

Chief Executive Officer

Lorraine Cochran-Johnson

DEPARTMENT OF PLANNING & SUSTAINABILITY

Interim Director

Cedric W. Hudson, MCRP

Application for Certificate of Appropriateness

Date submitted: 10/20/2025

Date Received: _____

Address of Subject Property: 1343 Briarcliff Rd NE, Atlanta, GA 30306

Applicant: Susan Habib

E-Mail: habib2430@gmail.com

Applicant Mailing Address: 1343 Briarcliff Rd NE, Atlanta, GA 30306

Applicant Phone: 4045834599

Applicant's relationship to the owner: Owner

☒

Architect

☐

Contractor/Builder

☐

Other

☐

Owner(s): Susan Habib

Email: habib2430@gmail.com

Owner(s): _____ Email: _____

Owner(s) Mailing Address: 1343 Briarcliff Rd NE, Atlanta, GA 30306

Owner(s) Telephone Number: 4045834599

Approximate date of construction of the primary structure on the property and any other structures affected by this project: 1929

Nature of work (check all that apply):

New construction

☐

New Accessory Building

☐

Other Building Changes

☐

Demolition

☒

Landscaping

☒

Other Environmental Changes

☒

Addition

☒

Fence/Wall

☒

Other

☐

Moving a Building

☐

Sign Installation

☐

Description of Work:

1. The rear portion of the house is structurally compromised and must be removed and rebuilt. This addition was not part of the historic home.
2. There is a low spot at the rear of the home that traps storm water between the neighbor's site wall, the addition being removed, and a portion of the driveway/parking pad behind the house. This low spot is causing the basement to flood, even after installing a sub-pump. In order to remedy this problem, the existing driveway/parking pad will have to be removed and the site regraded to allow the storm water to flow into the backyard.
3. The existing garage is not original to the historic property and is structurally compromised. We are requesting to have the garage removed.
4. The existing lot coverage is 5,335sf, which is 1,135sf over the zoning limit. The proposed design will bring the lot coverage total into compliance with zoning limits. Removing the garage, the concrete walkway on the southern-side of the house, and large portions of the driveway are the main strategies for compliance with zoning ordinances.
5. The new addition will fill in the pit that is allowing storm water to pool-up in front of the basement and it will help extend the life of the historic building by providing the typical spaces that families currently need. The addition is not visible from the street and the historic facade facing the street will not be modified. The additions that have been built onto the house in the past have been clad in lap siding, so the strategy is to clad this new addition in lap siding as well.

This form must be completed in its entirety and be accompanied by supporting documents, such as plans, list of materials, color samples, photographs, etc. All documents should be in PDF format, except for photographs, which may be in JPEG format. Email the application and supporting material to plansustain@dekalbcountyga.gov and pjennings@dekalbcountyga.gov. An incomplete application will not be accepted.

The Reverend Susan J.
Habib

Signature of Applicant: _____

Digitally signed by The Reverend
Susan J. Habib
Date: 2025.10.20 22:14:54 -04'00'

DEPARTMENT OF PLANNING & SUSTAINABILITY

Authorization of a Second Party to Apply for a Certificate of Appropriateness

This form is required if the individual making the request is **not** the owner of the property.

I/ We: _____

being owner(s) of the property at: _____

hereby delegate authority to: _____

to file an application for a certificate of appropriateness in my/our behalf.

Signature of Owner(s): _____

Date: _____

Please review the following information

Approval of this Certificate of Appropriateness does not release the recipient from compliance with all other pertinent county, state, and federal regulations.

Before making any changes to your approved plans, contact the preservation planner via email. Some changes may fall within the scope of the existing approval, but others will require review by the preservation commission. **If work is performed which is not in accordance with your certificate, a Stop Work Order may be issued.**

If your project requires that the county issue a Certificate of Occupancy at the end of construction, an inspection may be made to verify that the work has been completed in accord with the Certificate of Appropriateness. If the work as completed is not the same as that approved in the Certificate of Appropriateness you will not receive a Certificate of Occupancy. You may also be subject to other penalties including fines and/or required demolition of the non-conforming work.

If you do not commence construction within twelve months of the date of approval, your Certificate of Appropriateness will become void and you will need to apply for a new certificate if you still intend to do the work.

DEPARTMENT OF PLANNING & SUSTAINABILITY

DEKALB COUNTY HISTORIC PRESERVATION COMMISSION

2025 Calendar

This calendar is subject to change. Please visit the Department of Planning and Sustainability website for the current calendar, agenda, and applications.

<u>Applications Accepted</u>	<u>Filing Deadline</u>	<u>Sign Must Be Posted</u>	<u>HPC Meeting Date</u>	<u>Last Date to File Appeal (approximate)</u>
December 16	December 30	January 10	January 21	February 5
January 13	January 27	February 7	February 18	March 5
February 10	February 24	March 7	March 18	April 2
March 10	March 24	April 11	April 21	May 6
April 7	April 28	May 9	May 19	June 3
May 12	May 26	June 6	June 16	July 2
June 9	June 23	July 11	July 21	August 5
July 14	July 28	August 8	August 18	September 2
August 11	August 25	September 5	September 15	September 30
September 8	September 22	October 10	October 20	November 4
October 13	October 27	November 7	November 17	December 2
November 10	November 24	December 5	December 15	January 2
December 15	December 29	January 9	January 20	February 5

Tuesday meeting due to holiday

DEPARTMENT OF PLANNING & SUSTAINABILITY

How to Obtain a Certificate of Appropriateness

1. Contact the DeKalb County Department of Planning and Sustainability for an application form. You may make your request by emailing **plansustain@dekalbcountyga.gov** AND **pvjennings@dekalbcountyga.gov**.
2. Complete and submit the application via email. Please provide as much supporting material as possible, (plans, material, color samples, photos, etc.). All documents must be in PDF format except for photographs, which may be in JPEG format. Applications are accepted for a 10-day period each month. See page 3(HPC Calendar). **Email the application and supporting documents to plansustain@dekalbcountyga.gov AND pvjennings@dekalbcountyga.gov**. If all documents are not provided the application will not be complete and will not be accepted.
3. Once the application has been received, the Administrative Specialist for the Department of Planning and Sustainability will provide a sign template and instructions on how to post the required signage on the property at least ten days before the preservation commission meeting. If the applicant does not post the required signage and provide evidence of posting within ten days before the preservation commission meeting, their application may be deferred or denied due to improper public notification.
4. The Preservation Planner may visit the property as part of their review. The commission members may view the property from the right-of-way.
5. Applications will be reviewed by the DeKalb County Historic Preservation Commission at its monthly meeting. The Historic Preservation Commission meets on the third Monday at 6 p.m., via Zoom. In unusual circumstances meeting dates and location may be changed.
6. The Historic Preservation Commission may approve, approve with modifications or deny an application. The applicant or any affected person as defined by county code may appeal the decision to the DeKalb County Board of Commissioners. Please contact the Department of Planning and Sustainability if you wish to file an appeal. The Historic Preservation Commission is required to make a decision on an application within 45 days of the date of filing, although this time can be extended if the applicant agrees to a deferral.
7. Although not required, applicants are encouraged to attend the Historic Preservation Commission meetings. Applicants may make a presentation, but presentations are not required. The commissioners may have questions for the applicant.
8. Approval of a Certificate of Appropriateness does not release the recipient from compliance with all other county, state and federal regulations.

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Design Checklist for a Certificate of Appropriateness

This checklist was created to help applicants prepare a complete application. Omissions and inaccurate information can lead to deferrals and/or denials of applications. Please review the checklist with the project's architect, designer, or builder. All items will not be applicable to all projects. New construction will involve all categories. One copy of drawings at scale (plus nine reduced sets) should be submitted.

Please address questions regarding applicability to your project to the DeKalb County Preservation Planner at 404-687-3945 or via e-mail at pvjennings@dekalbcountyga.gov.

Applicants are also referred to the DeKalb County website, <http://www.dekalbcountyga.gov/planning-and-sustainability/planning-sustainability>.

I have reviewed the "Design Manual for the Druid Hills Local Historic District".

I have reviewed the DeKalb County Tree Ordinance.

I have reviewed applicable zoning codes regarding lot coverage, garage sizes, stream buffers.

1. General

- a. Label all drawings with the address of the site, owners' name, and contact phone number.
- b. Number all drawings.
- c. Include a graphic scale on reductions.
- d. Date all revisions.
- e. Indicate all unverified numbers with +/- signs
- f. Include photos of the existing condition of the property.

2. Site Plan (existing and proposed) to include:

- a. Topographical plan with significant trees sized and located;
- b. Setback compared to adjacent houses (ask surveyor to show corners of adjacent houses);
- c. Distance between houses;
- d. Façade width to finished face of material;
- e. Grading and elevations across site;
- f. Dirt removal or regrading if more than 18";
- g. Tree protection plan;
- h. Tree removal and replacement plan

3. Driveways and Walkways

- a. Location and relationship to house;
- b. Width;
- c. Material;
- d. Curb cut and apron width

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4. Fences & Retaining Walls

- a. Placement on lot;
- b. Height of fence or wall. If retaining wall, height on both sides;
- c. Material;
- d. Railing if necessary

5. Elevations and Floor Plans: <<Indicate all unverified numbers with +/- signs>>

- a. Plans for all floors (drawn to scale, 1/4"=1' preferred);
- b. House orientation on site plan;
- c. Scalable elevations for front, rear, left, right;
- d. Height, grade to ridge;
- e. Streetscape comparison showing heights of two flanking houses on each side;
- f. Height from grade to first floor level at all four corners;
- g. Height from grade or finished floor line to eaves at all four corners;
- h. Ceiling heights of each floor, indicating if rough or finished;
- i. Height of space between the ceiling and finished floor above;
- j. Two people of 5'-6" and 6' height shown;
- k. Landscaping plan

6. Additions

- a. Placement shown on elevations and floor plan;
- b. Visibility from rights-of-way and paths;
- c. Photos of all facades;
- d. Design proportioned to main house;
- e. Landscaping plan;
- f. Materials and their combinations

7. Roof Plan

- a. Shape and pitch of roof;
- b. Roofing material;
- c. Overhang;
- d. Louvers and vents;
- e. Chimney height and material

8. Dormers

- a. Construction details provided;
- b. Shape and size of dormer (show dimensions on drawings);
- c. Overhang;
- d. Size of window(s), with nominal size of sash (show dimensions on drawings)

9. Skylights

- a. Profile;
- b. Visibility from right-of-way;
- c. Material (plastic lens or glass);
- d. Shown in plan and elevation to scale

10. Façade

- a. Consistency in style;
- b. Materials and their combinations
 - brick size and color
 - stone type and color
 - fiber-cement (e.g., Hardie-plank) or wood siding
 - shake or shingle
 - other
- c. Height of foundation at corners;
- d. Ceiling heights comparable to area of influence: basement, first floor, second floor;
- e. Detailing: soldier course, brackets, fascia board; water table;
- f. Height from grade to roof ridge;
- g. Dimensions, proportions and placement of windows, doors

11. Entrance

- a. Height and width of door;
- b. Design of door (e.g., 6-panel, craftsman);
- c. Material of door;
- d. Overhang;
- e. Portico height;
- f. Size and height of columns or posts;
- g. Railing

12. Windows

- a. Consistent with original as well as the area of influence;
- b. Size and proportion similar to original;
- c. Pane orientation and size similar to original;
- d. Type (e.g., double hung, casement);
- e. Fenestration on walls visible from right-of-way;
- f. Simulated divided light (SDL) or true divided light (TDL): location of muntins between the glass, behind the glass or permanently affixed on exterior;
- g. Material of window and any cladding;
- h. Width of muntins compared to original (show dimensions on drawings);
- i. Shutters or canopies
- j. Dimensions of windows and doors.

13. Materials

- a. Show all materials and label them on drawings;
- b. Provide samples of brick or stone;
- c. Provide samples if new or unusual materials

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14. Garages / Accessory Buildings

- a. Visibility from street;
- b. Placement on site;
- c. Scale, style appropriate for house;
- d. Show dimensions on drawings;
- e. Materials;
- f. Square footage appropriate for lot size;
- g. Garage door size and design
- h. Show height from grade to eaves and to top of roof

15. Demolitions

- a. Provide documentation from engineer concerning feasibility of rehabilitation;
- b. Provide photographs of structure to be demolished;
- c. Provide plan for proposed redevelopment

Application Process Checklist

This checklist is to ensure that applicants understand the Certificate of Appropriateness (COA) application process from beginning to end. Please verify that you have read over the process shown below and understand the procedures and timeline that will be followed for all submitted COA applications.

- Applications may only be submitted during the period specified on the calendar for each month. Once the filing deadline has passed and that period has expired, **no new applications will be accepted** to be heard at that month's commission meeting. If an application has not been submitted before the filing deadline, it cannot be submitted again until the next period for applications has opened.
- Additional materials submitted after the staff's report have been finalized and posted to the public will not be taken into consideration for the staff report. Staff reports will not be edited once finalized and published – any new materials may be submitted for the record for the commission but will not affect the staff's report for the application.
- Any additional materials submitted after the staff's report has been finalized and posted to the public may be added to the record for the historic preservation commission to review as supplemental materials for the submitted application. Supplemental materials includes:
 - Representative photos
 - Letters of support/opposition
 - Architectural drawings
 - Updated site plans

Supplemental materials **do not** include documents for new work to be added to the already submitted application. Any materials that propose new work that was not included in the original application, will not be added to the record. Any proposed new work that was not included in the original application will need to be included in a new application to be submitted for next month's commission meeting.

I have reviewed the information above and understand the Certificate of Appropriateness process.

I have reviewed the HPC calendar.



FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID 13089C0062K, EFFECTIVE DATE: 8/15/2019 ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.



IF YOU DIG GEORGIA...
CALL US FIRST
1-800-282-7411
770-623-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER
IT'S THE LAW

SSMH1
TOP=969.67
BEGINNING
INV OUT=963.57

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY,
DEVELOPER AND ARCHITECT TO CONFIRM
ZONING DISTRICT,PER ZONING DEPARTMENT.

PROPERTY IS ZONED R-75
Druid Hills Historic District
DEKALB COUNTY

BUILDING SETBACK
FRONT: 45.0' AS PER ZONING
47.8' AVERAGE MAY APPLY
SIDE: 7.5'
REAR: 40.0'
MAX. LOT COVERAGE 35%
MAX. BUILDING HEIGHT 35'

FRONT AVERAGE SETBACK
CALCULATIONS (MAY APPLY)

1337 - 45.7'

1349 - 49.9'

1343 = (45.7' + 49.9') / 2 = 47.8'

ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

HISTORIC DISTRICT NOTE:

SETBACKS ARE SHOW AS PER DEKALB COUNTY, GA CODE
OF ORDINANCE. CHAPTER 27/ ARTICLE 2/ SEC.
2.1.1.-DISTRICTS ESTABLISHED. / R-75 (RESIDENTIAL
MEDIUM LOT-75) DISTRICT.
OWNER PRIOR TO DEVELOPMENT OR RENOVATION PROJECT
MUST CHECK WITH HISTORICAL COMMITTEE FOR SETBACKS
AND OTHER REQUIREMENTS

SURVEY NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY. LOCATE BURIED UTILITIES BEFORE EXCAVATIONS ARE BEGUN. TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES ARE REQUESTED TO ADVISE SURVEYOR OF ANY CHANGES TO THEIR RECORDS.
2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
3. THIS SURVEY HAS MADE NO INVESTIGATION OR SEARCH FOR EASEMENTS OR RECORD RECORDED AND NOT RECORDED ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MIGHT DISCLOSE.
4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON INTERESTED IN THE PROPERTY IS ADVISED TO OBTAIN A CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH THE ZONING OFFICE OF THE COUNTY OF CLATSOP, ETC. THE SURVEYOR CANNOT GUARANTEE IT IS CORRECT. THE SURVEYOR DOES NOT WARRANT THE DATA VERIFICATION IS OBTAINED WITH THE ISSUING AUTHORITY. IT IS RECOMMENDED THAT THE CLIENT USER THIS DATA VERIFICATION WITH THE ISSUING AUTHORITY.
6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RE-CERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.
7. PRESENCE OF STATE WATERS AND BUFFERS REQUIREMENT ARE SUBJECT TO COUNTY OF CLATSOP DETERMINATION BY ENVIRONMENTAL.

