

DeKalb County Historic Preservation Commission

Monday, October 20, 2025- 6:00 P.M.

Staff Report

Consent Agenda

- A. 307 Vickers Drive, Juan Ramirez. Construct an addition and deck on the rear of a nonhistoric house. **1247797.**

Built in 1950 – Nonhistoric (18 004 15 012)

This property is in the Chelsea Height Character Area but is not in a National Register Historic District.

- 04-03 307 Vickers Drive (DH), Natalie DiSantis. Expand rear enclosed porch and re-side it with Hardi-plank. **Approved.**
09-16 307 Vickers Drive (DH), Katherine & Adam Dickey. Replace ten windows. 21013. **Approved with modification.**

Summary

The applicant proposes constructing a rear addition, consisting of a storage room with a sunporch above, and a deck on the rear of a nonhistoric house. To construct the rear addition and deck, the existing rear concrete steps and wood landing and porch will be removed. The rear addition will be constructed with cementitious siding boards, painted trim, a metal or fiberglass entrance door, and metal planers on the lower level around the proposed storage room; the upper sunporch will be constructed with painted PVC columns, rails and pickets, and wood decking which will be enclosed by an asphalt shingle gable roof above and insect screen panels around the sides of the porch. The roof of the enclosed sunporch will measure 21' 2" in height to match the roof ridge of the existing structure. A chimney flue with a rain cap will be installed through the new roof of the sunporch to ventilate the enclosed fireplace. The deck will be constructed in continuation of the screen porch, connected via a screen door on the side of the sunporch, and will be constructed with wood decking, steps, and handrails, leading out onto the back yard. The entirety of the proposed rear addition and deck will measure approximately 500 square feet in size.

Recommendation

Approve. The proposed changes do not appear to have a substantial adverse effect on the property or the district. This application appears to meet the guidelines and the staff recommends approval.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 11.0 *Nonhistoric Properties* (p93) Guideline - In reviewing an application for a Certificate of Appropriateness for a material change to a nonhistoric building, the Preservation Commission should evaluate the change for its potential impacts to any historic development (architecture and natural and cultural landscapes) in the area of influence of the nonhistoric property. Guidelines presented in *Section 7.0: Additions and new Construction* are relevant to such evaluations.
- 17.2 *Horizontal emphasis – Guideline* – New construction and additions should preserve and reinforce the streetscape character of Chelsea Heights by maintaining the predominant horizontal building emphasis of the neighborhood. Primary building facades should create a horizontal emphasis versus a vertical emphasis.

- 17.4 *Scale – Recommendation* – In keeping with the guidelines of scale, the perceived scale of new infill residences and additions should be minimized. New construction or additions generally should be consistent with the height of nearby structures. Typically, there should be no more than two floors as viewed from primary street frontage to ensure compatibility with the predominant housing character of Chelsea Heights. This means that those lots that slope down and away from the fronting street can accommodate taller structures and still maintain the general character of the street. Lots that slope upward from the street will need special attention given to building height and rooflines to avoid a building that towers over the street and neighboring homes. Special attention will need to be paid to foundation heights and topography represented on drawings to ensure that foundation do not add to the visual perception of height.
- 17.5 *Roofs – Guideline* – Primary roof forms on new and renovated buildings should be side gable, flat or hip roofs. Front gable roofs are appropriate when they are greatly subordinate to the primary.
- 17.6 *Roof pitch – Guideline* – Roofs typically should feature a low (4/12) to moderate (12/12) pitch.
- 17.9 *Additions – Recommendation* – Place an addition at the rear of a building or set back from the front to minimize the visual impact on the original structure to allow the original proportions and character to remain prominent and to differentiate the old from the new.
- Special note regarding materials* – In general, materials should be in keeping with those that are endemic to the neighborhood, namely, wood, granite, brick and asphalt. However, newer material may be introduced into the neighborhood if in keeping with the historical context of these older materials. For example, the use of cementitious siding that mimics the profile and texture of wood (commonly referred to as Hardieplank) may be consistent with some exterior applications. The introduction of some “green” materials, for example, solar shingling and panels, may be appropriate and should be given special design consideration.

Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric W. Hudson, MCRP

Application for Certificate of Appropriateness

Date submitted: 09/17/25 Date Received: _____

Address of Subject Property: 307 Vickers Drive, Atlanta GA 30307

Applicant: Juan Ramirez, Studio d+c, Inc. E-Mail: jramirez@studiod-c.com

Applicant Mailing Address: 309 Woodview Drive, Decatur, GA 30030

Applicant Phone: 770 318 2782

Applicant's relationship to the owner: Owner ☐ Architect ☐ Contractor/Builder ☒ Other ☐

Owner(s): Melissa Arnau Email: melissaarnau@gmail.com

Owner(s): James Elliot Patton Email: _____

Owner(s) Mailing Address: 307 Vickers Drive, Atlanta, GA 30307

Owner(s) Telephone Number: 678 416 9636

Approximate date of construction of the primary structure on the property and any other structures affected by this project: 1950

Nature of work (check all that apply):

New construction	☐	New Accessory Building	☐	Other Building Changes	☐
Demolition	☒	Landscaping	☐	Other Environmental Changes	☐
Addition	☒	Fence/Wall	☐	Other	☐
Moving a Building	☐	Sign Installation	☐		

Description of Work:

The project scope of work consists of the rear addition of a screened-in porch and deck, with a storage room below the screened-in porch.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pvjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: _____



DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: Melissa Arnau & James Elliot Patton

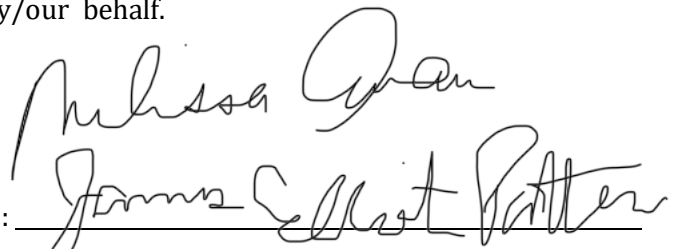
being owner(s) of the property at: 307 Vickers Drive, Atlanta, GA 30307

hereby delegate authority to: Juan Ramirez, Studio d+c, Inc.

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s):

Date:


09/04/2025

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.**

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945 or via e-mail at pvjennings@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

Yes

I have reviewed the DeKalb County Tree Ordinance.

Yes

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

Yes

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

DEPARTMENT OF PLANNING & SUSTAINABILITY

4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, ¼"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

DEPARTMENT OF PLANNING & SUSTAINABILITY

14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

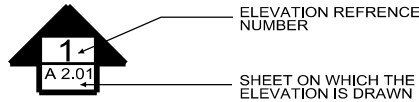
Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

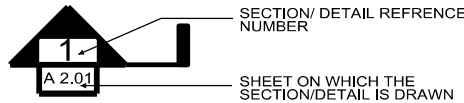
I have reviewed the HPC calendar.

ARCHITECTURAL SYMBOLS

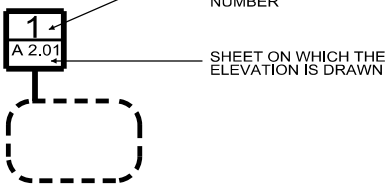
ELEVATION SYMBOL



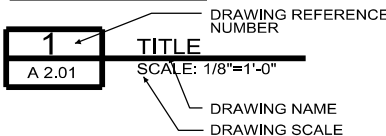
SECTIONS SYMBOL



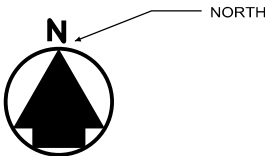
ELEVATION SYMBOL



DRWAING NAME SYMBOL



DRWAING NAME SYMBOL



ZONING SUMMARY

PROJECT NAME : REAR ADDITION-
SCREENED PORCH & DECK
ARNAU RESIDENCE

ADDRESS : 307 VICKERS DRIVE, ATLANTA, GA 30307

STRUCTURE DESCRIPTION: THREE BEDROOM, THREE BATH,
ONE STORY,WOOD FRAMED SINGLE FAMILY RESIDENCE WITH PARTIAL FINISHED BASEMENT.
THE MAIN EXTERIOR MATERIALS ARE BRICK VENEER AND WOOD SIDING.
ASPHALT SHINGLES ARE USED AS THE MAIN ROOFING MATERIAL.

