STABILIZED USING 2'-4" OF MULCH (DS1). ADDITIONAL PLANTINGS WILL BE NECESSARY IF A SUFFICIENT STAND OF GRASS FAILS TO GROW."
- "THE CITY INSPECTOR OR DESIGNEE WILL VERIFY ADEQUATE GROUND COVER (100% COVER, 70% DENSITY) OF PERMANENT VEGETATION (DS3, DS4)."

EXISTING GRAVEL DRIVE TO BE USED FOR CONSTRUCTION EXIT.

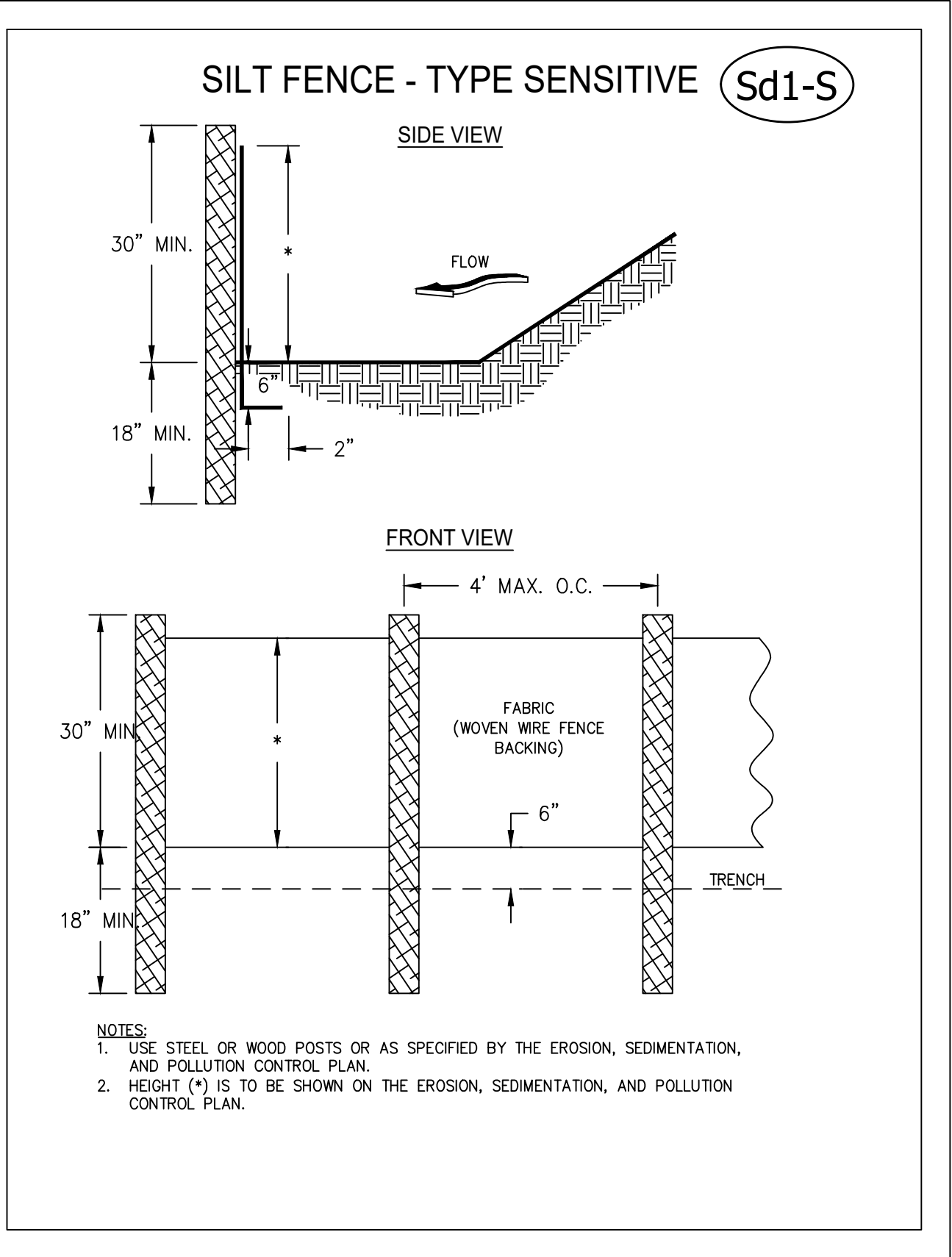


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01-31-2025

ISSUED AND RELEASED FOR CONSTRUCTION



RETAINING WALL Re

DEFINITION

A WALL CONSTRUCTED OF ONE OR MORE OF THE FOLLOWING: CONCRETE MASONRY, REINFORCED CONCRETE CRIBBING, TREATED TIMBERS, STEEL PILING, GABIONS, STONE DRYWALL, ROCK RIPRAP, ETC.

PURPOSE

TO ASSIST IN THE STABILIZATION OF CUT OR FILL SLOPES WHERE STABLE SLOPES ARE NOT ATTAINABLE WITHOUT THE USE OF THE WALL.

CONDITIONS

USE IN CONJUNCTION WITH CUT OR FILL SLOPES THAT, BECAUSE OF SPACE LIMITATIONS OR UNSTABLE MATERIAL, DO NOT ALLOW THE STABLE SLOPE CRITERIA LISTED ABOVE, E.G. CUTS INTO STEEP HILLSIDES ON SMALL LOTS OR CUTS INTO HILLSIDES BEHIND SHOPPING CENTERS TO PROVIDE LOADING SPACE.

DESIGN CRITERIA

GENERAL

THE DESIGN OF A RETAINING WALL IS A COMPLICATED PROCESS. MANY FACTORS MUST BE TAKEN INTO ACCOUNT SUCH AS: STRESSES AND FORCES OUTSIDE AND WITHIN THE WALL, ALLOWABLE HEIGHT AND MINIMUM THICKNESS. OTHER CONSIDERATIONS ARE: FOUNDATION DESIGN WITH RESPECT TO LOADINGS, BEARING VALUES OF SOILS AND FOOTING DIMENSIONS. ADDITIONAL DESIGN FACTORS ARE: SAFETY HAZARDS, SUBSURFACE AND SURFACE DRAINAGE AND APPEARANCE.

EACH SITUATION REQUIRES A SPECIFIC DESIGN THAT IS WITHIN THE CAPABILITIES OF THE DESIGN PROFESSIONAL.

CONSIDERATION SHOULD BE GIVEN TO ALL OF THE ALTERNATIVE METHODS WITH REGARD TO CONSTRUCTION OF THE WALL. SOME METHODS ARE:

- CONCRETE MASONRY
- CONCRETE CRIBBING
- GABIONS
- STEEL PILING
- STONE DRYWALL
- ROCK RIPRAP, ETC.
- TREATED TIMBERS
- GEOTEXTILE WRAPPED-FACE WALL
- GEOTEXTILE REINFORCED STEEP SLOPES

No.	Revision/Issue	Date

Owner/Developer

Carl Johnston
1811 Burlington Place NE
Atlanta, GA 30307

Project Name and Address

Johnston Residence
1811 Burlington Place NE
Atlanta, GA 30307

Sheet Title

ESC DETAILS

Date
01-31-2025

Scale
NTS

Sheet

C-3

1.05 DELIVERY, STORAGE AND HANDLING

- A. Concrete Retaining Wall Units and Accessories: Deliver, store, and handle materials in accordance with manufacturer's recommendations, in such a manner as to prevent damage. Check the materials upon delivery to assure that proper material has been received. Store above ground on wood pallets or blocking. Remove damaged or otherwise unsuitable material, when so determined, from the site.
- Exposed faces of concrete wall units shall be free of chips, cracks, stains, and other imperfections detracting from their appearance, when viewed from a distance of 10 feet.
 - Prevent mud, wet cement, adhesives and similar materials that may harm appearance of units, from coming in contact with system components.
- B. Geosynthetics (including geosynthetic reinforcement, geotextile filter, prefabricated drainage composite) shall be delivered, stored, and handled in accordance with ASTM D4873.
- 2.01 MATERIALS
- A. Concrete Retaining Wall Units: "Anchor™ Diamond Pro Retaining Wall Units" as manufactured under license from Anchor Wall Systems.
- Physical Requirements
 - Meet requirements of ASTM C1372, except the maximum water absorption shall be limited to 7 percent, and unit height dimensions shall not vary more than plus or minus 1/16 inch from that specified in the ASTM reference, not including textured face.
 - Unit Face Area: Not less than 0.67 square feet.
 - Color: Selected by the Owner from manufacturer's full range of standard colors.
 - Face Pattern Geometry: Beveled Face.
 - Texture: Split-Rock Face.
 - Include an integral concrete shear connection flange/locator.
- B. Geosynthetic Reinforcement: MIRAFI 2XT and MIRAFI 3XT or approved equal geogrid .
- C. Leveling Pad Base
- Aggregate Base: Crushed stone or granular fill meeting the following gradation as determined in accordance with ASTM D448:

Sieve Size	Percent Passing
1 inch	100
No. 4	35 to 70
No. 40	10 to 35
No. 200	3 to 10

 - Base Thickness: 6 inches (minimum compacted thickness).
 - Concrete Base: Nonreinforced lean concrete base.
 - Compressive Strength: 3,000 psi (minimum).
 - Base Thickness: At least 2 inches
- D. Drainage Aggregate: Clean crushed stone or granular fill meeting the following gradation as determined in accordance with ASTM D448:

Sieve Size	Percent Passing
1 inch	100
3/4 inch	75 to 100
No. 4	0 to 60
No. 40	0 to 50
No. 200	0 to 5
- E. Backfill: Soil free of organics and debris and consisting of either GP, GW, SP, SW, or SM type, classified in accordance with ASTM D2487 and the USCS classification system.
- Soils classified as SC, ML and CL are considered suitable soils for segmental retaining walls with a total height of less than 10 feet unless the Plasticity Index (PI) is 20 or more.
 - Maximum particle size for backfill is 4 inches.
 - Unsuitable soils are organic soils and those soils classified as CH, OH, MH, OL, or PT.
- F. Impervious Material: Clayey soil or other similar material which will prevent percolation into the drainage zone behind the wall.
- G. Drainage Pipe: Perforated or slotted PVC or corrugated HDPE pipe manufactured in accordance with D3034 and/or ASTM F405. The pipe may be covered with a geotextile filter fabric to function as a filter.
- H. Construction Adhesive: Exterior grade adhesive as recommended by the retaining wall unit manufacturer.