* L E G E N D *

APP	AS PER PLAT
APD	AS PER DEED
APF	AS PER FIELD
AI	ANGLE IRON FOUND
AS	AS PER PLAN
BB	BOTTOM BANK
BC	BACK OF CURB
BLK	BLOCK
BLR	BUILDING SETBACK
BRK	BRICK
BSMT	BASEMENT
CBSX	CABLE BOX
CBL	CABLE LINE
CC	CONCRETE
CCB	CATCH BASIN
CL	CENTER LINE
CLF	CHAIN LINK FENCE
CLM	CENTERLINE META
C.O.A	CITY OF ATLANTA
CO	CLEAN OUT
CD	CADESTRAL MAP
CRW	CRAWL SPACE
CPT	CARPOT
D	DEED
DE	DRAINAGE EASEMENT
EB	DRAINAGE INLET
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EWCK	ELEVATED WOOD DECK
FC	FENCE CORNER
FR	FIRE HYDRANT
FR	FRAME
GL	GAS LINE
GL	GAS METER
GV	GAS VALVE
GW	GROUND WIRE
HP	HEAD WALK
HW	HARDWOOD TREE
IP	IRON PIN
IPF	IRON PIN FOUND
IR	IRON ROD
IRF	IRON ROD FOUND

IWP	INTERLOCKING CONCRETE PAVERS
IP	INTERLOCKING WOOD PAVERS
IV	IRRIGATION VALVE
IWM	IRRIGATION WHEEL
JB	JUNCTION BOX
JLL	LAND LOT LINE
MAG	MAGNETIC READING IP
MGN	MAGNOLIA TREE
MH	MAN HOLE
MTF	METAL FENCE
N	N'BORS
OH	OVERHANG
OTU	OPEN TOP PIPE FOUND
OP	OWNERSHIP UNCLEAR
P	PORCH
(P)	PLAT
PC	PROPERTY CORNER
PL	PROPERTY LINE
PN	PINE TREE
PB	POINT OF BEGINNING
PCC	POINT OF COMMENCING
PP	POWER POLE
PW	POWER LINE
R	RECORD
PVC	POLYVINYL CHLORIDE PIPE
RBF	REINFORCING BAR FOUND
RBS	REINFORCING BAR SET
RCF	REINFORCED CONC. PIPE
SN	STREET-OF-WAY SIGN
SSL	SANITARY SEWER LINE
SSE	SANITARY SEWER EASEMENT
SP	SCREENED POLE
SW	SIDEWALK
UB	TOP OF BANK
UE	UTILITY EASEMENT
WD	WOOD
WDF	WOOD FENCE
WDK	WOOD DECK
WL	WATER LINE
WM	WATER METER
WRF	WIRE FENCE
WV	WATER VALVE
WW	WET WEATHER
W/	WITH/

* SYMBOLS *

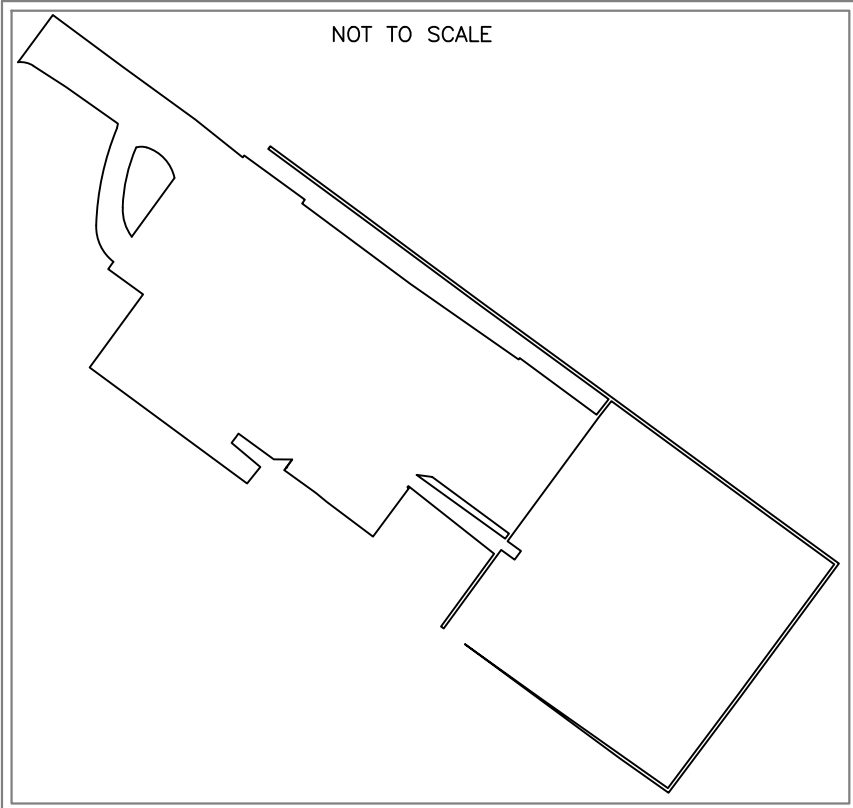
- | | |
|---|------------------------|
|  | ELECTRIC PANEL/METER |
|  | WATER METER |
|  | AIR CONDITIONER |
|  | GAS METER |
|  | JUNCTION BOX |
|  | SANITARY SEWER MANHOLE |
|  | STORM MANHOLE |
|  | TRAFFIC/INFO SIGN |
|  | GAS MARKER |
|  | LAMP POST |
|  | WATER VALVE |
|  | HEADWALL |
|  | STAIRS |
|  | DRAINAGE INLET |
|  | FIRE HYDRANT |
|  | MAIL BOX |
|  | SINGLE STEM |
|  | MULTI STEM |

* LINE INDICATORS *

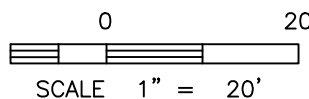
SS — SS — SS
INDICATES SANITARY SEWER LINE
P — P — P
INDICATES POWER LINE
W — W — W
INDICATES WATER LINE
GAS — GAS — GAS
INDICATES GAS LINE
X — X — X
INDICATES FENCE LINE
— — — — —
INDICATES DRAINAGE LINE
— — — — —
BURIED POWER/CABLE LINE
— — — — —
AT&T BURIED LINE

EXISTING LOT COVERAGE DETAIL

NOT TO SCALE



THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT, COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. ANY SIGNATURE OF ANY OTHER PARTY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITE PLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS. ANY CHANGES TO ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.



LOT 2		BLOCK 31	
DRUID HILLS SUBDIVISION		UNIT	
LAND LOT 54		SECTION	
DEKALB COUNTY, GEORGIA		DB.21196/PG.355 PB.7/PG.77	
FIELD WORK DATE JULY 24, 2025		PRINTED/SIGNED JULY 29, 2025	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 18" x 24"	
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER 100,000+ FEET, AND A LINE ERROR OF 1/16" PER 100,000+ FEET. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. THE GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500 FEET OF ANY CORNER.			
LK COORD #20210461 DWG #20251154		SURVEY LAND EXPRES LAND SURVEYING SERVICE	

EXISTING CONDITIONS SURVEY PREPARED FOR:

SUSAN HABIB

SHEET 1 OF 1

PROPERTY ADDRESS:
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

A circular professional seal for a Georgia Registered Professional Land Surveyor. The outer ring contains the text "GEORGIA REGISTERED" at the top and "LAND SURVEYOR" at the bottom. The center of the seal features the text "No. 3197" and "PROFESSIONAL" in a bold, sans-serif font. Below this, the name "EUGENE A. STEPANOV" is written in a smaller, serif font. The seal is stamped in black ink on a white background. A handwritten signature, "Eugene A. Stepanov", is written across the seal in black ink. A wavy line is drawn across the right side of the seal.

TOTAL LAND AREA
11999.99 SF / 0.275 AC

ALLOWABLE LOT COVERAGE
4200.00 SF / 0.096 AC / 35%
EXISTING LOT COVERAGE
5358.66 SF / 0.123 AC / 44.7%

SURVEY LAND EXPRESS, INC

LAND SURVEYING SERVICES

24 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION
OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY
WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

HABIB RESIDENCE

DEKALB COUNTY

SINGLE FAMILY DWELLING - RENOVATION

SUSAN & MATTHEW HABIB



GENERAL NOTES:	CODE INFORMATION:	ABBREVIATIONS:	GRAPHIC SYMBOLS:
1. G.C. SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION TO THE OWNER AND ARCHITECT BY THE G.C. PRIOR TO THE START OF ANY WORK. 2. G.C. SHALL COORDINATE ALL WORK TO BE PERFORMED. G.C. IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER. 3. G.C. SHALL REMOVE ALL DEBRIS AND LEAVE JOB SITE CLEAN UPON COMPLETION OF WORK. 4. G.C. SHALL BEAR FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING: - ALL PERMITS, LICENSES, AND FEES. 5. PRIOR TO BEGINNING WORK THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR TO ANY UTILITIES AS A RESULT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR REPAIRS AND ALL COSTS. 6. CONSULT WITH OWNER FOR ALL EQUIPMENT, FIXTURE, & FINISH SELECTIONS. 7. ELECTRICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL ELECTRICAL SYSTEMS, PANELS, AND EQUIPMENT INCLUDING SIZE OF SERVICE AND LOCATION OF EQUIPMENT. ALL OUTLETS AT KITCHEN COUNTERTOPS TO BE AFCI GFCI COMBINATION. 8. MECHANICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL MECHANICAL SYSTEMS INCLUDING SIZE OF DUCTS, TYPE AND SIZE OF MECHANICAL EQUIPMENT AND LOCATION OF ALL EQUIPMENT. 9. PLUMBING CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL PLUMBING SYSTEMS INCLUDING TYPE, SIZE, AND LOCATION OF COMPONENTS ASSOCIATED WITH PLUMBING SYSTEMS	PROJECT DESCRIPTION SINGLE FAMILY DWELLING - RENOVATION JURISDICTION DEKALB COUNTY APPLICABLE CODES INCLUDE AND NOT LIMITED TO: 2018 INTERNATIONAL BUILDING CODE W/ GA AMENDMENTS 2020, 2022, 2024, 2025 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO-FAMILY DWELLINGS W/ GA AMENDMENTS 2020, 2024 2018 INTERNATIONAL PLUMBING CODE W/ GA AMENDMENTS 2020, 2022, 2023, 2024 2018 INTERNATIONAL MECHANICAL CODE W/ GA AMENDMENTS 2020, 2024 2018 INTERNATIONAL FUEL GAS CODE W/ GA AMENDMENTS 2020, 2024 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ GA AMENDMENTS 2020, 2022, 2023 2018 INTERNATIONAL EXISTING BUILDING CODE W/ GA AMENDMENTS 2018 INTERNATIONAL FIRE CODE W/ GA AMENDMENTS (CONTACT STATE FIRE MARSHAL) 2023 NFPA NATIONAL ELECTRICAL CODE W/ GA AMENDMENTS 2021 2018 NFPA LIFE SAFETY CODE W/ 2020 GA AMENDMENTS GEORGIA HANDICAPPED ACCESSIBILITY LAW 120-3-20 FLOOR AREA CALCULATION: SECOND LEVEL 1652 FIRST LEVEL 1694 TOTAL 2801 sq ft BUILDING HEIGHT: TWO STORY: 27'-11" OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE OCCUPANT LOAD: N/A CONSTRUCTION TYPE: TYPE VB DESIGN LOADS: FLOOR: LIVE 20psf DEAD 40psf ROOF: LIVE 20psf DEAD 20psf	AFF. ABOVE FINISHED FLOOR ALUM. ALUMINUM CJ. CONTROL JOINT CL. CENTER LINE CLG. CLEAR CLR. CLEAR CO. CARBON MONOXIDE DETECTOR CONC. CONCRETE CONT. CONTINUOUS DS. DOWNSPOUT EJ. EXPANSION JOINT EP. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT EX. EXTERIOR EXT. EXISTING FD. FLOOR DRAIN FFE. FINISH FLOOR ELEVATION G.C. GENERAL CONTRACTOR GALV. GALVANIZED GYP. BD. GYPSUM BOARD MFR. MANUFACTURER N.I.C. NOT IN CONTRACT P.T. PRESSURE TREATED O.C. ON CENTER REV. REVERSE SD. SMOKE DETECTOR SPECS. SPECIFICATIONS TYP. TYPICAL	1 A-1 DETAIL REFERENCE 1 A-1 SECTION REFERENCE 1 A-1 EXTERIOR ELEVATION REFERENCE 1 A-1 INTERIOR ELEVATION REFERENCE

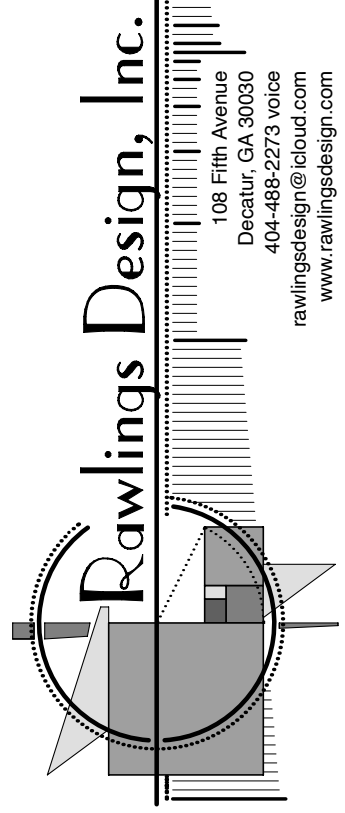
VICINITY MAP



DRAWING INDEX

ARCHITECTURAL

A-1.1	Site Plan
A-1.2	Site Plan
A-2.1	Demolition Plan
A-2.2	Floor Plans
A-2.3	Floor Plans
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A-3.1	Exterior Elevations
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A-3.4	Exterior Elevations
A-4.1	Building Sections
A-4.2	Building Sections



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Revisions

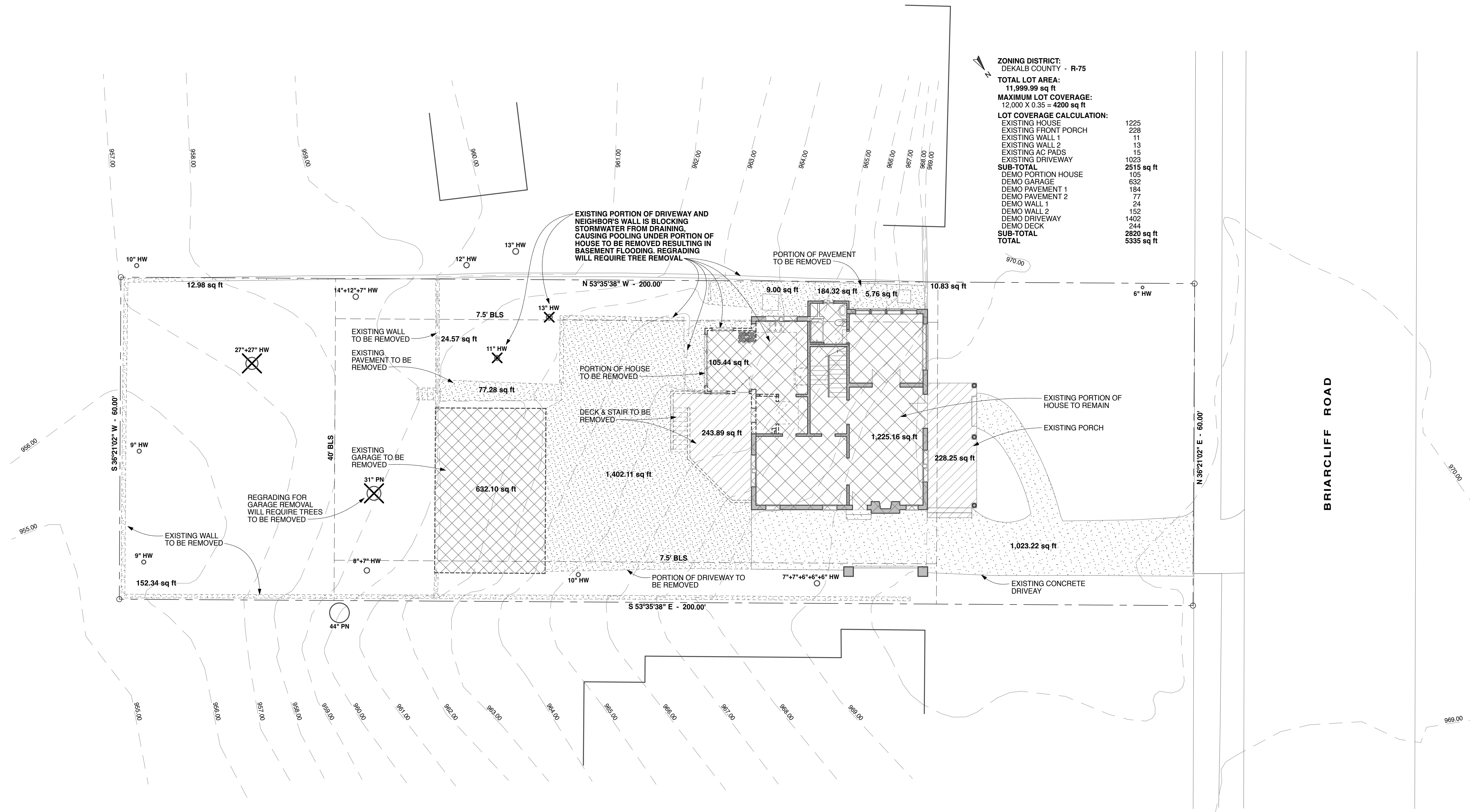
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Project Number:
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HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:



