

DeKalb County Historic Preservation Commission

Monday, October 20, 2025- 6:00 P.M.

Staff Report

Regular Agenda

- J. 621 Ridgecrest Road, Philip and Ashley Hager. Construct a two-story addition and screen porch on the rear of a historic house and expand a nonhistoric garage on the rear of property. **1247804.**

Built in 1923; Garage built in 1950 - Nonhistoric (15 237 02 012)

This property is in the Druid Hills Character Area #1 and the Druid Hills National Register Historic District.

Summary

The applicant proposes the following work:

1. Demolish an existing rear addition and construct a two-story rear addition. The existing one and half story addition will be demolished and a new, two-story will be constructed along the rear façade of the historic house.
2. Construct a screen porch on the rear of a historic house.
3. Replace and enlarge a nonhistoric garage.

Recommendation

Defer. Staff recommends deferring the application with the consent of the applicant in order to provide additional information regarding the proposed work, including a detailed materials list, proposed site plan, and drawings to include the dimensions of the proposed addition and garage.

If the applicant does not agree to defer the application, staff recommends denying the application in accordance with Sec. 13.5-8(1) and of the DeKalb County Code of Ordinances, as additional information and documentation is required before a decision can be made at this time.

Relevant Guidelines

- 5.0 *Design Review Objective* (p45) - When making a material change to a structure that is in view from a public right-of-way, a higher standard is required to ensure that design changes are compatible with the architectural style of the structure and retain character-defining features. When a proposed material change to a structure is not in view from the public-right-way, the Preservation Commission may review the project with a less strict standard so as to allow the owner more flexibility. Such changes, however, shall not have a substantial adverse effect on the overall architectural character of the structure.
- 6.1.1 *Exterior Materials* (p50) Guideline - Original masonry should be retained to the greatest extent possible without the application of any surface treatment, including paint. Repointing of mortar joints should only be undertaken when necessary, and the new mortar should duplicate the original material in composition, color, texture, method of application, and joint profile. Repaired joints should not exceed the width of original joints. The use of electric saws and hammers in the removal of old mortar is strongly discouraged as these methods can seriously damage adjacent bricks.
- 6.1.2 *Architectural Details* (p52) Guideline - Stylistic details should be maintained and treated with sensitivity. The removal of such details or application of details inappropriate to the period or style of a house is strongly discouraged. Damaged elements should be repaired rather than replaced if at all possible. Historic details that have been lost or are beyond repair may be replaced with new materials, provided that their earlier presence can be substantiated by historical documentation and that the new materials match the original in composition, design, color, and texture.

- 6.1.5 *Roofs, Chimneys, and Dormers* (p56) Guideline - The original roof form should be retained to the greatest extent possible. No addition to a house should greatly alter the original form of a roof or render that form unrecognizable. Original or historic roof dormers should also be retained. Skylights should be installed so as to be as unobtrusive as possible. If additional upper-story space is required, consider using dormers placed out-of-view of public right-of-way—to create this space.
- 6.1.5 *Roofs, Chimneys, and Dormers* (p56) Guideline - Historic roofing materials, such as clay tile and slate, should be repaired rather than replaced, if at all possible. While repair or replacement with like materials is often considered to be cost prohibitive, it should be remembered that life expectancies of these roofs (slate, 60 to 125 years and longer; clay tile, 100+ years) is considerably greater than most replacement materials. Clay tile and slate roofs are always character-defining features of their buildings; therefore, if replacement is necessary, new materials should match as closely as possible the scale, texture, and coloration of the historic roofing material.
- 6.1.5 *Roofs, Chimneys, and Dormers* (p57) Guideline - Original chimneys often add to the character of historic houses and should be properly maintained; they should not be covered with stucco or any other material, unless historically covered. A chimney that is no longer in use still functions as an important element in the overall composition of a house and should not be covered, partially or completely removed, or replaced.
- 7.0 **Additions & New Construction - Preserving Form & Layout** The Druid Hills Local Historic District continues to change and evolve over time. For this area to meet contemporary needs, additions are built, uses change, and new buildings are constructed. The challenge is not to prevent change but to ensure that, when it does inevitably happen, it is compatible with the historic character of the area.
- A new building is compatible with its historic setting when it borrows design characteristics and materials from adjacent buildings and integrates them into a modern expression. Before undertaking new development, be it a new building or changes or additions to existing buildings, take time to evaluate what makes the property and the neighborhood distinctive. Evaluate what type of impact the new development will have on the property and neighborhood. Decide how the development can best be designed to complement the property and area.
- The underlying guideline for new construction and additions is to consider one's neighbors and nearby structures and reinforce the existing historic character through sensitive, compatible design.
- Note that many of these guidelines refer to new development or new construction but are equally applicable to additions to existing buildings.
- 7.1 *Defining the Area of Influence* (p64) Guideline - In considering the appropriateness of a design for a new building or addition in a historic district, it is important to determine the area of influence. This area should be that which will be visually influenced by the building, i.e. the area in which visual relationships will occur between historic and new construction.
- 7.2 *Recognizing the Prevailing Character of Existing Development* (p65) Guideline - When looking at a series of historic buildings in the area of influence, patterns of similarities may emerge that help define the predominant physical and developmental characteristics of the area. These patterns must be identified and respected in the design of additions and new construction.
- 7.2.1 *Building Orientation and Setback* (p66) Guideline - The orientation of a new building and its site placement should appear to be consistent with dominant patterns within the area of influence, if such patterns are present.
- 7.2.2 *Directional Emphasis* (p67) Guideline - A new building's directional emphasis should be consistent with dominant patterns of directional emphasis within the area of influence, if such patterns are present.
- 7.2.3 *Shape: Roof Pitch* (p68) Guideline - The roof pitch of a new building should be consistent with those of existing buildings within the area of influence, if dominant patterns are present.

- 7.2.3 *Shape: Building Elements* (p68) Guideline - The principal elements and shapes used on the front facade of a new building should be compatible with those of existing buildings in the area of influence, if dominant patterns are present.
- 7.2.3 *Shape: Porch Form* (p68) Guideline - The shape and size of a new porch should be consistent with those of existing historic buildings within the area of influence, if dominant patterns are present.
- 7.2.4 *Massing* (p69) Guideline - The massing of a new building should be consistent with dominant massing patterns of existing buildings in the area of influence, if such patterns are present.
- 7.2.5 *Proportion* (p70) Guideline - The proportions of a new building should be consistent with dominant patterns of proportion of existing buildings in the area of influence, if such patterns are present.
- 7.2.6 *Rhythm* (p71) Guideline - New construction in a historic area should respect and not disrupt existing rhythmic patterns in the area of influence, if such patterns are present.
- 7.2.7 *Scale/Height* (p72) Guideline - New construction in historic areas should be consistent with dominant patterns of scale within the area of influence, if such patterns are present. Additions to historic buildings should not appear to overwhelm the existing building.
- 7.2.7 *Scale/Height* (p72) Guideline - A proposed new building should appear to conform to the floor-to-floor heights of existing structures if there is a dominant pattern within the established area of influence. Dominant patterns of cornice lines, string courses, and water tables can be referenced to help create a consistent appearance.
- 7.2.8 *Individual Architectural Elements* (p73) Guideline - New construction and additions should be compatible and not conflict with the predominant site and architectural elements—and their design relationships—of existing properties in the area of influence.
- 7.3.1 *Additions* (p74) Guideline - Additions should not be added to the main facade of the building and should not appear to dominate the original structure. It is preferable to build new additions to the rear of a historic building, where it will have little or no impact on the streetscape facade. Design and materials should be compatible with the existing building. Avoid obscuring character-defining features of the historic building with the addition.
- 7.3.1 *Additions* (p74) Guideline - Additional stories should be set well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.
- 7.3.1 *Additions* (p74) Recommendation - The Secretary of the Interior's Standards recommend that an addition be designed so that at a later date it can be removed without compromising the historic character of the building.
- 7.3.1 *Additions* (p74) Recommendation - While an addition should be compatible, it is acceptable and appropriate for it to be clearly discernible as an addition rather than appearing to be an original part of the building. Consider providing some differentiation in material, color, and/or detailing and setting additions back from the historic building's wall plane.
- 7.3.1 *Additions* (p74) Recommendation - These guidelines do not recommend adding false historical details to a noncontributing building in an effort to make it more compatible with surrounding historic buildings. Every effort should be made, however, to ensure that additions and alterations to the property do not detract further from the character of the historic environment, keeping in mind the design concepts discussed in Section 7.2.
- 9.6 *Accessory Buildings* (p91) Guideline - New accessory buildings, such as garages and storage houses, are to be located in rear yard spaces and visually buffered from adjacent property owners and the public right-of-way. Accessory buildings that complement the architecture of the adjacent residence do not require the same level of buffering and may remain more visible within the local district. If the new building will be visible from the street, it should respect the established setbacks and orientations of the historic buildings in the area.