ZONING: R-75 (SINGLE-FAMILY RESIDENTIAL)
USE: DETACHED SINGLE-FAMILY DWELLING

TOTAL LOT AREA: 11,444 SF

TOTAL LOT COVERAGE SUMMARY- IMPERVIOUS SURFACES:

SEE A1.00 SURVEY &
A1.01 PROPOSED SITE PLAN

TOTAL FLOOR AREA SUMMARY:

EXISTING PRIMARY STRUCTURE TO REMAIN

NEW SCREENED PORCH: 253 SF
NEW DECK & STAIRS: 212 SF
NEW STORAGE ROOM BELOW SCREENED PORCH: 154SF

APPLICABLE CODES

INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION WITH GEORGIA
STATE AMENDMENTS (2020), (2022),(2024)

INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 EDITION WITH GEORGIA
STATE AMENDMENTS (2020), (2024)

INTERNATIONAL FIRE CODE (IFC), 2018 EDITION (NO GEORGIA
AMENDMENTS)

INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION WITH GEORGIA STATE
AMENDMENTS (2020), (2022), (2023),(2024)

INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION WITH GEORGIA STATE
AMENDMENTS (2020),(2024)

INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION WITH GEORGIA STATE
AMENDMENTS (2020), (2022)

NFPA NATIONAL ELECTRICAL CODE (NEC), 2020 EDITION
WITH GEORGIA STATE AMENDMENTS (2021)

INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS), 2018 EDITION
WITH GEORGIA AMENDMENTS (2020)

INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2015 EDITION WITH
GEORGIA STATE SUPPLEMENTS AND AMENDMENTS (2020),(2022),(2023)

2024 NFPA 101 LIFE SAFETY CODE WITH ALL GEORGIA STATE AMENDMENTS

GEORGIA ACCESSIBILITY CODE- GAC 120-3-20

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

PROJECT DESCRIPTION

THE EXISTING STRUCTURE LOCATED AT 307 VICKERS DRIVE, ATLANTA,
GEORGIA WAS ORIGINALLY CONSTRUCTED IN 1950 AS A WOOD FRAMED,
SINGLE FAMILY RESIDENCE.

THE PROJECT SCOPE OF WORK CONSISTS OF THE REAR ADDITION OF A
SCREENED-IN PORCH AND DECK WITH A STORAGE ROOM BELOW
THE SCREENED-IN PORCH.

PROJECT TEAM

OWNER:

MELISSA ARNAU & JAMES ELLIOTT PATTON
307 VICKERS DRIVE
ATLANTA, GA 30307
CONTACT: 678 416 9636

CONTRACTOR AND PROJECT DESIGNERS:

STUDIO d+c, INC.
309 WOODVIEW DRIVE
DECATUR, GA 30030
CONTACT: JUAN RAMIREZ
OFFICE:403 377 7346
CELL: 770 318 2782
EMAIL: jramirez@studiod-c.com
WEB: www.studiod-c.com

FRONT SETBACK:

EXISTING TO REMAIN, WILL NOT CHANGE. 30'-0"

SIDE (NORTH) SETBACK:

EXISTING TO REMAIN, WILL NOT CHANGE. 7'-6"

REAR SETBACK:

EXIST. TO REMAIN, WILL NOT CHANGE. 40'-0"

SIDE (SOUTH) SETBACK:

EXISTING SETBACK REDUCED TO 5'-0". VARIANCE APPLIED FOR

BUILDING HEIGHT :

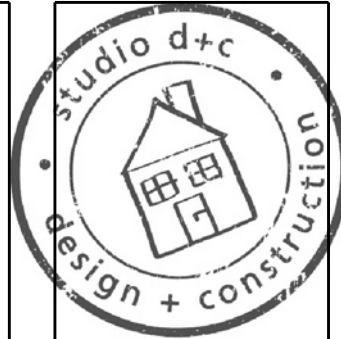
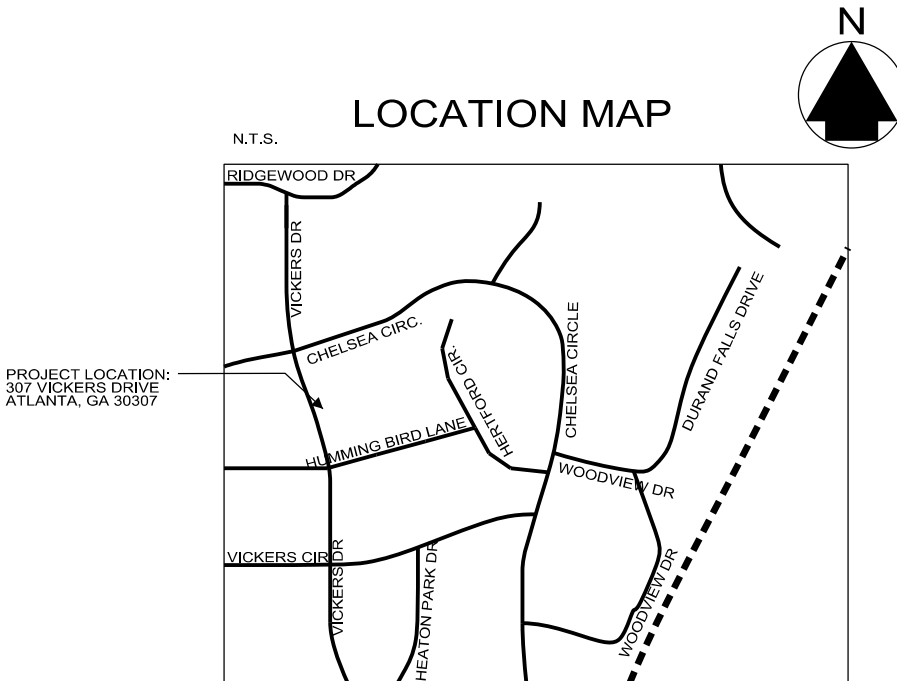
EXISTING STRUCTURE TO REMAIN, WILL NOT CHANGE.
ROOF HEIGHT OF SCREENED PORCH TO MATCH ROOF HEIGHT OF EXISTING
STRUCTURE : 21'-2"

DRAWING INDEX

G0.01	COVER SHEET
A1.00	PROPERTY SURVEY
A1.01	NEW SITE PLAN & LOT COVERAGE
A2.01	EXISTING/ DEMOLITION PLAN- LEVEL 1
A2.02	EXISTING/ DEMOLITION PLAN- ROOF
A3.01	NEW FLOOR PLAN - LEVEL 1
A3.02	NEW ROOF PLAN
A4.01	EXISTING/ DEMOLITION ELEVATIONS
A4.02	EXISTING/ DEMOLITION ELEVATIONS
A4.03	NEW ELEVATIONS
A4.04	NEW ELEVATIONS
A9.01	PHOTOS OF EXISTING STRUCTURE
A9.02	PHOTOS OF EXISTING STRUCTURE

NOTE: THIS PROJECT WILL NOT DESTROY
OR DISTURB THE ADJACENT
SOIL, ROOT SYSTEMS OF EXISTING TREES
OR VEGETATION .
NO TREES WILL BE REMOVED.

LOCATION MAP



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title

COVER SHEET

Sheet Number

G0.01

RESERVED FOR THE SUPERIOR COURT CLERK

REFERENCE:
DEED BOOK 29825 PG 782
PLAT BOOK 4 PG 32

FLOOD HAZARD NOTE: THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB COUNTY, GEORGIA 13089C0062K EFFECTIVE DATE AUGUST 15, 2019

SURVEY DATA:
TYPE OF SURVEY: RETRACEMENT
SOURCE OF TITLE DESCRIPTION FOR SUBJECT PROPERTY: DB 29825 PG 782
PROPERTY OWNER AT TIME OF SURVEY: MELISSA ARNAU & JAMES ELLIOTT PATTON
PARCEL NUMBER: 18-004-15-012

THE HORIZONTAL DATUM IS THE NORTH AMERICAN DATUM OF 1983 READJUSTED IN 2011 (NAD83(2011)). THE VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)

THE SOURCE OF VERTICAL DATUM IS THE TRIMBLE CORS NETWORK

TOTAL AREA: 11,444 SQ FT, 0.263 AC
CALCULATED PLAT CLOSURE: 1:131,736

FIELD DATA:
DATE OF FIELD SURVEY 5-23-2025

EQUIPMENT USED:
TRIMBLE S5 ROBOTIC TOTAL STATION
TRIMBLE R2 GPS RECEIVER

307 VICKERS DRIVE
ZONING: R-75 (DEKALB COUNTY)
HOUSE = 1,510 S.F.
CONCRETE DRIVE = 1,602 S.F.
CONCRETE FLUME = 26 S.F.
FRONT WALK / STEPS = 142 S.F.
FRONT PORCH / STEPS = 67 S.F.
SIDE PAVER WALK = 28 S.F.
REAR PORCH = 20 S.F.
REAR STEPS = 17 S.F.
WOOD LANDING = 11 S.F.
BRICK PAD / GRAVEL STEPS = 31 S.F.
FIREPIT = 6 S.F.
WALL(S) = 99 S.F.
AC PAD(S) = 7 S.F.
IMPERVIOUS TOTAL = 3,566 S.F.
LOT AREA = 11,444 S.F.
LOT COVERAGE (%) = 31.2

BOUNDARY & TOPOGRAPHIC SURVEY FOR
MELISSA ARNAU
LOT 16 & P/O LOT 17, BLOCK 17, CHELSEA HEIGHTS SUBDIVISION

307 VICKERS DRIVE
DEKALB COUNTY, GEORGIA
LAND LOT 4, DIST 18
DATE: MAY 30, 2025

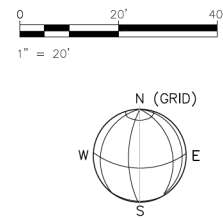
GENERAL NOTES:
1: This Plat has been prepared without the benefit of a current title report. Easements or encumbrances may exist that are not shown on this plat.
2: This plat is subject to any restrictions, easements, covenants or restrictions that may exist either written or unwritten.
3: Underground utilities not shown hereon may exist. The Surveyor does not take responsibility for absence or presence of any such utilities.
4: No Geodetic monuments were found within 500 feet of this site
5: This Plat has been prepared for the exclusive use of the person(s) or entities named hereon.