ZONING DISTRICT:
DEKALB COUNTY - R-75

TOTAL LOT AREA:
11,999.99 sq ft

MAXIMUM LOT COVERAGE:
12,000 X 0.35 = 4200 sq ft

LOT COVERAGE CALCULATION:

EXISTING HOUSE	1225
EXISTING FRONT PORCH	228
EXISTING WALL 1	11
EXISTING WALL 2	13
EXISTING AC PADS	15
EXISTING DRIVEWAY	1023
SUB-TOTAL	2515 sq ft
DEMO PORTION HOUSE	105
DEMO GARAGE	632
DEMO PAVEMENT 1	184
DEMO PAVEMENT 2	77
DEMO WALL 1	24
DEMO WALL 2	152
DEMO DRIVEWAY	1402
DEMO DECK	244
SUB-TOTAL	2820 sq ft
TOTAL	5335 sq ft

1 SITE DEMOLITION PLAN
SCALE: 1" = 10'

Rawlings Design, Inc.
108 Elm Avenue
Decatur, GA 30030
404-488-2273 voice
rawlingsdesign@icloud.com
www.rawlingsdesign.com

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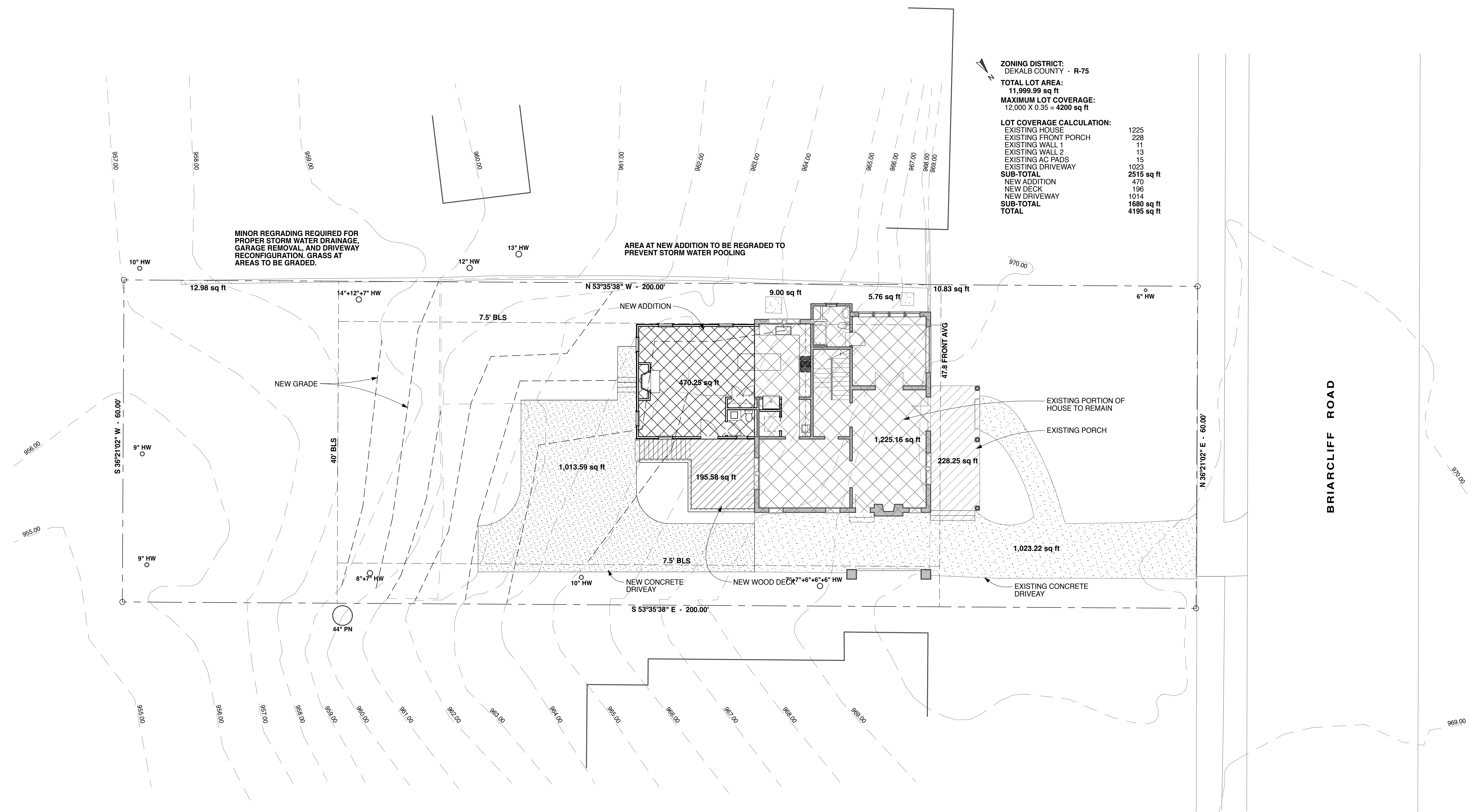
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ATLANTA, GA 30306

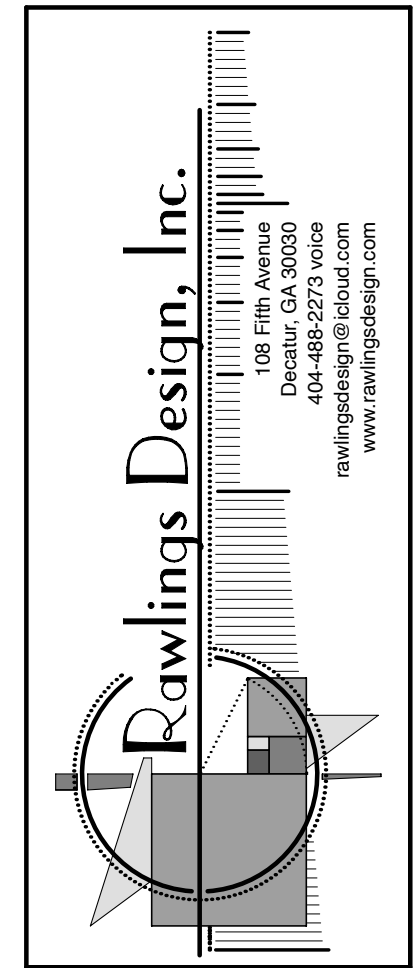
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Drawing Description:
Site Plan

A-1.1



1 SITE PLAN
SCALE: 1" = 10'



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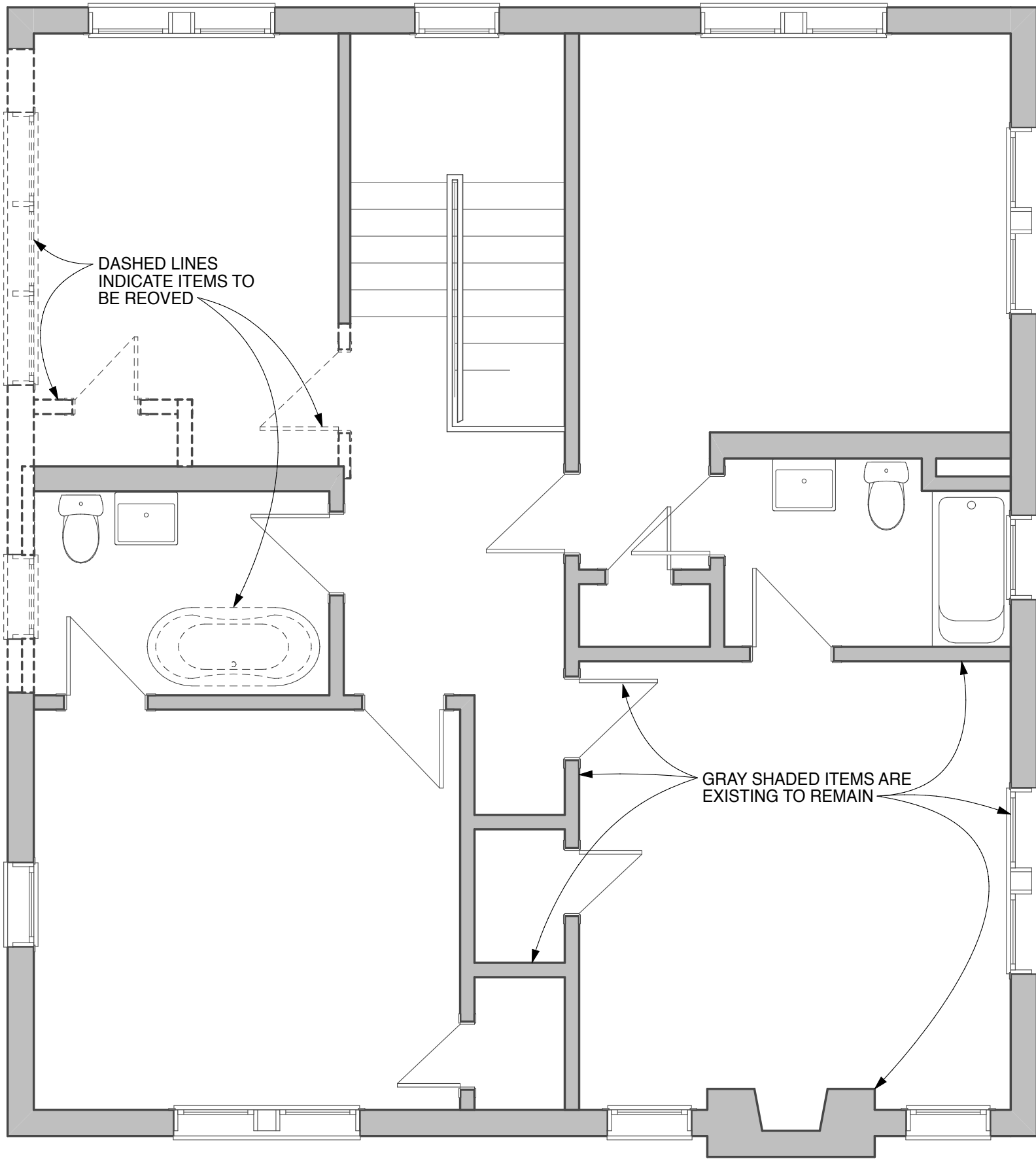
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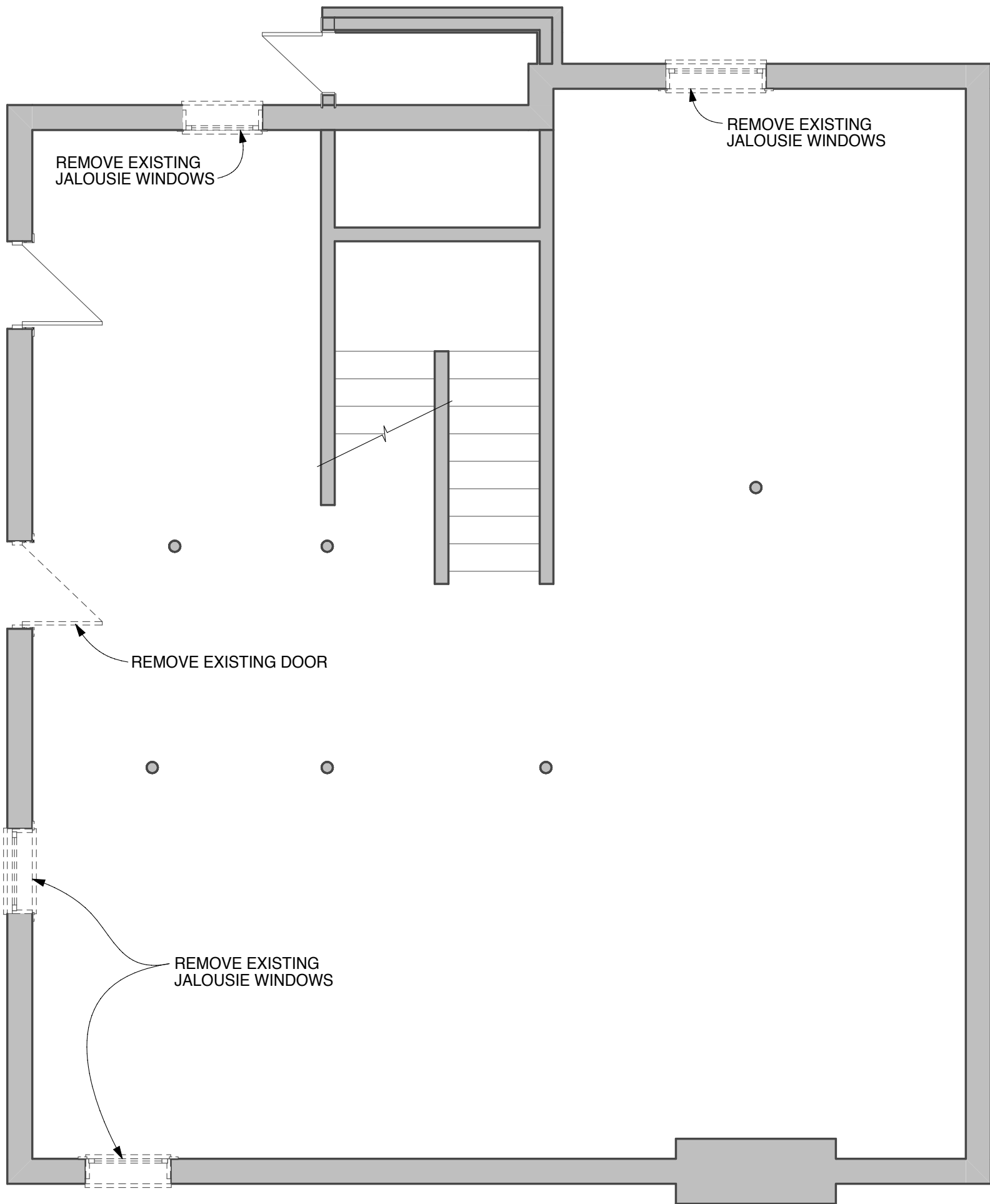
SUSAN & MATTHEW HABIB