Chief Executive Officer
Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director
Cedric W. Hudson, MCRP

Application for Certificate of Appropriateness

Date submitted: _____ Date Received: _____

Address of Subject Property: 621 Ridgcrest Rd, Atlanta, GA 30307

Applicant: Philip & Ashley Hager E-Mail: pstgh@yahoo.com

Applicant Mailing Address: SAME

Applicant Phone: 404 373 2927

Applicant's relationship to the owner: Owner ☒ Architect ☐ Contractor/Builder ☐ Other ☐

Owner(s): Philip Hager Email: pstgh@yahoo.com

Owner(s): Ashley Hager Email: _____

Owner(s) Mailing Address: Same

Owner(s) Telephone Number: Same

Approximate date of construction of the primary structure on the property and any other structures affected by this project: _____

Nature of work (check all that apply):

New construction	☒	New Accessory Building	☐	Other Building Changes	☐
Demolition	☒	Landscaping	☒	Other Environmental Changes	☐
Addition	☒	Fence/Wall	☐	Other	☐
Moving a Building	☐	Sign Installation	☐		

Description of Work:

Replace existing rear-facing, shed roofed family room with a two story, family room + primary bedroom upstairs. Add a screened porch structure where our existing rear patio is currently located. Replace + enlarge our existing rear garage structure.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

Signature of Applicant: 

CLERK'S OFFICE: RECORDING INFORMATION ONLY

ABBREVIATIONS ~

ABL = ABELIA	HYD = HYDRANGEA
AUG = AUGURIA	ICV = IRRIGATION CONTROL VALVE
AMH = AMERICAN HOLLY	IMP = IMPATIENS
AZ = AZALEA	IPF = IRON PIN FOUND
BB = BARBERRY	JAS = JASMINE
BE = BEECH	JHY = JAPANESE HOLLY
BEO = BECUNA	JM = JAPANESE MAPLE
BHY = BURFORD HOLLY	JUN = JUNIPER
BIR = BIRCH	LIR = LIRIOPE
BP = BRADFORD PEAR	LL = LAWN LIMITS
BW = BOXWOOD	MAG = MAGNOLIA
CAL = CALADIUM	MAP = MAPLE
CAM = CAMELLIA	NAN = NANDINA
CE = COTONEASTER	OH = OVERHANG
CD = CEDAR	OLL = OTTOLUYKEN LAUREL
CH = CHERRY	P = PINE
CH = CHINESE HOLLY	PHO = PHOTINIA
CHN = CHESTNUT	POP = POPLAR
CHO = CHESTNUT OAK	RHO = RHODODENDRON
CJ = CRYPTOMERIA JAPONICA	RO = RED OAK
CL = CHERRY LAUREL	RT = RED TIP
CO = CLEAN OUT	SC = SWEET GUM
CM = CROPE MYRTLE	SP = SPRUCE
CS = CRANE SPACE	SPIG = SPIGOT
DS = DOWNSPOUT	SPW = SPRINKLER
DW = DOGWOOD	SW = SOUTWOOD
EL = ELAGANUS	UDS = UNDERGROUND DOWNSPOUT
EM = ELECTRIC METER	UNK = UNKNOWN
ET = EXTERIOR THRESHOLD	VIN = VINCA
FT = FINISH FLOOR	VN = VAREGATED LIRIOPE
FP = FIRE PIT	VP = VAREGATED PRIVET
GE = GOLDEN EUONYMUS	VW = VENT WELL
GLF = GROUND LIGHT FIXTURE	WAO = WATER OAK
GM = GAS METER	WLO = WILLOW OAK
HB = HACKBERRY	WL = WILLOW
HEM = HENLOCK	WM = WATER METER
HIC = HICKORY	WO = WHITE OAK
HL = HELLER HOLLY	WP = WHITE PINE
HOS = HOSTA	WW = WINDOW WELL
HL = HOLLY	YI = YARD INLET

Now or Formerly
Edward A. Greco
(DB 24492, PG. 235)
- Lot 11 -

Now or Formerly
Najee A. Johnson
(DB 30107, PG. 643)
- Lot 13 -

GENERAL NOTES~

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS AN ANGULAR ERROR OF 12 SECONDS PER ANGLE POINT AND A PRECISION RATIO OF 1 IN 24,730. IT HAS BEEN ADJUSTED USING THE COMPASS RULE.

EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A TRIMBLE S5 & TSC5.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF 1 IN 384,516.

ALL I.P.'s ARE 1/2" REBARS, UNLESS OTHERWISE INDICATED.

BEARINGS ARE CALCULATED FROM ANGLES TURNED FROM A SINGLE GRID BASELINE.

ACCORDING TO THE CURRENT "F.I.A. OFFICIAL FLOOD HAZARD MAP", COMMUNITY PANEL NO. 13089C 0064 K, DATED AUGUST 15, 2019, THIS PROPERTY IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

ALL MATTERS OF TITLE ARE EXCEPTED.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES NOT SHOWN.

THE SURVEY AND PLAT SHOWN HEREON IS NOT INTENDED FOR USE OR RELIANCE BY ANY PARTIES OR ENTITIES NOT SPECIFICALLY LISTED IN THE TITLE. UNAUTHORIZED THIRD PARTIES SHALL INDEMNIFY AND HOLD DELTA 1 LAND SURVEYING, LLC HARMLESS AGAINST ANY AND ALL LIABILITY FOR ANY LOSS ARISING OUT OF, OR RELATED TO, RELIANCE BY ANY THIRD PARTY ON ANY WORK PERFORMED THEREUNDER, OR THE CONTENTS OF THE SURVEY.

REFERENCE: DB 123301, PG. 528

* = PER DEED AND PLAT RECORDS; NO MONUMENT FOUND.

THIS PROPERTY IS CURRENTLY ZONED RS-85 PER THE DEKALB COUNTY G.I.S. DEPT.

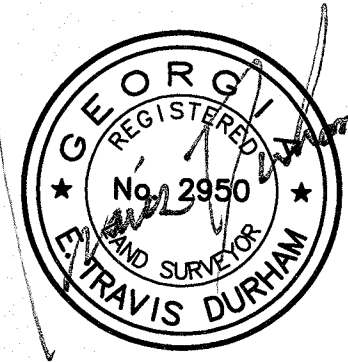
SETBACKS: FRONT = 35 FEET (COLLECTOR)

SIDE = 8.5 FEET
REAR = 40 FEET
MAX. LOT COVERAGE = 35%

AREA = 34,708 SQ. FT.
0.797 ACRE

EXISTING LOT COVERAGE:

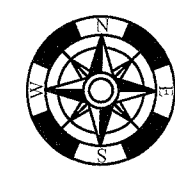
HOUSE/PORTE-CO	= 1,651 S.F.
GARAGE/SHED	= 393 S.F.
DRIVE	= 1,368 S.F.
PATIO/PORCH/STEPS	= 507 S.F.
WALL/AC	= 31 S.F.
TOTAL	= 3,950/34,708 S.F. = 11.4%



THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.G.C.A. SECTION 15-6-67.

Travis Durham 11-18-24
E. TRAVIS DURHAM, GA. RLS No. 2950

JOB # 24-152 DRAWN BY: TD FIELD CREW: JB,TD
FIELD DATE: 11-13-24 PLAT PREPARED: 11-18-24



DELTA 1
LAND SURVEYING, LLC
361 WESTCHESTER WAY
CANTON, GEORGIA 30115
PHONE: (770) 597-3533
(FIRM LICENSE No. LSF 001041)

BOUNDARY & TOPOGRAPHIC SURVEY FOR
PHILIP & ASHLEY HAGER

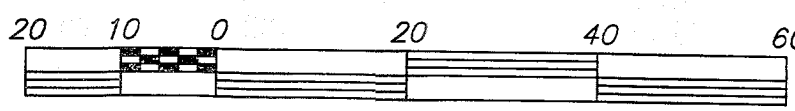
(BEING LOT 12, BLOCK 21, DRUID HILLS SUBDIVISION)

LOCATED IN LAND LOTS 237 & 244

15th DISTRICT

DEKALB COUNTY, GEORGIA

NOVEMBER 13, 2024 1"=20'