PART 3 - EXECUTION

3.01 EXAMINATION

- Examine the areas and conditions under which the retaining wall system is to be erected, and notify the Engineer in writing of conditions detrimental to the proper and timely completion of the work. Do not proceed with the work until unsatisfactory conditions have been corrected.
- Promptly notify the wall design engineer of site conditions which may affect wall performance, soil conditions observed other than those assumed, or other conditions that may require a reevaluation of the wall design.
- Verify the location of existing structures and utilities prior to excavation.

3.02 PREPARATION

- Ensure surrounding structures are protected from the effects of wall excavation. Excavation support, if required, is the responsibility of the Contractor, including the stability of the excavation and its influence on adjacent properties and structures.

3.03 EXCAVATION

- Excavate to the lines and grades shown on the Drawings. Over-excavation not approved by the Engineer will not be paid for by the Owner. Replacement of these soils with compacted fill and/or wall system components will be required at the Contractor's expense. Use care in excavating to prevent disturbance of the base beyond the lines shown.

3.04 FOUNDATION PREPARATION

- Excavate foundation soil as required for footing or base dimension shown on the Drawings, or as directed by the Project geotechnical engineer.
- The Project geotechnical engineer will examine foundation soil to ensure that the actual foundation soil strength meets or exceeds that indicated on the Drawings. Remove soil not meeting the required strength. Oversize resulting space sufficiently from the front of the block to the back of the reinforcement, and backfill with suitable compacted backfill soils.
- The Project geotechnical engineer will determine if the foundation soils will require special treatment or correction to control total and differential settlement.
- Fill over-excavated areas with suitable compacted backfill, as recommended by the Project geotechnical engineer.

3.05 BASE COURSE PREPARATION

- Place base materials to the depths and widths shown on the Drawings, upon undisturbed soils, or foundation soils prepared in accordance with Article 3.04.
 - Extend the leveling pad laterally at least 6 inches in front and behind the lowermost concrete retaining wall unit.
 - Provide aggregate base compacted to 6 inches thick (minimum).
 - The Contractor may at their option, provide a concrete leveling pad as specified in Subparagraph 2.01.C.2, in lieu of the aggregate base.
 - Where a reinforced footing is required by local code official, place footing below frost depth.
- Compact aggregate base material to provide a level, hard surface on which to place the first course of units.
 - Remove debris caused by wall construction and leave adjacent paved areas broom clean.
 - Prepare base materials to ensure complete contact with retaining wall units. Gaps are not allowed.

Minimum Compaction Requirements for Fill Placed in the Reinforced and Retained Zone is a minimum of 95 percent of the soil's standard Proctor maximum dry density (ASTM D698) [modified Proctor maximum dry density (ASTM D1557)] for the entire wall height.

3.08 CAP UNIT INSTALLATION

- Apply adhesive to the top surface of the unit below and place the cap unit into desired position.
- Cut cap units as necessary to obtain the proper fit.
- Backfill and compact to top of cap unit.

3.09 SITE CONSTRUCTION TOLERANCES

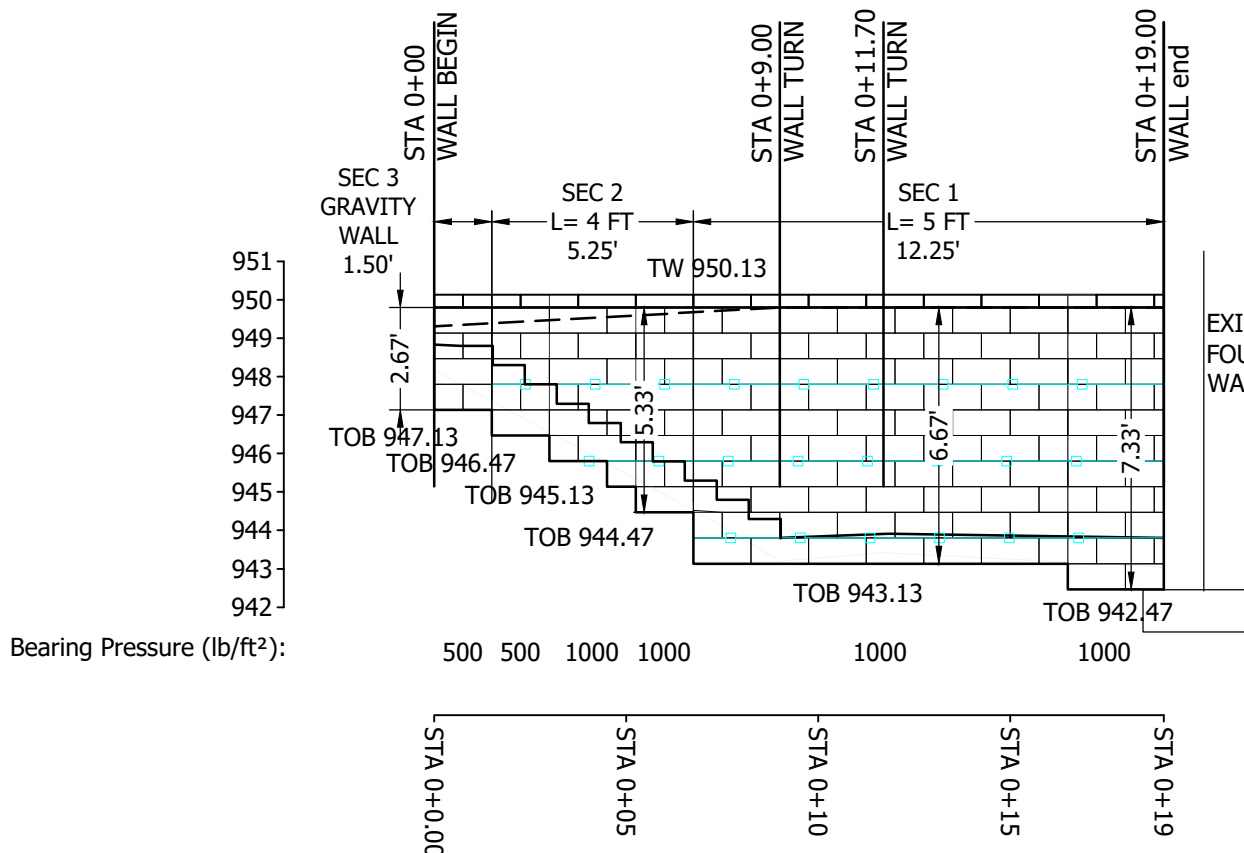
- Site Construction Tolerances
 - Vertical Alignment: Plus or minus 1-1/2 inches over any 10-foot distance, with a maximum differential of 3 inches over the length of the wall.
 - Horizontal Location Control From Grading Plan
 - Straight Lines: Plus or minus 1-1/2 inches over any 10-foot distance.
 - Corner and Radius Locations: Plus or minus 12 inches.
 - Curves and Serpentine Radii: Plus or minus 2 feet.
 - Immediate Post Construction Wall Batter: Within 2 degrees of the design batter of the concrete retaining wall units.
 - Bulging: Plus or minus 1-1/4 inches over any 10-foot distance.

3.10 FIELD QUALITY CONTROL

- Installer is responsible for quality control of installation of system components.
- The Owner or their contractor, at their expense, will retain a qualified professional to perform quality assurance checks of the installer's work.
- Correct work which does not meet these specifications or the requirements shown on the Drawings at the installer's expense.
- Perform compaction testing of the reinforced backfill placed and compacted in the reinforced backfill zone.
 - Testing Frequency
 - One test for every 2 feet (vertical) of fill placed and compacted, for every 50 lineal feet of retaining wall.
 - Vary compaction test locations to cover the entire area of the reinforced soil zone, including the area compacted by the hand-operated compaction equipment.