PLAT NOTES:
This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon.
RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXEMPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING, PER CITY OR COUNTY ZONING DEPARTMENT.

NOTE: BUILDING TIES SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION WITHOUT VERIFICATION



LEGEND

- POC POINT OF COMMENCEMENT
POB POINT OF BEGINNING
EOP EDGE OF PAVEMENT
CURB BACK OF CURB
BSL BUILDING SETBACK LINE (PRIMARY)
FFE FINISHED FLOOR ELEVATION
LLL LAND LOT LINE
PP POWER POLE
GW GUIDE WIRE
R/W RIGHT OF WAY
C.P. CALCULATED POINT
IPF IRON PIN FOUND
IPS 1/2" REBAR SET
SW SIDE WALK
BOLLARD
OHP OVERHEAD POWER
UP UNDERGROUND POWER
-GAS- GAS UNDERGROUND GAS
-W- UNDERGROUND WATER
-UT- UNDERGROUND TELEPHONE
UNDERGROUND SEWER
FH FIRE HYDRANT
FDC FIRE DEPT. CONNECTION
CB CATCH BASIN
DWCB DOUBLE WING CATCH BASIN
SWCB SINGLE WING CATCH BASIN
MH MANHOLE
JB JUNCTION BOX
WM WATER METER
WV WATER VALVE
GV GAS VALVE
GM GAS METER
CO CLEANOUT
EM ELECTRIC METER
AC AIR CONDITIONING UNIT
TELEPHONE BOX
ICB IRRIGATION CONTROL BOX
ICV IRRIGATION CONTROL VALVE
LP LIGHT POLE
CONCRETE PAD
ASPHALT
STONE
GRAVEL

- TREE SYMBOLS
X = DIAMETER IN INCHES
- (X) HARDWOOD
(X) PINE
(X) MAPLE
(X) HOLLY

- (M) MEASURED
(D) DEED
(P) PLAT



PREPARED BY:
DEKALB SURVEYS, INC.
407 WEST PONCE DE LEON AVENUE
SUITE B
DECATUR, GEORGIA 30030
404.373.9003

© 2025: THIS 18 X 24 DRAWING AND REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THIS SURVEYOR



BUILDING HEIGHT SHOWN IS MEASURED FROM THE MEAN FINISHED GROUND LEVEL AT THE FRONT OF THE BUILDING TO THE HIGHEST POINT OF THE ROOF



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK

ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title

PROPERTY
SURVEY

Sheet Number

A1.00



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

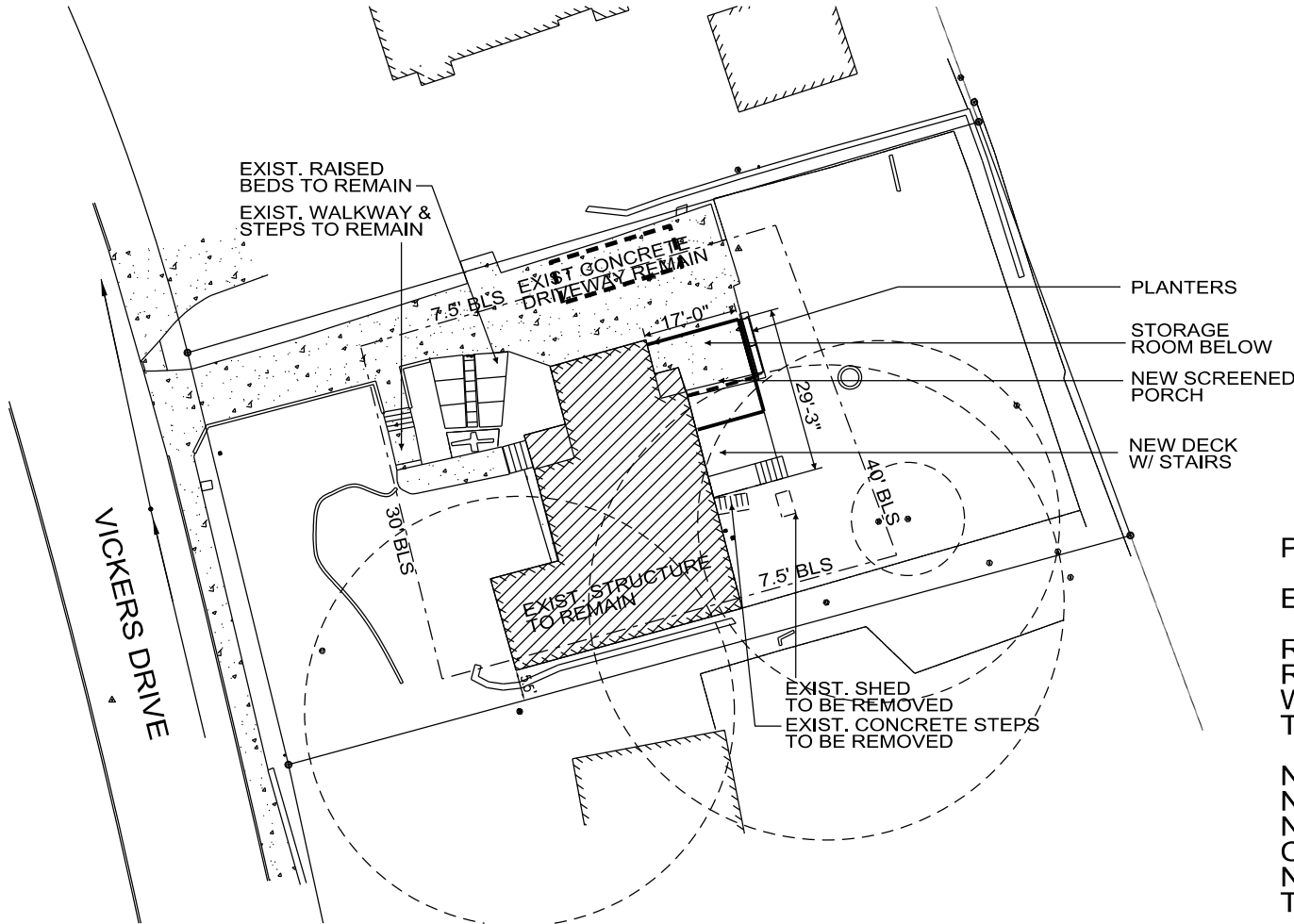
PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title
NEW SITE PLAN & LOT COVERAGE
Sheet Number
A1.01



PROJECT LOT COVERAGE SUMMARY:
EXISTING IMPERVIOUS SURFACES(PER SURVEY) : 3,566 SF
REMOVED IMPERVIOUS SURFACES:
REAR CONCRETE STEPS: 17 SF
WOOD LANDING/ SHED: 11 SF
TOTAL REMOVED: 28 SF
NEW IMPERVIOUS SURFACES:
NEW SCREENED PORCH/ STORAGE ROOM,
NEW DECK AND STAIRS (AREA ABOVE EXIST.
CONCRETE DRIVEWAY/ SLAB NOT CALCULATED): 222.8 SF
NEW PLANTERS AT NEW STORAGE ROOM: 17.9 SF
TOTAL NEW: 240.7 SF
NEW TOTAL PROPOSED LOT COVERAGE: 3778.7 SF
LOT SIZE: 11,444 SF
PROPOSED LOT COVERAGE: 33.02 %
MAXIMUM LOT COVERAGE ALLOWED: 35%