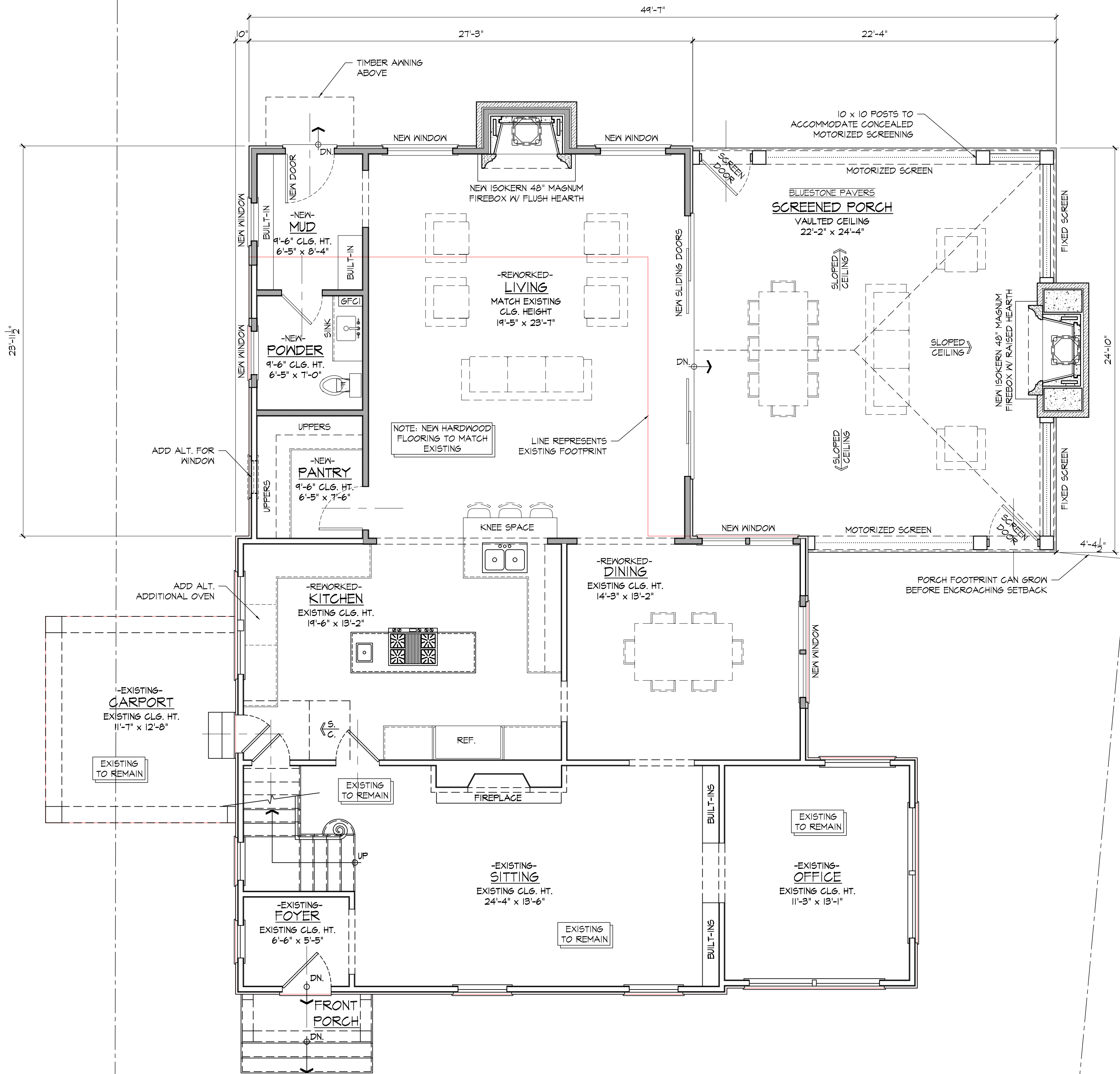


SCALE IN FEET
CONTOUR INTERVAL = 2 FT.
VERTICAL DATUM IS APPROX. MEAN SEA LEVEL

ADDRESS:
621 RIDGECREST ROAD
ATLANTA, GA 30307

LEGEND

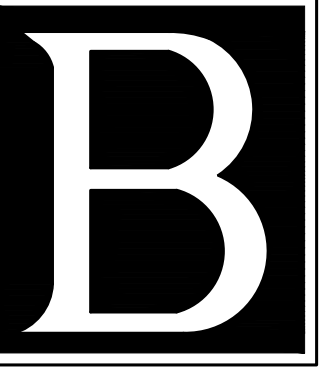
1/2" REBAR FND.	IPF
1/2" REBAR SET	IPS
RIGHT OF WAY	R.W.
SANITARY SEWER EASEMENT	SSE
DRAINAGE EASEMENT	DE
LAND LOT LINE	L.L.L.
CENTERLINE	C.L.
CRIMP TOP PIPE	CT
OPEN TOP PIPE	OT
CORRUGATED METAL PIPE	CMP
REINFORCED CONCRETE PIPE	RCP
DROP INLET	DI
JUNCTION BOX	JB
MANHOLE	MH
CATCH BASIN	CB
BENCHMARK	BM
POWER POLE	PP
FIRE HYDRANT	FH
CONCRETE MONUMENT FND.	CMF
BACK OF CURB	B.C.
EDGE OF PAVEMENT	E.P.
FENCE	FEN
OVERHEAD ELEC. SERVICE LINE	O.H.
BUILDING LINE	B.L.
UNDERGROUND POWER LINE	U.G.
TRANSFORMER	TX



WALL LEGEND	
	2 x 4 WOOD FRAME WALL
	2 x 6 WOOD FRAME WALL
	BRICK VENEER
	6" STONE VENEER
	POURED CONCRETE WALL
	EXISTING

GENERAL NOTES	
ALL DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF STUDS	

AREA CALCULATIONS	
PROPOSED CONDITIONED	
MAIN LEVEL	1,705 SQ.FT.
UPPER LEVEL	1,534 SQ.FT.
TOTAL CONDITIONED	3,239 SQ.FT.
EXISTING CONDITIONED	
MAIN LEVEL	1,464 SQ.FT.
UPPER LEVEL	962 SQ.FT.
TOTAL CONDITIONED	2,426 SQ.FT.



Greg Busch,
Architects A.I.A.
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gb@gregbusch.com

All drawings, as instruments of service, are the property of Greg Busch Architects. They shall not be reproduced, modified, or copied in any way without the written consent first, and proper compensation to Greg Busch Architects.

The contractor shall check and verify all dimensions, structural notes and existing conditions and report any discrepancies to Greg Busch Architects before proceeding with the work.

HAGER RESIDENCE

621 RIDGECREST RD | ATLANTA, GEORGIA 30307

stamps

issue

date

AUGUST 15, 2025

scale

drawn

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checked

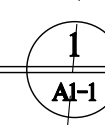
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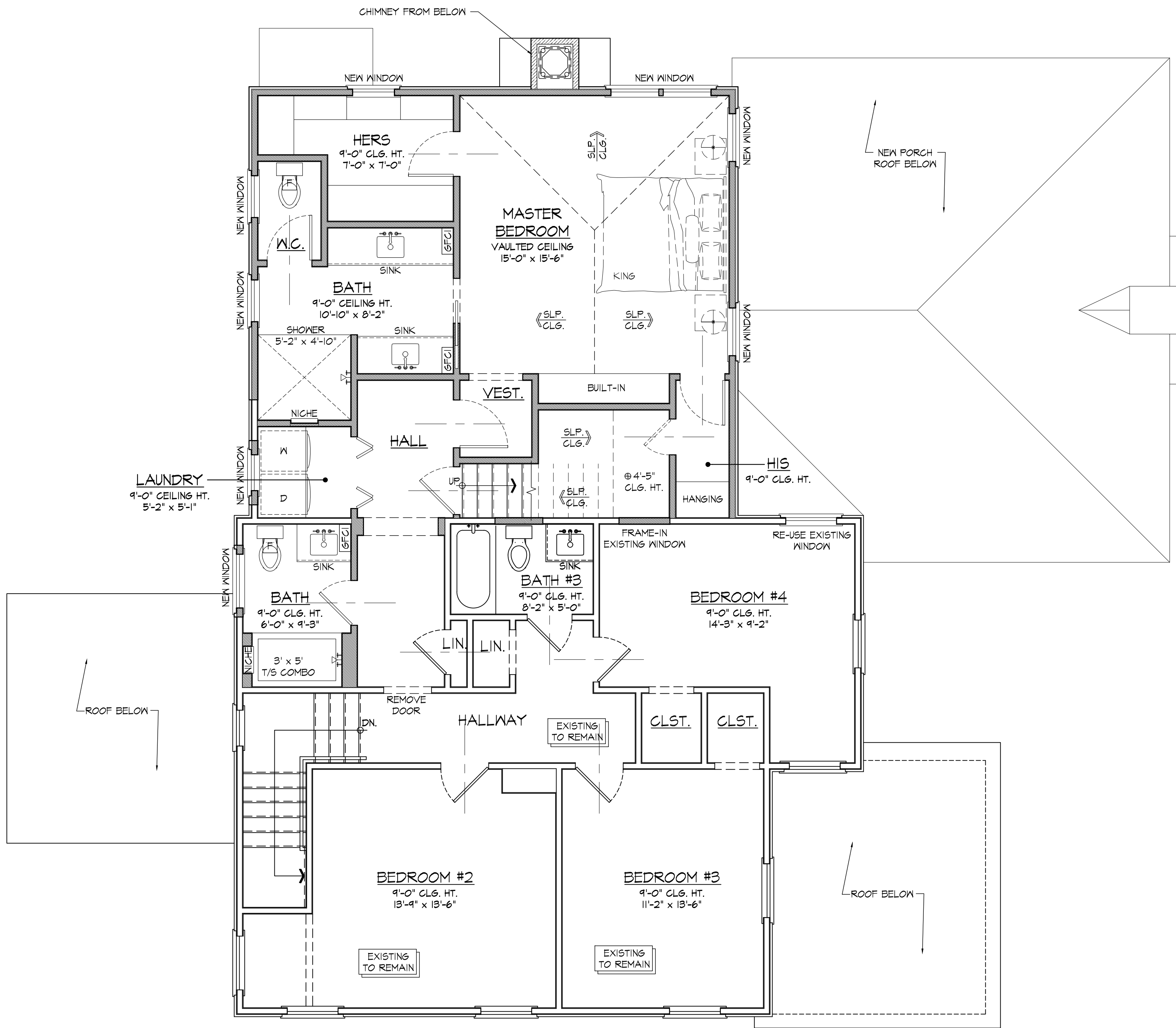
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PROPOSED MAIN LEVEL

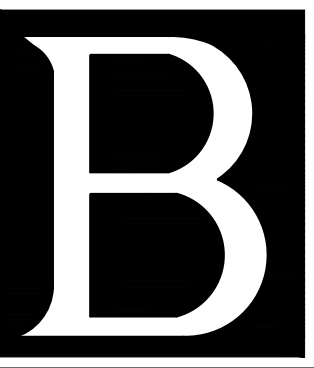
SCALE: 1/4" = 1'-0"



WALL LEGEND	
	2 x 4 WOOD FRAME WALL
	2 x 6 WOOD FRAME WALL
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HAGER RESIDENCE

621 RIDGECREST RD | ATLANTA, GEORGIA 30307

stamps

issue

date AUGUST 15, 2025

scale

drawn CH checked GB

title REVIEW SET

sheet number

A1-2A

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A1-2
PROPOSED UPPER LEVEL
SCALE: 1/4" = 1'-0"

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621 RIDGECREST RD | ATLANTA, GEORGIA 30307