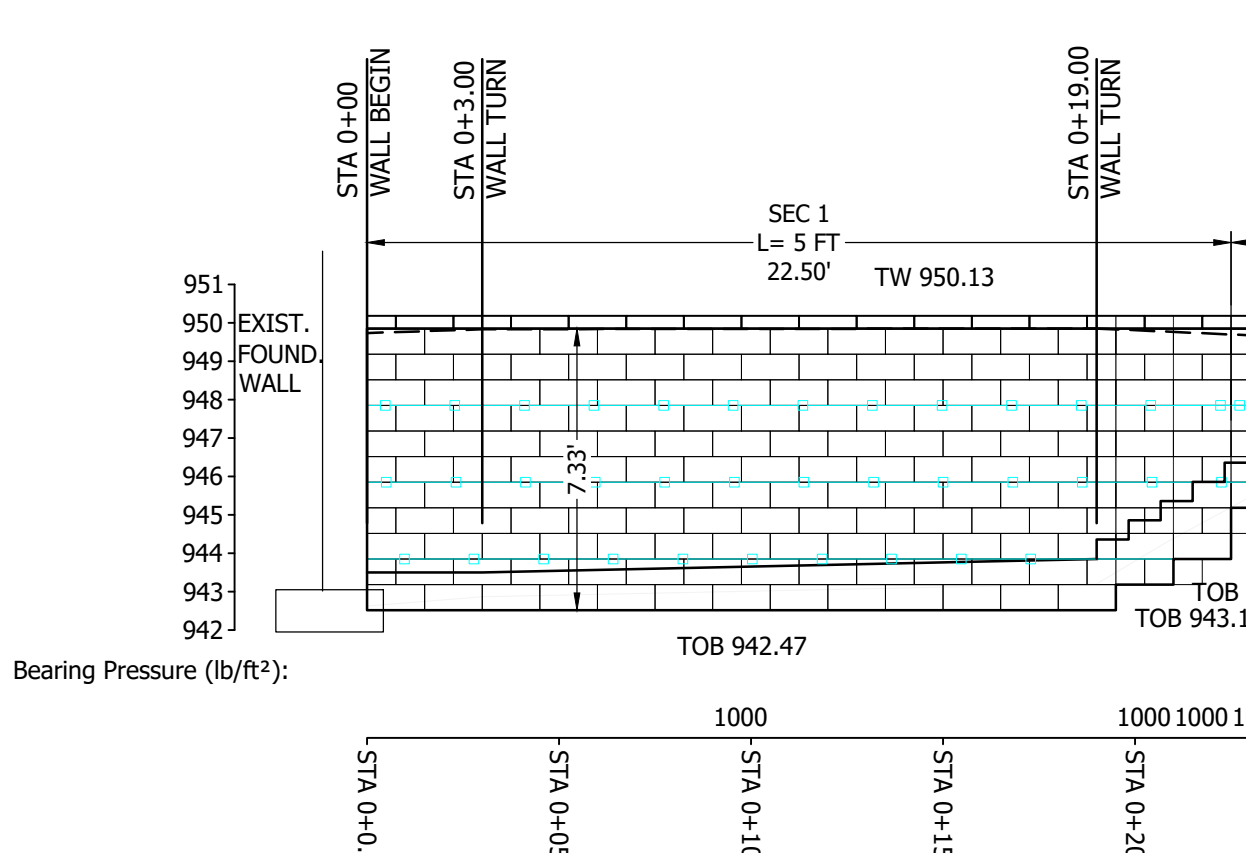
3.11 ADJUSTING AND CLEANING

- Replace damaged units with new units as the work progresses.
- Remove debris caused by wall construction and leave adjacent paved areas broom clean.



1 RETAINING WALL #1 ELEVATION

SCALE: 1"=5'
APPROXIMATE WALL AREA: 110 SQ. FT.

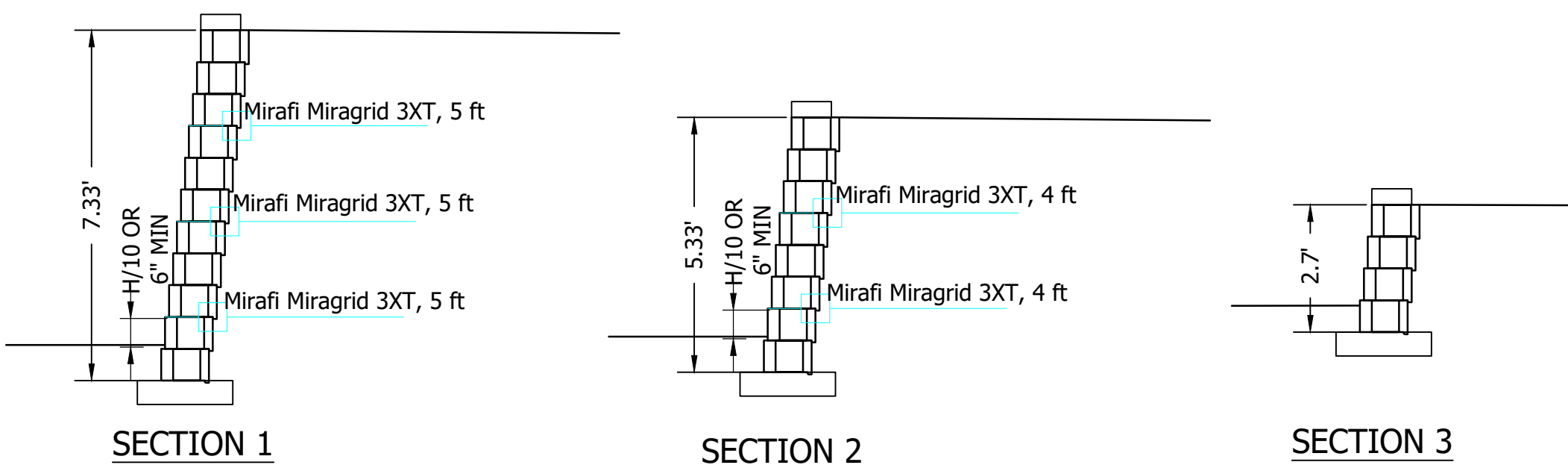


2 RETAINING WALL #2 ELEVATION

SCALE: 1"=5'
APPROXIMATE WALL AREA: 184 SQ. FT.

LEGEND:

- TW 1021.17 TOP OF WALL ELEVATION
TOB 1018.84 TOP OF BASE = BOTTOM OF WALL ELEVATION
SEC 2 SECTION NUMBER
L=4.0 FT LENGTH OF GEOGRID
5.04' LENGTH OF WALL SECTION
GEOGRID 3XT



3 RETAINING WALL SECTIONS

SCALE: 1"=3'

BLOCK:

ANCHOR DIAMOND PRO OR APPROVED EQUAL

GEOGRID:

MIRAFI MIRAGRID 2XT, 3XT(OR APPROVED EQUAL),
AS SPECIFIED ON WALL SECTIONS

GEOTEXTILE:

MIRAFI 135N OR APPROVED EQUAL

MINIMUM BEARING CAPACITY OF SOIL:
2,000 PSF

ENGINEERING DESIGN:

- NEMA DESIGN METHODOLOGY FOR INTERNAL AND EXTERNAL STABILITY
- SOIL PARAMETERS:

	FRICITION ANGLE	COHESION	MOIST UNIT WEIGHT
REINFORCED FILL	28°	0 PSF	120 PCF
RETAINED SOIL	28°	0 PSF	120 PCF
FOUNDATION SOIL	28°	100 PSF	120 PCF

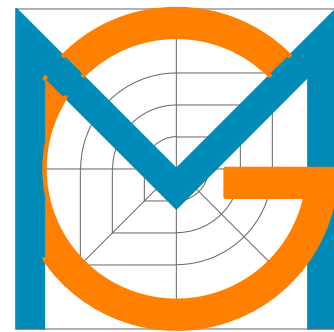
NOTE: ANY REVISIONS TO THESE DESIGN PARAMETERS OR STRUCTURE GEOMETRY SHALL REQUIRE DESIGN MODIFICATIONS PRIOR TO CONSTRUCTION.

FACTORS OF SAFETY:
INTERNAL STABILITY: SOIL-GEOGRID INTERACTION COEF. 0.85
PERCENT COVERAGE OF GEOGRID 100%
FACTOR OF SAFETY FOR UNCERTAINTIES 1.5
FACTOR OF SAFETY FOR GEOGRID PULLOUT 1.5

EXTERNAL STABILITY:
FACTOR OF SAFETY FOR SLIDING AT BASE 1.5
FACTOR OF SAFETY AGAINST OVERTURNING 2.0
FACTOR OF SAFETY FOR BEARING CAPACITY 2.0

GLOBAL STABILITY:
FACTOR OF SAFETY FOR BUILDING AREAS: 1.5
FACTOR OF SAFETY FOR OTHER AREAS: 1.5
LOADING CONDITIONS:
SURCHARGE RESIDENTIAL PAVEMENT 150 PSF

HYDROSTATIC LOADING:
WATER IS ASSUMED TO BE COLLECTED AND DRAINED AWAY FROM THE WALL ZONE AND DOES NOT AFFECT THE WALL STABILITY.
WATER BEARING UTILITIES, INCLUDING IRRIGATION, SHALL BE KEPT AWAY FROM THE WALL REINFORCED WALL ZONE.



G & M Engineering, Inc.
P.O. Box 464607
Lawrenceville, GA 30042
770-883-9476
gmatkovic@gandm-engineering.com