Drawing Description:
Site Plan

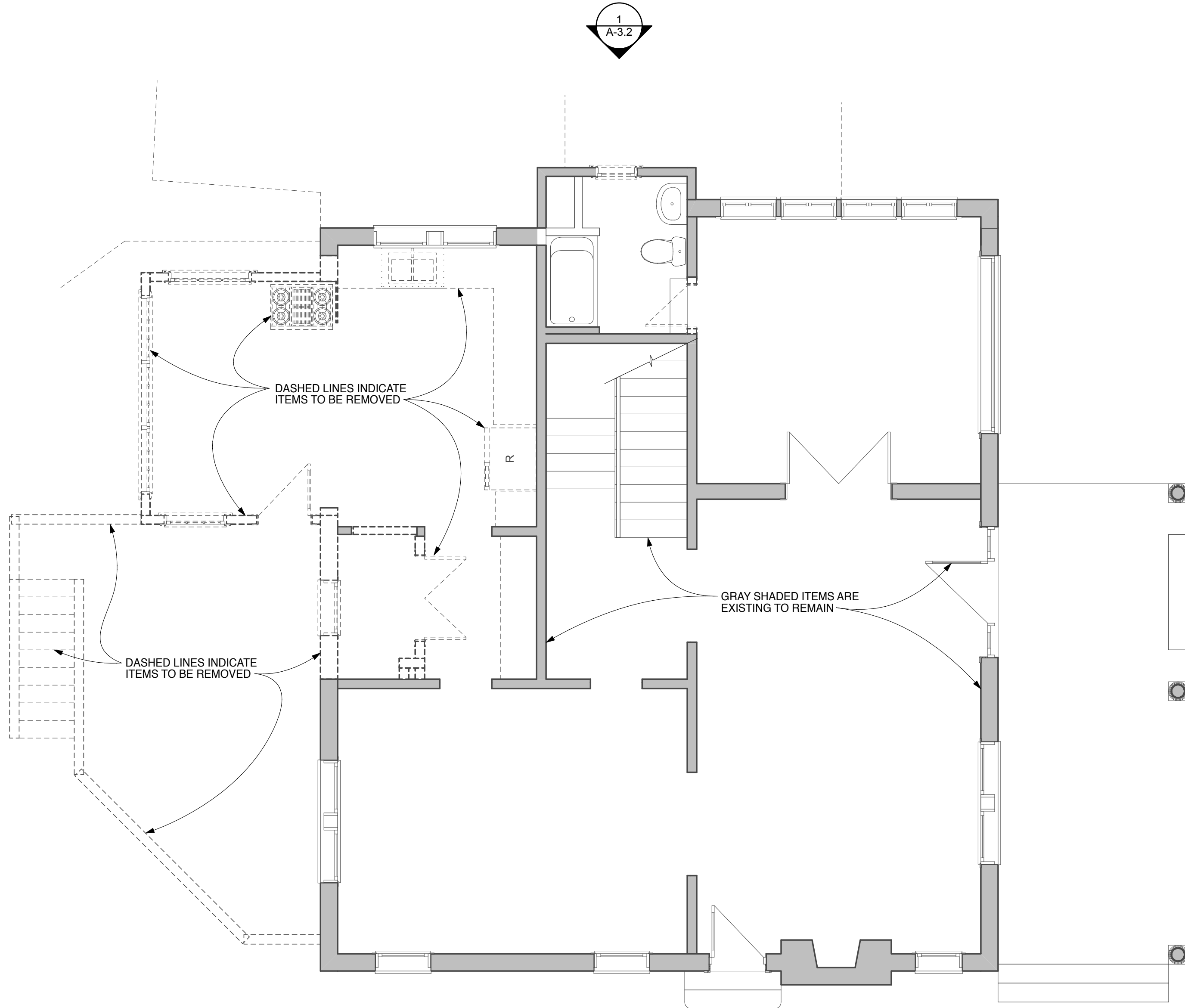
A-1.2



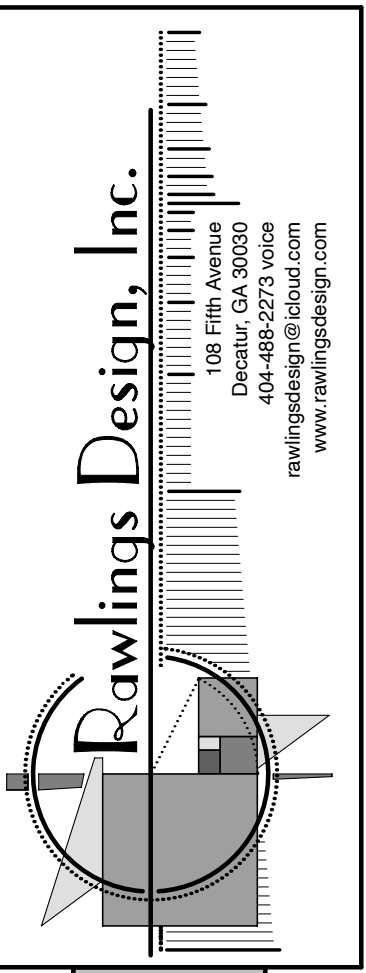
3 SECOND LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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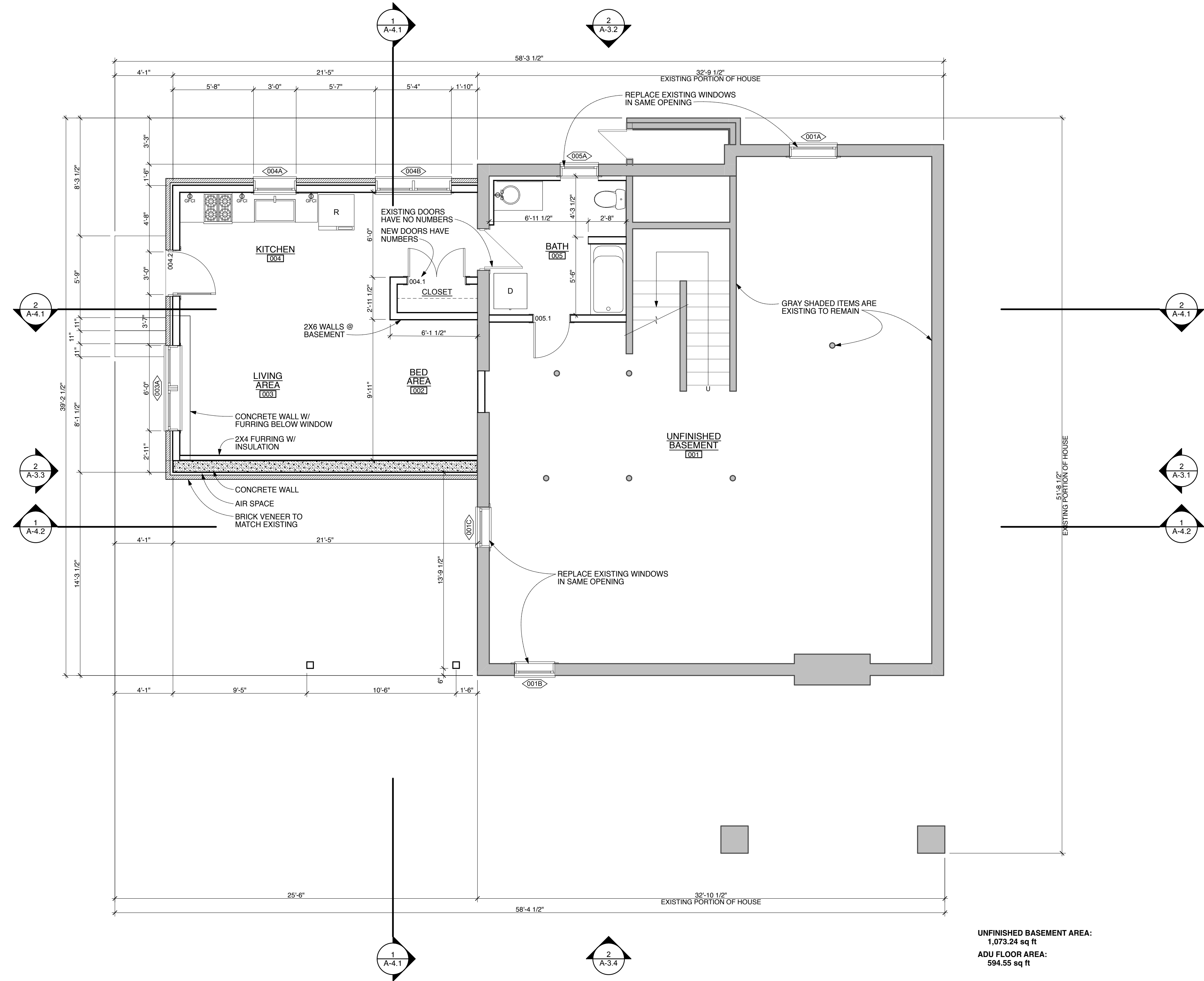
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Drawing Description:
Demolition Plan

A-2.1

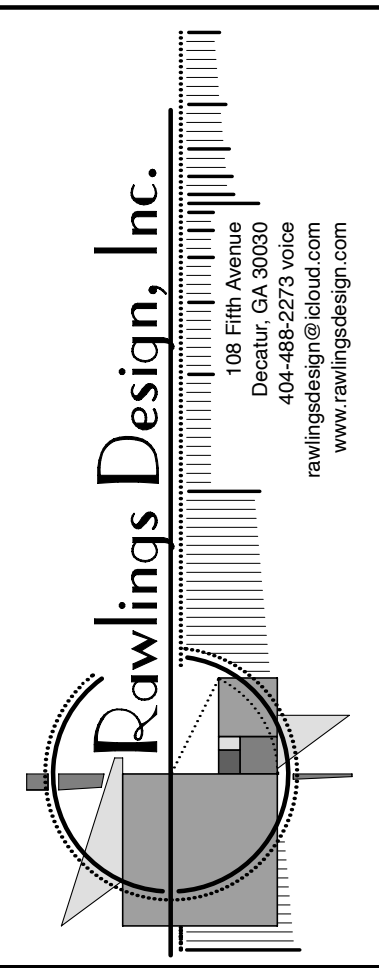
WINDOW SCHEDULE												
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS
								HEAD	JAMB	SILL	MULLION	
001A	3'-4"	2'-8"		FIXED			TEMPERED					
001B	2'-10"	1'-8"		FIXED			TEMPERED					
001C	2'-10"	2'-8"		FIXED			TEMPERED					
003A	6'-0"	3'-6"		DOUBLE HUNG			TEMPERED					
004A	3'-0"	3'-0"		CASEMENT								
004B	5'-4"	5'-2"		DOUBLE HUNG								
005A	2'-8"	3'-0"		CASEMENT			TEMPERED					

DOOR SCHEDULE										
NO.	WIDTH	HEIGHT	DOOR			FRAME				REMARKS
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB	SILL	
004.1	4'-0"	6'-8"								
004.2	3'-0"	6'-8"								
005.1	2'-6"	6'-8"								



1 BASEMENT LEVEL PLAN
SCALE: 1/4" = 1'-0"

UNFINISHED BASEMENT AREA:
1,073.24 sq ft
ADU FLOOR AREA:
594.55 sq ft



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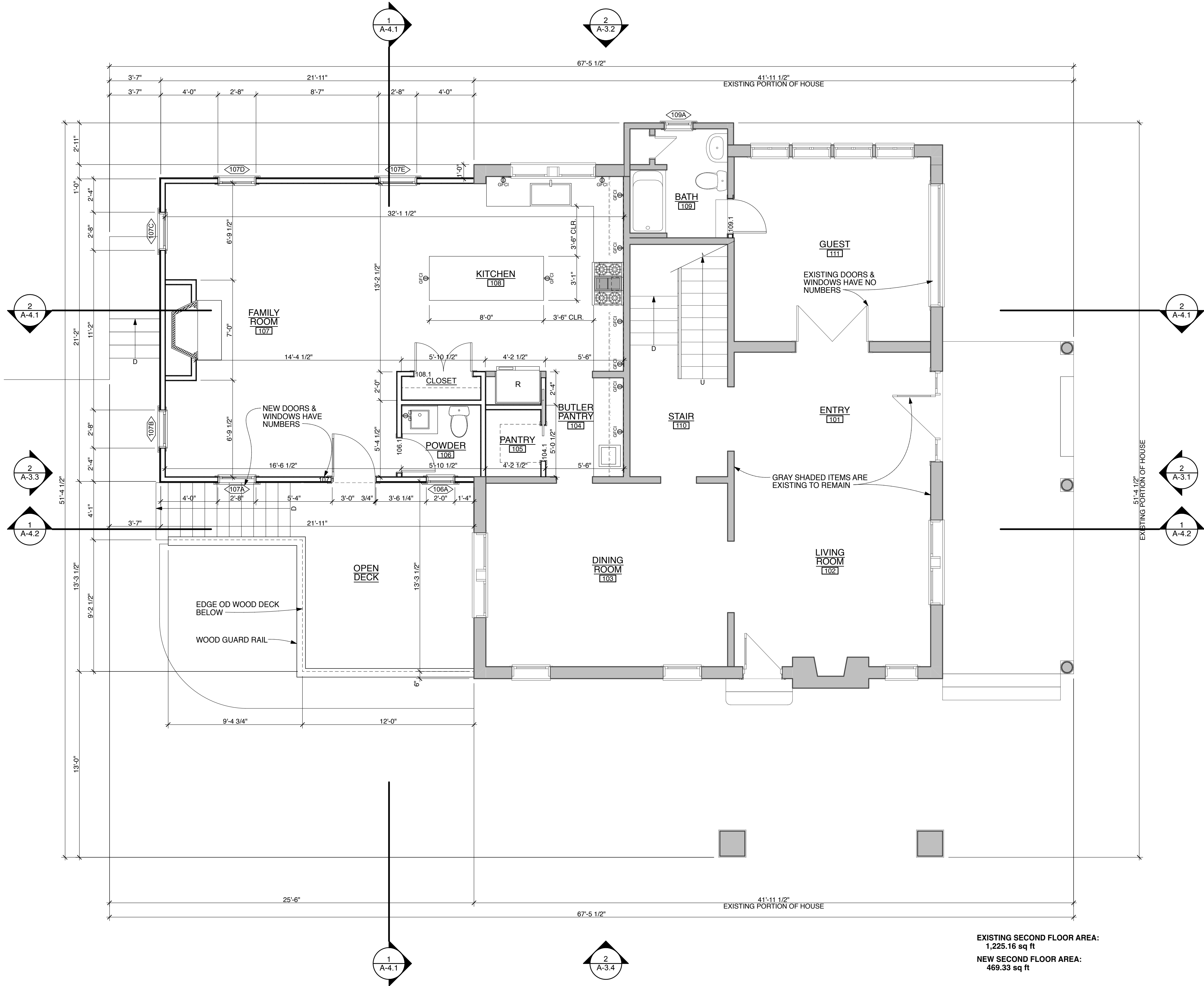
HABIB RESIDENCE
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ATLANTA, GA 30306
SUSAN & MATTHEW HABIB

Drawing Description:
Floor Plans

A-2.2

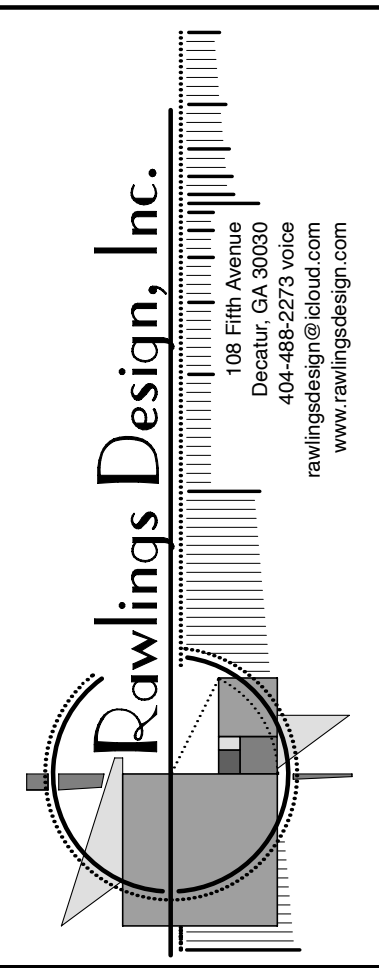
WINDOW SCHEDULE												
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS
								HEAD	JAMB	SILL	MULLION	
106A	2'-0"	3'-6"		FIXED			TEMPERED					
107A	2'-8"	5'-2"		DOUBLE HUNG			TEMPERED					
107B	2'-8"	5'-2"		DOUBLE HUNG								
107C	2'-8"	5'-2"		DOUBLE HUNG								
107D	2'-8"	5'-2"		DOUBLE HUNG								
107E	2'-8"	5'-2"		DOUBLE HUNG								
109A	2'-0"	3'-6"		FIXED								