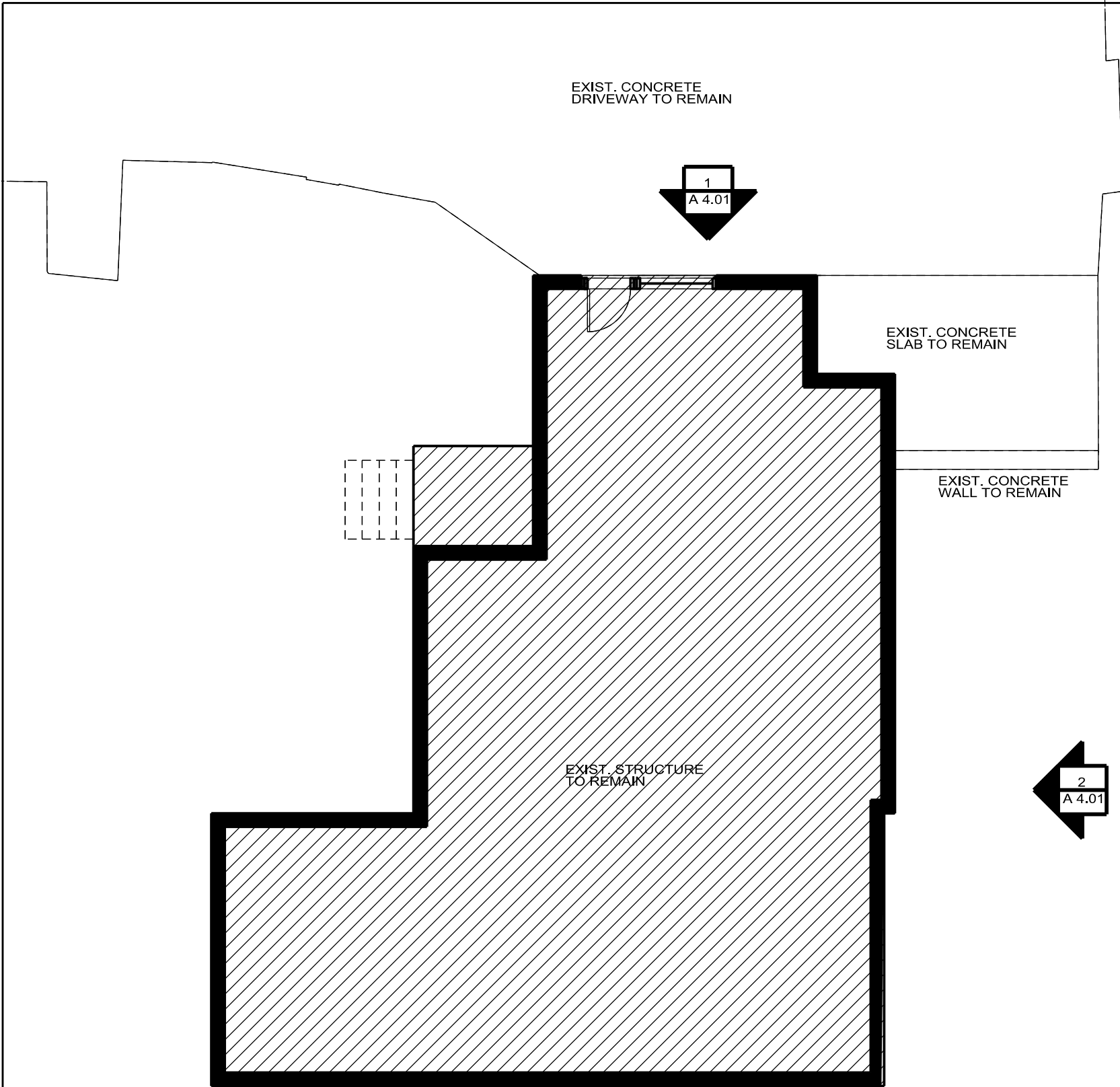
NOTE: THIS PROJECT WILL NOT DESTROY
OR DISTURB THE ADJACENT
SOIL, ROOT SYSTEMS OF EXISTING TREES
OR VEGETATION .
NO TREES WILL BE REMOVED.

24 HOURS CONTACT- EROSION & SEDIMENT CONTROL
JUAN RAMIREZ, STUDIO D+C,INC
770 318 2782



1 NEW SITE PLAN & LOT COVERAGE
A 1.01 SCALE: 1/16"=1'-0"

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE
ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE
RELATED TO THE EXISTING STRUCTURE.



LEGEND :

- EXISTING WALL TO REMAIN
- EXISTING WALL OR ITEM TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- EXISTING TO REMAIN
- REMOVE EXIST. CLG



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

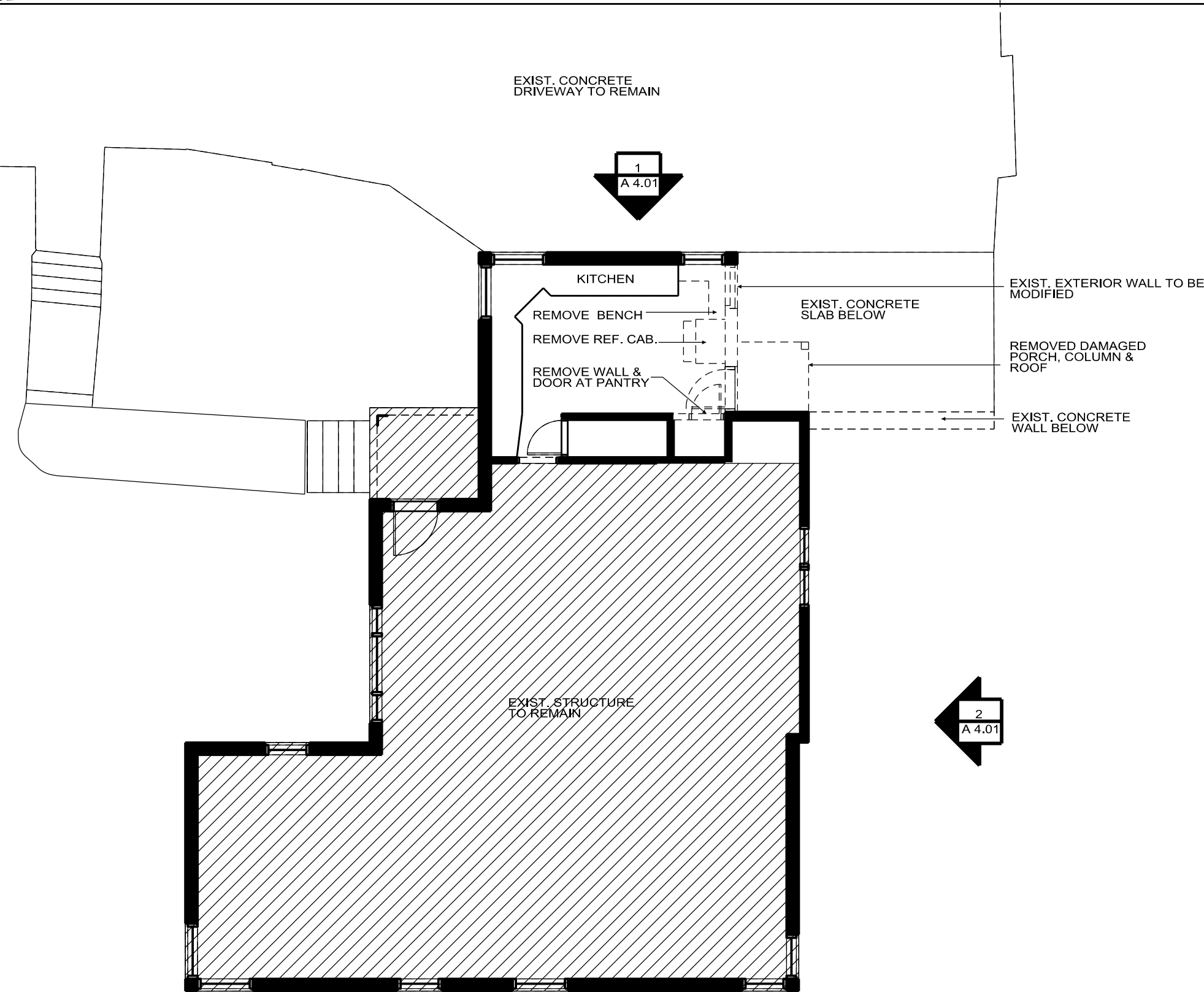
XX/XX/XX Released for
Construction

Sheet Title	EXISTING/ DEMO FLOOR PLAN BASEMENT
Sheet Number	A2.00

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.

1
A 2.00

EXISTING/ DEMO FLOOR PLAN - BASEMENT
SCALE: 1/8"=1'-0"



DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.

LEGEND :

- EXISTING WALL TO REMAIN
- EXISTING WALL OR ITEM TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- EXISTING TO REMAIN
- REMOVE EXIST. CLG



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title	EXISTING/ DEMO FLOOR PLAN LEVEL 1
Sheet Number	A2.01