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AUGUST 15, 2025

AUGUST 13, 2023

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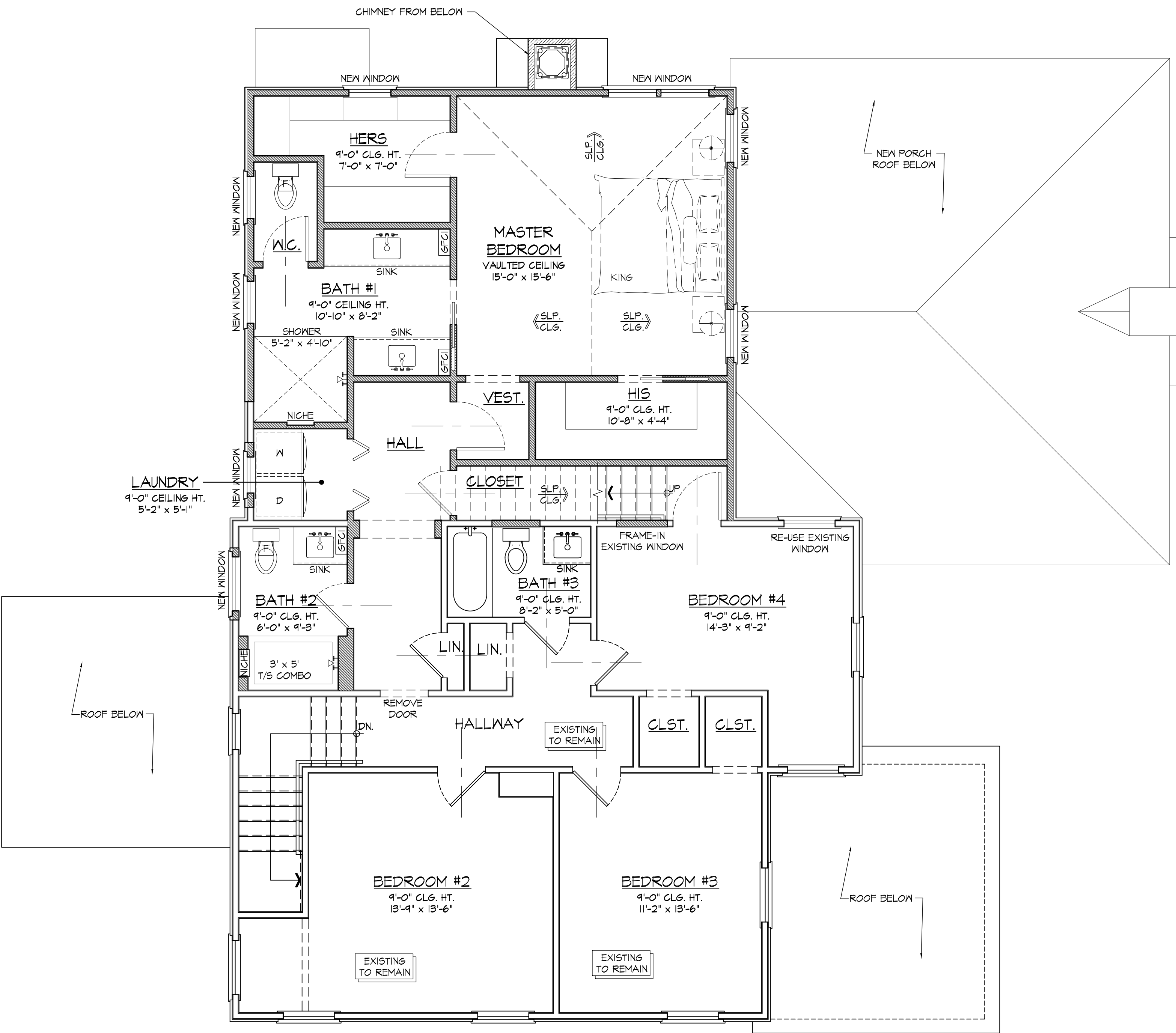
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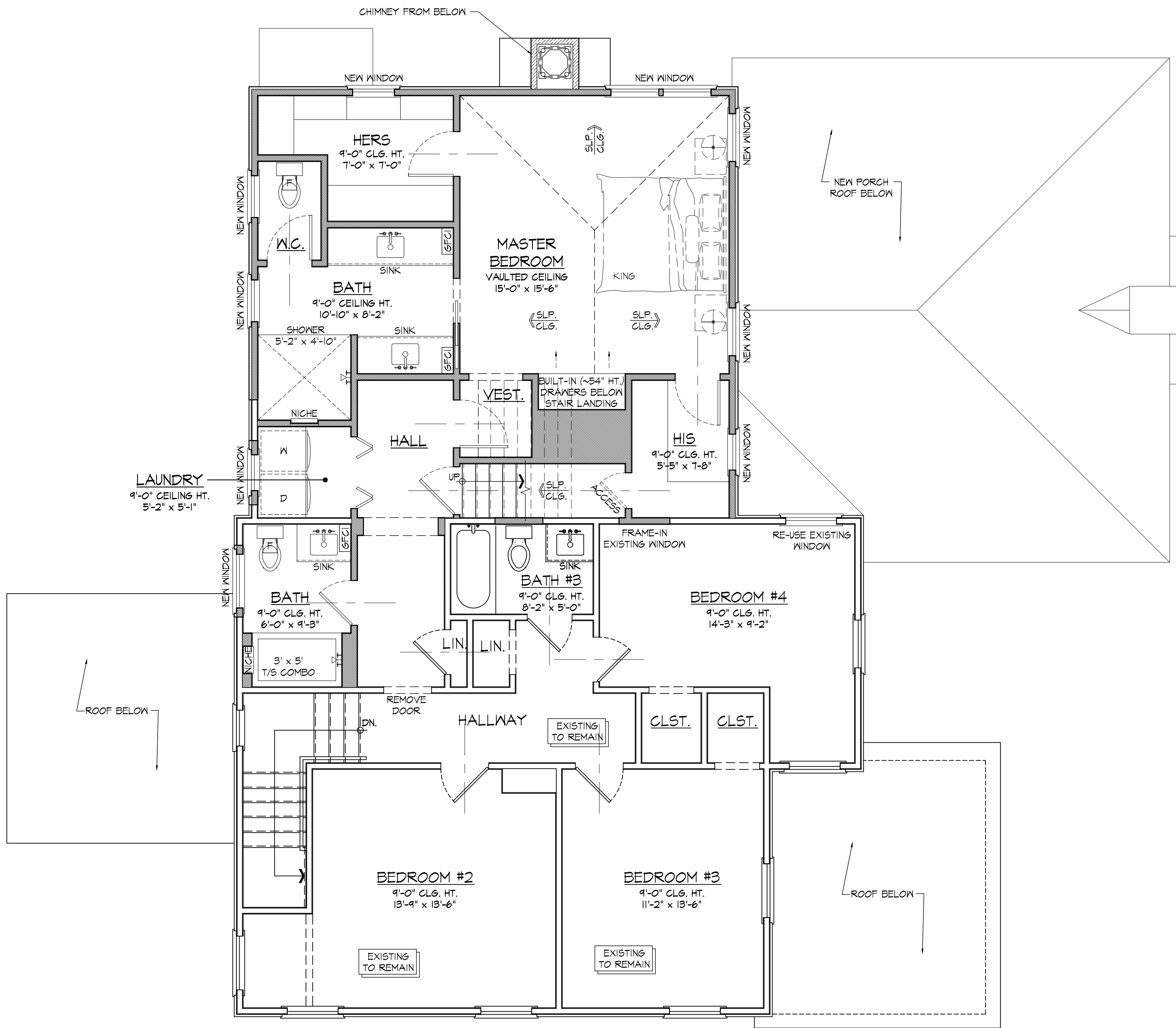
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GENERAL NOTES

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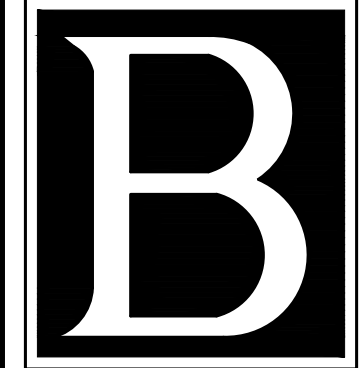
1 PROPOSED UPPER LEVEL
Al-2 SCALE: 1/4" = 1'-0"



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stamps

issue

date AUGUST 15, 2025

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drawn CH checked GB

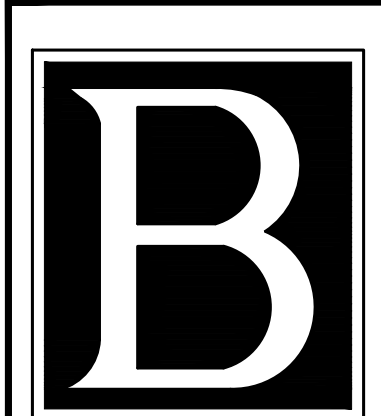
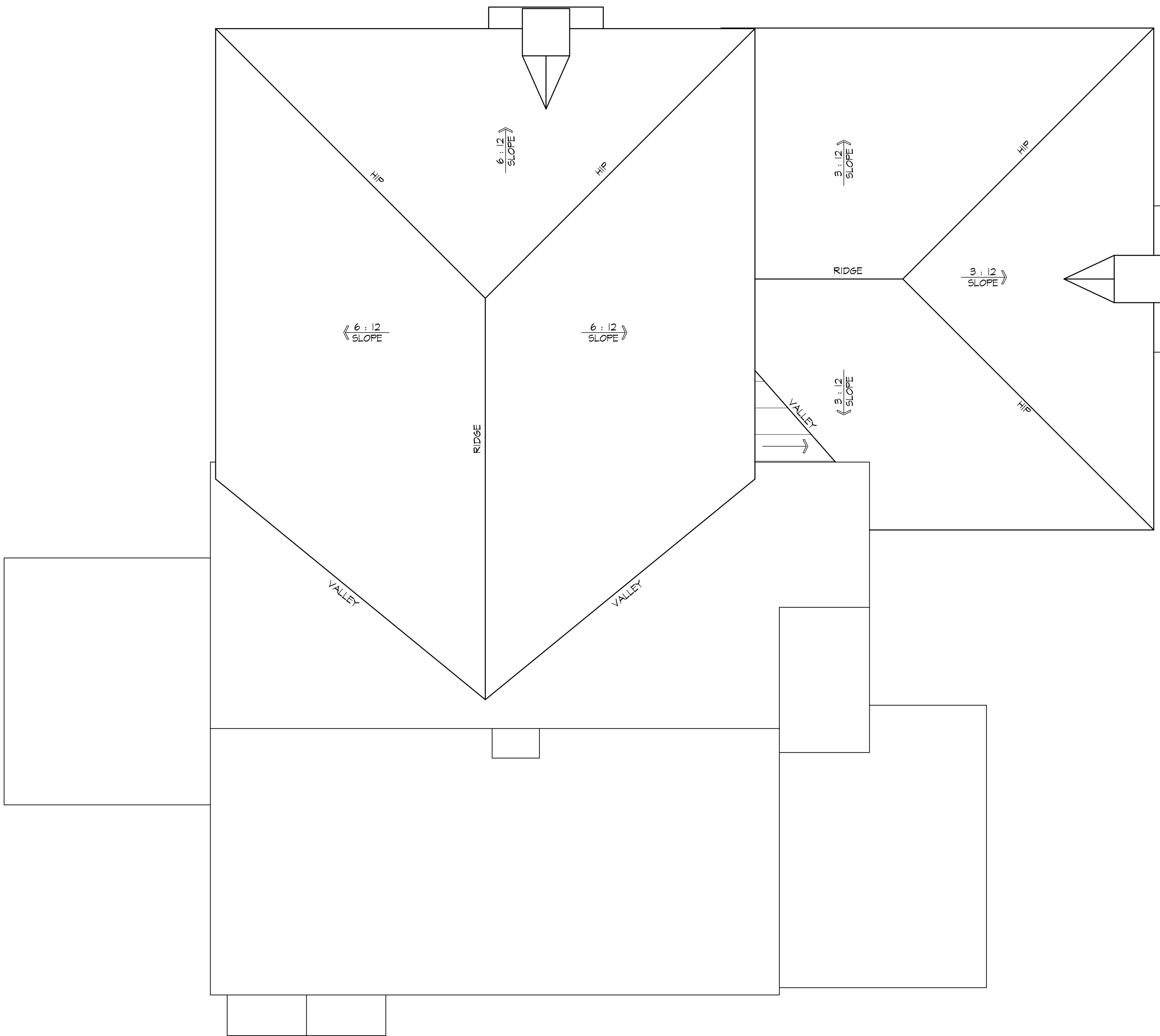
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sheet number