DOOR SCHEDULE											
NO.	WIDTH	HEIGHT	DOOR			FRAME					REMARKS
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB	SILL	MATERIAL	
104.1	2'-6"	6'-8"									
106.1	2'-4"	6'-8"									
107.1	3'-0"	6'-8"									
108.1	4'-0"	6'-8"									
109.1	2'-4"	6'-8"									



1 FIRST LEVEL PLAN
SCALE: 1/4" = 1'-0"

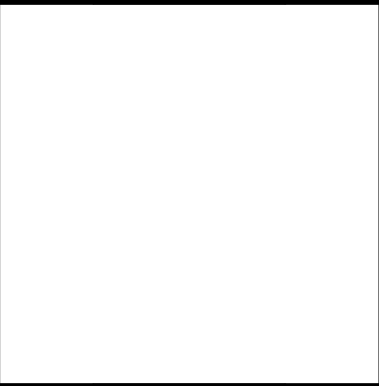
EXISTING SECOND FLOOR AREA:
1,225.16 sq ft
NEW SECOND FLOOR AREA:
469.33 sq ft



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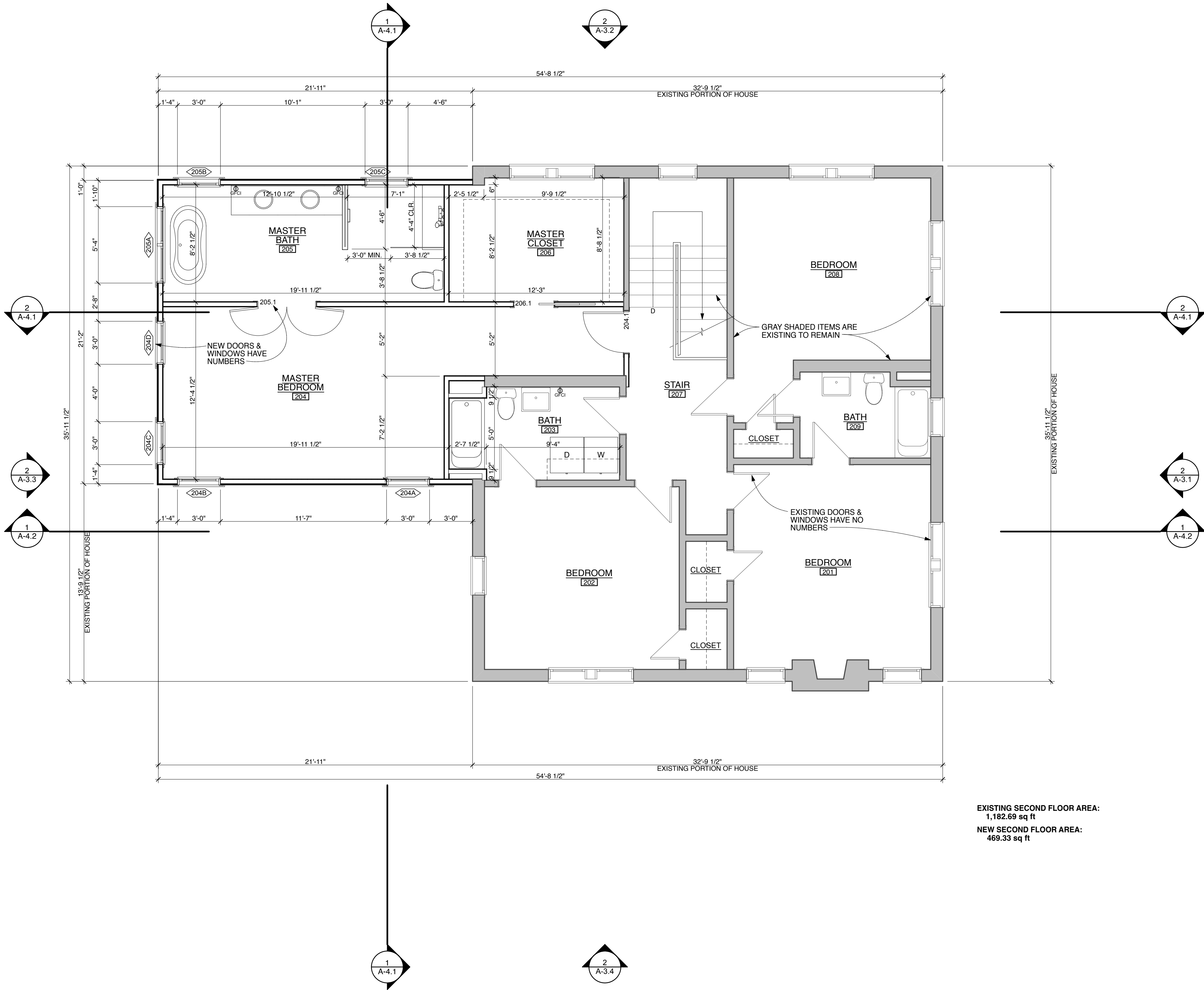
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Drawing Description:
Floor Plans

A-2.3

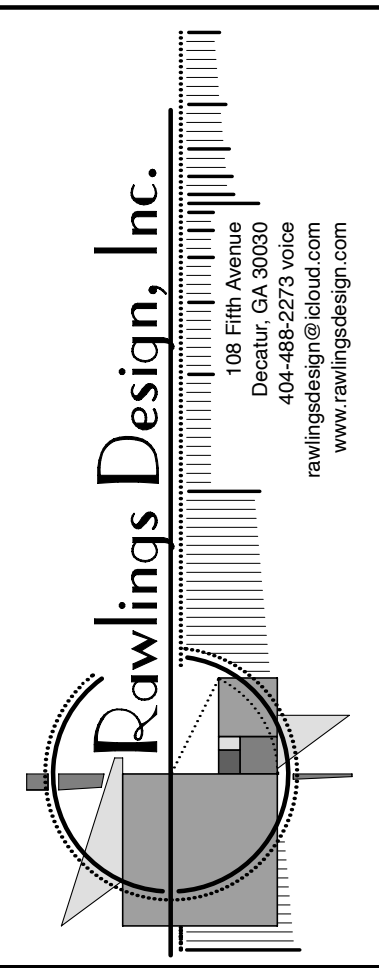
WINDOW SCHEDULE												
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS
								HEAD	JAMB	SILL	MULLION	
204A	3'-0"	5'-2"		DOUBLE HUNG								EGRESS
204B	3'-0"	5'-2"		DOUBLE HUNG								EGRESS
204C	3'-0"	5'-2"		DOUBLE HUNG								EGRESS
204D	3'-0"	5'-2"		DOUBLE HUNG								EGRESS
205A	5'-4"	5'-2"		DOUBLE HUNG			TEMPERED					
205B	3'-0"	5'-2"		DOUBLE HUNG			TEMPERED					
205C	3'-0"	1'-6"		FIXED			TEMPERED					

DOOR SCHEDULE											
NO.	WIDTH	HEIGHT	DOOR			FRAME					REMARKS
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB	SILL	MATERIAL	
204.1	2'-10"	6'-8"									
205.1	4'-0"	6'-8"									
206.1	2'-10"	6'-8"									



EXISTING SECOND FLOOR AREA:
1,182.69 sq ft
NEW SECOND FLOOR AREA:
469.33 sq ft

1 SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0"



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SUSAN & MATTHEW HABIB

Drawing Description:
Floor Plans

A-2.4



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ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

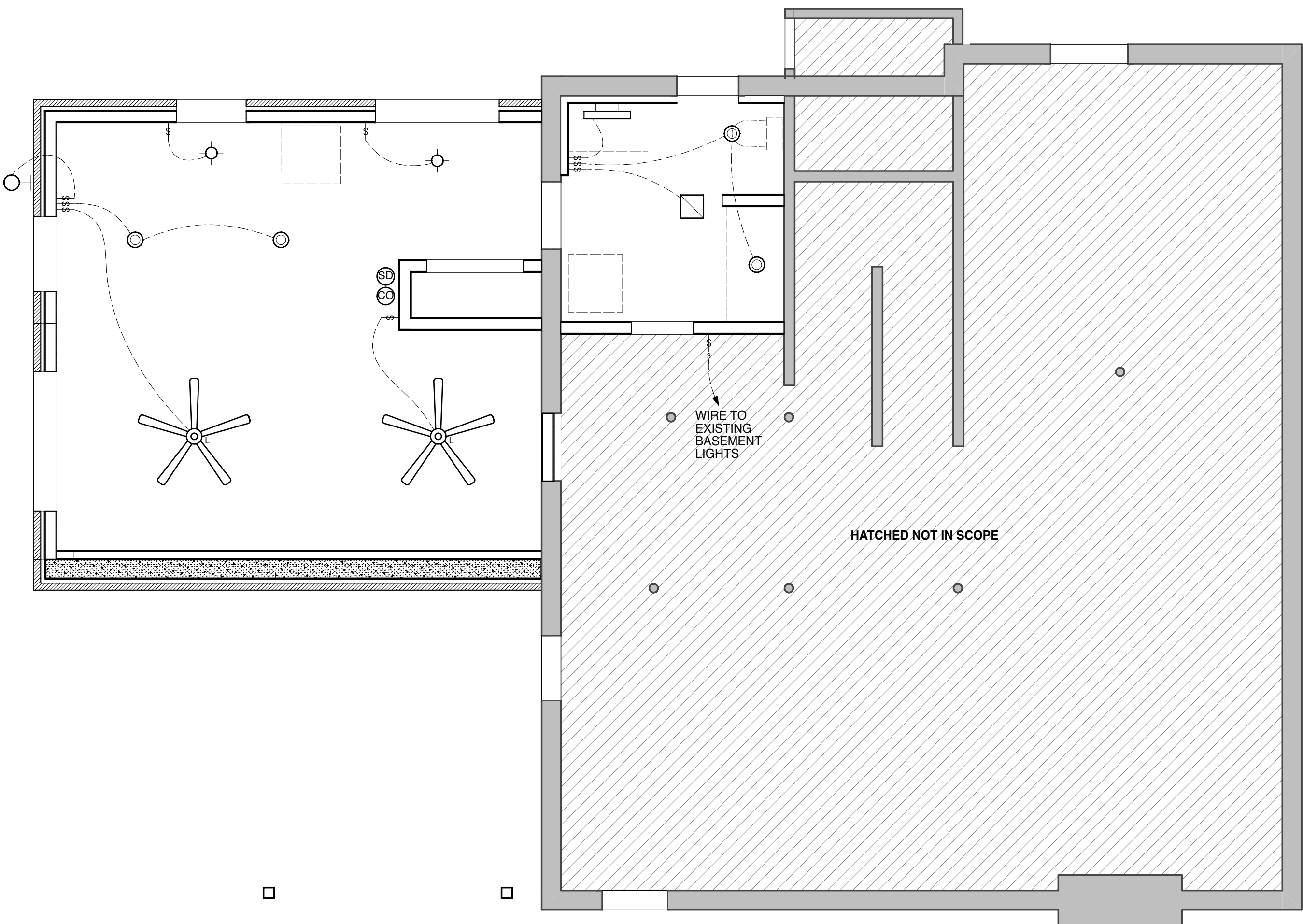
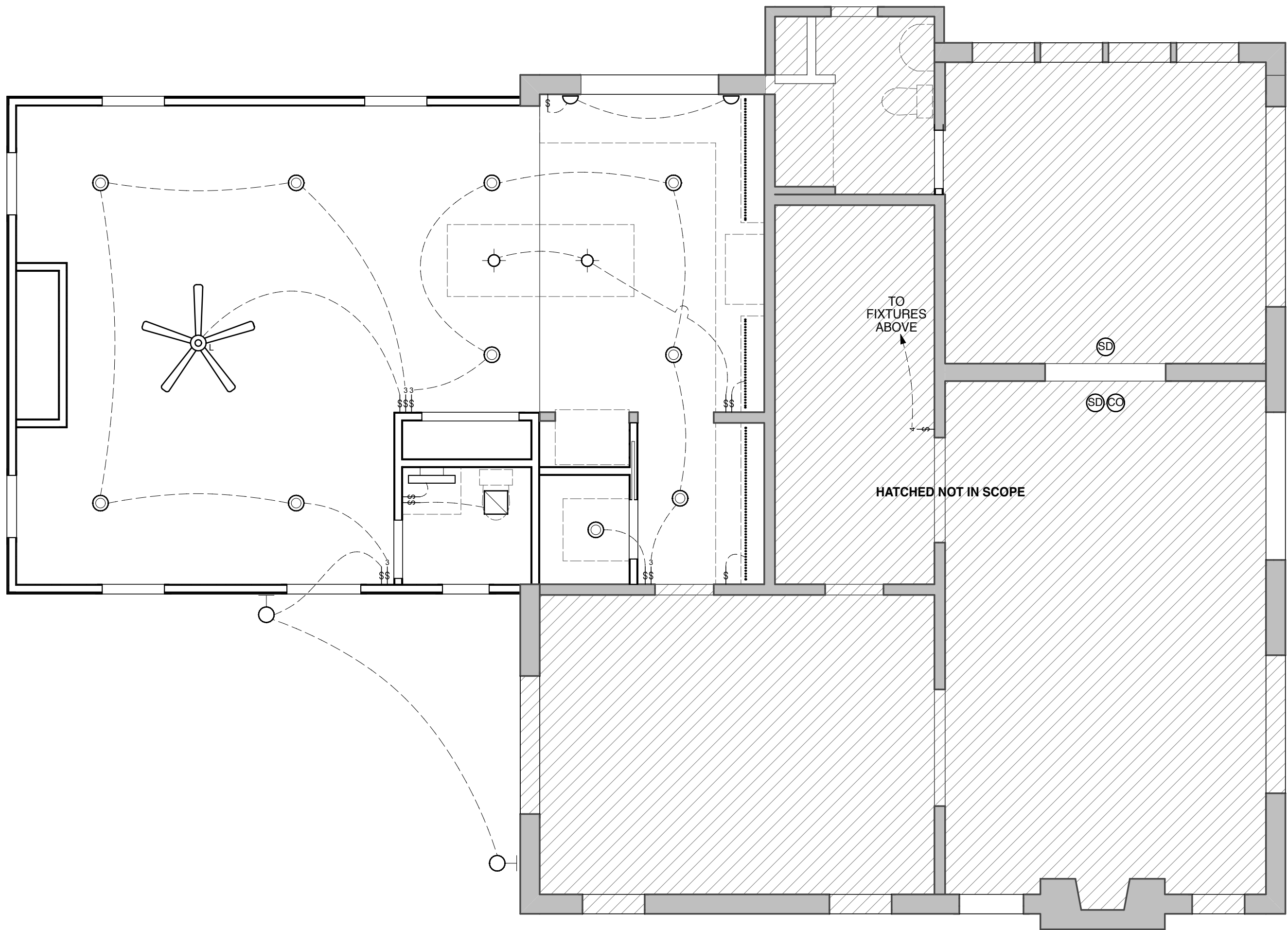
Drawing Description:
Floor Plans