ISSUED AND RELEASED FOR CONSTRUCTION

Owner/Developer

Carl Johnston
1811 Burlington Place NE
Atlanta, GA 30307

Project Name and Address

Johnston Residence
1811 Burlington Place NE
Atlanta, GA 30307

Sheet Title

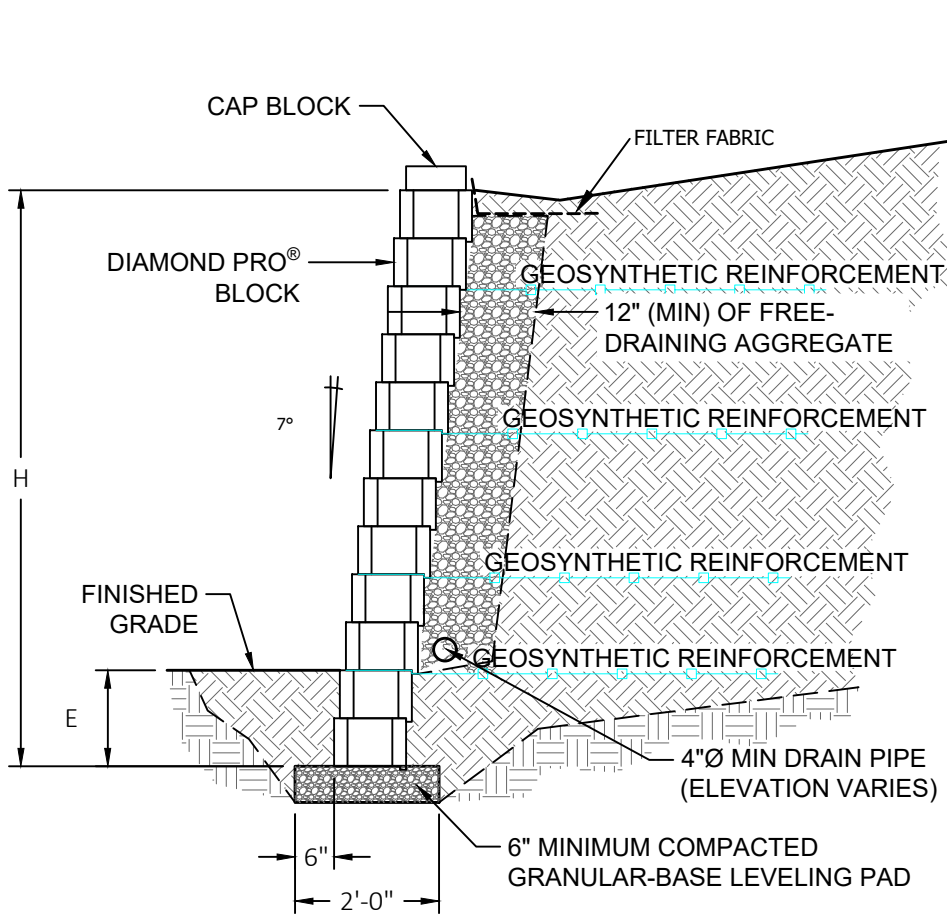
RETAINING WALL ELEVATION,
TYP. SECTIONS AND NOTES

Date
01-31-2025

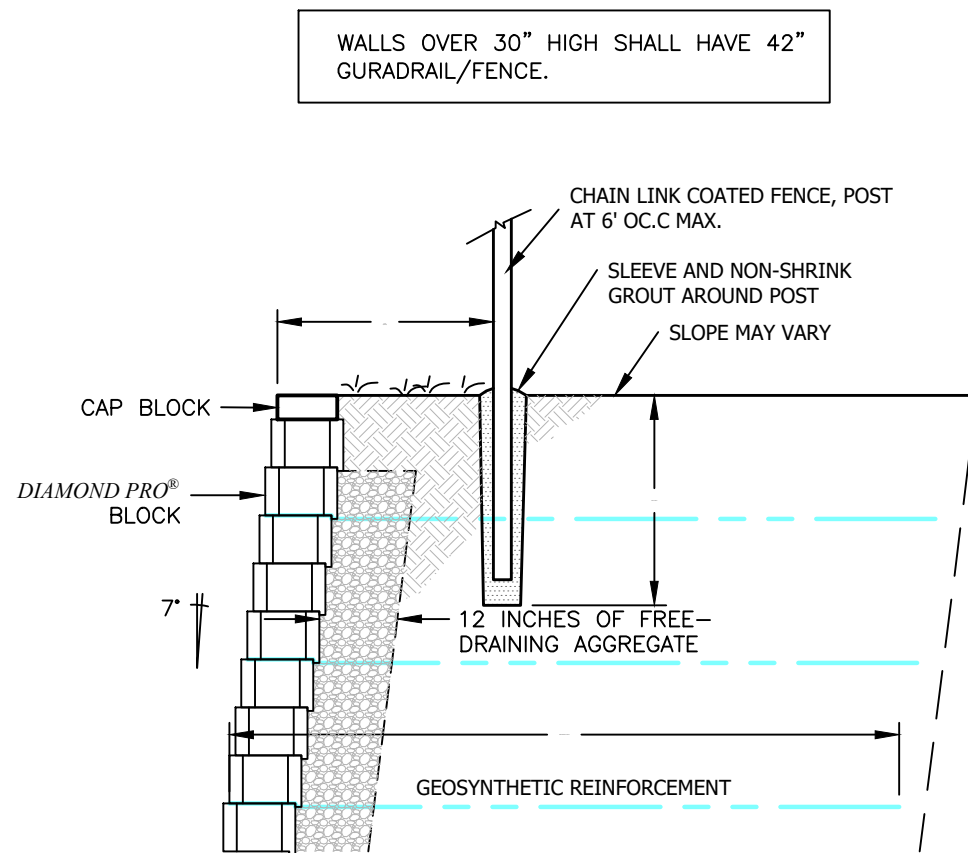
Scale
AS SHOWN

Sheet

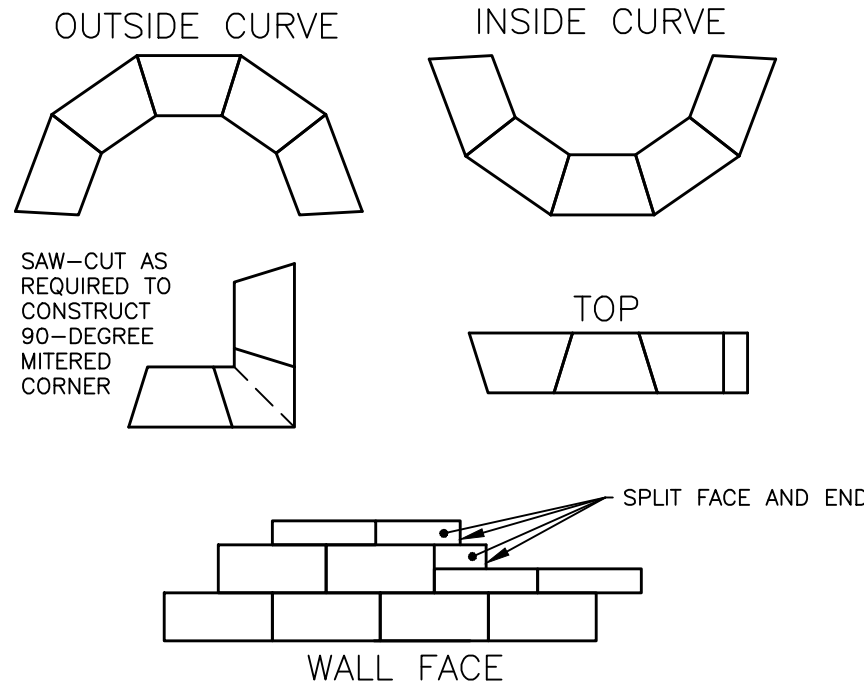
C-4



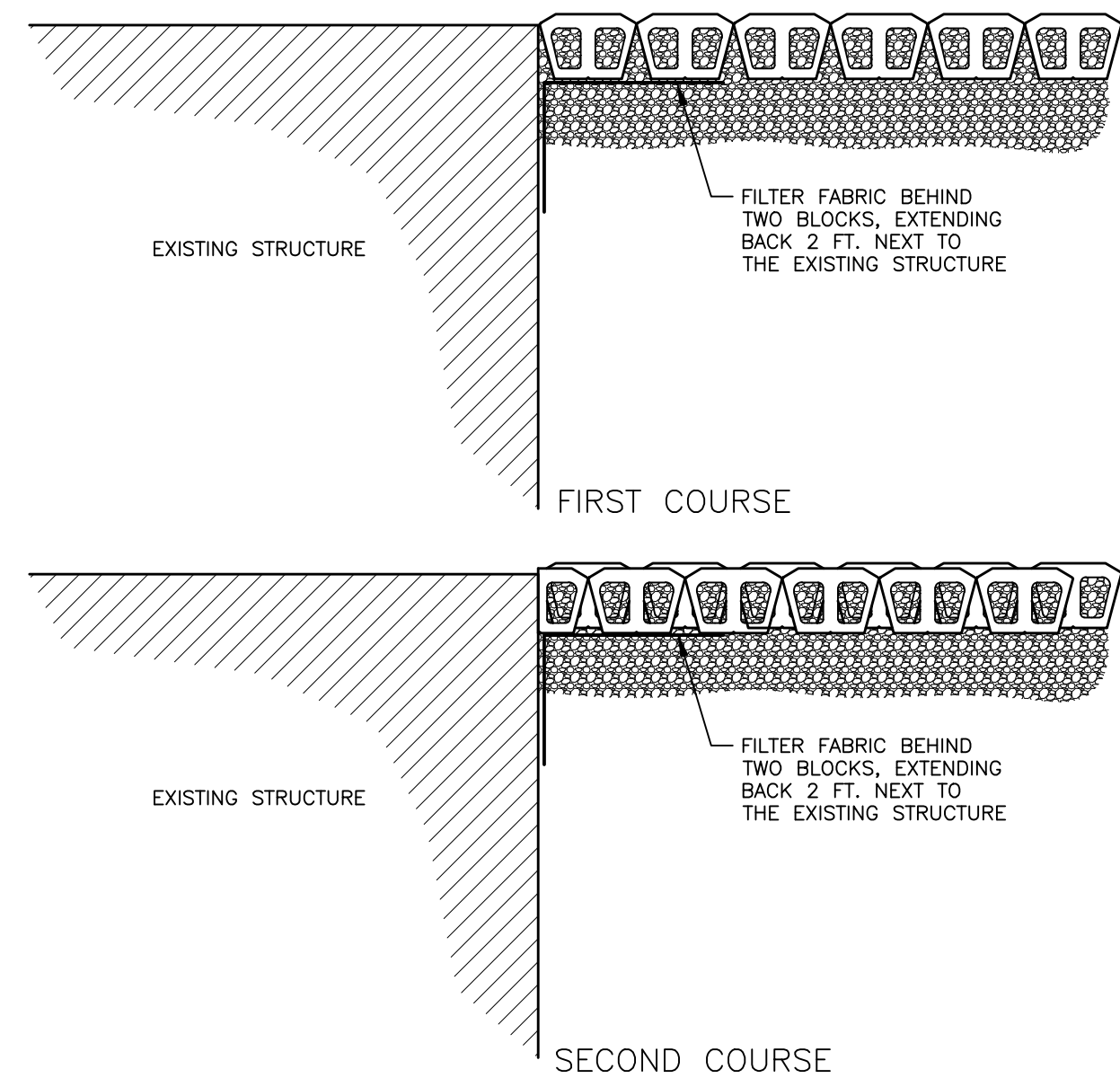
Anchor™ Diamond Pro®
1
C-5
TYPICAL CROSS SECTION
(SCALE: 3/8"=1'-0")