A1-2C

1
A1-2
PROPOSED UPPER LEVEL
SCALE: 1/4" = 1'-0"



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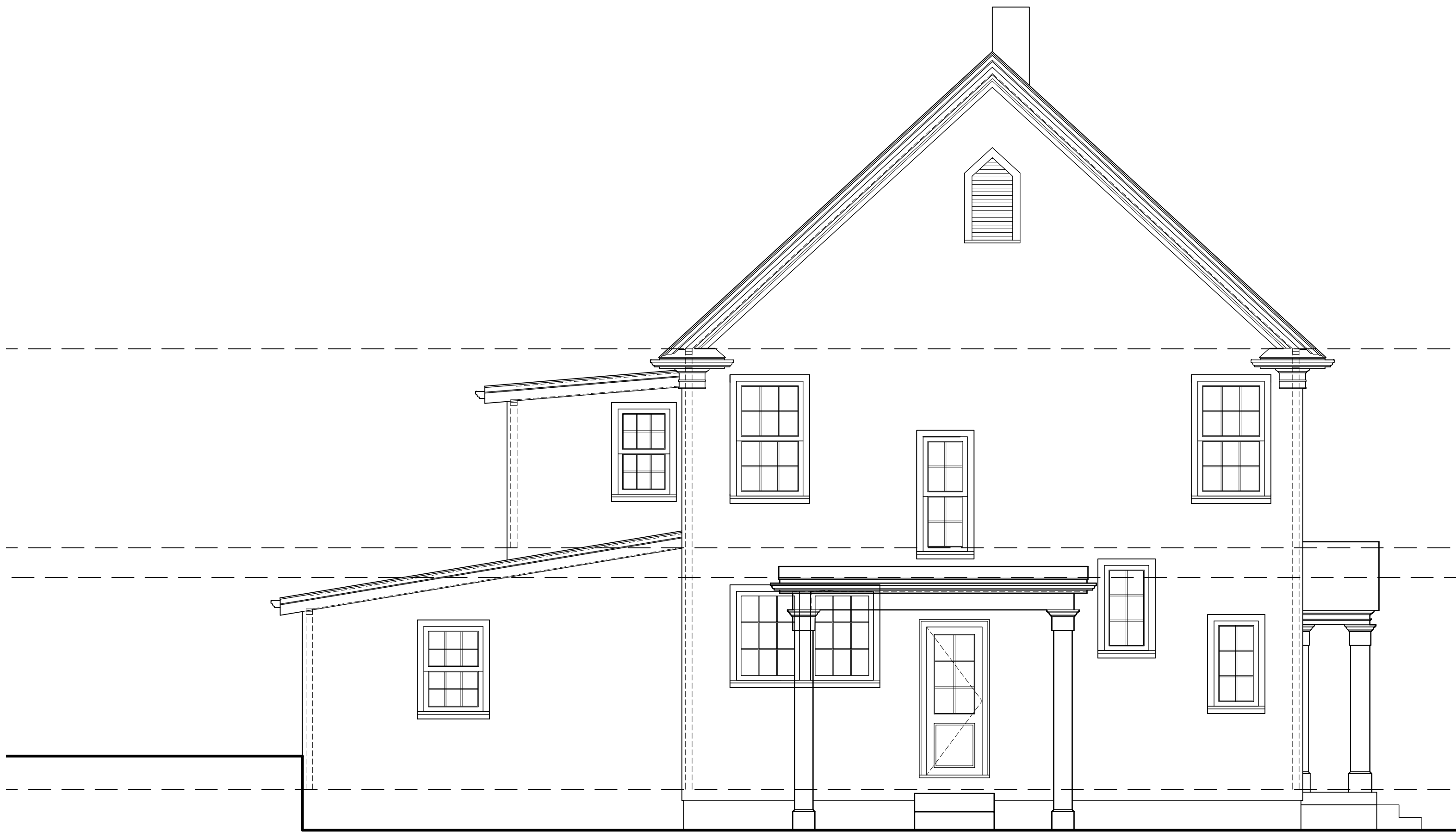
HAGER RESIDENCE

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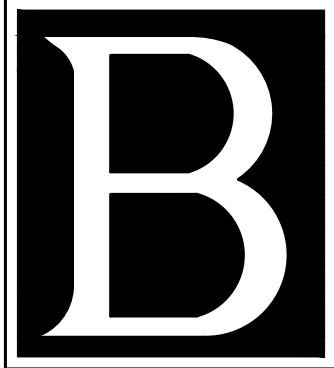
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date
scale
drawn
checked
GB
title
REVIEW SET
sheet number
A1-3



1 EXISTING REAR ELEVATION
EX2-2 SCALE: 1/4" = 1'-0"



2 EXISTING LEFT ELEVATION
EX2-2 SCALE: 1/4" = 1'-0"



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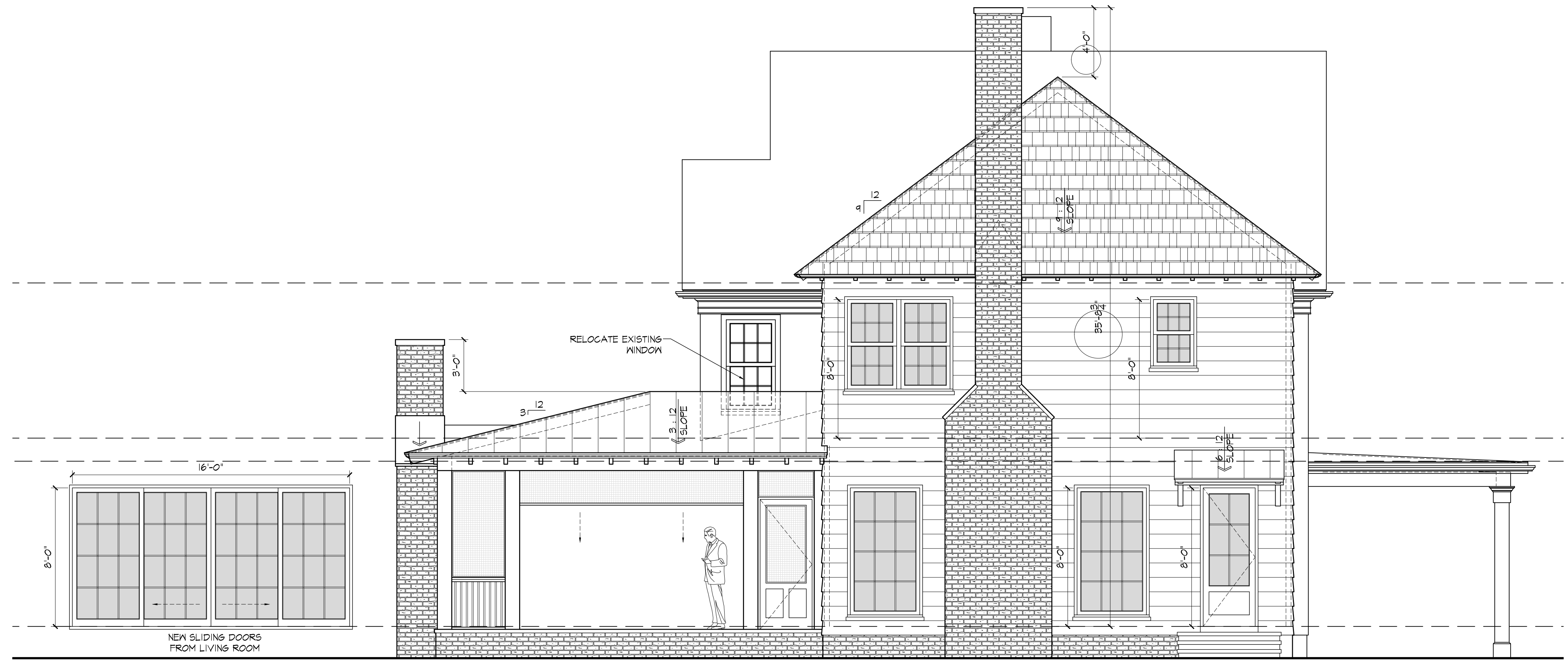
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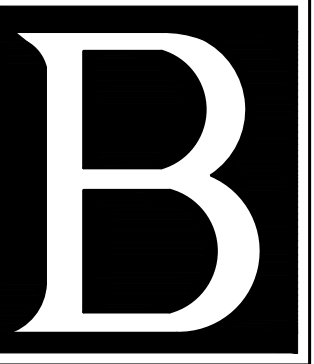
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date	AUGUST 15, 2025
scale	
drawn	CH
checked	GB
title	REVIEW SET
sheet number	EX2-2