Floor Plans

A-2.5

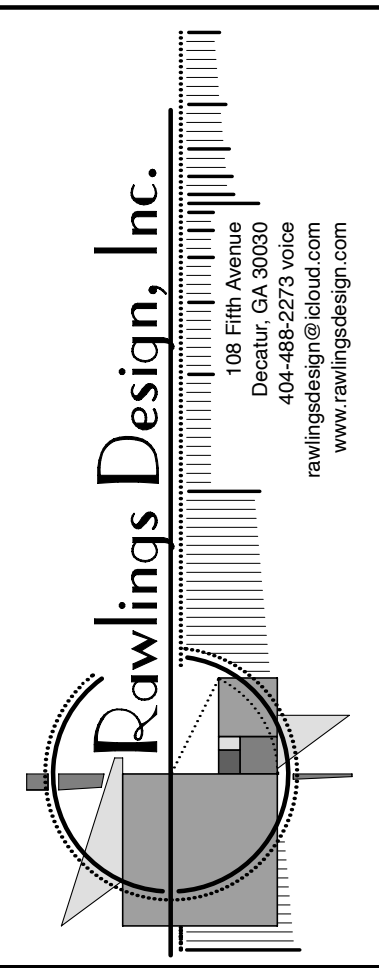
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND		
CAN LIGHT FIXTURE - 6"		⊙
CAN LIGHT FIXTURE - 6" WALL WASHER		◐
CAN LIGHT FIXTURE - 4"		⦿
CAN LIGHT FIXTURE - 4" WALL WASHER		◑
PENDANT LIGHT FIXTURE		⊙—○
VANITY LIGHT FIXTURE		⊙—
WALL MOUNTED FIXTURE		○
WALL MOUNTED SECURITY LIGHT FIXTURE		⚡
WALL SCONSE LIGHT FIXTURE		⌒
LED TAPE/ ROPE LIGHT FIXTURE		—
EXHAUST FAN, "L" INDICATES LIGHT KIT		⊠
SMOKE DETECTOR		SD
CARBON MONOXIDE DETECTOR		CO
JUNCTION BOX		JB
CEILING FAN, "L" INDICATES LIGHT KIT		⊙
LIGHT SWITCH - SINGLE, 3 WAY, 4 WAY, JAMB SWITCH		⚡



2 FIRST LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

1 BASEMENT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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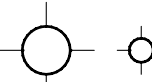
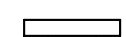
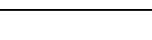
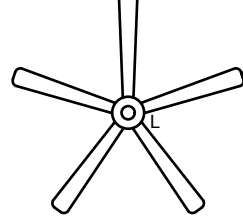
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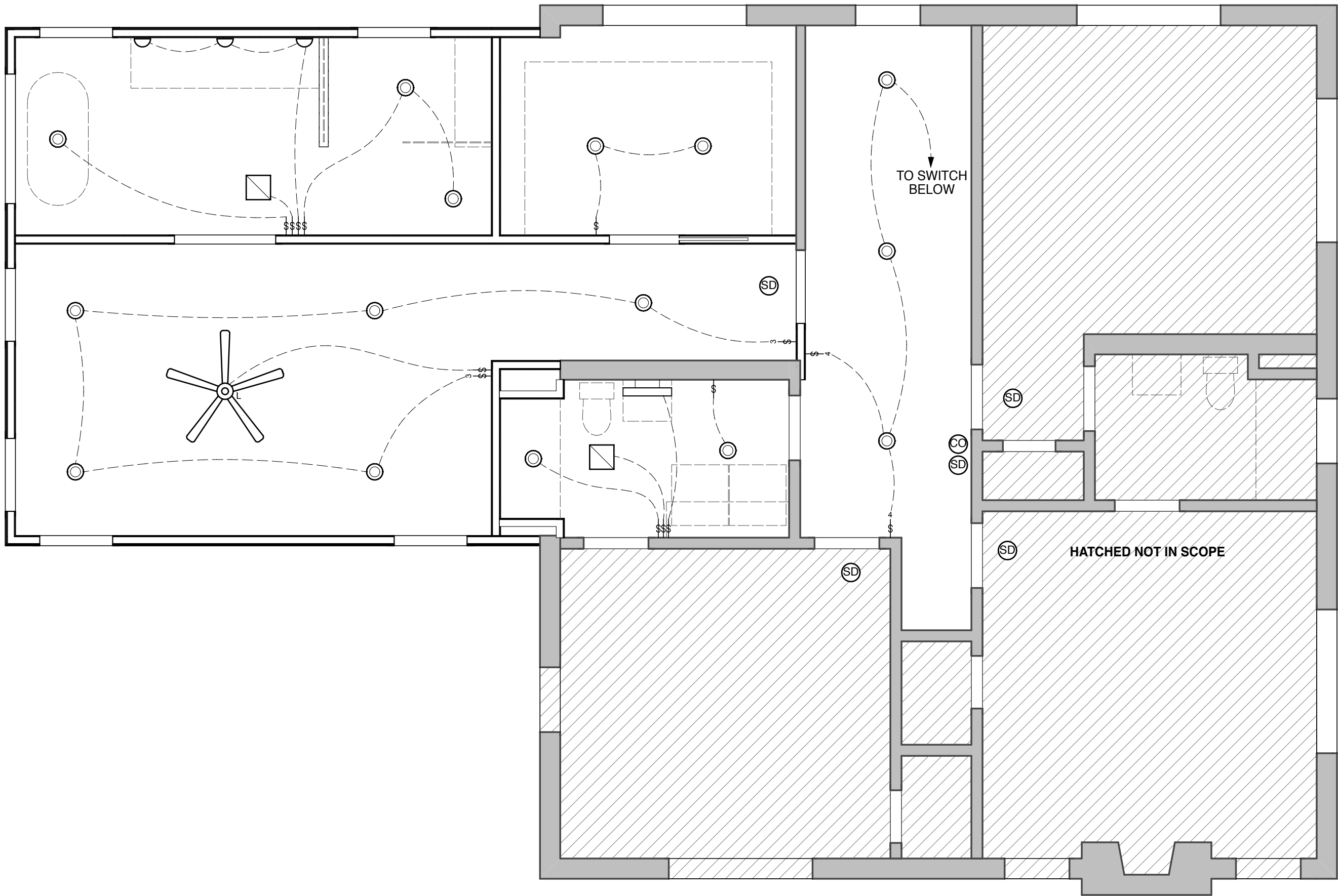
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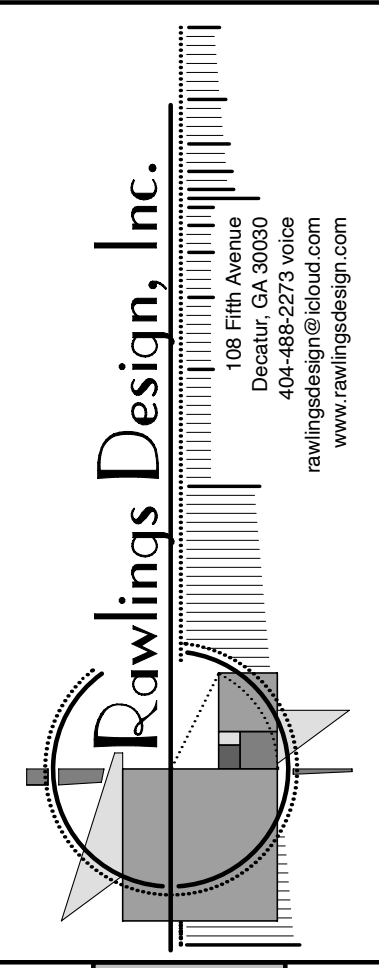
Drawing Description:
Reflected Ceiling Plans

A-2.6

REFLECTED CEILING PLAN LEGEND		
CAN LIGHT FIXTURE - 6"		
CAN LIGHT FIXTURE - 6" WALL WASHER		
CAN LIGHT FIXTURE - 4"		
CAN LIGHT FIXTURE - 4" WALL WASHER		
PENDANT LIGHT FIXTURE		
VANITY LIGHT FIXTURE		
WALL MOUNTED FIXTURE		
WALL MOUNTED SECURITY LIGHT FIXTURE		
WALL SCONSE LIGHT FIXTURE		
LED TAPE/ ROPE LIGHT FIXTURE		
EXHAUST FAN, "L" INDICATES LIGHT KIT		
SMOKE DETECTOR		
CARBON MONOXIDE DETECTOR		
JUNCTION BOX		
CEILING FAN, "L" INDICATES LIGHT KIT		
LIGHT SWITCH - SINGLE, 3 WAY, 4 WAY, JAMB SWITCH		



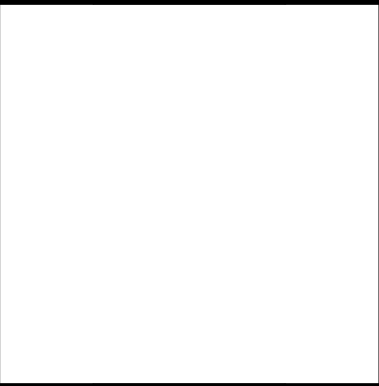
1 SECOND LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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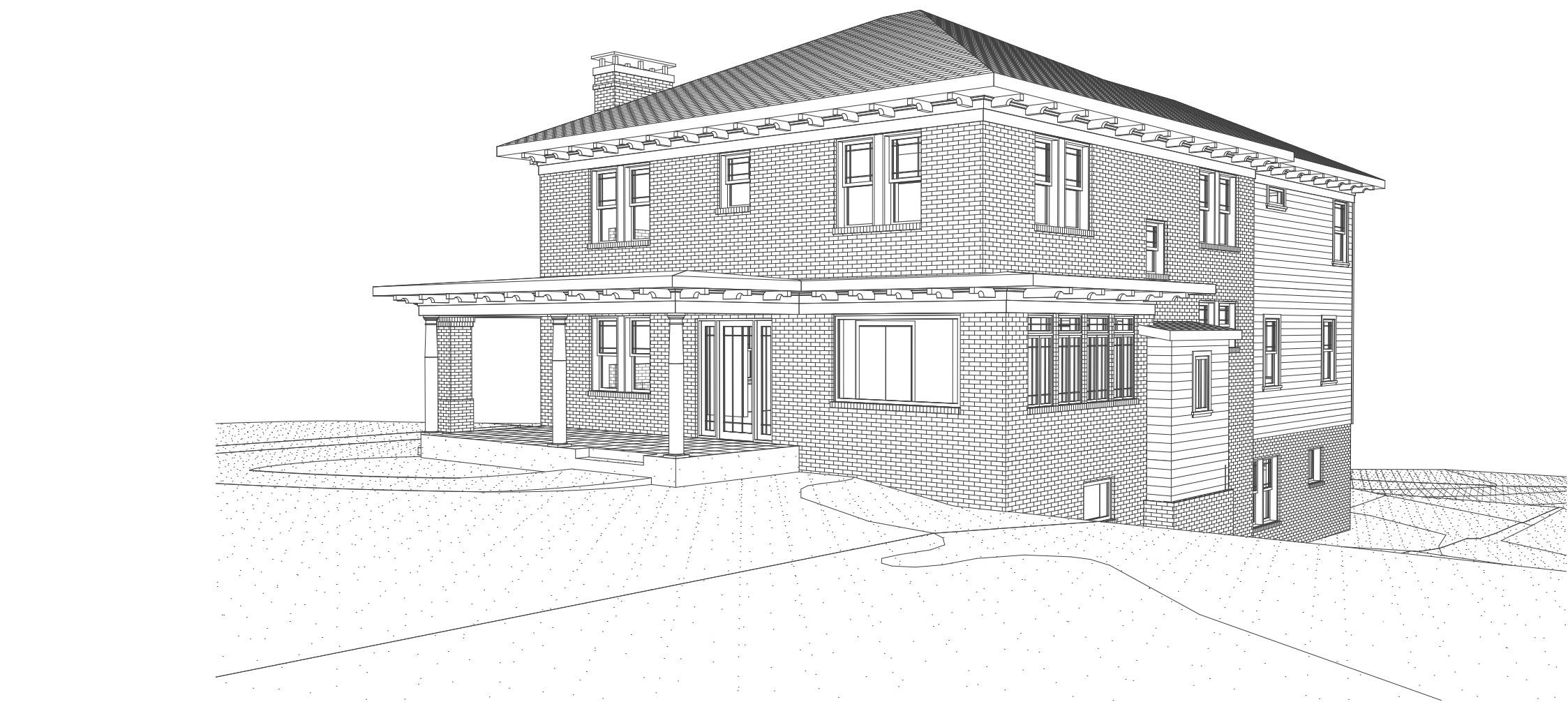
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1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

Drawing Description:
Reflected Ceiling Plans

A-2.7



1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

2 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

Drawing Description:
Exterior Elevations

A-3.1

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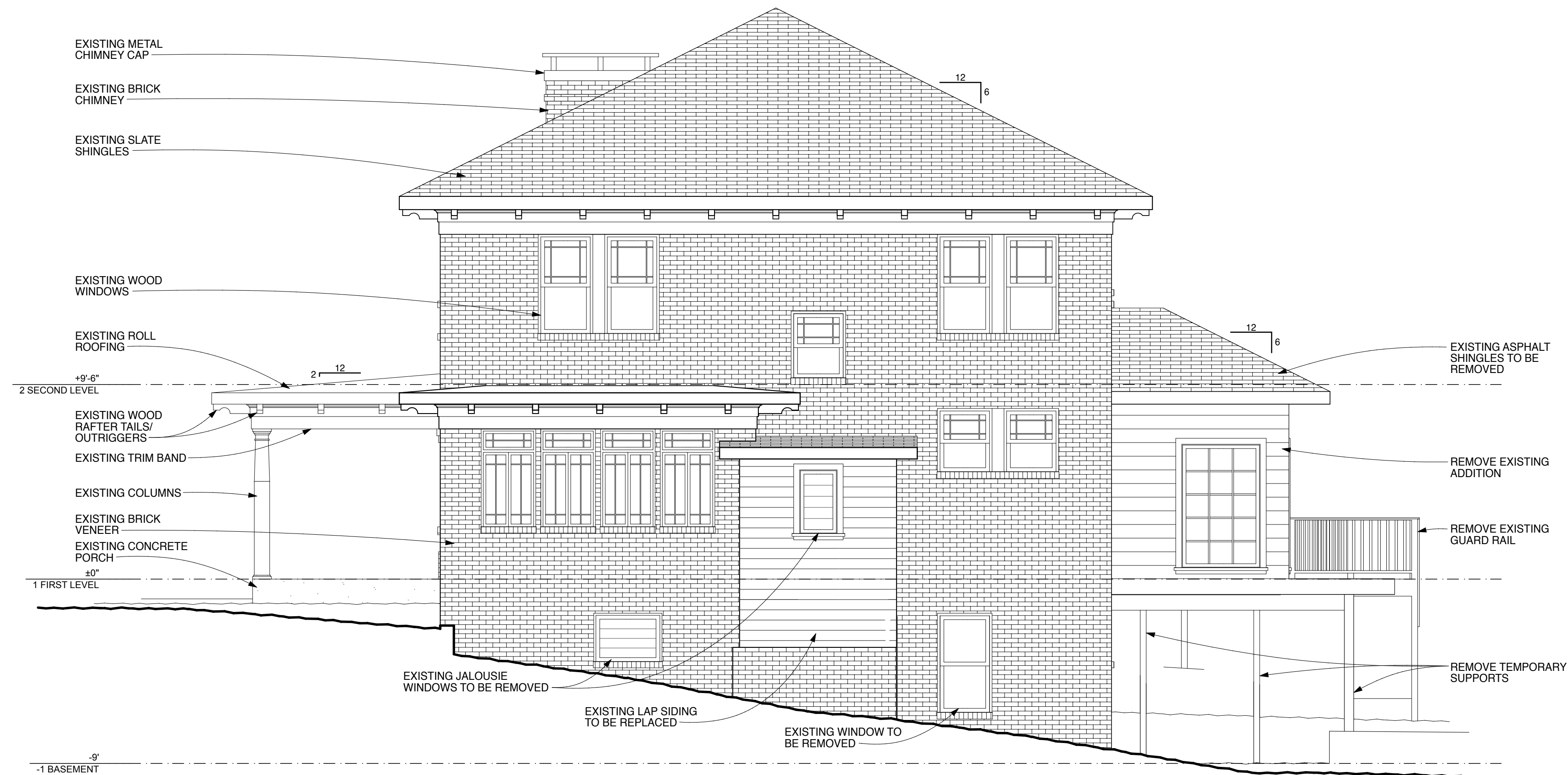
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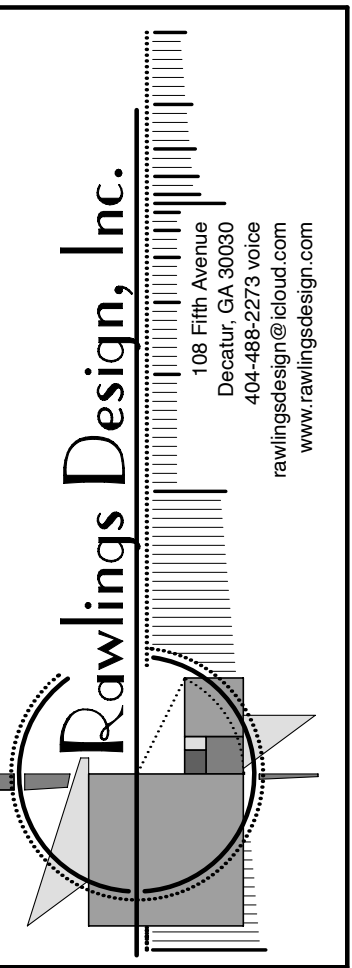
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108 Elm Avenue
Dunwoody, GA 30090
404-488-2273 voice
rawlingsdesign@icloud.com
www.rawlingsdesign.com