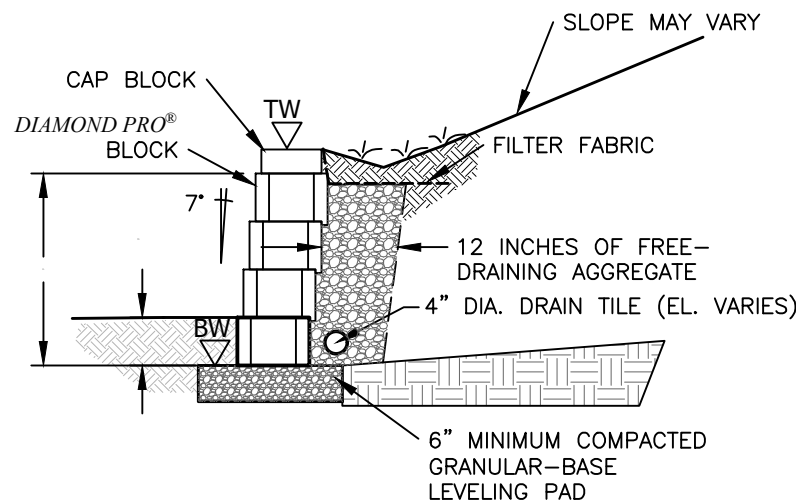
Anchor™ Diamond Pro®
5
C-5
FENCE BEHIND WALL
(SCALE: 3/8"=1'-0")



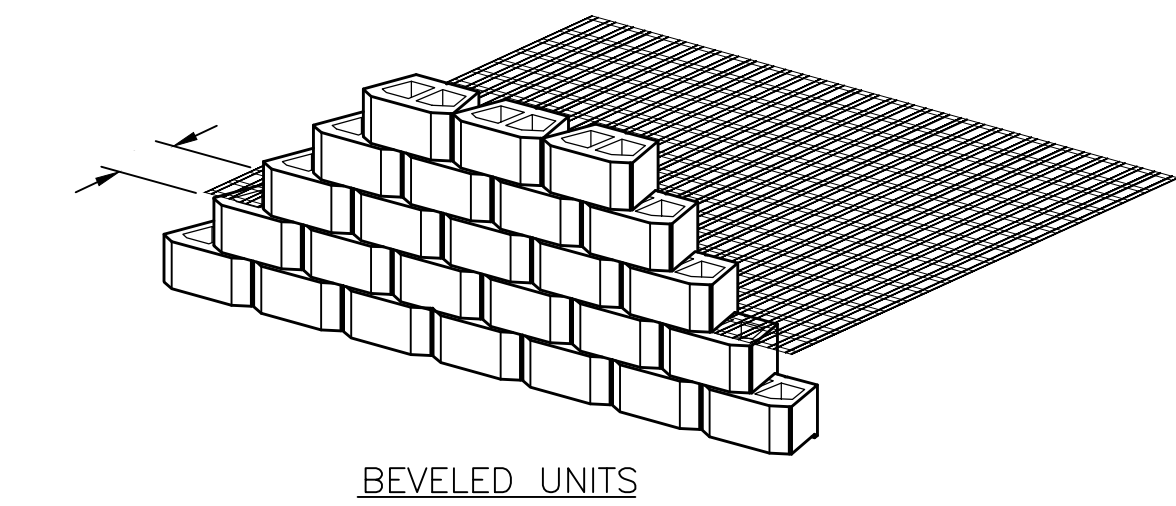
Anchor™ Diamond Pro®
7
C-5
CAP BLOCK DETAILS
(NOT TO SCALE)



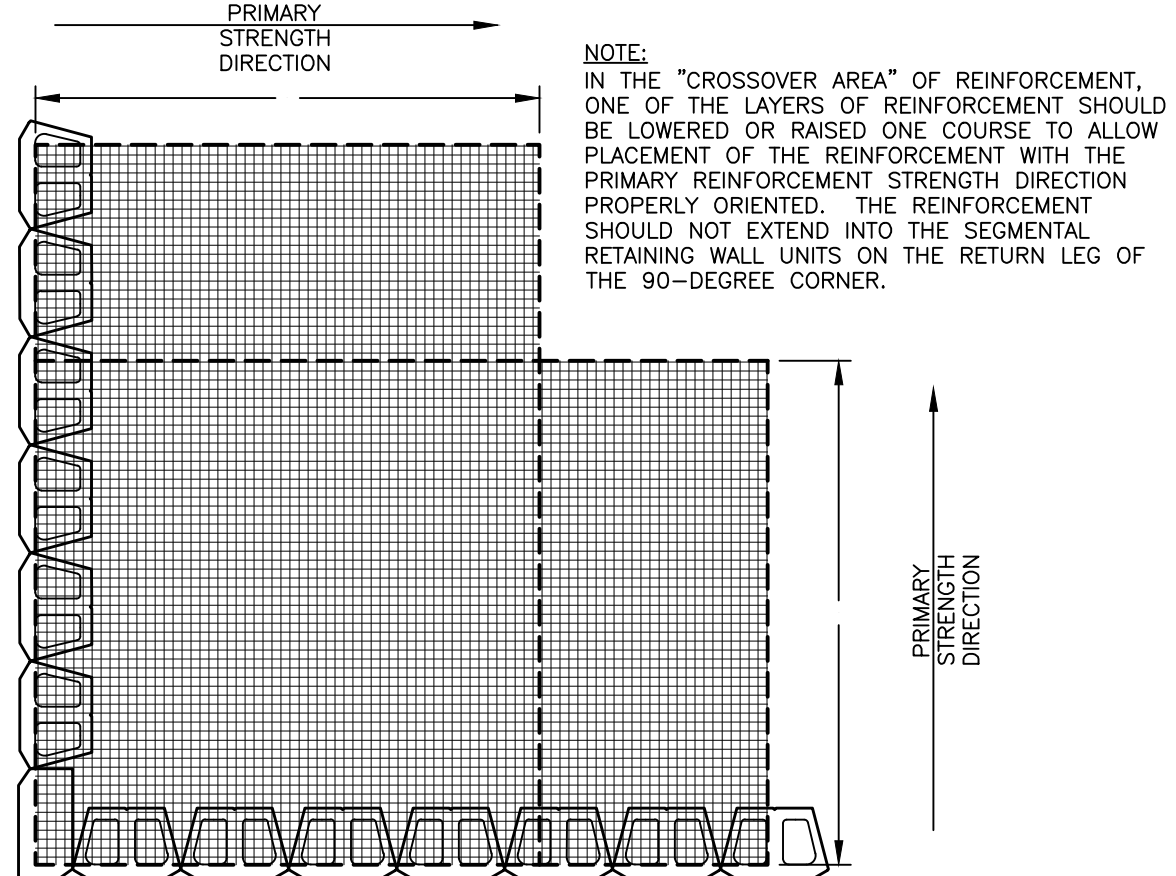
Anchor™ Diamond Pro®
11
C-5
WALL ABUTTING STRUCTURE
(SCALE: 3/8"=1'-0")



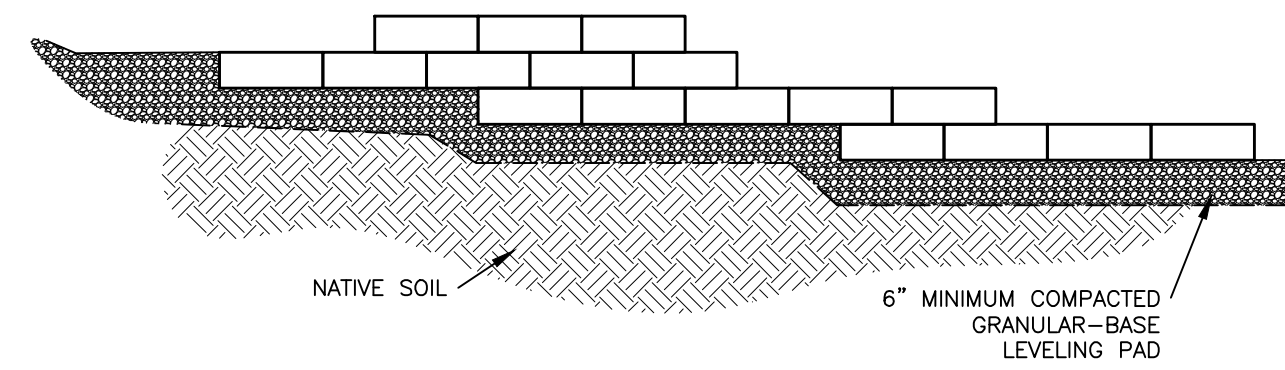
Anchor™ Diamond Pro®
2
C-5
TYPICAL GRAVITY WALL
(SCALE: 3/8"=1'-0")



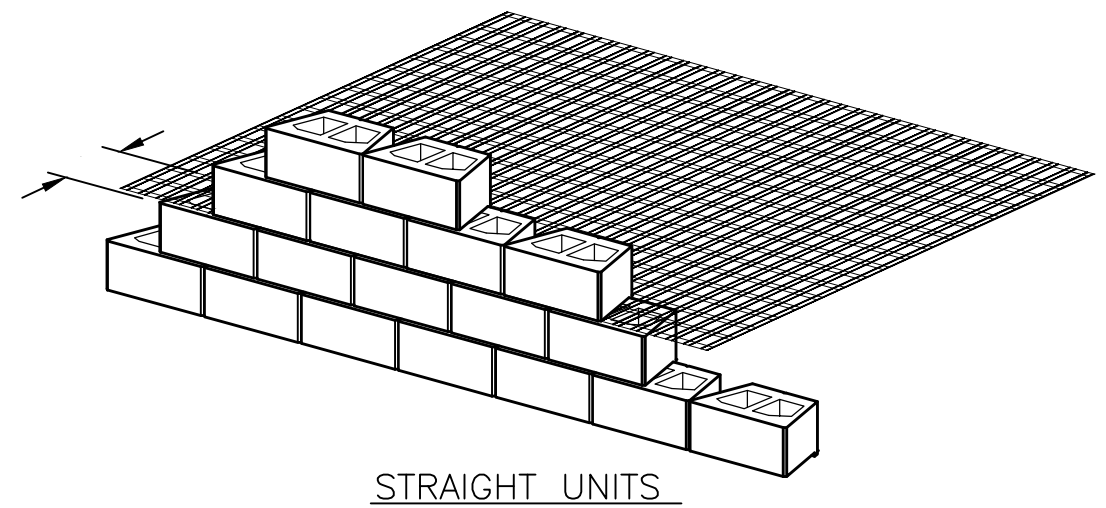
Anchor™ Diamond Pro®
6
C-5
REINFORCEMENT CONNECTION DETAIL
(NOT TO SCALE)