1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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issue

date

AUGUST 15, 2025

scale

drawn

CH

checked

GB

title

REVIEW SET

sheet number

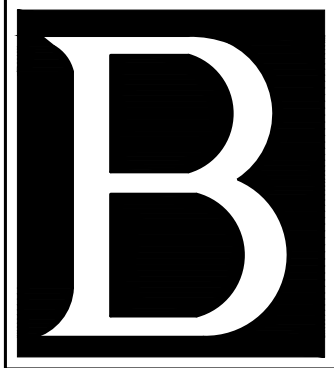
A2-2



1
A2-1
PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2
A2-1
PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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stamps

issue

date

AUGUST 15, 2025

scale

drawn

CH

checked

GB

title

REVIEW SET

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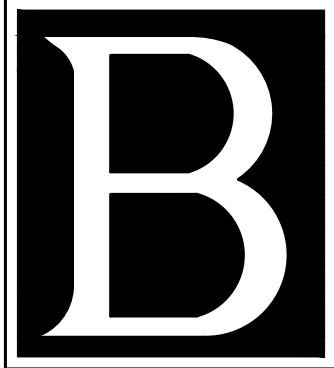
A2-1



1
EX2-1
EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2
EX2-1
EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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stamps

issue

date AUGUST 15, 2025

scale

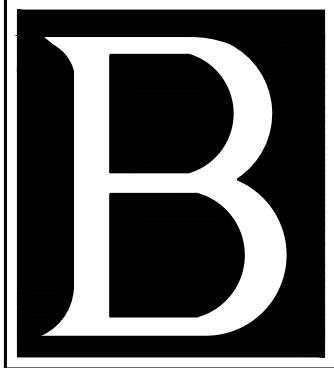
drawn CH checked GB

title

REVIEW SET

sheet number

EX2-1



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WALL LEGEND

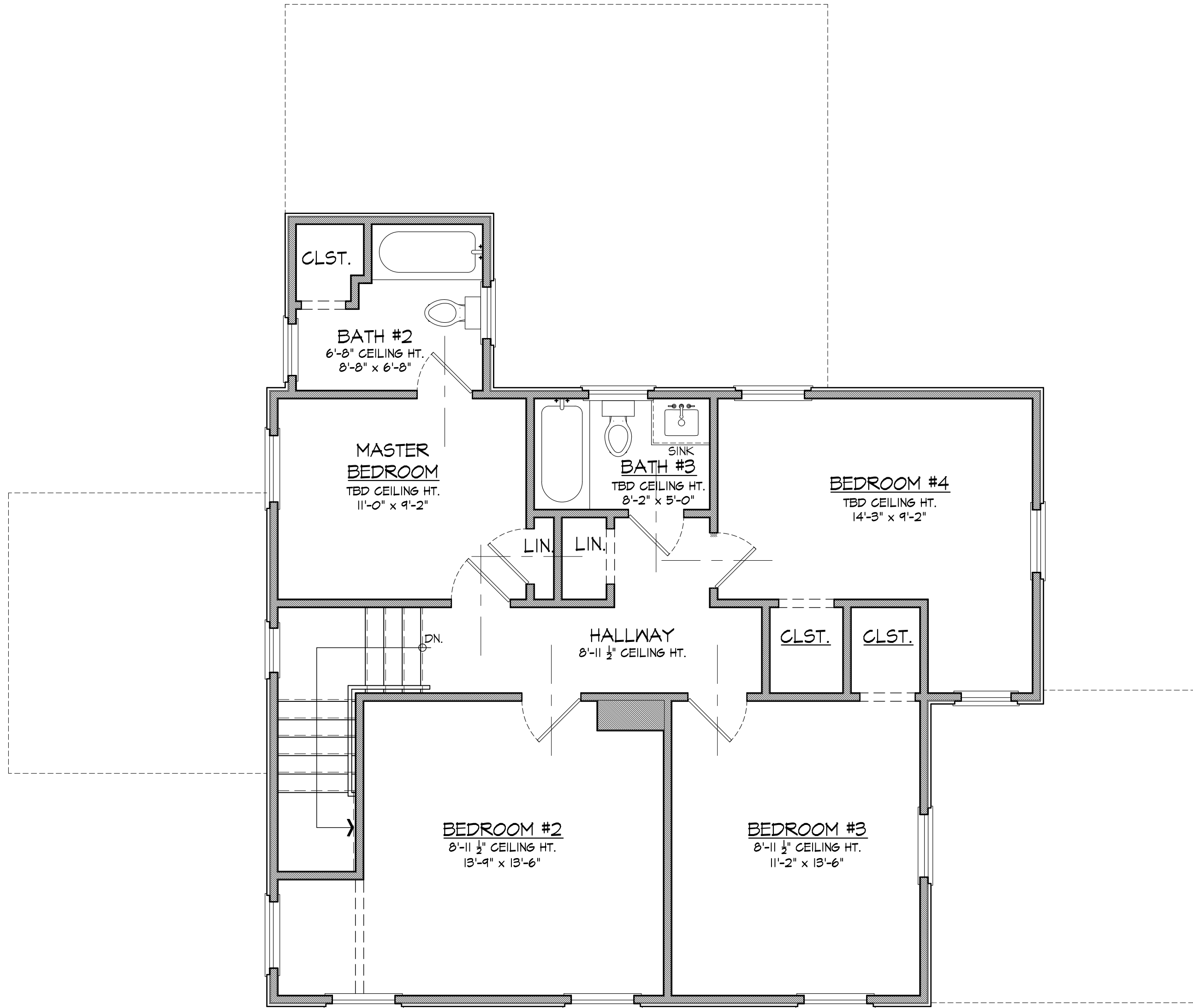
- 2 x 4 WOOD FRAME WALL
- 2 x 6 WOOD FRAME WALL
- BRICK VENEER
- 6" STONE VENEER
- POURED CONCRETE WALL

GENERAL NOTES

ALL DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF STUDS

AREA CALCULATIONS

PROPOSED CONDITIONED	
MAIN LEVEL	1,705 SQ.FT.
UPPER LEVEL	1,534 SQ.FT.
TOTAL CONDITIONED	3,239 SQ.FT.
EXISTING CONDITIONED	
MAIN LEVEL	1,464 SQ.FT.
UPPER LEVEL	962 SQ.FT.
TOTAL CONDITIONED	2,426 SQ.FT.



1
EXI-2

EXISTING UPPER LEVEL

SCALE: 1/4" = 1'-0"

stamps

issue

date

AUGUST 15, 2025

scale

drawn

CH

checked

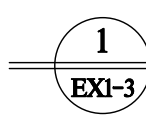
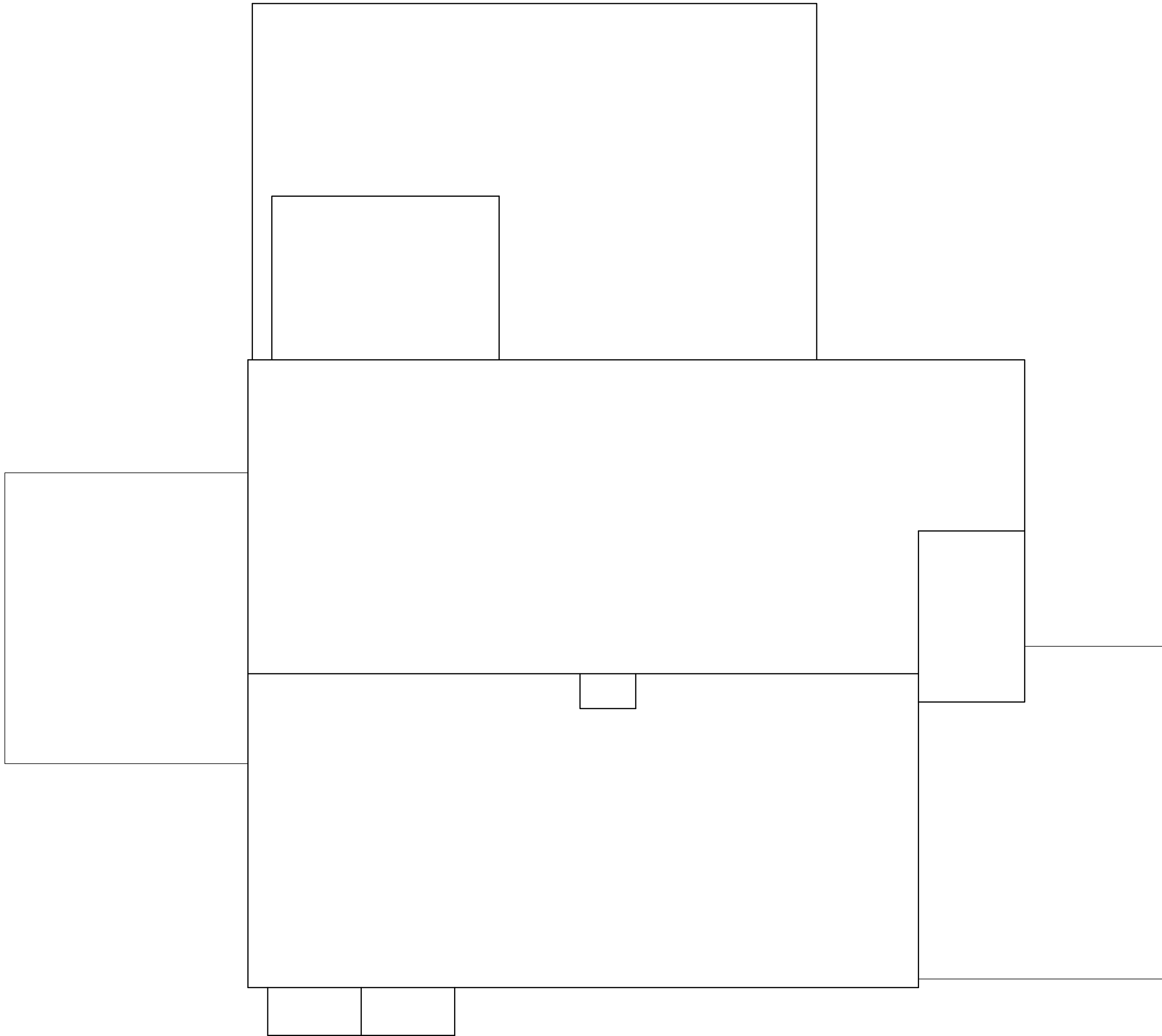
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title