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

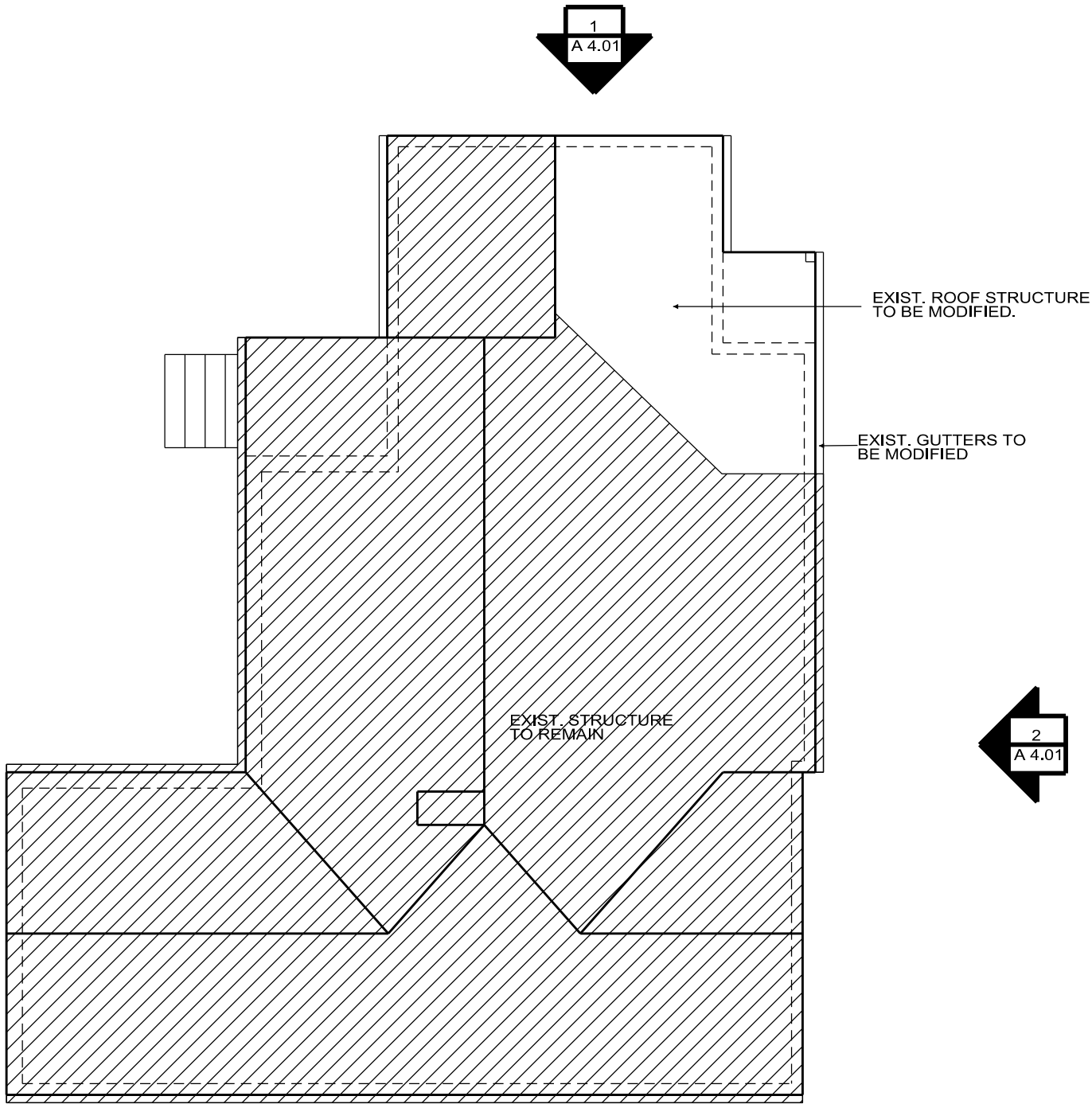
XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

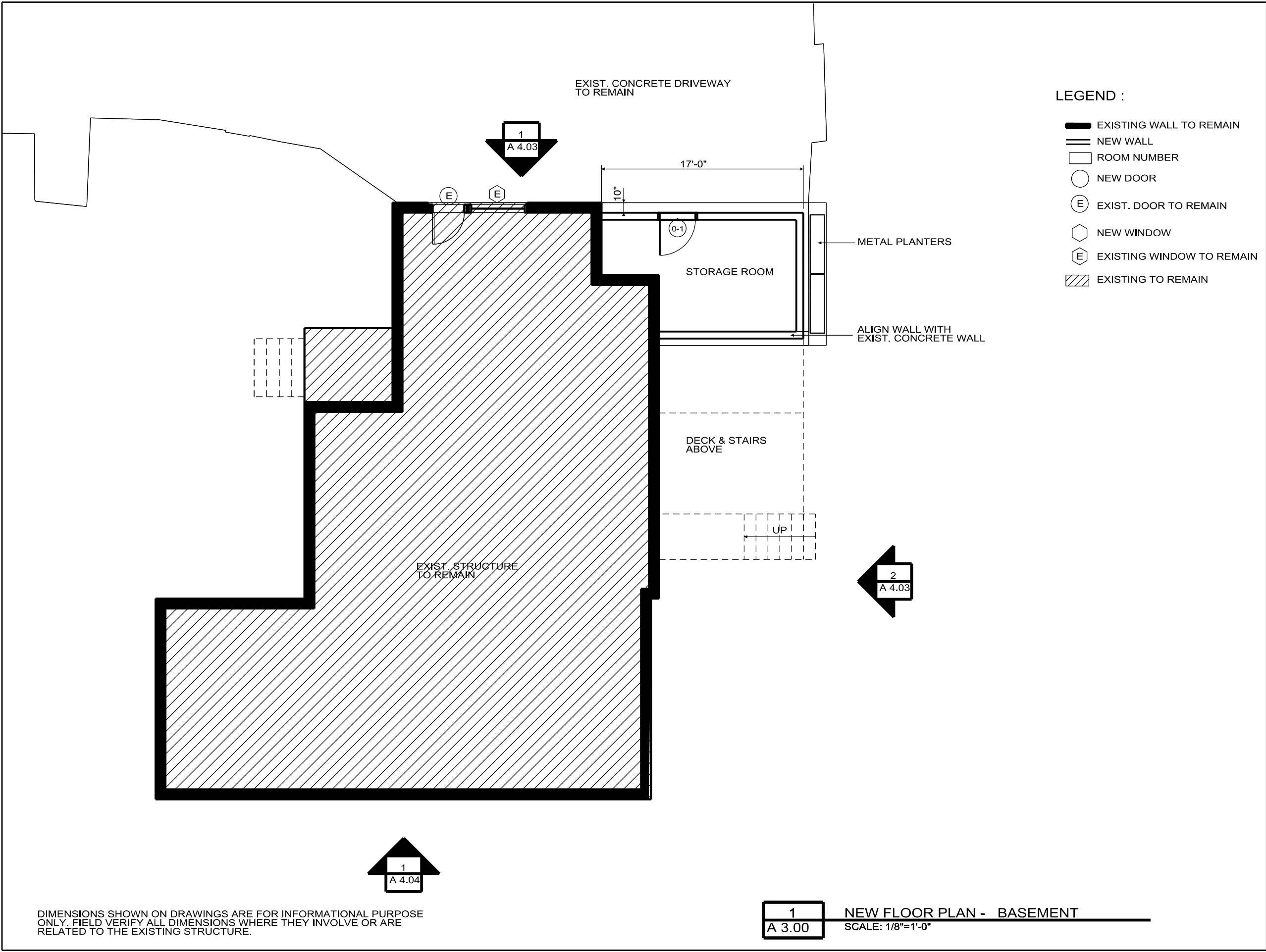
Sheet Title	EXISTING/ DEMO ROOF PLAN
Sheet Number	A2.02

LEGEND :

- EXISTING WALL TO REMAIN
- EXISTING WALL OR ITEM TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- EXISTING TO REMAIN
- REMOVE EXIST. CLG



DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK

ARNAU RESIDENCE

307 VICKERS DRIVE
ATLANTA, GA 30307

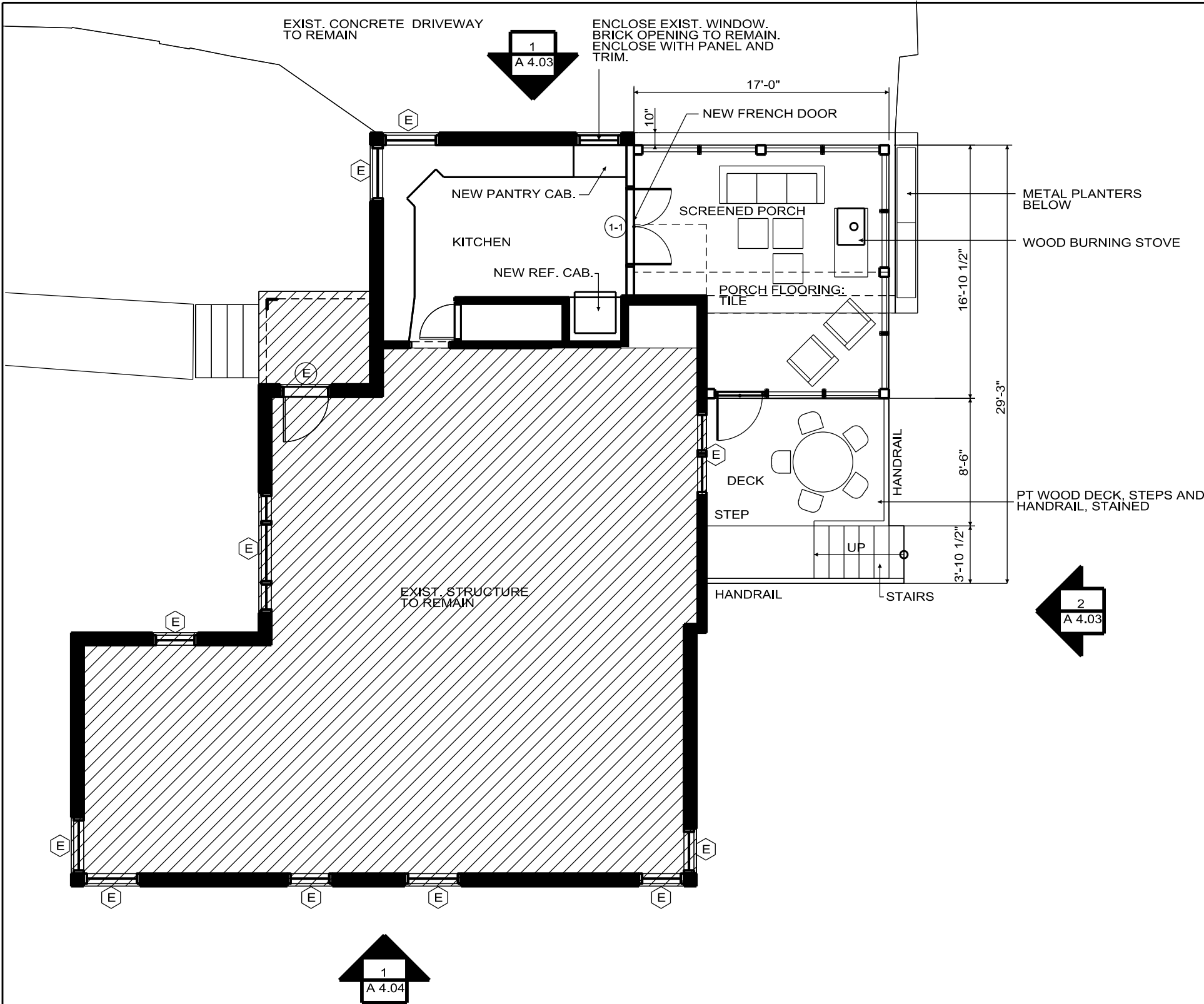
PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title	NEW FLOOR PLAN BASEMENT
Sheet Number	A3.00