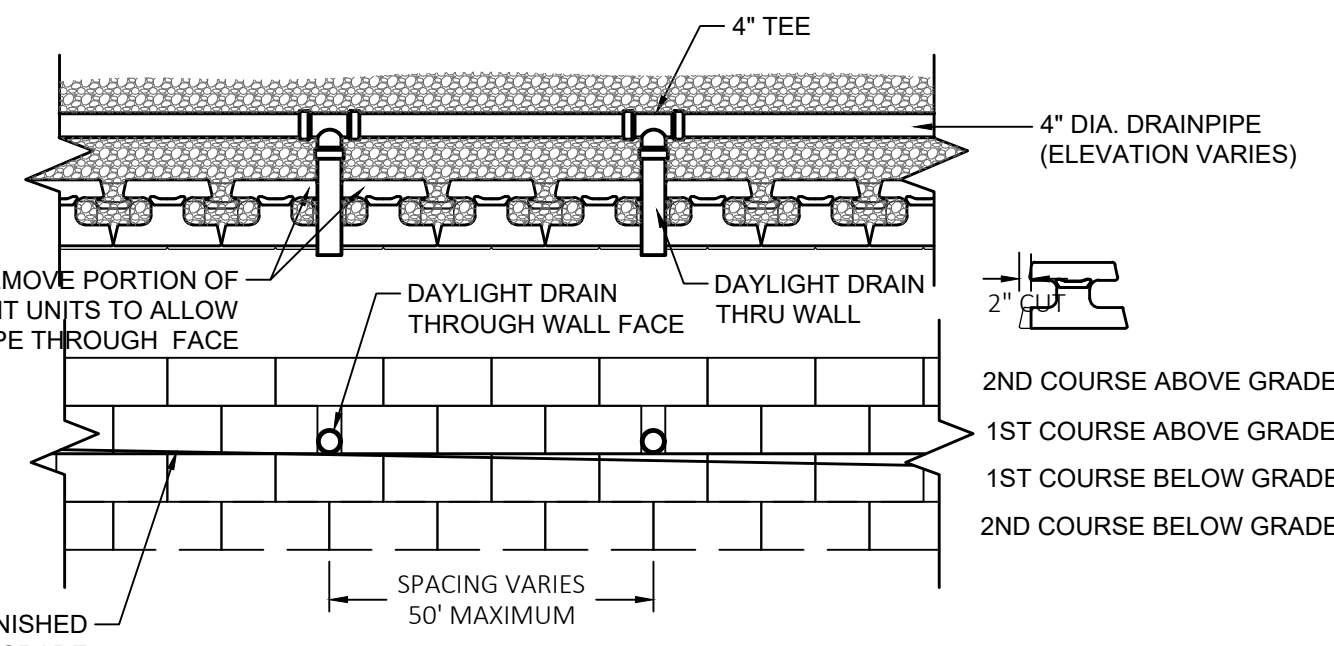
Anchor™ Diamond Pro®
8
C-5
90-DEGREE OUTSIDE CORNER DETAIL
(SCALE: 3/8"=1'-0")



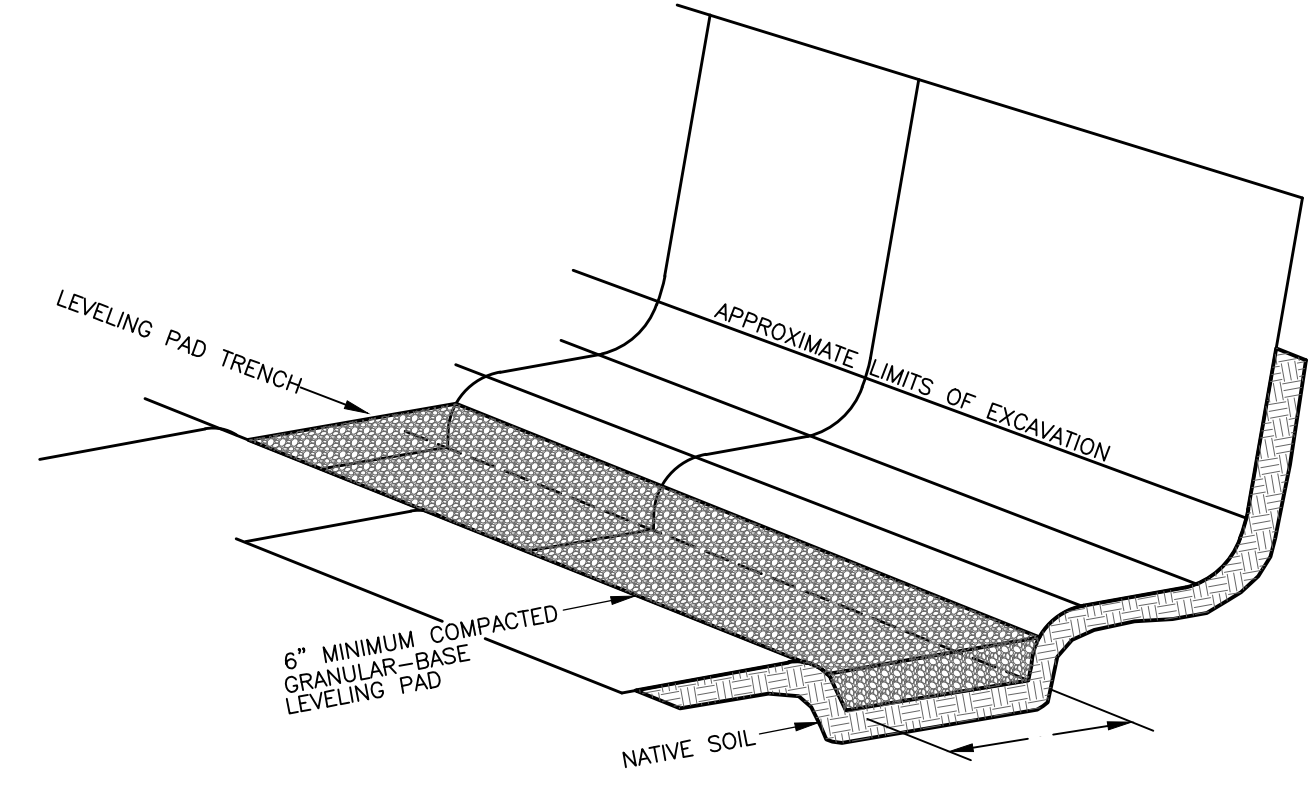
Anchor™ Diamond Pro®
3
C-5
TYPICAL STEP-UP DETAIL
(NOT TO SCALE)



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9
C-5
90-DEGREE INSIDE CORNER W/ GRID
(SCALE: 3/8"=1'-0")



Anchor™ Diamond Pro®
4
C-5
DRAIN PIPE THROUGH WALL FACE
3/8"=1'-0"



Anchor™ Diamond Pro®
10
C-5
TYPICAL BASE PREPARATION
(SCALE: 3/8"=1'-0")

Anchor Diamond® Step

To complete any segmental retaining wall design, steps add a design dimension for accessing transitional applications. The Anchor Diamond® Step provides an aesthetically pleasing solution, integrated into the entire wall.

COMPOSITION AND MANUFACTURE

Anchor Diamond® Step is made from a "no slump" concrete mix. Made under extreme pressure and high frequency vibrations, Anchor Diamond® Step has a compressive strength greater than 3000psi, a water absorption maximum of 7%.

INSTALLATION

1. Layout the base course according to your wall design.
2. Add the second course of steps, staggering them from the previous course to maintain running bond. Remember, it is very important to backfill and compact behind and along the sides of each course of step units. Place step units so the face of the step overlaps the previous course by 1.5 to 2 inches. Adhere the front of the step units to the preceding course with a concrete adhesive.

Tip: Drain tile can be placed behind the lowest step units at grade. An alternative would be to place the drain tile behind each wall adjacent to the steps.

Complete installation & specification details are available by contacting your Pavestone Sales Representative.

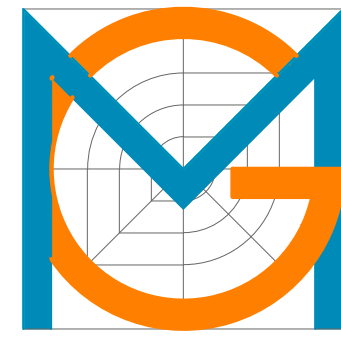
Note: Colors are shown as accurately as possible in brochures & samples, but due to the nature of the product, regional color differences and variables in print reproduction, colors may not match exactly.