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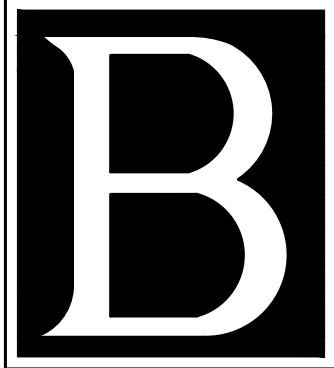
sheet number

EXI-2



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



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H A G E R R E S I D E N C E

621 RIDGECREST RD | ATLANTA, GEORGIA 30307

stamps

issue

date AUGUST 15, 2025

scale

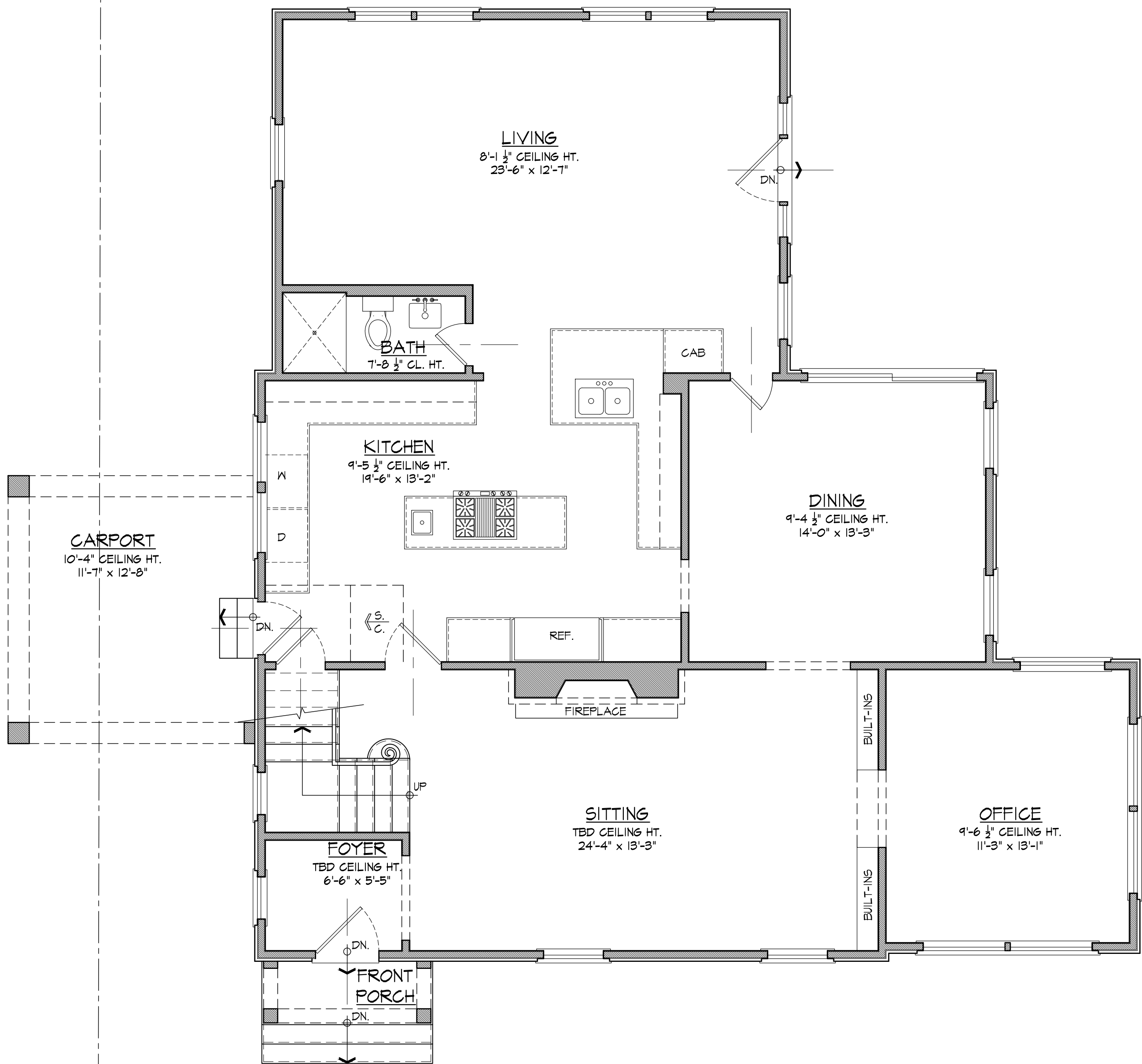
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sheet number

EX1-3

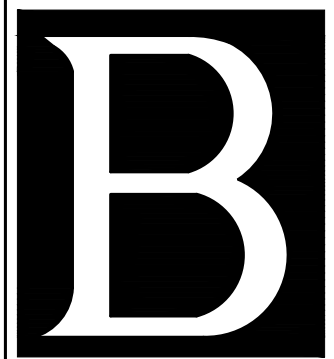


8.5' B.L.

WALL LEGEND	
	2 x 4 WOOD FRAME WALL
	2 x 6 WOOD FRAME WALL
	BRICK VENEER
	6" STONE VENEER
	POURED CONCRETE WALL

GENERAL NOTES	
ALL DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF STUDS	

AREA CALCULATIONS	
PROPOSED CONDITIONED	
MAIN LEVEL	1,705 SQ.FT.
UPPER LEVEL	1,534 SQ.FT.
TOTAL CONDITIONED	3,239 SQ.FT.
EXISTING CONDITIONED	
MAIN LEVEL	1,464 SQ.FT.
UPPER LEVEL	962 SQ.FT.
TOTAL CONDITIONED	2,426 SQ.FT.



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HAGER RESIDENCE

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stamps

issue

date AUGUST 15, 2025

scale

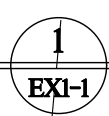
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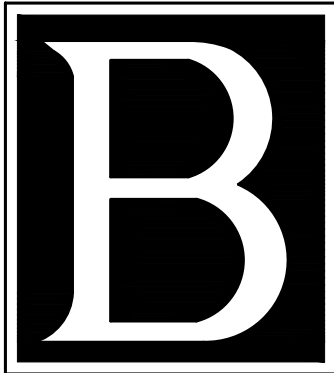
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EXI-1



EXISTING MAIN LEVEL

SCALE: 1/4" = 1'-0"



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stamps

issue

date

AUGUST 15, 2025

scale

drawn

CH

checked

GB

title

REVIEW SET

sheet number

B2-1



3 PROPOSED GARAGE REAR
SCALE: 1/4" = 1'-0"



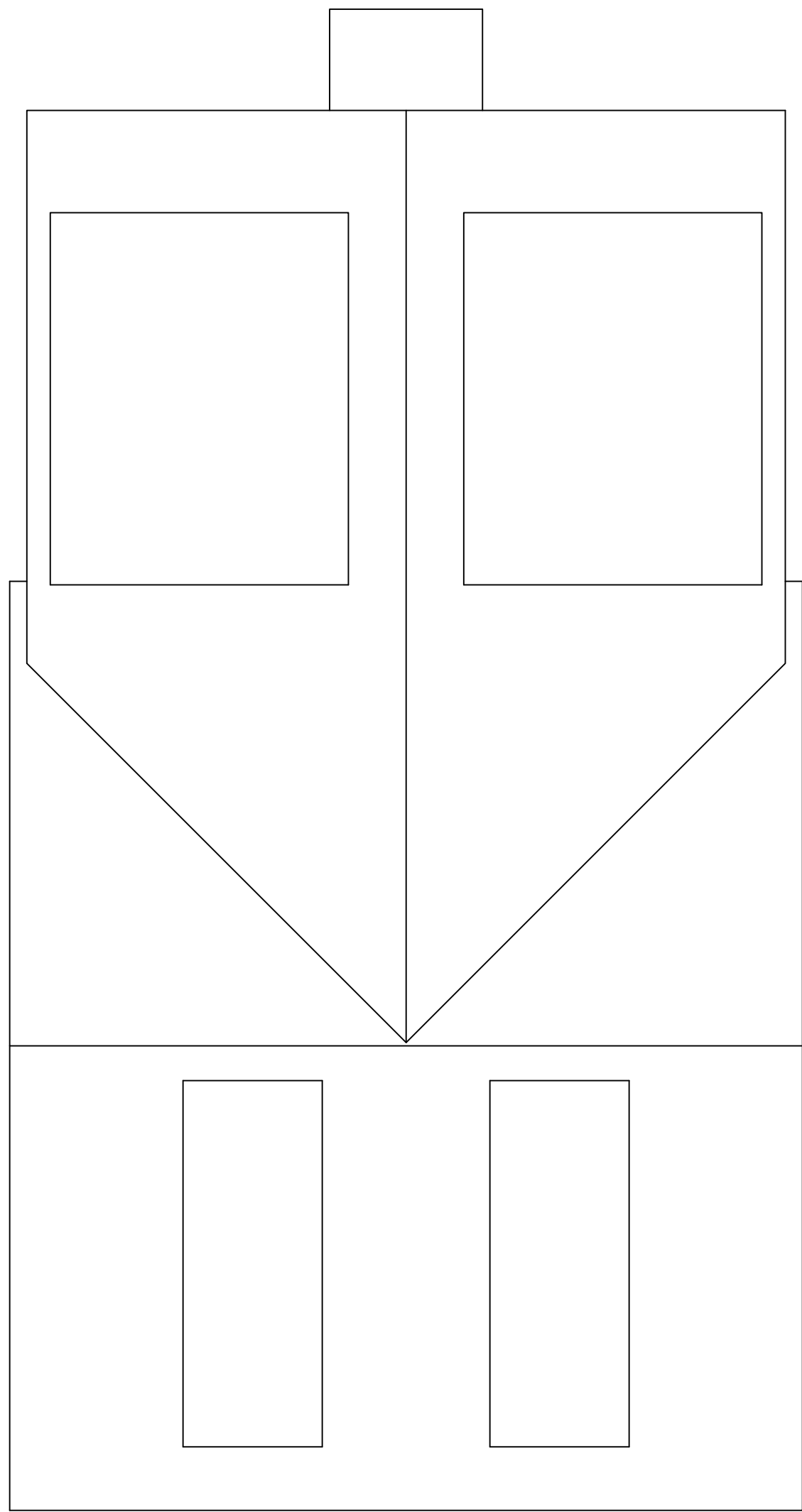
1 PROPOSED GARAGE FRONT
SCALE: 1/4" = 1'-0"