LEGEND :

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- EXIST. DOOR TO REMAIN
- NEW WINDOW
- EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK

ARNAU RESIDENCE

307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

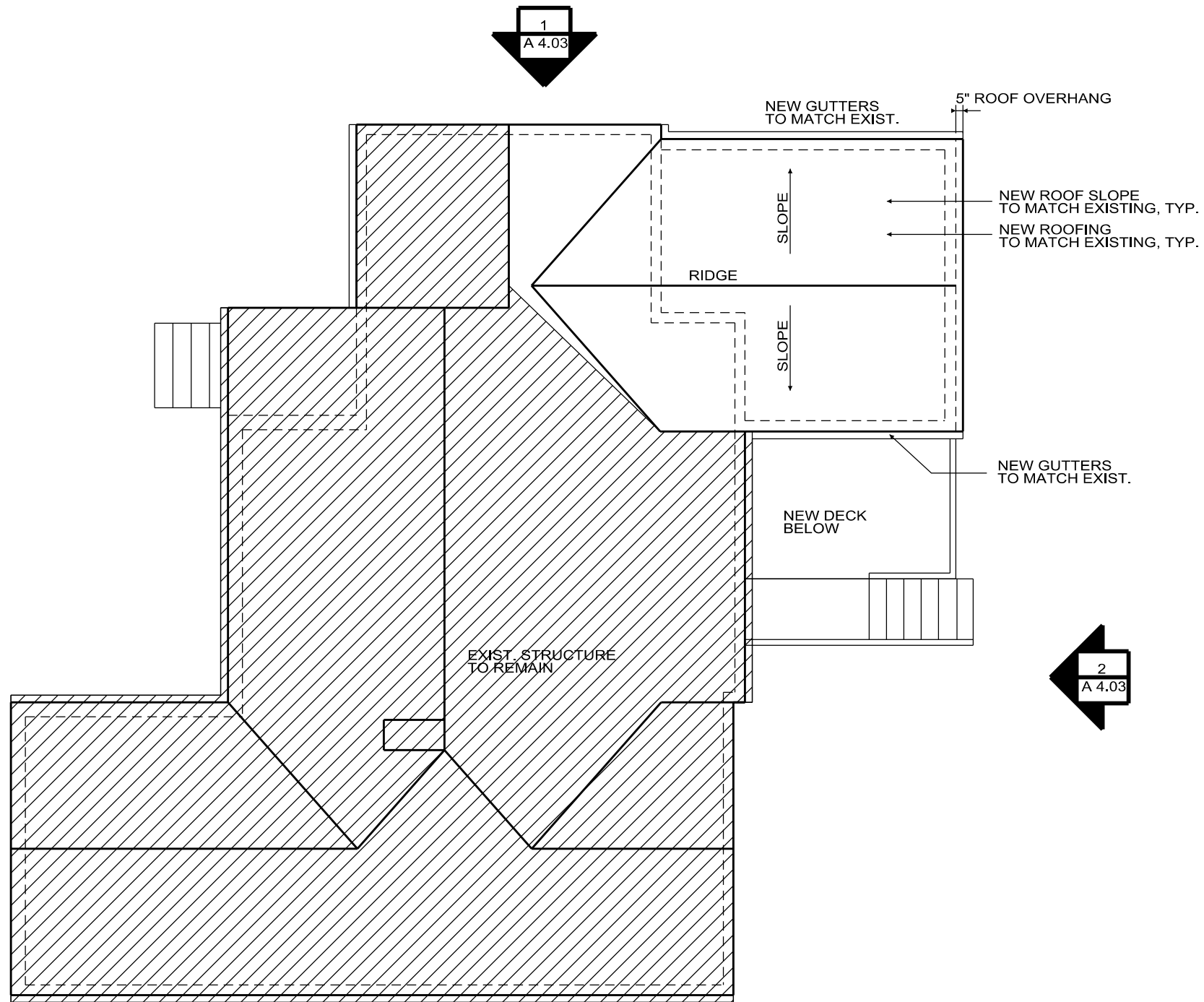
08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal
XX/XX/XX Construction
Documents
XX/XX/XX Released for
Construction

Sheet Title	
NEW FLOOR PLAN & ELEVATION	
Sheet Number	
A3.01	

1
A 3.01

NEW FLOOR PLAN - LEVEL 1
SCALE: 1/8"=1'-0"

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.



LEGEND :

- EXISTING WALL TO REMAIN
- NEW WALL
- ROOM NUMBER
- NEW DOOR
- (E) EXIST. DOOR TO REMAIN
- NEW WINDOW
- (E) EXISTING WINDOW TO REMAIN
- EXISTING TO REMAIN



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title	NEW ROOF PLAN
Sheet Number	A3.02

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.

1
A 3.02

NEW ROOF PLAN
SCALE: 1/8"=1'-0"



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

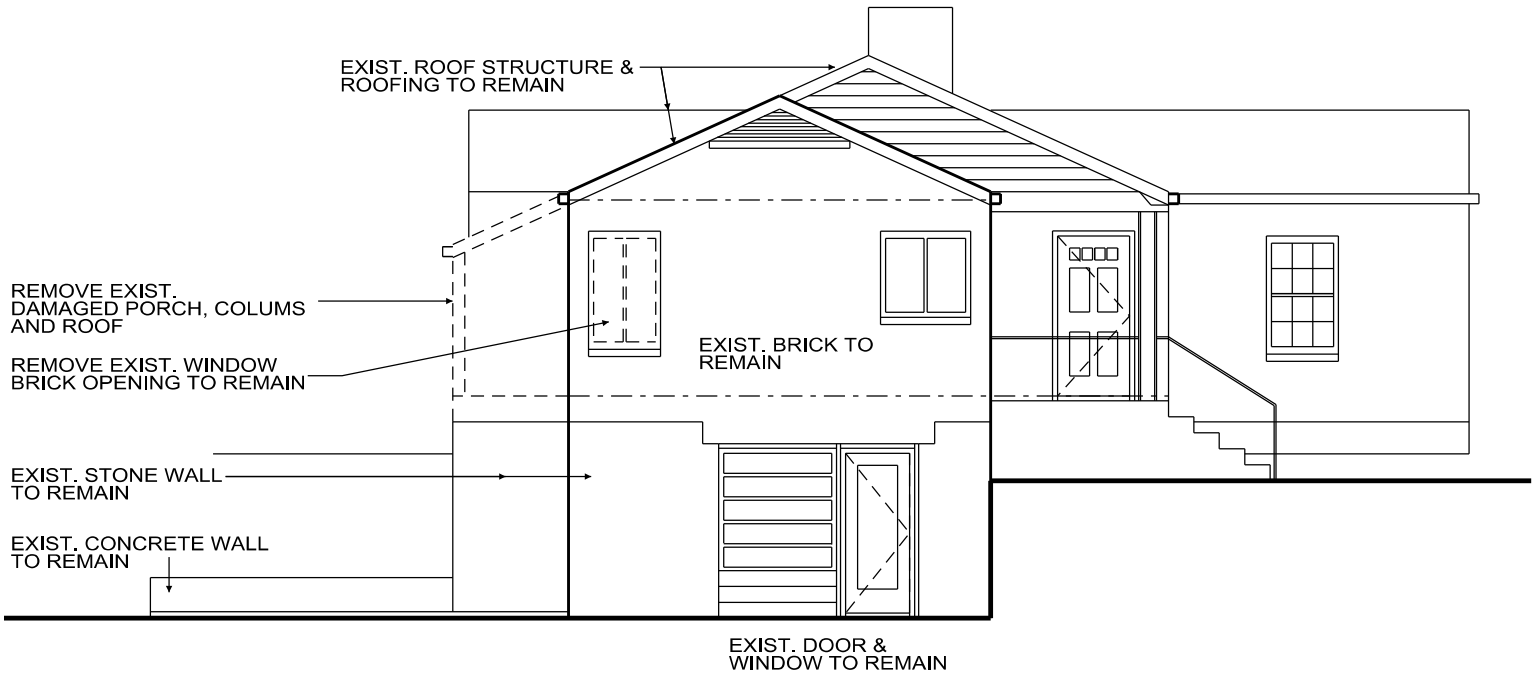
REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