2 PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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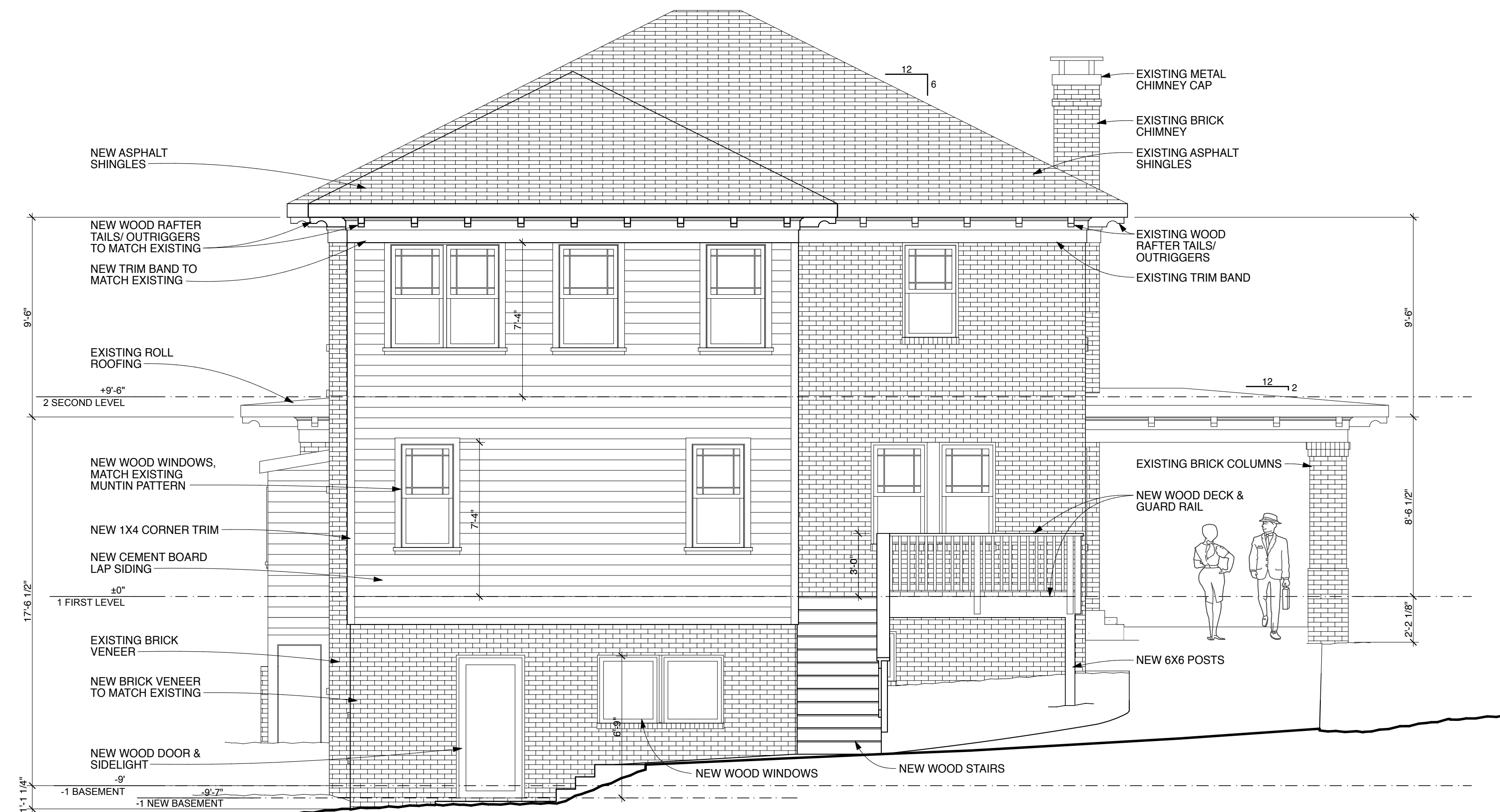
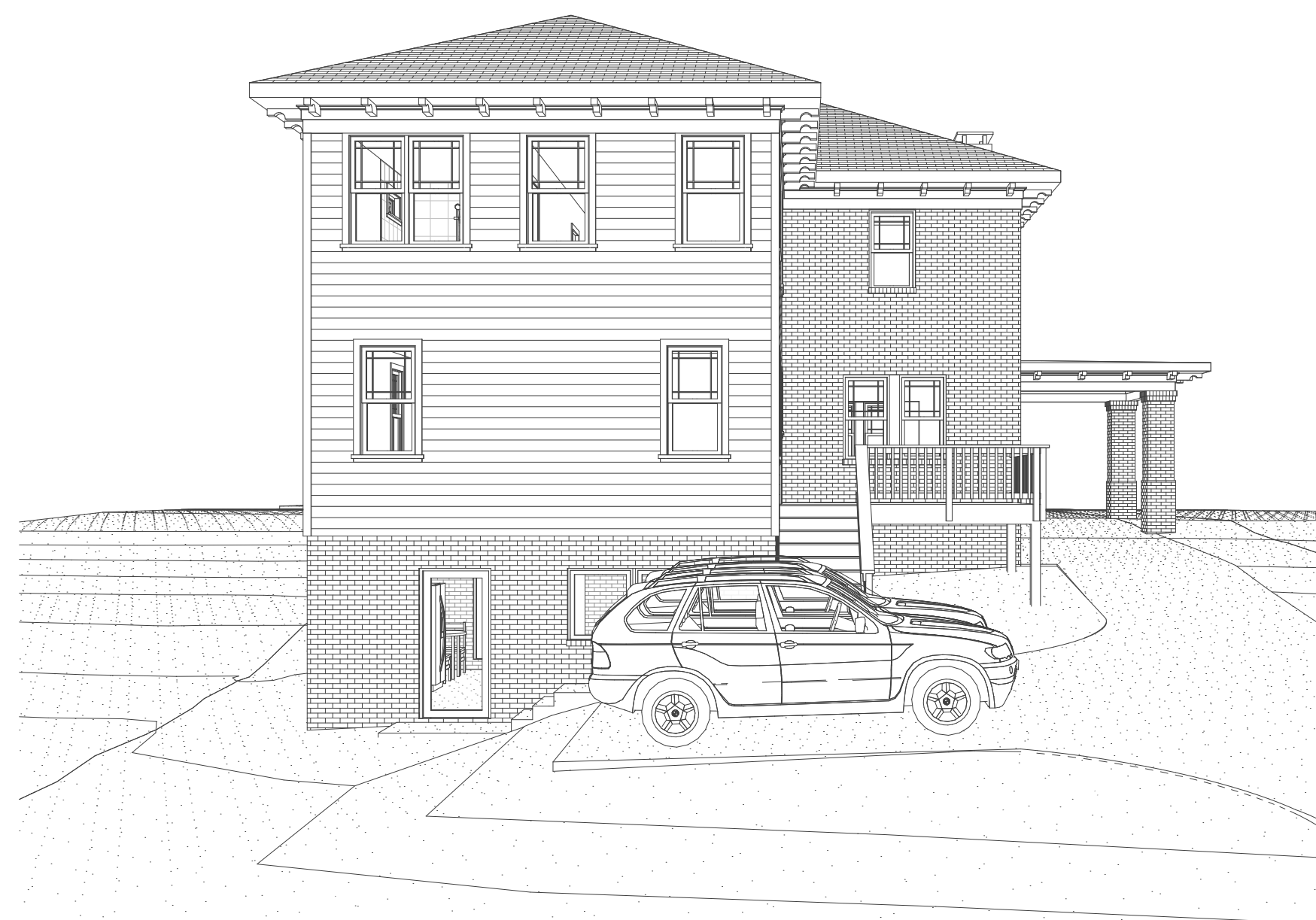
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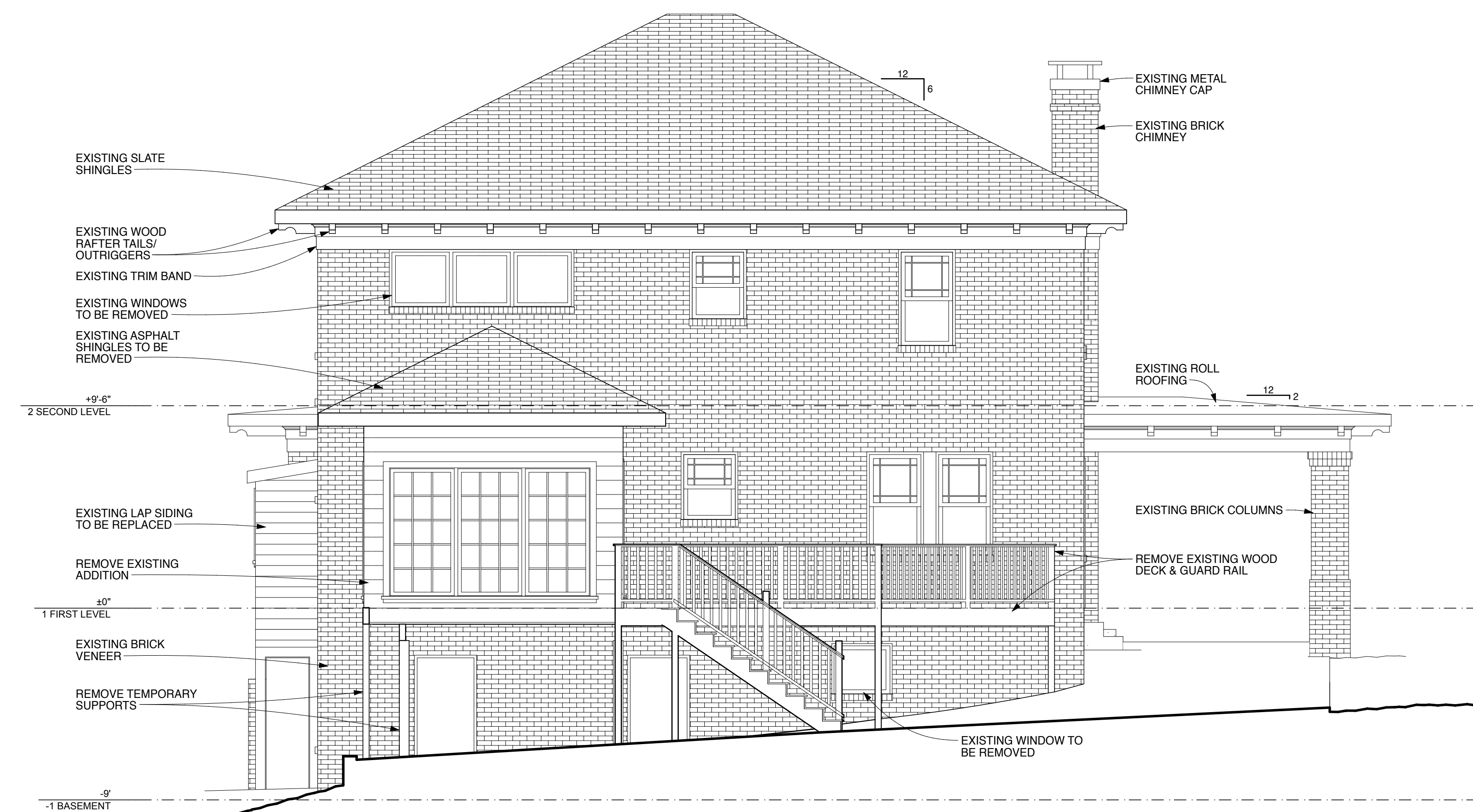
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SUSAN & MATTHEW HABIB