PAVESTONE
Improving Your Landscape®
www.pavestone.com

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Member of ASA & NCMA
ICPI Charter Member
Anchor® Retaining Wall Systems



G & M Engineering, Inc.
P.O. Box 464607
Lawrenceville, GA 30042
770-883-9476
gmatkovic@gandm-engineering.com



01-31-2025

ISSUED AND RELEASED FOR CONSTRUCTION

No.	Revision/Issue	Date
-----	----------------	------

Owner/Developer
Carl Johnston
1811 Burlington Place NE
Atlanta, GA 30307

Project Name and Address
Johnston Residence
1811 Burlington Place NE
Atlanta, GA 30307

Sheet Title
DETAILS

Date
01-31-2025
Scale
AS SHOWN

Sheet
C-5







i:\proj\surv\2024\24074 burlington place (#181)-decatur ga\dwg\24074-topo-121224.dwg
surveynew.ctb

GENERAL NOTES

1. THE FIELD SURVEY WAS COMPLETED ON DECEMBER 12, 2024. ISSUE OR REVISION DATES ARE BASED ON FIELD OBSERVATIONS MADE AT THAT TIME. ANY CHANGES IN SITE CONDITIONS AFTER THE DATE OF THE FIELD SURVEY ARE NOT REFLECTED HEREON.
2. HORIZONTAL AND VERTICAL DATUM WAS ESTABLISHED BY PERFORMING REPETITIVE RTK GPS OBSERVATIONS ON PRIMARY SURVEY CONTROL POINTS UTILIZING AN EGPS 20TL DUAL FREQUENCY GPS RECEIVER AND THE eGPS GNSS NETWORK. THE POSITIONAL ACCURACY OF THE REPETITIVE OBSERVATION AVERAGES IS 0.05 FOOT OR GREATER HORIZONTALLY AND 0.04 FOOT OR GREATER VERTICALLY. ALL GROUND MEASUREMENTS WERE OBTAINED UTILIZING A 5 SECOND TRIMBLE SS ROBOTIC TOTAL STATION.
3. TOPOGRAPHY AND ELEVATIONS SHOWN ARE BASED ON NAVD '88 DATUM AS ESTABLISHED UTILIZING THE FIELD EQUIPMENT AND PROCEDURES REFERENCED ABOVE. THE CONTOUR INTERVAL IS 1 FOOT BASED ON A FIELD-RUN SURVEY.
4. THE HORIZONTAL DATUM IS NAD '83 (2011), GEORGIA WEST ZONE, AS ESTABLISHED UTILIZING THE FIELD EQUIPMENT AND PROCEDURES REFERENCED ABOVE. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
5. NO BOUNDARY SURVEY WAS PERFORMED BY HUSSEY GAY BELL IN THE PREPARATION OF THIS SURVEY. NO PLAT CLOSURE WAS CALCULATED AND NO EASEMENTS ARE SHOWN. SEE CERTIFICATION HEREON FOR BOUNDARY REFERENCES.
6. BASED ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 13089C0062K, DEKALB COUNTY GEORGIA AND INCORPORATED AREAS, EFFECTIVE DATE 08/15/2019, THE SUBJECT PROPERTY LIES WITHIN F.E.M.A. ZONES "X" (OTHER AREAS), DEFINED THEREON AS FOLLOWS:

ZONE "X" (OTHER AREAS): AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

THE REFERENCED FLOOD MAP OR MAPS WERE PREPARED FOR INSURANCE RATE PURPOSES AND ARE NOT A GUARANTEE, EITHER EXPRESSED OR IMPLIED, THAT FLOODING WILL NOT OCCUR ANYWHERE ON THIS PROPERTY. OTHER LOCAL FLOODING CONDITIONS MAY EXIST OR SEVERE LOCAL STORMS MAY OCCUR. INDEPENDENT ENGINEERING STUDIES SHOULD BE PERFORMED TO DETERMINE IF CONDITIONS EXIST THAT MAY CAUSE LOCAL FLOODING.
8. NO ZONING INFORMATION IS SHOWN.
9. NO UNDERGROUND UTILITIES ARE SHOWN.

10. THIS DRAWING WAS PRODUCED ON A 24" X 36" SHEET UTILIZING ELECTRONIC MEDIA, PLOTTED TO A PDF FILE AND DIGITALLY SIGNED BY THE SURVEYOR UTILIZING BLUEBEAM REVU SOFTWARE. THE ORIGINAL DRAWING WITH A SIGNATURE VALIDATION IS KEPT IN THE OFFICE OF THE SURVEYOR. ANY HARD COPIES OF THE DRAWING OR ELECTRONIC COPIES THAT DO NOT CONTAIN A SIGNATURE VALIDATION CAN BE AUTHENTICATED BY CONTACTING THE SURVEYOR TO OBTAIN A COPY OF THE ORIGINAL DRAWING. ANY CHANGES MADE TO THE ORIGINAL DRAWING AFTER RELEASE BY THE SURVEYOR WERE DONE WITHOUT THE SURVEYOR'S AUTHORIZATION AND ARE NOT TO BE CONSIDERED PART OF THE SURVEY INFORMATION. ANY OTHER SIGNATURES OR STATEMENTS BY THE OWNER OR JURISDICTIONAL AUTHORITIES WERE DONE AFTER RELEASE OF THE ORIGINAL DRAWING BY THE SURVEYOR AND CAN BE AUTHENTICATED BY CONTACTING THOSE PARTIES.

TREE TABLE				
POINT #	DIA	DESC	NOTE	
40039	10"	UNDERSTORY	CREPE MYRTLE (3TRUNK)	
40040	10"	UNDERSTORY	CREPE MYRTLE (3TRUNK)	
40042	10"	UNDERSTORY	CREPE MYRTLE (2TRUNK)	
40054	22"	UNDERSTORY	CHERRY	

HATCH LEGEND

	BUILDING LINE
	BRICK PAVERS
	GRAVEL



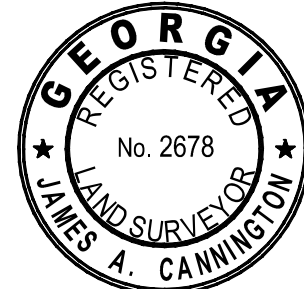
SURVEYOR'S CERTIFICATION

THIS DRAWING WAS PREPARED UNDER DIRECT SUPERVISORY CONTROL OF THE UNDERSIGNED AND COMPLIES WITH THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR TOPOGRAPHY AND VERTICAL MEASUREMENTS; RULE 180-7-.04. HOWEVER, NO BOUNDARY SURVEY WAS PERFORMED BY THE UNDERSIGNED FOR THE PREPARATION OF THIS DRAWING AND ANY PROPERTY BOUNDARY LINES DEPICTED HEREON ARE APPROXIMATE ONLY. THIS SURVEYOR'S CERTIFICATION EXTENDS ONLY TO THE TOPOGRAPHIC AND/OR GEOSPATIAL ASPECTS SHOWN HEREON. THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS NOT TO BE RECORDED OR USED TO CONVEY TITLE OR INTEREST TO THE PROPERTY.

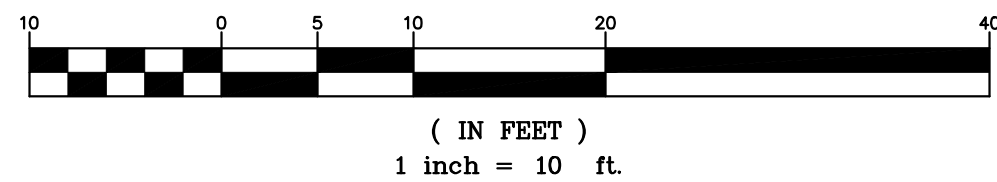
James A. Cannington
JAMES A. CANNINGTON
GEORGIA REGISTERED LAND SURVEYOR NO. 2678
AS SURVEYOR FOR HUSSEY, GAY, BELL & DEYOUNG, INC.
CERTIFICATE OF AUTHORIZATION # LSF000300

DIGITALLY SIGNED
2024.12.13 15:50:05-05'00'

DATE:



GRAPHIC SCALE



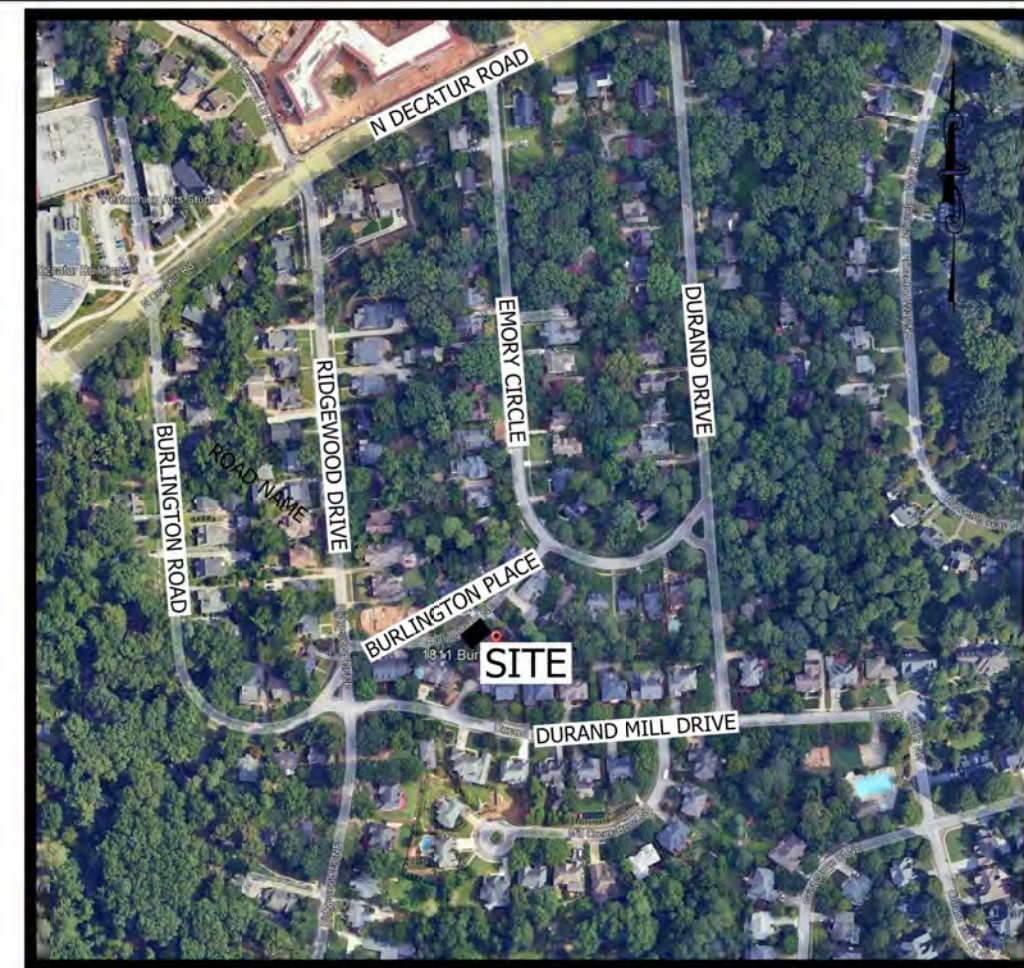
SYMBOL LEGEND

● CORNER MONUMENT SET	✱ TRAFFIC CONTROL BOX
○ IRON PIN FOUND (TYPE NOTED)	■ MAILBOX
▣ RWMF - CONCRETE R/W MONUMENT FOUND	⊙ MONITORING WELL
△ INTERSECTION POINT	⊙ STREET SIGN
P.O.B. POINT OF BEGINNING	⊙ BOLLARD
P.O.C. POINT OF COMMENCEMENT	⊙ LANDSCAPE LIGHT
R/W RIGHT-OF-WAY	⊙ AIR CONDITIONING UNIT
RBF REBAR FOUND	⊙ PARKING COUNT
OTPF OPEN TOP PIPE FOUND	⊙ PAINTED TRAFFIC ARROW
CTPF CRIMP TOP PIPE FOUND	⊙ HANDICAPPED SPACE
⊙ SINGLE WING CATCH BASIN	EV EVERGREEN TREE
⊙ DOUBLE WING CATCH BASIN	US UNDERSTORY TREE
⊙ FLARED END SECTION	HW DECIDUOUS TREE (HARDWOOD)
⊙ DROP INLET	⊙ BENCHMARK
⊙ HEADWALL	⊙ TEST HOLE
⊙ CURB INLET	⊙ ACCESS EASEMENT
⊙ STORM MANHOLE	SSE SANITARY SEWER EASEMENT
⊙ STORM JUNCTION BOX	DE DRAINAGE EASEMENT
⊙ PEDESTAL INLET	CMP CORRUGATED METAL PIPE
⊙ FIRE HYDRANT	DIP DUCTILE IRON PIPE
⊙ WATER VALVE	HDPE HIGH DENSITY POLYETHYLENE PIPE
⊙ WATER METER	PVC POLYVINYL CHLORIDE PIPE
⊙ IRRIGATION CONTROL VALVE	RCP REINFORCED CONCRETE PIPE
⊙ FIRE DEPARTMENT CONNECTION	VCP VITRIFIED CLAY PIPE
⊙ WATER SPIGOT	CPP CORRUGATED PLASTIC PIPE
⊙ GAS VALVE	--- BROKEN LINE (NOT TO SCALE)
⊙ GAS METER	⊙ END NOT LOCATED
⊙ TELEPHONE BOX	CI CURB INLET
⊙ TELEPHONE MANHOLE	DI DROP INLET
⊙ CABLE PEDESTAL	IE INVERT ELEVATION
⊙ GUY WIRE	× 925.34 EXISTING SPOT ELEVATION
⊙ LIGHT POLE	BW BOTTOM OF WALL
⊙ POWER POLE	TW TOP OF WALL
⊙ POWER MANHOLE	FFE FINISHED FLOOR ELEVATION
⊙ ELECTRIC METER	(M) MEASURED DISTANCE
⊙ TRANSFORMER	(R) RECORD DISTANCE
⊙ SANITARY SEWER MANHOLE	(MA) MEASURED ANGLE
⊙ SANITARY SEWER GREASE TRAP	(RA) RECORD ANGLE
⊙ CLEANOUT	N/F NOW OR FORMERLY
⊙ CROSS WALK SIGNAL POLE	BSL BUILDING SETBACK LINE
⊙ TRAFFIC SIGNAL HAND HOLE	TE# TITLE EXCEPTION NUMBER
⊙ TRAFFIC SIGNAL POLE	C&G CURB AND GUTTER
⊙ SIDEWALK	CLF CHAIN LINK FENCE
⊙ SATELLITE DISH	LS LANDSCAPE

LINE LEGEND

---	APPROX. BOUNDARY LINE
---	ADJACENT BOUNDARY LINE
---	INTERIOR BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	DITCH/CREEK LINE
---	APPROX. FLOOD LIMITS
---	ROAD CENTERLINE
---	CURB & GUTTER
---	FENCE
---	STORM SEWER
---	CONTOURS
---	WATER LINE
---	SANITARY SEWER
---	FORCEMAIN
---	GAS LINE
---	TELEVISION CABLE
---	UNKNOWN UTILITY LINE
---	TELEPHONE LINE
---	OVERHEAD UTILITY
---	UNDERGROUND POWER
---	GUARDRAIL
---	PAINT STRIPING
---	TREE LINE
---	CREEK BUFFER
---	CREEK BANK

VICINITY MAP - N.T.S.



HUSSEY GAY BELL
Established 1958

3100 BRECKINRIDGE BLVD.
BLDG. 300
DULUTH, GEORGIA 30096-4986
TEL: (770) 923-1600
FAX: (770) 923-4202

CLIENT:

G & M ENGINEERING, INC.
PO BOX 464607
LAWRENCEVILLE, GA 30042

This document is prepared for the exclusive use of the parties listed hereon and no certification extends to any unnamed parties.

No.	By	Date	REVISION	Description
0	KBW	12-11-2024	INITIAL ISSUE	
1	KBW	12-13-2024	ADDITIONAL TOPOGRAPHY	
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				

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TOPOGRAPHIC SURVEY

1811 BURLINGTON PLACE, DECATUR, GEORGIA
LOT 155, EMORY ESTATES
PB 10 PG 143

LOCATED IN LAND LOT 52 OF THE 18TH DISTRICT,
DEKALB COUNTY, GEORGIA

Project No. 24-0074
Drawn By: KBW
Checked By: JAC

Sheet Number

From: [Felicia Johnson](#)
To: [Paige V. Jennings](#)
Subject: Re: Questions Regarding Application - 1811 Burlington Place
Date: Friday, October 17, 2025 9:17:54 AM
Attachments: [image001.png](#)
[JOHNSTON PROJECT-1811 BURLINGTON PL TOPO-SURVEY.pdf](#)

See below your answers. I hope this is all. There won't be anyone available to provide additional information before Monday's meeting. Also note that attached is the updated survey that shows the project area exactly. Please include it with the other documentation and plan for the case.

●

What is the maximum height of the proposed retaining walls? **The maximum exposed height of the wall is 5.97' (just under 6')** Can you confirm that the retaining walls will be brick, or will they be another material? **The retaining walls will be segmental concrete block walls, Anchor Diamond Pro or approved equal.**

● What is the proposed height and material for the fence or guiderail on either side of the proposed retaining walls? **Per code, the guardrail/fence has to be a minimum of 42" high. The fence is existing. a few of the planks will be removed and reinstalled after the construction is complete.**

● Will there be any plantings installed for the landscaping? If so, can you provide a planting list? **The disturbed area is very limited. The permanent vegetations shown on the plan is D4 – sod. No other landscaping is provided on the plans. The owner may choose to plant some small bushes, but not immediately behind the wall. Also, no tall trees should be within 10' of the new wall, because the tree roots may impact the wall in the future.**

● What is the area that the gravel will cover? **The gravel is existing, no additional gravel proposed.** The area the brick pavers will cover? **No new brick pavers proposed per my plans. PLEASE REFER TO ATTACHED EXISTING CONDITIONS SURVEY.**

● What material are the proposed steps? **They will be concrete steps and they are replacing existing wooden steps.**

On Thu, Oct 16, 2025 at 6:39 PM Paige V. Jennings <pvjennings@dekalbcountyga.gov> wrote:

Good Afternoon,

Hope that this email finds you well!

We are finalizing our staff reviews for the upcoming HPC meeting scheduled for Monday, October 20th. Before finalizing our report on the application for 1811 Burlington Place, could you please provide information for the following questions?

1. What is the maximum height of the proposed retaining walls? Can you confirm that

- the retaining walls will be brick, or will they be another material?
2. What is the proposed height and material for the fence or guiderail on either side of the proposed retaining walls?
 3. Will there be any plantings installed for the landscaping? If so, can you provide a planting list?
 4. What is the area that the gravel will cover? The area the brick pavers will cover?
 5. What material are the proposed steps?

Please provide all information that you can as soon as possible. Our reports will be completed and sent out along with the agenda for the meeting to applicants before the end of the day on Friday. If we receive a response after our reports have been completed, your response will be saved to the record for the Commission to review prior to the meeting along with your application.

Thank You,

Paige

Paige V. Jennings (they/them)

Senior Planner, Historic Preservation

DeKalb County Government | Department of Planning & Sustainability

Current Planning | Zoning Division

Government Services Center | 178 Sams Street | Decatur, GA 30030

Email: pvjennings@dekalbcountyga.gov

County Cell: 470-829-7341



Click here for **Permit Status** [DeKalb County Permit Tracker](#)

Click here for **Permit Guide** https://app.ancamino.com/dekalb_county/

Click here for **Zoning Map** [DeKalb County Parcel Viewer](#)

DeKalb County does not require payment by wire transfer.

Be aware of scammers and fraudulent emails.

|

--

Felicia Johnson, Manager
Permitting Solutions Unlimited, LLC
678-539-0443 (office)
216-513-0443 (cell)