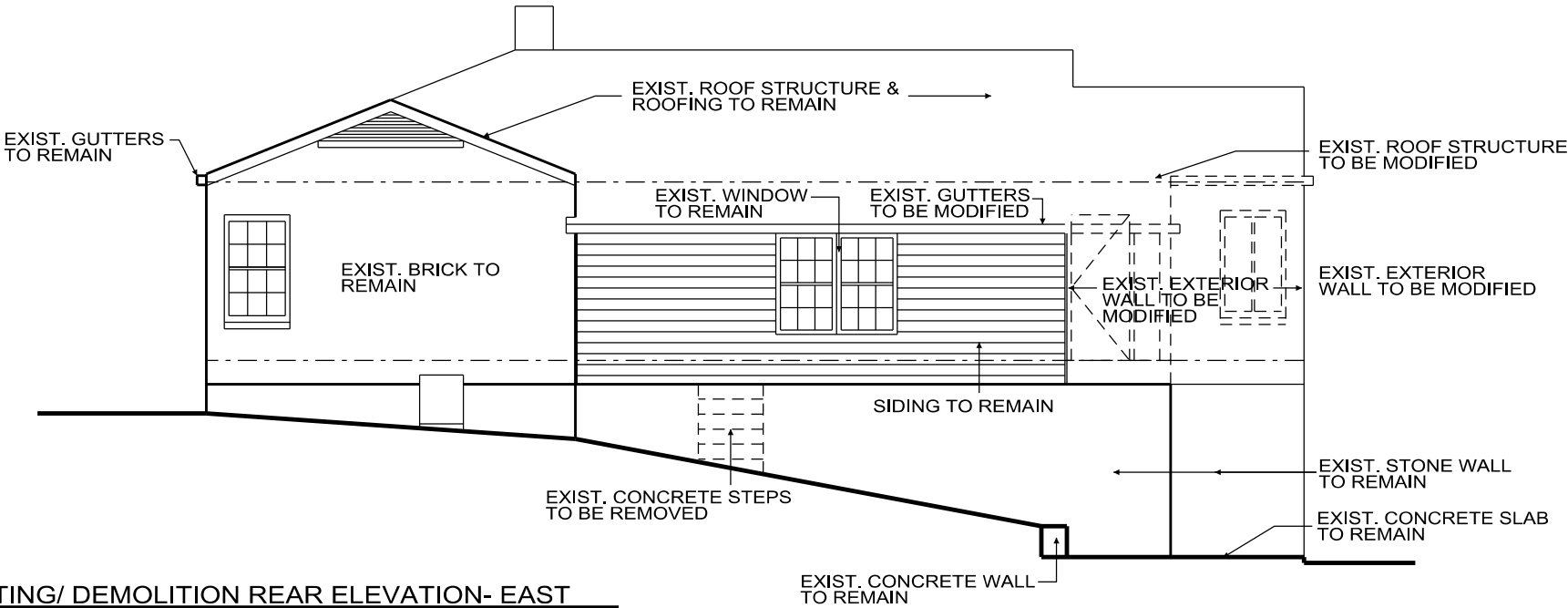
08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents
XX/XX/XX Released for
Construction

Sheet Title EXISTING ELEVATIONS
Sheet Number A4.01

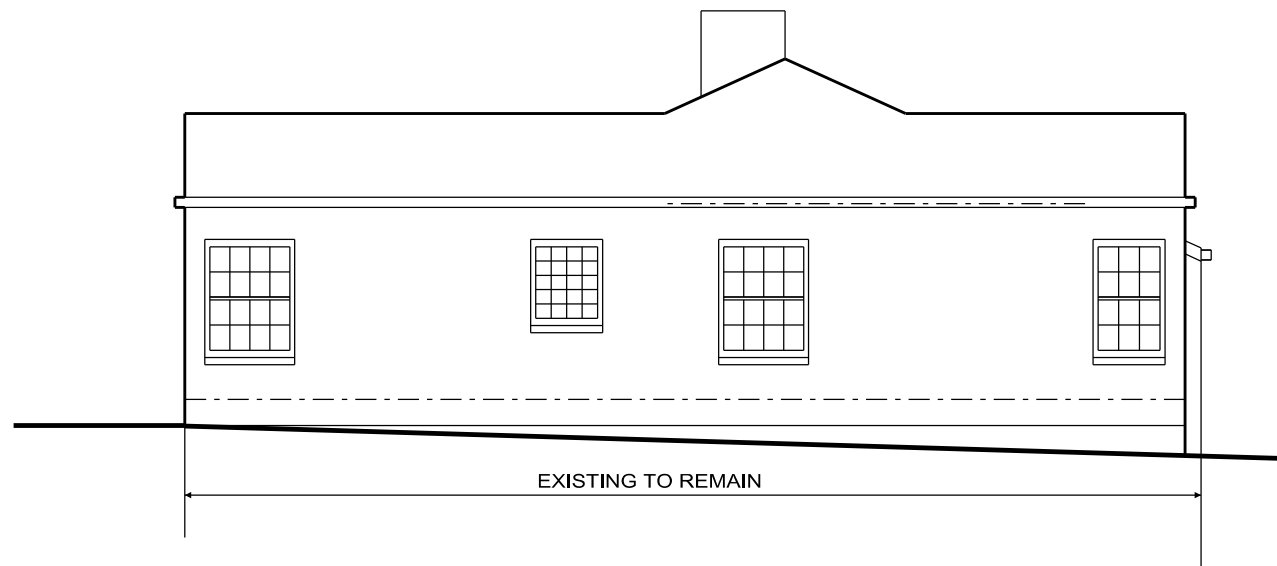


1
A 4.01 EXISTING/ DEMOLITION SIDE ELEVATION- NORTH
SCALE: 1/8"=1'-0"



2
A 4.01 EXISTING/ DEMOLITION REAR ELEVATION- EAST
SCALE: 1/8"=1'-0"

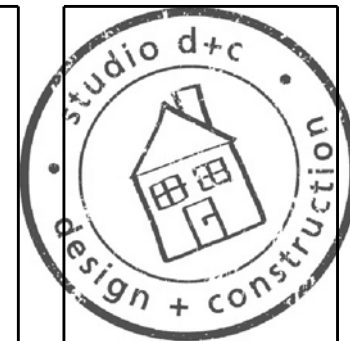
DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.



1	EXISTING/ DEMOLITION SIDE ELEVATION- SOUTH
A 4.02	SCALE: 1/8"=1'-0"

NOTE: EXISTING FRONT (WEST) ELEVATION WILL REMAIN AS IS

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title
EXISTING
ELEVATIONS

Sheet Number

A4.02



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

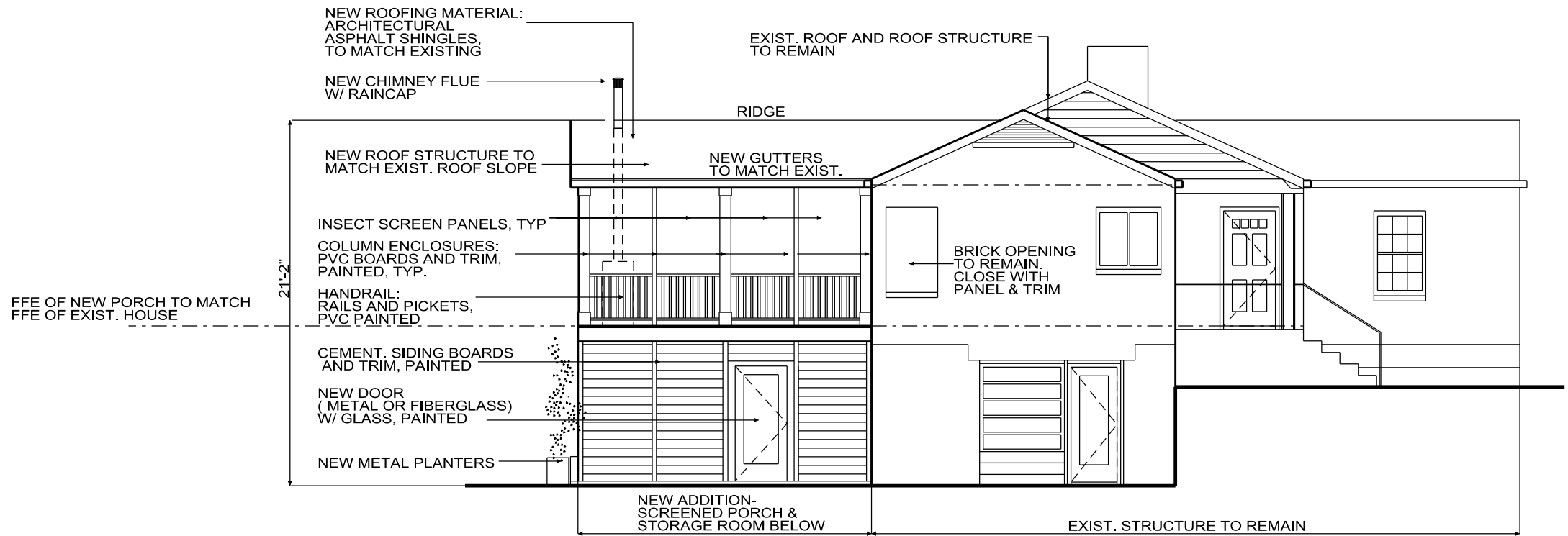
REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