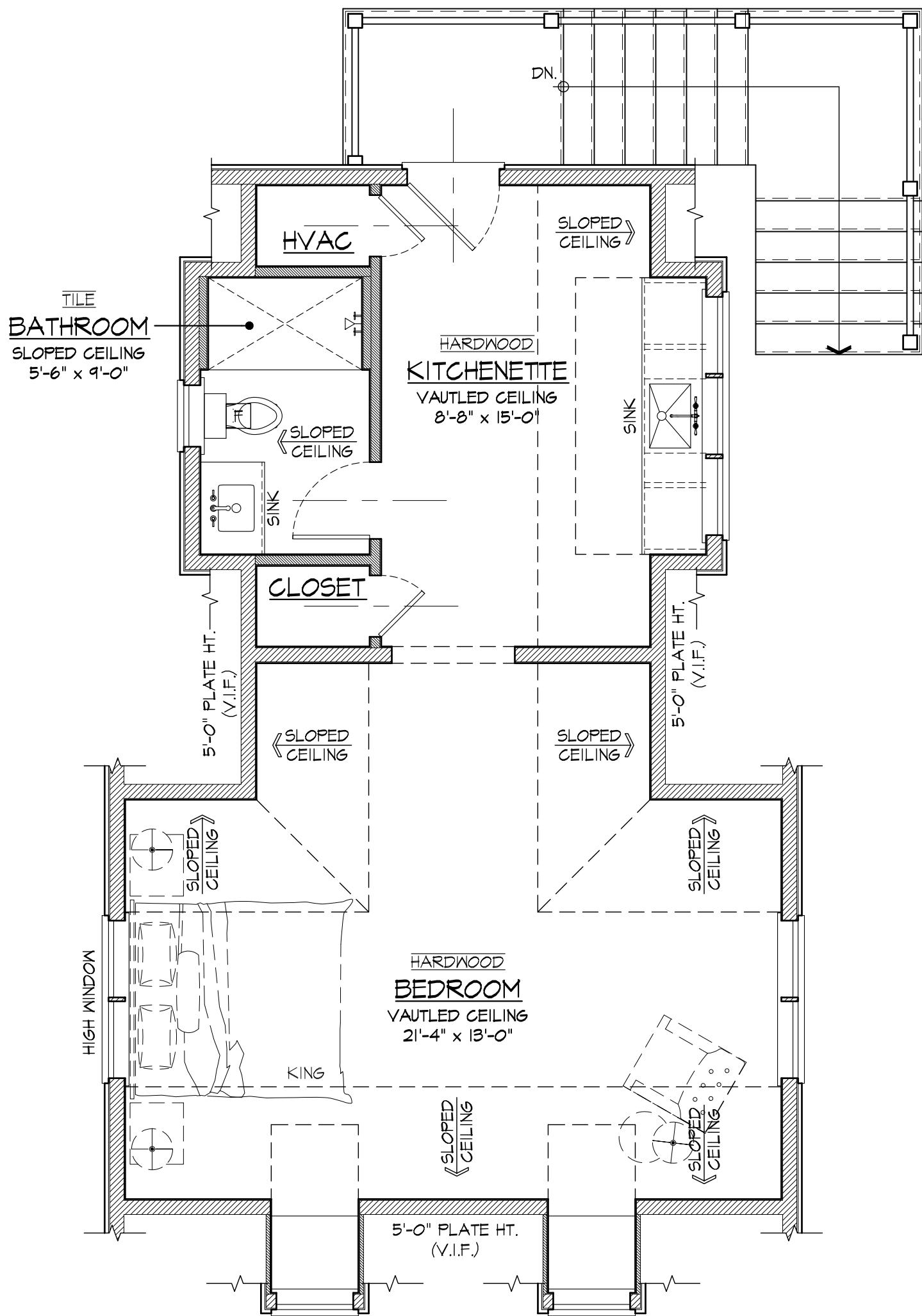
4 PROPOSED GARAGE LEFT
SCALE: 1/4" = 1'-0"



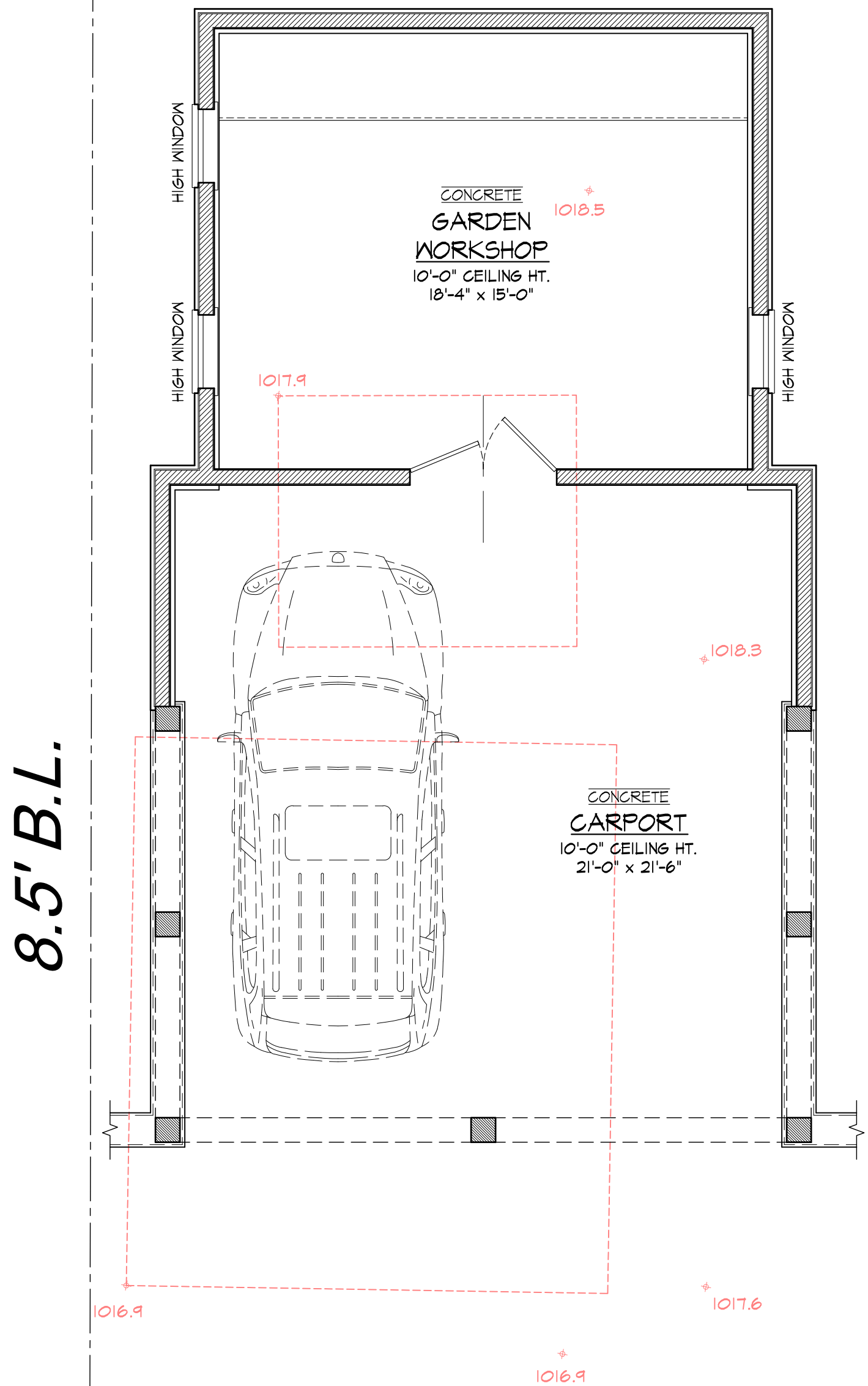
2 PROPOSED GARAGE RIGHT
SCALE: 1/4" = 1'-0"



3
BI-1
PROPOSED ROOF LEVEL
SCALE: 1/4" = 1'-0"



2
BI-1
PROPOSED UPPER LEVEL
SCALE: 1/4" = 1'-0"

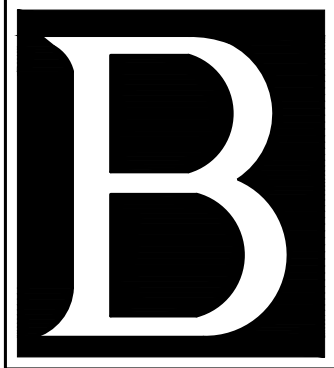


1
BI-1
PROPOSED GARAGE LEVEL
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	2 x 4 WOOD FRAME WALL
	2 x 6 WOOD FRAME WALL
	BRICK VENEER
	6" STONE VENEER
	POURED CONCRETE WALL
	EXISTING

GENERAL NOTES	
ALL DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF STUDS	

AREA CALCULATIONS	
PROPOSED CONDITIONED	
GARAGE LEVEL	812 SQ.FT.
UPPER LEVEL	644 SQ.FT.



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stamps	
issue	
date	AUGUST 15, 2025
scale	
drawn	CH
checked	GB
title	REVIEW SET
sheet number	BI-1