Drawing Description:
Exterior Elevations

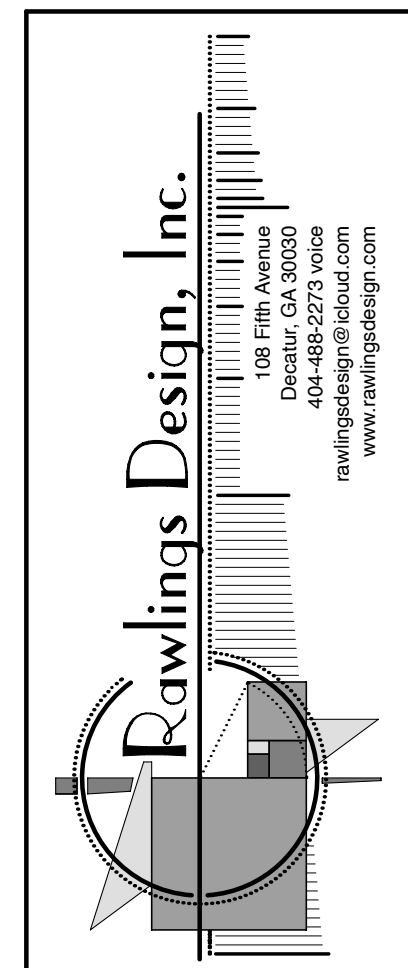
A-3.2



2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



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Revisions

Drawing Date:
10/17/25

RELEASED FOR
CONSTRUCTION

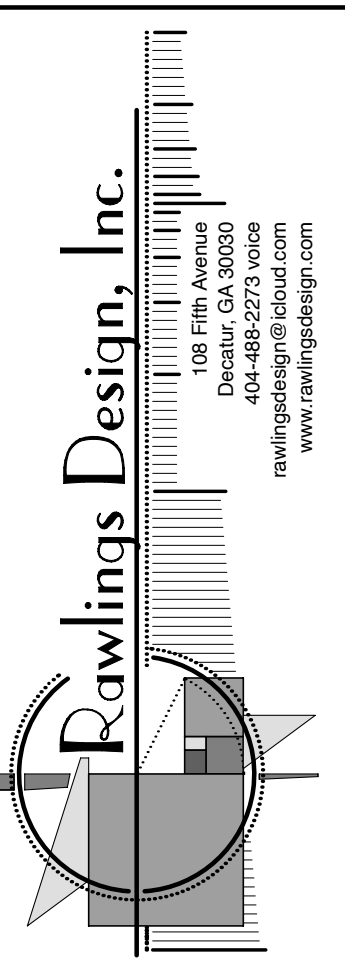
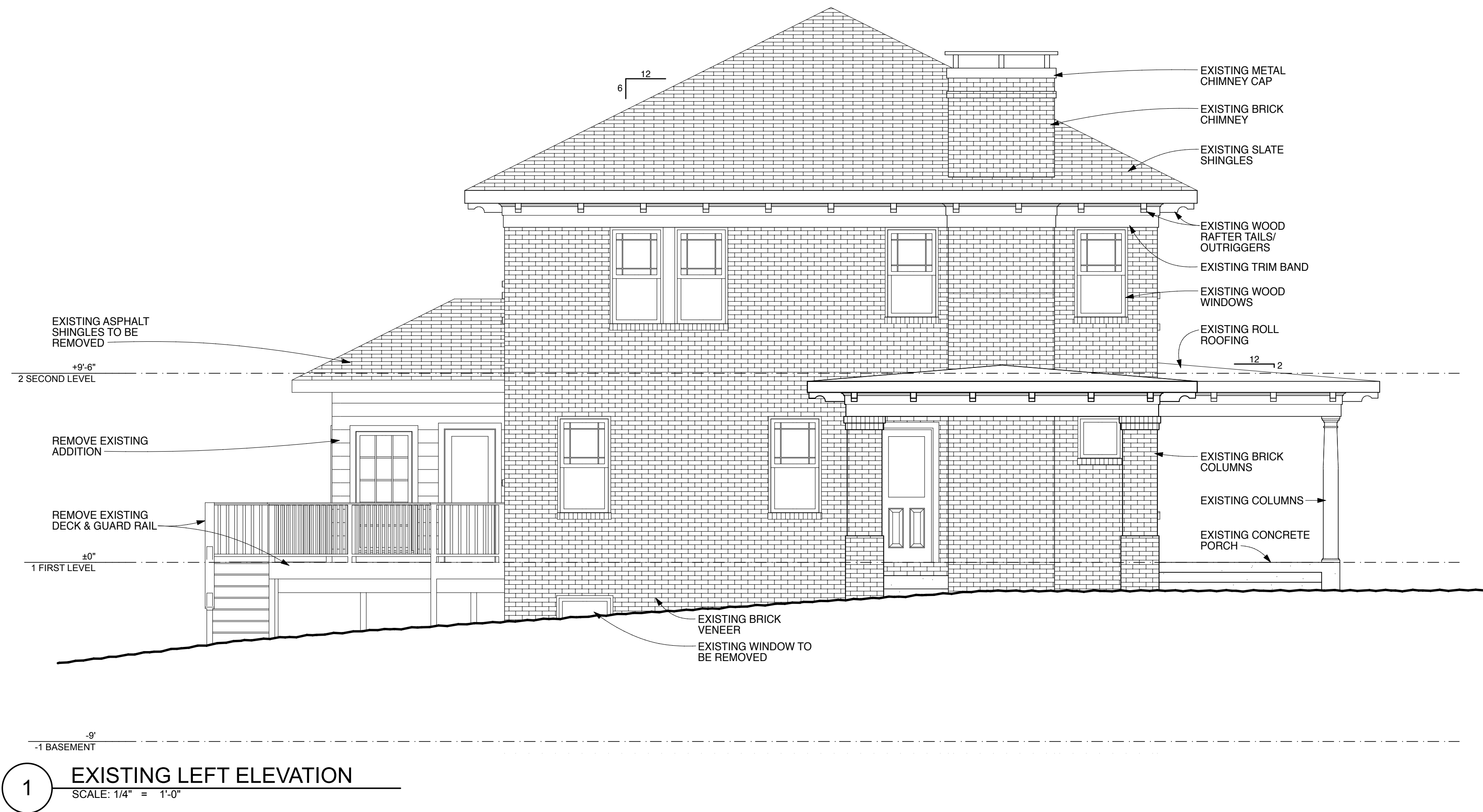
Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

Drawing Description:
Exterior Elevations

A-3.3



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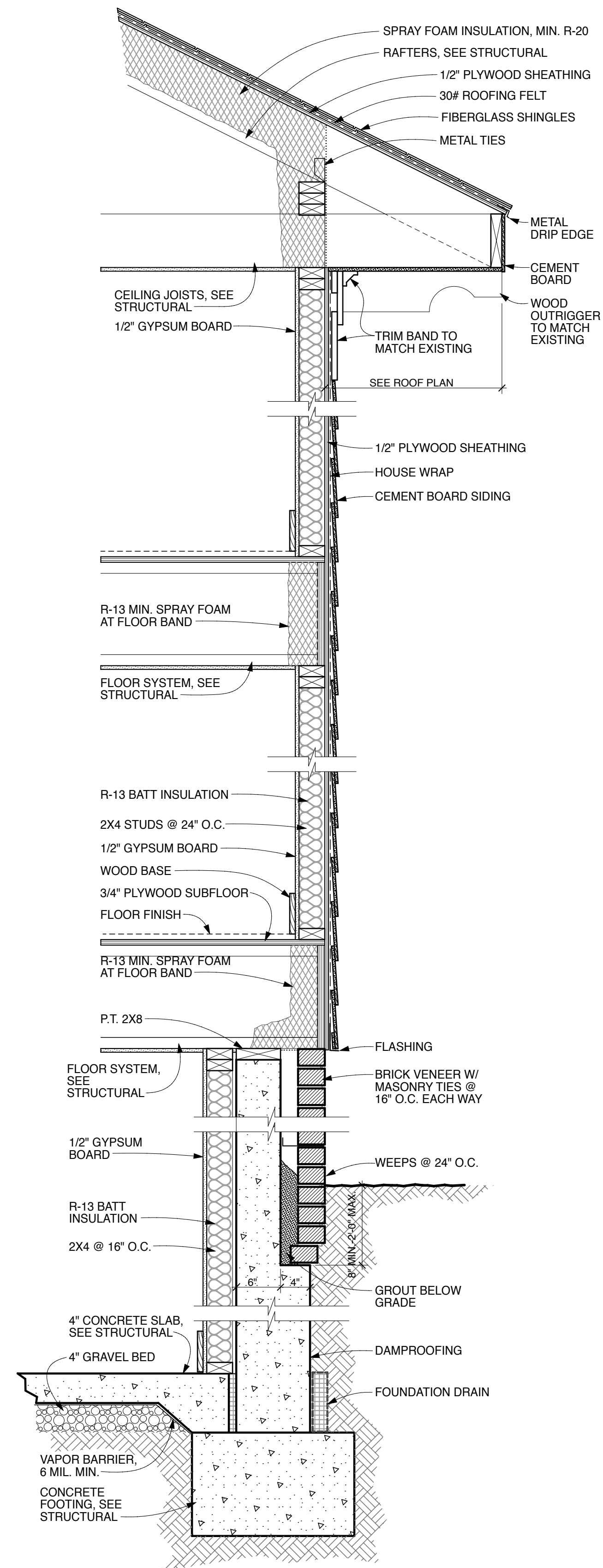
Project Number:
2522

HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

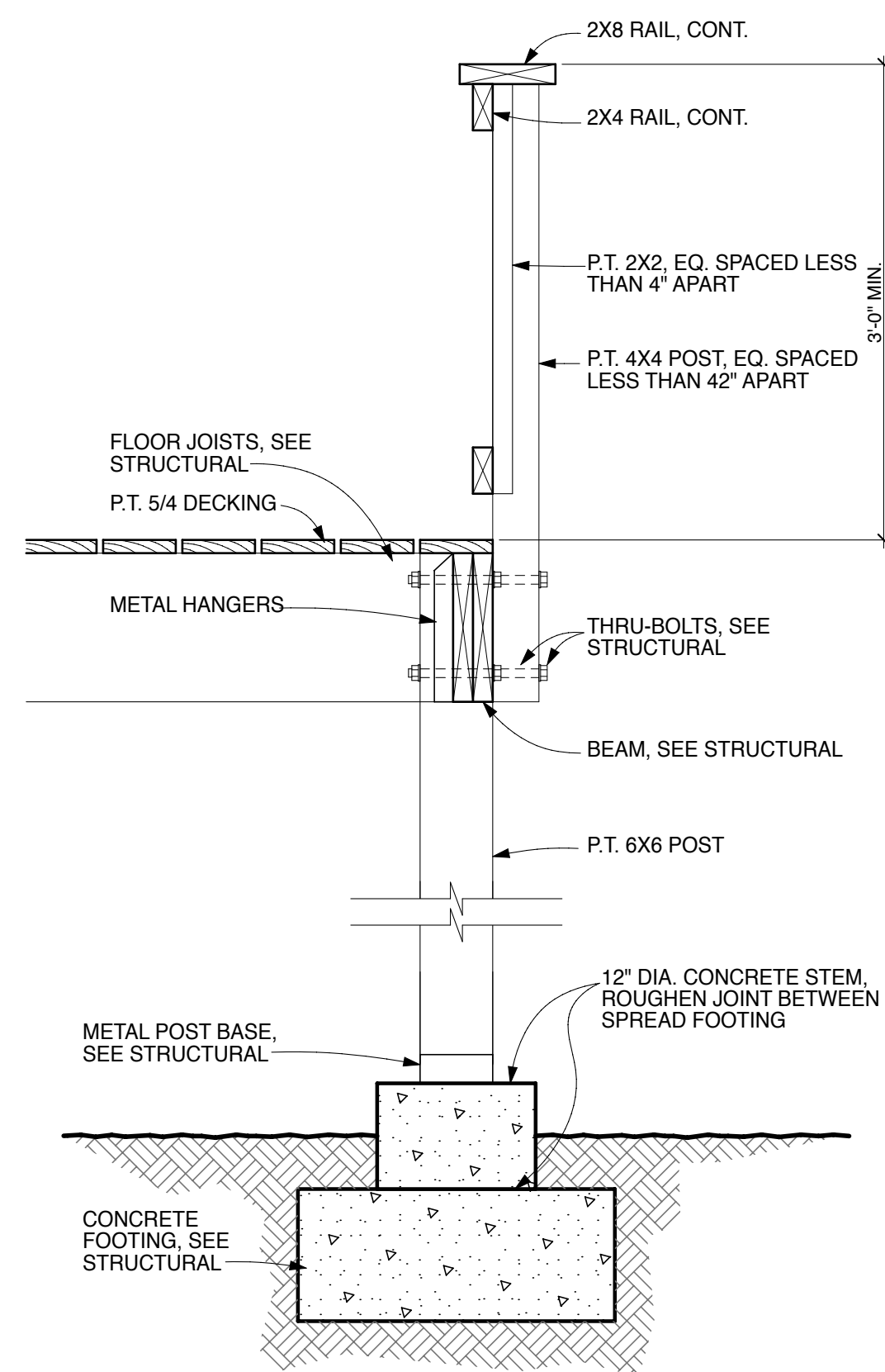
SUSAN & MATTHEW HABIB

Drawing Description:
Exterior Elevations

A-3.4



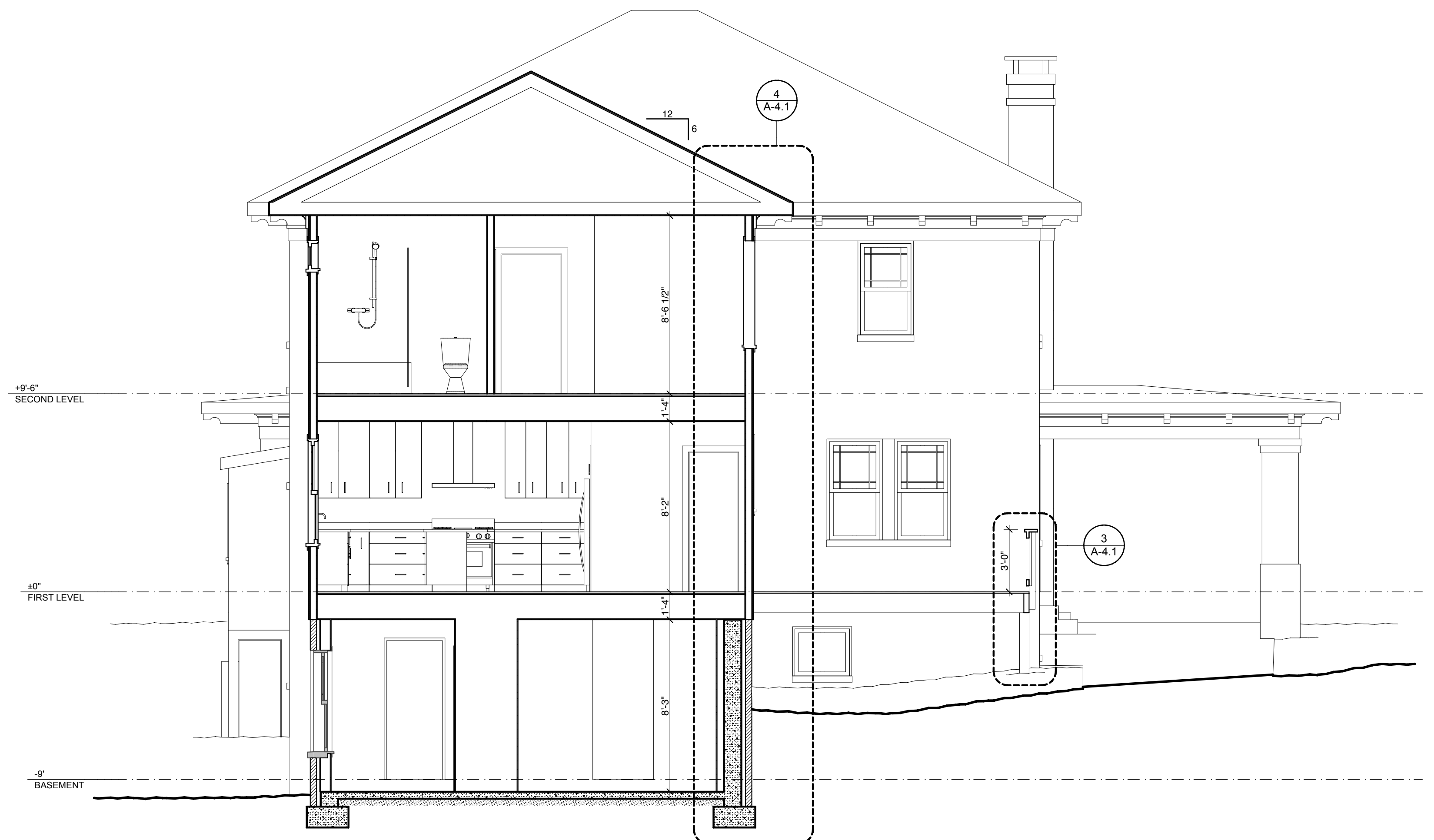
4 WALL SECTION
SCALE: 1" = 1'-0"



3 DECK DETAIL
SCALE: 1" = 1'-0"



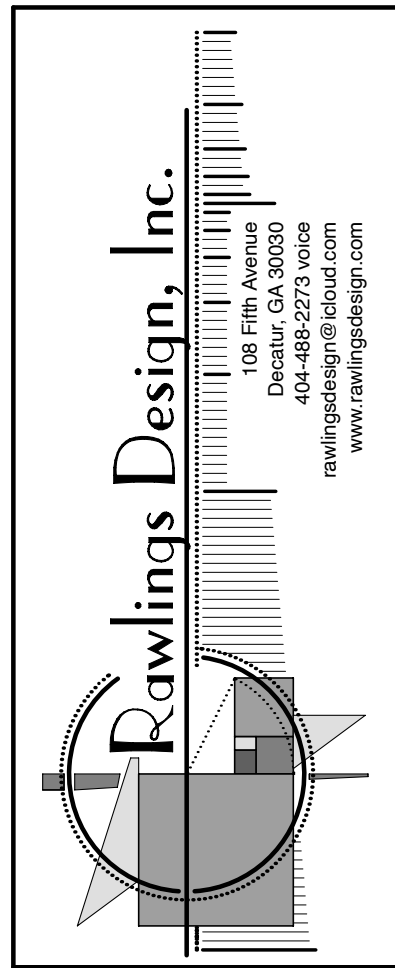
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



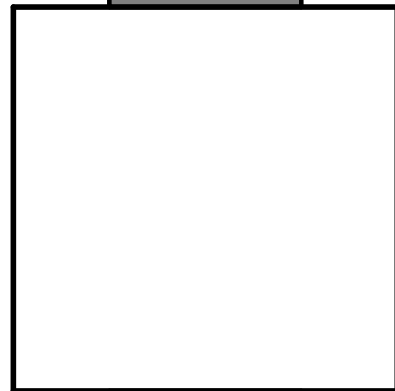
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



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Revisions

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10/17/25



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CONSTRUCTION

Project Number:
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HABIB RESIDENCE
1343 BRIARCLIFF ROAD NE
ATLANTA, GA 30306

SUSAN & MATTHEW HABIB

Drawing Description:
Building Sections

A-4.2