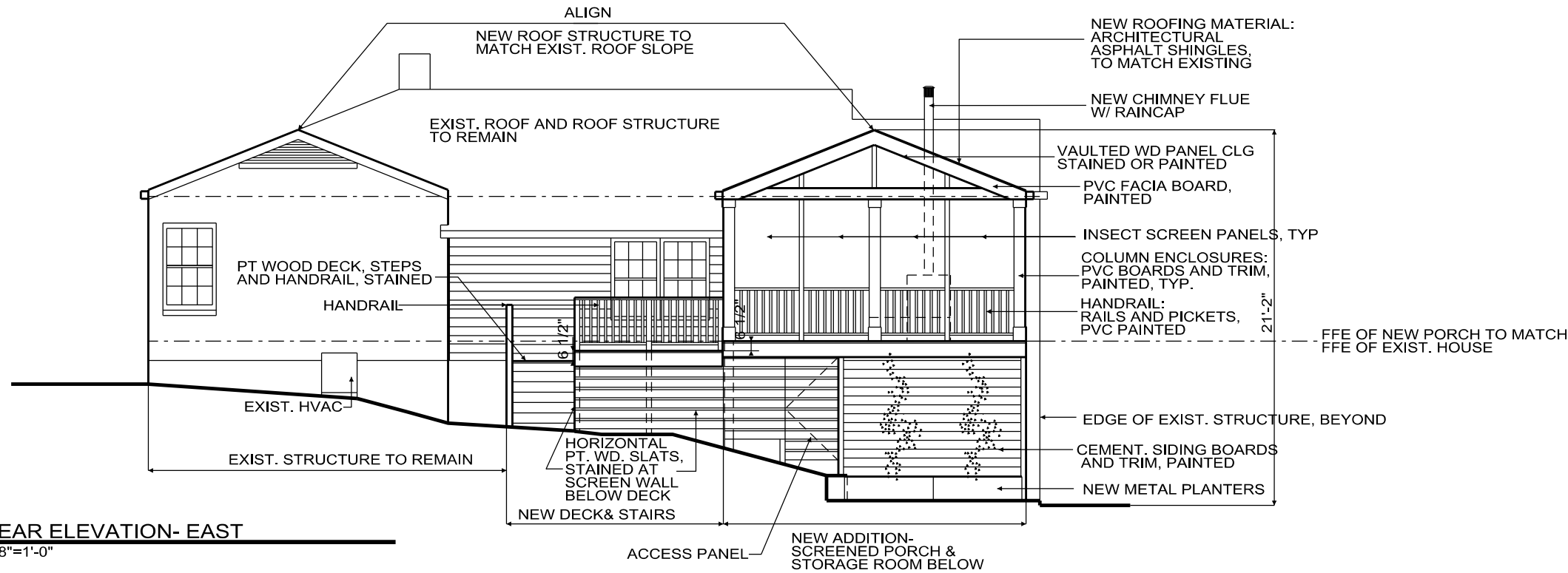
08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents
XX/XX/XX Released for
Construction

Sheet Title NEW ELEVATIONS
Sheet Number A4.03



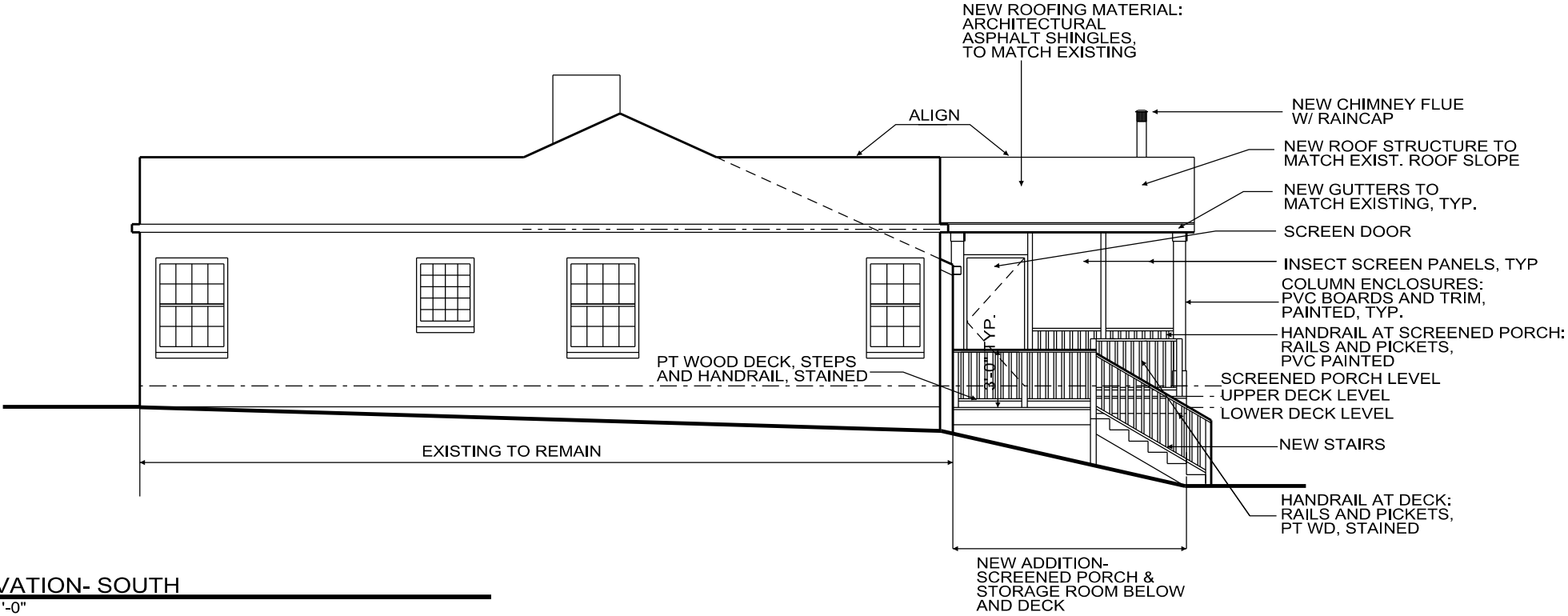
1
A 4.03
NEW SIDE ELEVATION- NORTH
SCALE: 1/8"=1'-0"



2
A 4.03
NEW REAR ELEVATION- EAST
SCALE: 1/8"=1'-0"

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.

1
A 4.04 NEW ELEVATION- SOUTH
SCALE: 1/8"=1'-0"



NOTE: EXISTING FRONT (WEST) ELEVATION WILL REMAIN AS IS

DIMENSIONS SHOWN ON DRAWINGS ARE FOR INFORMATIONAL PURPOSE ONLY. FIELD VERIFY ALL DIMENSIONS WHERE THEY INVOLVE OR ARE RELATED TO THE EXISTING STRUCTURE.



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title NEW ELEVATIONS
Sheet Number A4.04



1
A 9.01

WEST FACADE - FRONT
SCALE: N/A



2
A 9.01

EAST FACADE- FRONT
SCALE: N/A



3
A 9.01

NORTH FACADE - SIDE
SCALE: N/A



4
A 9.01

SOUTH FACADE- SIDE
SCALE: N/A



309 Woodview Drive
Decatur, GA 30030
770-318 2782
jramirez@studiod-c.com

Consultants

REAR ADDITION-SCREENED PORCH & DECK
ARNAU RESIDENCE
307 VICKERS DRIVE
ATLANTA, GA 30307

PRINTING & REVISIONS

08/21/25 Variance
Application Submittal
09/17/25 COA
Application Submittal

XX/XX/XX Construction
Documents

XX/XX/XX Released for
Construction

Sheet Title
PHOTOS OF EXISTING STRUCTURE
Sheet Number
A9.01